

# PLAT IDENTIFICATION SHEET

RECEPTION #: DC01015579

DATE: 2-1-01

TIME 12:40

FEE: \$ 150<sup>00</sup> (15 P)

GRANTOR: Terrabrook Woodlands, LLC  
(OWNER/SIGNER)

UNOFFICIAL COPY  
Town of Castle Rock

GRANTEE: The Woodlands #10  
(SUBDIVISION NAME OR NAME OF PLAT)

LEGAL: 1-8-67  
(SECTION-TOWNSHIP-RANGE)

NEW SUBDIVISION ABBREV: \_\_\_\_\_

PROPERTY DESCRIPTION

A PARCEL OF LAND LYING IN SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, BOTH OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SOUTH HALF OF THE NORTHEAST QUARTER SAID SECTION 1, WHENCE THE NORTHEAST CORNER OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 1 BEARS NORTH 01°11'57" WEST, AND ALL BEARINGS ARE MADE AS A REFERENCE HEREON; THENCE ALONG THE NORTHERLY LINE OF SAID SOUTH HALF OF THE NORTHEAST QUARTER SOUTH 89°09'13" WEST 54.84 FEET TO THE WESTERLY RIGHT-OF-WAY OF MILLER BOULEVARD AS RECORDED UNDER RECEPTION NO. 8603132 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER, CASTLE ROCK, COLORADO AND THE TRUE POINT OF BEGINNING;

THENCE DEPARTING SAID SOUTHERLY LINE AND ALONG SAID WESTERLY RIGHT-OF-WAY SOUTH 01°12'22" EAST 85.00 FEET; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY SOUTH 89°09'13" WEST 374.26 FEET; THENCE SOUTH 00°50'47" EAST 243.88 FEET; THENCE SOUTH 08°09'57" EAST 112.52 FEET; THENCE SOUTH 02°47'59" EAST 263.23 FEET; THENCE SOUTH 39°02'09" EAST 277.99 FEET; THENCE SOUTH 00°46'24" EAST 254.12 FEET; THENCE NORTH 89°13'32" EAST 201.12 FEET; THENCE SOUTH 00°46'28" EAST 209.24 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 325.00 FEET AND A RADIAL BEARING OF SOUTH 16°42'05" WEST;

THENCE SOUTHEASTERLY ALONG SAID CURVE 62.21 FEET THROUGH A CENTRAL ANGLE OF 10°58'00"; THENCE TANGENT TO SAID CURVE SOUTH 62°19'55" EAST 27.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 20.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 31.42 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE RADIAL TO SAID CURVE SOUTH 62°19'55" EAST 40.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF SOUTH 62°19'55" EAST; THENCE SOUTHEASTERLY ALONG SAID CURVE 31.42 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE TANGENT TO SAID CURVE SOUTH 62°19'55" EAST 227.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 275.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE 37.40 FEET THROUGH A CENTRAL ANGLE OF 07°47'34" TO THE BEGINNING OF A COMPOUND CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 141.00 FEET;

THENCE EASTERLY ALONG SAID CURVE 51.97 FEET THROUGH A CENTRAL ANGLE OF 21°07'08"; THENCE TANGENT TO SAID CURVE NORTH 88°45'23" EAST 62.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 35.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 57.43 FEET THROUGH A CENTRAL ANGLE OF 94°00'30" TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 102.20 FEET AND A RADIAL BEARING OF SOUTH 84°44'53" WEST, SAID POINT BEING ALSO ON SAID WESTERLY RIGHT-OF-WAY OF MILLER BOULEVARD;

THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY AND CURVE 149.24 FEET THROUGH A CENTRAL ANGLE OF 08°21'57" TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 35.00 FEET AND A RADIAL BEARING OF NORTH 86°53'10" WEST; THENCE NORTHWESTERLY ALONG SAID CURVE 57.84 FEET THROUGH A CENTRAL ANGLE OF 94°21'27";

THENCE TANGENT TO SAID CURVE SOUTH 88°45'23" EAST 29.33 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 159.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE 80.23 FEET THROUGH A CENTRAL ANGLE OF 28°54'42";

THENCE TANGENT TO SAID CURVE NORTH 62°19'55" WEST 301.07 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE 31.42 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE RADIAL TO SAID CURVE NORTH 62°19'55" WEST 40.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 20.00 FEET AND A RADIAL BEARING OF NORTH 62°19'55" WEST;

THENCE TANGENT TO SAID CURVE SOUTH 62°19'55" WEST 27.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 275.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE 36.74 FEET THROUGH A CENTRAL ANGLE OF 07°39'18";

THENCE SOUTH 00°46'28" EAST 160.94 FEET; THENCE SOUTH 89°38'04" WEST 75.00 FEET; THENCE SOUTH 00°46'28" EAST 102.66 FEET; THENCE SOUTH 53°32'34" EAST 94.20 FEET; THENCE SOUTH 00°46'28" EAST 140.24 FEET; THENCE SOUTH 46°34'02" WEST 315.53 FEET; THENCE SOUTH 00°05'28" EAST 93.80 FEET; THENCE SOUTH 59°17'31" WEST 120.40 FEET; THENCE NORTH 90°00'00" WEST 121.39 FEET; THENCE SOUTH 51°02'59" WEST 77.86 FEET; THENCE SOUTH 01°01'39" EAST 138.76 FEET; THENCE NORTH 88°58'21" EAST 326.35 FEET TO THE NORTHWEST CORNER OF THAT PARCEL DESCRIBED IN RECEPTION NO. 945724 OF SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE WESTERLY LINE OF SAID PARCEL SOUTH 01°21'31" EAST 187.39 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL BEING ALSO ON THE SOUTHERLY LINE OF SAID NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 1; THENCE ALONG SAID SOUTHERLY LINE SOUTH 88°24'25" WEST 2507.92 FEET TO THE SOUTHWEST CORNER OF SAID NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 1; THENCE ALONG THE SOUTHERLY LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 1 SOUTH 88°40'55" WEST 833.88 FEET TO THE SOUTHEAST CORNER OF THE WOODLANDS FILING NO. 4 RECORDED UNDER RECEPTION NO. 366637 IN SAID DOUGLAS COUNTY RECORDS; THENCE DEPARTING SAID SOUTHERLY LINE AND ALONG THE EASTERLY BOUNDARY OF SAID WOODLANDS FILING NO. 4 THE FOLLOWING (2) TWO COURSES:

- 1. NORTH 00°39'30" EAST 444.46 FEET;
2. NORTH 53°14'12" EAST 346.14 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY AND ALONG THE SOUTHERLY AND EASTERLY BOUNDARIES OF THAT PARCEL OF LAND DESCRIBED IN BOOK 1042, PAGE 195 IN SAID DOUGLAS COUNTY RECORDS THE FOLLOWING THREE (3) COURSES:

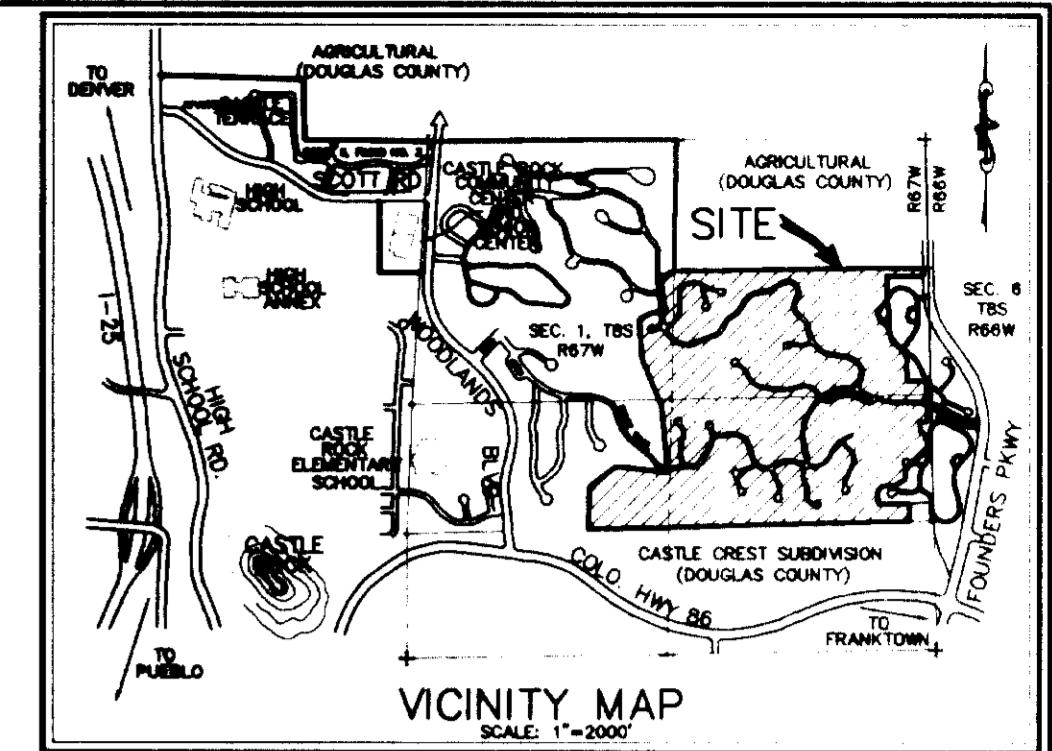
- 1. SOUTH 82°53'16" EAST 540.02 FEET;
2. NORTH 04°48'47" WEST 700.00 FEET;
3. NORTH 22°26'37" WEST 535.85 FEET TO THE MOST SOUTHERLY AND EASTERLY CORNER OF THE WOODLANDS FILING NO. 3 RECORDED UNDER RECEPTION NO. 366636 IN SAID DOUGLAS COUNTY RECORDS;

- THENCE DEPARTING SAID SOUTHERLY AND EASTERLY BOUNDARIES AND ALONG THE EASTERLY LINE OF SAID WOODLANDS FILING NO. 3, NORTH 03°43'44" WEST 412.15 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THE WOODLANDS FILING NO. 3, 1ST AMENDMENT RECORDED UNDER RECEPTION NO. 9452644 IN SAID DOUGLAS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY BOUNDARY THE FOLLOWING THREE (3) COURSES:
NORTH 59°50'20" EAST 94.78 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 243.00 FEET;
NORTHEASTERLY ALONG SAID CURVE 107.84 FEET THROUGH A CENTRAL ANGLE OF 25°25'38" TO THE BEGINNING OF A TANGENT COMPOUND CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 20.00 FEET;
EASTERLY AND SOUTHERLY ALONG SAID CURVE 31.15 FEET THROUGH A CENTRAL ANGLE OF 89°14'10" TO THE WESTERLY RIGHT-OF-WAY OF SADDLEBACK DRIVE BEING ALSO THE EASTERLY BOUNDARY OF SAID WOODLANDS FILING NO. 3;
THENCE ALONG SAID EASTERLY AND NORTHERLY BOUNDARIES THE FOLLOWING SIX (6) COURSES:
1. NON-TANGENT TO SAID CURVE SOUTH 86°30'08" EAST 50.62 FEET TO THE EASTERLY RIGHT-OF-WAY OF SAID SADDLEBACK DRIVE;
2. ALONG SAID EASTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:
NORTH 02°38'05" WEST 100.11 FEET;
3. NORTH 05°29'52" WEST 211.70 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 480.00 FEET;
4. NORTHERLY ALONG SAID CURVE 62.84 FEET THROUGH A CENTRAL ANGLE OF 07°30'05";
5. DEPARTING SAID EASTERLY RIGHT-OF-WAY NORTH 62°54'07" EAST 154.39 FEET TO THE NORTHWEST CORNER OF SAID SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1;
6. ALONG SAID NORTHERLY LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1 NORTH 89°09'13" EAST 2586.02 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 168.737 ACRES (7,350,199 SQ. FT.), MORE OR LESS.

THE WOODLANDS FILING NO. 10

A PART OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO PRELIMINARY PLAT/FINAL PD SITE PLAN SHEET 1 OF 15



CIVIL ENGINEER'S STATEMENT

I, Robert F. Kelsey, being a registered professional engineer in the state of Colorado, hereby attest that all grading, utility and drainage improvements identified on this preliminary plat have been designed and engineered in accordance with all town of Castle Rock public works standards.

ROBERT F. KELSEY
COLORADO REGISTERED PROFESSIONAL ENGINEER NO. 31697
1/11/01 DATE

SURVEYOR'S STATEMENT

I, C. Rey Tenney, being a registered land surveyor in the state of Colorado, do hereby attest that the graphic boundary depicted on this preliminary plat is a true and accurate representation of the officially recorded legal description. Furthermore, I do hereby attest that this preliminary plat is in conformity with the town of Castle Rock and state of Colorado public works standards and regulations.

C. REY TENNEY
COLORADO REGISTERED LAND SURVEYOR NO. 17666
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
1/08/01 DATE

ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, AZTEC CONSULTANTS, INC. RELIED UPON TITLE INSURANCE COMMITMENT NO. P1418105 PREPARED BY LAND TITLE GUARANTEE CO., DATED 12/09/99.

TITLE CERTIFICATE

I, Eric Sloops, being a authorized representative of Land Title Guarantee, a title insurance company licensed to do business in the state of Colorado, have made an examination of the public records and state that all owners, mortgagees and lienholders of the property are listed in the certificate of ownership and dedication.

SIGNED THIS 17th DAY OF January, 2001.

AUTHORIZED REPRESENTATIVE

Eric Sloops
Land Title Guarantee
TITLE INSURANCE COMPANY

PLANNING COMMISSION RECOMMENDATION

THIS PRELIMINARY PLAT/FINAL PD SITE PLAN AS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 13th DAY OF November, 2000.

Rolland
CHAIRMAN
2/16/2001 DATE

ASSET:
Planning and Development Director
2/15/01 DATE

STATEMENT OF TOWN COUNCIL APPROVAL

THIS PRELIMINARY PLAT/FINAL PD SITE PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, THE 14th DAY OF December, 2000.

ATTEST: TOWN OF CASTLE ROCK

Sally Misau
TOWN CLERK
2/16/2001 DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:00 PM ON THE 14th DAY OF March, 2000, BY DEBORAH...

DOUGLAS COUNTY CLERK AND RECORDER

BY: Sheryl Munkel
DEPUTY

AS APPROVED

Mr. [Signature]
CASTLE ROCK COMMUNITY DEVELOPMENT DEPARTMENT
2-16-01 DATE

LAND USE SUMMARY TABLE:

Table with columns: GROSS AREA, NET AREA (LOTTED AREA), TOTAL TRACT AREA, AREA OF PUBLIC STREET DEDICATION, TOTAL NUMBER OF LOTS, DEVELOPMENT ZONE B, DEVELOPMENT ZONE C, DEVELOPMENT ZONE D, DEVELOPMENT ZONE E, DEVELOPMENT ZONE F, TOTAL OSD AREA, TOTAL PLD AREA, TOTAL PRIVATE OPEN SPACE AREA, TRACT A (PRIVATE OPEN SPACE), TRACT B (PRIVATE OPEN SPACE), TRACT C (PRIVATE OPEN SPACE, DETENTION), TRACT D (OSD-1), TRACT E (PRIVATE ACCESS/UTILITY ESMT.), TRACT F (PRIVATE OPEN SPACE), TRACT G (PRIVATE OPEN SPACE), TRACT H (PRIVATE OPEN SPACE), TRACT I (PRIVATE OPEN SPACE), TRACT J (PRIVATE OPEN SPACE), TRACT K (OSD-2), TRACT L (PRIVATE OPEN SPACE), TRACT M (PRIVATE OPEN SPACE, DETENTION), TRACT N (PLD-2 & UD), TRACT O (PRIVATE OPEN SPACE), TRACT P (PRIVATE OPEN SPACE), TRACT Q (PRIVATE ACCESS/UTILITY ESMT.), TRACT R (OSD-3), TRACT S (PRIVATE OPEN SPACE), TRACT T (PRIVATE ACCESS/UTILITY ESMT.), TRACT U (PRIVATE ACCESS/UTILITY ESMT.), TRACT V (PRIVATE OPEN SPACE), TRACT W (PRIVATE OPEN SPACE).

OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE WOODLANDS FILING NO. 10 SUBDIVISION IN THE TOWN OF CASTLE ROCK.

OWNER TERRARBROOK WOODLANDS, L.L.C.

