

SITE DEVELOPMENT PLAN - GENERAL NOTES

1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.

2. Pursuant to Section 4.3 and 8.2.3 of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.

3. The provided landscape counts in the Site Development Plan are minimum required counts. Any changes to the provided landscape counts shall require an SDP amendment. The location of plant material is subject to change due to field conditions with review of the Construction Documents.

4. This property is located within Zone X as per FEMA FIRM Panel No. 08035C0188G Dated 03.16.2016.

5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.

6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.

7. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.

8. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.

9. All Utility, Drainage, Emergency Access, Sight Distance and Public Access as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.

10. This site is zoned B - Business / Commercial. Wolfensberger Overlay District.

11. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.

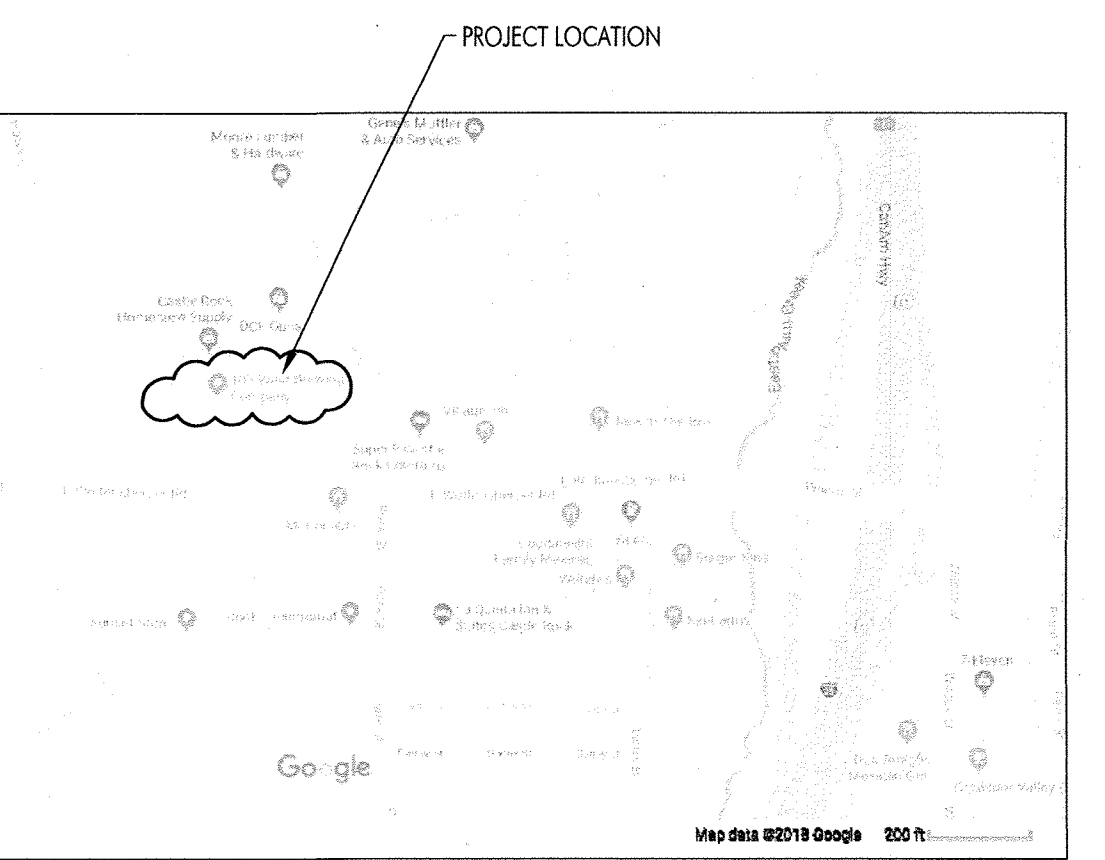
12. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.

14. The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan.

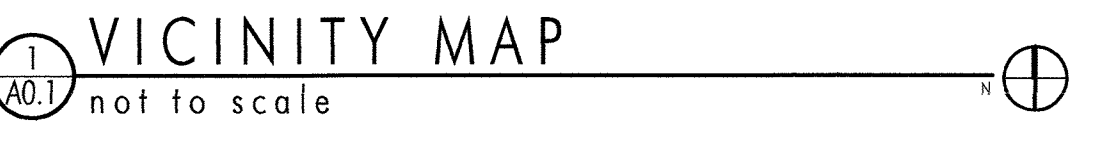
SITE DEVELOPMENT PLAN, AMENDMENT No. 1 LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT, COUNTY of DOUGLAS, STATE of COLORADO. SDP20-0051

FIRE NOTES

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
7. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
9. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.



