

WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3, T8S, R67W OF THE 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.

2. PURSUANT TO SECTION 4.3E AND 8.2A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.

3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.

4. FLOOD ZONE, PER FIRM MAP NO.08035C0169F, DATED SEPTEMBER 30, 2005 THE 100 YEAR FLOOD PLAIN SLIGHTLY ENCLOSES IN THE PROPERTY AT THE NORTH PROPERTY LINE.

5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.

6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.

7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.

8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

9. THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.

10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.

11. THIS SITE IS ZONED PLANNED DEVELOPMENT.

12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.

13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

14. THIS DEVELOPMENT IS NOT IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

15. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.

16. SIGN PERMITS FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING ZONING DIVISIONS PRIOR TO PLACING ANY SIGN ON THE PROPERTY.

17. THE WIDTH OF THE 30 FOOT UTILITY EASEMENT WILL BE REDUCED DURING THE PLATTING PROCESS.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.

2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.

3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.

4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.

5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.

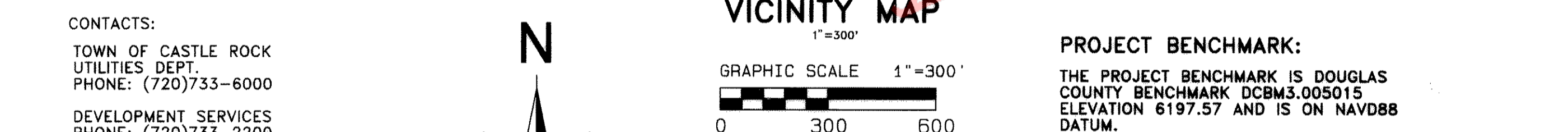
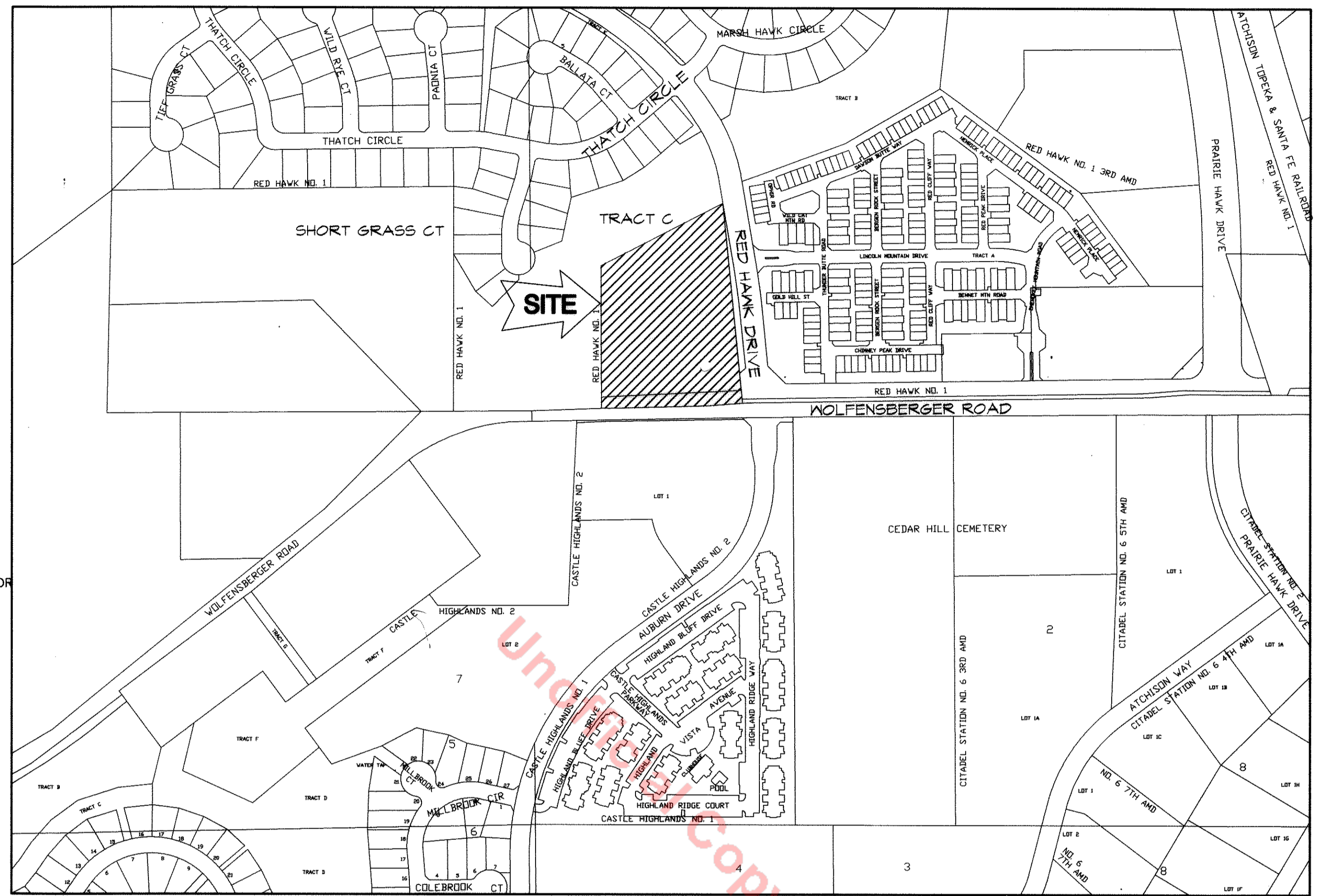
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.

7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.

8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE GRAHAM ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 11TH DAY OF APRIL, 1997 AT RECEPTION NO. 9718630 AND ACCORDINGLY 10.35 SFE ARE DEBITED FROM THE WATER BANK.



CONTACTS:
 TOWN OF CASTLE ROCK UTILITIES DEPT. PHONE: (720)733-6000
 DEVELOPMENT SERVICES PHONE: (720)733-2200
 GAS: BLACK HILLS ENERGY PHONE: (800) 890-5554
 ELECTRIC: IREA PHONE: 303-688-3100
 TELEPHONE: CENTURY LINK COMMUNICATIONS PHONE: 720-578-5142

PROJECT BENCHMARK:
 THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM3.005015 ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

OWNER
 BETTER LAND LLC
 13530 NORTHGATE ESTATES DR. SUITE 200
 COLORADO SPRINGS, CO 80921
 PHONE NO. 719-598-5190

SURVEYOR/ENGINEER
 DAVID E. ARCHER & ASSOCIATES
 105 WILCOX STREET, CASTLE ROCK, CO 80104
 CONTACT: KEVIN ARCHER
 PHONE NO. 303-688-4642

PLANNER \ DEVELOPER
 RIVERS DEVELOPMENT
 13530 NORTHGATE ESTATES DR. SUITE 200
 COLORADO SPRINGS, CO 80921
 PHONE NO. 719-598-5190

SHEET NO.	DESCRIPTION
1 OF 13	COVER SHEET
2 OF 13	SITE PLAN
3 OF 13	GENERAL GRADING PLAN
4 OF 13	GENERAL UTILITIES PLAN
5 OF 13	BUILDING ELEVATIONS
6 OF 13	BUILDING ELEVATIONS
7 OF 13	LANDSCAPE SITE ANALYSIS - USE ANALYSIS
8 OF 13	LANDSCAPE PLAN SHEET
9 OF 13	LANDSCAPE PLANS SHEET
10 OF 13	LANDSCAPE CATEGORY CALCULATION & PLANT SCHEDULE
11 OF 13	CONCEPTUAL LIGHTING PLAN
12 OF 13	VIEWSHED ANALYSIS
13 OF 13	VIEWSHED ANALYSIS

OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BETTER LAND LLC MANAGER
 SIGNED THIS 31 DAY OF March, 2015

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 31 DAY OF March 2015 BY Brian Bahr as manager for Better Land LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: 8-11-18

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION
 BY Paul Donahue MAYOR
 ATTEST: Sally M... TOWN CLERK
 SIGNED THIS 21st DAY OF April 2015 BY Paul Donahue AS MAYOR AND BY Sally Misare AS TOWN CLERK.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: 9-21-2015

TITLE CERTIFICATION

I, Don Whitmore, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE
 LAND TITLE GUARANTEE COMPANY
 SIGNED THIS 19th DAY OF April, 2015

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 19 DAY OF April 2015 BY Don Whitmore AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: 9-11-2018

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:40 PM ON THE 15th DAY OF May 2015 AT RECEPTION NO. 2015031663

DOUGLAS COUNTY CLERK AND RECORDER
 BY: Merlin Klotz DEPUTY

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 28th DAY OF January, 2015

CHAIR: Michael J. Franzke DATE: April 17, 2015
 ATTEST: [Signature] DATE: 4/17/15
 DIRECTOR OF DEVELOPMENT SERVICES

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 27th DAY OF January, 2015

MAYOR: Paul Donahue DATE: 4-21-15
 ATTEST: Sally M... TOWN CLERK DATE: 4-21-15

SUMMARY TABLE

LOT AREA	4.55 AC (198,058 SF)
BUILDING GROUND COVERAGE	45,992 SF
PARKING	35,450 SF
DRIVE	10,486 SF
SIDEWALK/DISPLAY/OTHER	25,879 SF
OPEN SPACE REQUIRED	0.55 ACRES (23,958)
OPEN SPACE AND DRAINAGE TRACT	0.326 ACRES (14,189 SF)
LANDSCAPE/ OPEN SPACE PROVIDED	1.49 ACRES (65,150 SF)
SINGLE FAMILY EQUIVALENT	10.35
SETBACKS	SOUTH - 30 FEET EAST - 20 FEET WEST - 20 FEET NORTH - 15 FEET
MAX BUILDING HEIGHT ALLOWED	40'-0"
MAX BUILDING HEIGHT PROPOSED	35'-0"
PARKING REQUIRED	
1.5 SP./1 BDRM. 2.0 SP./2+ BDRM PLUS 1 SP./4 UNITS	(40) 2+ BEDROOMS, (16) 1 BEDROOM 56 UNITS TOTAL
TOTAL PARKING REQUIRED	104 + 14 = 118 SPACES
PARKING PROVIDED	71 SPACES + 56 GARAGE SPACES = 127 SPACES TOTAL + 6 SPACES OF THE TOTAL 127 SPACES WILL BE HANDICAPPED

PROJECT NO. SDP14-0020

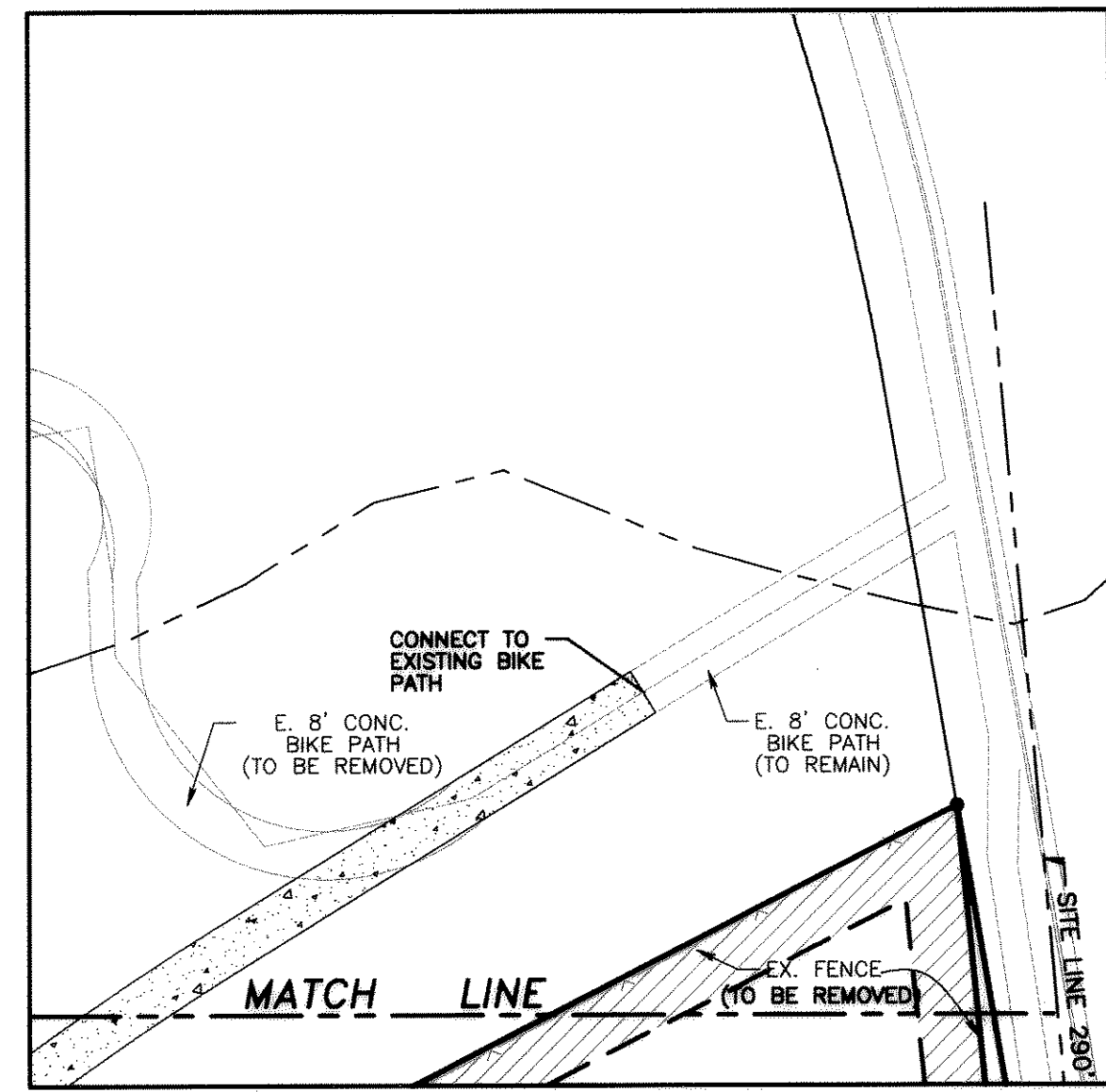
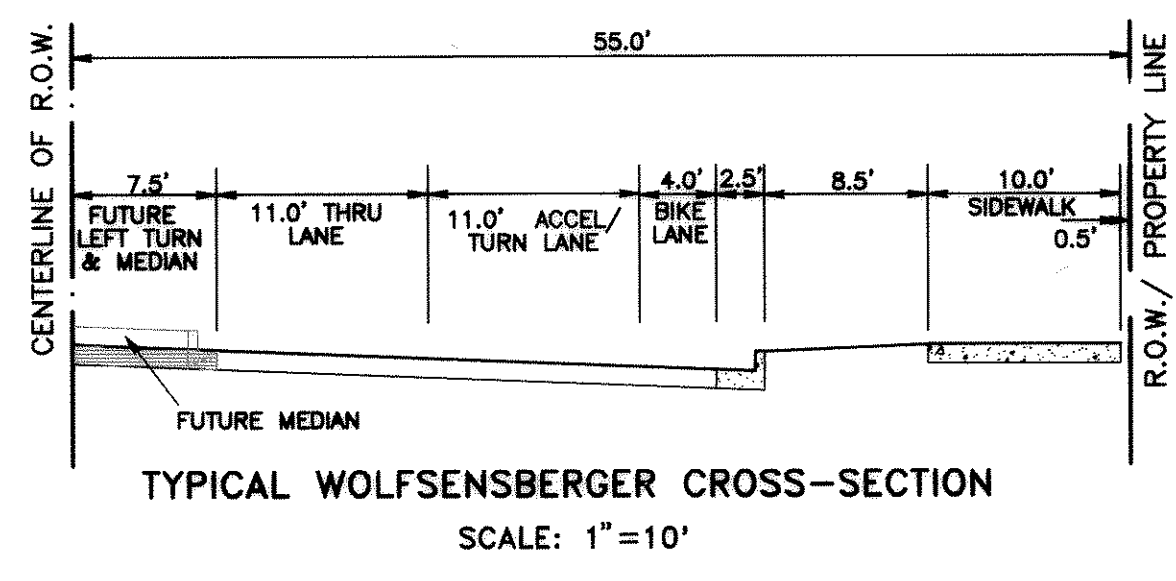
DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT & ENGINEERING
 SURVEYING & CONSULTING
 PHONE (303) 688-4642
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

WOLFENSBERGER SITE DEVELOPMENT PLAN
 LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3, T8S, R67W OF THE 6TH P.M. DOUGLAS COUNTY, COLORADO.

RIVERS DEVELOPMENT
 SHEET NUMBER: 06-0850
 SHEET 1 OF 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



TRACT C, RED HAWK FILING NO. 1
ZONED: RED HAWK AMENDMENT NO.1 PD
USE: OPEN SPACE

TRACT "B"
(0.326 ACRES)

LOT 1
(4.236 ACRES)

ZONED: PLANNED DEVELOPMENT (PD)
USE: MULTI-FAMILY (MF) 4.55 ACRES
MAXIMUM DWELLING UNITS - 59
MAXIMUM DENSITY - 12.31 DU/AC

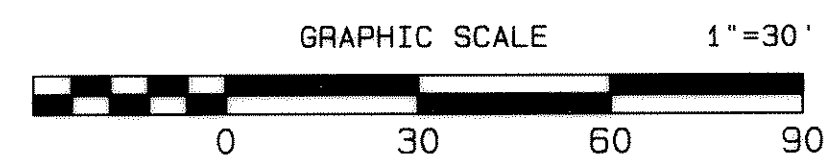
LINCOLN MOUNTAIN DRIVE (PRIVATE)

RED HAWK DRIVE
(70' R.O.W.)

WOLFENSBERGER ROAD
1 (COSTING R.O.W. 110')

PROJECT BENCHMARK:
THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM3.005015
ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

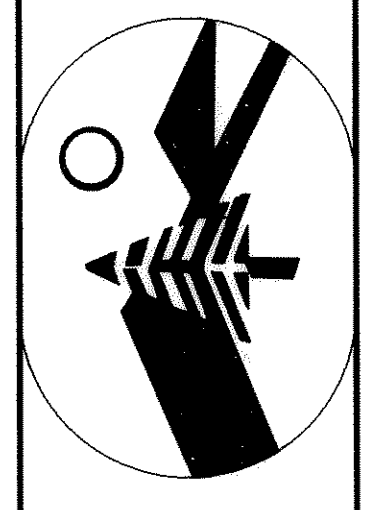
BASIS OF BEARINGS
BEARINGS ARE BASED ON THE CONSIDERATION THAT THE WEST LINE OF LOT 1 BEARS S00°15'52"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.



