

SITE DEVELOPMENT PLAN

PLAN: P. 11/13/2020 8:31 AM, PAGES: 1 OF 10, RECORDING S10303, DOUGLAS COUNTY, CO, MERLIN KLOTZ, CLERK AND RECORDER

SITE DEVELOPMENT PLAN

YOUR STORAGE CENTER AT CASTLE ROCK

LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
 OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

JTMS Investments, LLC
 SIGNED THIS 20th DAY OF October, 2020

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF October, 2020 BY JTMS Investments, LLC

WITNESS MY HAND AND OFFICIAL SEAL.
Merlin Klotz
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 12/18/20

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED Deed of Trust AT RECEPTION NO. 2020016439 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Randall Ridler, UP
 RANDALL RIDLER, FIRSTIER BANK
 SIGNED THIS 2nd DAY OF October, 2020

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF October, 2020 BY Randall Ridler

WITNESS MY HAND AND OFFICIAL SEAL.
Karin Stine Metz
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: Nov 29, 2022

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:01 PM ON THE 13th DAY OF November, 2020 AT RECEPTION NO. 2020111132

DOUGLAS COUNTY CLERK AND RECORDER
 BY: *Mary Hamilton*
 DEPUTY

LEGAL DESCRIPTION

PARCEL A:
 A TRACT OF LAND SITUATED IN THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 15 AND CONSIDERING THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 15 TO BEAR SOUTH 00 DEGREES 10 MINUTES 41 SECONDS EAST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 THENCE SOUTH 00 DEGREES 10 MINUTES 41 SECONDS EAST ALONG SAID EAST LINE A DISTANCE OF 678.00 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE SOUTH 00 DEGREES 10 MINUTES 41 SECONDS EAST ALONG SAID EAST LINE A DISTANCE OF 202.54 FEET;
 THENCE NORTH 83 DEGREES 36 MINUTES 26 SECONDS WEST A DISTANCE OF 353.07 FEET; THENCE NORTH 12 DEGREES 09 MINUTES 04 SECONDS EAST A DISTANCE OF 202.23 FEET;
 THENCE SOUTH 83 DEGREES 36 MINUTES 26 SECONDS EAST A DISTANCE OF 309.60 FEET TO THE POINT OF BEGINNING.
 THIS PROPERTY DESCRIPTION WAS PREPARED UNDER THE DIRECT SUPERVISION OF DAVID E. ARCHER (P.L.S. 6935), 105 WILCOX STREET, CASTLE ROCK, CO 80104.

PARCEL B:
 A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4;
 THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 A DISTANCE OF 678.00 FEET;
 THENCE NORTHWESTERLY ON AN ANGLE TO THE RIGHT OF 96 DEGREES 34 MINUTES 15 SECONDS A DISTANCE OF 309.60 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE CONTINUING NORTHWESTERLY ALONG THE LAST MENTIONED COURSE A DISTANCE OF 296.00 FEET TO A POINT ON THE EAST LINE OF INTERSTATE 25;
 THENCE SOUTHWESTERLY ON AN ANGLE TO THE LEFT OF 73 DEGREES 39 MINUTES 00 SECONDS ALONG SAID EAST LINE A DISTANCE OF 106.00 FEET;
 THENCE SOUTHEASTERLY ON AN ANGLE TO THE LEFT OF 106 DEGREES 21 MINUTES 00 SECONDS A DISTANCE OF 315.58 FEET;
 THENCE NORTHEASTERLY ON AN ANGLE TO THE LEFT OF 84 DEGREES 14 MINUTES 30 SECONDS A DISTANCE OF 102.23 FEET TO THE POINT OF BEGINNING.
 LESS AND EXCEPT THAT PORTION CONVEYED TO THE TOWN OF CASTLE ROCK IN SPECIAL WARRANTY DEED RECORDED AUGUST 23, 2018 UNDER RECEPTION NO. 2018051418.

PARCEL C:
 A TRACT OF LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4;
 THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 A DISTANCE OF 678.00 FEET;
 THENCE NORTHWESTERLY ON AN ANGLE TO THE RIGHT OF 96 DEGREES 34 MINUTES 15 SECONDS A DISTANCE OF 309.60 FEET;
 THENCE SOUTHWESTERLY ON AN ANGLE TO THE LEFT OF 84 DEGREES 14 MINUTES 30 SECONDS A DISTANCE OF 315.58 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE NORTHWESTERLY ON AN ANGLE TO THE RIGHT OF 84 DEGREES 14 MINUTES 30 SECONDS A DISTANCE OF 315.58 FEET TO THE EAST LINE OF INTERSTATE HIGHWAY NO. 25;
 THENCE SOUTHERLY ON AN ANGLE TO THE LEFT OF 73 DEGREES 39 MINUTES 00 SECONDS ALONG SAID EAST LINE A DISTANCE OF 103.69 FEET;
 THENCE SOUTHEASTERLY ON AN ANGLE TO THE LEFT OF 106 DEGREES 21 MINUTES 00 SECONDS A DISTANCE OF 315.58 FEET;
 THENCE NORTHEASTERLY ON AN ANGLE TO THE LEFT OF 84 DEGREES 14 MINUTES 30 SECONDS A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING, COUNTY OF DOUGLAS, STATE OF COLORADO.
 LESS AND EXCEPT THAT PORTION CONVEYED TO THE TOWN OF CASTLE ROCK IN SPECIAL WARRANTY DEED RECORDED AUGUST 23, 2018 UNDER RECEPTION NO. 2018051418.

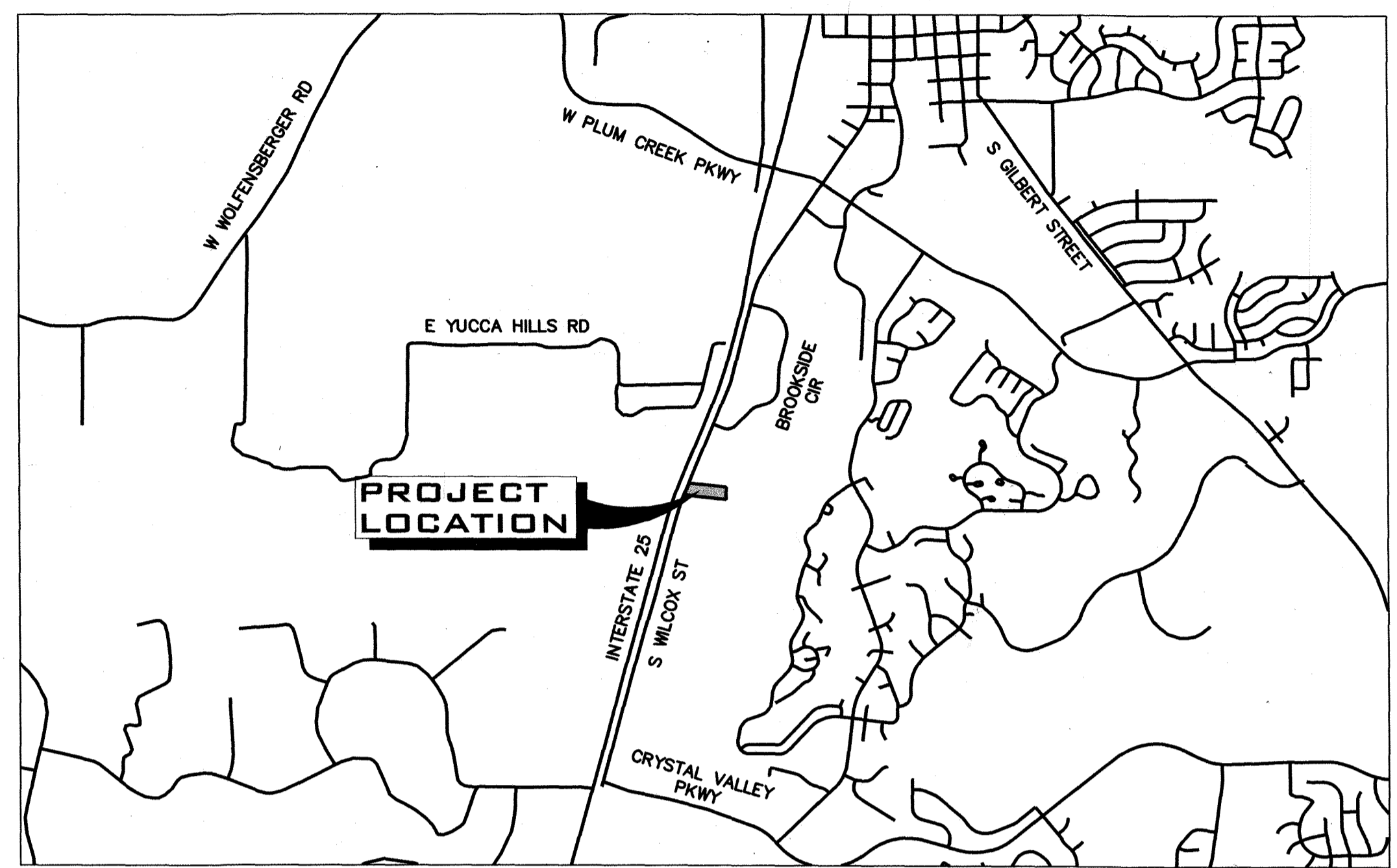
WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DEVELOPMENT AGREEMENT, RECORDED ON THE 23 DAY OF AUGUST, 2018 AT RECEPTION NO. 2018051415 AND ACCORDINGLY 2 SFE ARE DEBITED FROM THE WATER BANK.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 7 DAY OF October, 2020

John A. Reid
 DIRECTOR OF DEVELOPMENT SERVICES



VICINITY MAP
 SCALE 1" = 2,000'

CONTACT LIST

OWNER	CIVIL ENGINEER	SURVEYOR	ARCHITECT	LANDSCAPE ARCHITECT
JTMS INVESTMENTS, LLC 4833 FRONT ST. CASTLE ROCK, CO 80104 (303) 918 8577 CONTACT: JAY SIMPSON	R&R ENGINEERS & SURVEYORS, LLC 1635 WEST 13TH AVENUE, STE 310 DENVER, CO 80204 (303) 753-6730 CONTACT: ROBERT DEVENNEY, P.E.	R&R ENGINEERS & SURVEYORS, LLC 1635 WEST 13TH AVENUE, STE 310 DENVER, CO 80204 (303) 753-6730 CONTACT: STACY LYNN JACOBS, P.L.S.	WESTERN DESIGN GROUP 10791 - D KITTY DRIVE CONIFER, CO 80433 (303) 562-4436 MICHAEL SECOR, AIA	KHLA 2009 N. FRANKLIN STREET COLORADO SPRINGS, CO 80907 (719) 339-9393 CONTACT: KRISTIN HEGGEM

ZONING COMPARISON TABLE

ZONING	REQUIRED	PROPOSED
	YOUR STORAGE PD	YOUR STORAGE PD
LAND USE	-	SELF STORAGE FACILITY
BUILDING HEIGHT	35' MAXIMUM	25.625'
SETBACK (FRONT)	15	34.7'
SETBACK (SIDE)	5	10' AND 106'
SETBACK (REAR)	20	285.1'
TOTAL PARKING SPACES (1 SPACE/1000 GFA + 3 SPACES/1,000 SF OF OFFICE) *	26	22**
VAN ACCESSIBLE PARKING SPACES	1	1

* 23,900 SF GFA, 611 SF OF OFFICE SPACE
 ** AS APPROVED BY TCY 20-0039

SITE UTILIZATION TABLE

AREA	SQUARE FEET	ACRES	% OF TOTAL
EXISTING BUILDING	N/A	N/A	N/A
BUILDING FOOTPRINT	23,800	0.55	19%
HARDSCAPE/IMPERVIOUS	25,264	0.58	20%
LANDSCAPE / IRRIGATED AREA	44,706	1.03	35%
FLOODPLAIN TRACT AREA	32,818	0.75	26%
SAND FILTER MEDIA SURFACE AREA	1,145	0.03	1%
TOTAL SITE	127,765	2.93	100%

VARIANCE ID	DATE	DESCRIPTION	CONDITIONS OF APPROVAL	APPROVAL
TCY20-0015	5/19/2020	ONSITE WASTEWATER TREATMENT SYSTEM		APPROVED
TCY20-0016	7/8/2020	SAND FILTER RETAINING WALLS		APPROVED
TCY20-0039	8/11/2020	PARKING SPACE REQUIREMENTS		APPROVED
TCY20-0042	8/5/2020	LANDSCAPING VARIANCE STREET TREE REQUIREMENT		APPROVED
		CURB STOP IN PAVEMENT		

BASIS OF BEARING:
 BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15. SAID LINE BEARS SOUTH 00°07'16" EAST, AND IS MONUMENTED AT THE SOUTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 22100 1986" AND IS MONUMENTED AT THE NORTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 25381 2012".

BENCHMARK:
 ELEVATIONS ARE BASED ON NGS POINT Y396 BEING A ROD IN BOX HAVING A RECORDED ELEVATION OF 6276.49 FEET.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
1 OF 10	COVER SHEET
2 OF 10	STANDARD NOTES
3 OF 10	SITE PLAN
4 OF 10	GRADING PLAN
5 OF 10	UTILITY PLAN
6 OF 10	LANDSCAPE PLAN
7 OF 10	BUILDING ELEVATIONS
8 OF 10	BUILDING ELEVATIONS
9 OF 10	GENERAL LIGHTING PLAN
10 OF 10	LIGHTING NOTES

TITLE CERTIFICATION

I, Brenda Becker, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Brenda Becker
 AUTHORIZED REPRESENTATIVE

Land Title Guarantees Company
 TITLE COMPANY
 SIGNED THIS 2nd DAY OF October, 2020

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF October, 2020 BY Brenda Becker AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company

WITNESS MY HAND AND OFFICIAL SEAL.
Merlin Klotz
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 12/18/20

SURVEYOR'S CERTIFICATE

I, Stacy Lynn Jacobs, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Stacy Lynn Jacobs
 REGISTERED LAND SURVEYOR
 DATE Oct. 1 2020
 FOR AND ON BEHALF OF R&R ENGINEERS-SURVEYORS, INC.