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5734 SOUTH PRINCE STREET
SUITE 201
LITTLETON, CO 80120
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ZONING TABLE / WNZOD 17.46.060 - DEVELOPMENT STANDARDS		
ZONE LOT SIZE (GROSS PROJECT AREA)	24,480.4 sf / 0.562 acres	
ZONING	B - BUSINESS / COMMERCIAL WOLFENBERGER NORTH OVERLAY DISTRICT	
USE	ALCOHOLIC BEV. SALES / RESTAURANT - PERMITTED BY RIGHT	
GROSS FLOOR AREA CALCULATION	INTERIOR SEATING AREA : 2,478 sf INTERIOR SERVICES AREA : 1,648 sf INTERIOR PRODUCTION AREA : ... 2,138 sf EXTERIOR SEATING AREA : 845 sf GROSS FLOOR AREA (GFA) : 7,109 sf TOTAL SEATING AREA : 3,323 sf	
MAXIMUM LOT COVERAGE	PERMITTED / REQUIRED	EXISTING / PROPOSED
	100 %	FOOTPRINT : 8,296 sf / 33.9% PAVING/PATIO 16,060 sf / 65.6% LANDSCAPING 124 sf / 0.5% TOTAL 24,480 sf / 100%
MINIMUM SIDE YARD	0	0
MINIMUM FRONT YARD	15'-0"	15'-0"
MINIMUM REAR YARD	10'-0"	MIN. 40'-7" of BUILDING MIN. 29'-3" of SILO
17.46.070 (A.2.) WINDOW or TRANSPARENCY	FRONT 25 %	+ - 84 % (under OVERHANG)
MAXIMUM BUILDING HEIGHT (per B' UNDERLYING ZONING DESIGNATION)	35'-0"	34'-6"
PARKING - TAVERN or LOUNGE (per B' UNDERLYING ZONING DESIGNATION) SEE GFA CALCULATIONS above 1 per 3 SEATS or 12 per 1,000 GFA	7,109 GFA = 85 SPACES	GFA METHOD is 20 % REDUCTION YIELDS 85-17 = 68 SPACES REQD. + - 27 on PARCEL + - 72 AVAILABLE via CROSS-USE ESMNT.
SIGNAGE 19.04.043 - COMPUTATION OF SIGN AREA 19.04.052 - SIGNS IN BUSINESS AREAS	WALL SIGNS MAXIMUM ALLOWABLE AREA 25 % of WALL	FRONT (EAST) 487 sf FASCIA 121.75 sf PERMITTED 75.0 sf PROPOSED REAR (WEST) 213 sf SILO FACE 53.25 sf PERMITTED 53.1 sf PROPOSED

PROJECT TEAM:

OWNER:
105 WEST BREWING CO.
P.O.C.: ERIC SEUFERT
PH: 720.878.1362

MECH. / PLUMB.
KEENAN CONSULTING GROUP
2174 SOUTH BROADWAY
DENVER, COLORADO 80210
P.O.C.: RON KEENAN
PH: 303.282.9411

CONTRACTOR:
MW GOLDEN CONSTRUCTORS
1700 PARK STREET
CASTLE ROCK, CO 80109
P.O.C.: ADAM ALEXANDER
PH: 720.531.4044

ELECTRICAL
GOOD NEWS ELECTRIC, INC.
1371 BRASS MILL ROAD, SUITE C
BELCAMP, MD 21017
P.O.C.: DAVE NAKHJOUANI
PH: 443.250.6776

ARCHITECT:
LEWIS HIMES ASSOC., INC.
5265 S. RIO GRANDE ST.
SUITE 202
LITTLETON, CO 80120
P.O.C.: DAVE NAKHJOUANI
PH: 303.385.1205

FACADE RENOVATIONS
for 105 WEST BREWING
1049 PARK STREET
CASTLE ROCK, CO 80109

REVISIONS:		
No.	DATE	REVISIONS
05.29.20		PRE-APPLICATION REVIEW NOTES
02.08.21		FIRST-ROUND REVIEW COMMENT REVISIONS
03.08.21		SECOND-ROUND REVIEW COMMENT REVISIONS
03.30.21		FINAL RECORDED SET
09.13.21		REVISED LIEN-HOLDER BOOK

DRAWN: CKD APPD:
DRAWING SCALE: AS NOTED
DATE: SEPTEMBER 13, 2021

LEGAL DESCRIPTION:
LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO.

SHEET INDEX:

A0.1 / 1 of 6	COVER SHEET and NOTES
A1.1 / 2 of 6	SITE PLAN
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A2.1 / 4 of 6	ENLARGED PLAN
A3.1 / 5 of 6	FRONT (EAST) ELEVATION
A3.2 / 6 of 6	REAR (WEST) ELEVATION

DRAWING No.: A0.1
JOB No.: _____

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Eric Seufert
Eric Seufert
SIGNED THIS 20th DAY OF January, 2022

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF January, 2022 BY *Eric Seufert*

WITNESS MY HAND AND OFFICIAL SEAL.
Lois Elaine Love
LOIS ELAINE LOVE
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 1998400329
MY COMMISSION EXPIRES JANUARY 31, 2026

LIENHOLDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED July 02, 2021 AT RECEPTION No. 2021081026, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Jason Anthony Wolgast
SIGNED THIS 20th DAY OF January, 2022

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF January, 2022 BY *Jason Anthony Wolgast*

WITNESS MY HAND AND OFFICIAL SEAL.
Lois Elaine Love
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NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 1998400329
MY COMMISSION EXPIRES JANUARY 31, 2026

TITLE CERTIFICATION
I, *Jaime L. Stewart*, AN AUTHORIZED REPRESENTATIVE OF *Castle Rock Title Co. LLC*, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Jaime L. Stewart
JAIME L. STEWART
AUTHORIZED REPRESENTATIVE
Castle Rock Title Co. LLC
TITLE COMPANY
SIGNED THIS 20th DAY OF January, 2022

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF January, 2022 BY *Jaime L. Stewart* AS AUTHORIZED REPRESENTATIVE OF *Castle Rock Title Co. LLC*

WITNESS MY HAND AND OFFICIAL SEAL.
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NOTARY PUBLIC
STATE OF COLORADO
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MY COMMISSION EXPIRES JANUARY 31, 2026

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS (name of document) WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 10th DAY OF February, 2022.

Chris Webb
Chris Webb
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS (name of document) WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:53 AM ON THE 10th DAY OF February, 2022, AT RECEPTION NO. 2022010907