- PROPOSED 6" CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- PROP CULVERT W/ FES
- EX CULVERT W/ FES
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- PROPOSED CONCRETE
- PROP FENCE LINE
- EXISTING WALL LINE
- PROPOSED WALL LINE
- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- BUILDING SETBACK
- PHASE LINE
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- PROP FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED HANDICAP PARKING
- FIRE LANE

TYPICAL GARAGE DIMENSION
12.5' x 22' STANDARD MINIMUM SIZE (8' WIDE DOOR)
12.5' x 24' STANDARD MAXIMUM SIZE (8' WIDE DOOR)
14.5' x 24' HANDICAP SIZE (10' WIDE DOOR)
* ALL GARAGES ARE ONE CAR.

100 YEAR FLOOD PLAIN PER OMNI, INDUSTRIAL AND WESTFIELD WATERSHEDS FLOOD HAZARD AREA DELINEATION APRIL 2010



DAVID E. ARCHER & ASSOCIATES INC.
LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING
PHONE (303) 888-4642
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS

COMMENTS 10-20-14
COMMENTS 11-12-14
COMMENTS 11-25-14
COMMENTS 12-15-14

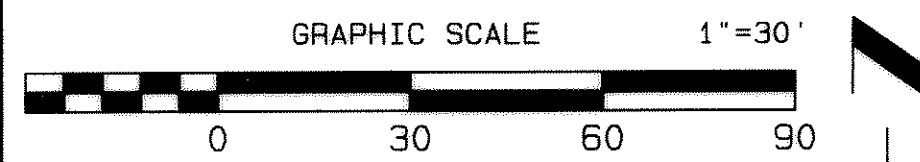
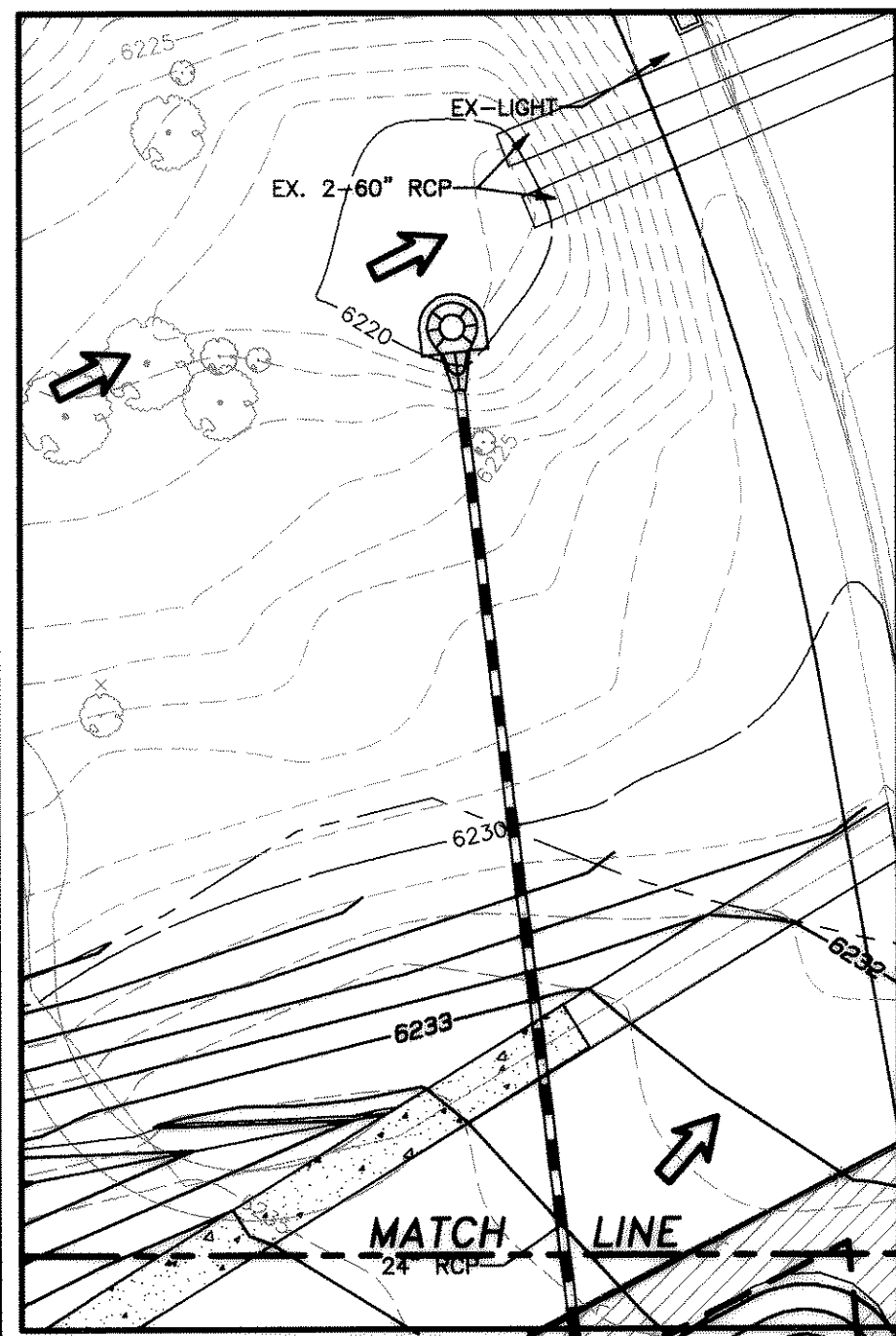
WOLFENSBERGER SITE DEVELOPMENT PLAN
LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.

SITE PLAN
CONTACT: BETTER LAND LLC
PHONE: 719-598-5190

SCALE 1"=30'
DATE 08-14-14
DRN DMH CKD KEA
APP'VD KEA
JOB NUMBER 06-0850
Sheet 2 of 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



PROJECT BENCHMARK:

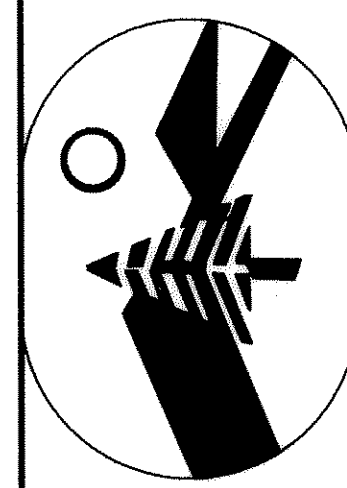
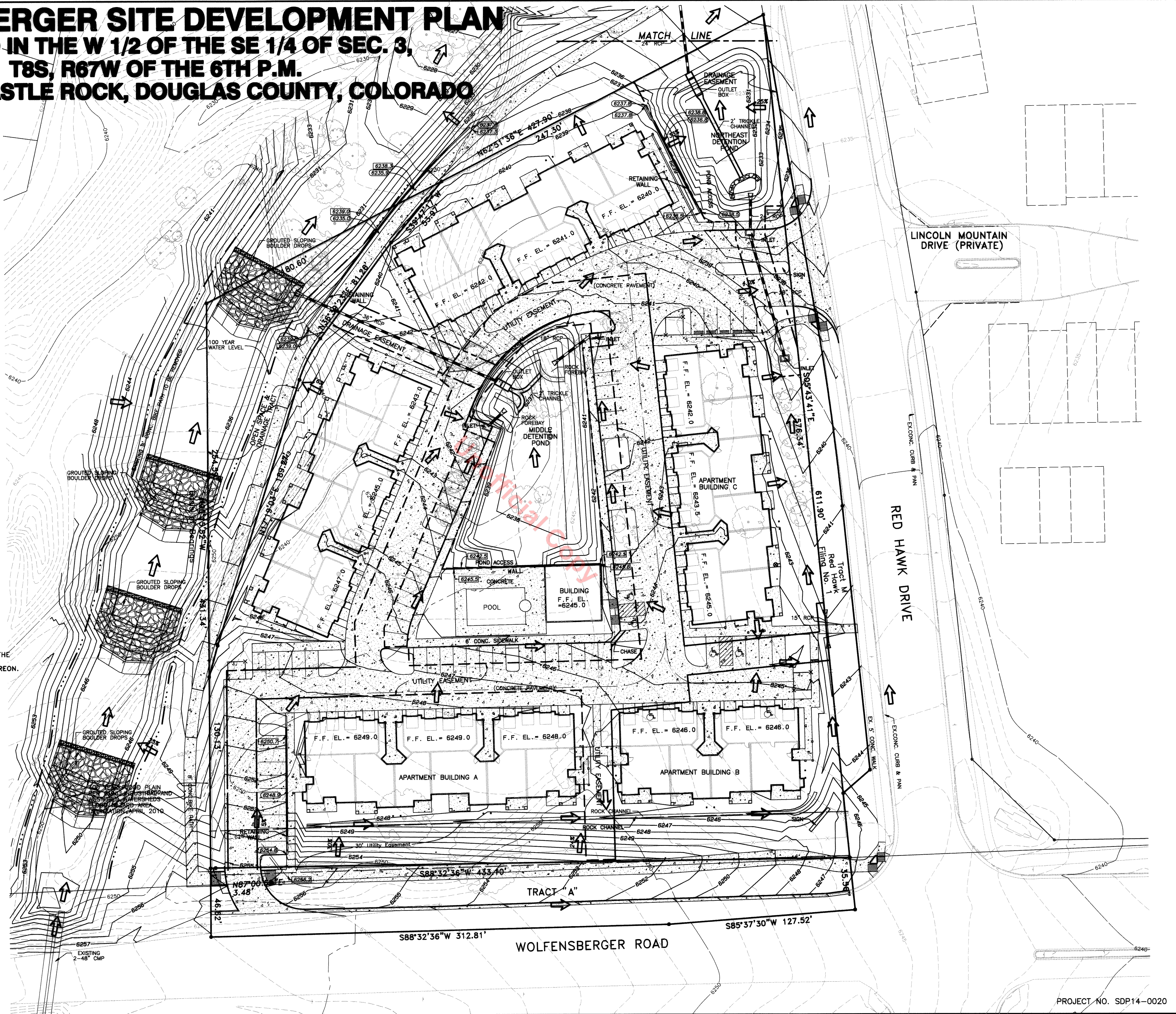
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BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CONSIDERATION THAT THE WEST LINE OF LOT 1 BEARS S00°15'52" W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

LEGEND

- PROPOSED 6" CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- PROP CULVERT W/ FES
- EX CULVERT W/ FES
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING RIP-RAP
- PROP FENCE LINE
- EXISTING WALL LINE
- PROPOSED WALL LINE
- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- BUILDING SETBACK
- EXISTING GRADE CONTOURS (1' INTERVAL)
- FINISHED GRADE CONTOURS (1' INTERVAL)
- EXISTING EASEMENT PHASE LINE
- FINISHED FLOWLINE OF CURB ELEVATION
- FINISHED TOP OF WALL SPOT ELEVATIONS
- FINISHED BOTTOM OF WALL SPOT ELEVATIONS
- FINISHED FLOW DIRECTION
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- PROP FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED HANDICAP PARKING



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
SURVEYING & ENGINEERING
PHONE (303) 688-4842
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS
COMMENTS 10-20-14
COMMENTS 11-12-14
COMMENTS 11-25-14
COMMENTS 12-15-14

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LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
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GENERAL GRADING PLAN

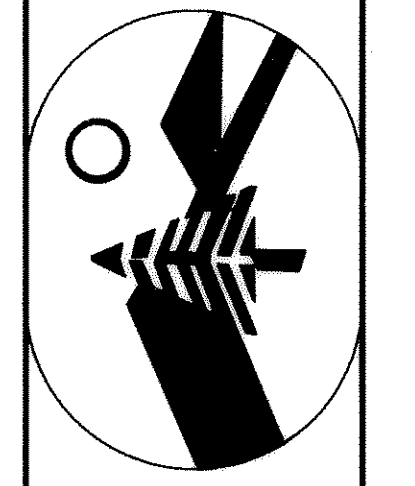
CONTACT: BETTER LAND, LLC
PHONE: 719-398-5190

SCALE	1"=30'
DATE	8-14-14
DRN	DMH
CKD	KEA
APP'D	KEA
JOB NUMBER	06-0850
Sheet	3 of 13

PROJECT NO. SDP14-0020

WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



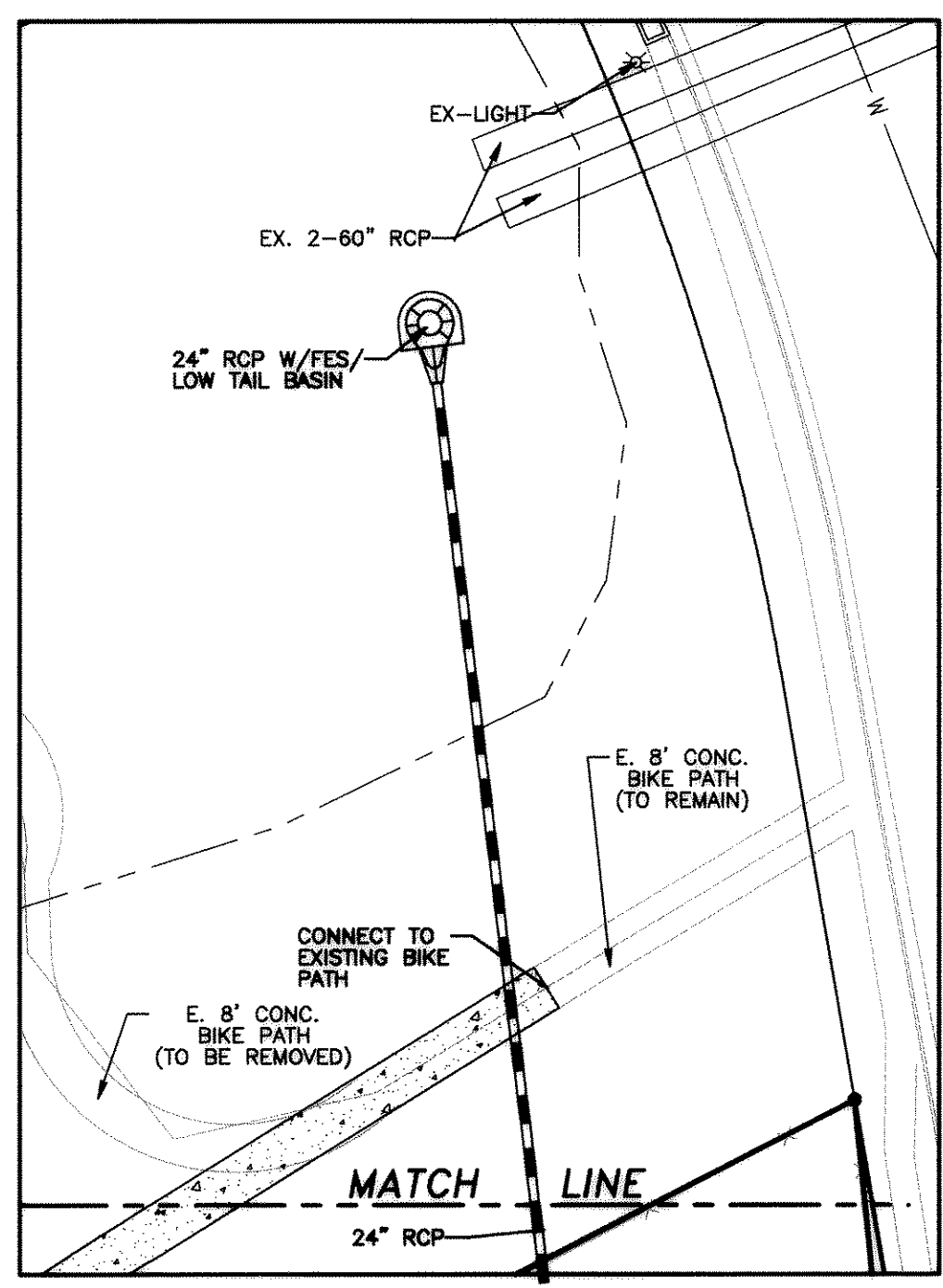
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SURVEYING & ENGINEERING
PHONE (303) 888-4642
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS	DATE	DESCRIPTION
COMMENTS	10-20-14	
COMMENTS	11-12-14	
COMMENTS	11-25-14	
COMMENTS	12-15-14	

WOLFENSBERGER SITE DEVELOPMENT PLAN
LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.
GENERAL UTILITIES PLAN
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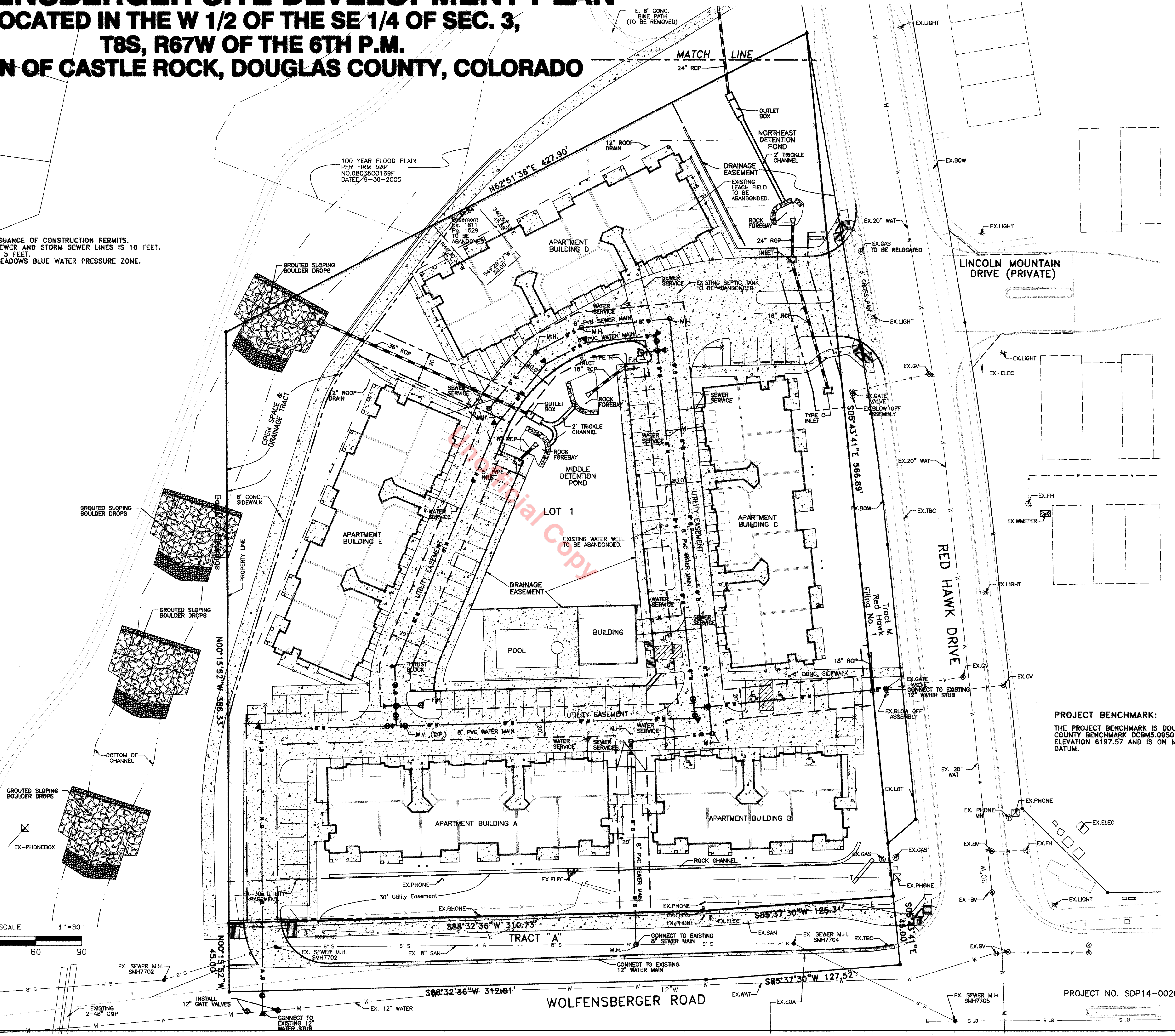
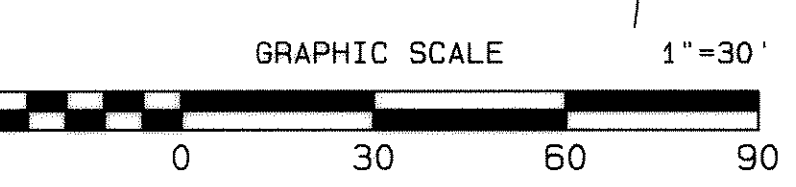
SCALE	1" = 30'
DATE	08-14-14
DRN	DMH (CKD: KEA)
APVD	KEA
JOB NUMBER	06-0850
Sheet	4 of 13

- UTILITY NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK MEADOWS BLUE WATER PRESSURE ZONE.