CIVIL ENGINEER'S STATEMENT

I, Robert Devenney, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Robert Devenney
 REGISTERED PROFESSIONAL ENGINEER
 DATE 10/11/2020

NO.	REVISION	DATE
	2ND SUBMISSION	04/24/20
	3RD SUBMISSION	06/10/20
	4TH SUBMISSION	07/08/20
	5TH SUBMISSION	07/31/20
	6TH SUBMISSION	09/15/20

R&R ENGINEERS & SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENINEERS.COM

CASTLE ROCK AUTO STORAGE

SITE ADDRESS: CASTLE ROCK AUTO STORAGE
 650 S. INTERSTATE 25
 CASTLE ROCK, CO 80104

PREPARED FOR: JTMS INVESTMENTS, LLC
 4833 FRONT ST. UNIT B #225
 CASTLE ROCK, CO 80104

JOB NO.	JT19133
DATE	1/24/2020
DRW	ESJ CHK RSD
NAME	
COVER SHEET	
NO.	1 OF 10

SITE DEVELOPMENT PLAN

YOUR STORAGE CENTER AT CASTLE ROCK

LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE AE AS PER FEMA FIRM PANEL NO. 08035C0301G DATED 3/16/2016. PORTIONS OF THE PROPERTY ARE LOCATED WITHIN A DESIGNATED 100-YEAR FLOODPLAIN ZONE A/AE.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED YOUR STORAGE PLANNED DEVELOPMENT.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- A 15 FOOT UTILITY EASEMENT IS PROPOSED ALONG THE FRONT PROPERTY LINE. NO EASEMENTS ARE PROPOSED ALONG THE SIDE YARD PROPERTY LINE PER COORDINATION WITH IREA.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

FIRE NOTES

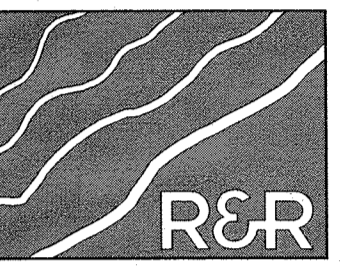
- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESSURE ZONE AND SERVED BY TANK 4.

Unofficial Copy

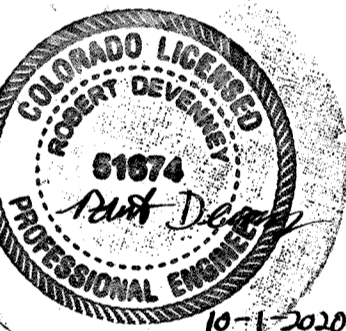
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	6TH SUBMISSION		09/15/20



ENGINEERS & SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENINEERS.COM



CASTLE ROCK AUTO STORAGE
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 650 S. INTERSTATE 25
 CASTLE ROCK, CO 80104
 PREPARED FOR: JTMS INVESTMENTS, LLC
 4833 FRONT ST. UNIT B #225
 CASTLE ROCK, CO 80104

JOB NO.	JT19133
DATE	1/24/2020
DRN	ESJ
CHK	RSD

STANDARD NOTES

SITE DEVELOPMENT PLAN

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LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

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1635 WEST 18TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

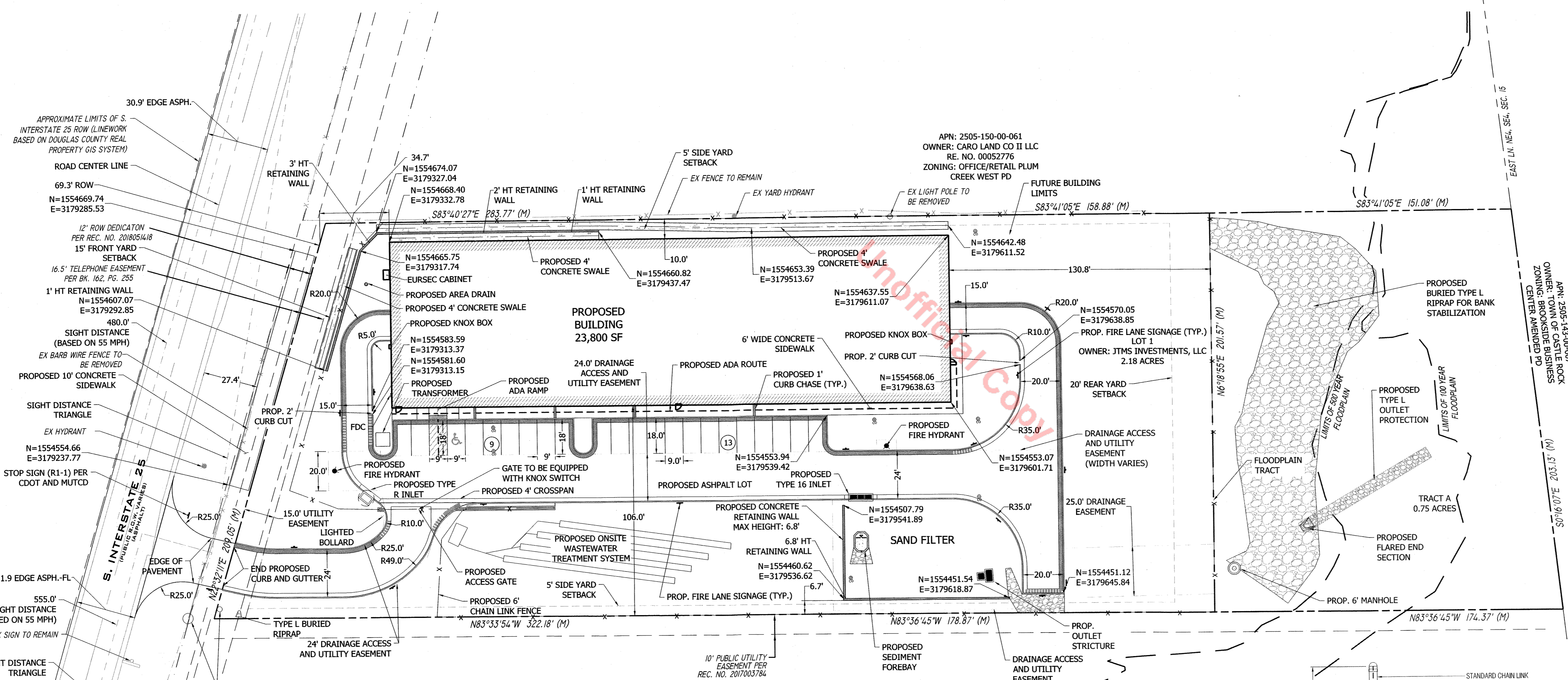
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650 S. INTERSTATE 25
CASTLE ROCK, CO 80104

PREPARED FOR: JTMS INVESTMENTS, LLC
4833 FRONT ST. UNIT B #225
CASTLE ROCK, CO 80104

JOB NO.	JT19133
DATE	1/24/2020
DRN	ESJ
CHK	RSD
NAME	
SITE PLAN	
NO.	3 OF 10

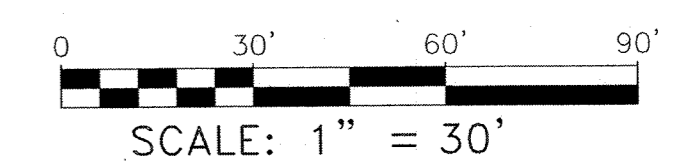
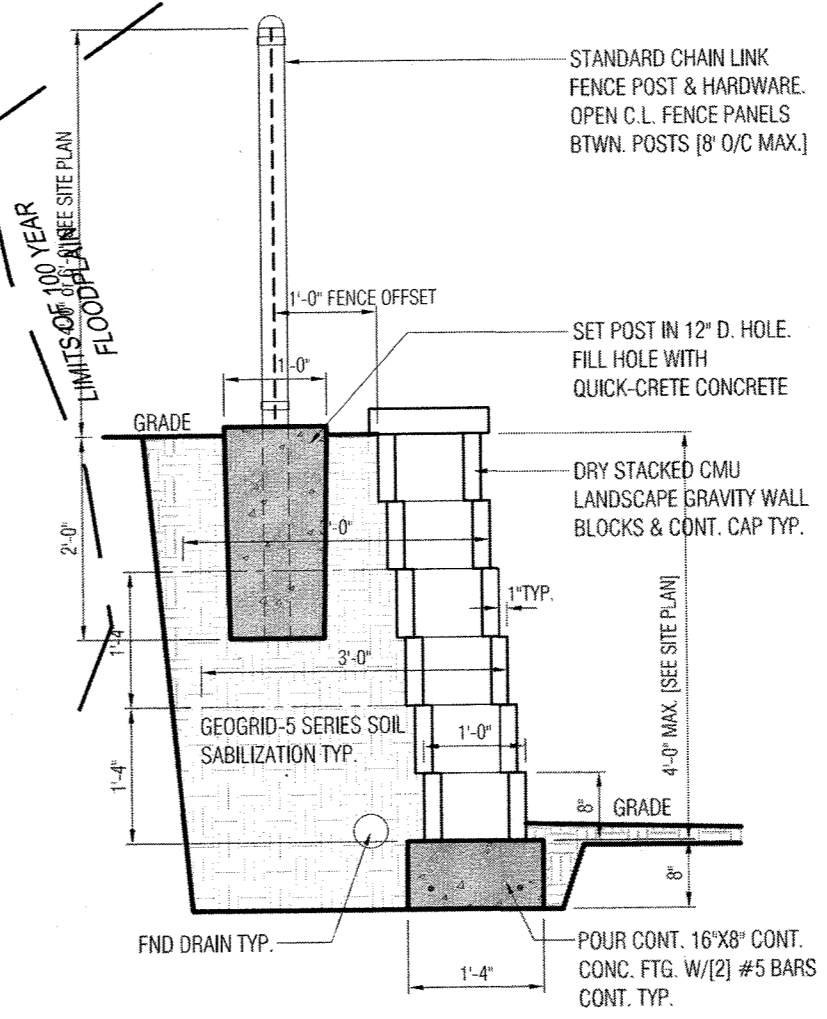
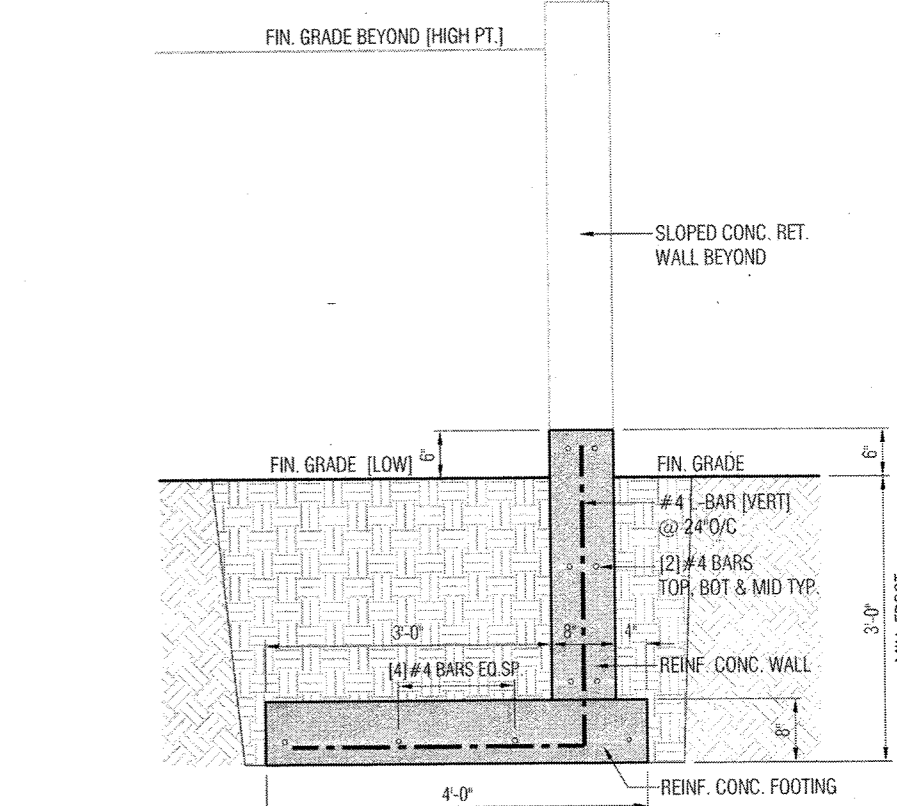
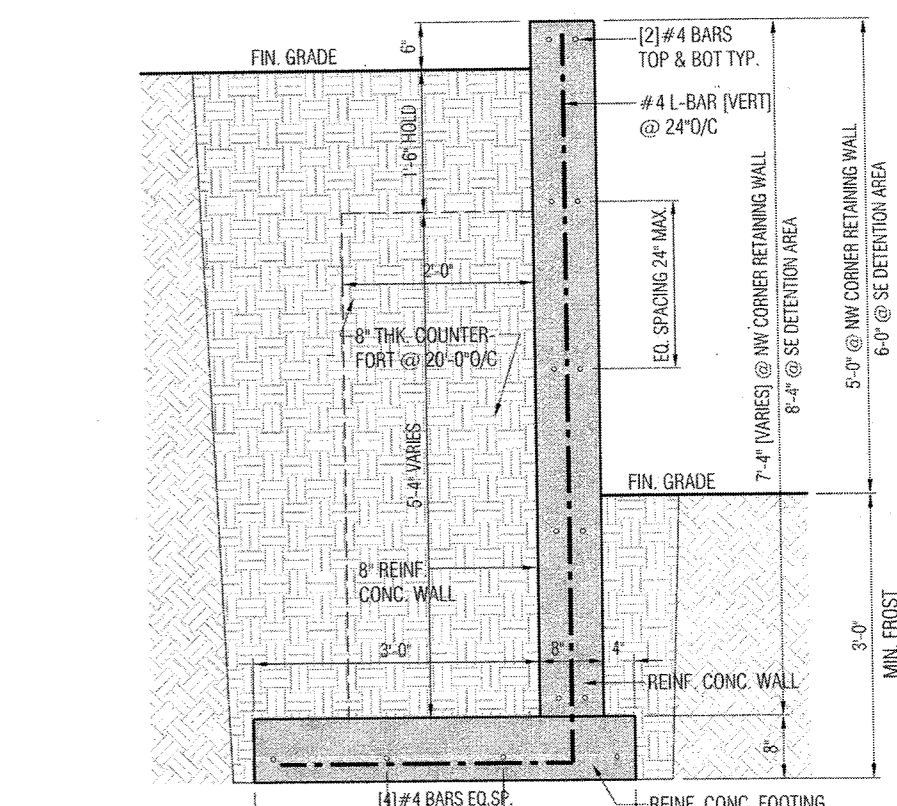


NOTE:
THE LOCATION AND ALIGNMENT OF THE PROPOSED CURB, GUTTER AND SIDEWALK ARE CONCEPTUAL. OTHER CONSTRUCTION ASPECTS SUCH AS ACCESS IMPROVEMENTS, TURN LANES, PHASING AND FINAL DESIGN WILL BE DETERMINED IN THE CONSTRUCTION DRAWINGS AND THE SUBDIVISION AGREEMENT.