OWNER TOWN OF CASTLE ROCK
SIGNED THIS 16th DAY OF January, 2001

THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF JAN, 2001, BY DEBORAH...
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 12-30-04

OWNER TOWN OF CASTLE ROCK
SIGNED THIS 1st DAY OF March, 2001

THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF March, 2001, BY AL PARKER, MAYOR
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 9-21-03

GENERAL NOTES:

- 1. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE 10 FOOT UTILITY EASEMENT ALONG THE FRONT LOT LINE. UTILITY EASEMENTS ARE FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TV LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.
2. ALL RIGHT-OF-WAY RETURN RADII SHOWN HEREON ARE 20 FEET, UNLESS OTHERWISE NOTED.
3. ZONING ON PROPERTY:
EXISTING - SINGLE FAMILY DETACHED (R-SF-2,R-SF-3.5)
PROPOSED - SINGLE FAMILY DETACHED (R-SF-2,R-SF-3.5)
4. BEARINGS ARE BASED UPON THE EAST LINE OF THE NORTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SECTION 1, SAID LINE BEARS N. 01°11' 57" W. AND IS MONUMENTED AS SHOWN HEREON.
5. PROPOSED SETBACKS (MAY BE REDUCED ADMINISTRATIVELY AFTER FIELD REVIEW BY THE TOWN AND DEVELOPER BASED UPON THE ACTUAL BUILDING FOOTPRINT DURING INDIVIDUAL LOT PLOT PLAN PREPARATION TO PRESERVE EXISTING VEGETATION AND TREES)
FRONT 20' FROM RIGHT OF WAY (TYPICAL)
10' (SIDELOAD GARAGE)
10' (LOT GRADE 5%-25% AWAY FROM ROAD)
REAR 15' (TYPICAL)
5' (WHERE LOT ABUTS TRACT)
SIDE 5' (WITH 15' MIN. BETWEEN STRUCTURES)
6. NO FEMA REGULATED FLOODPLAIN EXIST ON THIS SITE.
7. THIS DEVELOPMENT IS IMPACTED BY TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION ZONE. RIDGELINE ZONES ARE IDENTIFIED ON THE FINAL PD SITE PLAN. TOWN ORDINANCE 99-15 WILL BE ADHERED TO FOR MITIGATION PROCEDURES.
8. SHARED ACCESS DRIVEWAYS WILL BE REQUIRED FOR LOTS 13, 14, AND 16, BLOCK 2; LOTS 25, 26 AND 27, BLOCK 3; LOTS 4 THROUGH 8, BLOCK 5; AND LOTS 5, 6, AND 7, BLOCK 6. APPROPRIATE SHARED ACCESS EASEMENTS AND UTILITY EASEMENTS OVER THE HOA OWNED AND MAINTAINED TRACTS WILL BE DEDICATED BY FINAL PLAT FOR THESE LOTS.
9. TRACTS IDENTIFIED AS PRIVATE OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE HOA. TRACTS IDENTIFIED AS PRIVATE ACCESS AND UTILITY TRACTS SHALL ALSO BE OWNED AND MAINTAINED BY THE HOA, WITH THE APPROPRIATE UTILITY EASEMENTS DEDICATED ON THE FINAL PLAT. TRACTS IDENTIFIED AS OPEN SPACE OR PUBLIC LAND DEDICATION SHALL BE OWNED AND MAINTAINED BY THE TOWN OF CASTLE ROCK.
10. TRAIL LOCATIONS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE DURING FINAL DESIGN.
11. REFER TO THE LSAR DOCUMENT FOR TREE MITIGATION INFORMATION.
12. A VARIANCE FROM THE TOWN OF CASTLE ROCK STANDARD STREET CROSS-SECTIONS HAS BEEN APPROVED FOR THIS SITE WITH THE PRELIMINARY PD. ALL ROADWAYS WITHIN FILING 10 WILL BE POSTED AS FIRE LANES ON ONE SIDE ONLY, AS REQUIRED BY THE FIRE DEPARTMENT.
13. THE 3.17 ACRE PLD-1 PARCEL ALONG THE WEST SIDE OF WOODLANDS BOULEVARD SHOWN ON THE PRELIMINARY PD WILL BE DEDICATED TO THE TOWN BY SEPARATE DOCUMENT UPON APPROVAL OF FINAL PLAT FOR FILING 10.
14. BUILDING ENVELOPES SHOWN FOR LOTS 1-4, BLK 1; LOTS 1-26, BLK 2; AND LOTS 1-55, BLK 3 ARE APPROXIMATE AND MAY BE ADJUSTED ADMINISTRATIVELY AFTER FIELD REVIEW BY THE TOWN AND DEVELOPER DURING PLOT PLAN PREPARATION TO REDUCE IMPACT TO EXISTING VEGETATION AND TREES. AREAS WITHIN THE LIMITS OF OVERLOT GRADING AND/OR BETWEEN ENVELOPES AND FRONT RIGHT OF WAYS MAY BE DISTURBED WITH GRADING, UTILITY, AND HOME CONSTRUCTION.
15. REFER TO SHEETS 14-15 FOR PROPOSED ENTRY SIGNS, AS WELL AS, THE PROPOSED FENCING LOCATIONS AND DESIGN CRITERIA FOR TRACT L (MTN. PARK) AND THE BUILDING ENVELOPES. DESIGN GUIDELINES WILL BE DEVELOPED FOR THIS PROPERTY.

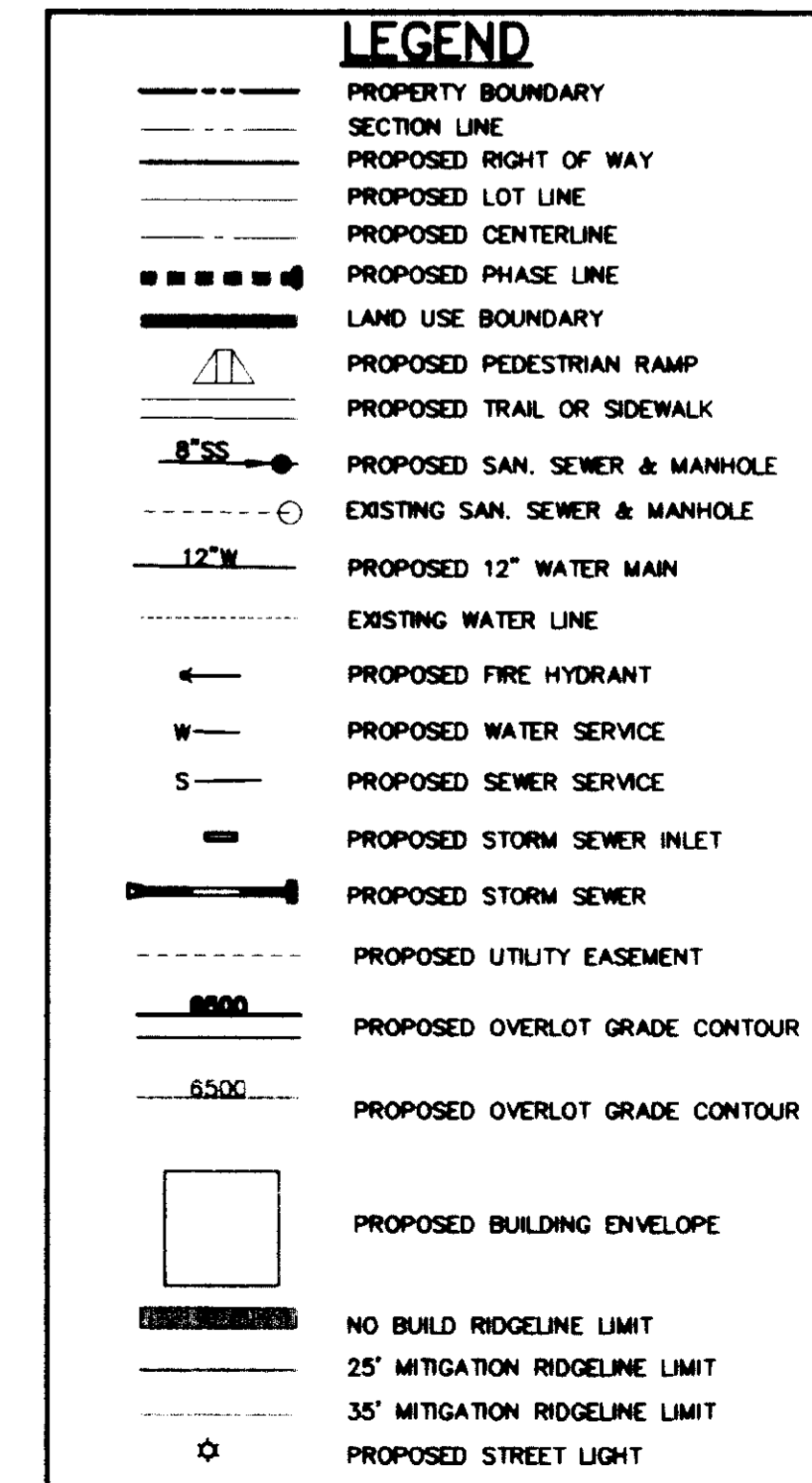
OWNER:
TERRARBROOK WOODLANDS, L.L.C.
WESTERLY MGMT., AUTH. REP.
304 INVERNESS WAY SOUTH
SUITE 165
ENGLEWOOD, COLORADO 80112
(303) 706-7865
CONTACT: BRUCE O'DONNELL

LAND PLANNER:
NUSZER-KOPATZ
1129 CHEROKEE STREET
DENVER, COLORADO 80204
(303) 534-3881
CONTACT: CRAIG KARN

SURVEYOR OF RECORD:
AZTEC CONSULTANTS, INC.
7200 EAST DRY CREEK ROAD
SUITE C-102
ENGLEWOOD, COLORADO 80112
(303) 713-1898
CONTACT: C. REY TENNEY

CIVIL ENGINEER:
PEAK CIVIL CONSULTANTS
2525 BROADWAY, SUITE 210
DENVER, COLORADO 80211
(720) 855-3859
CONTACT: BOB KELSEY

J. L. KING
NOTARY PUBLIC
STATE OF COLORADO



SHEET INDEX

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8-10 PRELIMINARY OVERLOT GRADING PLAN
11-13 TREE CONSERVATION & MITIGATION PLAN
14-15 PRELIMINARY LANDSCAPE PLAN & DETAILS

THE WOODLANDS FILING NO. 10 PRELIMINARY PLAT/FINAL PD SITE PLAN SHEET 1 OF 15 Date Prepared: 01/05/01

PEAK CIVIL CONSULTANTS
CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES
2525 16TH STREET, SUITE 210
DENVER, COLORADO 80211
(720) 855-3859 (720) 855-3860 fax
Email: peakcivil@wananet.att.net

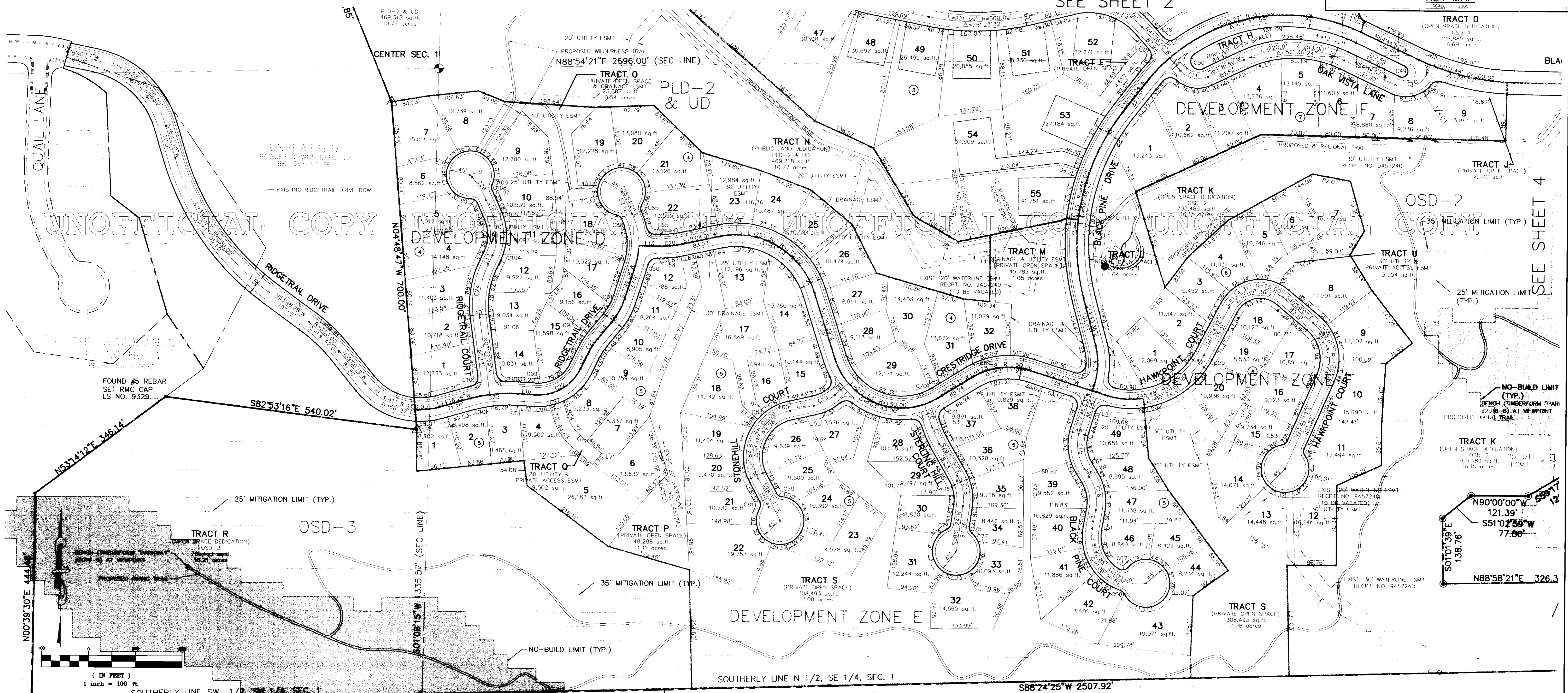
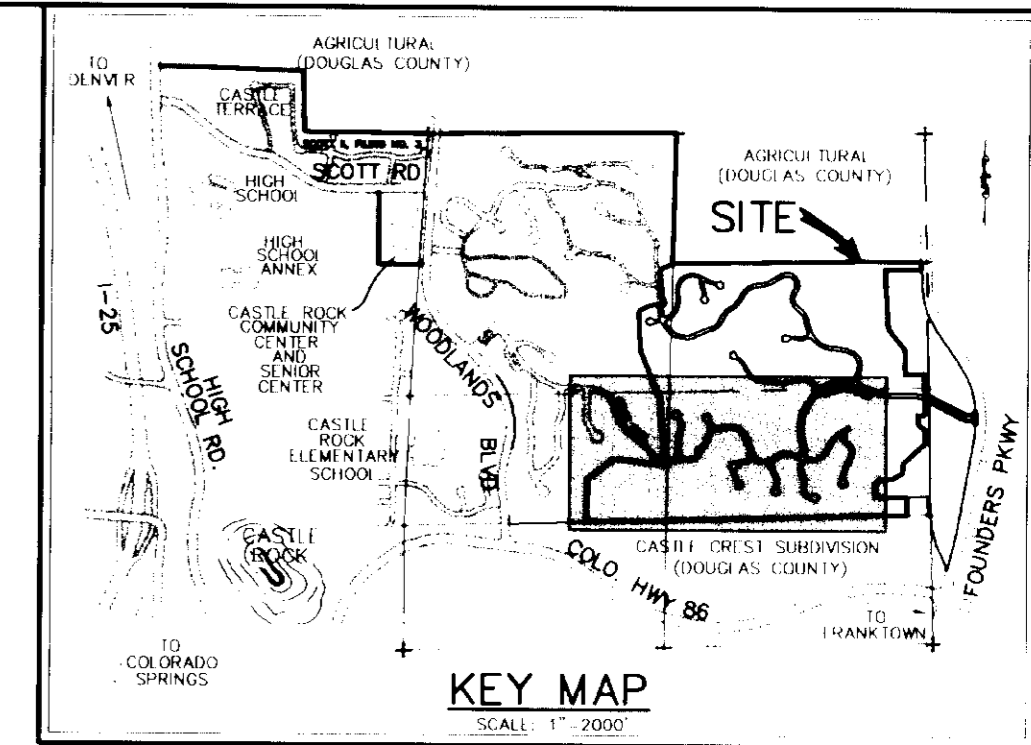


# THE WOODLANDS FILING NO. 10

A PART OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 PRELIMINARY PLAT/FINAL PD SITE PLAN

SHEET 3 OF 15

SEE SHEET 2



UNOFFICIAL COPY

(IN FEET)  
 1 inch = 100 ft

- LEGEND**
- ▲ FOUND PIN AND CAP MARKED "LS 16409", UNLESS NOTED OTHERWISE.
  - FOUND 5/8" REBAR WITH PLASTIC CAP MARKED "RMC LS 9329", UNLESS NOTED OTHERWISE.
  - ⊙ FOUND 1" METAL DISC IN CONCRETE MARKED "RMC LS 9329", UNLESS NOTED OTHERWISE.
  - SET REBAR WITH PLASTIC CAP MARKED "LS 17666".