LEGEND

- PROPOSED 6" CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- PROP CULVERT W/ FES
- EX CULVERT W/ FES
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- PROPOSED CONCRETE
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
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- PROPOSED WALL LINE
- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- PROPOSED EASEMENT
- PHASE LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EX WATER LINE
- PROP WATER LINE W/ SIZE
- EX SEWER LINE W/ M.H.
- PROP SEWER LINE W/ M.H.
- PROP LIGHT POLE
- EX LIGHT POLE
- PROP FIRE HYDRANT
- EX FIRE HYDRANT
- PROP HANDICAP PARKING
- EX HANDICAP PARKING
- PROP LOW TAIL WATER BASIN
- EX LOW TAIL WATER BASIN
- PROP FLARE END SECTION
- EX FLARE END SECTION
- EXISTING WATER VALVE
- PROPOSED WATER VALVE



PROJECT BENCHMARK:
THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBMS.005015 ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

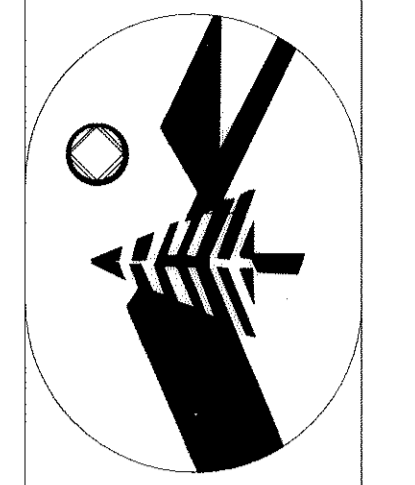
WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3, T8S, R67W OF THE 6TH P.M.

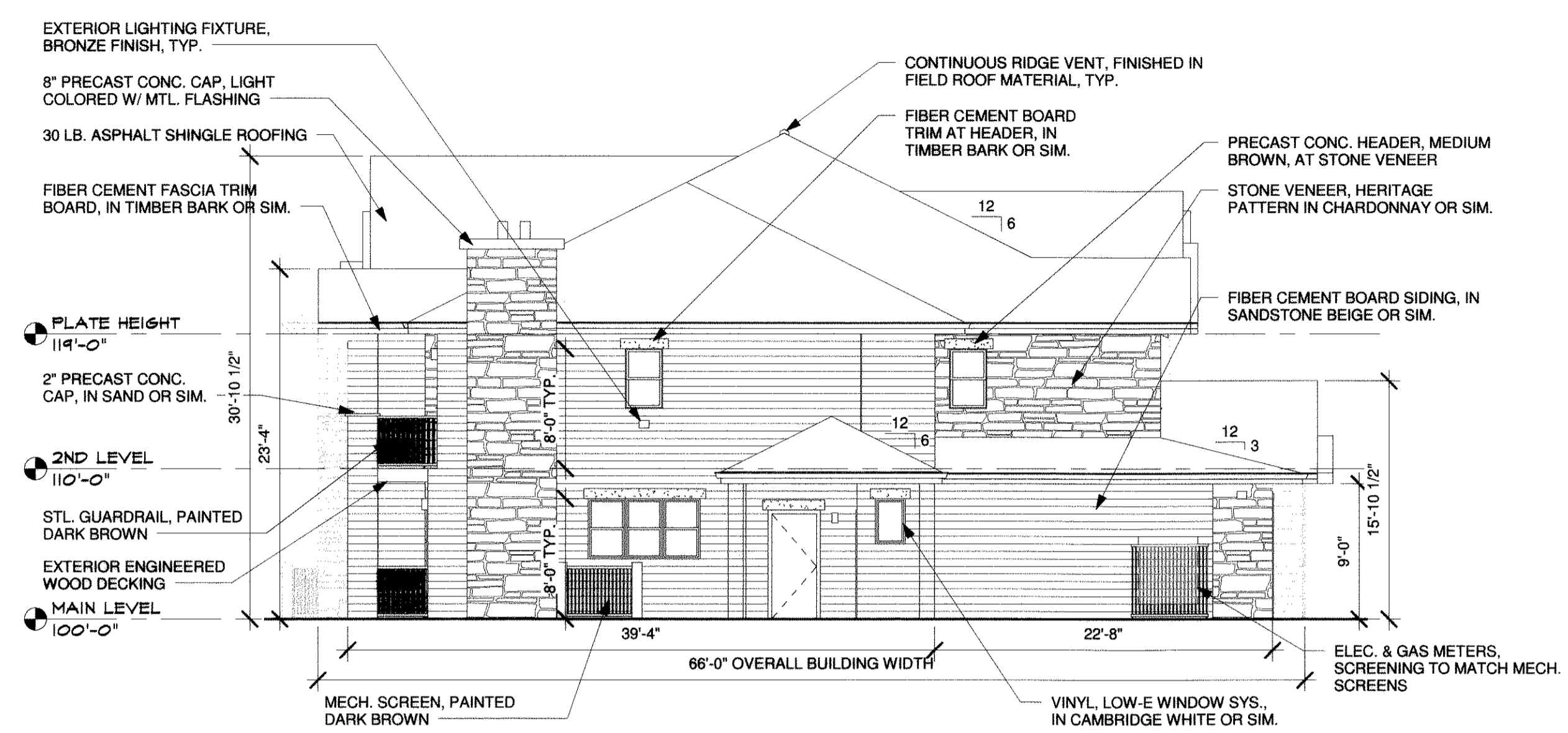
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

EXTERIOR ELEVATION GENERAL NOTES & LEGEND:

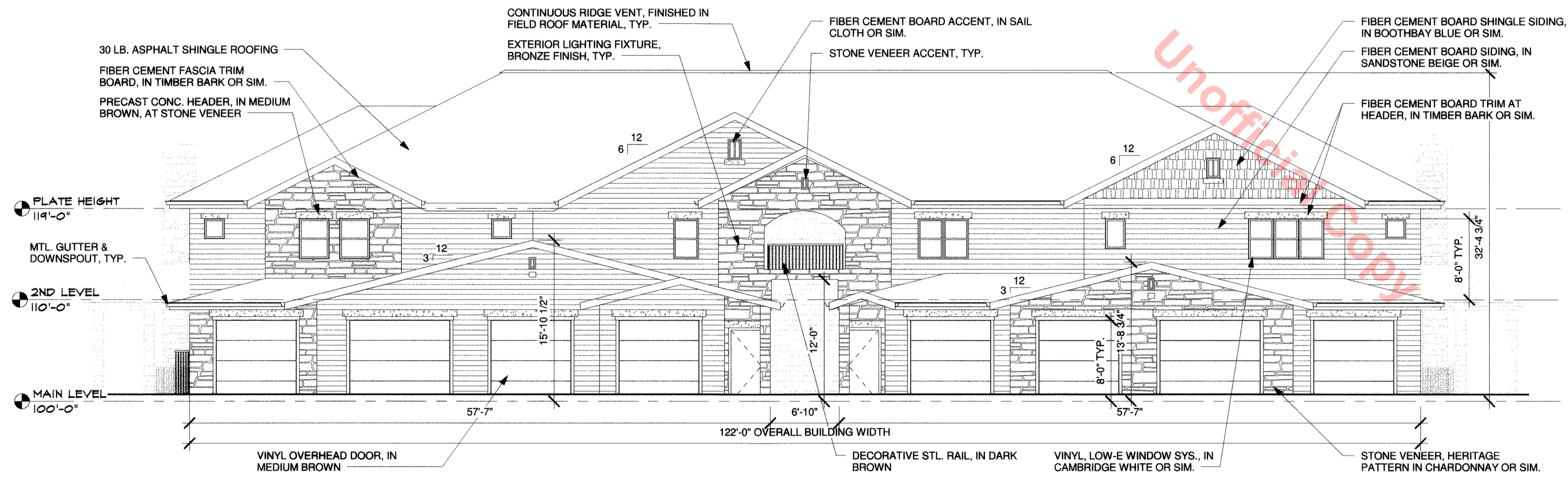
1. ALL ELECTRICAL LIGHTING FIXTURES TO BE FULL CUT-OFF FIXTURES, AND OF A DARK FINISH
2. ALL MECHANICAL SCREENS TO BE MADE OF PAINTED WOOD & LOCATED PER MECH. PLANS.
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4. ALL GUTTERS & DOWNSPOUTS TO BE PAINTED METAL
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7. ROOF VENTING LOCATIONS ARE NOT YET DETERMINED, BUT WILL BE GANGED WHEN POSSIBLE AND PAINTED TO MATCH THE MAIN FIELD ROOFING COLOR.



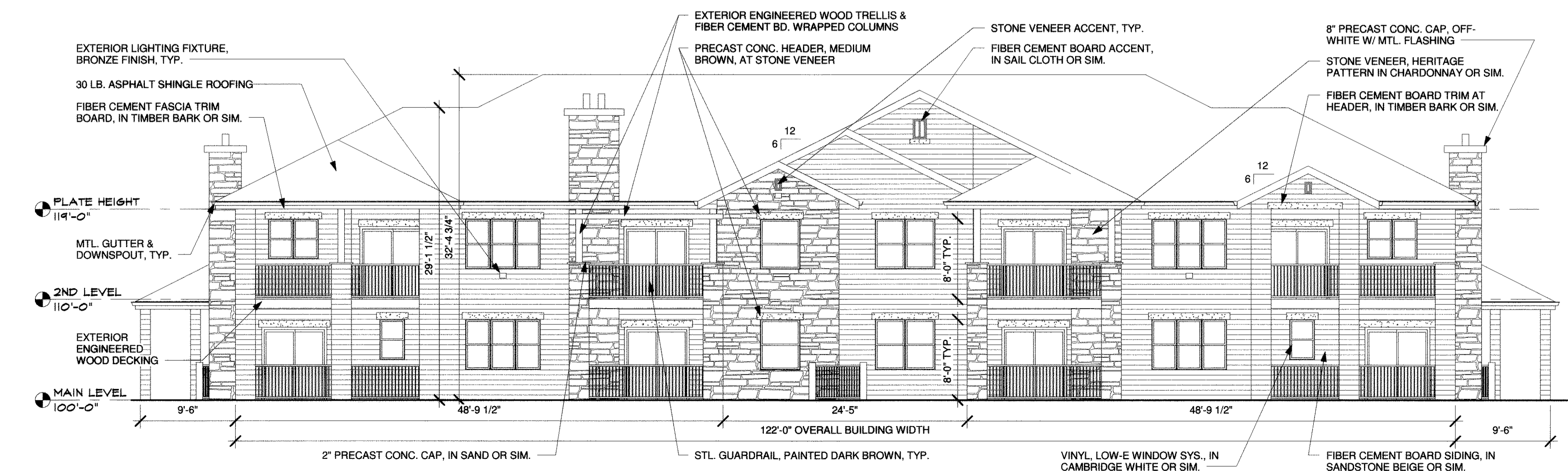
DAVID E. ARCHER & ASSOCIATES, INC.
 LAND SURVEYING & ENGINEERING
 105 WILCOX ST., CASTLE ROCK, CO 80108
 PHONE: 303-958-4894



3 EXTERIOR ELEVATION - 8 UNIT - SIDE VIEWS
1/8" = 1'-0"



2 EXTERIOR ELEVATION - 8 UNIT - INTERIOR COMPLEX VIEW
1/8" = 1'-0"



1 EXTERIOR ELEVATION - 8 UNIT - PUBLIC WAY VIEW
1/8" = 1'-0"

REVISIONS
 COMMENTS 10-20-14
 COMMENTS 11-11-14

WOLFENSBERGER SITE DEVELOPMENT PLAN
 LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
 T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.
EXTERIOR ELEVATIONS
 CONTACT: BETTER LAND LLC
 PHONE: 719-598-5190

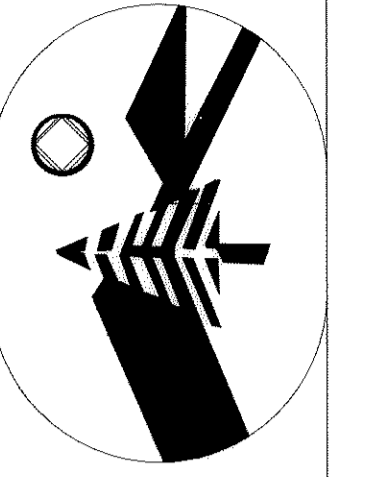
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DATE	08-14-14
DRN	TDG
APP'D.	TDG
JOB NUMBER	06-0850
Sheet	5 of 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

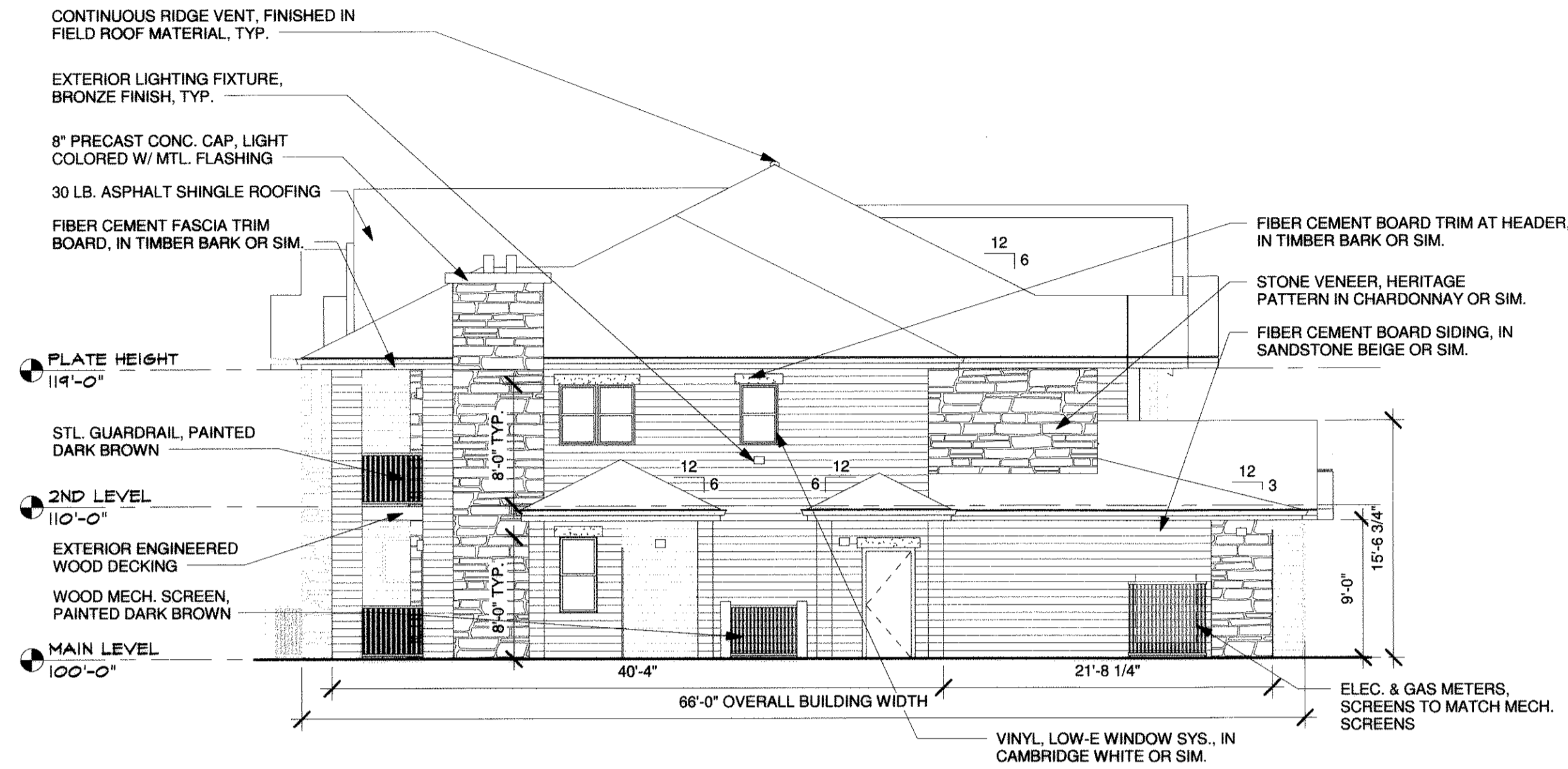
LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