NOTE:
THE TOWN MAY LIMIT THE PROPERTY ACCESS TO A 1/2 MOVEMENT OR RIGHT IN/RIGHT OUT IN THE FUTURE DUE TO PHASING, INCREASED TRAFFIC GENERATED BY THE SITE, OR OTHER SAFETY CONCERNS.

BASIS OF BEARING:
BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15. SAID LINE BEARS SOUTH 00°07'16" EAST, AND IS MONUMENTED AT THE SOUTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 22100 1986" AND IS MONUMENTED AT THE NORTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 25381 2012".

BENCHMARK:
ELEVATIONS ARE BASED ON NGS POINT Y396 BEING A ROD IN BOX HAVING A RECORDED ELEVATION OF 6276.49 FEET.

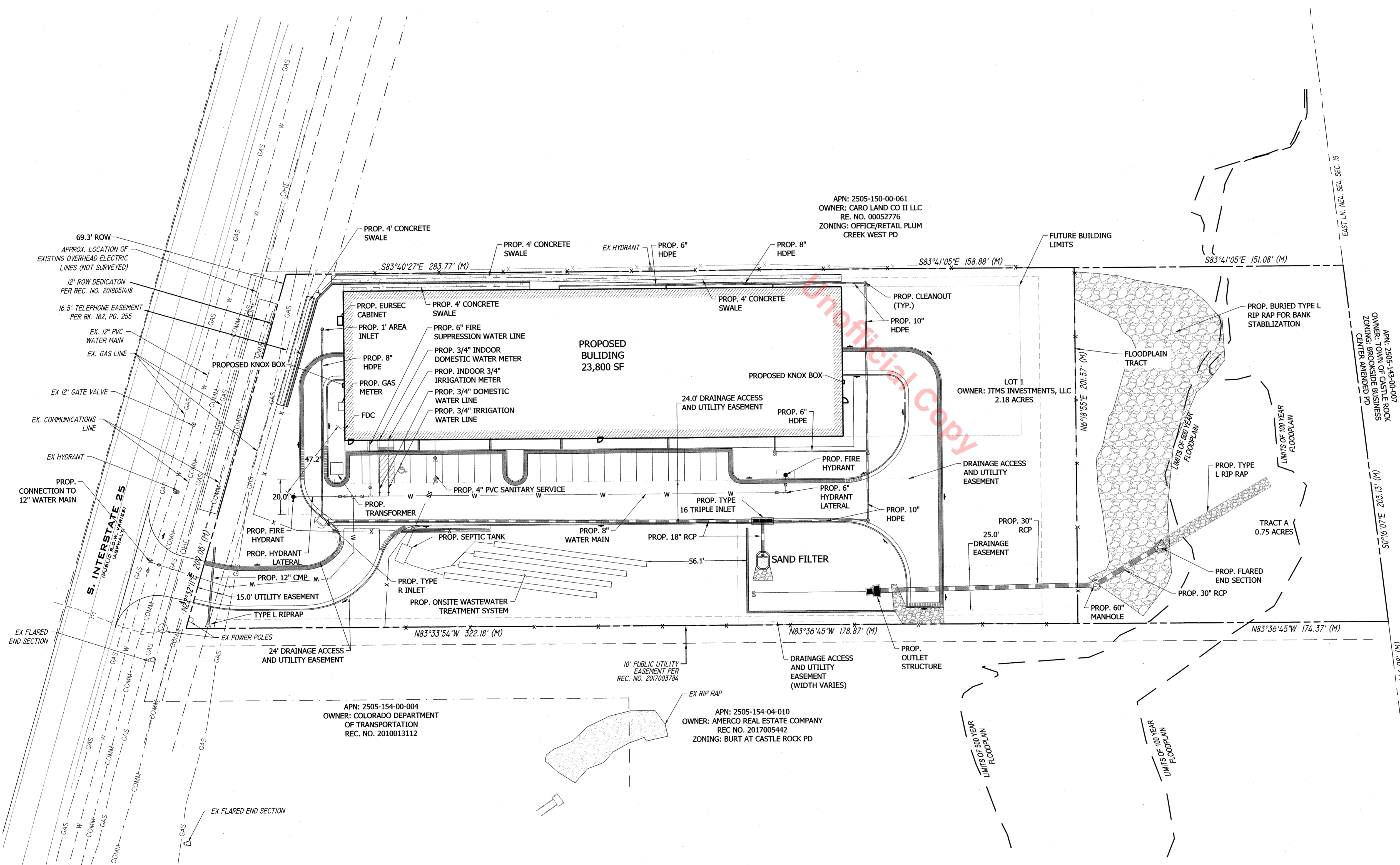


SITE DEVELOPMENT PLAN

YOUR STORAGE CENTER AT CASTLE ROCK

LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
	PROPERTY LINE
	PROPOSED CURB AND GUTTER
	EXISTING FEMA FLOOD ZONE
	PROPOSED WALL
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED SETBACK
	EXISTING SECTION LINE
	EXISTING/PROPOSED EASEMENT
	PROPOSED ADA STRIPING
	PROPOSED RIP RAP
	PROPOSED STORM INLET
	EXISTING/PROPOSED FLARED END SECTION
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	PROPOSED GATE VALVE
	PROPOSED WATER METER
	EXISTING GAS LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING OVERHEAD ELECTRIC



BENCHMARK:
ELEVATIONS ARE BASED ON NGS POINT Y396 BEING A ROD IN BOX HAVING A RECORDED ELEVATION OF 6276.49 FEET.

BASIS OF BEARING:
BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15, SAID LINE BEARS SOUTH 00°07'16" EAST, AND IS MONUMENTED AT THE SOUTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 22100 1986" AND IS MONUMENTED AT THE NORTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 25381 2012".

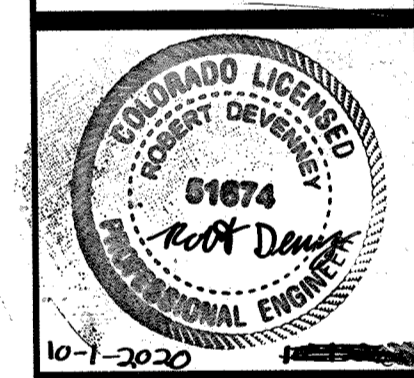
- TOWN OF CASTLE ROCK - STANDARD UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESSURE ZONE AND IS SERVED BY TANK 4.

NOTE:
WATER UTILITY RESTRAINTS SHALL BE RESTRAINED BY MECHANICAL JOINTS.

NO.	REVISION	BY	DATE
	2ND SUBMISSION		04/24/20
	3RD SUBMISSION		06/10/20
	4TH SUBMISSION		07/08/20
	5TH SUBMISSION		07/31/20
	6TH SUBMISSION		09/15/20

R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

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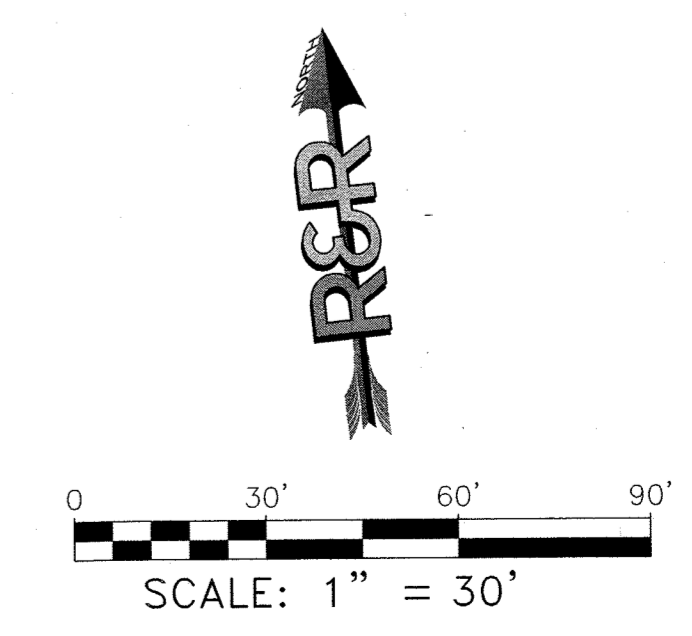


CASTLE ROCK AUTO STORAGE

SITE ADDRESS: CASTLE ROCK AUTO STORAGE
650 S. INTERSTATE 25
CASTLE ROCK, CO 80104

PREPARED FOR: JTMS INVESTMENTS, LLC
4833 FRONT ST. UNIT B #225
CASTLE ROCK, CO 80104

JOB NO.	JT19133
DATE	1/24/2020
DRW	ESJ CHK RSD
NAME	



Landscape Notes

- Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
- Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to wet utility lines should be a minimum of 10 feet.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
- Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation Regulations Section 4.2.3 and to correlate with the use type on the property.
- If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
- No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
- No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
- An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 4.2.3 and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
- Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
- Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five (45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
- Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.

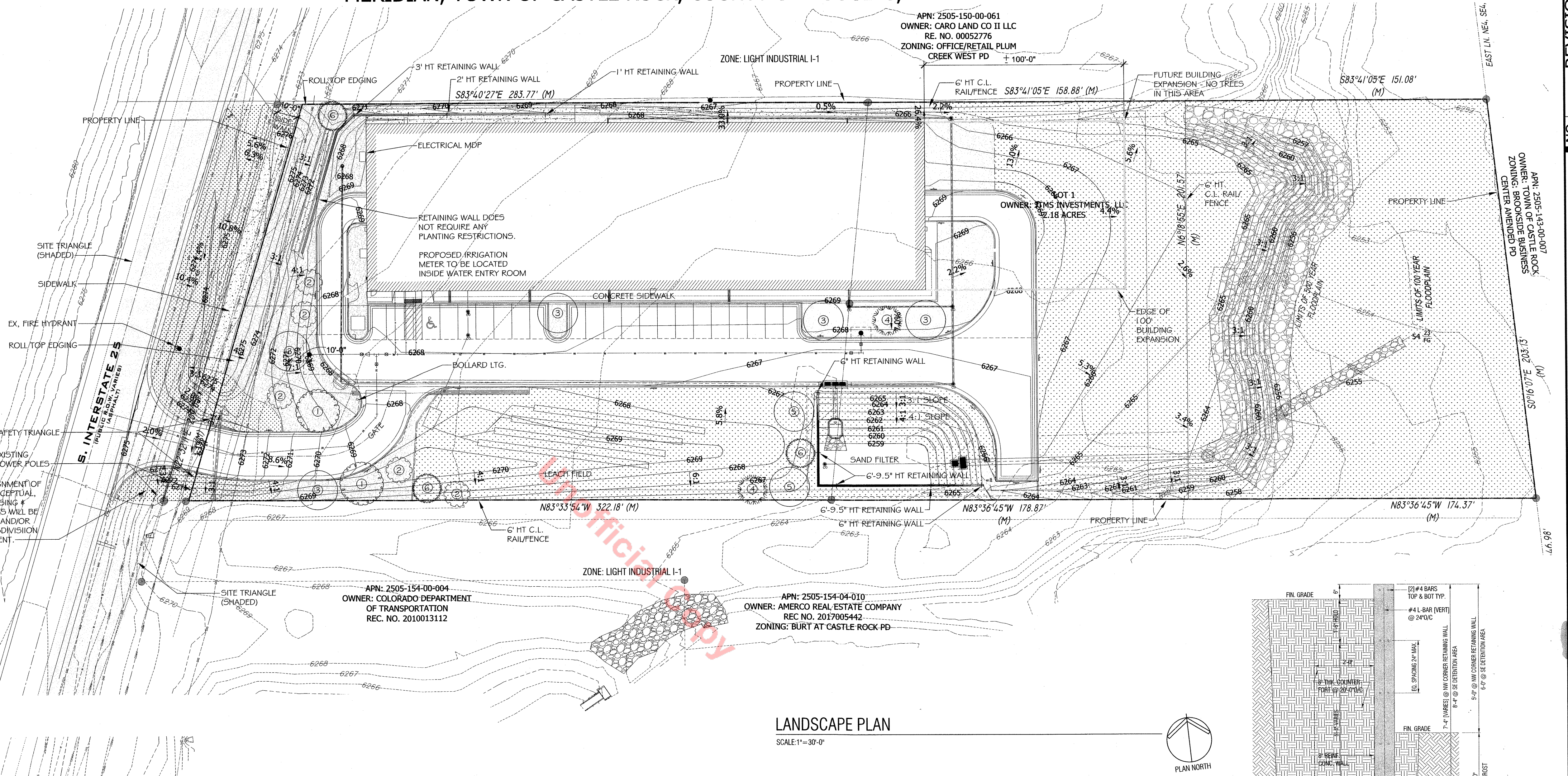
Irrigable Area Legend			
Symbol	Description	Irrigable Area (square feet)	Area (square feet)
[Symbol]	Native grass seed-non irrigated	1-very low	N/A
[Symbol]	Native grass seed-low flow spray irrigation	2-low	14020
[Symbol]	Shrubs/groundcover	2-low	6094
[Symbol]	Tree: large canopy deciduous #1	3-moderate	1920
[Symbol]	Tree: ornamental #2	2-low	1056
[Symbol]	Tree: large canopy deciduous #3	1-very low	1570
[Symbol]	Tree: evergreen #4	2-low	942
[Symbol]	Tree: large canopy deciduous #5	2-low	3180
[Symbol]	Tree: evergreen #6	1-very low	352
Total Irrigable Area =			14020 + 6094 + 1920 + 1056 + 1570 + 942 + 3180 + 352 = 29,134 sf