DOUGLAS COUNTY CLERK AND RECORDER
BY: *Chris Webb*
DEPUTY

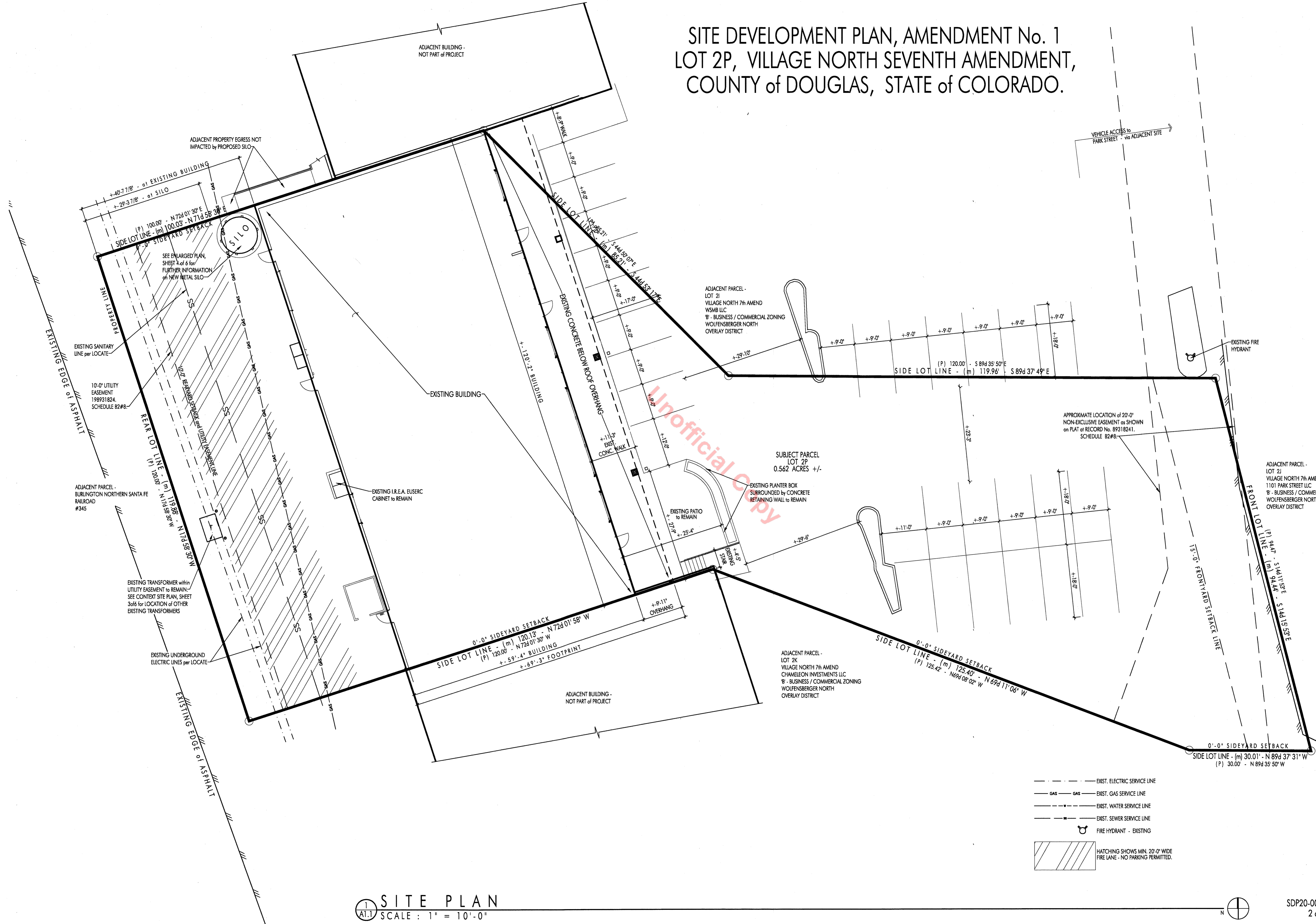
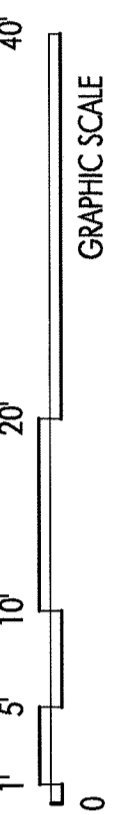
SURVEYOR'S CERTIFICATE
I, *Janney Calvin Hicks*, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS (name of document) WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACCURATELY EXIST AND THIS (name of document) ACCURATELY REPRESENTS THAT SURVEY.

Janney Calvin Hicks
REGISTERED LAND SURVEYOR
DATE 1/20/22

SITE DEVELOPMENT PLAN, AMENDMENT No. 1 LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT, COUNTY of DOUGLAS, STATE of COLORADO.

**LEWIS
HIMES**
ASSOCIATES

ARCHITECTURE &
SPACE PLANNING
5265 S. RIO GRANDE ST.
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LITTLETON, CO 80120
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FAX: 303-738-9990



**FACADE RENOVATIONS
for 105 WEST BREWING
1049 PARK STREET
CASTLE ROCK, CO 80109**

REVISIONS:		
No.	DATE	REMARKS
01	05.29.20	PRE-APPLICATION REVIEW NOTES
02	02.02.21	PRE-BOARD REVIEW COMMENT REVISIONS
03	03.02.21	SECOND-BOARD REVIEW COMMENT REVISIONS
04	03.30.21	MMAR RECORDATION SET

DRN: CID: APPD:
DRAWING SCALE: AS NOTED
DATE: MARCH 30, 2021

SITE PLAN
DRAWING No.: A1.1
JOB No.:

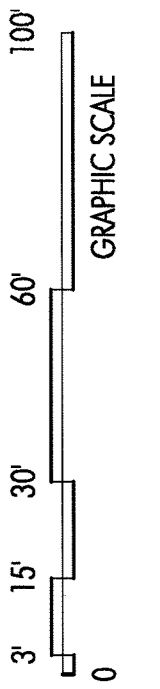
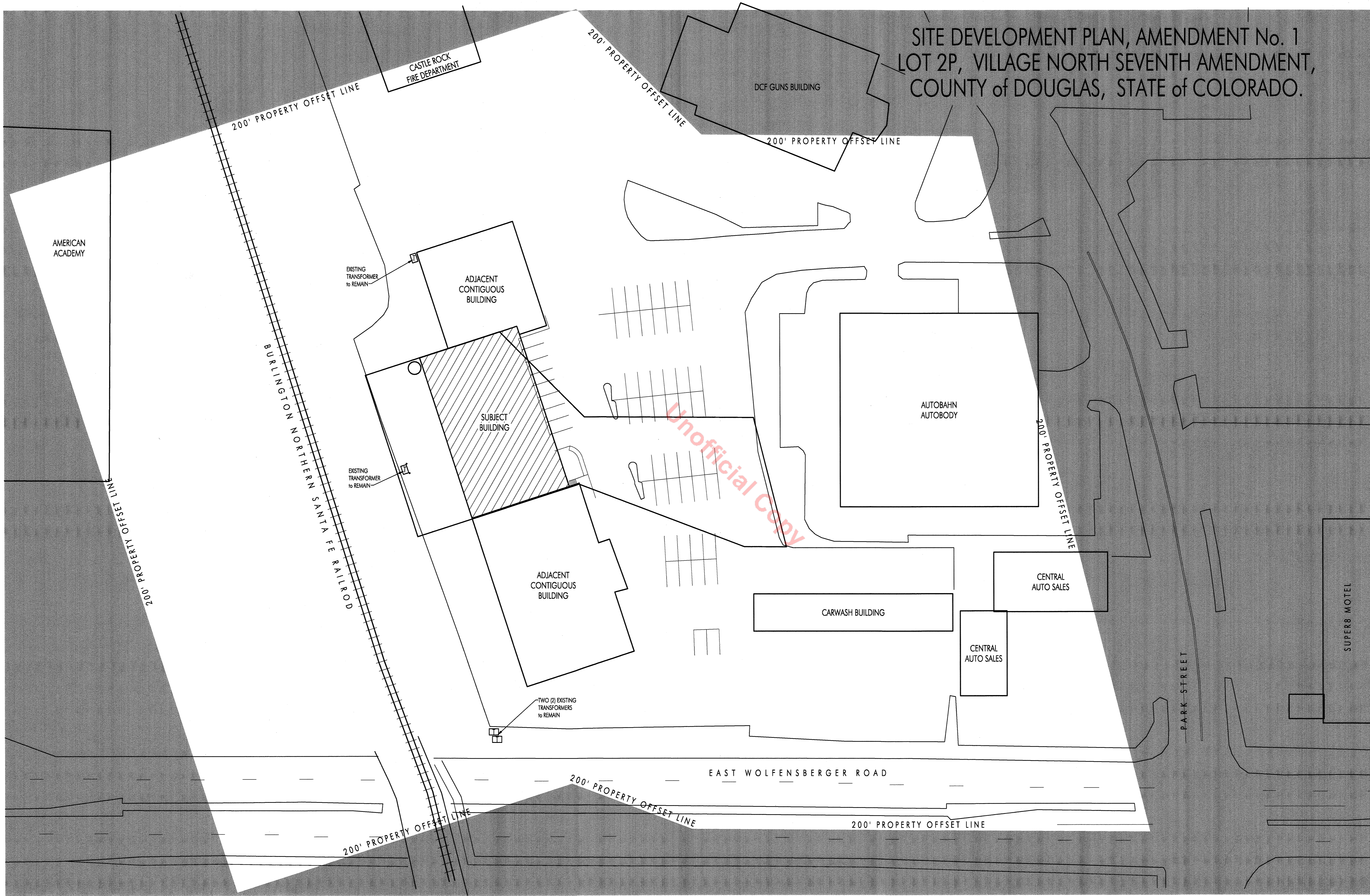
1 SITE PLAN
SCALE: 1" = 10'-0"

SDP20-0051
2 of 6

SITE DEVELOPMENT PLAN, AMENDMENT No. 1
 LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT,
 COUNTY of DOUGLAS, STATE of COLORADO.