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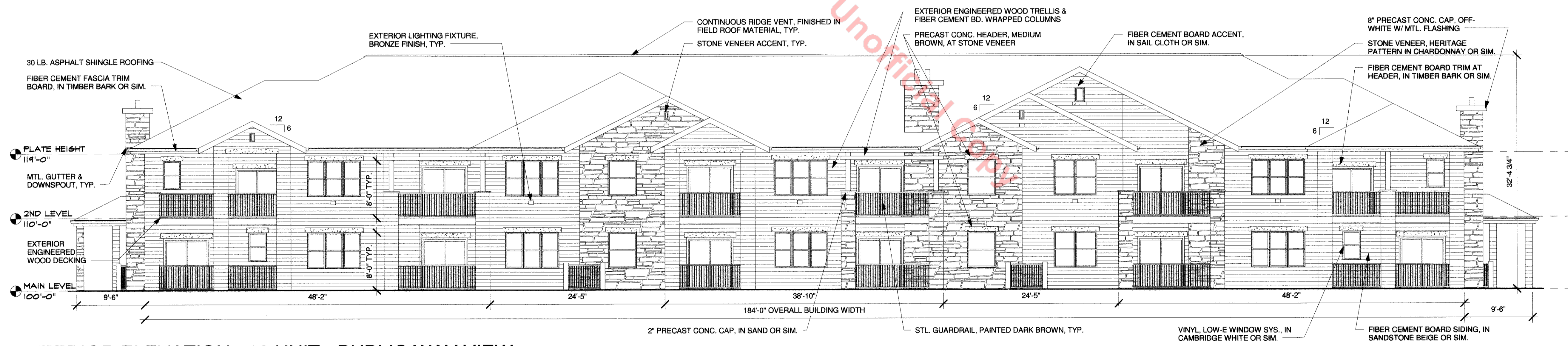
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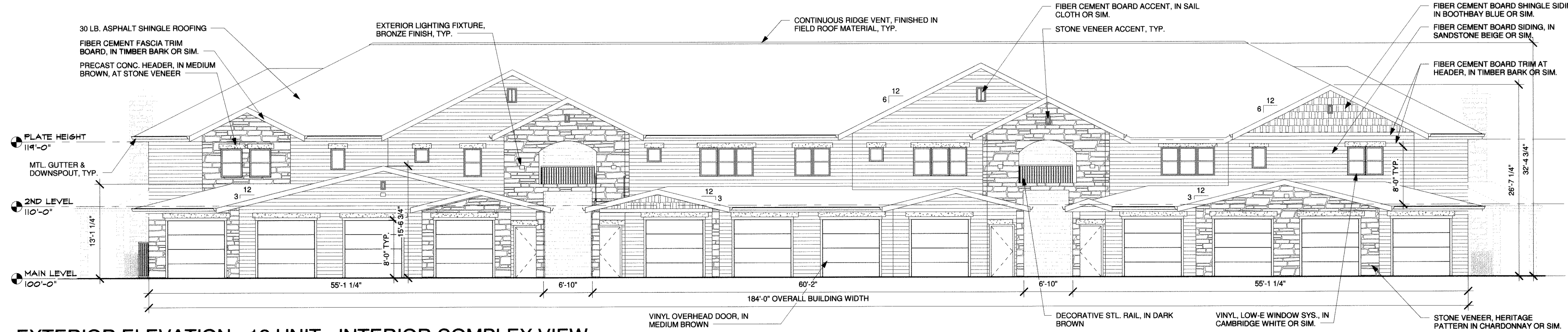
DAVID E. ARCHER & ASSOCIATES, INC.
 ARCHITECTS, ENGINEERS, SURVEYORS & PLANNERS
 100 WILSON ST., CASTLE ROCK, CO 80104
 PHONE: 303-748-4444
 FAX: 303-748-4444



7 EXTERIOR ELEVATION - 12 UNIT - SIDE VIEWS
1/8" = 1'-0"



6 EXTERIOR ELEVATION - 12 UNIT - PUBLIC WAY VIEW
1/8" = 1'-0"



5 EXTERIOR ELEVATION - 12 UNIT - INTERIOR COMPLEX VIEW
1/8" = 1'-0"

REVISIONS
 COMMENTS 10-20-14
 COMMENTS 11-12-14

WOLFENSBERGER SITE DEVELOPMENT PLAN
 LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
 T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.
EXTERIOR ELEVATIONS
 CONTACT: BETTER LAND, LLC
 PHONE: 719-595-5190

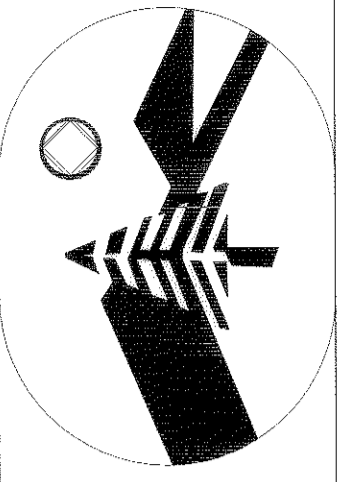
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DATE	08-14-14
DRN	TDG
CHKD	TDG
APP'D	TDG
JOB NUMBER	06-0850
SHEET	6 of 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

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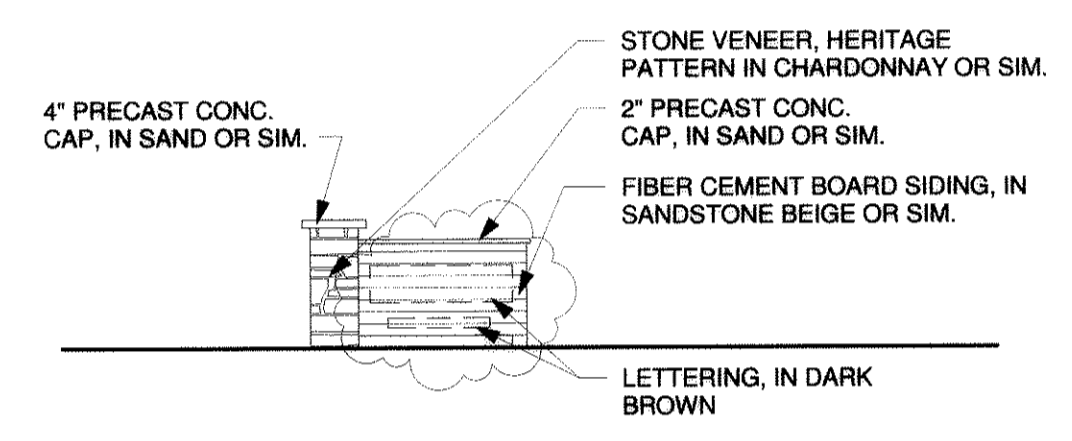
DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING
 SURVEYING & ENGINEERING
 PHONE: 303.552.9554-4544
 OR: WEBCAM 317.241.1711

REVISIONS
 COMMENTS 10-20-14
 COMMENTS 11-12-14

WOLFENSBERGER SITE DEVELOPMENT PLAN
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EXTERIOR ELEVATIONS
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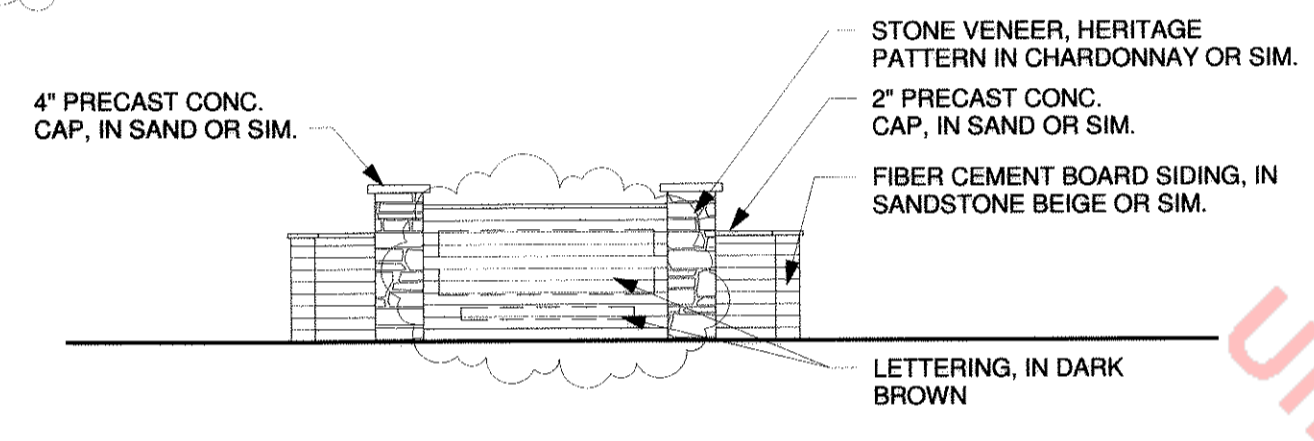
SCALE	1/8" = 1'-0"
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DRN	TDG
APP'VD	TDG
JOB NUMBER	06-0850
Sheet	7 of 13

NOTE: ALL PROPOSED SIGNAGE TO BE SUBMITTED FOR REVIEW WITH THE SIGN PERMIT APPLICATION.

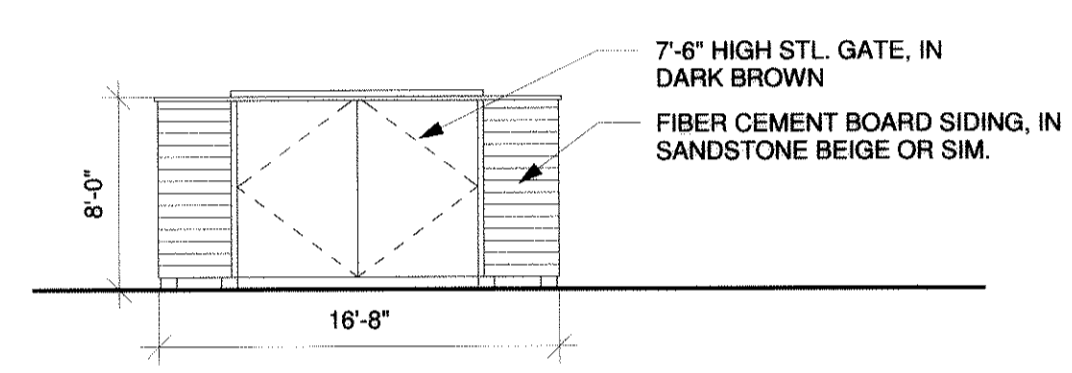


8 MONUMENT SIGN AT ENTRY
1/8" = 1'-0"

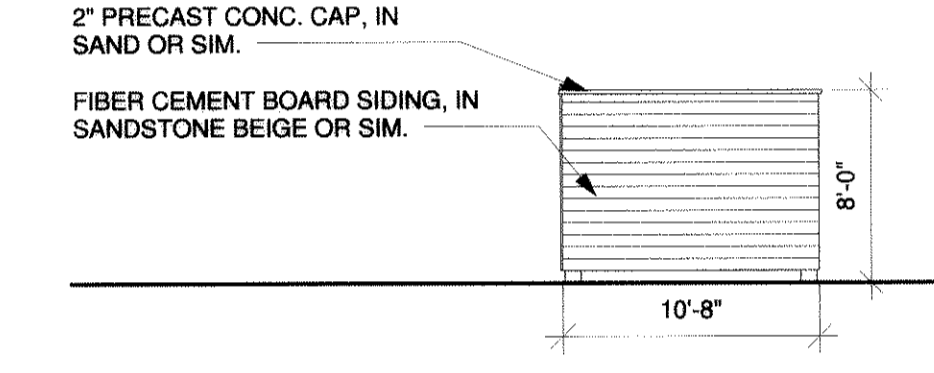
NOTE: ALL PROPOSED SIGNAGE TO BE SUBMITTED FOR REVIEW WITH THE SIGN PERMIT APPLICATION.



7 MONUMENT SIGN AT INTERSECTION
1/8" = 1'-0"

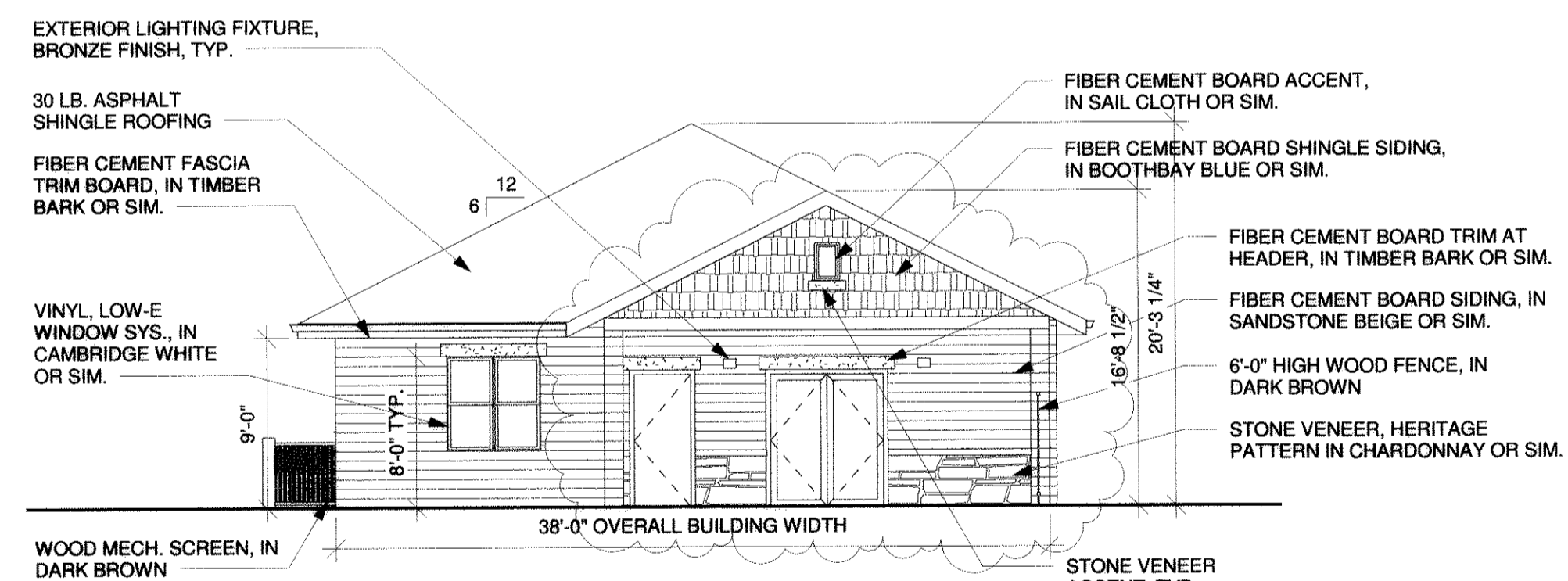


6 TRASH ENCLOSURE - FRONT
1/8" = 1'-0"

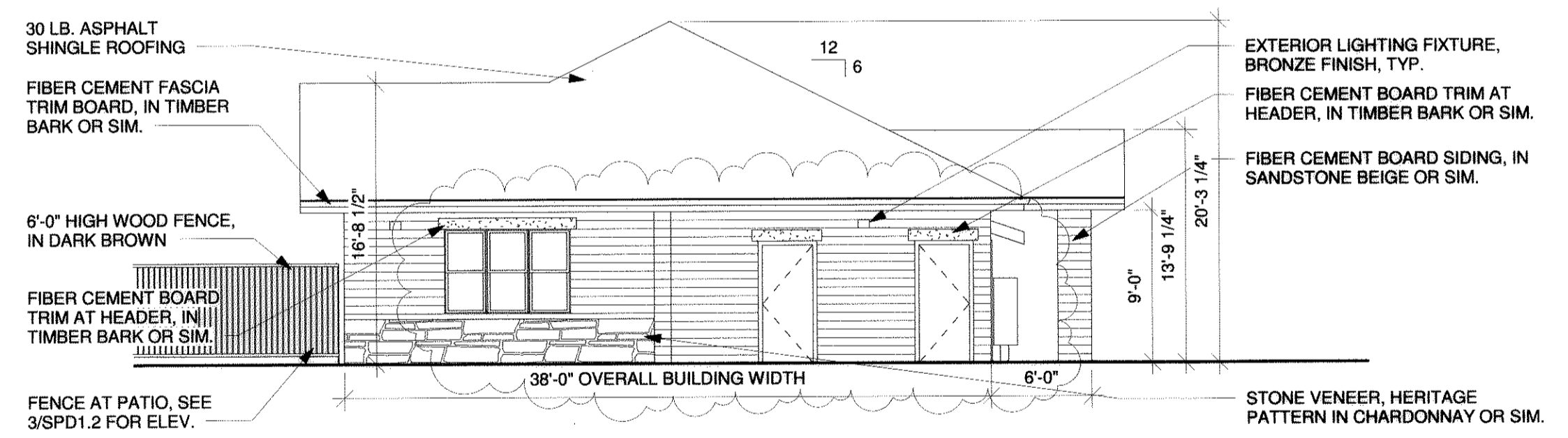


5 TRASH ENCLOSURE - SIDE
1/8" = 1'-0"

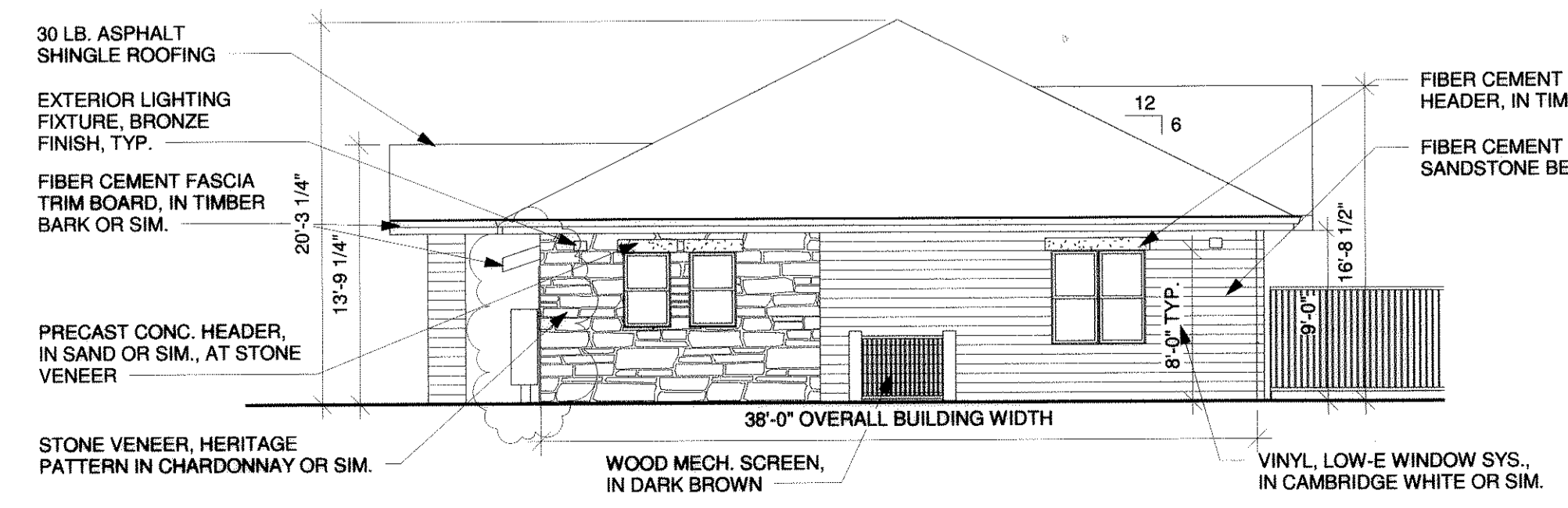
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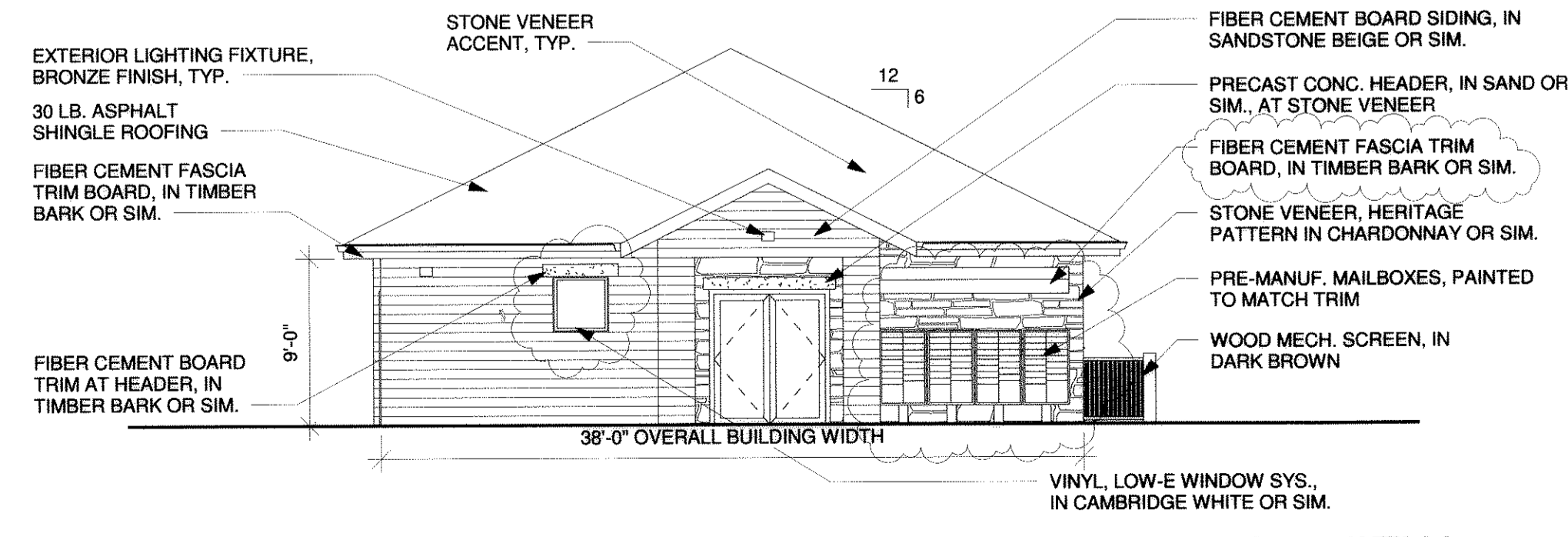
4 EXTERIOR ELEVATION - CLUBHOUSE - WEST VIEW
1/8" = 1'-0"



3 EXTERIOR ELEVATION - CLUBHOUSE - SOUTH VIEW
1/8" = 1'-0"



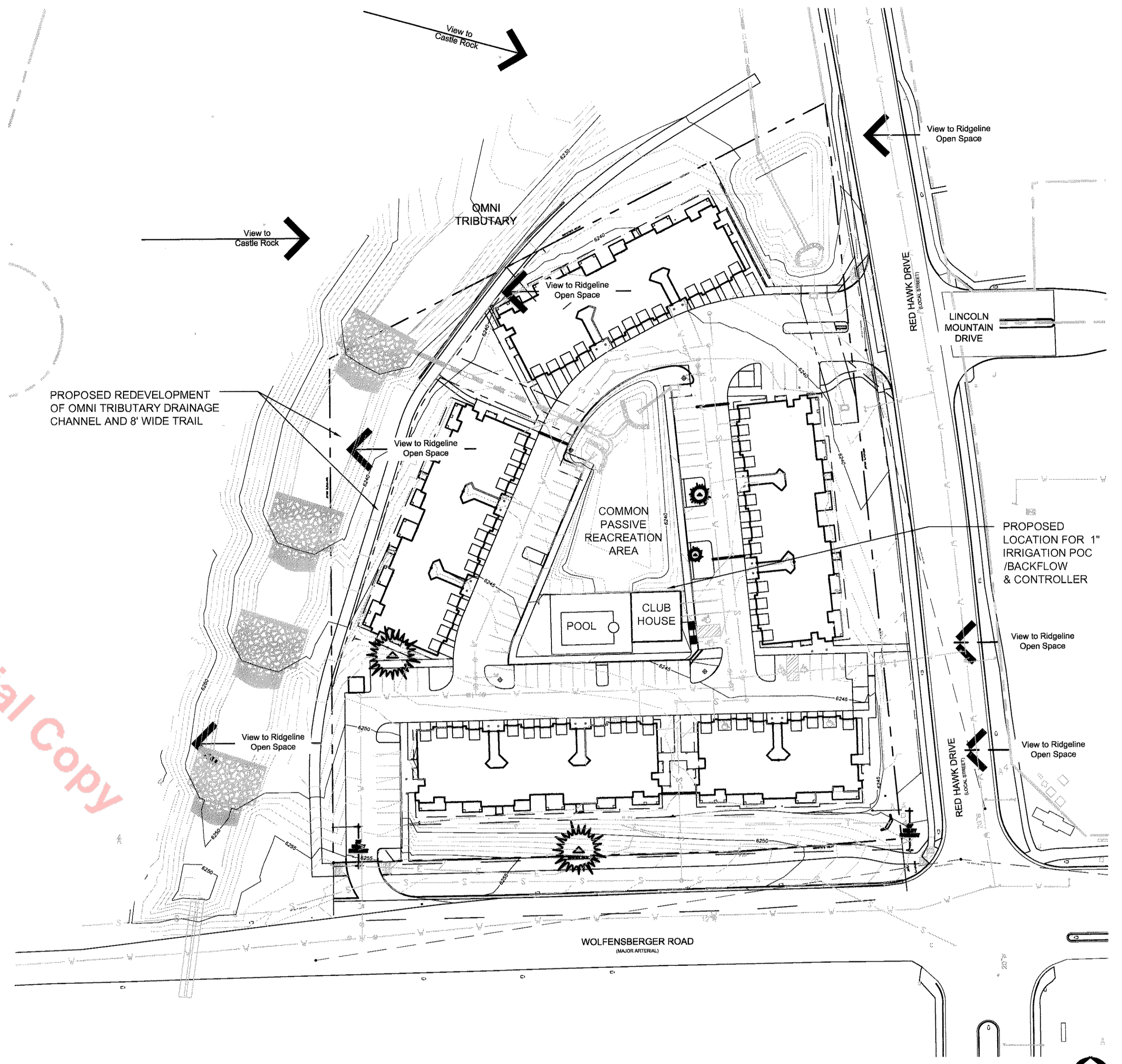
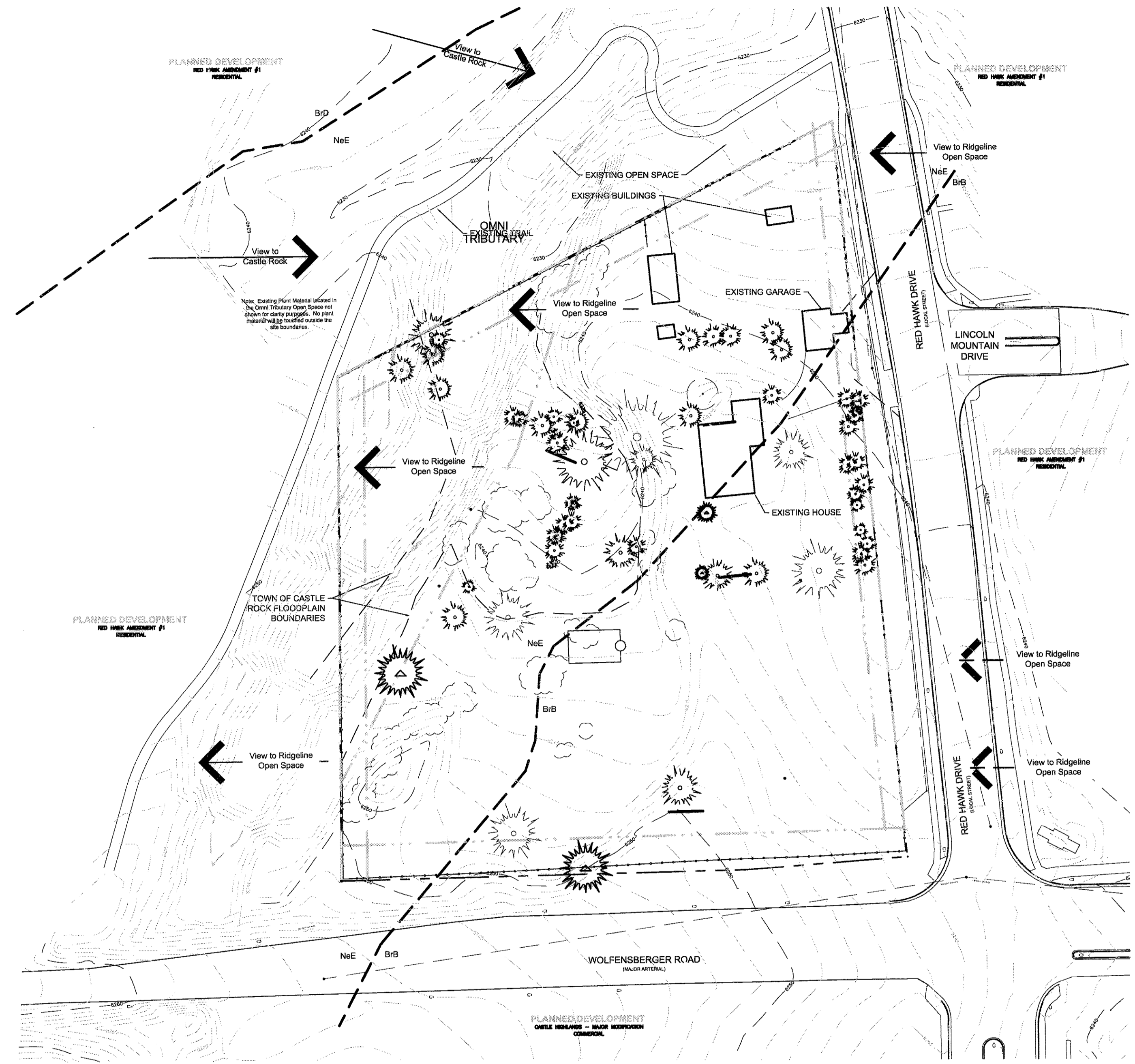
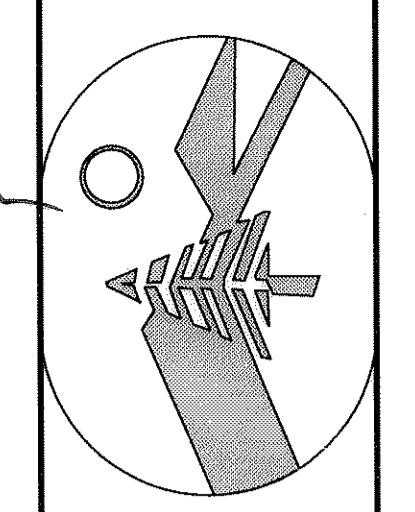
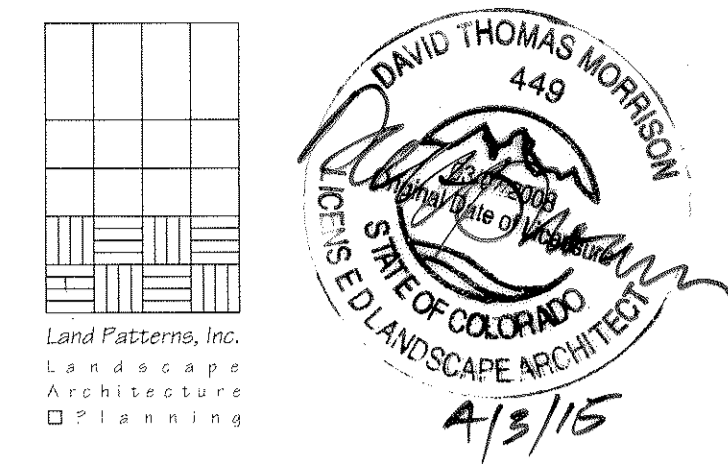
2 EXTERIOR ELEVATION - CLUBHOUSE - NORTH VIEW
1/8" = 1'-0"



1 EXTERIOR ELEVATION - CLUBHOUSE - EAST ENTRY VIEW
1/8" = 1'-0"

WOLFENSBERGER SITE DEVELOPMENT PLAN

LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



SITE ANALYSIS

LEGAL DESCRIPTION
LOT 1, ANDERSON SUBDIVISION, DOUGLAS COUNTY, CO. PART OF THE W 1/2, SE 1/4, SEC. 3, T8S, R67W, OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO . 4.547 ACRES (198,057.85 SF)

ZONING:
PLANNED DEVELOPMENT GRAHAM ANNEXATION

PREVAILING WINDS:
TYPICAL PREVAILING WINDS ARE FROM THE SOUTH - REF: WESTERN REGIONAL CLIMATE CENTER

EXPOSURE: SEASONAL SUN ANGLES

WINTER

24° Z. WINTER

SUMMER

74° Z. SUMMER

SEASONAL SUN ANGLE AT SOLAR NOON

20° Z. WINTER

VIEW CORRIDORS

PRIMARILY UNOBSTRUCTED VIEW:
Indicates views of primary visual features will be relatively unobstructed by the proposed development.

POSSIBLY OBSTRUCTED VIEW:
Indicates views of primary visual features could be partially obstructed by the proposed development.

Primary views across the site originate to the west along Thatch Circle backyards looking east to Castle Rock. Views from the Red Hawk Townhomes looking west to the Ridgeline Open Space potentially could be blocked by the development.

SLOPE:
SITE FALLS GENERALLY FROM THE SOUTHWEST CORNER TO THE NORTHEAST CORNER APPROXIMATELY 13%.

SOIL TYPES:
BrB: Bresser sandy loam, 1 to 3 percent slopes.
BrD: Bresser sandy loam, 3 to 9 percent slopes.
NeE: Newlin gravelly sandy loam, 8 to 30 percent slopes.

EXISTING PLANT MATERIAL

Plant Material (Candidate To Remain):

- Ponderosa Pine (*Pinus ponderosa*)
- White Fir (*Picea abies*)

Plant Material (Candidate to be Transplanted. See Landscape Plan for proposed tree relocations)

- Ponderosa Pine (*Pinus ponderosa*)
- Blue Spruce (*Picea pungens*)
- Pinon Pine (*Pinus edulis*)
- Scotch Pine (*Pinus sylvestris*)

Plant Material (To be Removed)

- Ponderosa Pine (*Pinus ponderosa*)
- Gambel Oak (*Quercus gambelii*)
- American Elm (*Ulmus americana*)
- All deceased plant material

Plant Material Notes:

- All plant material noted as a candidate to remain will be re-evaluated once design documents are complete to further determine viability of keeping the material in place.
- Plant material noted as a candidate to be transplanted has been evaluated to be within the limits of most transplanting equipment. Once design documents are complete, further analysis will determine plant transplant capabilities and potential locations.
- Plant material noted as to be removed are either too large to transplant, in poor health, or not significant enough vegetation to warrant transplant or saving.

USE ANALYSIS

PROPOSED DEVELOPMENT

56 UNIT APARTMENT COMPLEX WITH CLUBHOUSE AND AND OUTDOOR POOL

3300 SF COMMON PASSIVE RECREATION AREA

REDEVELOPMENT OF OMNI TRIBUTARY DRAINAGE CHANNEL AND 8' WIDE CITY TRAIL

SITE COVERAGE SUMMARY:	COVERAGE	% OF TOTAL AREA
Building	45,992 S.F.	27.2 %
Sidewalk/patio	25,879 S.F.	8.6 %
Private drives/parking/service areas	45,736 S.F.	25.0 %
Pervious surface	79,351 S.F.	39.2 %
TOTAL	196,958 S.F. 4.55 Ac.	100.0 %

PARKING:

PARKING SPACES PROVIDED: 71 EXTERIOR SPACES (includes 5 HC spaces)

56 GARAGE SPACES

TOTAL 127 PARKING SPACES

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THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD

DISCLAIMER:

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM; OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.