NOTES  
 1. REFER TO SHEET 4 FOR LINE & CURVE TABLES.

AS APPROVED

THE WOODLANDS FILING NO. 10  
 PRELIMINARY PLAT/FINAL PD SITE PLAN  
 SHEET 3 OF 15

PEAK CIVIL CONSULTANTS  
 CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES

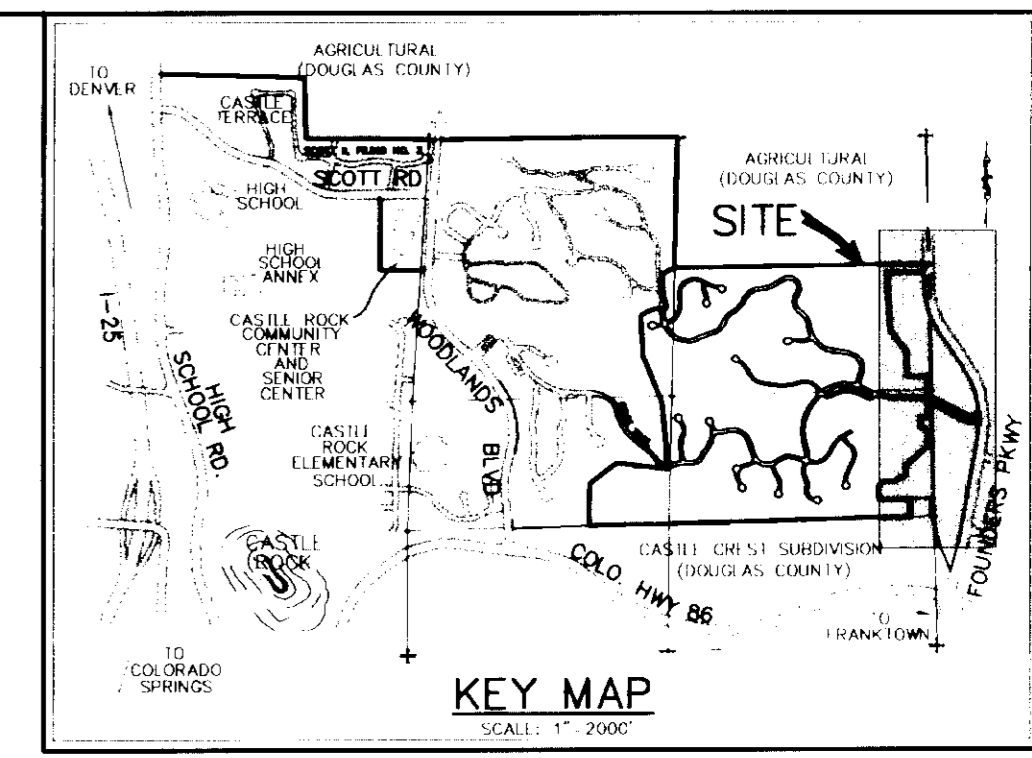
2525 16TH STREET, SUITE 210  
 DENVER, COLORADO 80211  
 (720) 855-3859 (720) 855-3860 fax  
 Email: peakcivil@worldnet.att.net

1:19:08 PM Fri Jul 14 2000 04:17:44 PM PEA CIVIL (06) (86)

# THE WOODLANDS FILING NO. 10

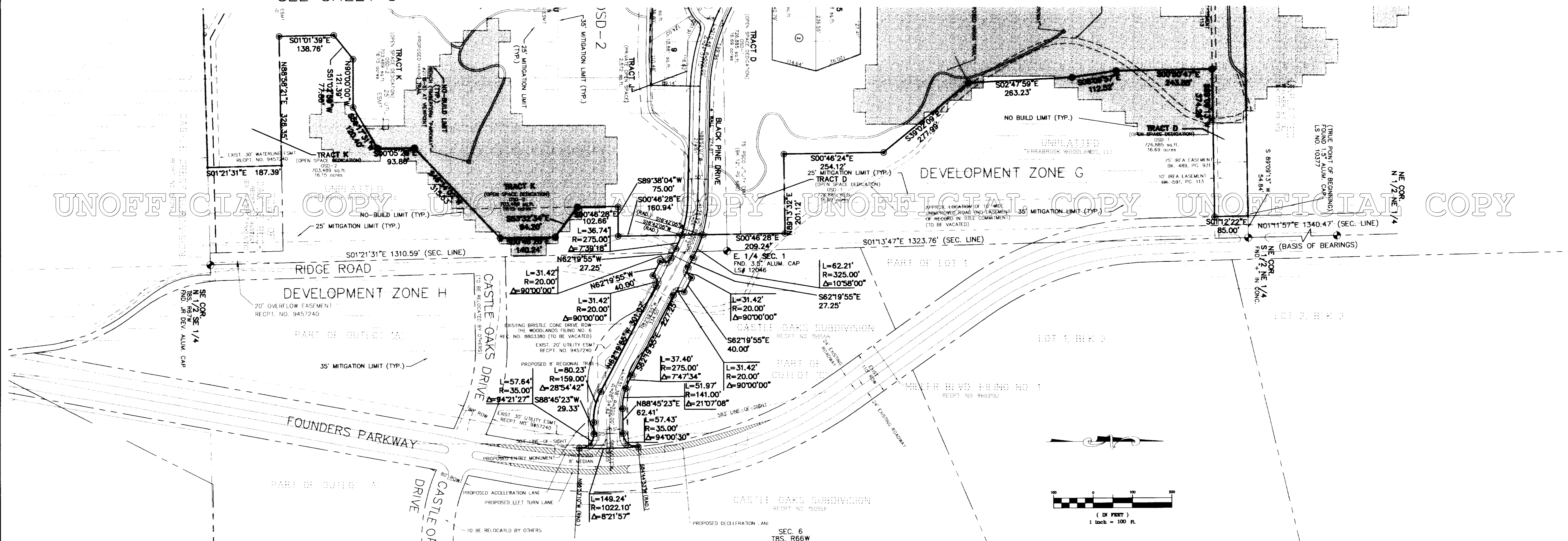
A PART OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 PRELIMINARY PLAT/FINAL PD SITE PLAN

SHEET 4 OF 15

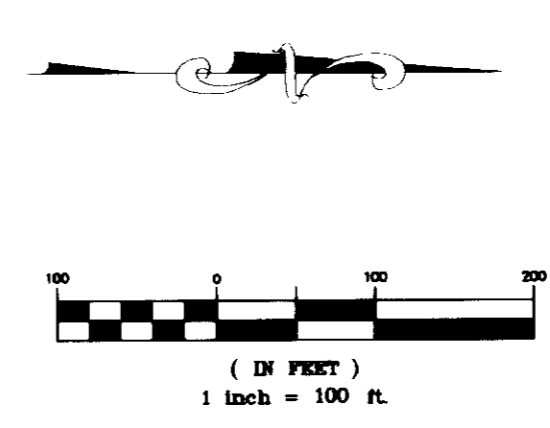


SEE SHEET 3

SEE SHEET 2



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LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	40.39'	S72°28'45"W	L37	17.96'	S38°03'04"W
L2	7.76'	N64°13'30"W	L38	16.45'	N41°26'50"W
L3	44.15'	N77°54'45"W	L39	16.45'	N41°26'50"W
L4	18.02'	S22°03'11"W	L40	28.40'	N41°26'50"W
L5	35.69'	S41°26'50"E	L41	28.40'	N41°26'50"W
L6	13.67'	S17°46'53"W	L42	12.29'	N40°42'32"W
L7	29.48'	N72°13'07"W	L43	11.26'	S54°10'26"E
L8	19.54'	S32°24'32"E	L44	27.65'	S54°10'26"E
L9	40.05'	S09°52'52"W	L45	30.00'	S29°26'23"E
L10	51.75'	S38°56'26"E	L46	26.93'	N50°11'51"E
L11	39.23'	S49°06'33"W	L47	7.97'	N17°46'53"E
L12	52.40'	S77°42'42"E	L48	19.54'	N32°24'32"W
L13	45.58'	S88°58'45"E	L49	19.54'	N32°24'32"W
L14	46.27'	S39°28'15"W	L50	27.50'	S09°52'52"W
L15	39.45'	S26°39'27"W	L51	12.74'	S09°52'52"W
L16	37.20'	N86°25'10"W	L52	19.01'	S29°26'23"E
L17	21.56'	S25°15'05"W	L53	10.89'	S18°56'26"E
L18	38.68'	S23°50'47"E	L54	10.89'	S18°56'26"E
L19	5.00'	S40°23'53"E	L55	21.29'	S77°42'42"W
L20	20.00'	N76°40'33"W	L56	31.11'	S77°42'42"W
L21	30.00'	N00°50'47"W	L57	23.51'	N28°02'17"W
L22	25.46'	S0°13'54"E	L58	21.97'	N28°02'17"W
L23	71.77'	N01°13'10"W	L59	27.35'	S39°20'49"E
L24	71.77'	N01°13'10"W	L60	2.97'	S77°42'42"W
L25	10.31'	S60°00'29"W	L61	22.26'	N23°55'42"W
L26	17.57'	S26°34'48"W	L62	24.04'	S78°04'01"W
L27	16.45'	N27°25'13"E	L63	19.56'	S78°04'01"W
L28	11.58'	N13°03'09"W	L64	5.84'	S88°58'43"E
L29	21.27'	S60°02'01"W	L65	10.98'	S88°58'43"E
L30	21.27'	S60°02'01"W	L66	29.75'	S17°42'08"W
L31	15.77'	N77°54'45"W	L67	17.92'	N50°21'25"E
L32	28.38'	N77°54'45"W	L68	27.26'	S50°21'25"E
L33	14.84'	S65°29'30"W	L69	31.55'	S69°21'25"E
L34	14.84'	S65°29'30"W	L70	30.00'	S38°58'45"W
L35	30.00'	S1°11'45"W	L71	36.78'	S88°58'43"E
L36	16.70'	N18°14'22"E	L72	33.70'	N86°25'10"W

CURVE	Δ	LENGTH	RADIUS	CURVE	Δ	LENGTH	RADIUS	CURVE	Δ	LENGTH	RADIUS
C2	43°58'57"	114.27'	150.00'	C43	34°12'33"	30.45'	51.00'	C82	9°54'11"	20.74'	120.00'
C3	34°15'20"	89.68'	150.00'	C44	46°09'05"	14.70'	15.00'	C83	9°27'44"	19.82'	120.00'
C4	33°25'41"	87.51'	150.00'	C45	11°21'07"	22.79'	115.00'	C84	12°39'12"	27.61'	125.00'
C5	55°29'51"	145.29'	150.00'	C46	81°7'51"	24.85'	171.58'	C85	56°49'08"	14.88'	15.00'
C6	22°43'58"	59.51'	150.00'	C47	16°43'01"	23.75'	81.38'	C86	29°38'07"	25.98'	50.23'
C7	75°44'18"	132.19'	100.00'	C48	18°53'27"	23.08'	70.00'	C87	25°53'48"	22.90'	51.00'
C8	42°03'14"	73.40'	100.00'	C49	180°00'00"	39.27'	12.50'	C88	52°56'05"	13.86'	15.00'
C9	23°15'46"	40.60'	100.00'	C50	178°52'35"	57.34'	18.36'	C89	54°7'57"	12.65'	125.00'
C10	93°11'53"	81.33'	50.00'	C51	4°01'28"	22.43'	319.56'	C90	32°0'19"	10.20'	125.00'
C11	73°54'31"	64.50'	50.00'	C52	8°44'06"	25.92'	170.00'	C91	9°11'42"	20.06'	125.00'
C12	52°51'39"	158.39'	150.00'	C53	12°26'04"	28.21'	130.00'	C92	12°54'20"	27.43'	125.00'
C13	28°23'53"	74.36'	150.00'	C54	15°57'49"	36.22'	130.00'	C93	7°07'00"	6.47'	174.00'
C14	52°02'31"	85.19'	150.00'	C55	52°58'22"	15.18'	15.00'	C94	44°75'01"	34.40'	125.00'
C15	50°11'25"	87.60'	100.00'	C56	57°58'27"	15.18'	15.00'	C95	1°22'48"	28.19'	125.00'
C16	42°17'24"	73.81'	100.00'	C57	47°05'54"	35.03'	480.00'	C96	8°11'33"	25.02'	175.00'
C17	11°01'24"	38.48'	200.00'	C58	11°40'56"	31.60'	155.00'	C97	13°47'03"	30.07'	125.00'
C18	37°59'15"	66.30'	100.00'	C59	2°32'14"	8.64'	190.00'	C98	14°50'36"	32.58'	125.00'
C19	28°36'08"	49.92'	100.00'	C60	19°48'17"	32.84'	95.00'	C99	6°56'27"	9.09'	75.00'
C20	1°25'17"	45.22'	200.00'	C61	11°13'41"	18.62'	95.00'	C100	44°75'01"	27.21'	325.00'
C21	12°32'48"	35.03'	150.00'	C62	12°08'02"	25.41'	120.00'	C101	52°43'38"	25.89'	275.00'
C22	67°29'23"	117.79'	100.00'	C63	57°58'27"	15.18'	15.00'	C102	11°11'37"	6.77'	325.00'
C23	19°18'24"	101.09'	300.00'	C64	57°58'27"	15.18'	15.00'	C103	7°59'21"	29.40'	220.00'
C24	33°07'34"	115.63'	200.00'	C65	9°03'43"	12.65'	80.00'	C104	5°05'21"	10.66'	120.00'
C25	49°05'52"	85.69'	100.00'	C66	14°7'54"	29.78'	120.00'	C105	5°10'47"	10.84'	120.00'
C26	16°33'06"	57.78'	200.00'	C67	80°28'50"	21.87'	15.00'	C106	6°55'08"	9.66'	80.00'
C27	11°15'41"	5.06'	235.00'	C68	45°02'24"	11.80'	15.00'	C107	3°07'59"	12.08'	134.87'
C28	7°00'48"	11.63'	95.00'	C69	4°58'28"	15.19'	175.00'	C108	53°48'55"	13.38'	14.25'
C29	62°4'45"	8.95'	15.00'	C70	2°53'55"	6.32'	125.00'	C109	12°10'24"	10.84'	51.00'
C30	57°58'27"	15.18'	15.00'	C71	0°37'50"	1.93'	175.00'	C110	35°11'24"	31.32'	51.00'
C31	62°4'45"	13.43'	120.00'	C72	9°18'52"	19.51'	120.00'	C111	35°47'45"	31.86'	51.00'
C32	57°58'27"	15.18'	15.00'	C73	20°36'21"	18.95'	52.69'	C112	6°71'20"	17.59'	15.00'
C33	11°15'41"	3.85'	175.00'	C74	57°58'27"	15.18'	15.00'	C113	100°36'47"	34.59'	19.70'
C34	11°15'41"	3.85'	175.00'	C75	57°58'27"	15.18'	15.00'				
C35	11°15'41"	3.85'	175.00'	C76	22°58'25"	19.77'	49.30'				
C36	11°15'41"	3.85'	175.00'	C77	25°56'05"	22.25'	49.80'				
C37	24°54'54"	8.65'	175.00'	C78	9°52'15"	30.15'	175.00'				
C38	15°00'17"	32.74'	125.00'	C79	57°58'27"	15.18'	15.00'				
C39	22°21'52"	29.28'	75.00'	C80	35°02'14"	31.19'	51.00'				
C40	64°49'47"	14.30'	120.00'	C81	58°33'57"	15.19'	14.86'				
C41	18°45'13"	27.15'	78.74'								
C42	61°59'00"	16.14'	15.00'								

NOTE:  
 1. OFFSITE DEVELOPMENT ZONES G AND H SHALL BE SUBJECT TO SEPARATE PRELIMINARY PLAT/FINAL PD SITE PLANS.