**LEWIS
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Unofficial Copy

FACADE RENOVATIONS
 for 105 WEST BREWING
 1049 PARK STREET
 CASTLE ROCK, CO 80109

REVISIONS:	
No.	DATE
	08.29.20
	02.08.21
	02.08.21
	03.30.21

DRN: CID: APPD:
 DRAWING SCALE: AS NOTED
 DATE: MARCH 30, 2021

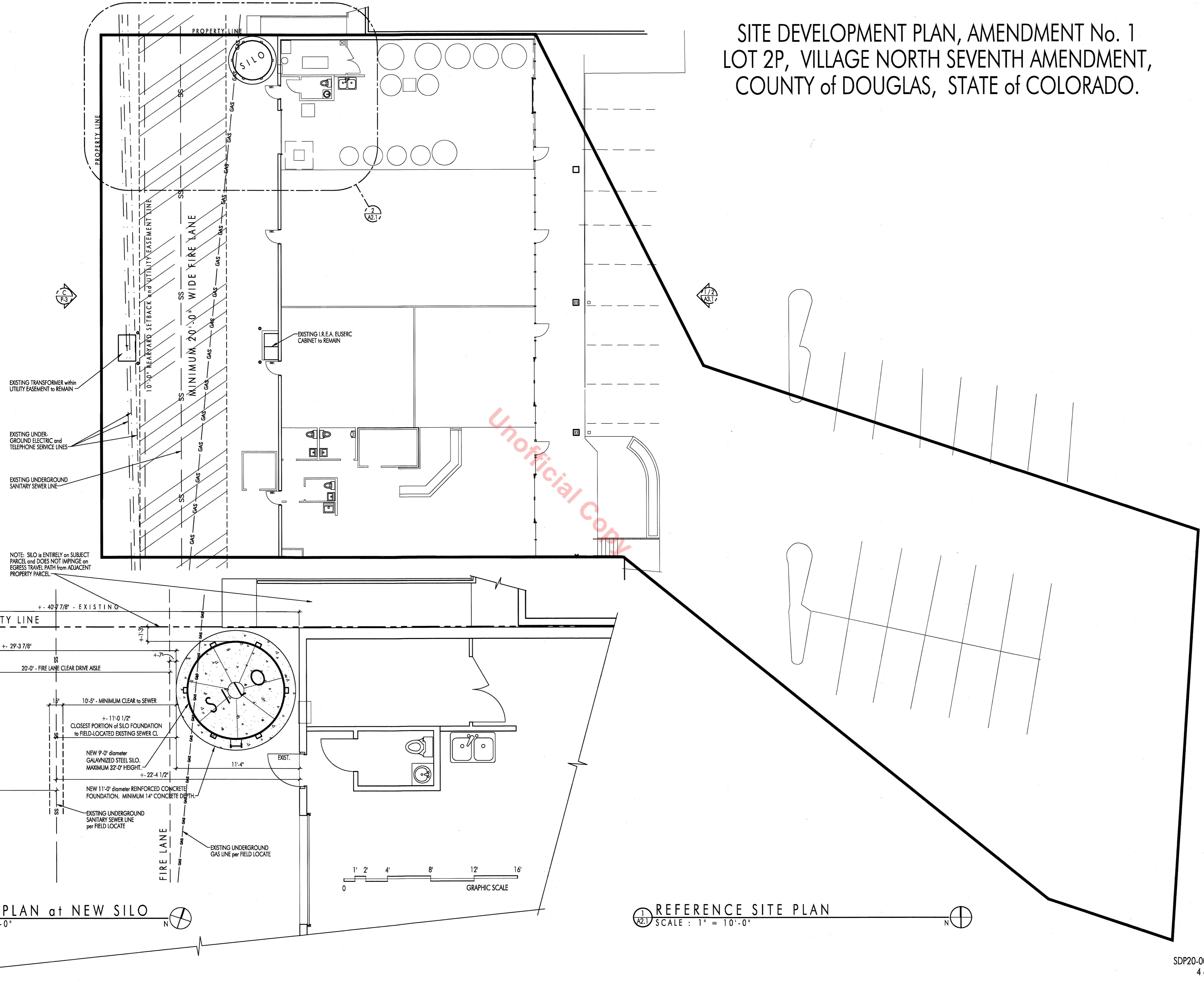
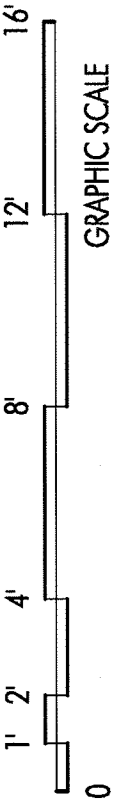
200'
 ADJACENT
 PARCEL PLAN
 DRAWING No.: A1.2
 JOB No.:

200' ADJACENT IMPROVEMENTS PLAN
 SCALE: 1" = 30'-0"

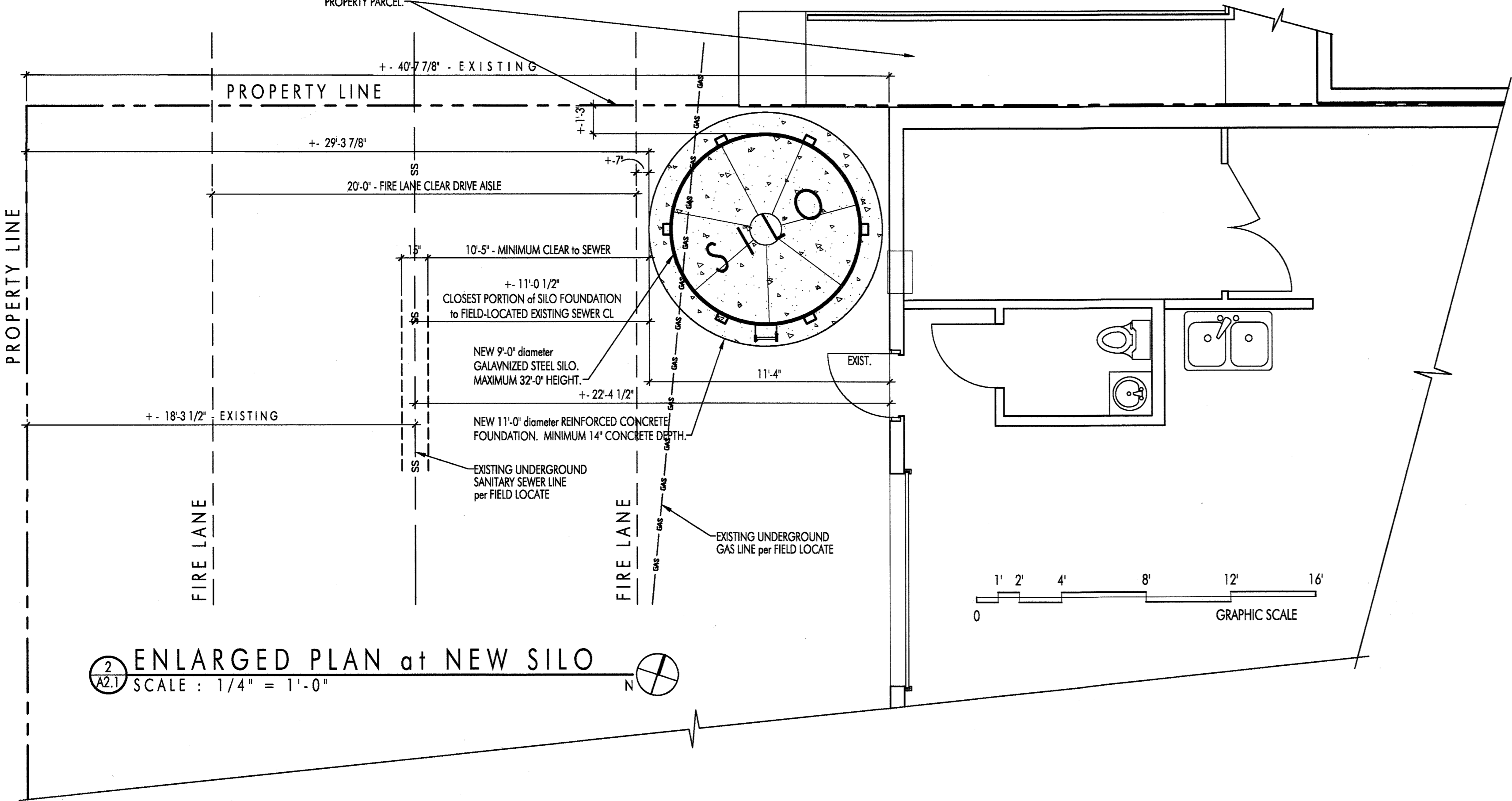
SITE DEVELOPMENT PLAN, AMENDMENT No. 1 LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT, COUNTY of DOUGLAS, STATE of COLORADO.