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DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING ARCHITECTS
 PHONE (303) 686-1646
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

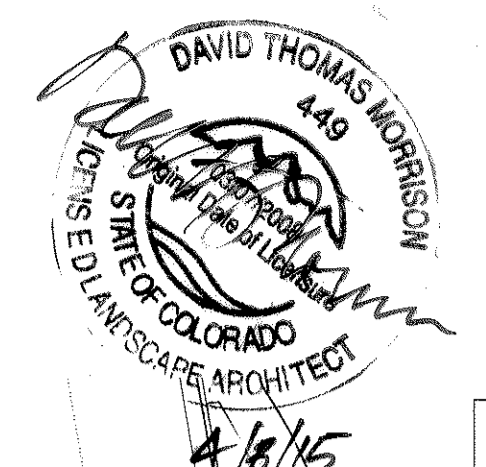
WOLFENSBERGER SITE DEVELOPMENT PLAN
 LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3, T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.
 LANDSCAPE SITE ANALYSIS / USE ANALYSIS
 CONTACT: BETTER LAND LLC
 PHONE: 719-586-5190

REVISIONS
 1. SDP REVISION 10-17-14
 2. SDP REVISION 11-14-14

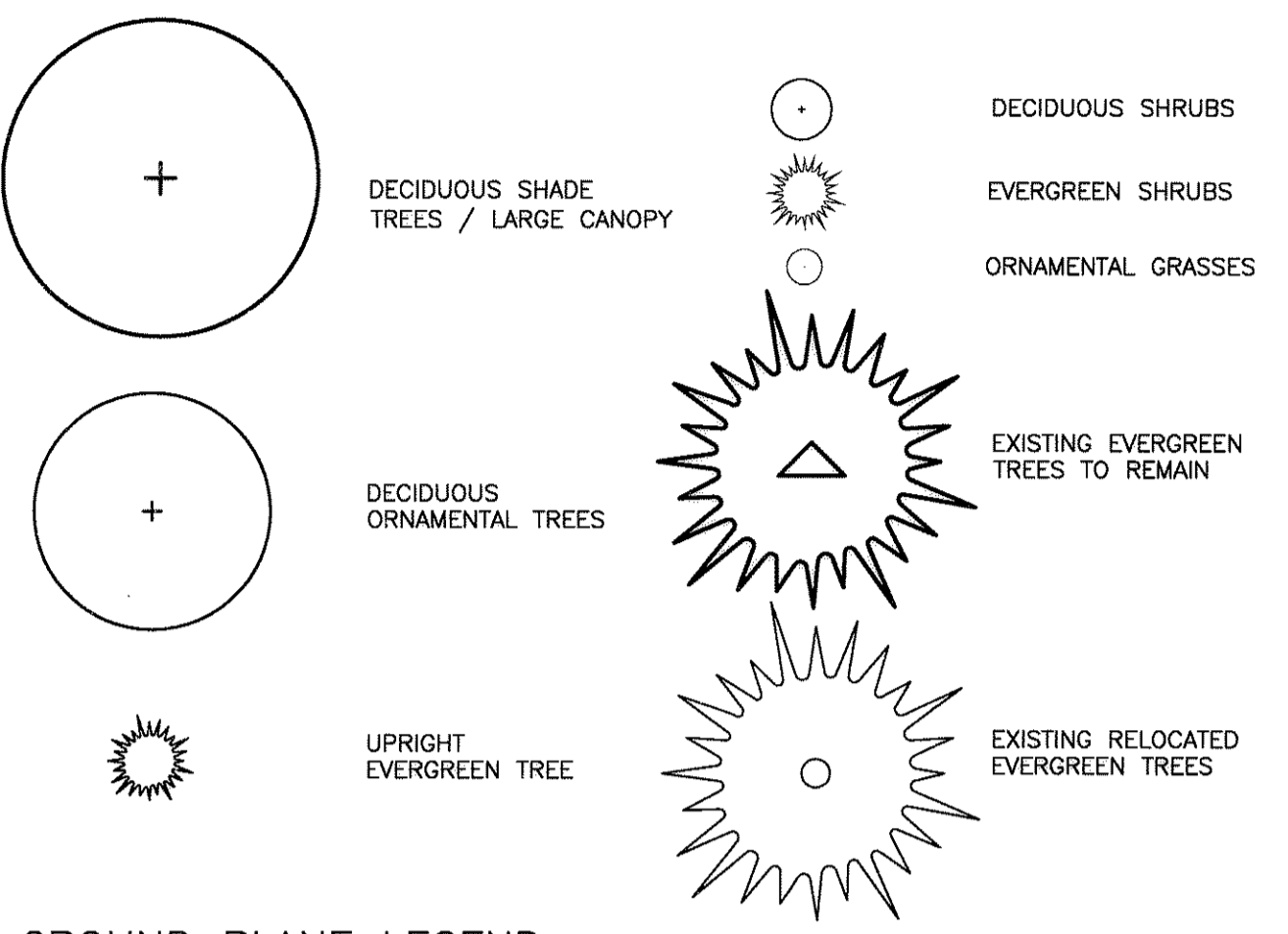
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 DATE 08-14-14
 DR'N DTM
 AP'VD DTM
 JOB NUMBER 14006
 Sheet 8 of 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

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T8S, R67W OF THE 6TH P.M.
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PLANT SYMBOL LEGEND

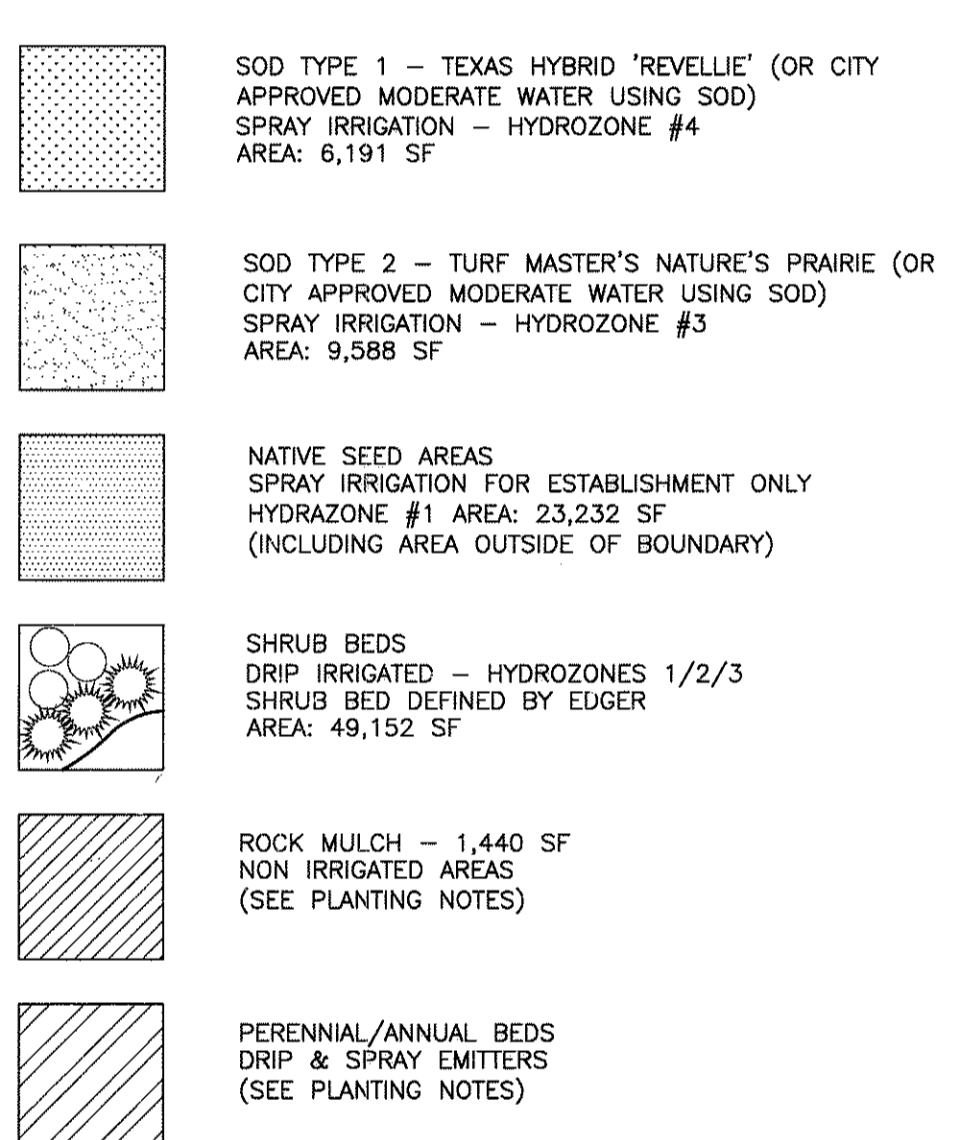


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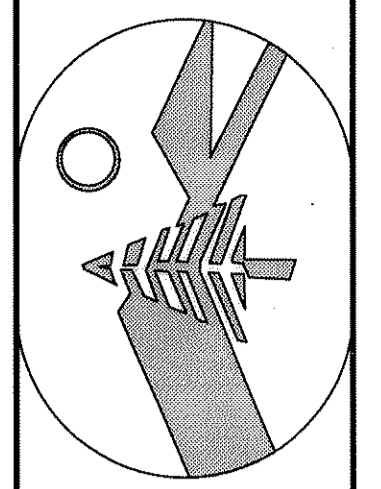
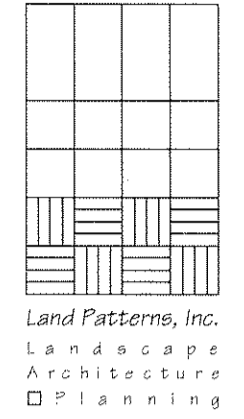
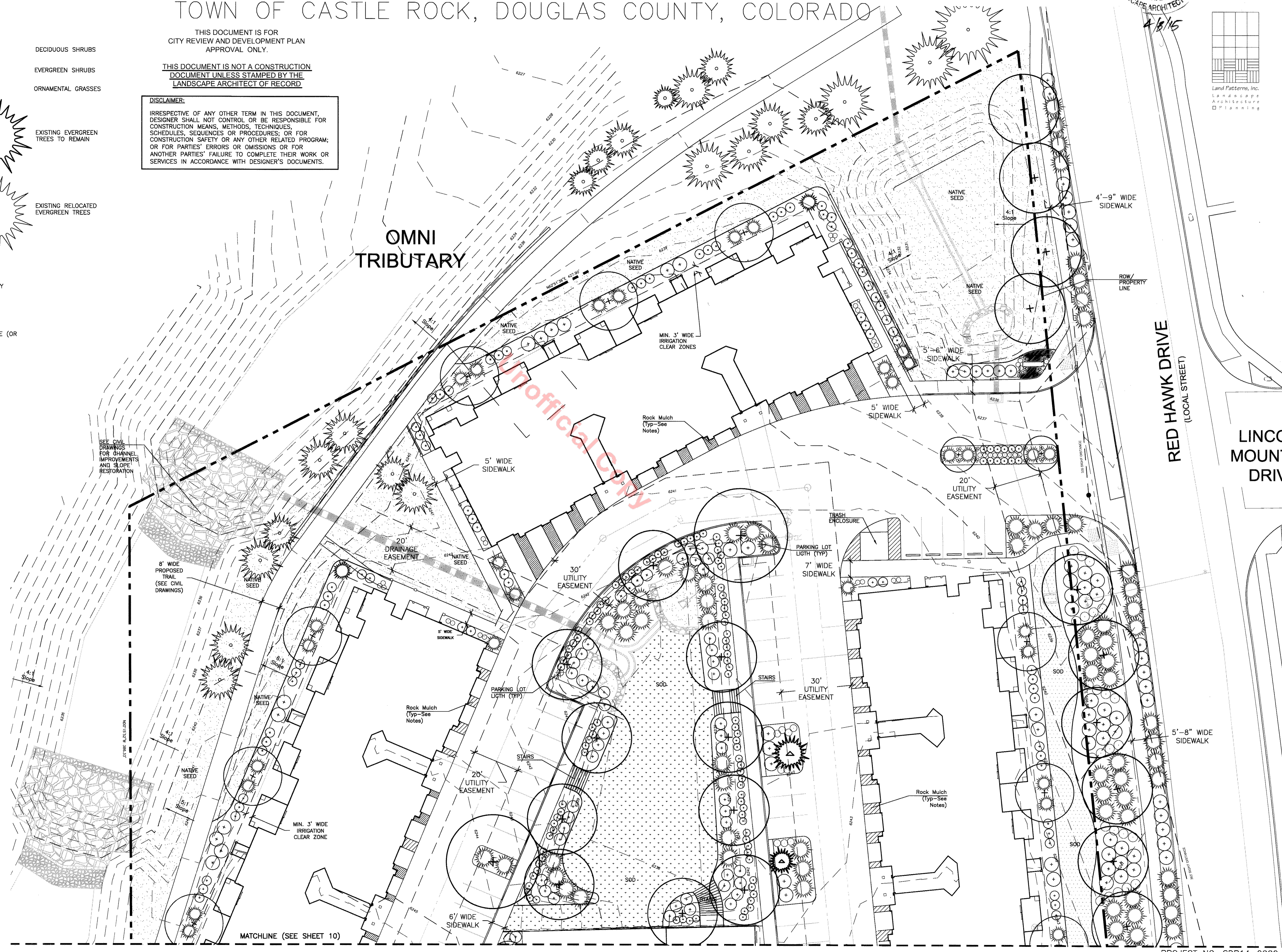
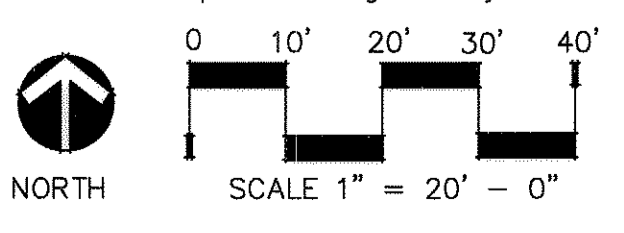
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GROUND PLANE LEGEND



LANDSCAPE STANDARD NOTES:

1. Square footages are estimated. Final landscape area coverages shall meet or exceed coverage represented in this drawing and shall conform to subsequent submittal requirements.
2. Quantities and locations of plant materials are approximate. Final Quantities and locations will be reflected on construction documents.
3. All plants are to be properly hydrozoned per town of Castle Rock Plant List.
4. Distance of tree to utility lines should be a minimum of 10 feet.
5. Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
6. Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
7. Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
8. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations 4.2.3 and to correlate with the use type on the property.
9. Landscape contractor shall be responsible for the installation of the irrigation and landscape of the ROW as indicated on the drawings. Irrigation of the ROW landscape shall be tied to the developments irrigation system.



DAVID ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING, SURVEYING & ENGINEERING
105 WILCOX ST., CASTLE ROCK, COLORADO, 80104

- REVISIONS
1. SDP REVISION 10-17-14
 2. SDP REVISION 11-14-14
 3. SDP REVISION 11-25-14

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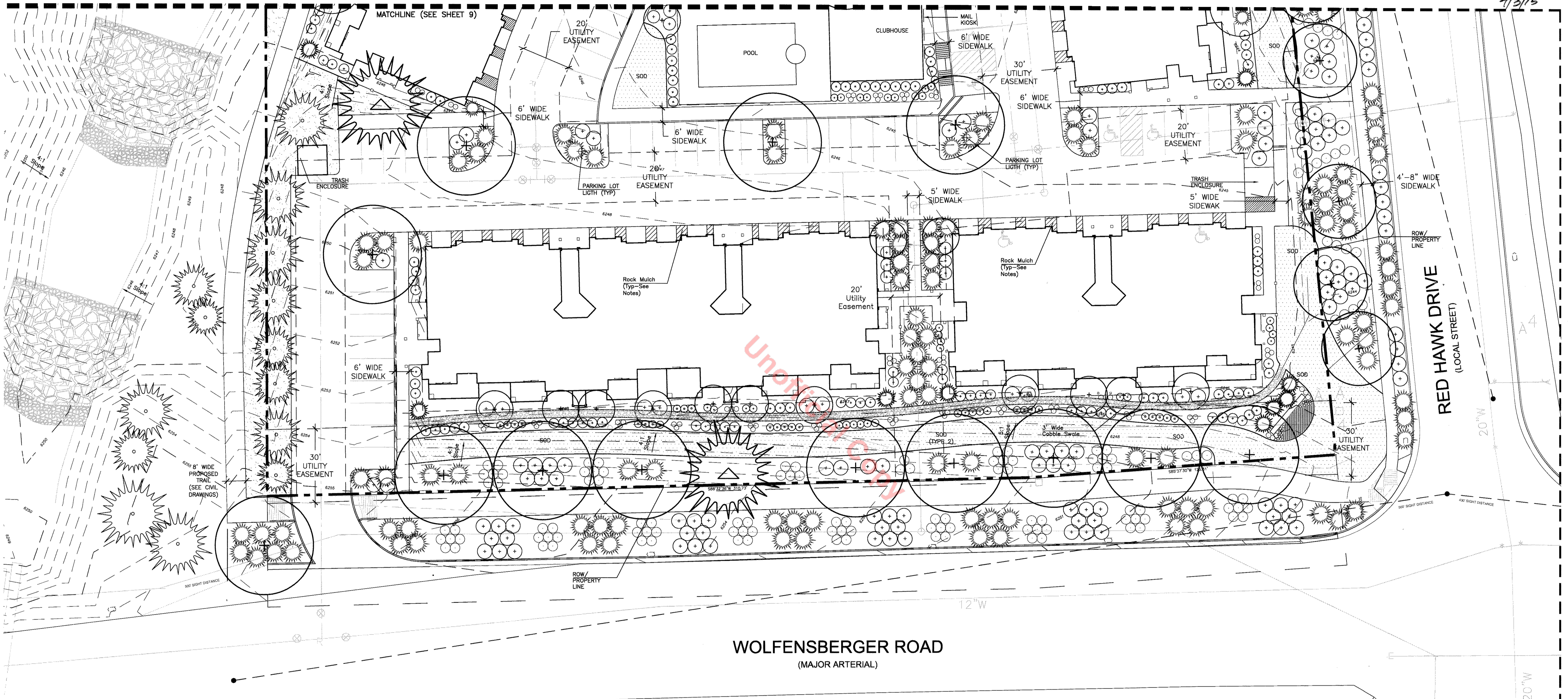
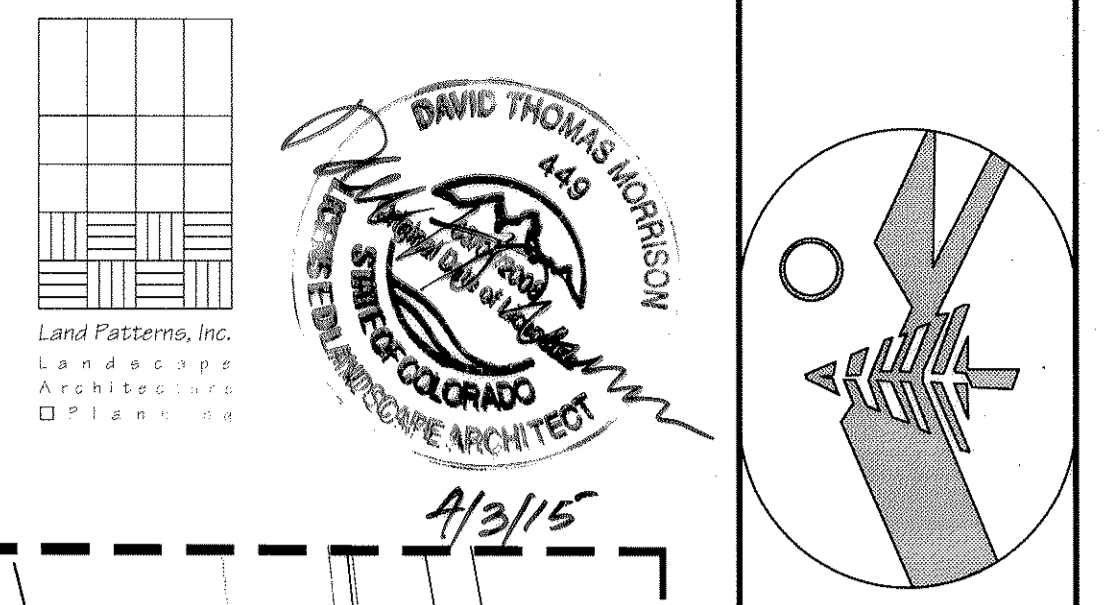
LANDSCAPE PLAN
CONTACT: BETTER LAND LLC
PHONE: 719-566-5190

SCALE

DATE	08-14-14
DRN. DTM	CKD. DTM
APP'D.	DTM
JOB NUMBER	14006
Sheet	9 of 13

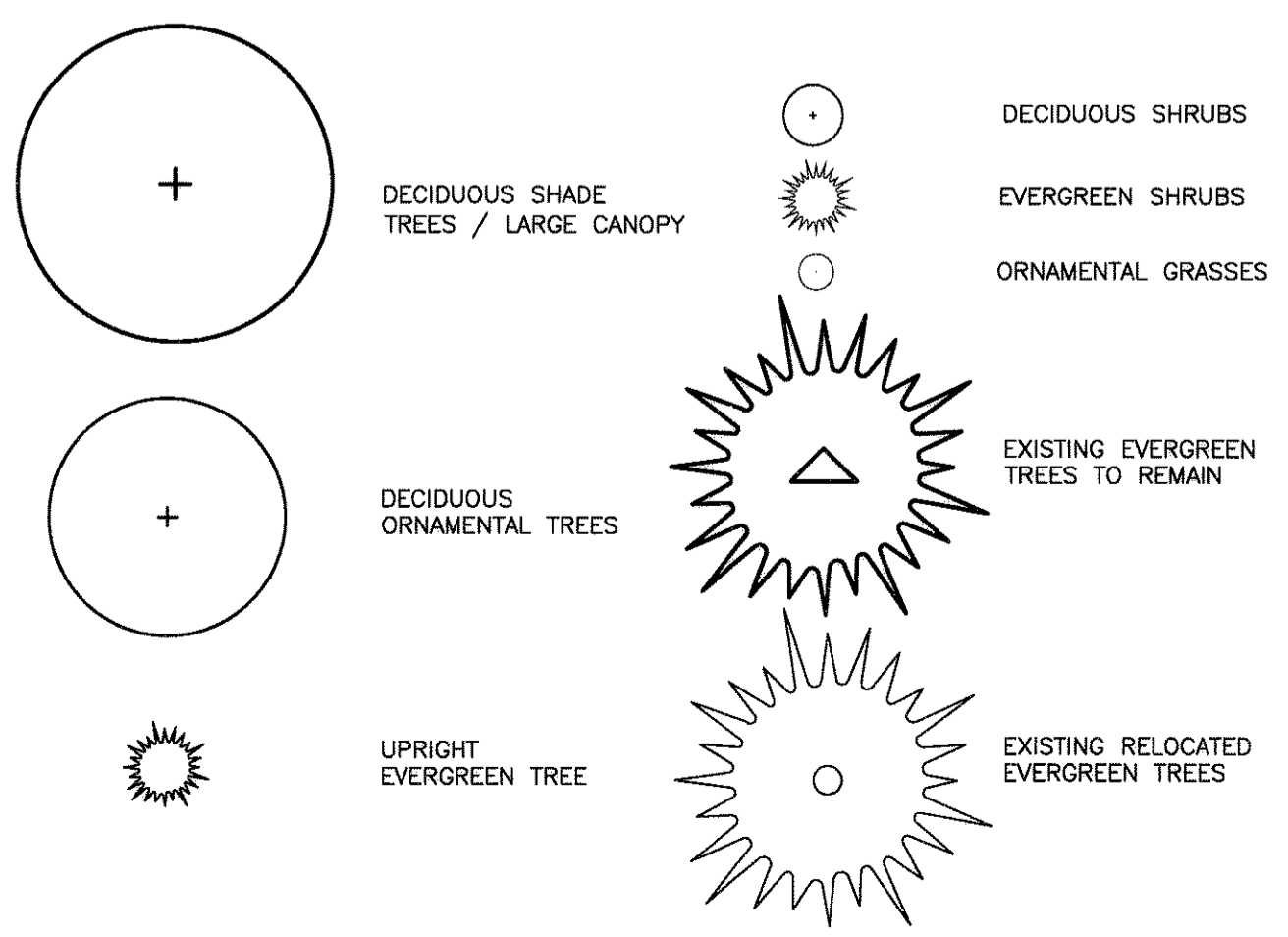
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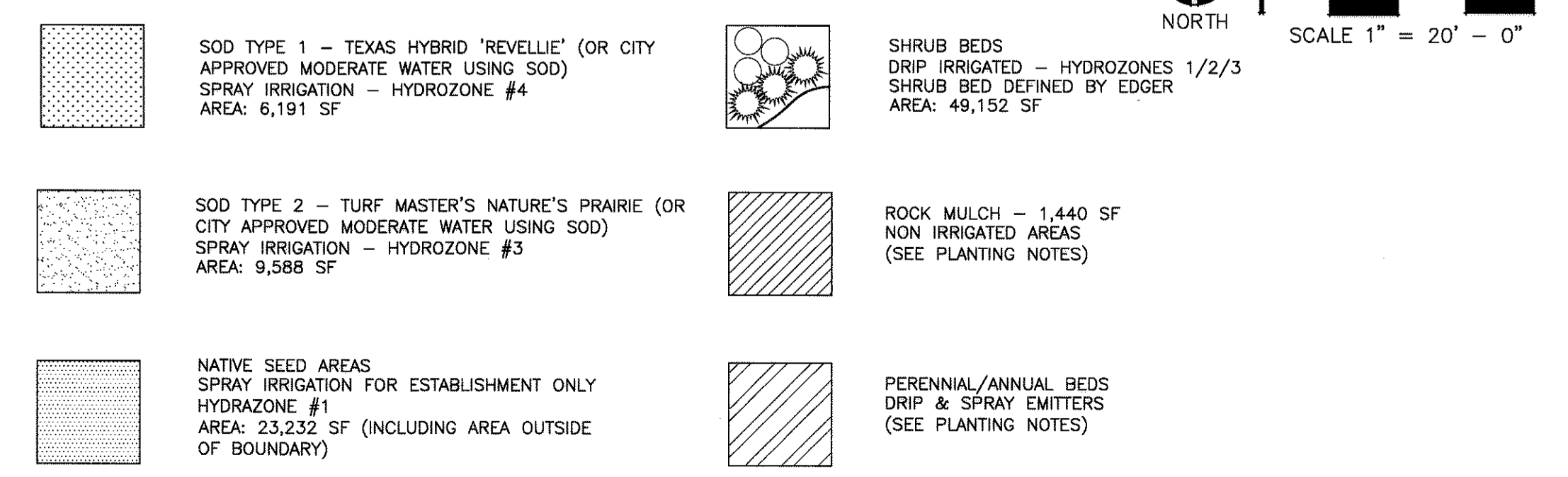


WOLFENSBERGER ROAD (MAJOR ARTERIAL)

PLANT SYMBOL LEGEND



GROUND PLANE LEGEND



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9. Landscape contractor shall be responsible for the installation of the irrigation and landscape of the ROW as indicated on the drawings. Irrigation of the ROW landscape shall be tied to the developments irrigation system.
10. The width of the 30 foot utility easement will be reduced during the platting process.

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DAVID ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING
105 WILDWOOD ST. CASTLE ROCK, COLORADO 80104

REVISIONS

1.	SDP REVISION 10-17-14
2.	SDP REVISION 11-14-14
3.	SDP REVISION 11-25-14
4.	SDP REVISION 12-15-14
5.	SDP REVISION 12-29-14

WOLFENSBERGER SITE DEVELOPMENT PLAN
LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.

LANDSCAPE PLAN

CONTACT: BETTES LAND LLC
PHONE: 719-588-5180

SCALE: 1" = 20'-0"

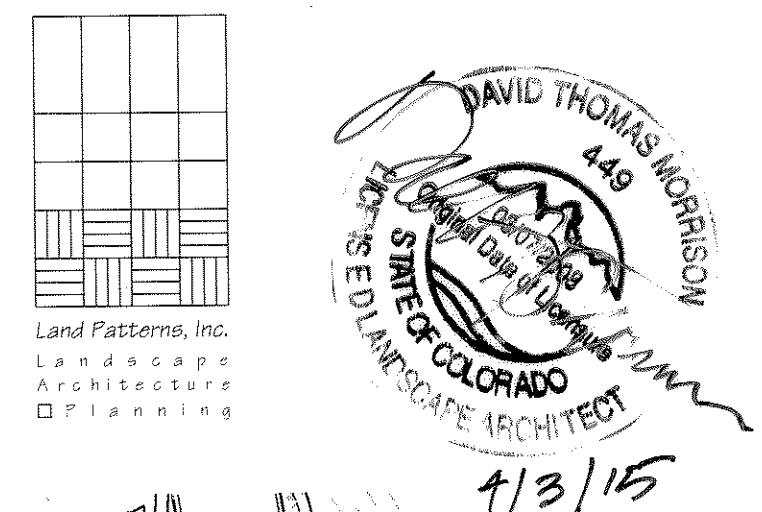
DATE: 08-14-14

DRN.	DTM	CRD.	DTM
APVD.	DTM		
JOB NUMBER	14006		

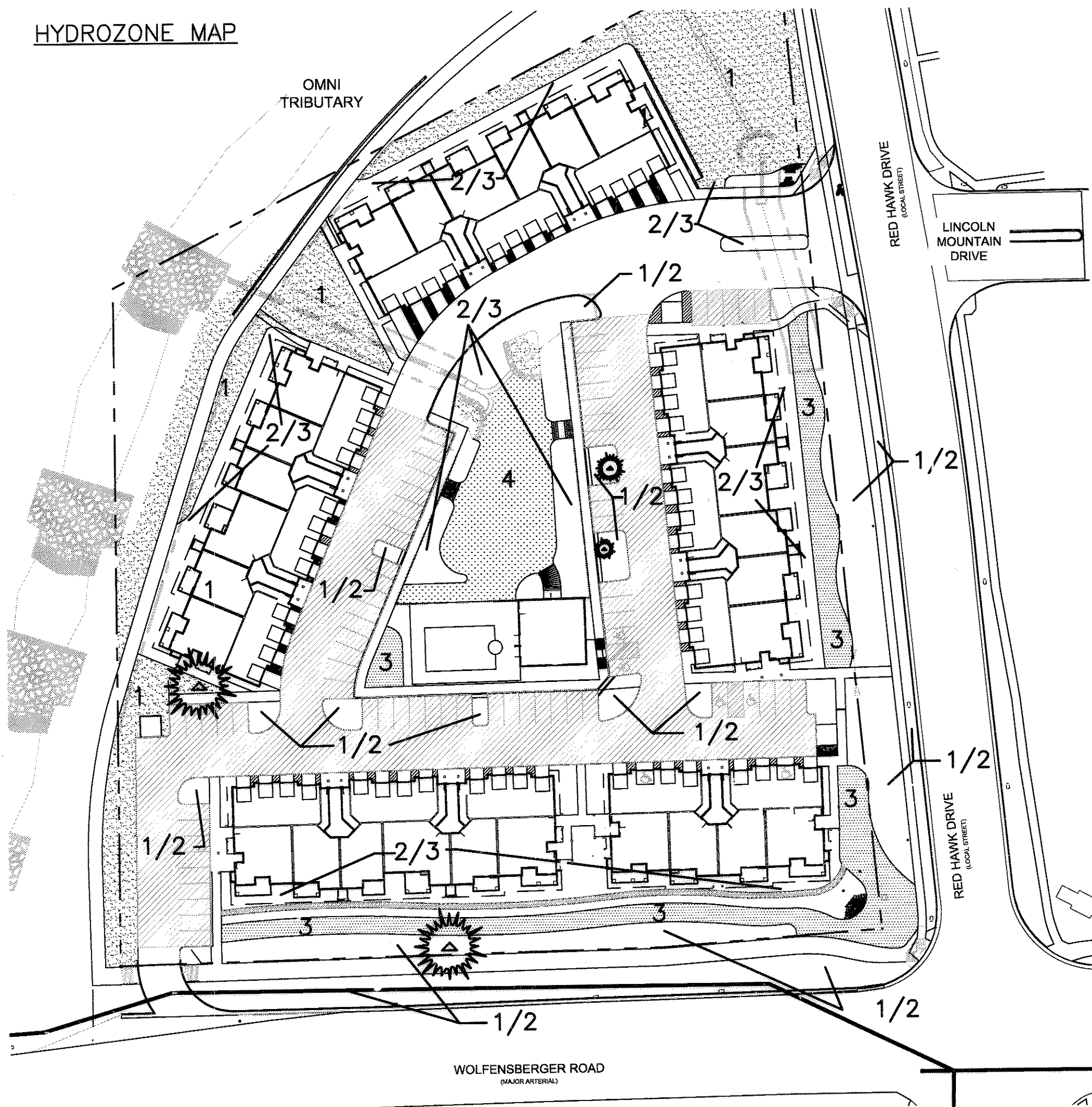
Sheet 10 of 13

WOLFENSBERGER SITE DEVELOPMENT PLAN

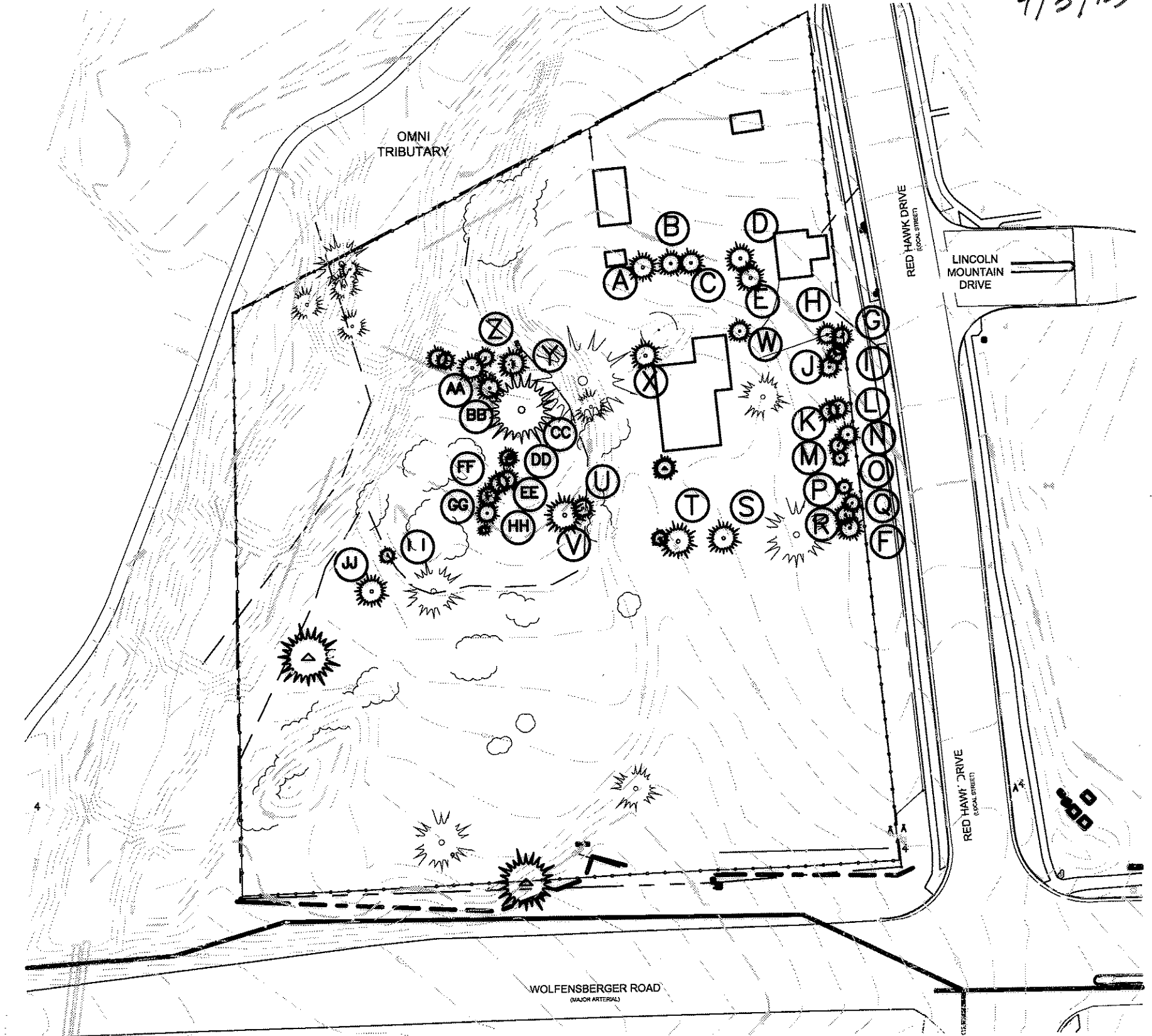
LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
T8S, R67W OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