STREET TREE REQUIREMENT TABLE			
STREET NAME	LENGTH	TREES REQ'D @ 40' O.C.	TREES PROVIDED
1500 T-25	185'	5	0 SEE TCV 20-0042

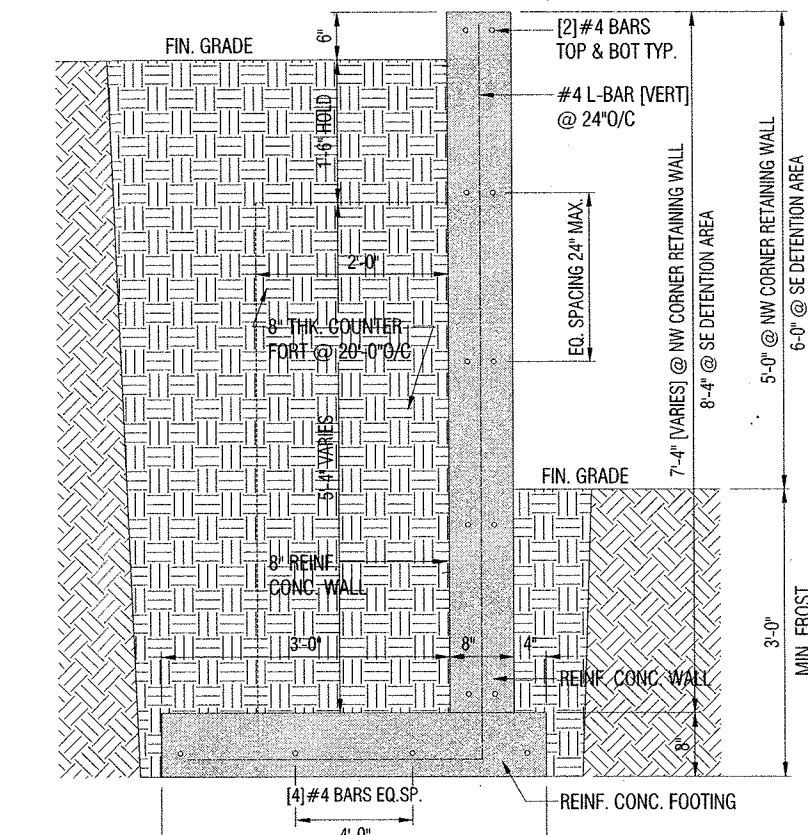
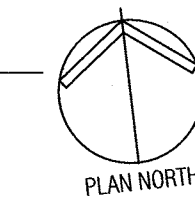
Will meet the shrub requirement of 20 shrubs

THE LOCATION AND ADJUSTMENT OF THE SIDEWALK ARE CONCEPTUAL AND FINAL DESIGN, PHASING & CONSTRUCTION ASPECTS WILL BE DETERMINED WITH CDS AND/OR ADDRESSED IN THE SUBDIVISION IMPROVEMENT AGREEMENT.

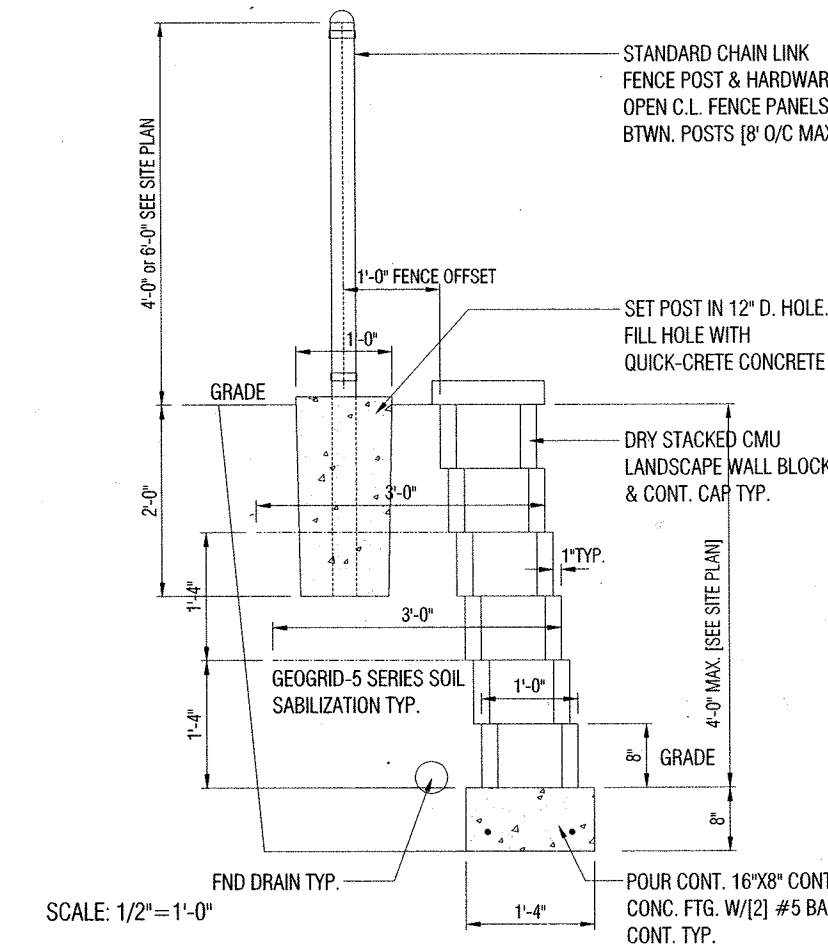
SITE DEVELOPMENT PLAN
YOUR STORAGE CENTER AT CASTLE ROCK
 LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



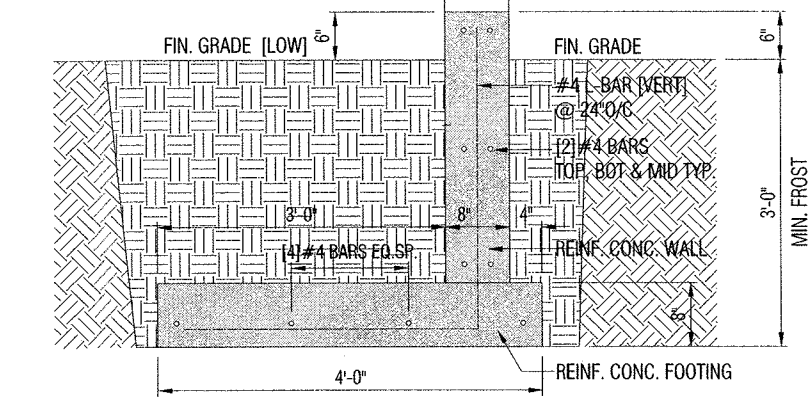
LANDSCAPE PLAN
SCALE 1"=30'-0"



SOUTH RETAINING WALL DETAIL [5' OR 6' HT.] [HIGH PT.]
SCALE: 1/2"=1'-0" REF. CIVIL SITE PLAN FOR RETAINING & DETENTION WALL LOCATIONS



WEST RETAINING WALL DETAIL 4' MAX [HIGH PT.]
SCALE: 1/2"=1'-0"



SOUTH RETAINING WALL DETAIL [6' HT.] [LOW POINT]
SCALE: 1/2"=1'-0" REF. CIVIL SITE PLAN FOR RETAINING & DETENTION WALL LOCATIONS

Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Kristin W. Heggem
 Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # 238
 Company Name KHLA Address 2009 N. Franklin St., Colorado Springs, CO 80907
 Phone 719.339.9393 Email kwheggem@cloud.com Date 6/30/20
 PROJECT NAME Castle Rock Auto Storage

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu yds. per 1000 Sq. Ft.)	Separate Irrigation Service Connections
94,945	Required: 9495 Provided: 51,540	NA	4455 (rock)	19 (9,495 x 2)	19	38 (19x2)	261	4 cu. yds. / 1000 s.f.	Yes <input type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq. Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
3960	400	22	100	0	NA	1	1	4	4

CLWUR (Composite landscape water use rating) Chart

Project Name: Castle Rock Auto Storage
 Site Development Plan (SDP) Number: 20-0003

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (VL, L, Mod, HW)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Area of all Irrigated Landscape Zones	CLWUR x IA / TA
	Drip Acer 'Autumn Blaze'	12	Mod	6.59	1920	3	29,134	0.20
	Drip Crataegus crus-galli var. inermis	10	VL	3.62	1056	1	29,134	0.04
	Drip Gleditsia 'Streetkeeper'	10	VL	5.39	1570	2	29,134	0.11
	Drip Pinus flexilis	10	VL	1.21	352	1	29,134	0.01
	Drip Quercus rubra	10	L	10.92	3180	2	29,134	0.22
	Drip Pinus edulis	10	VL	3.23	942	2	29,134	0.06
	Spray Native grass	10	L	48.12	14020	2	29,134	0.98
	Drip Shrub (low)	10	L	20.92	6094	2	29,134	0.42
				100	29134		Total of the CLWUR	2.02 (2.5 max. allowable)

Reference Chapter 13.20 of the Castle Rock Municipal Code

NO.	REVISION	BY	DATE
2ND	SUBMISSION		04/24/20
3RD	SUBMISSION		06/10/20
4TH	SUBMISSION		07/08/20
5TH	SUBMISSION		07/31/20
6TH	SUBMISSION		09/03/20

KHLA
 KRISTIN HEGGEM
 LANDSCAPE ARCHITECT - ASLA
 2009 N. Franklin St., Colorado Springs, CO 80907
 WWW.KRISTINHEGEM.COM
 719.339.9393

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730



CASTLE ROCK AUTO STORAGE
 SITE ADDRESS: **CASTLE ROCK AUTO STORAGE**
 650 INTERSTATE 25
 CASTLE ROCK, CO 80104
 PREPARED FOR: **JTMS INVESTMENTS, LLC**
 4833 FRONT ST., UNIT B #225
 CASTLE ROCK, CO 80104

JOB NO.	19_32
DATE	7/31/2020
DRN	DM
CHK	KH
NAME	

LANDSCAPE PLAN

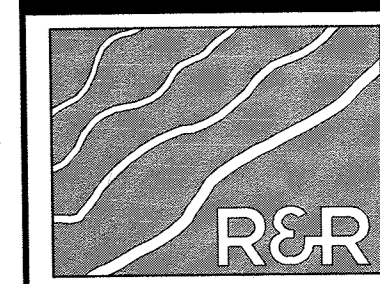
NO. **6 OF 10**

SITE DEVELOPMENT PLAN

YOUR STORAGE CENTER AT CASTLE ROCK

LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

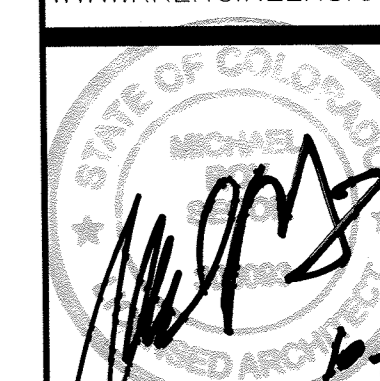
NO.	REVISION	BY	DATE
	2ND SUBMISSION		04/24/20
	3RD SUBMISSION		06/10/20
	4TH SUBMISSION		07/08/20
	5TH SUBMISSION		07/31/20
	6TH SUBMISSION		09/15/20



ENGINEERS-SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.
16.35 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM



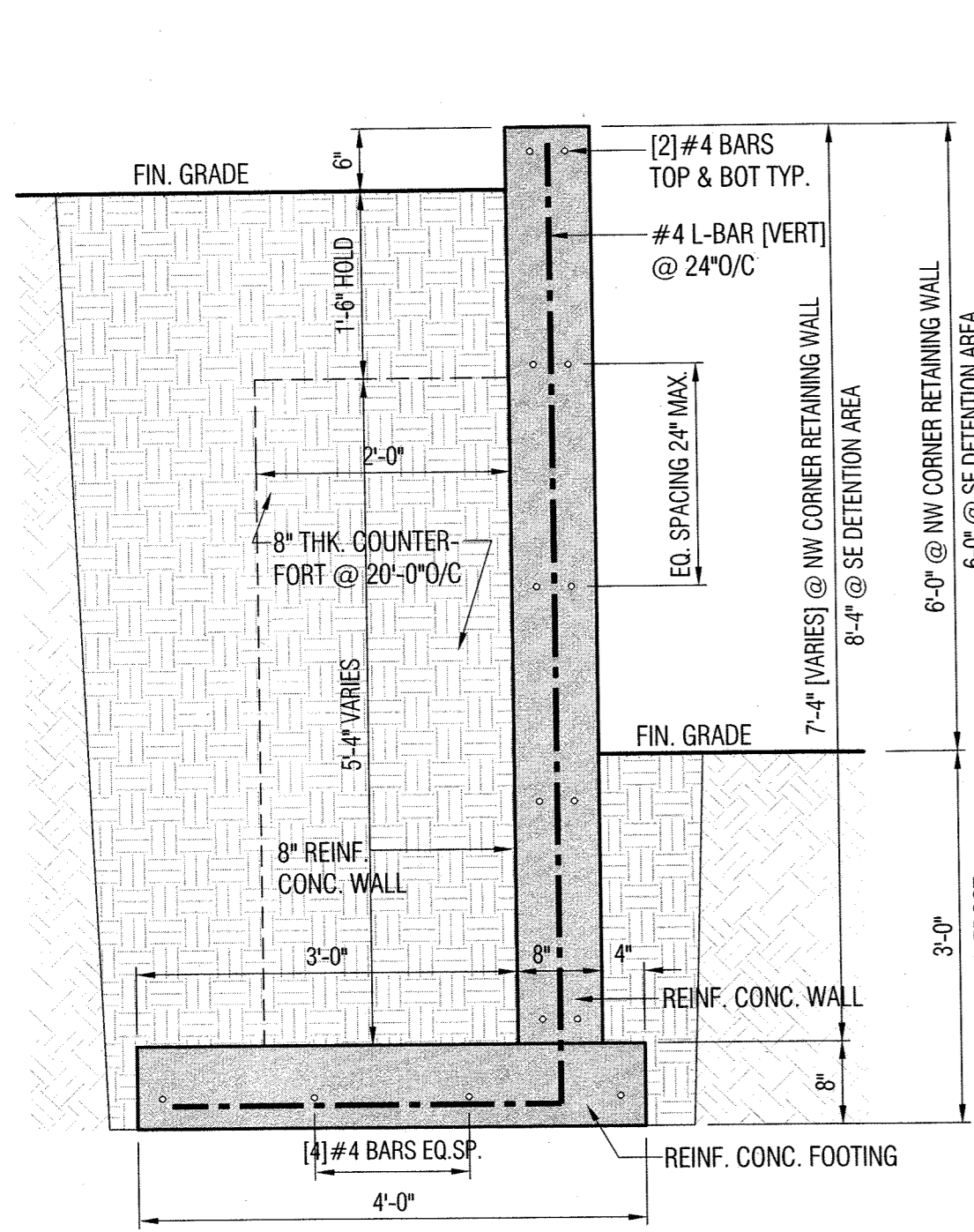
10-1-20

CASTLE ROCK AUTO STORAGE
SITE ADDRESS: CASTLE ROCK AUTO STORAGE
650 S. INTERSTATE 25
CASTLE ROCK, CO 80104
PREPARED FOR: JTM INVESTMENTS, LLC
4833 FRONT ST. UNIT B #225
CASTLE ROCK, CO 80104