- LEGEND**
- FOUND PIN AND CAP MARKED "LS 16409", UNLESS NOTED OTHERWISE.
  - FOUND 1" METAL DISC IN CONCRETE MARKED "RMC LS 9329", UNLESS NOTED OTHERWISE.
  - FOUND 5/8" REBAR WITH PLASTIC CAP MARKED "RMC LS 9329", UNLESS NOTED OTHERWISE.
  - SET REBAR WITH PLASTIC CAP MARKED "LS 17666".

AS APPROVED

THE WOODLANDS FILING NO. 10 PRELIMINARY PLAT/FINAL PD SITE PLAN SHEET 4 OF 15

PEAK CIVIL CONSULTANTS  
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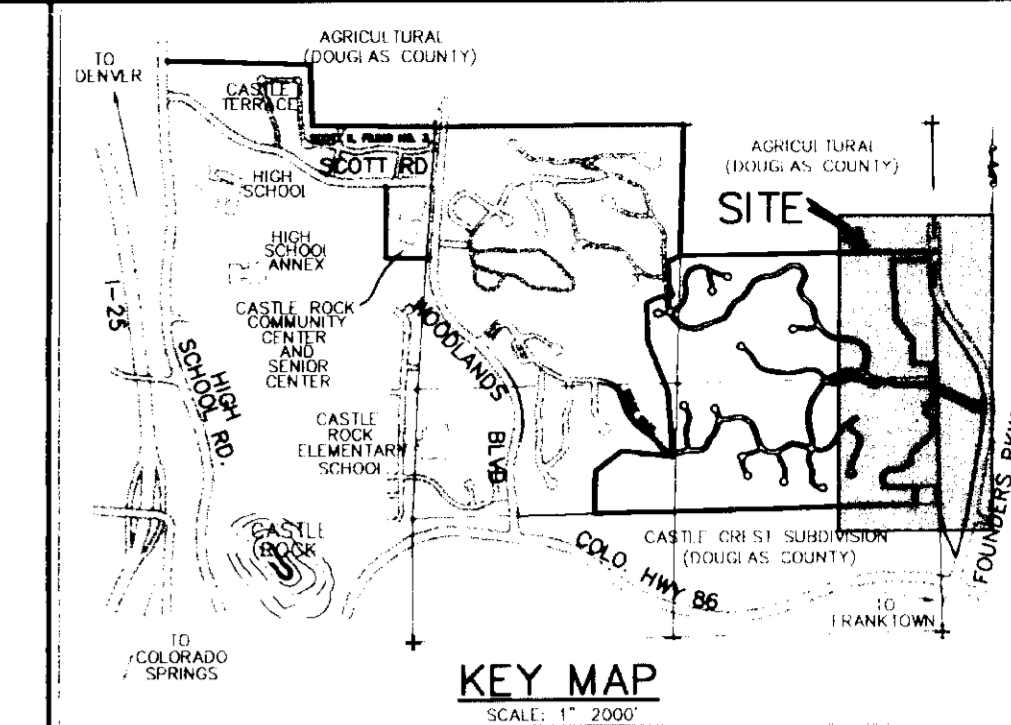




# THE WOODLANDS FILING NO. 10

A PART OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 PRELIMINARY PLAT/FINAL PD SITE PLAN

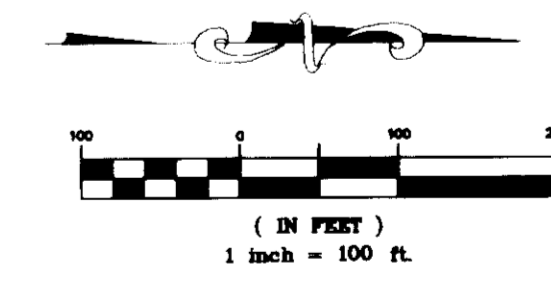
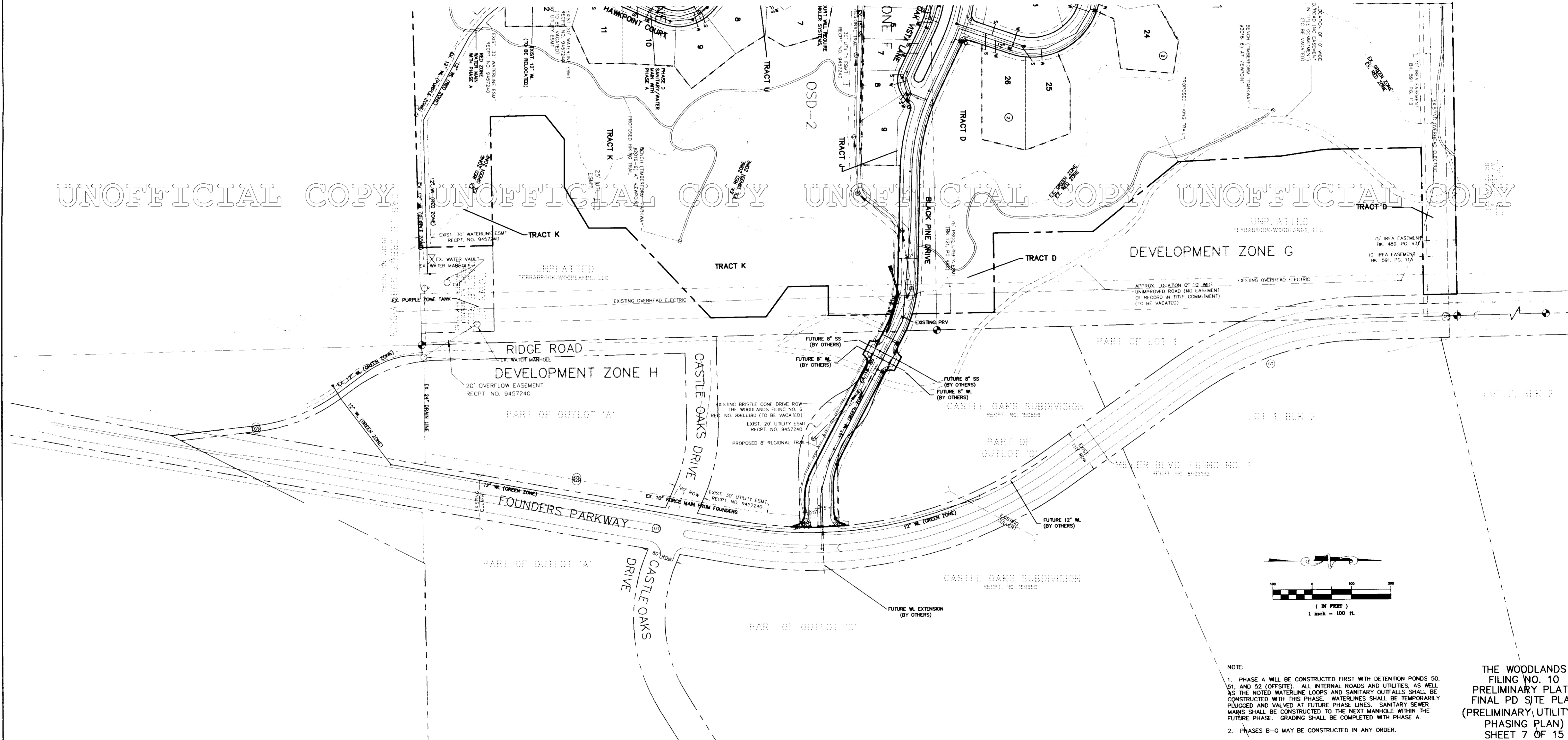
SHEET 7 OF 15



SEE SHEET 6

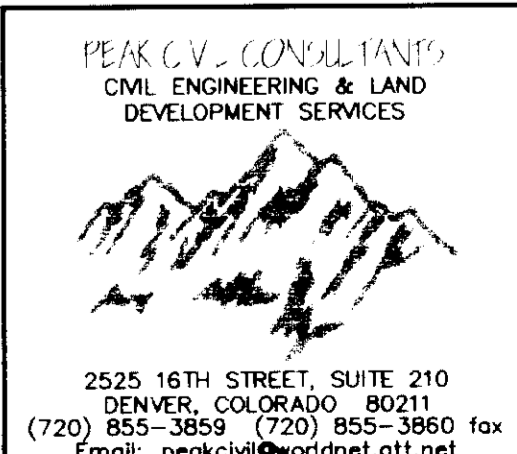
SEE SHEET 5

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- NOTE:
1. PHASE A WILL BE CONSTRUCTED FIRST WITH DETENTION PONDS 50, 51, AND 52 (OFFSITE). ALL INTERNAL ROADS AND UTILITIES, AS WELL AS THE NOTED WATERLINE LOOPS AND SANITARY OUTFALLS SHALL BE CONSTRUCTED WITH THIS PHASE. WATERLINES SHALL BE TEMPORARILY PLUGGED AND VALVED AT FUTURE PHASE LINES. SANITARY SEWER MAINS SHALL BE CONSTRUCTED TO THE NEXT MANHOLE WITHIN THE FUTURE PHASE. GRADING SHALL BE COMPLETED WITH PHASE A.
  2. PHASES B-G MAY BE CONSTRUCTED IN ANY ORDER.

THE WOODLANDS FILING NO. 10  
 PRELIMINARY PLAT/  
 FINAL PD SITE PLAN  
 (PRELIMINARY UTILITY &  
 PHASING PLAN)  
 SHEET 7 OF 15



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AS APPROVED

CASTLE ROCK COMMUNITY DEVELOPMENT DEPARTMENT DATE

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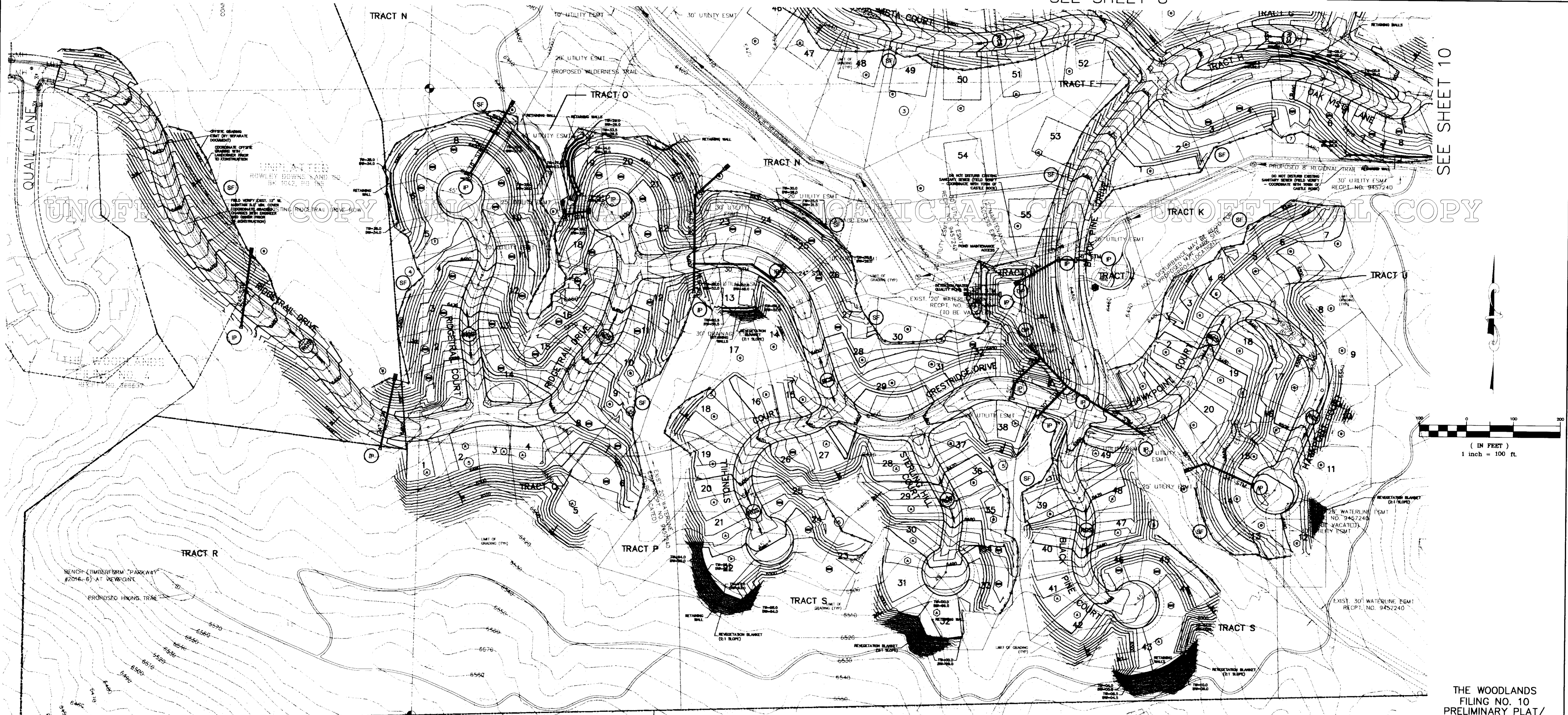
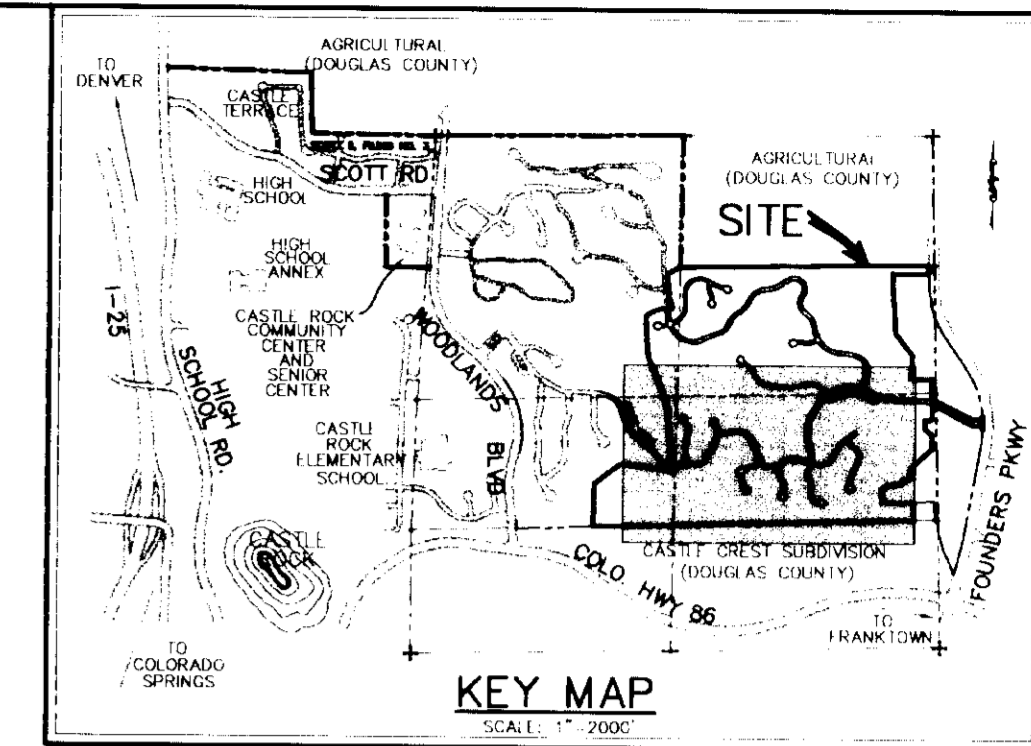
# THE WOODLANDS FILING NO. 10

A PART OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 67 WEST AND SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

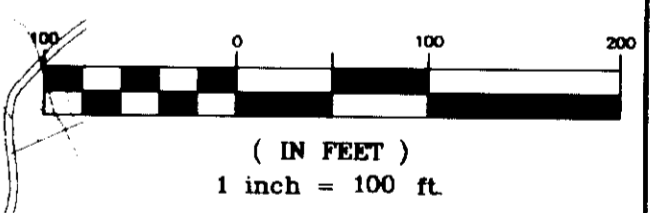
PRELIMINARY PLAT/FINAL PD SITE PLAN

SHEET 9 OF 15

SEE SHEET 8



SEE SHEET 10



FND. #5 REBAR WITH STONE SET 2" ALUM. CAP

- NOTES
1. REFER TO TREE MITIGATION PLAN PREPARED BY NUSZER-KOPATZ FOR TREE IMPACTS.
  2. PROPOSED WALL LOCATIONS AND HEIGHTS ARE PRELIMINARY AND WILL BE FINALIZED DURING CONSTRUCTION PLAN PREPARATION.
  3. ALL CUT AND FILL SLOPES ARE 3:1 UNLESS NOTED OTHERWISE.
  4. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED PER TOWN REQUIREMENTS.
  5. ADDITIONAL EROSION CONTROL INFORMATION CAN BE FOUND IN THE PHASE III DRAINAGE REPORT AND OVERLOT GRADING CONSTRUCTION PLANS.
  6. ADDITIONAL INDIVIDUAL LOT EROSION CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED BY THE BUILDER PER TOWN REQUIREMENTS AS NEEDED DURING THE HOME BUILDING PROCESS.

AS APPROVED

CASTLE ROCK COMMUNITY DEVELOPMENT DEPARTMENT DATE

THE WOODLANDS FILING NO. 10  
PRELIMINARY PLAT/  
FINAL PD SITE PLAN  
(PRELIMINARY OVERLOT  
GRADING PLAN)  
SHEET 9 OF 15

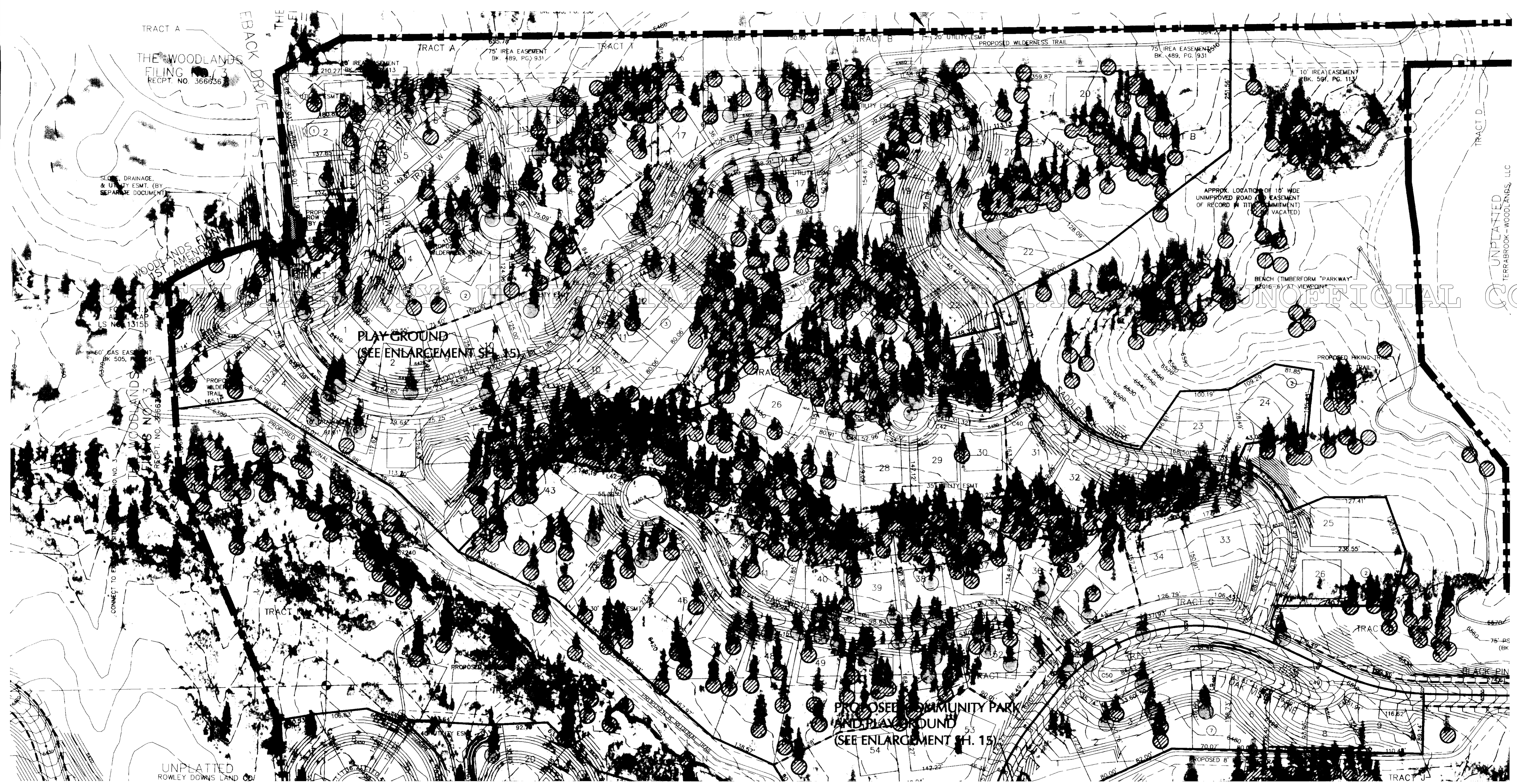
PEAK CIVIL CONSULTANTS  
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# THE WOODLANDS FILING 10 PRELIMINARY PLAT / FINAL PD SITE PLAN



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THE WOODLANDS FILING 10

TREE CONSERVATION AND MITIGATION PLAN

## The Woodlands Filing 10: TREE CONSERVATION AND MITIGATION PLAN

All existing trees that are likely to be impacted by the proposed development have been highlighted in grey tone on the air photo. These trees are located where clearing and grading is anticipated. Clearing and grading will be undertaken in order to provide site access (roads and driveways), to install utilities (sewer and water lines), to create building pads, and to provide building envelopes.

All existing trees that are not likely to be impacted and therefore can be preserved have been highlighted in green hatch. These include: trees in designated park and open space areas; trees outside of cut and fill areas along roads and drives; trees located on building lots but which lie outside of the typical building envelope; and trees which can be preserved with the construction of retaining walls. Some trees within the theoretical building envelope area have also been

identified with green hatch (to be preserved). This has been done when the location of trees within the envelope provides the opportunity to design and build around them, without causing serious impact.

Per the City of Castle Rock, the owner will designate "Preservation Areas" located outside of the limits of permitted construction. These areas will be marked during the construction period according to standards agreed to within the Subdivision Improvements Agreement (S.I.A.). The S.I.A. will also define requirements for tree relocations, and sanctions for non-compliance with established environmental provisions.

Preliminary Preservation Areas are those areas within which existing trees have been highlighted with green. Existing trees within these areas, and existing shrub masses, will be preserved and protected per the S.I.A. Landscape modification will be

permitted only for the purposes of fire control (see "Proposed Landscaping Standards for Fire Control on Private Lots", Sheet 15).

Proposed retaining walls are shown on the air photo as solid black lines. For the purposes of tree preservation, retaining walls are proposed wherever a wall (or series of walls) could be built in order to limit grade changes of more than a few inches to outside the rooting zone of existing trees.

All existing trees highlighted with grey on the air photo will be evaluated in the field following the survey staking of the centerlines of proposed roadways. Field evaluation will be conducted by a team consisting of the owner, the landscape architect, a representative of the City of Castle Rock, and an arborist/tree spader. The results of the evaluation will determine the appropriate strategy for each impacted tree.

Evaluation will be based on the following criteria:

1. Tree species
2. Size (or age)
3. Health
4. Accessibility
5. Rooting Condition
6. Value of tree relative to the cost of relocation

Based on this evaluation, all trees that do not qualify for relocation due to size (in excess of 12-14" caliper), or inaccessibility to a tree spade will be reviewed in terms of their location. If a tree is highly desirable and can be retained by minor adjustments to the proposed road, driveway, or building envelope, this option will be considered. If the construction of additional retaining walls could result in the preservation of trees that would

otherwise have to be removed, this option will also be considered. Trees that cannot be retained, and do not warrant relocation, will be cut down and removed by a qualified contractor. Mitigation for tree removals will be provided at a ratio of 2 six foot pines for each tree disturbed within the designated preservation areas. Damage to surrounding vegetation will be minimized by using appropriate methods of tree cutting and removal, and protection of surrounding area.

A construction specification for protection of all existing trees within the Preservation Area of each lot will be provided to all building contractors. This specification will describe the level of tree protection required throughout the construction phase, and will establish penalties in accordance with the S.I.A. for damage or destruction of trees within the Preservation Areas.

All trees spaded to new locations within the site shall be moved one time only, and shall be placed in their permanent locations by an experienced and qualified tree spader.

A landscape contractor will be retained by the owner to maintain all trees relocated within the site for at least one year, or until the area is fully landscaped.

Maintenance will include backfilling and maintaining grade at the rootball, watering (year-round, monitored per prevailing weather), spraying for insect pests, monitoring for disease, staking (if required), and maintaining an accurate inventory of relocated trees, and their conditions, until maintenance is assumed by the Homeowners Association.

**LEGEND**

- PRESERVE THROUGH:
  - MODIFYING ON-LOT GRADING
  - ADJUSTING BUILDING ENVELOPE PLACEMENT ON LOTS
  - ADJUSTING BUILDING FOOTPRINT PLACEMENT IN ENVELOPES
  - CONSTRUCTING RETAINING WALLS
- REMOVE BY TRANSPLANTING  
REMOVE BY CUTTING
- PROPOSED RETAINING WALL

NORTH

PROJECT:	991034
DRAWN BY:	DC
CHECK BY:	CH
ISSUE DATE:	12.06.99
REVISIONS:	04.17.00
	06.19.00

SHEET TITLE  
THE WOODLANDS  
FILING NO. 10  
PRELIMINARY PLAT /  
FINAL PD SITE PLAN  
(TREE MITIG'N PLAN)

# THE WOODLANDS FILING 10 PRELIMINARY PLAT / FINAL PD SITE PLAN



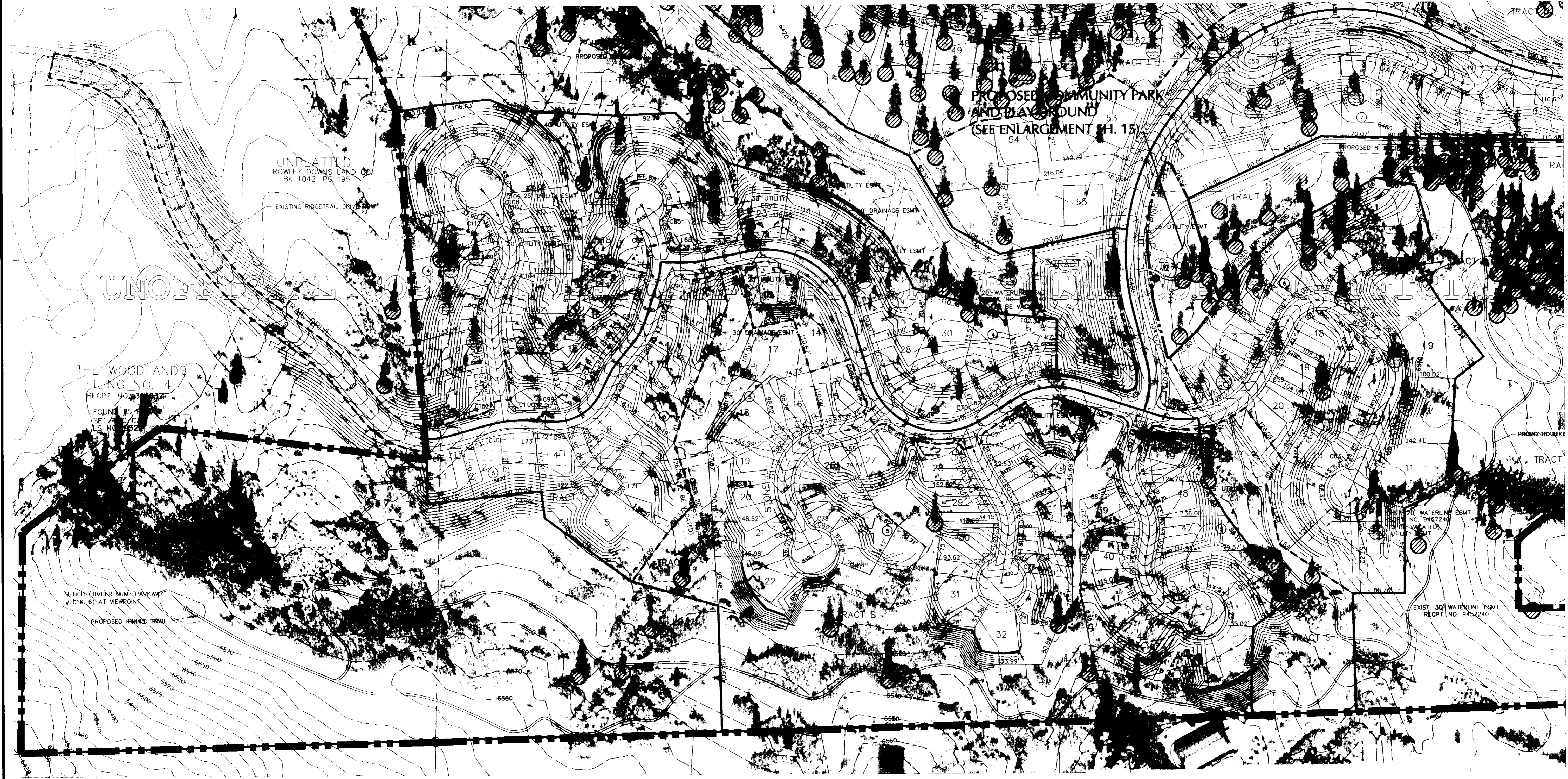
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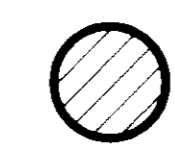
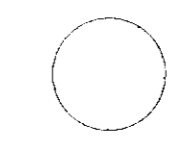

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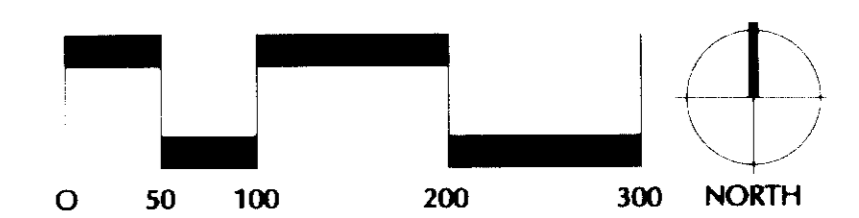


1129 CHEROKEE STREET  
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### LEGEND

-  PRESERVE THROUGH:
  - MODIFYING ON-LOT GRADING
  - ADJUSTING BUILDING ENVELOPE PLACEMENT ON LOTS
  - ADJUSTING BUILDING FOOTPRINT PLACEMENT IN ENVELOPES
  - CONSTRUCTING RETAINING WALLS
-  REMOVE BY TRANSPLANTING  
REMOVE BY CUTTING
-  PROPOSED RETAINING WALL



THE WOODLANDS FILING 10

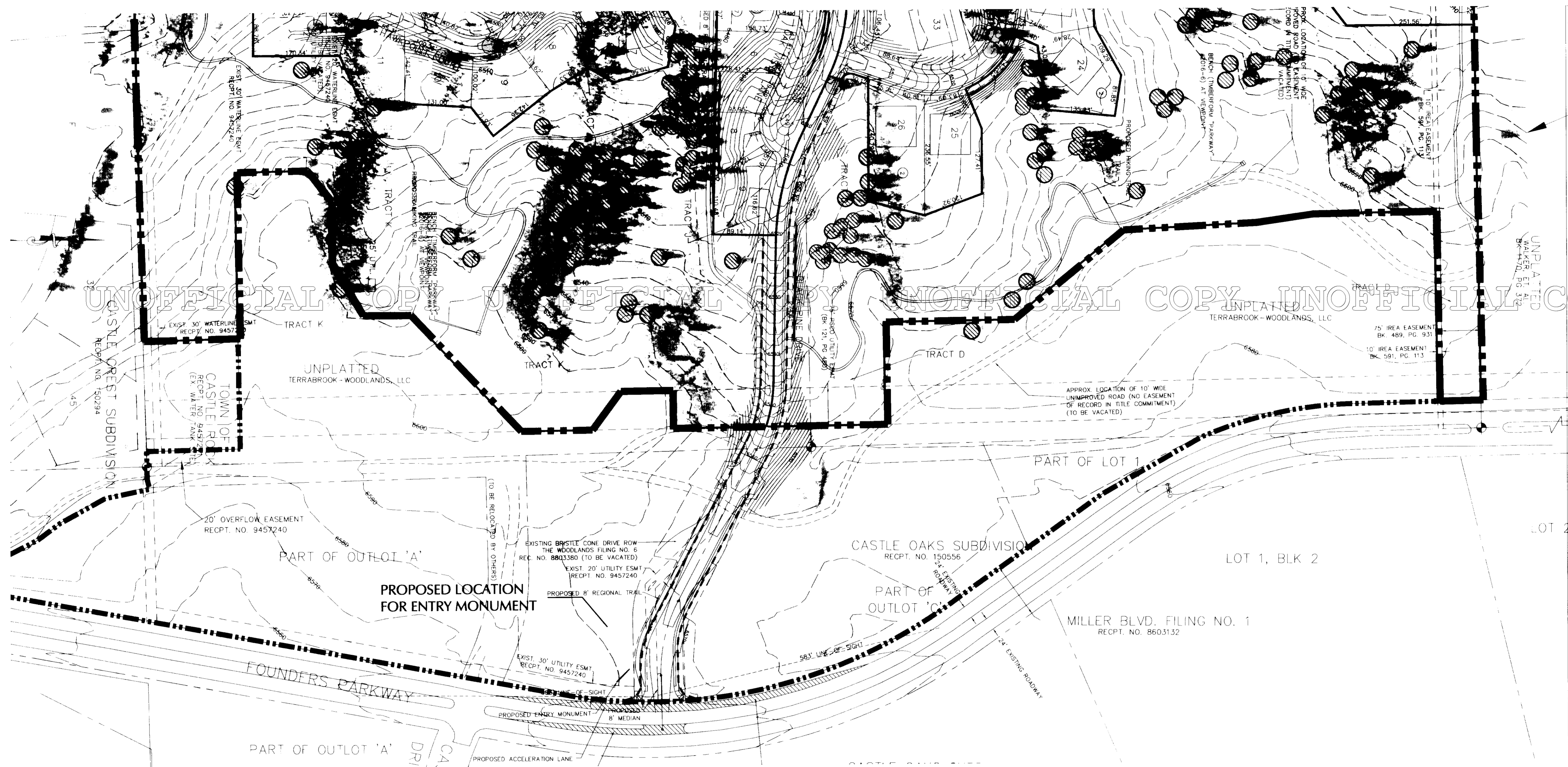
TREE CONSERVATION AND MITIGATION PLAN




PROJECT:	991034
DRAWN BY:	DC
CHECK BY:	CH
ISSUE DATE:	12.06.99
REVISIONS:	04.17.00
	06.19.00

SHEET TITLE  
THE WOODLANDS  
FILING NO. 10  
PRELIMINARY PLAT /  
FINAL PD SITE PLAN  
(TREE MITIGN PLAN)

SHEET NUMBER  
**12 of 15**

# THE WOODLANDS FILING 10 PRELIMINARY PLAT / FINAL PD SITE PLAN



- LEGEND**
-  PRESERVE THROUGH:
    - MODIFYING ON-LOT GRADING
    - ADJUSTING BUILDING ENVELOPE PLACEMENT ON LOTS
    - ADJUSTING BUILDING FOOTPRINT PLACEMENT IN ENVELOPES
    - CONSTRUCTING RETAINING WALLS
  -  REMOVE BY TRANSPLANTING  
REMOVE BY CUTTING
  -  PROPOSED RETAINING WALL



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**THE WOODLANDS FILING 10**

TREE CONSERVATION AND MITIGATION PLAN

PROJECT:	991034
DRAWN BY:	DC
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SHEET TITLE  
**THE WOODLANDS  
 FILING NO. 10  
 PRELIMINARY PLAT /  
 FINAL PD SITE PLAN  
 (TREE MITIGN PLAN)**

SHEET NUMBER  
**13 of 15**

# THE WOODLANDS FILING 10 PRELIMINARY PLAT / FINAL PD SITE PLAN

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## The Woodlands Filing 10: LANDSCAPE PLAN

The Landscape Plan for Filing 10 is intended to provide a strategy for development of the site with the ultimate goal of minimizing the appearance of conflict between buildings and the landscape.

The Plan is based upon the recognition that the natural qualities of the site - topography, geology, vegetation and wildlife - are the qualities that make the site attractive for human habitation, yet are the same qualities which are most jeopardized by development.

The Plan is therefore based upon an understanding of the natural qualities of the site, and the nature of impacts of development upon these qualities.

A landscape strategy is proposed at this preliminary stage rather than a conventional landscape plan. Site specific landscape plans will be prepared for private open space not on building lots prior to submittal for building permit. Landscape plans for individual lots will be prepared by the homebuilders. All landscape plans will meet the relevant standards of the Town of Castle Rock, the Subdivision Improvement Agreement and the Woodlands Design Guidelines.

The information provided for this submittal complies with the Town of Castle Rock Design Guidelines dated 10/6/94. Landscape Plans meeting the town's Landscaping Requirements (Ch. 17.62 of the Municipal Code) will be provided at the stage of building permit submittal.

The landscape strategy for Filing 10 consists of the following components:

- Preservation
- Mitigation
- Restoration
- Landscaping
- Maintenance/Management

These are described as follows:

### 1. Preservation

The most significant component of the strategy is preservation of as much existing vegetation as possible. The "Ecological Resources and Impact Mitigation" study prepared for this site by Schafer and Associates (Feb. 13, 1998) identified its ecological conditions and noted that the three major vegetation communities present on this site can also be described as habitat types for different communities of wildlife. It was suggested that preservation of appropriately sized and located natural vegetation will serve to provide both habitat and movement areas for wildlife.

The study identified the most environmentally significant areas of the site. In conjunction with the Preliminary Geotechnical Investigation, prepared by CTL/Thompson, Inc. (Jan. 7, 1998), this information provided the parameters for basic site planning. It is the intention of this landscape plan to reinforce the viability of these environmentally significant areas, both as attractive associations of native vegetation, and as wildlife areas. The preliminary step in this process is the definition of Preservation Areas, as defined and described on the Tree Conservation and Mitigation Plan, Sheets 11-13.

### 2. Mitigation

Mitigation measures are intended to avoid, minimize, or offset impacts to ecological resources of concern. These measures must be built into every stage of the development process, including long term management.

Careful site planning has provided the primary mitigation by limiting development to less sensitive areas. The second means of mitigation is the proposed strategy for tree protection and transplanting. This is described on the Tree Conservation and Mitigation Plan, Sheet 11-13. A third means of mitigation includes landscape restoration and landscaping with native species. This will be the standard on all open space areas. The Design Guidelines for the Woodlands will provide the final means of mitigation. They will define the design standards required for open space, and will be tailored to ensure that mitigation measures extend into private lots. For example, restrictions on fences, and standards for pet control will help preserve existing wildlife movement corridors.

### 3. Restoration

Fortunately, most of the area which will be disturbed by construction will be returned to open space. Following development, all disturbed areas will be graded, soil will be replaced as needed, and the area will be revegetated with seed, shrubs, and trees per the plant list. In situations where clearing rather than grading has occurred, the rootstock and seeds of native vegetation will remain in the soil. This will aid in the reestablishment of native grasses and shrubs.

### 4. Landscaping

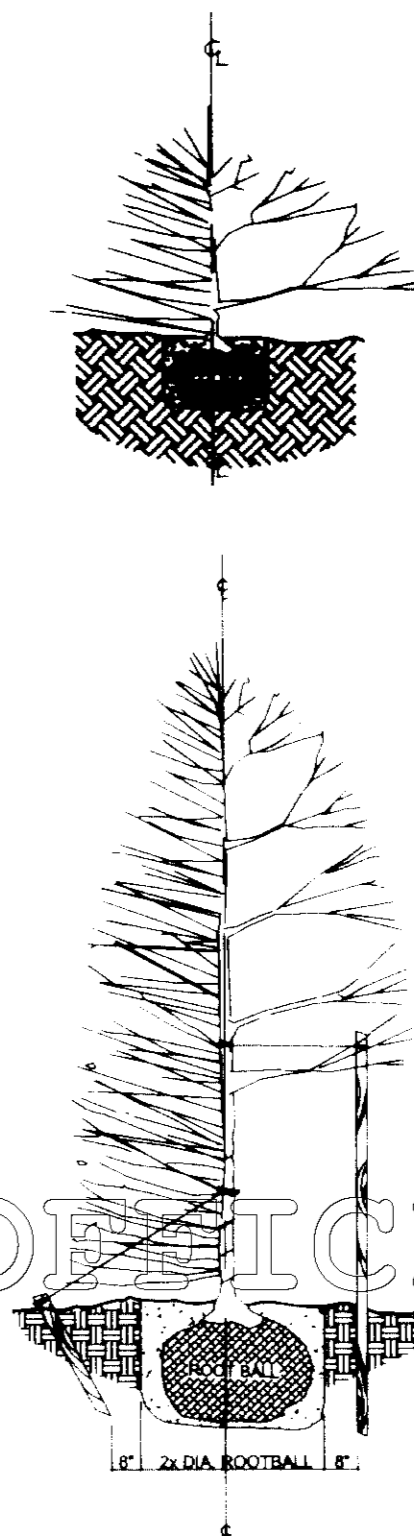
All landscaping will utilize the native species included in the Plant List. Manicured sod will be limited, per the Woodlands Design Guidelines, and xeriscap principles will be followed for all open space developed by the owner.

It is the intention of the owner that landscaped areas be planted in a naturalistic manner, and that landscaping will blend, rather than contrast, with the surrounding context. Non-native plants may be used only where a distinctive seasonal effect is desired, such as at the entry monument.

### 5. Maintenance/ Management

Appropriate maintenance will ensure that the design intent of the landscape plan is met over the long term. A manual of suggested maintenance procedures for common open space will be provided to the Home Owner's Association. Maintenance standards for private lots will be defined in the Woodlands Design Guidelines. As noted, these will include measures for long term fire protection.

1. ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
  2. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
  3. STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TO TURF AREAS. STEEL EDGER SHALL BE GALVANIZED, 3/16" X 4" DEEP RYERSON OR APPROVED EQUAL.
  4. ALL SHRUB AND SOO AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 3 CUBIC YARDS 'SUPREME ORGANICS' COMPOST (50% COW MANURE, 50% WOOD FINES) OR APPROVED EQUAL PLUS 5 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROTOTILL TO A MINIMUM DEPTH OF 6".
  5. ALL ROCK MULCH AREAS TO BE MULCHED WITH 3" MIN. OF 1/2" RIVER ROCK OVER DUPONT 'TYFAR' OR APPROVED EQUAL.
  6. ALL BEDS NOT SPECIFIED AS ROCK MULCH SHALL HAVE 3" MIN. OF SHREDDED CEDAR OR ASPEN MULCH APPLIED OVER DUPONT 'TYFAR' OR APPROVED EQUAL.
  7. SOIL MIXTURE FOR ALL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL AND 1/3 ON-SITE SOIL.
  8. GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES. PLANT SUBSTITUTIONS ARE NOT PERMITTED UNLESS APPROVED BY LANDSCAPE ARCHITECT AND DEVELOPER.
  9. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
  10. ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL BEDS AND TREES TO BE DRIP IRRIGATED. ALL ANNUAL/PERENNIAL AREAS TO BE IRRIGATED WITH 12" POP-UP SPRAY HEADS.
- URAP ENTIRE SURFACE OF TRUNK TO SECOND BRANCH WITH APPROVED TREE URAP. SECURE AT 2' INTERVALS. DO NOT WRAP POPULUS SPECIES.
- SUPPORT WIRE TO BE GALVANIZED. ATTACH TO TREE WITH 2" CLOTH BAND OR APPROVED EQUAL.
- CUT AND REMOVE BURLAP FROM TOP AND SIDES OF ROOT BALL. REMOVE ALL WIRE BUCKETS AND NYLON TIES.
- STAKE DECIDUOUS TREES AS SHOWN WITH 2-6" LONG STEEL STAKES AT 90 DEGREES. EXTEND STAKE 30" INTO GROUND. STAKE EVERGREEN TREES AS SHOWN WITH 3-7" LONG STEEL STAKES AT 90 DEGREES. USE ONLY GALVANIZED WIRE.



### PLANTING & STAKING DETAIL

SCALE: N.T.S. SECTION

#### THE WOODLANDS Filing 10 PRELIMINARY PLANT LIST

SYM	COMMON NAME CONDITION	BOTANICAL NAME	SIZE	Seed Mixes				
				A. Reclamation Gravelly soils				
				SPECIES	VARIETY	PERCENT OF MIX	POUNDS PLS/ACRE (DRILLED PLANTING)	
B0A	Burr Oak	Quercus macrocarpa	20"l, B 4 B	Little Bluestem	—	100%	175	
SRE	Chickadee (various)	Malus spp.	14"l, B 4 B	Sideoats Grama	—	100%	135	
HAW	Hawthorn (various)	Cornus spp.	12"l, clump	Prarie Sandreed	—	100%	100	
HBT	Hackberry	Celtis occidentalis	2" cal, B 4 B	Blue Grama	—	100%	30	
LLC	Lanceleaf Cottonwood	Populus aluminata	20"l, B 4 B	Needle-Thread	—	100%	25	
NCW	Narrowleaf Cottonwood	Populus angustifolia	20"l, B 4 B	Thicketlike Wheatgrass	—	100%	100	
PCC	Plaine Cottonwood	Populus deltoides	20"l, B 4 B	Western Wheatgrass	—	100%	100	
GAN	Gas King Aspen	Populus tremuloides	6" ht. clump	Indian Ricegrass	—	100%	25	
RFM	Rocky Mountain Maple	Acer glabrum	14"l, B 4 B	Prarie Junegrass	—	100%	100	
SS1	Shadblow Serviceberry	Amelanchier canadensis	6" ht. clump, B 4 B					
TLA	Thin Leafed Alder	Alnus tenuifolia	6" ht. clump					
URB	Western River Birch	Betula fontinalis	6" ht. clump					
				B. Reclamation Clay soils				
				SPECIES	VARIETY	PERCENT OF MIX	(DRILLED PLANTING)	
BPI	Bristlecone Pine	Pinus aristata	Spaded 6" ht. min.	Big Bluestem	Kau	100%	275	
DFR	Douglas Fir	Pseudotsuga menziesii	Spaded 6" ht. min.	Sideoats Grama	—	100%	40	
LPI	Lumber Pine	Pinus flexilis	Spaded 6" ht. min.	Little Bluestem	—	100%	100	
PSI	Ponderosa Pine	Pinus ponderosa	Spaded 6" ht. min.	Yellow Indiangrass	—	100%	100	
PYP	Pinyon Pine	Pinus monophylla var. edulis	Spaded 6" ht. min.	Western Wheatgrass	—	100%	100	
RMU	Rocky Mountain Juniper	Juniperus scopulorum	6" ht. min.	Needle-Thread	—	100%	100	
WFI	White Fir	Abies concolor	Spaded 6" ht. min.	Blue Grama	—	100%	5	
				C. Fire Control Seed Mix (For use in the immediate vicinity of structures)				
				SPECIES	VARIETY	PERCENT BY WEIGHT		
CRM	Creeping Mahonia	Mahonia repens	1 gal. cont. 8" ht. min.	Crested Wheatgrass	Emman	40		
COJ	Common Juniper	Juniperus communis	5 gal. cont. 12" ht. min.	Buffalograss	TREATED seed	20		
KN	Kinnickinick	Arctostaphylos uva-ursi	1 gal. cont. 6" ht. min.	Arizona Fescue	Reclan	20		
MBX	Mountain Box	Paxistima nelsonii	5 gal. cont. 12" ht. min.	Hard Fescue	Dura	20		
NEB	Nevada Bearberry	Arctostaphylos nevadensis	1 gal. cont. 8" ht. min.	Blue Grama	—	20		
				Sideoats Grama	—	20		
				Sow by broadcasting mixture at a rate of 5 pounds pure live seed per acre or 5 to 1 pound pure live seed per 1000 sq. ft. Rate seed in following sowing. (Drilled application will require less seed.) Mulch consisting of long stemmed grass may be applied at a rate of 2 tons per acre and crimped 4" into soil shall be used to stabilize the exposed surface. Seed may be hydroseeded where it will be irrigated at least until established.				
BR1	Boulder Raspberry	Rubus deliciosus	5 gal. cont. 18" ht. min.					
CO1	Chokecherry	Prunus virginiana	5 gal. cont. 24" ht. min.					
CLM	Curl-Leaf Mountain Mahogany	Cercocarpus ledifolius	5 gal. cont. 24" ht. min.					
GCT	Golden Currant	Ribes aureum	5 gal. cont. 24" ht. min.					
GO4	Gambel Oak	Quercus gambelii	7 gal. cont. 36" ht. min.					
LLM	Littleleaf Mountain Mahogany	Cercocarpus ledifolius	5 gal. cont. 18" ht. min.					
NMS	New Mexico Privet	Coccoloba mexicana	5 gal. cont. 18" ht. min.					
NBP	Native Ninebark	Physocarpus monogynus	5 gal. cont. 24" ht. min.					
PT4	Potentilla (various)	Potentilla spp.	5 gal. cont. 18" ht. min.					
RBT	Rabbitbrush	Chrysothamnus nauseosus	5 gal. cont. 18" ht. min.					
RSP	Rock Spirea	Holidiscus dumosus	5 gal. cont. 24" ht. min.					
RTD	Red-Tail Dogwood	Cornus stolonifera	5 gal. cont. 24" ht. min.					
SBY	Snowberry	Symphoricarpos albus	5 gal. cont. 18" ht. min.					
SEB	Silver Buffaloberry	Siphonandra argentea	5 gal. cont. 24" ht. min.					
SMO	Smooth Sumac	Rhus glabra clevelandiana	5 gal. cont. 24" ht. min.					
SSB	Saskatoon Serviceberry	Amelanchier alnifolia	5 gal. cont. 24" ht. min.					
SSG	Silver Sagebrush	Artemisia cana	5 gal. cont. 18" ht. min.					
TL5	Treeleaf Sumac	Rhus trilobata	5 gal. cont. 18" ht. min.					
TSG	Tall Sagebrush	Artemisia tridentata	5 gal. cont. 18" ht. min.					
WCT	Wax Currant	Ribes cereum	5 gal. cont. 24" ht. min.					
WFM	Wild Plum	Prunus americana	5 gal. cont. 36" ht. min.					
WSC	Western Sand Cherry	Prunus pensilvanica	5 gal. cont. 24" ht. min.					
YUC	Yucca	Yucca spp.	5 gal. cont. 12" ht. min.					

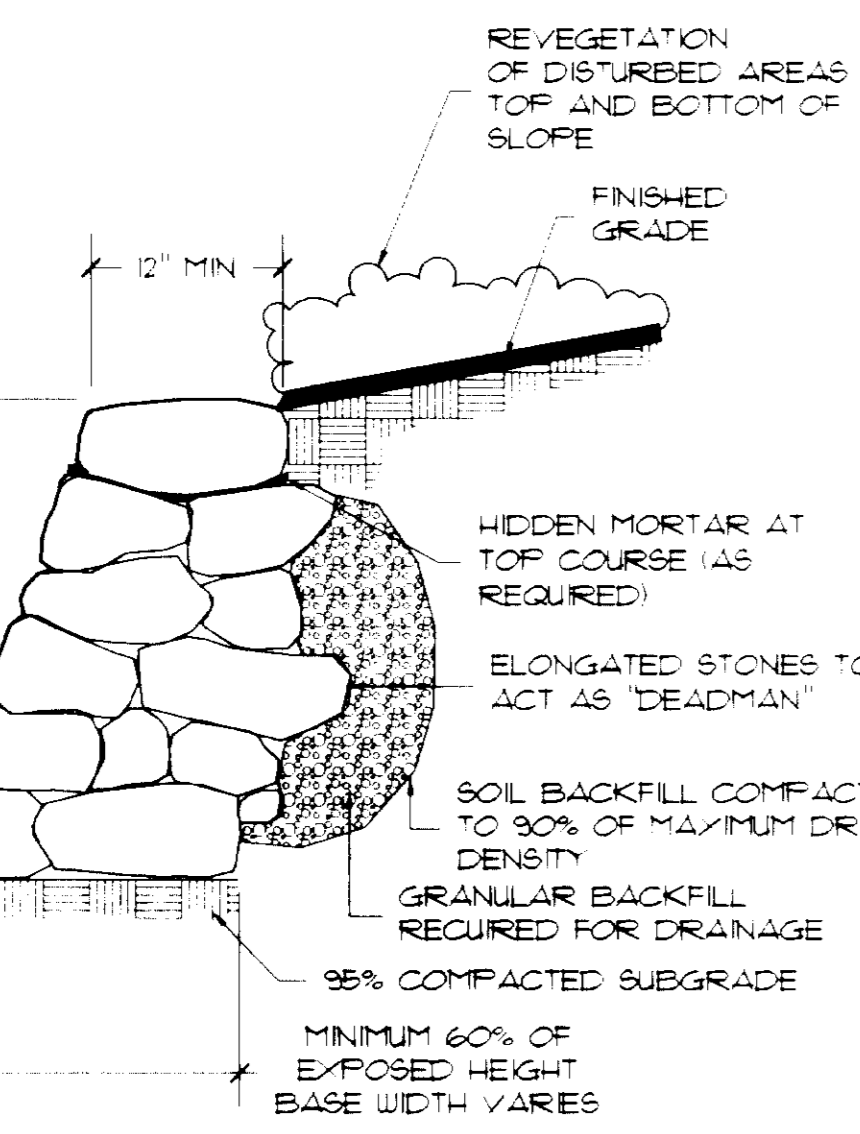
THE WOODLANDS FILING 10

LANDSCAPE NOTES AND DETAILS

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CHECK BY: CH  
ISSUE DATE: 04.11.00  
REVISIONS: 06.19.00  
SHEET TITLE: THE WOODLANDS FILING NO. 10 PRELIMINARY PLAT / FINAL PD SITE PLAN (LANDSCAPE NOTES & DETAILS)  
SHEET NUMBER: 14 OF 15

NOTES

1. NATIVE STONE BOULDERS TO BE "CASTLE ROCK CONGLOMERATE" FROM LOCAL SOURCES. ALL STONE USED TO BE HARD, DENSE, SOUND AND FREE OF FISSURES, FLAKING AND LAMINATIONS.
2. ALL STONE TO BE MINIMUM 6" HEIGHT X 1" WIDTH X 1" DEPTH.
3. ALL JOINTS TO BE STAGGERED.
4. BATTER WALL BACK MINIMUM 20% INCREASE TO 45% BATTER FOR MORE IRREGULARLY SHAPED MATERIAL.
5. MATCH GRADE AT WALL ENDS.



**1 Retaining Wall**  
Scale: 1/2"=1'

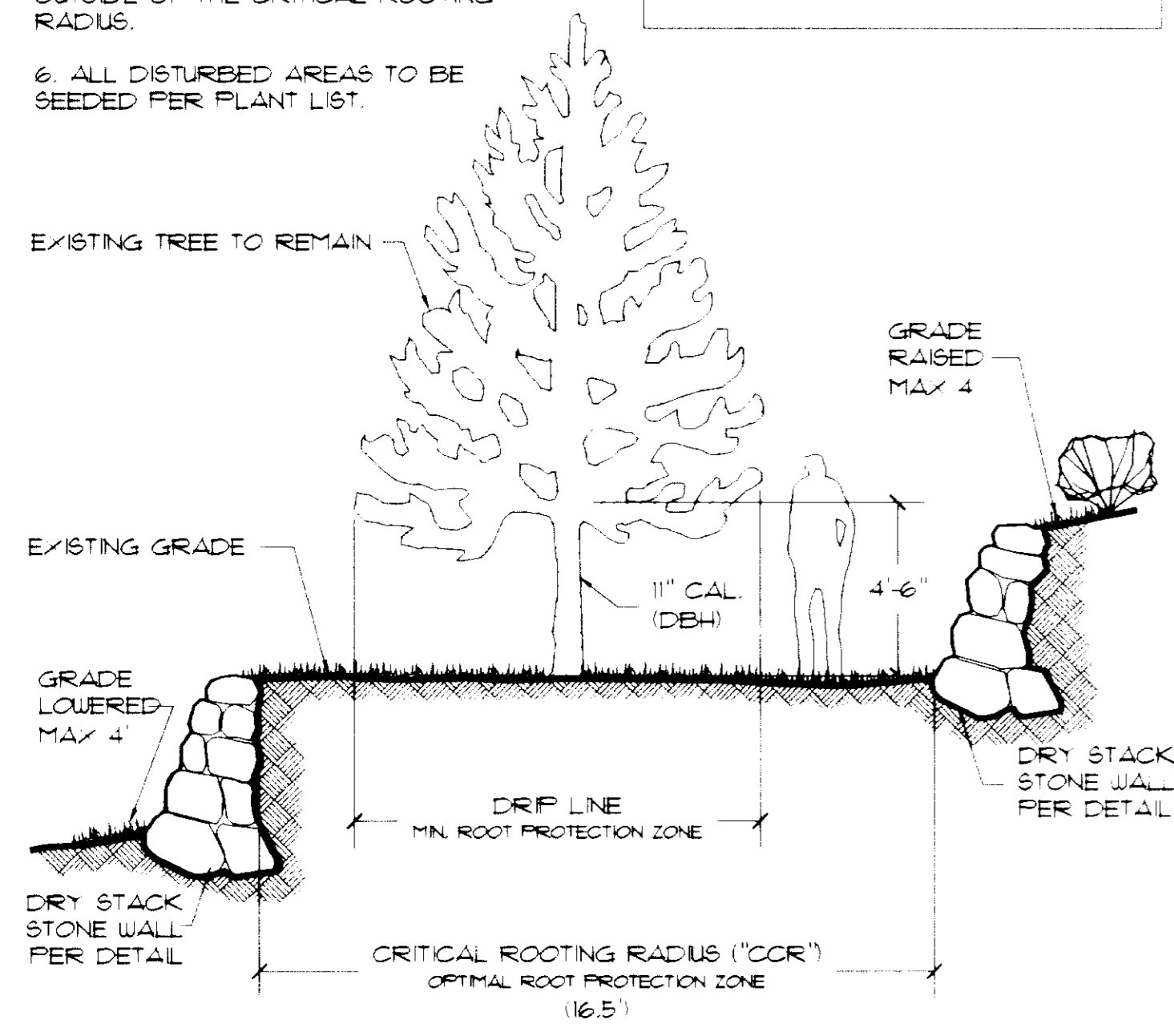
NOTES

1. EXISTING TREES THAT CAN BE RETAINED WITH THE CONSTRUCTION OF RETAINING WALLS WILL BE IDENTIFIED IN THE FIELD DURING THE TREE EVALUATION PHASE.
2. RETAINING WALLS BUILT TO PRESERVE EXISTING TREES WILL BE 1/4" IN HEIGHT AND WILL BE CONSTRUCTED OF DRY STACK NATIVE BOULDERS PER DETAIL THIS SHEET.
3. TREES WILL BE PROTECTED DURING GRADING OPERATIONS PER SPEC PROVIDED.
4. NO CUTTING OR FILLING WILL BE PERMITTED WITHIN THE DRIP LINE.
5. WALL CONSTRUCTION WILL OCCUR OUTSIDE OF THE CRITICAL ROOTING RADIUS.
6. ALL DISTURBED AREAS TO BE SEEDED PER PLANT LIST.

**CRITICAL ROOTING RADIUS:**

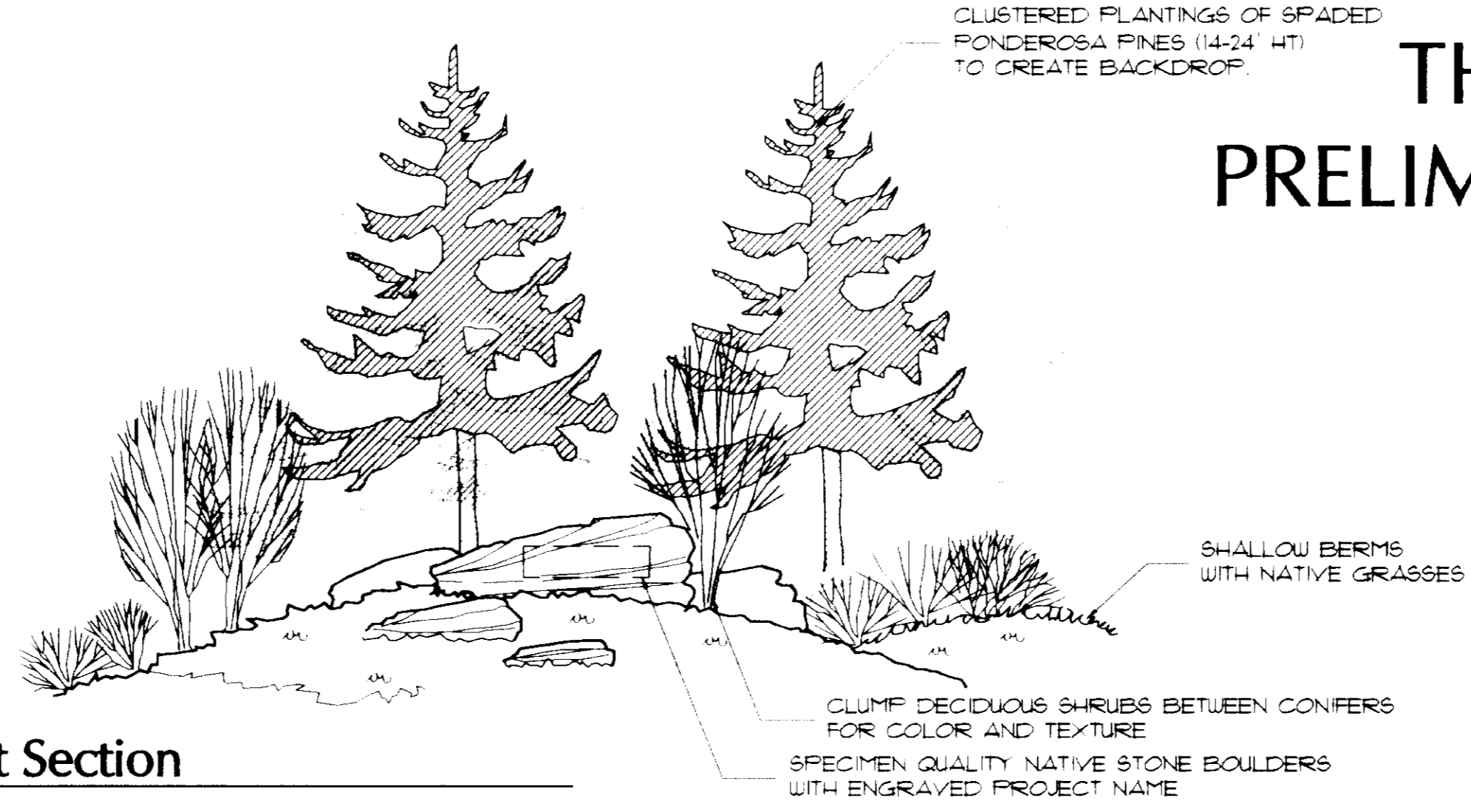
THE AREA OF OPTIMAL ROOT PROTECTION FOR PRESERVING EXISTING TREES WHERE ADJACENT GRADES ARE RAISED OR LOWERED.