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NOTE: SILO IS ENTIRELY ON SUBJECT PARCEL and DOES NOT IMPINGE on EGRESS TRAVEL PATH from ADJACENT PROPERTY PARCEL.



2 ENLARGED PLAN at NEW SILO
SCALE: 1/4" = 1'-0"

1 REFERENCE SITE PLAN
SCALE: 1" = 10'-0"

FACADE RENOVATIONS
for 105 WEST BREWING
1049 PARK STREET
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REVISIONS:		
No.	DATE	REVISIONS
06.29.20		PRE-APPLICATION REVIEW NOTES
02.08.21		FIRST ROUND REVIEW COMMENT REVISIONS
03.08.21		SECOND ROUND REVIEW COMMENT REVISIONS
03.30.21		FINAL RECORDATION SET

DRN: CKD: APPD:
DRAWING SCALE: AS NOTED

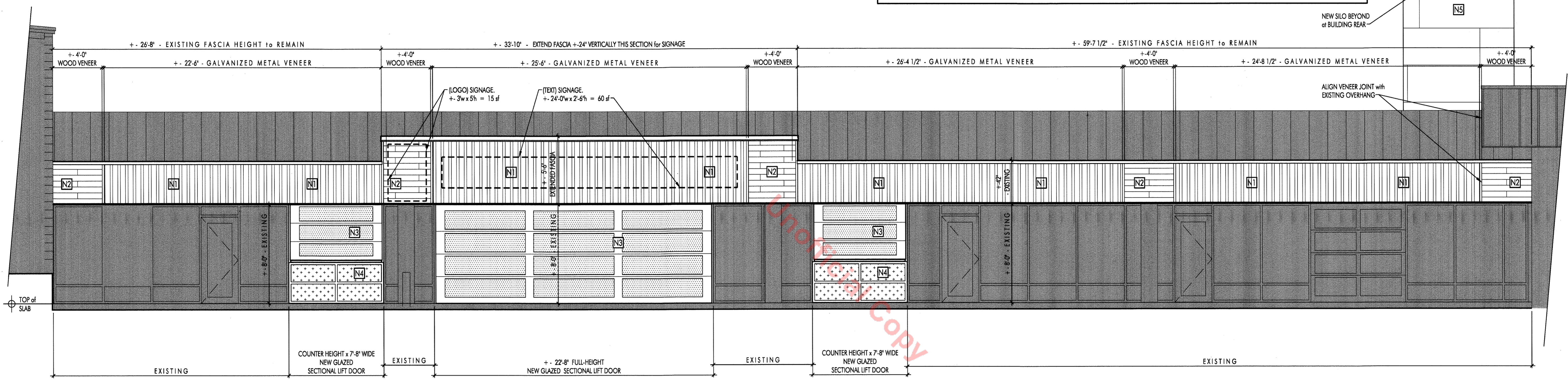
DATE: MARCH 30, 2021

ENLARGED PLAN
DRAWING No.: A2.1
JOB No.:

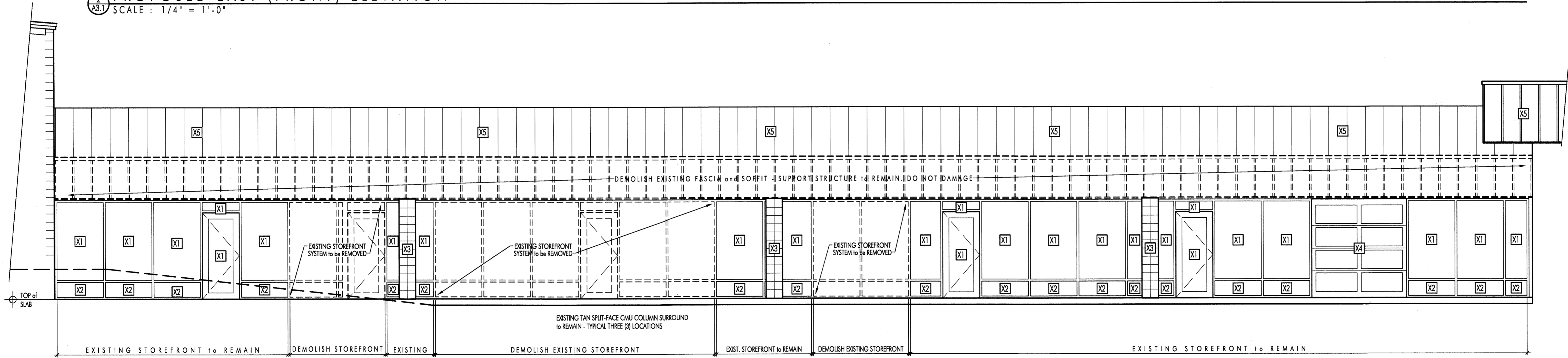
SITE DEVELOPMENT PLAN, AMENDMENT No. 1 LOT 2P, VILLAGE NORTH SEVENTH AMENDMENT, COUNTY of DOUGLAS, STATE of COLORADO.