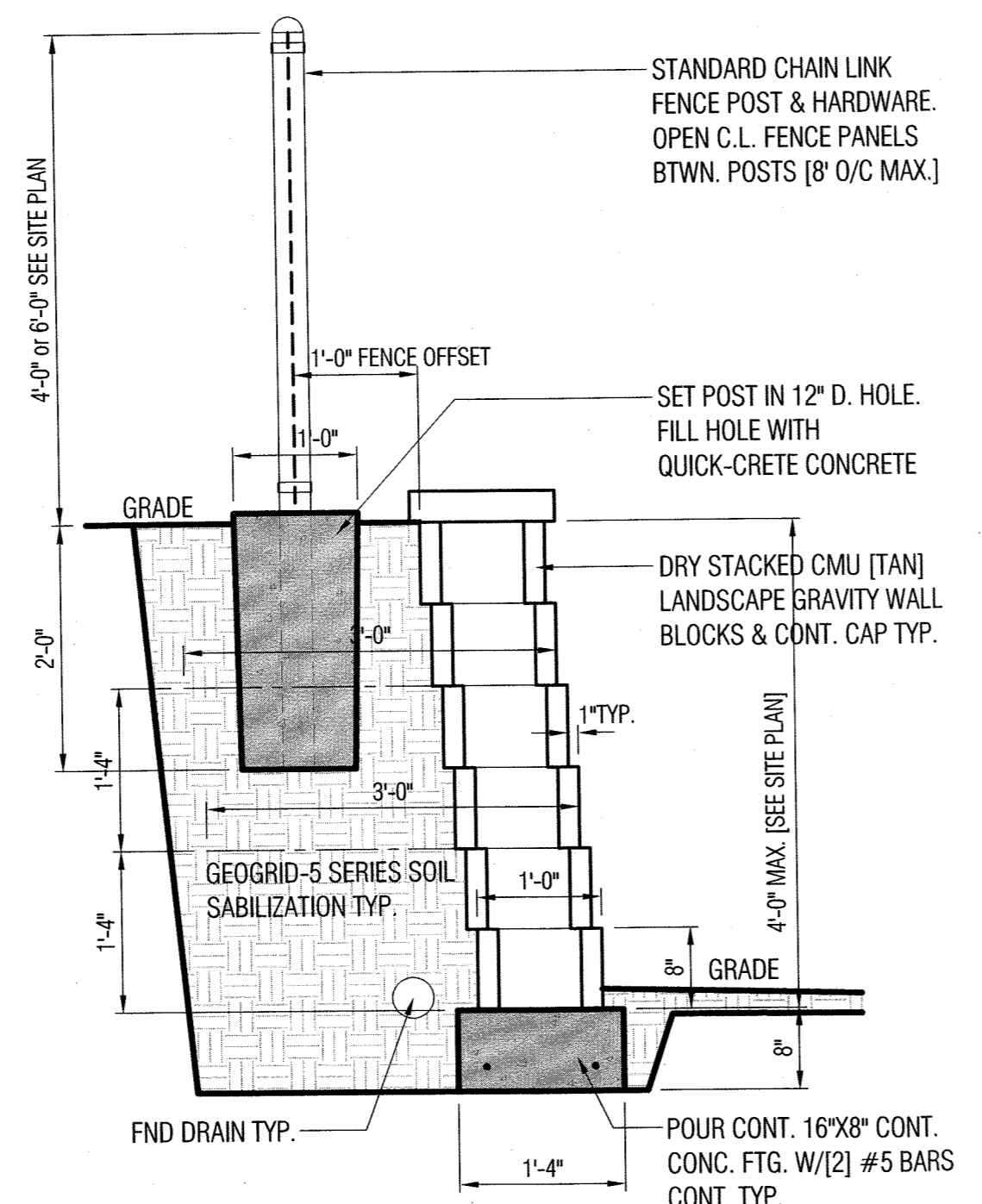
JOB NO. JT19133
DATE 1/24/2020
DRN ESJ CHK RSD
NAME

BLDG. ELEV.

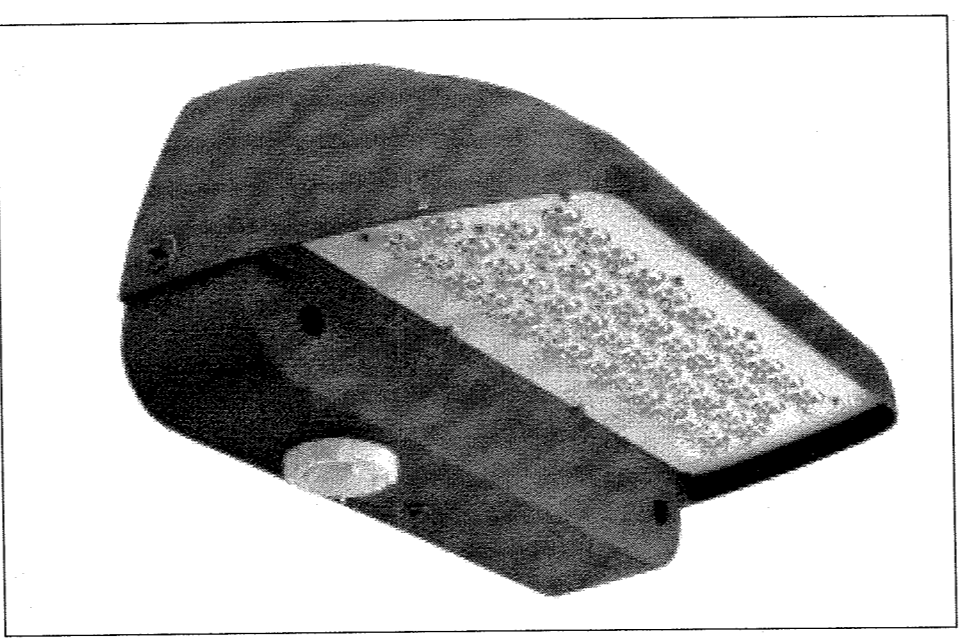
NO. 7 OF 10



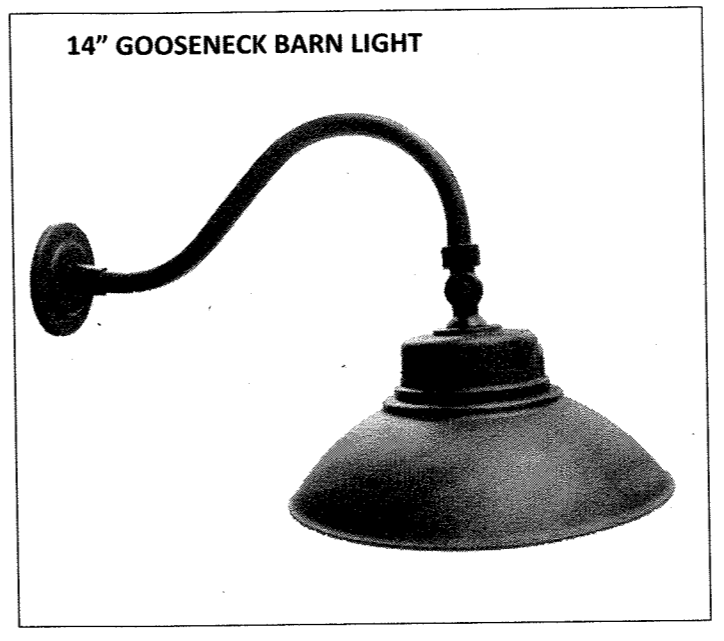
DETENTION WALL DETAIL 6' MAX [HIGH PT.]
SCALE: 3/4"=1'-0"



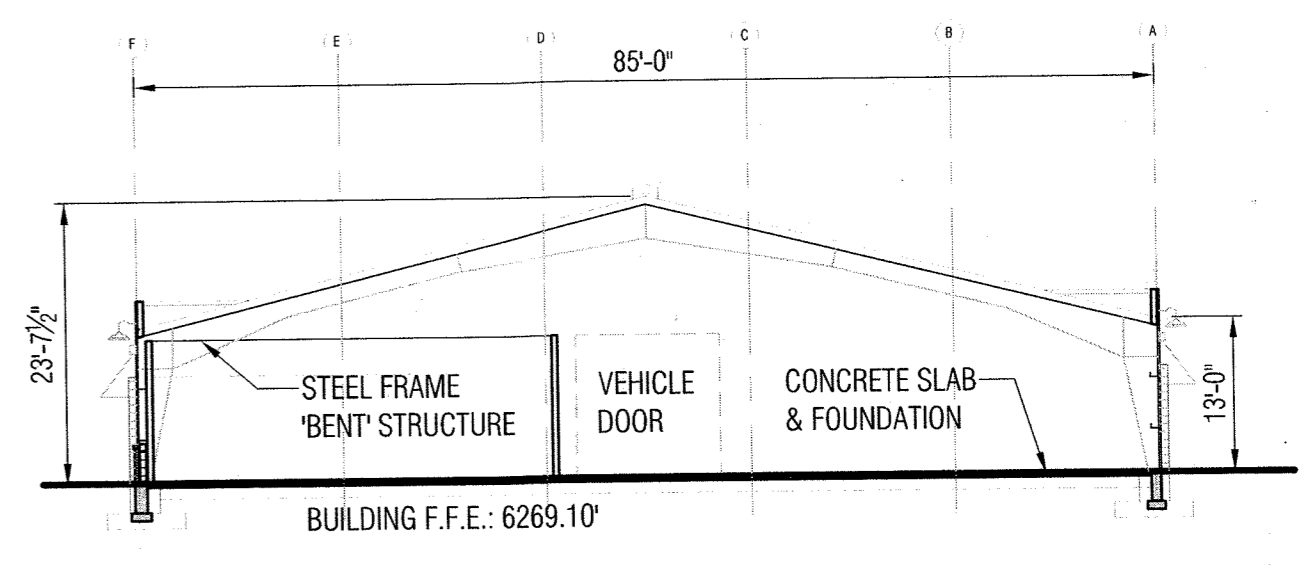
SITE RETAINING WALL DETAIL 4' MAX [HIGH PT.]
SCALE: 3/4"=1'-0"



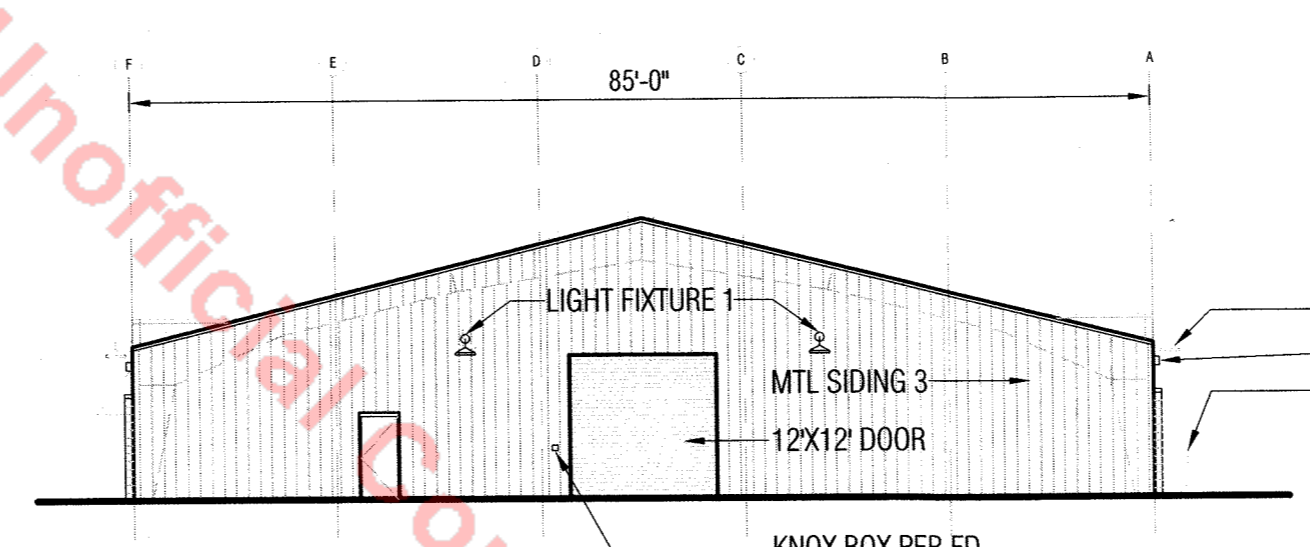
LIGHT FIXTURE 2 [EB]
6 TOTAL BARRON LIGHTING / FULL CUT-OFF



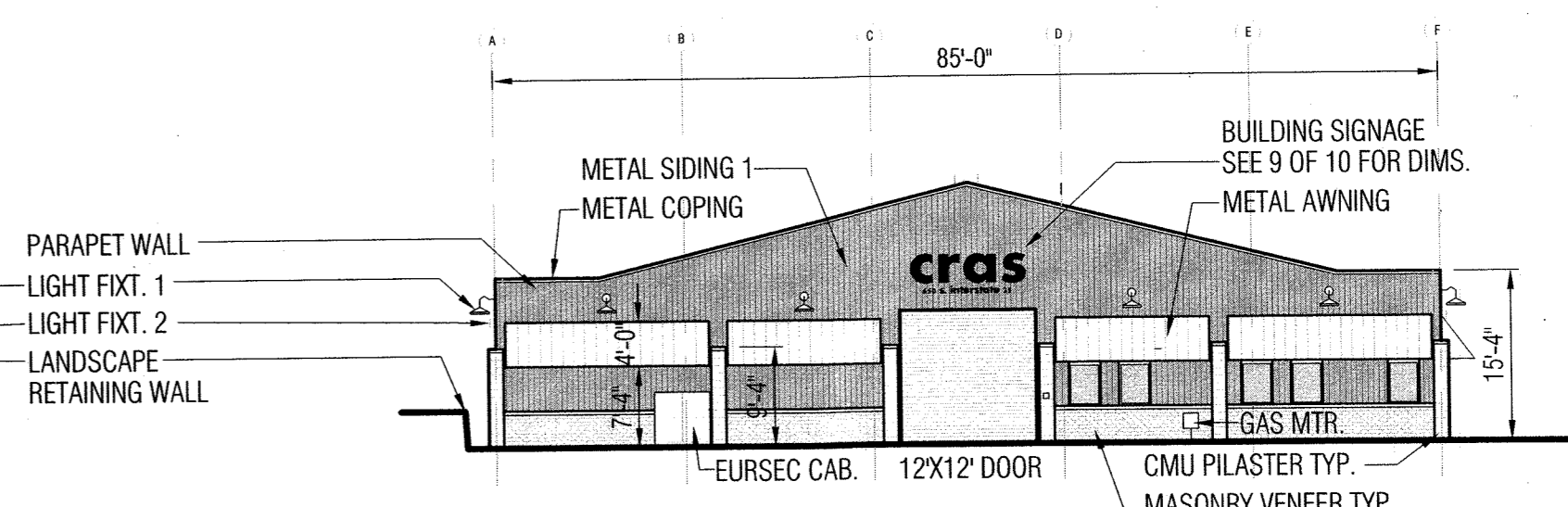
LIGHT FIXTURE 1 [EA]
12 TOTAL TMS LIGHTING / FULL CUT-OFF



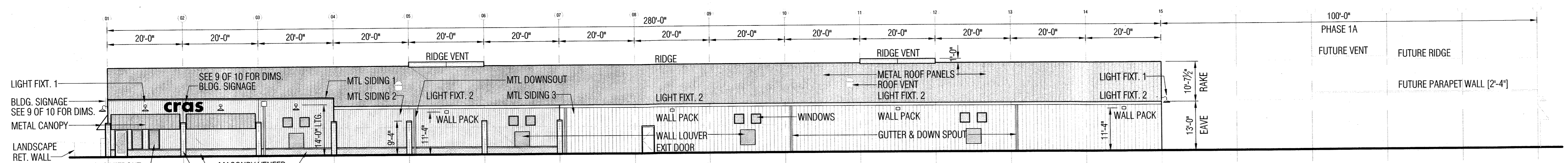
CROSS SECTION
SCALE: 1/16"=1'-0"



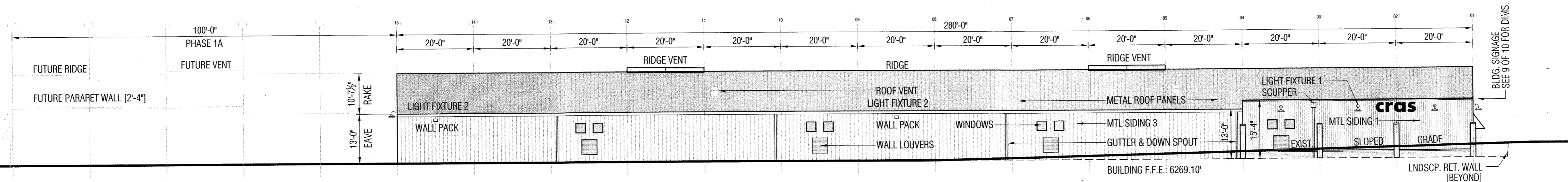
EAST ELEVATION
SCALE: 1/16"=1'-0"



WEST ELEVATION [S Interstate-25]
SCALE: 1/16"=1'-0"



SOUTH ELEVATION
SCALE: 1/16"=1'-0"



NORTH ELEVATION
SCALE: 1/16"=1'-0"

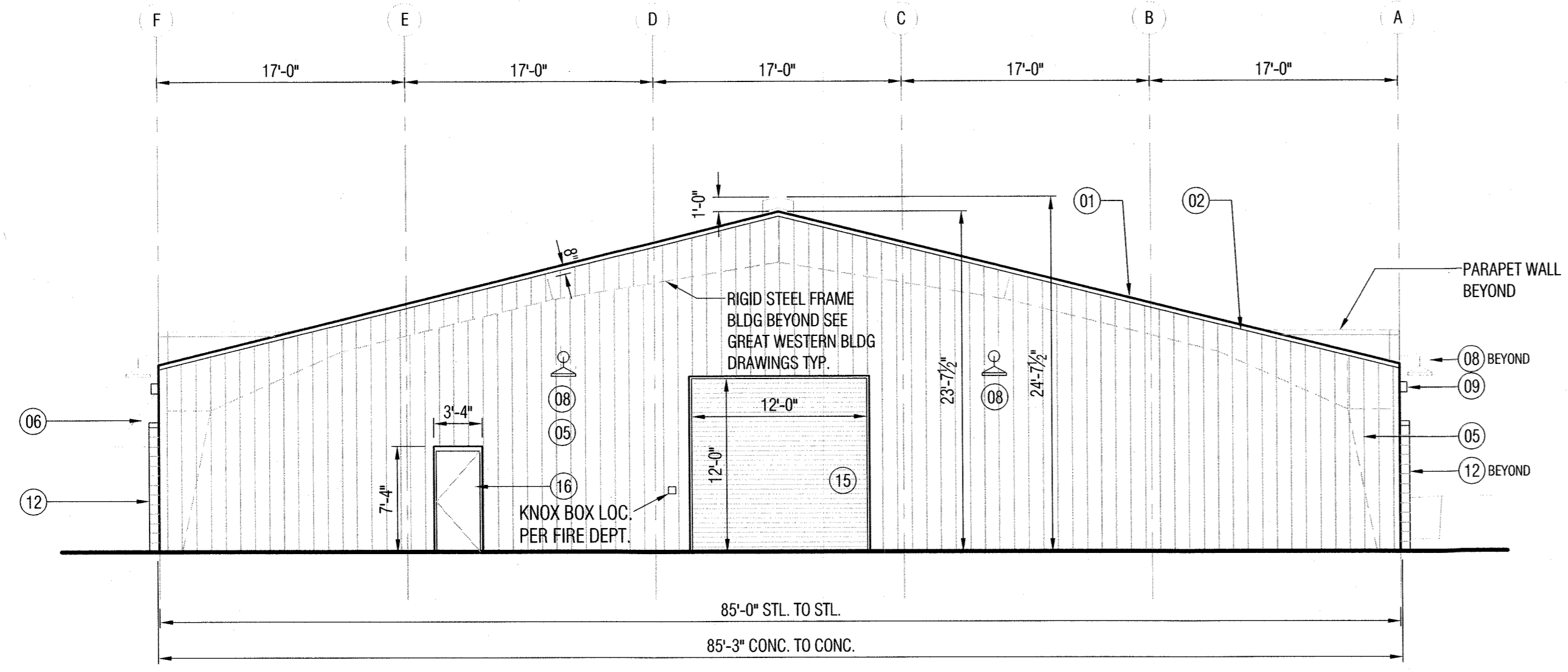
SITE DEVELOPMENT PLAN

YOUR STORAGE CENTER AT CASTLE ROCK

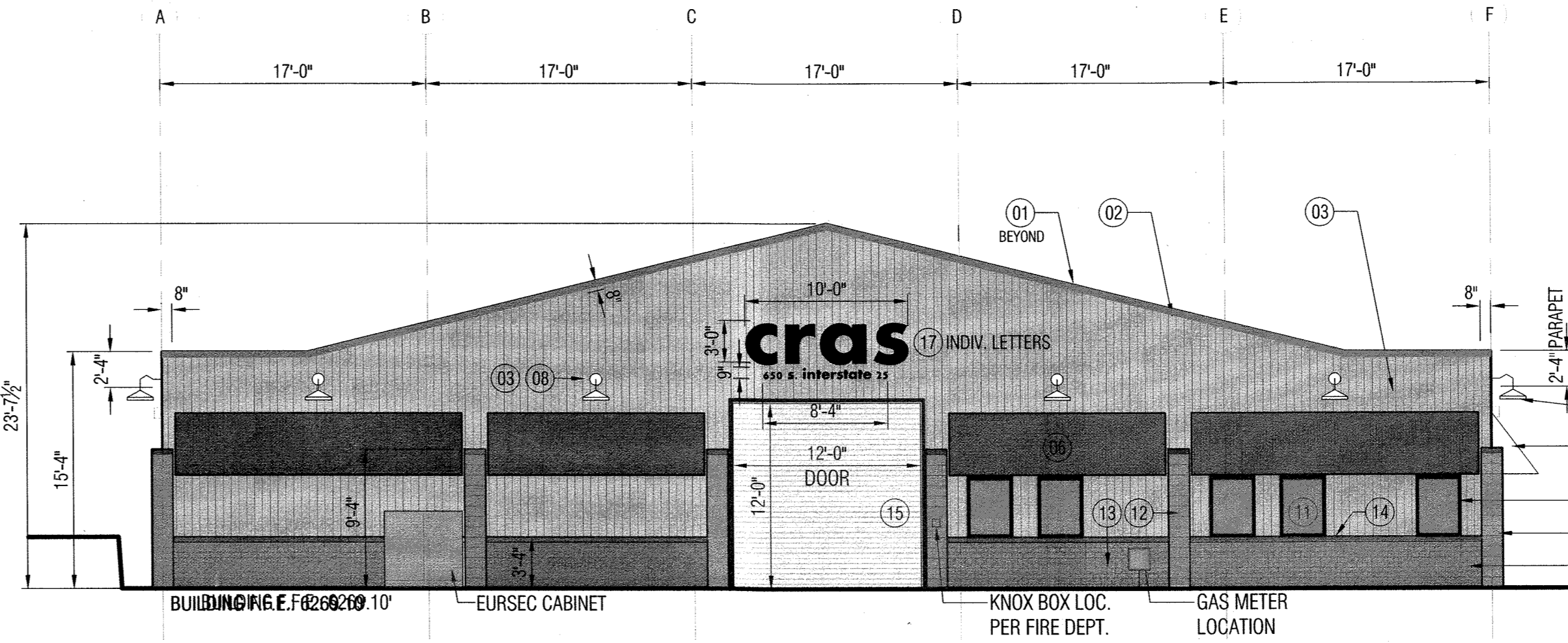
LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATERIALS LEGEND (00)

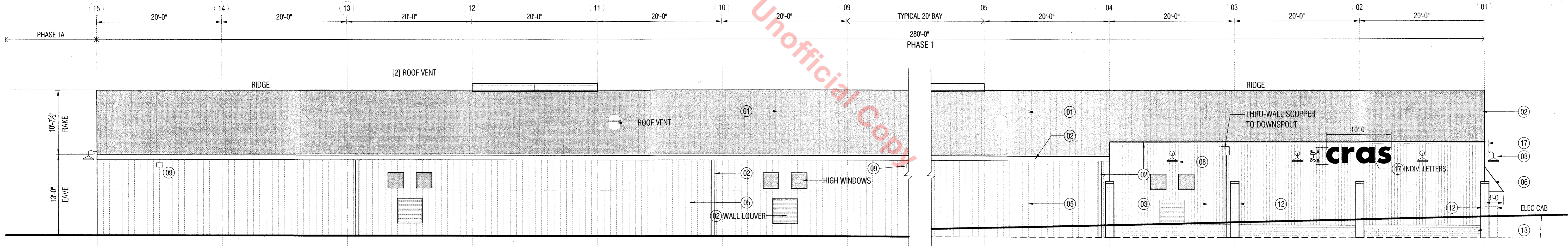
01	METAL ROOF PANEL (INSULATED) COLOR:	ASH GRAY
02	GREAT WESTERN BUILDING METAL COPING/GUTTERS/ONSPT COLOR:	DARK BRONZE
03	METAL WALL PANEL (VERTICAL) COLOR 1:	CHARCOAL GRAY
04	GREAT WESTERN BUILDING METAL WALL PANEL (VERTICAL) COLOR 2:	SADDLE TAN
05	GREAT WESTERN BUILDING METAL WALL PANEL (VERTICAL) COLOR 3:	LIGHT STONE
06	METAL AWNING COLOR:	RUSTIC RED
07	GREAT WESTERN BUILDING LANDSCAPE CMU BLOCKS	TAN
08	ST VRAIN BLOCK CO. PARAGON MESQUITE GRAVITY WALL BLOCK	
09	LIGHT FIXTURE 1 (LED BARN LAMP) COLOR:	DARK BRONZE
10	TMS LIGHTING LIGHTING WALL LIGHT	
11	LIGHT FIXTURE 2 (WALL PACK) COLOR:	DARK BRONZE
12	BARRON LIGHTING LED WALL PACK	
13	ALUM. STOREFRONT ENTRY MODEL/COLOR:	DARK BRONZE
14	KAWNEER 451T	
15	ALUM. WINDOWS SYSTEM COLOR:	DARK BRONZE
16	KAWNEER 451T (INSUL. TINTED, LOW-E GLAZING)	
17	CMU PILASTERS COLOR:	TAN (PAINT TO MATCH RET. WALL)
18	ST VRAIN BLOCK CO. LIGHTWEIGHT BLOCK, 16X8X8	
19	BRICK VENEER (TYPICAL SIZE) COLOR:	DARK SANDSTONE
20	RIO GRANDE / ENDICOTT PRECAST CONCRETE WALL CAP COLOR:	TAUPE
21	CBB CULTURED STONE	
22	12X12 OVERHEAD DOOR COLOR:	ASH GREY
23	INSUL. H.M. SWING DOOR & FRAME COLOR:	DARK BRONZE
24	CD (PAINTED)	
25	BLDG. SIGNAGE (STAND-OFF LETTERS) MATL./COLOR:	ALUM. INDIVIDUAL LETTERS MAX. HT. 36" ADDRESS: MAX. HT. 12" NON-LIT (UNDER SEP. PERMIT)