HYDROZONE MAP

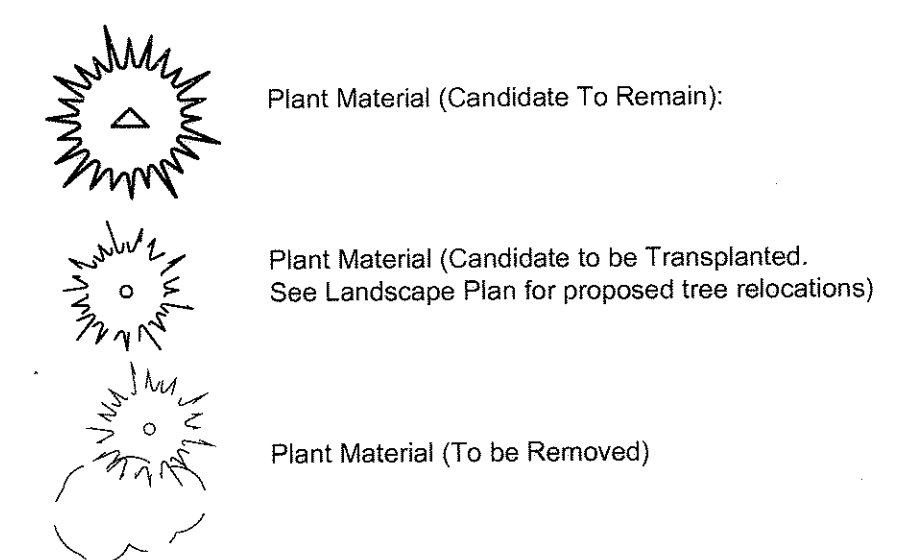


Site Category Calculations - Castle Rock											
Project Name: Wolfensberger Multi Residential Development											
Date: 06/20/14						Climate Zone: Property Zoned					
Project Number: 14006											
Streetscape/ ROW & Easements (Code Section / Policy - 8.2.2)											
Plant Label Code	Street Name/Zone Boundary	Classification	Footage	Linear	Tree / Foot	No. Trees	Shrub / Foot	No. Shrubs	Required	Provided	
RHS	Red Hawk	Local	567	1/40	14	14	4/p tree req	56	56		
WS	Wolfensberger	Major Arterial	436	1/40	11	11	4/p tree req	44	44		
Site Area Landscaping-Multi Family (Code Section / Policy - 5.2.1-A)											
Plant Label Code	Net Site Area (s.f.)	Percent Minimum	Sites Area (s.f.)	Site Trees (2/1000 s.f.)	Shrubs (4/1000 s.f.)	Required	Provided	Required	Provided		
I	178,596	20%	35,719	79,351	71	71		143	143		
Parking Lot Requirements - Multi Family (Code Section / Policy - 5.2.1.B)											
Plant Label Code	Parking Lot Area	10% Landscape Area	Sites Trees (2/1000 s.f.)	Shrubs (4/1000 s.f.)	Parking Spaces Provided	Parking Lot Landscape Islands/Peninsulas Provided	Req. Island Width (Min)				
P	34,431	3,443	3,714	7	7	14	14	73 exterior /56 interior = 129	12	8'	
Common Passive Areas - Multi Family (Code Section / Policy - 5.2.1.B.4)											
Plant Label Code	Area (3,000 s.f. Min.)	Required Trees (3 min)									
CPA	3,000	4780	3	3							
Additional Plants											
X	INDICATES EXTRA PLANT MATERIAL ABOVE THE REQUIREMENTS										



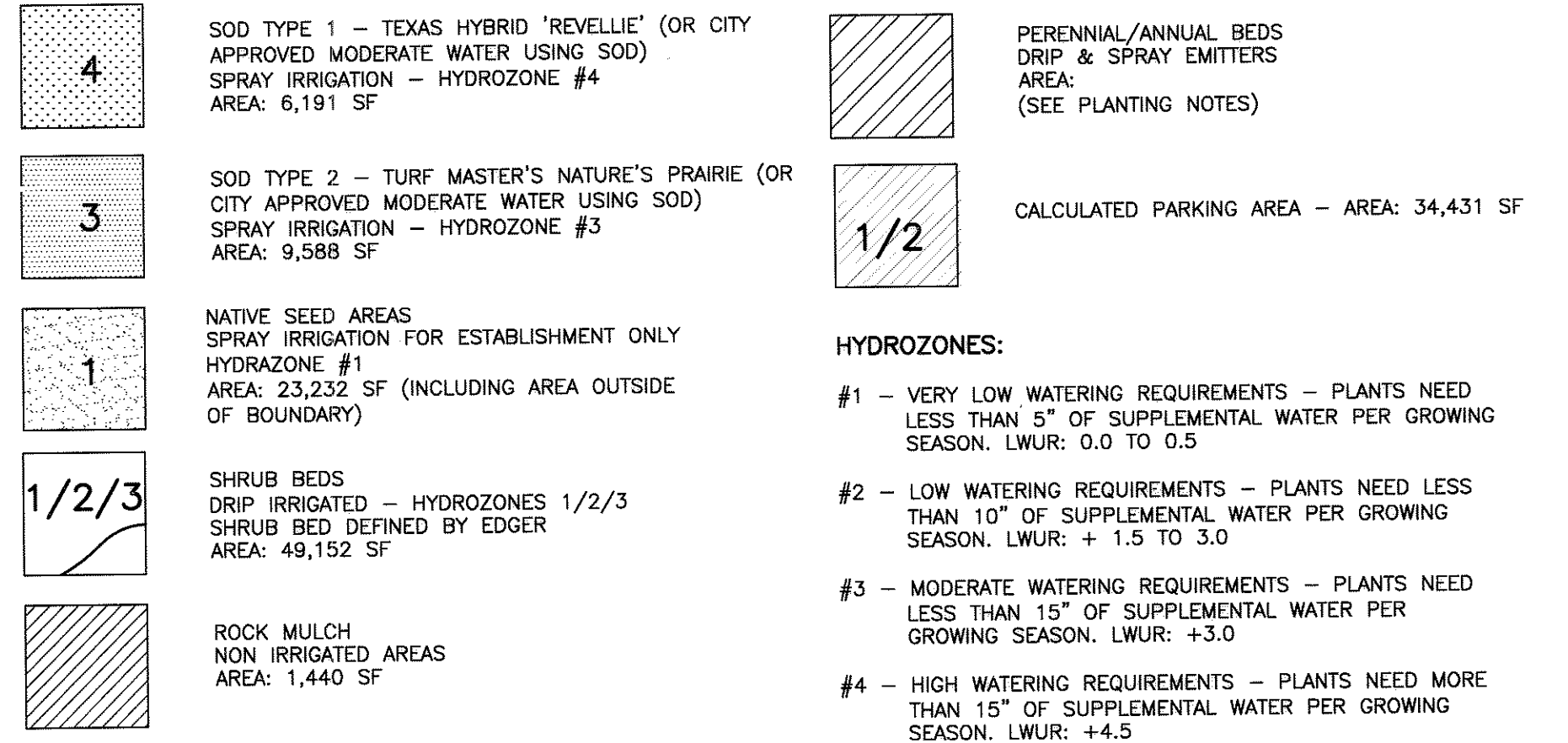
CLWUR - Chart for the Town of Castle Rock Wolfensberger Multi Family Development (Lot 1, Anderson Subdivision)								
Irrigation Zone	Plant Name (Common)	Application Rate (Per Month)	Hydrozone (VL, L, Mod, HW)	% of Total Area	IA (Irrigated area in SF for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of All Landscape Zones)	CLWUR (LWUR X IA/TA)
Spary	Sod (type 1) Texas Hybrid 'Revelle'	4"	HW	9.53%	6,191	4.50	64,931	0.43
Spary	Sod (type 2) (Turf Masters' Nature's Prairie)	3"	Mod	14.77%	9,588	3.00	64,931	0.44
Drip	Shrub Beds w/ Trees	Less than 2.5"	V/L	39.27%	25,497	1.50	64,931	0.59
Drip	Shrub Beds w/ Trees	Less than 3"	L/Mod	36.43%	23,655	3.00	64,931	1.09
				Total Area	0%	64,931		2.12

EXISTING PLANT MATERIAL LEGEND



- Plant Material Notes:**
- All plant material noted as a candidate to remain will be re-evaluated once design documents are complete to further determine viability of keeping the material in place.
 - Plant material noted as a candidate to be transplanted has been evaluated to be within the limits of most transplanting equipment. Once design documents are complete, further analysis will determine plant transplant capabilities and potential locations.
 - Plant material noted as to be removed are either too large to transplant, in poor health, or not significant enough vegetation to warrant transplant or saving.
 - See Landscape Plans for Tree Re-locations

HYDROZONE LEGEND



- Conceptual Landscape Plan Standard Notes:**
- Square footages are estimated. Final landscape area coverages shall meet or exceed coverage represented in this drawing and shall conform to subsequent submittal requirements.
 - Quantities and locations of plant materials are approximate. Final Quantities and locations will be reflected on construction documents.
 - All plants are to be properly hydrozoned per town of Castle Rock Plant List.
 - Distance of tree to utility lines should be a minimum of 10 feet.
 - Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
 - Design must accommodate the watering restrictions as outlines in the Town of Castle Rock Water Use Management Plan (WUMP).
 - Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
 - Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations 4.2.3 and to correlate with the use type on the property.
 - Landscape contractor shall be responsible for the installation of the irrigation and landscape of the ROW as indicated on the drawings. Irrigation of the ROW landscape shall be tied to the developments irrigation system.

EXISTING TREE INVENTORY - TREES TO BE RELOCATED

CODE.	Qty.	Botanical Name	Common Name	App. B Key	SPREAD	DBH/HT.	Notes
A	1	Pinus edulis	Pinon Pine		18' Spread	12' Ht.	
B	1	Pinus edulis	Pinon Pine		18' Spread	12' Ht.	
C	1	Pinus edulis	Pinon Pine		18' Spread	14' Ht.	
D	1	Pinus edulis	Pinon Pine		12' Spread	12' Ht.	
E	1	Pinus edulis	Pinon Pine		16' Spread	12' Ht.	
F	1	Pinus edulis	Pinon Pine		12' Spread	12' Ht.	
G	1	Pinus sylvestris	Scotch Pine		14' Spread	10" DBH	
H	1	Pinus sylvestris	Scotch Pine		14' Spread	6" DBH	
I	1	Pinus sylvestris	Scotch Pine		8' Spread	3" DBH	
J	1	Pinus sylvestris	Scotch Pine		12' Spread	7" DBH	
K	1	Pinus sylvestris	Scotch Pine		14' Spread	7" DBH	
L	1	Pinus sylvestris	Scotch Pine		14' Spread	7" DBH	
M	1	Pinus sylvestris	Scotch Pine		10' Spread	6" DBH	
N	1	Pinus sylvestris	Scotch Pine		14' Spread	7" DBH	
O	1	Pinus sylvestris	Scotch Pine		12' Spread	5" DBH	
P	1	Pinus sylvestris	Scotch Pine		12' Spread	6" DBH	
Q	1	Pinus sylvestris	Scotch Pine		12' Spread	7" DBH	
S	1	Picea pungens	Blue Spruce		20' Spread	14" DBH	
T	1	Picea pungens	Blue Spruce		22' Spread	14" DBH	

EXISTING TREE INVENTORY - TREES TO BE RELOCATED

CODE.	Qty.	Botanical Name	Common Name	App. B Key	SPREAD	DBH/HT.	Notes
U	1	Pinus ponderosa	Ponderosa Pine		14' Spread	8" DBH	
V	1	Pinus ponderosa	Ponderosa Pine		24' Spread	8" DBH	
W	1	Picea pungens	Blue Spruce		10' Spread	10" DBH	
X	1	Picea pungens	Blue Spruce		18' Spread	16" DBH	
Y	1	Pinus ponderosa	Ponderosa Pine		18' Spread	13" DBH	
Z	1	Pinus ponderosa	Ponderosa Pine		12' Spread	13" DBH	
AA	1	Pinus ponderosa	Ponderosa Pine		18' Spread	13" DBH	
BB	1	Pinus ponderosa	Ponderosa Pine		16' Spread	7" DBH	
CC	1	Pinus ponderosa	Ponderosa Pine		44' Spread	36" DBH	
DD	1	Pinus ponderosa	Ponderosa Pine		12' Spread	4" DBH	
EE	1	Pinus ponderosa	Ponderosa Pine		14' Spread	8" DBH	
FF	1	Pinus ponderosa	Ponderosa Pine		14' Spread	8" DBH	
GG	1	Pinus ponderosa	Ponderosa Pine		14' Spread	8" DBH	
HH	1	Pinus ponderosa	Ponderosa Pine		14' Spread	6" DBH	
II	1	Pinus ponderosa	Ponderosa Pine		10' Spread	6" DBH	
JJ	1	Pinus ponderosa	Ponderosa Pine		20' Spread	18" DBH	

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CITY REVIEW AND
DEVELOPMENT PLAN APPROVAL
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DAVID ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
1005 WILLOW ST. CASTLE ROCK, COLORADO 80104
PHONE: (303) 686-4848

REVISIONS

1. SDP REVISION 10-17-14

2. SDP REVISION 11-14-14

3. SDP REVISION 11-25-14

4. SDP REVISION 12-15-14

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LOCATED IN THE W 1/2 OF THE SE 1/4 OF SEC. 3,
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LANDSCAPE HYDROZONE MAP & PLANT SCHEDULE

CONTACT: BETTER LAND LLC
PHONE: 719-598-5180

SCALE

DATE: 08-14-14

DRN: DTM CKD: DTM

APP'D: DTM

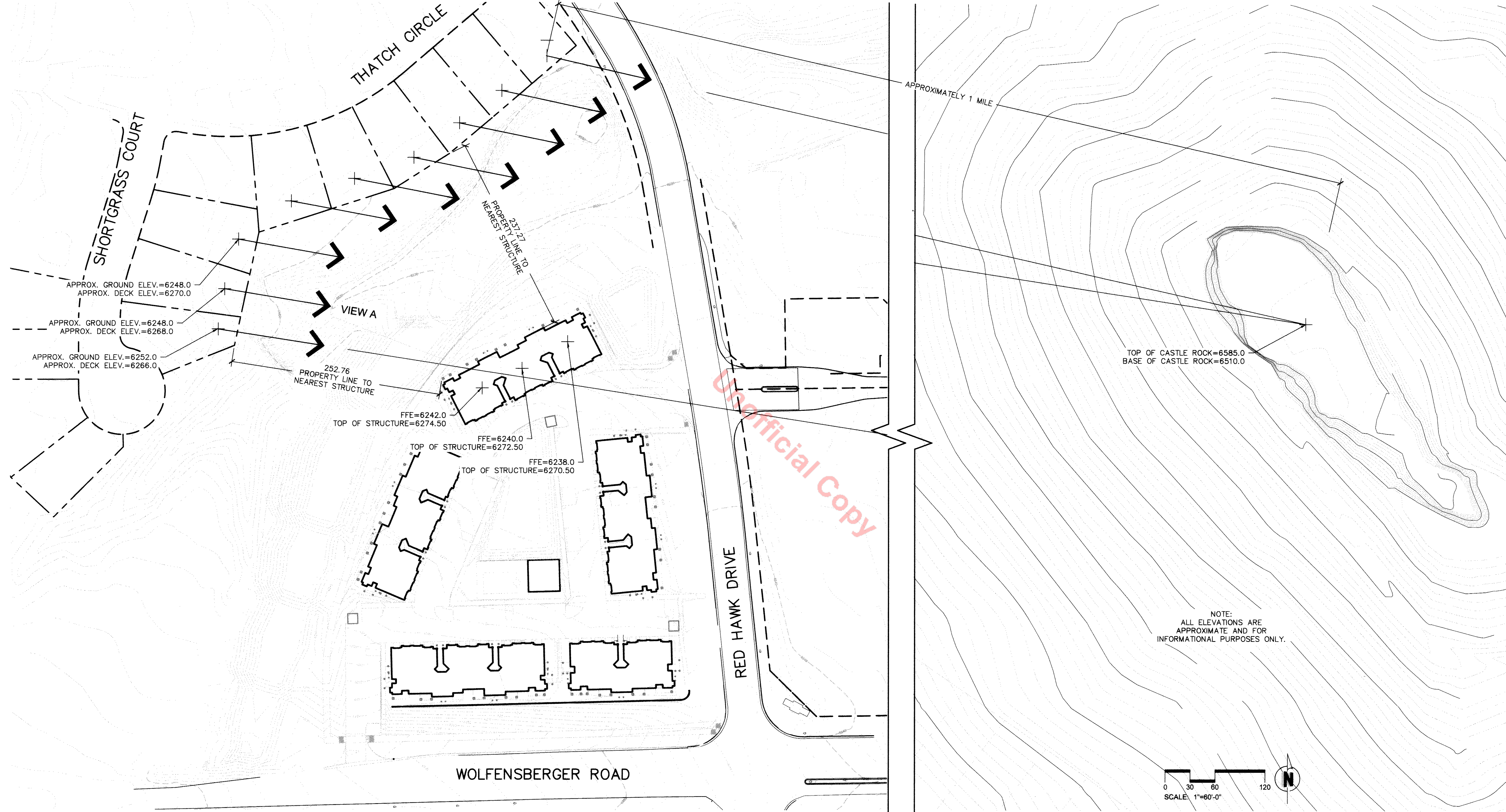
JOB NUMBER: 14006

PROJECT NO. SDP14-0020

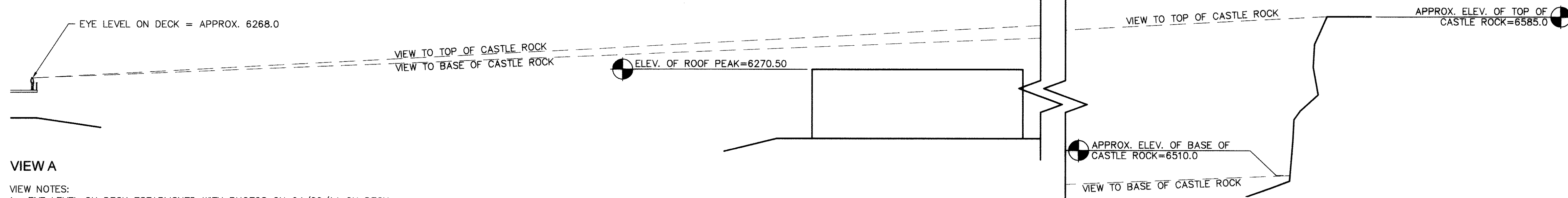
Sheet 11 of 13

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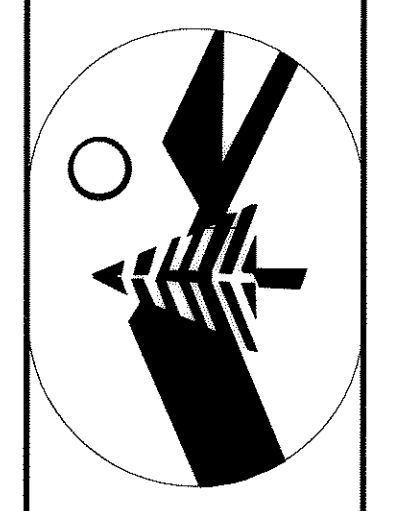
Official Copy



VIEW A

VIEW NOTES:

1. EYE LEVEL ON DECK ESTABLISHED WITH PHOTOS ON 04/22/14 ON DECK OF 1533 SHORT GRASS COURT.
2. VIEW CONE SHOWS BASIS OF VIEW FROM BASE OF CASTLE ROCK TO TOP OF CASTLE ROCK.



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
SURVEYING & ENGINEERING
PHONE (303) 688-4642
105 MILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS	
1) COMMENTS 10-20-14	
2) COMMENTS 11-12-14	

WOLFENSBERGER SITE DEVELOPMENT PLAN
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T8S, R67W OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO.

VIEWSHED ANALYSIS

CONTACT: BETTER LAND LLC
PHONE: 719-598-5190

SCALE	1"=30'
DATE	08-14-14
DR'N	DMH
APP'D	KEA
JOB NUMBER	06-0850