EXTERIOR MATERIALS PALETTE :	
EXISTING MATERIALS TO REMAIN	PROPOSED NEW MATERIALS
X1 EXISTING STOREFRONT SYSTEM to REMAIN ANODIZED DARK BRONZE with CLEAR GLASS TYPICAL across FRONT ELEVATION, EXCEPT as NOTED	N1 GALVANIZED STEEL FASCIA VENEER over NEW FIRE-RESISTANT EXTERIOR GRADE OSB or PLYWOOD SHEATHING. NATURAL GALVANIZED COLOR
X2 EXISTING LOWER PANELS FILLED with GRAY INSULATED PANEL - TYPICAL across ELEVATION	N2 ROUGH SAWN PINE VENEER with SEMI-TRANSPARENT STAIN by VALSPAR. THREE-COLOR MIX of 'CANYON BROWN', 'REDWOOD' and 'GREY.'
X3 EXISTING TAN SPLIT-FACE CMU COLUMN SURROUND to REMAIN - TYPICAL THREE (3) LOCATIONS	N3 GLAZED SECTIONAL LIFT DOOR COLOR - BRICK RED to MATCH EXISTING.
X4 EXISTING LIFT DOOR to REMAIN. COLOR - BRICK RED	N4 INSULATED INFILL METAL PANELS in STOREFRONT FRAME. GRAY COLOR to MATCH EXISTING.
X5 EXISTING METAL SLOPED ROOFING to REMAIN. MANSARD behind PLANE of FASCIA at FRONT, SLOPED at REAR ELEVATION. COLOR - DARK BROWN.	N5 NEW PAINTED METAL SILO PAINT COLOR - 'BONE WHITE.' (FUTURE) PAINTED SIGNAGE - BLACK.
X6 EXISTING PAINTED METAL SIDING, TYPICAL across REAR ELEVATION. COLOR - DARK BROWN. NO POCHÉ SHOWN as ALL EXISTING to REMAIN.	EXISTING MATERIALS TO REMAIN are SHADED to EMPHASIZE NEW PROPOSED MATERIALS

NOTES:
 1. DASHED / BROKEN LINES ON EXISTING CONDITIONS / DEMOLITION ELEVATIONS INDICATE EXISTING MATERIALS to be REMOVED. MATERIALS BEING DEMOLISHED are TYPICALLY SIMILAR to ADJACENT MATERIALS to REMAIN.
 2. NO NEW LIGHT FIXTURES are PROPOSED as PART of this PROJECT.
 3. ANY NEW ELECTRIC METERS, EXHAUST VENTS and/or SIMILAR BUILDING APPURTENANCES shall be PAINTED to MATCH ADJACENT EXTERIOR FINISH MATERIALS.



2 PROPOSED EAST (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



1 EXISTING CONDITIONS / DEMOLITION EAST (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"

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03	08.02.21	SECOND-ROUND REVIEW COMMENT REVISIONS
04	03.30.21	MIMAR RECORDATION SET

DRAWING SCALE: AS NOTED

DATE: MARCH 30, 2021

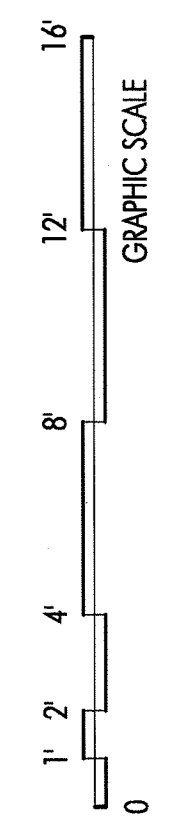
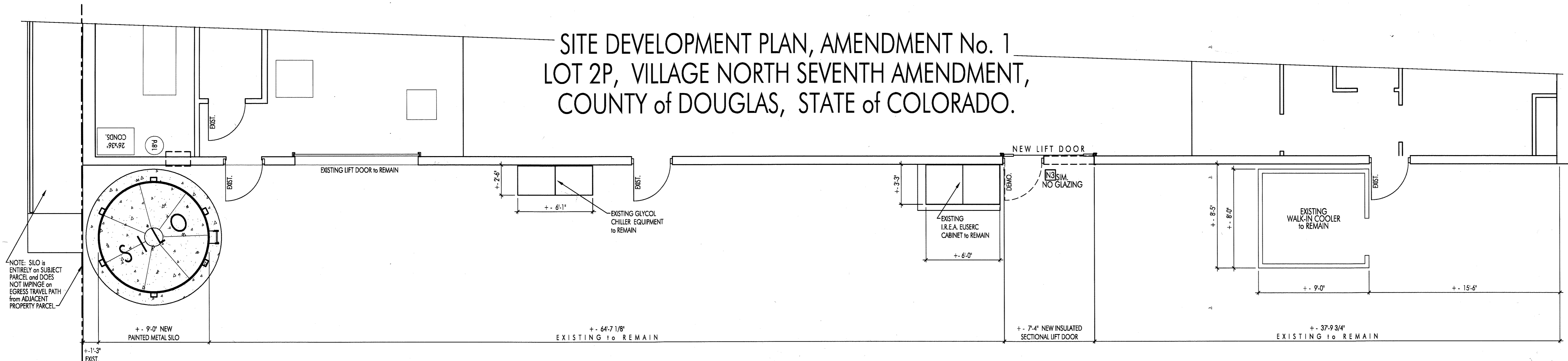
EAST (FRONT) ELEVATIONS