THE CRITICAL ROOT RADIUS ("CCR") IS CALCULATED BY MEASURING THE CALIPER @ 4 1/2" (D.B.H.) MULTIPLYING THAT NUMBER (IN INCHES) BY 15 AND EXPRESSING THE RESULT IN FEET. (EG. 11" CAL. X 15 = 16.5 FEET)

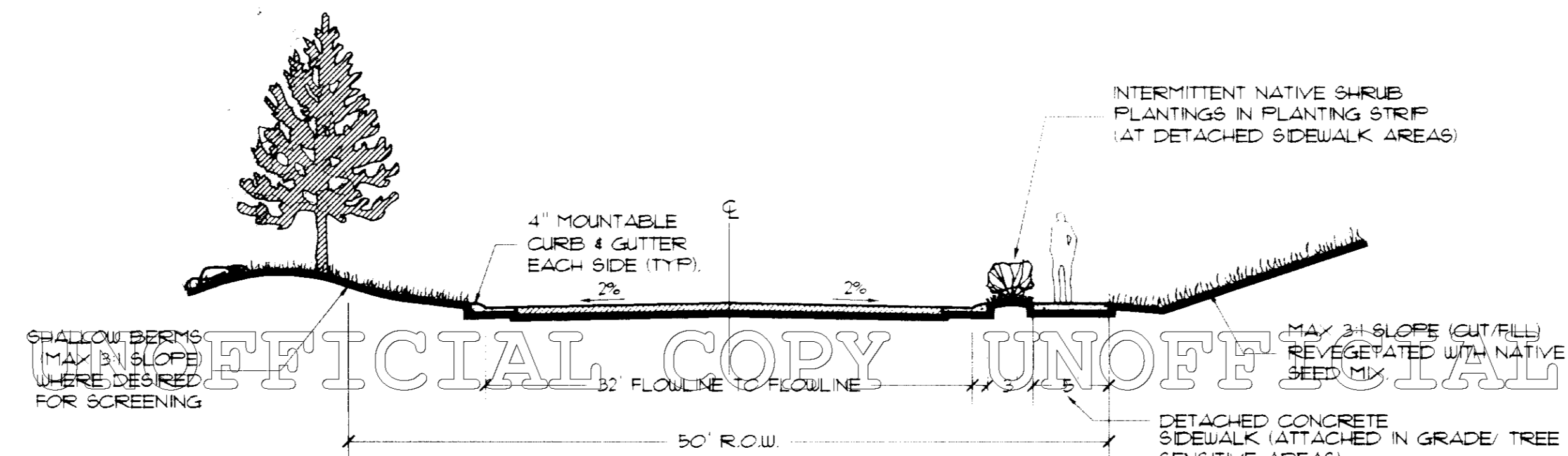


**2 Tree Preservation Using Retaining Wall**  
Scale: 1/4"=1'

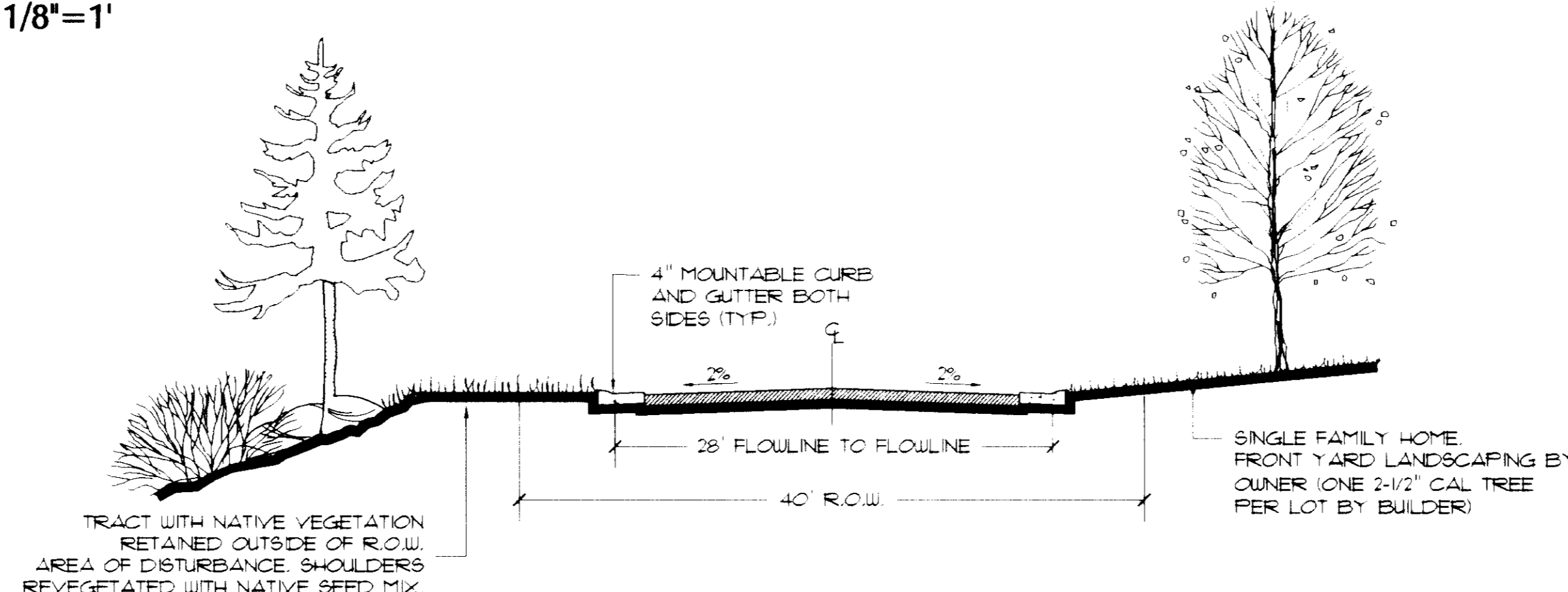
**3 Entry Monument Section**  
Scale: N.T.S.



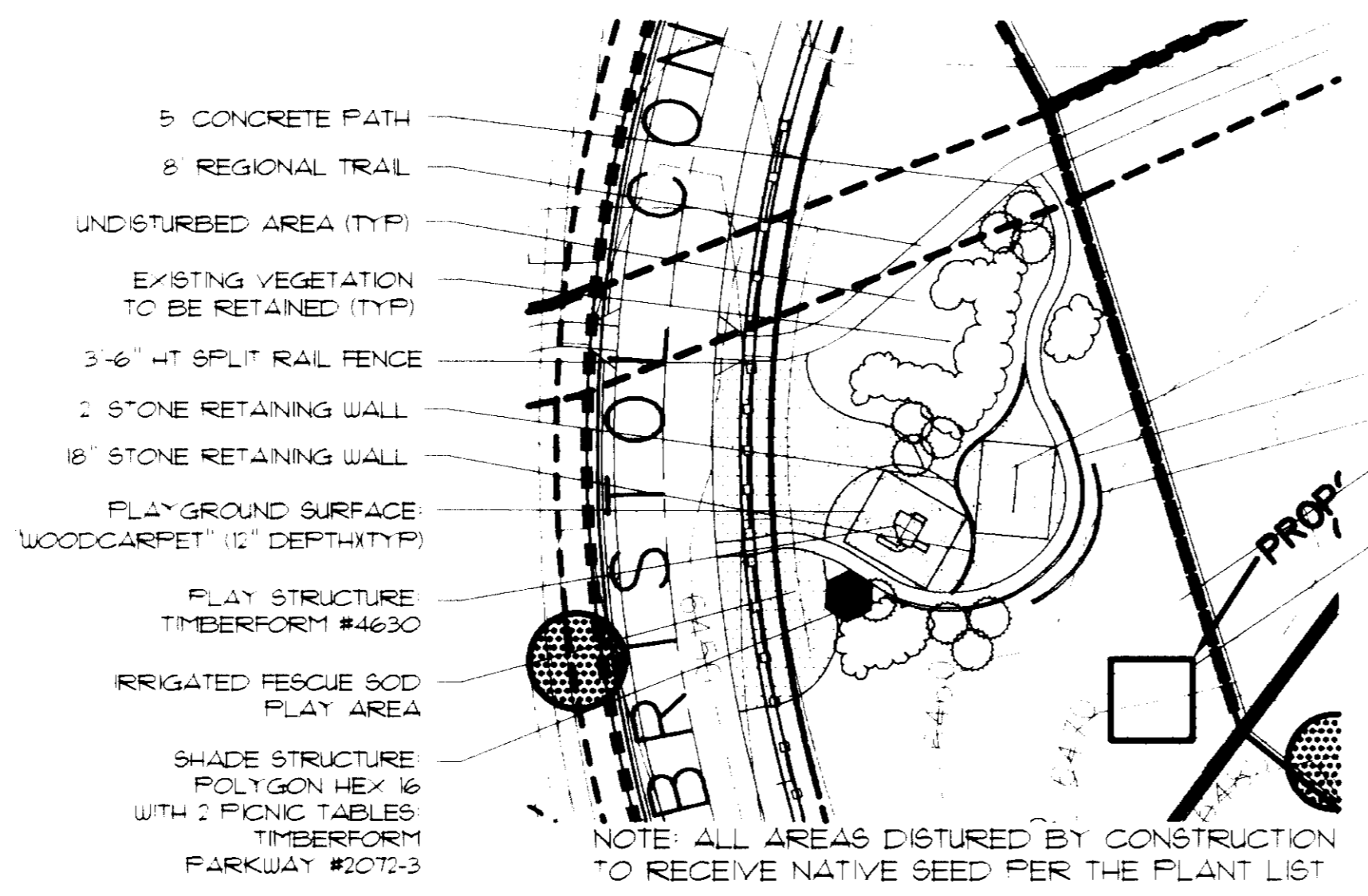
**4 Collector Road Section**  
Scale: 1/8"=1'



**5 Local Road Section**  
Scale: 1/8"=1'



**6 Proposed Mountain Park & Playground at Tract L**  
Scale: 1"=50'



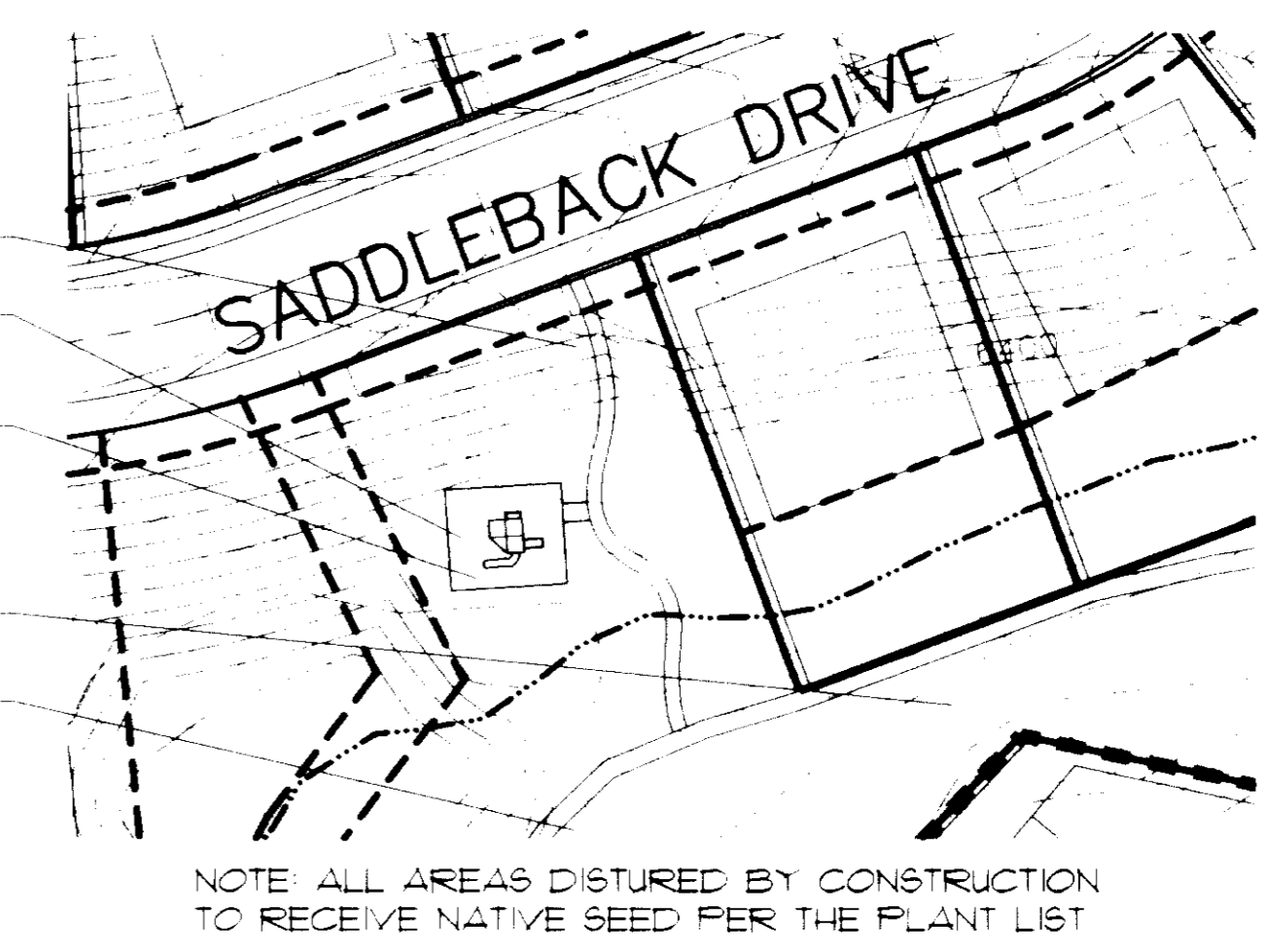
# THE WOODLANDS FILING 10

## PRELIMINARY PLAT / FINAL PD SITE PLAN

### PROPOSED LANDSCAPING STANDARDS FOR FIRE CONTROL ON PRIVATE LOTS:

- A. WITHIN 30 FEET OF STRUCTURE:**  
(Building envelope and immediate area)
1. Create a "defensible space" to reduce the likelihood of a damaging wildfire in the immediate vicinity of the home. Defensible space is the area where vegetation has been designed, installed and maintained to reduce the possibility of fire spreading between the landscape and the building.
  2. If native vegetation has been successfully retained in this area, prune tree canopies to 8' min height. Remove any small or suppressed stems in the understory of dominant trees.
  3. When present, thin any shrubs, particularly Gambel Oak, growing below the canopy of retained trees.
  4. Prune retained coniferous trees to minimize crown overlap; isolate individual trees by pruning back canopies to create separation.
  5. Thin dense, continuous Gambel Oak stands and prune up taller specimens to a more open, tree-like form. Remove all dead wood. Remove sections of large but low growing stands to create discontinuous "islands" of vegetation.
  6. Install a continuous non-irrigated rock mulch bed for a minimum 3' around the perimeter of the building.
  7. Minimize foundation-type plantings, especially adjacent to combustible siding. Keep all shrub planting a minimum 3'-5' from the foundation. Exclude more flammable shrub species (such as coniferous evergreens), and space shrubs to create low, non-continuous plantings near the building.
  8. Plant deciduous tree species only within this zone. Provide irrigation as required for the successful establishment and long term health of new trees.
  9. Plant trees far enough away from the building that, at maturity, tree canopies will not overhang the roof.
  10. Plant sod, or seed with fire resistant grass seed mixes.
  11. Provide irrigation to turf grasses within this area to prevent summer dormancy.
  12. Maintain turf grass height at 6" max. height.
  13. Plant wildflowers only if they will be irrigated, and will be cut back at the end of the growing season (following seed production) to max. 8" ht.
  14. Dispose of all slash or plant trimmings outside of this zone.
- B. BETWEEN 30' AND 125' FROM STRUCTURE**  
(Tree Preservation Area)
- Note that the extent of this zone is affected by slope. The extent of is greater when structures are at the top of a slope, and when slopes are relatively steep. It may be slightly less when structures are at the base of a slope, or are on level ground.
1. Clear small diameter, snowbent, diseased, damaged or suppressed stems in the understory of larger pine trees.
  2. Prune to raise the canopy of large, existing trees to 8-15' above the ground.
  3. Thin shrubs growing directly beneath larger trees per # 2, Section A, above.
  4. Remove, on an annual basis, dead stems and branches from shrubs and trees.
  5. When planting new trees and large shrubs, space at 20-25' apart to allow a minimum of 10' between crowns at maturity.
  6. Prune the branches of smaller or newly planted trees as they grow, up to a height of 8-15' above the ground. Do not overprune the crowns of smaller trees.
  7. Trim native grasses and wildflowers in the fall or spring to a maximum 8" height
  8. Dispose of all slash or plant trimmings off site, or by burning (as permitted), chipping, or cutting down and distributing throughout the area. Brush piles for wildlife should be located at the limits of this zone.
  9. Retain one to two standing dead trees per acre for wildlife habitat.
- C. BEYOND 125' OF STRUCTURE**  
(Preservation / Environmentally Sensitive Area)
1. Clear smaller understory trees and shrubs per #1, Section B, above.
  2. Undertake selective thinning to improve health and appearance of wooded and native brush areas.
  3. Remove smaller trees in crowded stands to increase tree spacing.
  4. Retain an increased number of standing dead trees per acre for wildlife habitat unless they pose a threat to utilities or human use.
  5. Slash or plant trimmings may be disposed of within this area.

**6 Playground at Tract C**  
Scale: 1"=50'



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THE WOODLANDS FILING 10

LANDSCAPE NOTES & DETAIL SHEET

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