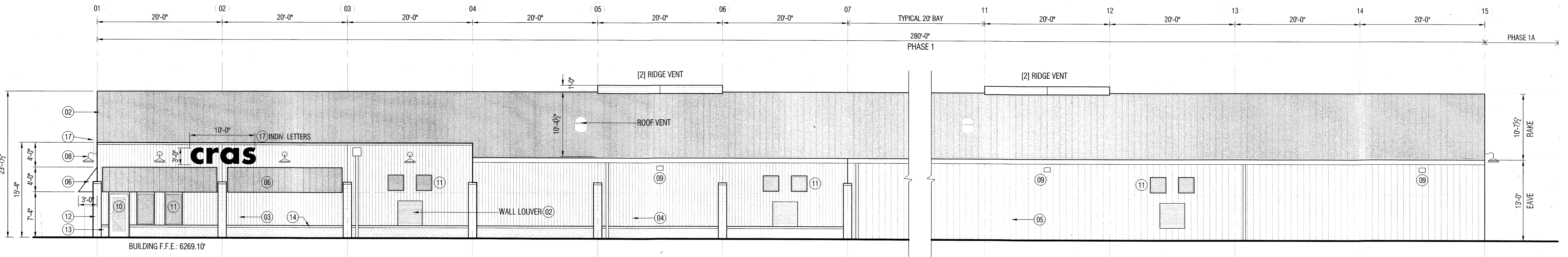
EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION [S Interstate-25]
SCALE: 1/8"=1'-0"

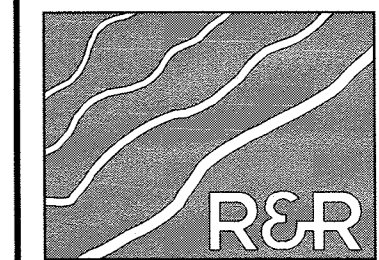


PARTIAL NORTH ELEVATION
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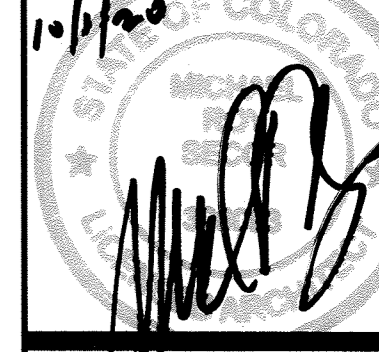
PARTIAL SOUTH ELEVATION
SCALE: 1/8"=1'-0"

REVISION NO.	BY	DATE
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4TH SUBMISSION		07/08/20
5TH SUBMISSION		07/31/20
6TH SUBMISSION		09/15/20



ENGINEERS SURVEYORS
R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
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WWW.RRENINEERS.COM



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PREPARED FOR: JTMS INVESTMENTS, LLC
4833 FRONT ST. UNIT B #225
CASTLE ROCK, CO 80104

JOB NO: JT19133
DATE: 1/24/2020
DRN: ESJ CHW RSD
NAME:

BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN
YOUR STORAGE CENTER AT CASTLE ROCK
 LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
 OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LUMINARY SUMMARY TABLE					
ID	TYPE	NUMBER	IESNA CUTOFF CLASSIFICATION	LUMENS	HEIGHT ABOVE GRADE (FT.)
LIGHT FIXTURE 1	JAZZ WALL 33W-O-15LED-40K-120V-WM-F33-G3	12	FULL	4000	14'-0"
LIGHT FIXTURE 2	E110X-45-VS-4K-XX	6	FULL	6,100	11'-4"
LIGHTED BOLLARD	KIM LIGHTING #GEM1-36L-4X-UV-DB	1	N/A	2,349	3'-5 1/2"

LEGEND

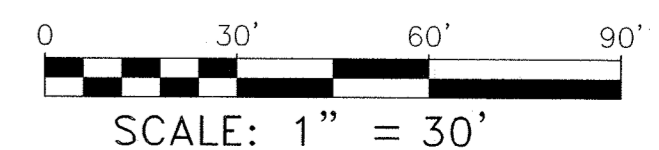
- PROPERTY LINE
- - - PROPOSED SETBACK
- - - EXISTING SECTION LINE
- - - EXISTING/PROPOSED EASEMENT
- ==== PROPOSED CURB AND GUTTER
- - - EXISTING FEMA FLOOD ZONE
- ==== PROPOSED WALL
- - - PROPOSED ADA ROUTE
- - - EXISTING ROAD CENTER LINE
- - - PROPOSED FENCE
- x x x PROPOSED ADA STRIPING
- o o o PROPOSED SITE LIGHTING

**GENERAL LIGHTING PLAN
 STANDARD NOTES**

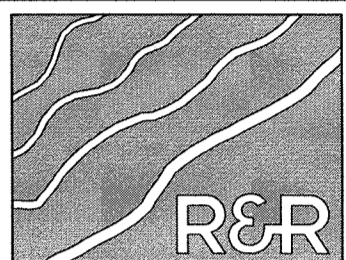
1. THE PRIMARY LIGHTING OBJECTIVE ALONG THE BUILDING FACE IS FOR THE SAFETY OF BOTH EMPLOYEES AND CUSTOMERS. THE PRIMARY LIGHTING OBJECTIVE FOR ENTRY GATE LIGHTING IS AS A COURTESY TO CUSTOMERS ENTERING THE FACILITY AND TO AID THE FIRE DEPARTMENT SHOULD ACCESS BE REQUIRED DURING POORLY LIT CONDITIONS.
2. LIGHTING OPERATION SHALL COINCIDE WITH NATURAL SUNLIGHT AND DARKNESS PATTERNS BY MEANS OF PHOTOCELLS.
3. ADJACENT PROPERTIES WILL NOT BE AFFECTED BY THE PROPOSED SITE LIGHTING.
4. THERE ARE NO PROPOSED FORWARD THROW (TYPE IV) DISTRIBUTIONS, POLE MOUNTED LIGHTS, AND UNSHIELDED WALL PACKS.

BASIS OF BEARING:
 BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 15. SAID LINE BEARS SOUTH 0°07'16" EAST, AND IS MONUMENTED AT THE SOUTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 22100 1986" AND IS MONUMENTED AT THE NORTH END BY A FOUND REBAR WITH 3.25" ALUMINUM CAP STAMPED "PLS 25381 2012".

BENCHMARK:
 ELEVATIONS ARE BASED ON NGS POINT Y396 BEING A ROD IN BOX HAVING A RECORDED ELEVATION OF 6276.49 FEET.



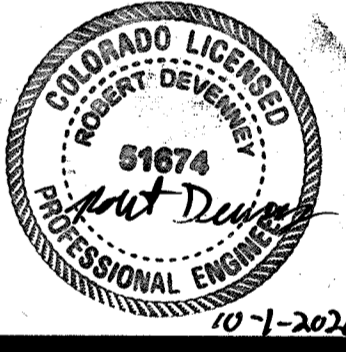
REVISION NO.	BY	DATE
2ND SUBMISSION		04/24/20
3RD SUBMISSION		06/10/20
4TH SUBMISSION		07/08/20
5TH SUBMISSION		07/31/20
6TH SUBMISSION		08/15/20



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CASTLE ROCK AUTO STORAGE

CASTLE ROCK AUTO STORAGE
 SITE ADDRESS: 650 S. INTERSTATE 25
 CASTLE ROCK, CO 80104
 PREPARED FOR: JTMS INVESTMENTS, LLC
 4833 FRONT ST. UNIT B #225
 CASTLE ROCK, CO 80104

JOB NO. JT19133
 DATE 1/24/2020
 DRN ESJ CHK RSD
 NAME

GENERAL LIGHTING PLAN

9 OF 10

SITE DEVELOPMENT PLAN

DATE: 1/24/2020 11:54:03 AM BY: LIZ JONES

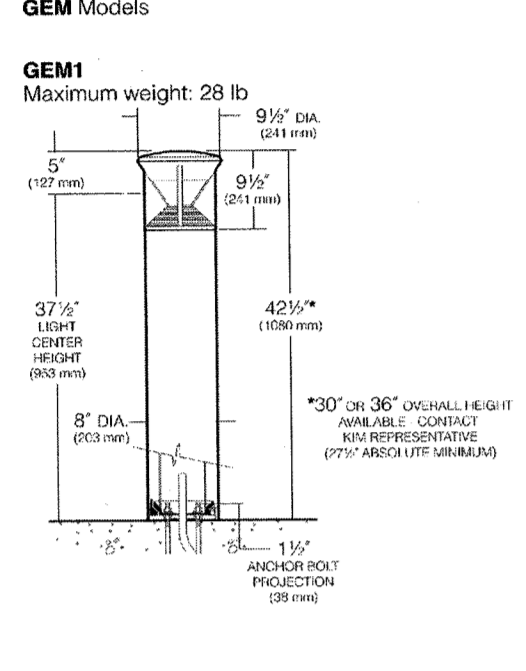
SITE DEVELOPMENT PLAN
YOUR STORAGE CENTER AT CASTLE ROCK
LOCATED IN THE SE 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH, RANGE 67 WEST,
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

KIMLIGHTING

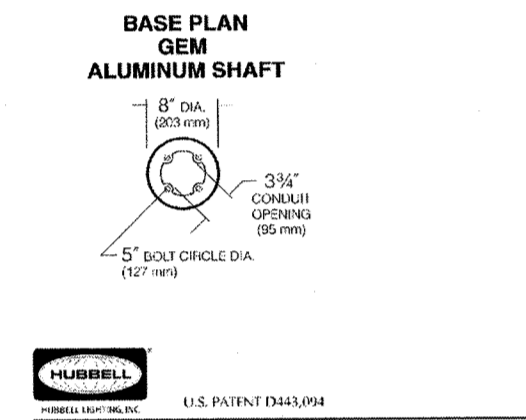
GEM1 LED Performance Bollard
Aluminum Shaft
revision 5/31/18 • kl_gem1led_spec.pdf

Type:
Job:
Catalog number:
Date: 1 of 4

Specifications



Top Cap: Die-cast, low copper (< 0.6% Cu) aluminum secured to rib body by captive stainless steel allen cap screws. For lamp access, allen screws shall not require complete removal.
Supports: Die-cast, low copper (< 0.6% Cu) aluminum supports secured in place as a complete cage assembly. The top section provides a cutoff lamp compartment. The supports are secured to the shaft by four stainless steel tie rods.
Reflector: Thermally tempered soda lime glass sealed with silicone gaskets top and bottom.
Shaft: One-piece aluminum extrusion, .125" minimum wall thickness, with a heavy cast aluminum anchor base concealed within the shaft. Hex socket stainless steel set screws shall lock the shaft onto the cast frangible anchor base.
LED Optical System: A total of 9 mid power LED emitters configured in a rectangular array comprised together as a module. Two (2) modules, 18 diodes for Type I version; three (3) modules, 27 diodes for Type III version; and four (4) modules, 36 diodes for Type V version. Available in 5000m Amber, 3000K, 4000K and 5000K color temperatures.
LED Driver: Universal voltage from 120 to 277V, with a $\pm 10\%$ tolerance, -40°F, starting temperature. All drivers are Underwriters Laboratories recognized.
Anchor Bolts: Four 3/4" x 10" x 7" zinc plated J-bolts, each with two nuts, washers and a rigid pressed board template.
Finish: Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat finish. Standard colors include (BL) Black, (DB) Dark Bronze, (WH) White, (PS) Platinum Silver, (SC) Stealth Gray, (LG) Light Gray, and (CC) Custom Color (include RAL #).
Listed to: UL 1598 Standard for Luminaires - UL 8750 Standard for Safety for Light Emitting Diode (LED) Equipment for use in Lighting Products and CSA C22.2 252.0 Luminaires.
Warranty: Kim Lighting warrants Bollard LED products sold by Kim Lighting to be free from defects in material and workmanship for (i) a period of five (5) years for metal parts, (ii) a period of five (5) years for LED Light Engines and, (iv) a period of five (5) years for LED power components (driver, surge protector and LifesShield® device), from the date of sale of such goods to the buyer as specified in Kim Lighting shipment documents for each product.
CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.
KIM LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.



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GEM1 LED Performance Bollard
Aluminum Shaft
revision 5/31/18 • kl_gem1led_spec.pdf

Type:
Job:
Page: 2 of 4

Standard Features

Electrical Module
LED - Light Emitting Diode
Finish
Top Cap
Aluminum Riser (Shaft)
0-10V Dimming Interface

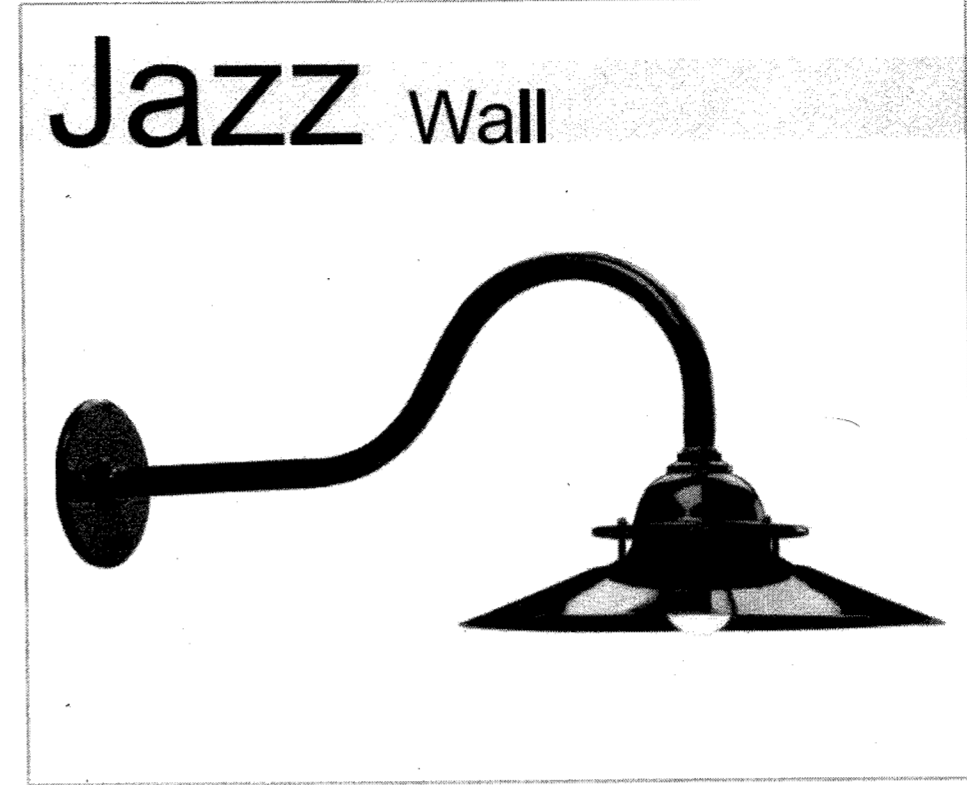
KIMLIGHTING

GEM1 LED Performance Bollard
Aluminum Shaft
revision 5/31/18 • kl_gem1led_spec.pdf

Type:
Job:
Page: 3 of 4

Optional Features

Housings Shield
Battery Back-up
Optional Duplex
Receptacle



- Features
Highly efficient reflector with uniform distribution and cut-off
Lightweight construction for easy installation and less structural stress
Practical and aesthetic options for application and design flexibility
Quality components combined with the most current technology for high efficiency and reduced lighting costs

Applications
The Jazz wall is ideal for illuminating areas where localized distribution is necessary, such as doorways and entrances, laneways, and could provide adequate nighttime security lighting. It lends itself to commercial, and industrial applications that could benefit from materials and maintenance cost reductions.
Jazz is also available as a pendant.

TMSLIGHTING
ESTABLISHED 1923

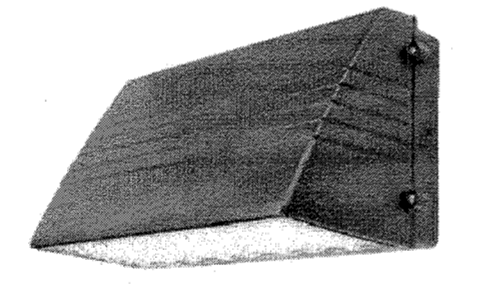
Construction
High grade spun aluminum reflector (12/305 mm dia.), and aluminum conduit (1/2" NPT), with stainless steel mounting hardware.
Lamp
Operates with Cree™ LED (15W max.), compact fluorescent (32W max.), metal halide (100W max.), or incandescent (150W max.). Specify 3000K, 3500K or 4000K CCT for LED systems.
Note: LED systems operate with 120-277V supply voltage only. Incandescent and metal halide systems use a medium base socket (E26). LED modules do not require a socket, and are wired directly to the integral driver.
Diffuser
Globe: clear and prismatic, elongated, glass globes are available. Lens: the clear, flat lens provides slight diffusion, and protects any components located in the reflector.
Note: G3 is used with 100IN, 32CF, and 15LED max. Only prismatic globes are compatible with LED systems.
Ballast / LED Driver
Ballasts and LED drivers are electronic, and available for integral and remote mounting, indoor or outdoor.
The LED source is controlled by an advanced electronic driver that delivers consistent power.
Ballast are integral and electronic. They are efficient with a high power factor greater than 90%, and quiet with an "A" sound rating.
Surge Suppressor
All 120V, 277V, and universal voltage fixtures are protected by a 6kV surge suppressor.
The LED dimming option is the 0-10V type, with pulse width modulation (PWM), and current sinking control.
CF dimming options include the Mark 7 ® (0-10V), Mark 10 ® (line voltage), DALI (addressable), or Ecosystem ®.
Note: Use a current-sinking dimming system (by others) for LED dimming. The dimming option is not available with 347V systems, or for outdoor CF applications.
Compatibility of this product is not guaranteed with all control systems.

UL IP55 CE

E110X Series

Architectural LED Trapezoidal Wallpack

DESCRIPTION
The E110X Series is a traditional full cutoff geometric sconce designed for uniform light control and distribution. Its die-cast aluminum construction provides ideal thermal management, lumen packages from 3550 to 12,200 are available in 3000K, 4000K, and 5000K CCT with a Type III distribution. This product offers project flexibility with photocell, integral motion sensor and battery backup options. The E110X is PREMIUM DLC Qualified for maximum energy savings and utility rebates. The architectural family is offered in two housing sizes to complement new construction or retrofit applications, accommodating mounting heights up to 30".



Specifications
Construction
Unfaded, heat resistant polycarbonate lens
EnergyStar ballast maximizes heat dissipation for longer LED life
Hinged back box facilitates drivers from LEDs and offers easy access to drivers
Back box includes three conduit entry points (one top and two on the sides) as well as a knockout on the bottom for optional sensor

Table with columns: Model, Wattage, CCT, Distribution, Lumen Output (lumens), Efficacy

Optical LEDs
No uplight design to minimize light pollution
27W to 90W LED module replaces 100W to 400W HID for up to 70% energy savings
Efficacies up to 139 LPW maximize utility rebates
Type III distribution
Available in 3000K, 4000K and 5000K CCT
70,000 hours L70
Electrical
120-277VAC, 50/60Hz
1-10V Dimming driver

Testing & Compliance
UL Listed for Wall Luminaires
DesignLights Consortium® (DLC) PREMIUM Qualified (control: CPL for specific models)
Operating temperatures: -40°F to 45°C (40°F to 113°F)

Installation
Housing hinges to back box for easy installation
Back box accommodates conduit entry as well as optional sensor
Mounts to a standard 3-1/2" or 4" square electrical box
Options
Integral battery backup (BB) operates for 90 minutes, providing over 800 lumens for path of egress. Rated for ambient temperatures of 0°C to 40°C (32°F to 104°F)
Factory installed 120/277VAC bottom type photocell (PC)

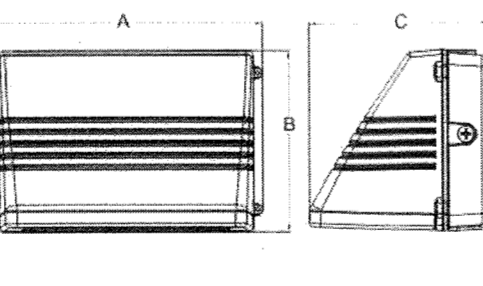


Table with columns: Model, A, B, C, D, Weight

Model: _____ Dia: _____
Accessories: _____
Job Name: _____ Type: _____ LxW: _____

TRACE-LITE
commercial & industrial lighting

Ordering Information (Example: E110X45-54-40-80)
Series, Wattage, Input Voltage, CCT, Finish, Options, Accessories (if not installed)

Performance Data table with columns: Model, Wattage, CCT, Distribution, Lumen Output (lumens), Efficacy

Sample Photography
E110X45-54-40-80
E110X45-54-40-80
E110X45-54-40-80

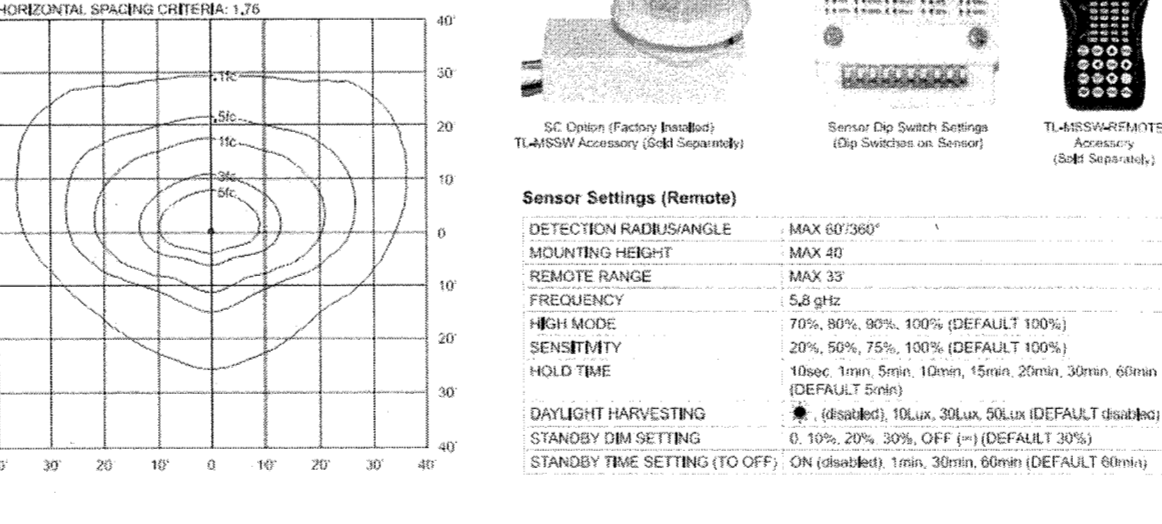


Table with columns: Model, A, B, C, D, Weight

Specifications are subject to change without notice.
Product must be performed in accordance with
Approved Lighting Fixture Installation Instructions.
10/20/2018 Rev. 2.1/19

BARRON
1285 South Glen Highway, Suite 100
Castro Valley, CA 94546
(925) 331-2460
www.barronlight.com

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Type:
Job:
Page: 4 of 4

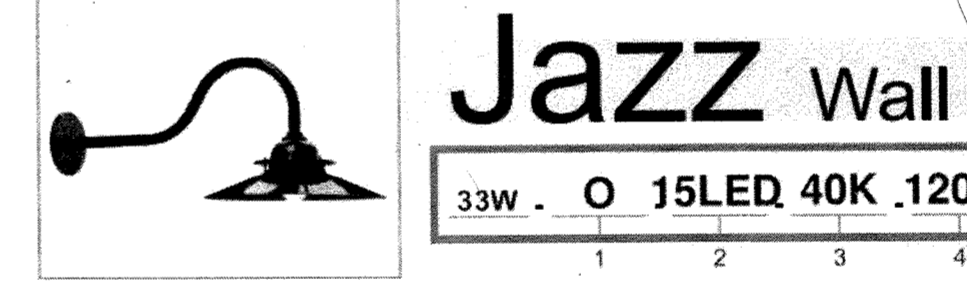
Lumen Data table with columns: Electrical Drive Current, Type 1, Type 3, Type 5

B.U.G. Rating (TM15) in Lumens where B = Backlight, U = Uplight, C = Clear

Absolute Lumens table with columns: Temperature, Type 1, Type 3, Type 5

LED performance and lumen output continues to improve at a rapid pace. Visit www.kimlighting.com to download the most current Performance Data from Kim Lighting's LED Library. For custom applications and lighting configurations, contact us.

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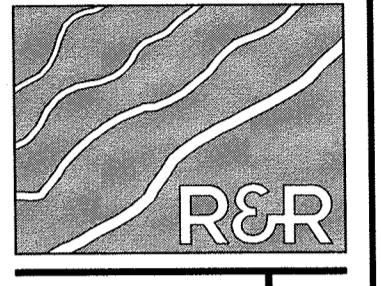
Jazz Wall
ESTABLISHED 1923

33W - O 15LED 40K 120V WM F33 - - - - - G3

Project, Type, Quantity, Notes, 1 • Location, 2 • Lamping, 3 • LED CCT (color temp.), 4 • Voltage, 5 • Ballast/Driver, 6 • Finish, 7 • Dimming, 8 • Emergency, 10 • Globes

Note: Some options may not be compatible with others. To ensure compatibility between options, please visit kimlighting.com on the "details" page of this luminaire, and use the configuration tool.

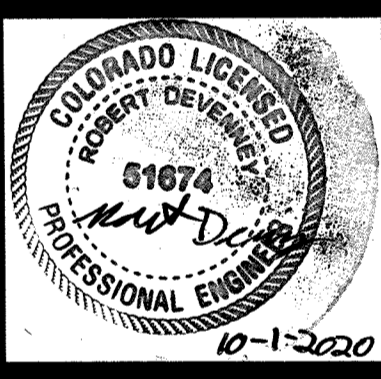
REVISION BY DATE table with columns: NO., REVISION, BY, DATE



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WWW.RENGINEERS.COM



CASTLE ROCK AUTO STORAGE
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650 S. INTERSTATE 25
CASTLE ROCK, CO 80104
PREPARED FOR: JTM INVESTMENTS, LLC
4833 FRONT ST. UNIT B # 225
CASTLE ROCK, CO 80104

JOB NO. JT19133
DATE 1/24/2020
DRN ESJ CHK RSD

LIGHTING NOTES

NO. 10 OF 10