DRAWING No.: A3.1

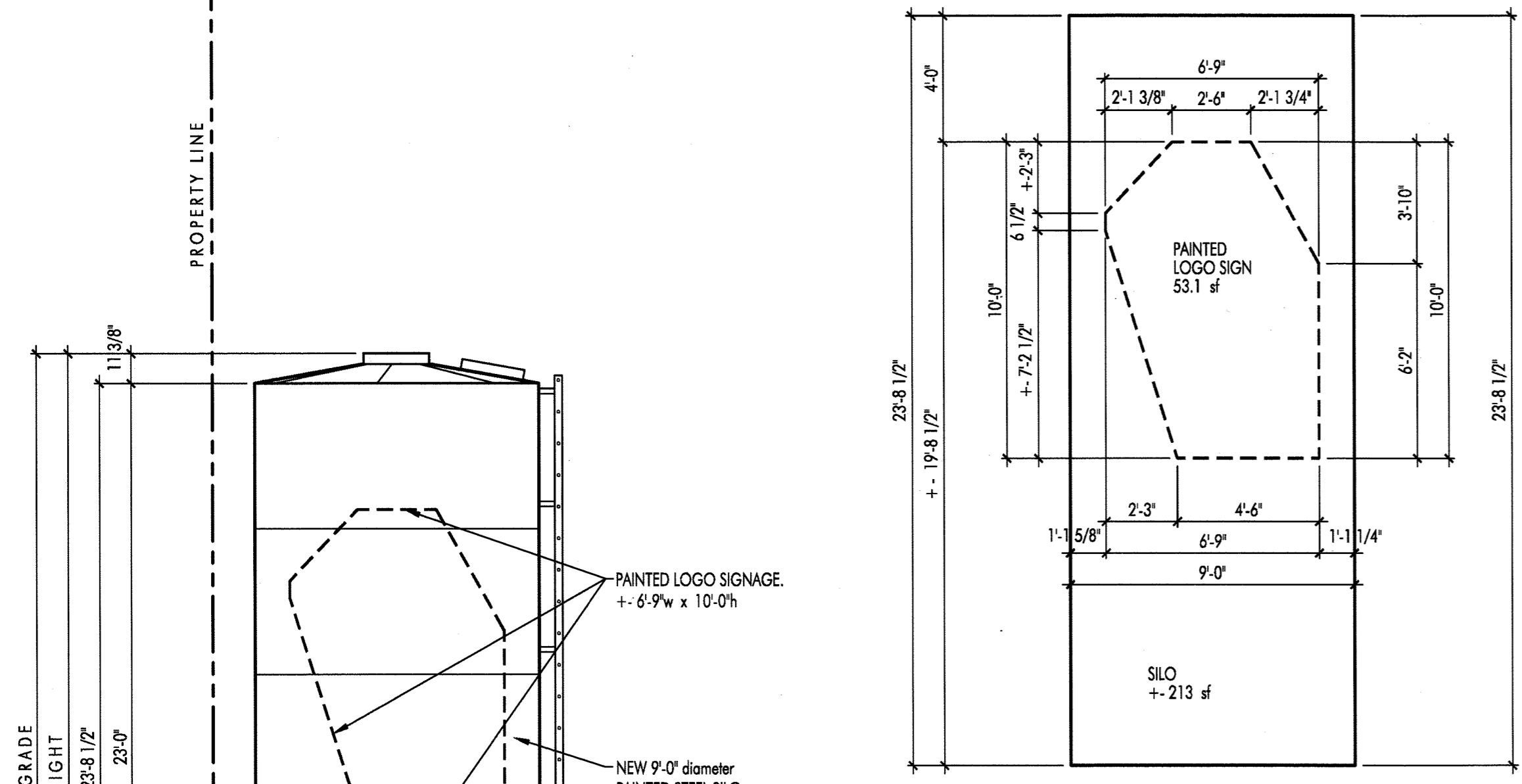
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3 REFERENCE PLAN
SCALE: 1/4" = 1'-0"

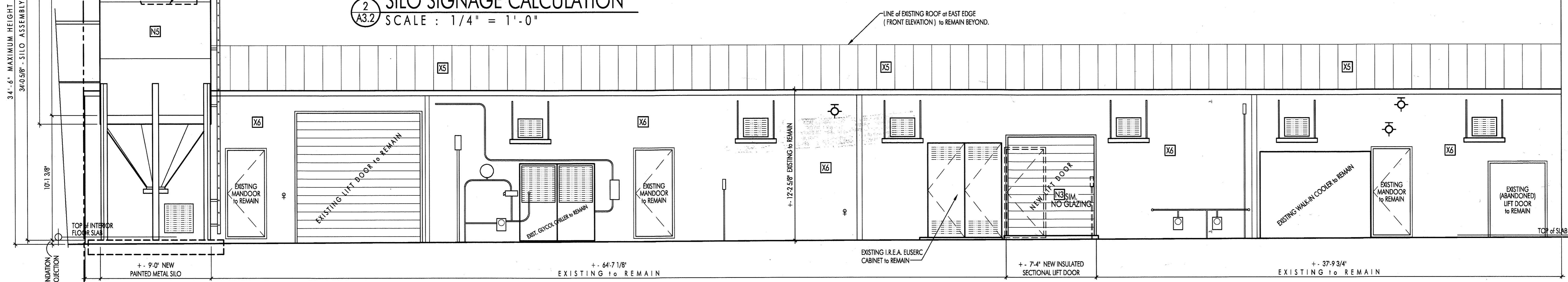


2 SILO SIGNAGE CALCULATION
SCALE: 1/4" = 1'-0"

EXISTING MATERIALS TO REMAIN		PROPOSED NEW MATERIALS	
X1	EXISTING STOREFRONT SYSTEM to REMAIN ANODIZED DARK BRONZE with CLEAR GLASS TYPICAL across FRONT ELEVATION, EXCEPT as NOTED	N1	GALVANIZED STEEL FASCIA VENEER over NEW FIRE-RESISTANT EXTERIOR GRADE OSB or PLYWOOD SHEATHING. NATURAL GALVANIZED COLOR
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Unofficial Copy



1 WEST - REAR ELEVATION
SCALE: 1/4" = 1'-0"

**FACADE RENOVATIONS
for 105 WEST BREWING
1049 PARK STREET
CASTLE ROCK, CO 80109**

REVISIONS:	
No.	DATE
01.09.20	PRE-APPLICATION REVIEW NOTES
02.08.21	PRE-APPLICATION REVIEW COMMENT RESPONSES
03.08.21	SECOND ROUNDOFF REVIEW COMMENT RESPONSES
03.30.21	MPAR RECORDATION SET

DATE: MARCH 30, 2021

WEST (REAR) ELEVATION
DRAWING No.: A3.2
JOB No.: