

SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. A NOTE REGARDING THE EXISTENCE OF ANY FEMA REGULATED FLOODPLAINS AND WETLANDS ON THE SITE. PER FIRM PANEL 08035C0188F THE 100-YEAR FLOOD PLAIN DOES NOT IMPACT THE SITE.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. THERE ARE NO TRACTS BEING DEDICATED WITH THIS APPLICATION.
10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
11. THIS SITE IS ZONED I-1, AND IS IN THE NORTH WOLFENBERGER NORTH ZONING OVERLAY DISTRICT.
12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

OWNER:
GENE NOBLE
588 NORTH FAVER DRIVE
CASTLE ROCK, CO 80109
PHONE NO. 303-906-5170

SURVEYOR/ENGINEER:
DAVID E. ARCHER & ASSOCIATES
105 WILCOX STREET,
CASTLE ROCK, CO 80104
CONTACT: KEVIN ARCHER
PHONE NO. 303-688-4642

ARCHITECT:
SECHLER ARCHITECTURE LLC
91 FOXTAIL DRIVE
BLACK HAWK, CO 80422
PHONE NO. 720-273-3504

LANDSCAPE ARCHITECT:
TERI HENSEN
1031 SURLYN COURT
CASTLE ROCK, CO 80109
PHONE NO. 720-936-6949

OWNERSHIP CERTIFICATE
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
NOBLE FAMILY TRUST, DATED APRIL 8, 2008
By Patsy L. Noble, Trustee Eugene D. Noble, Trustee
SIGNED THIS 18th DAY OF April, 2014
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 18th DAY OF April, 2014 BY Patsy L. Noble and Eugene D. Noble, Trustees of The Noble Family Trust
WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3/29/18

TITLE CERTIFICATION
I, Brenda Becker, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
Brenda Becker
AUTHORIZED REPRESENTATIVE

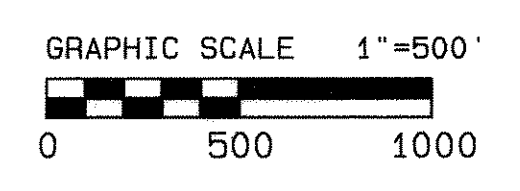
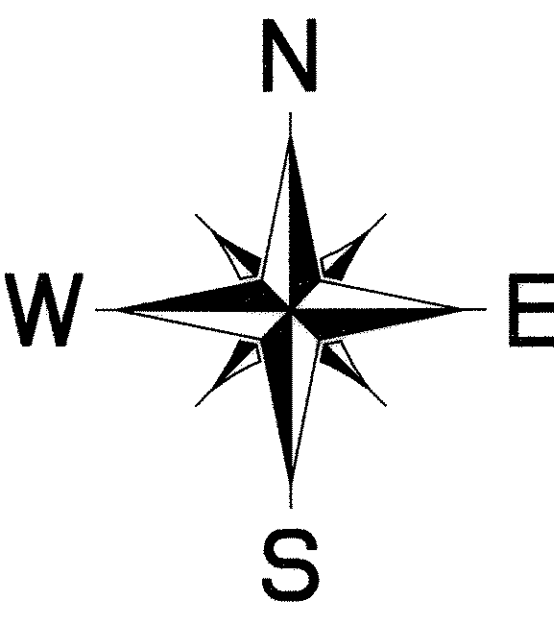
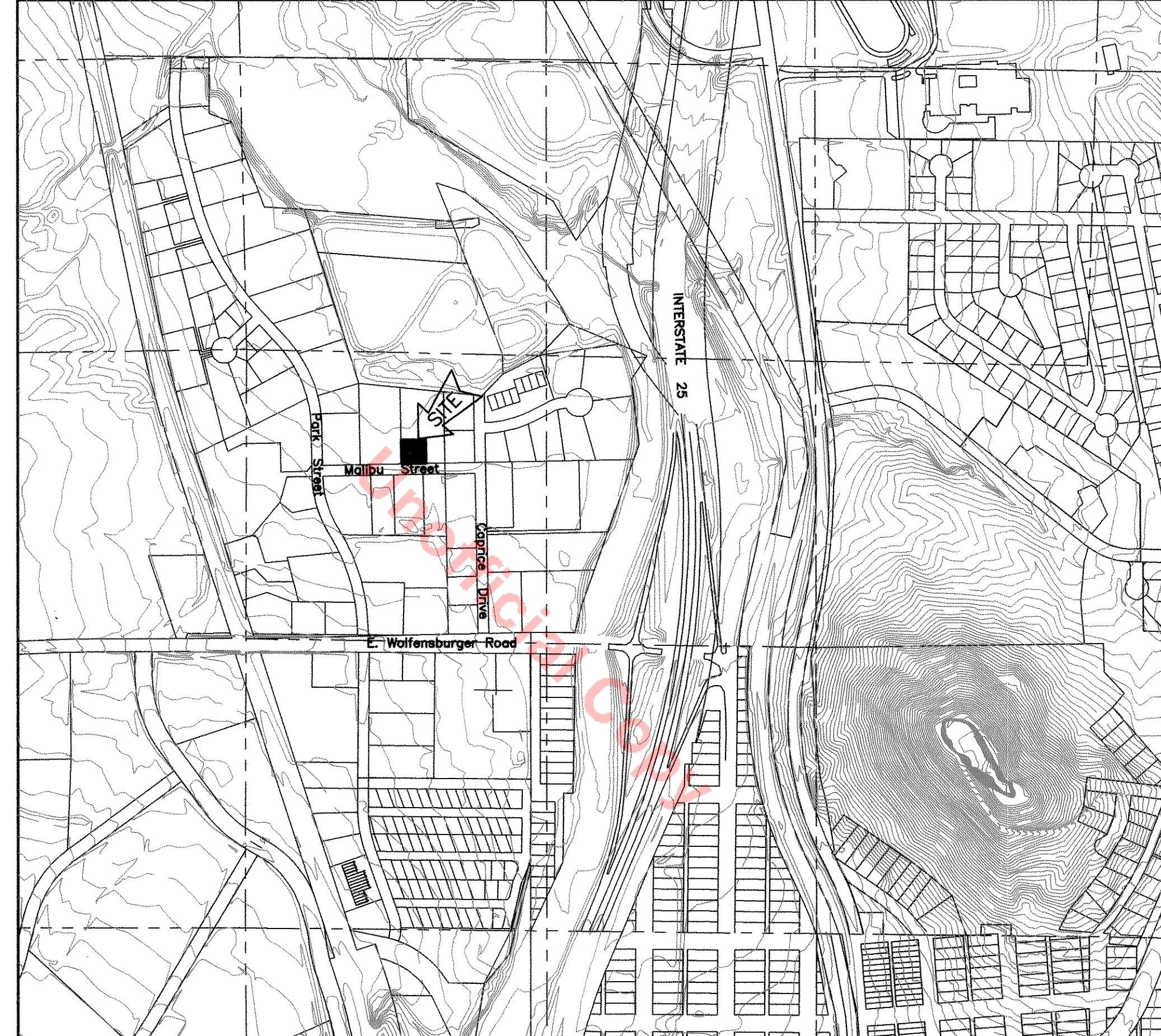
LAND TITLE GUARANTEE COMPANY
SIGNED THIS 18th DAY OF April, 2014
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 18th DAY OF April, 2014 BY Brenda Becker AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company
WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3/29/18

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:04 PM ON THE 10th DAY OF July, 2014 AT RECEPTION NO. 2014037447
DOUGLAS COUNTY CLERK AND RECORDER
BY: David
DEPUTY

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 21st DAY OF APRIL, 2014
[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

SURVEYOR'S CERTIFICATE
I, DEE ALLEN BIRD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
Dee Allen Bird
DEE ALLEN BIRD DATE 4-8-14

CIVIL ENGINEER'S STATEMENT
I, KEVIN E. ARCHER, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Kevin E. Archer
KEVIN E. ARCHER DATE 4-8-14



PROJECT BENCHMARK:
THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM3.005015 ELEVATION 6197.57 AND IS ON NAVD88 DATUM.

SUMMARY TABLE

LOT AREA	0.35 AC (15,119 SF)
PROPOSED ADDITIONAL BUILDING FOOTPRINT	2,800 SF
EXISTING BUILDING FOOTPRINT	2,404 SF
CONCRETE	3,111 SF
GRAVEL	2,872 SF
ASPHALT	1,903 SF
OPEN/LANDSCAPE	2,029 SF
MAXIMUM FLOOR AREA RATIO	0.40 FAR
SETBACKS	FRONT: 15', REAR: 20', SIDES: 5'
MAX BUILDING HEIGHT ALLOWED	35 FEET
MAX BUILDING HEIGHT PROPOSED	17.83 FEET
SINGLE FAMILY EQUIVILANT UNITS (SFE)	1

PARKING REQUIRED

3.0 SPACES/BAY & 1.0 SPACE/EMPLOYEE	3 x 2 BAYS 1 x 3 EMPLOYEES
TOTAL PARKING REQUIRED	9 SPACES
PARKING PROVIDED	10 SPACES (INCLUDING 2 H/C)

LEGAL DESCRIPTION
LOT 2, VILLAGE NORTH AMENDMENT NO. 13
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

BASIS OF BEARINGS
BEARINGS ARE BASED ON THE CONSIDERATION THAT THE SOUTH LINE OF LOT 2 BEARS S88°51'08"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 8	COVER SHEET
2 OF 8	SITE PLAN
3 OF 8	GENERAL GRADING PLAN
4 OF 8	GENERAL UTILITIES PLAN
5 OF 8	CONCEPTUAL LANDSCAPE PLAN
6 OF 8	BUILDING ELEVATIONS
7 OF 8	BUILDING ELEVATIONS
8 OF 8	GENERAL LIGHTING PLAN & SPECIFICATIONS

REVISIONS

APPROVED	4-08-14

DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING
PHONE (303) 688-4642
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

TITLE
SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

SCALE: 2-21-14
DATE: 2-21-14
BY: DMH
APP'D: KEA

CLIENT: GENE NOBLE

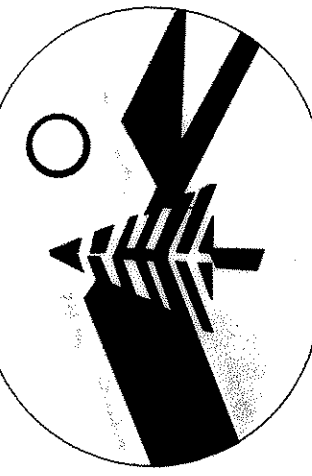
SHEET: 1 of 8

JOB NUMBER: 13-0162

SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



DAVIDE ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
SURVEYING ENGINEERS
PHONE (303) 688-4642
105 MILCOX ST. CASTLE ROCK, COLORADO 80104

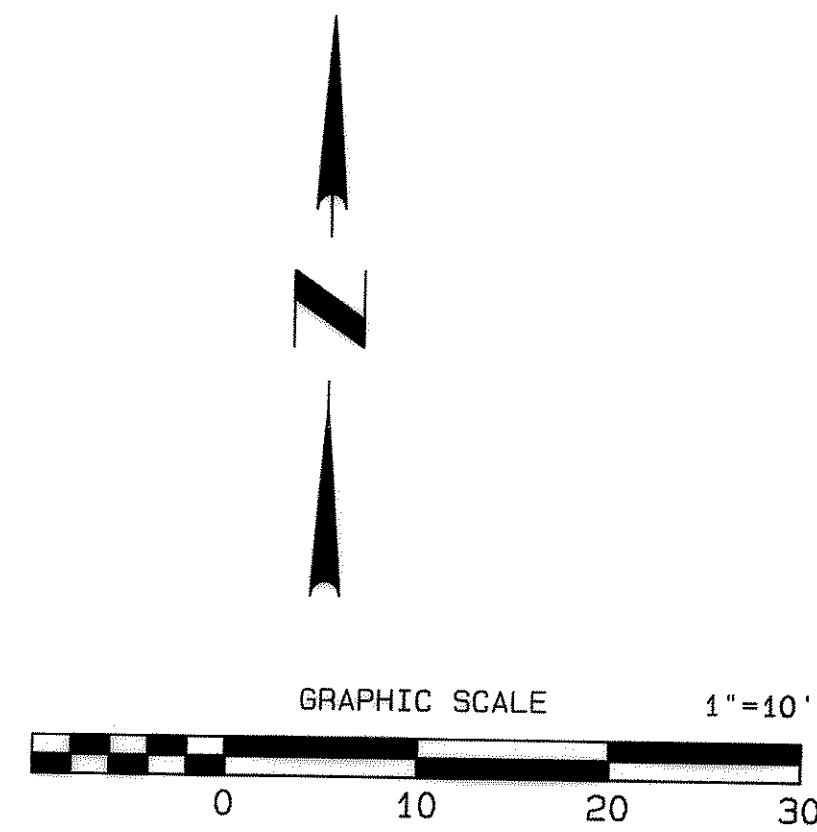
REVISIONS	
COMMENTS	3-26-14
APPROVED	4-08-14

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK,
DOUGLAS COUNTY, COLORADO.

SITE PLAN

CONTACT: GENE NOBLE
PHONE: 303-906-5170

SCALE	1"=10'
DATE	2-21-14
DRN.	DMH
CRD.	KEA
AP'VD.	KEA
JOB NUMBER	13-0162
Sheet	2 of 8

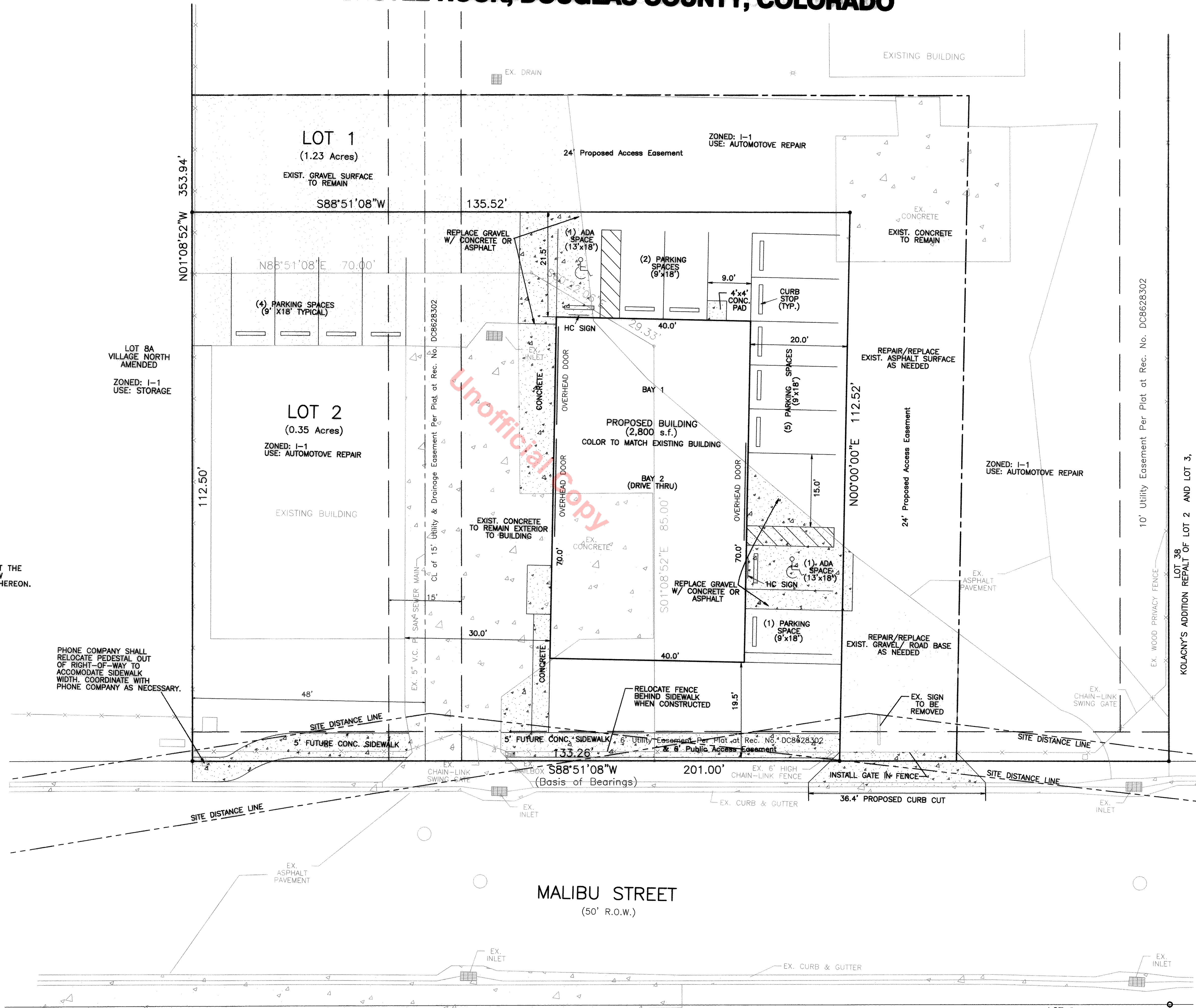


PROJECT BENCHMARK:

THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM 3010030 ELEVATION 6394.91 AND IS ON NAVD88 DATUM.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CONSIDERATION THAT THE SOUTH LINE OF LOTS 1 & 2 BEARS S88°51'08"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.



- #### LEGEND
- PROPOSED 6" CONCRETE CURB & GUTTER
 - EXISTING CURB & GUTTER
 - PROP CULVERT W/ FES
 - EX CULVERT W/ FES
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - EXISTING FENCE
 - PROP FENCE LINE
 - EXISTING WALL LINE
 - PROPOSED WALL LINE
 - PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - PROPOSED LIGHT POLE
 - EXISTING LIGHT POLE
 - PROP FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED HANDICAP PARKING

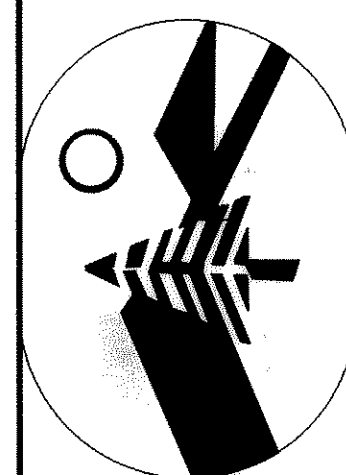
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LOT 2, VILLAGE NORTH AMENDMENT NO. 13
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0023

SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

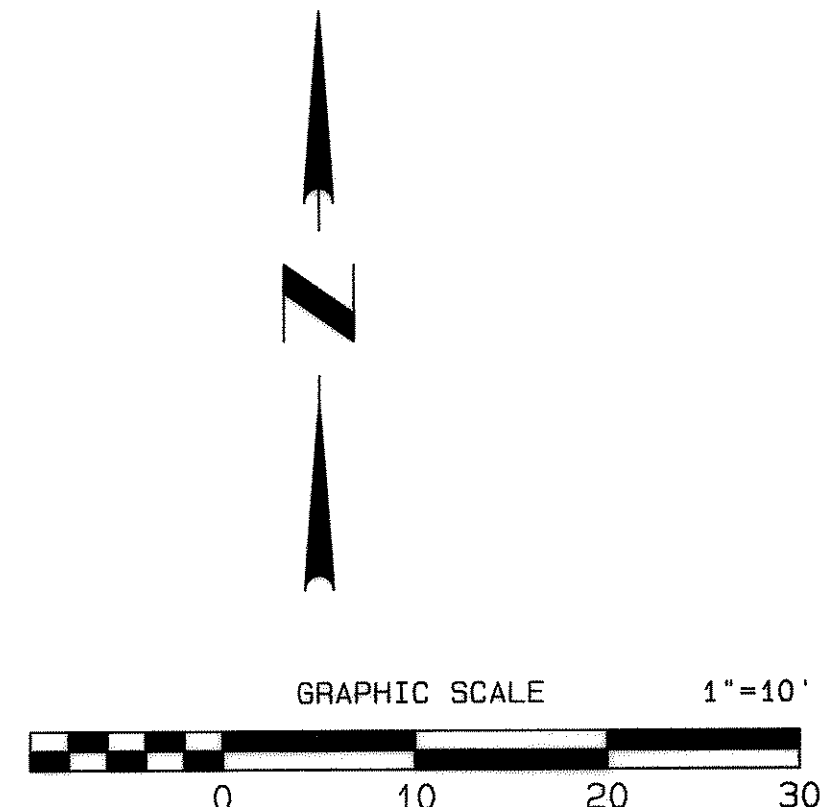


DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
PHONE: (303) 688-4642
105 WILCOX ST., CASTLE ROCK, COLORADO 80104

REVISIONS
APPROVED 4-08-14

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK,
DOUGLAS COUNTY, COLORADO.
GENERAL GRADING PLAN

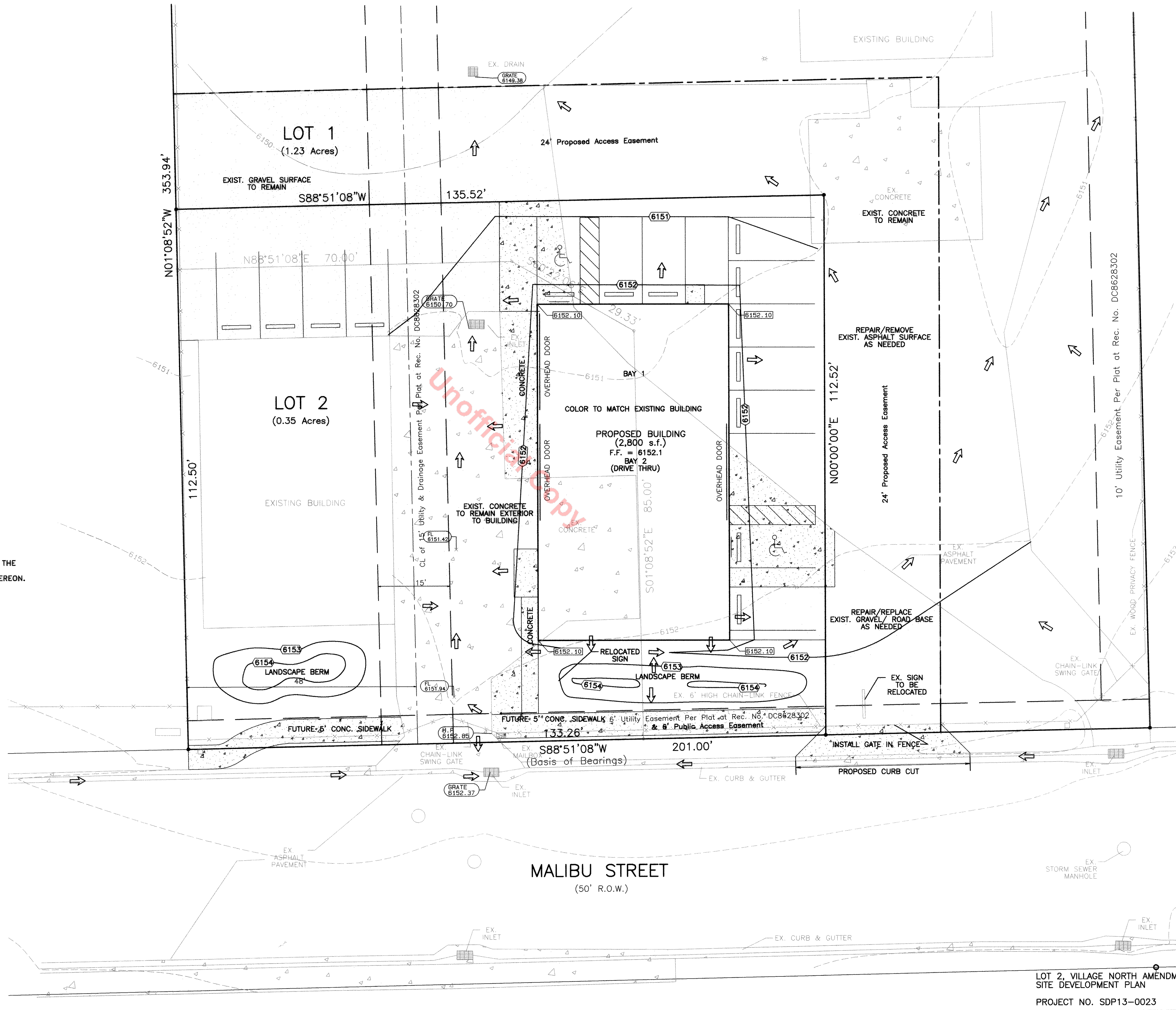
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DRN: DMH CKD: KEA
APVD: KEA
JOB NUMBER: 13-0162
Sheet 3 of 8



PROJECT BENCHMARK:
THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM 3010030 ELEVATION 6394.91 AND IS ON NAVD88 DATUM.

BASIS OF BEARINGS
BEARINGS ARE BASED ON THE CONSIDERATION THAT THE SOUTH LINE OF LOTS 1 & 2 BEARS S88°51'08"W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

- LEGEND**
- PROPOSED 6" CONCRETE CURB & GUTTER
 - EXISTING CURB & GUTTER
 - PROP CULVERT W/ FES
 - EX CULVERT W/ FES
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - EXISTING FENCE
 - PROP FENCE LINE
 - EXISTING WALL LINE
 - PROPOSED WALL LINE
 - PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - EXISTING GRADE CONTOURS (1' INTERVAL)
 - FINISHED GRADE CONTOURS (1' INTERVAL)
 - EXISTING GRADE-SPOT ELEVATION
 - FINISHED GRADE-SPOT ELEVATION
 - FINISHED FLOW DIRECTION
 - PROPOSED LIGHT POLE
 - EXISTING LIGHT POLE
 - PROP FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - PROPOSED HANDICAP PARKING



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LOT 2, VILLAGE NORTH AMENDMENT NO. 13
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0023

SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LANDSCAPE NOTES

- This plan was drawn according to information received from the Engineer.
- Landscape Architect is not liable for discrepancies between the proposed plan and existing conditions.
- If a discrepancy occurs between the plan and plant schedule, the plan shall take precedence.
- Any plant or material substitutions must be approved by the landscape architect.
- Landscape Contractor is responsible for all field utility locates and limits of construction prior to construction.
- Landscape Contractor must be registered by the Town of Castle Rock (TOCR).
- Landscape Contractor will warranty all plant materials, excluding perennials, for a min. period of 6 months. Winter watering is required for the warranty to be honored.
- All existing plant material and mulches, weeds and debris shall be removed prior to new landscape installation.
- Demolition of existing plants shall include removal of all roots and tree stumps.
- Refer to section 17.46.070 of the Municipal Code for design standards for properties that fall within the Wolfenberger Overlay District.
- Per Town of Castle Rock Landscape Irrigation Performance Standards, Section 4.11, 04.02.3, an irrigation plan will be provided.
- Trees, shrubs and perennials shall be planted according to TOCR planting guidelines and the Colorado Nursery Association.
- All trees will be staked using 2-6" wooden poles/tree installed at approximately 4' hi. The guy wire shall be installed using 1/2" PVC around the wire to protect from pedestrian injury.
- Screened topsoil will be used to create berms per plan.
- 3-Way Planter's mix shall be used for all planted areas and mixed 1/3 and 2/3 with existing soil or newly added screened topsoil according to planting standards.
- River rock boulders shall be used, approximately 2-3' in diameter indicated as boulders on plan.
- All cobble mulch shall be a minimum depth of 2".
- Commercial grade landscape fabric will be used under cobble areas.
- A mix of Horizon cobble shall be used in all landscape areas according to plan, 5-12", 2-4", 1 1/2", and 1".
- The 5-12" cobble shall be installed first in a random pattern allowing the other sizes to mix in around creating a more natural application of the stone.
- 1 1/2" and 1" Horizon cobble will be used for the area indicated on plan in absence of a sidewalk.
- Landscape and irrigation system shall be installed by a Town of Castle Rock registered landscape contract professional.
- Contact the Town of Castle Rock utilities department at 720.733.6045 for an on-site pre-construction meeting before beginning installation of the landscaping.

terihensendesign



Teri Hensen
1031 Surlyn Ct.
Castle Rock, CO 80109
thensen@msn.com
720-936-6949
Colorado Registration #790
TOCR Registration #455



Commercial Landscape Site Inventory











Town of Castle Rock Registered Professional Teri Hensen
Town of Castle Rock Registration # 790 State of Colorado License Landscape Architect # 790
Company Name Teri Hensen Design Address 1031 Surlyn Ct., Castle Rock, CO 80109
Phone 720.936.6949 Email thensen@msn.com Date 10.4.13 REV 02.28.14
PROJECT NAME Gene's Huffer and Auto, Malibu Street, Castle Rock, CO 80104

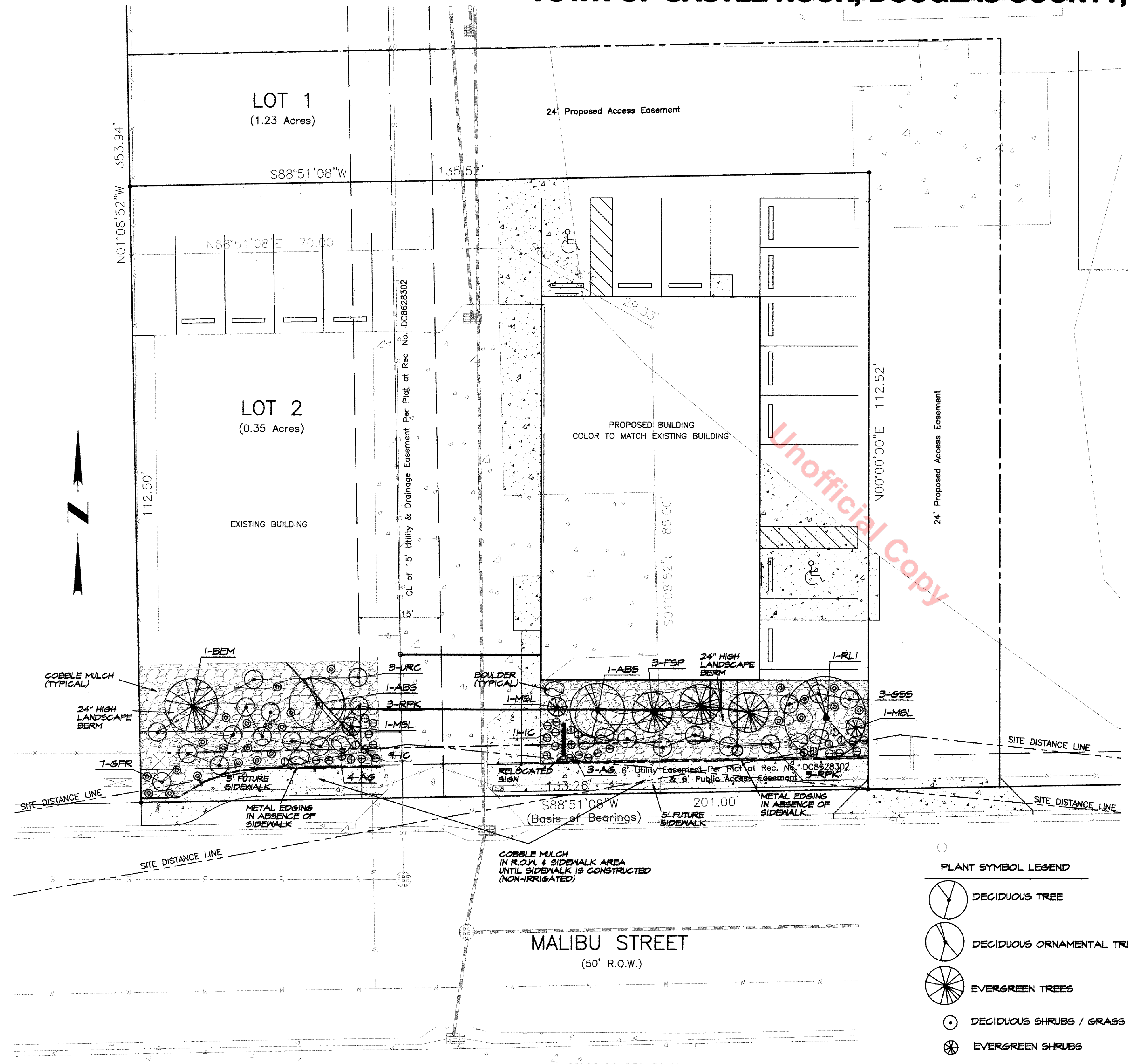
Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
15,119	1,373	0	344	8	8	24	27	4 cu.yds. per 1,000 sq. ft.	Irrigated from building combined tap. Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
N/A									

Conceptual Landscape Plan Standard Notes.

- Square footages are estimated. Final landscape area coverage shall meet or exceed coverage represented in this drawing and shall conform to subsequent submittal requirements.
- Quantities and locations of plant materials are approximated. Final quantities and locations will be reflected on construction documents.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to utility lines should be a minimum of 10 feet.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the water restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
- Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type of the property.

PLANT SYMBOL LEGEND

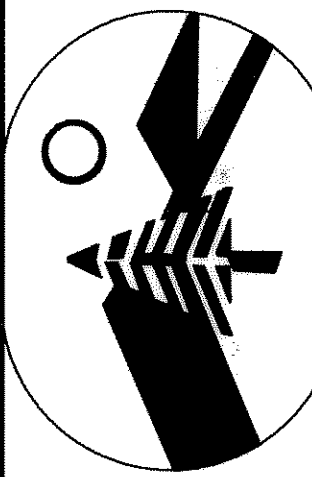
-  DECIDUOUS TREE
-  DECIDUOUS ORNAMENTAL TREE
-  EVERGREEN TREES
-  DECIDUOUS SHRUBS / GRASS
-  EVERGREEN SHRUBS
-  PERENNIAL - RB
-  PERENNIAL - AG
-  PERENNIAL - IC
-  BOULDER
-  COBBLE MULCH



COLORADO REGISTERED LANDSCAPE ARCHITECT

Teri Hensen, RLA #790 _____ Date _____

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DAVID E. ARCHER & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE & ENGINEERING
PHONE (303) 688-4642
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS
COMMENTS 3-28-14
APPROVED 4-08-14

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.

CONCEPTUAL LANDSCAPE PLAN

CONTACT: GENE NOBLE
PHONE: 303-906-5170

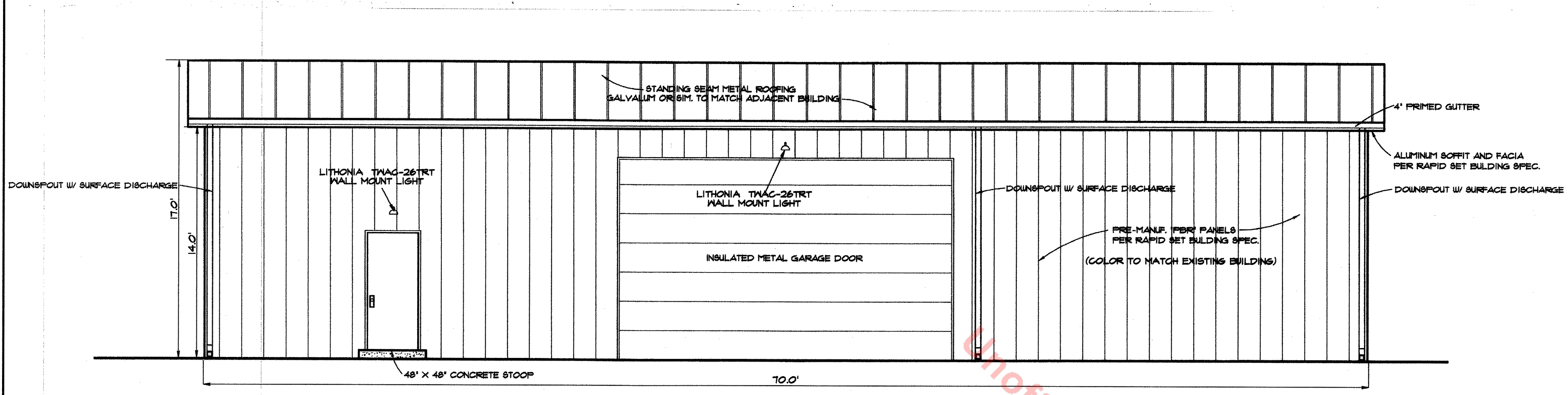
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DATE 2-21-14
DRN: DMH (CKD) KEA
APVD: KEA
JOB NUMBER 13-0162
Sheet 5 of 8

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
SITE DEVELOPMENT PLAN
PROJECT NO. SDP13-0023

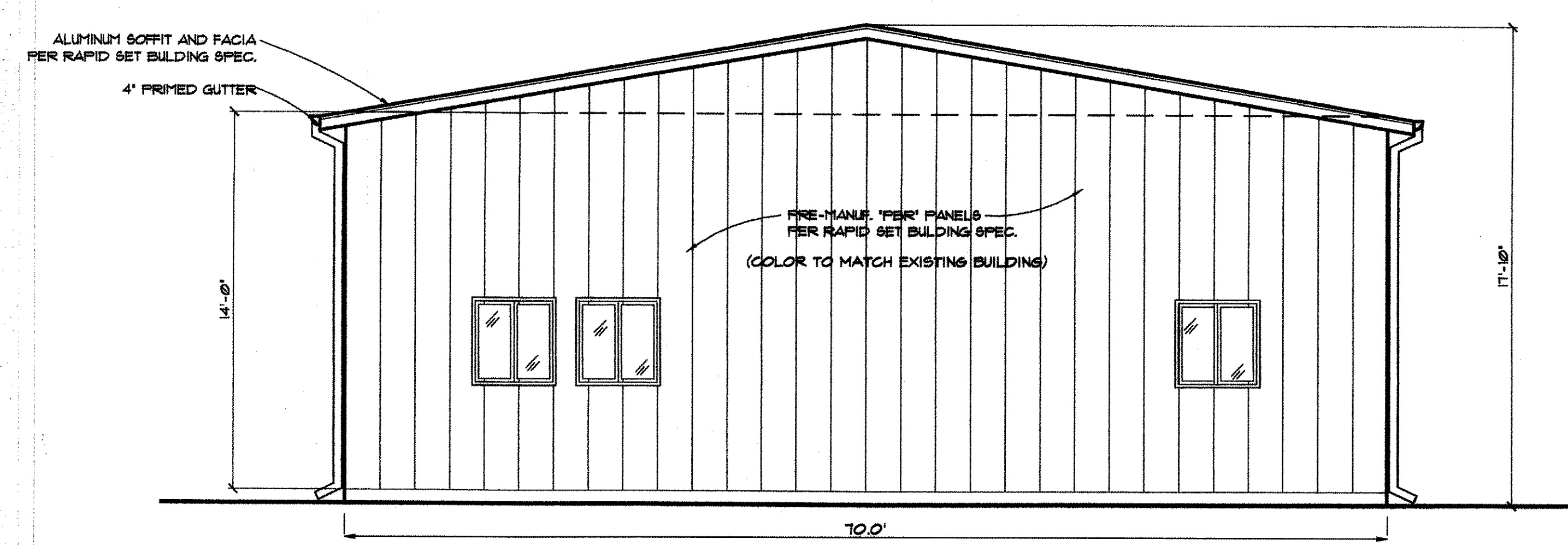
SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



REAR ELEVATION
1/4" = 1'-0" EAST



RIGHT SIDE ELEVATION
1/4" = 1'-0" SOUTH

EXTERIOR SPECIFICATIONS:

- SIDING MATERIALS:** 'FER' PANEL PER RAPID SET BUILDING SPECIFICATIONS COMPLY WITH I.B.C. CODE
- WINDOW & DOOR TRIM:** N.A.
- HORIZONTAL TRIM:** FACIA: 1 X 4 (5/4) AT SIDES AS SHOWN.
SOFFIT: 1/6" X 12' ALUMINUM SOFFIT
- VERTICAL TRIM:** N.A.
- ROOFING MATERIALS:** STANDING SEAM METAL ROOFING, 'GALVALUM' OR SIMILAR 4 PER I.B.C. CODE REQUIREMENTS.
- ROOF FITCH:** ALL ROOF FITCHES AS SHOWN.
- GUTTERS & DOWNSPOUTS:** 4' PRIMED GUTTERS AT ALL HORIZONTAL FACIAS PER CODE WITH AT LEAST 1 DOWNSPOUT FOR EVERY 25'-0" OF GUTTER.
- ATTIC VENTILATION:** VENT PANELS WHERE SHOWN.
SOFFIT VENT STRIPS OR PANELS PER I.B.C.

SCALE: 1/4" = 1'-0"

FER PANEL

Description: This panel is used both for the roof and sidewalls; the 'FER' panel's deep ribs create an even-shaded appearance. The area between the major ribs is reinforced with minor ribs. The 'FER' panel is one of the most economical wall covering systems.

Gauge: 23, 26, 24 and 22.

Length: 48' maximum is standard but longer lengths available by special request.

Fasteners: Standard coated, zinc- aluminum cast head, or stainless steel head screws.

Dimensions: 36" coverage x 1 1/4" deep.

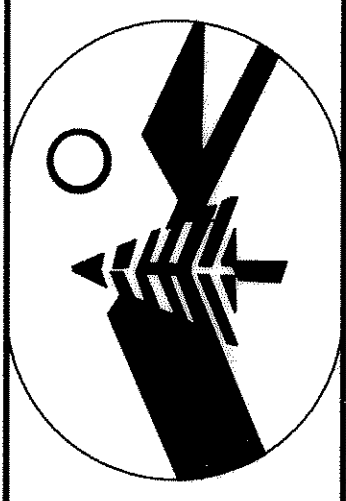
Finish: Galvalume Plus® and Commercial - Industrial Series.

Usage: Roof, wall, liner, mansard, and soffit panel applications.

'FER' Panel Features and Benefits:

- 36" Coverage for ease of erection.
- Manufactured at all plants for low freight to any location.
- Start installation at either end for flexible erection.
- Economical profile that is cost effective.
- Finish Warranty - 20-year life when used with long life fasteners.
- The panel provides diaphragm capabilities and girt stability in metal building construction.
- Profile wall lights are available for the 'FER' Panel.
- The panel can be reverse rolled putting the paint finish on the under side for installation as a wall panel.

SECHLER ARCHITECTURE LLC
 91 FOXTAIL DR.
 BLACK HAWK, CO 80422
 PHONE: 720-273-3504



DAVID E. ARCHER & ASSOCIATES INC.
 LAND DEVELOPMENT CONSULTING
 SURVEYING ENGINEERING
 PHONE: (303) 688-4642
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS APPROVED 4-08-14

LOT 2, VILLAGE NORTH AMENDMENT NO. 13
 IN SEC. 2 T8S. R67M. TOWN OF CASTLE ROCK
 DOUGLAS COUNTY, COLORADO.

BUILDING ELEVATIONS
 CONTACT: GENE NOBLE
 PHONE: 303-906-5170

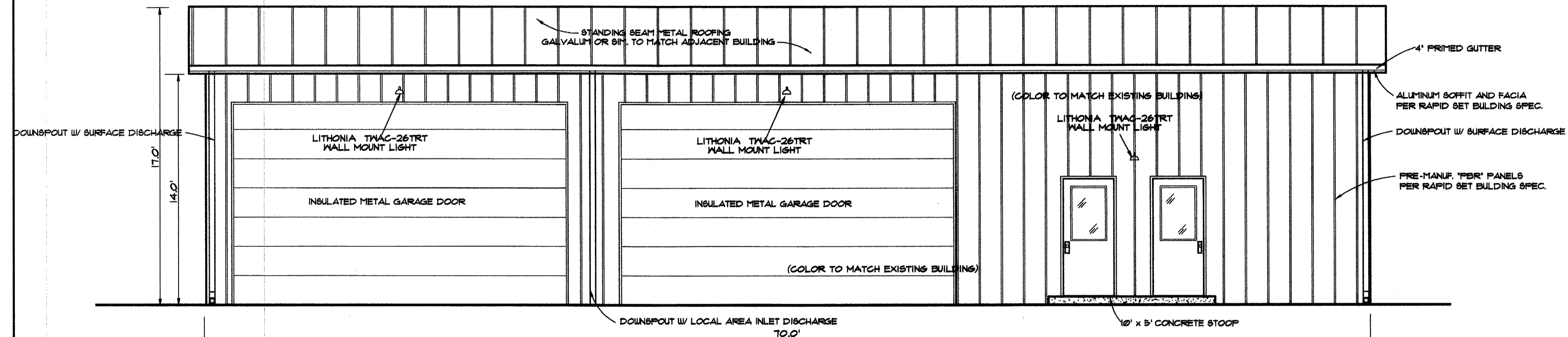
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AP'VD.	KEA
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Sheet	6 of 8

LOT 2, VILLAGE NORTH THIRTEENTH AMENDMENT
 SITE DEVELOPMENT PLAN
 PROJECT NO. SDP13-0023

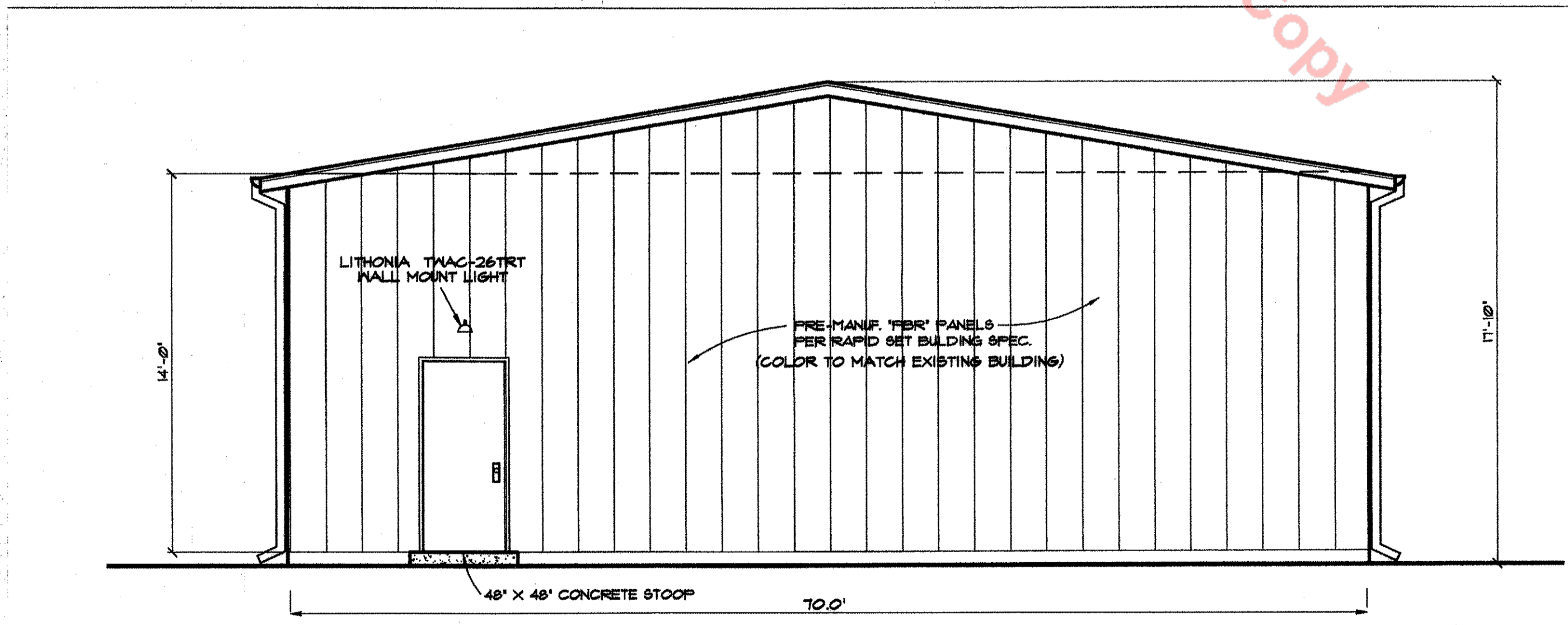
SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



FRONT ELEVATION
1/4" = 1'-0" WEST



LEFT SIDE ELEVATION
1/4" = 1'-0" NORTH

EXTERIOR SPECIFICATIONS:

- SIDING MATERIALS:** "FBR" PANEL PER RAPID SET BUILDING SPECIFICATIONS COMPLY WITH I.B.C. CODE
- WINDOW & DOOR TRIM:** N.A.
- HORIZONTAL TRIM:** 1 X 4 (5/4) AT SIDES AS SHOWN.
FACIA: 1 X 6 ALUMINUM FACIA
SOFFIT: 1/2" X 12" ALUMINUM SOFFIT
- VERTICAL TRIM:** N.A.
- ROOFING MATERIALS:** STANDING BEAM METAL ROOFING, "GALVALUM" OR SIMILAR
PER I.B.C. CODE REQUIREMENTS.
- ROOF PITCH:** ALL ROOF PITCHES AS SHOWN.
- GUTTERS & DOWNSPOUTS:** 4" PRIMED GUTTERS AT ALL HORIZONTAL FACIAS PER CODE WITH AT LEAST 1 DOWNSPOUT FOR EVERY 25'-0" OF GUTTER.
- ATTIC VENTILATION:** VENT PANELS WHERE SHOWN.
SOFFIT VENT STRIPS OR PANELS PER I.B.C.

SCALE: 1/4" = 1'-0"

FBR PANEL

Description: This panel is used both for the roof and sidewall: the "FBR" Panel's deep ribs create an even-shadowed appearance. The area between the major ribs is reinforced with minor ribs. The "FBR" panel is one of the most economical wall covering systems.

Gauge: 29, 26, 24 and 22.

Length: 48' maximum is standard but longer lengths available by special request.

Fasteners: Standard coated, zinc- aluminum cast head, or stainless steel head screw.

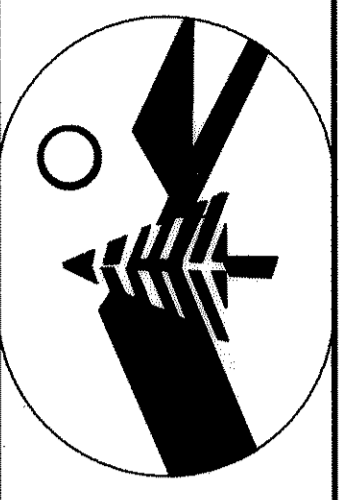
Dimensions: 36" coverage x 1 1/4" deep.

Finish: Galvalume Plus® and Commercial - Industrial Series.

Usage: Roof, wall, liner, mansard, and soffit panel applications.

"FBR" Panel Features and Benefits:

- 36" Coverage for ease of erection.
- Manufactured at all plants for low freight to any location.
- Start installation at either end for flexible erection.
- Economical profile that is cost effective.
- Finish Warranty - 20-year life when used with long life fasteners.
- The panel provides diaphragm capabilities and girt stability in metal building construction.
- Profile wall lights are available for the "FBR" Panel.
- The panel can be reverse rolled putting the paint finish on the under side for installation as a wall panel.



DAVID E. ARCHER & ASSOCIATES, INC.
 LAND SURVEYING & ENGINEERING
 PHONE (303) 686-4642
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

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 IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK,
 DOUGLAS COUNTY, COLORADO.
BUILDING ELEVATIONS
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SECHLER ARCHITECTURE LLC
 91 FOXTAIL DR.
 BLACK HAWK, CO 80422
 PHONE: 720-273-3504

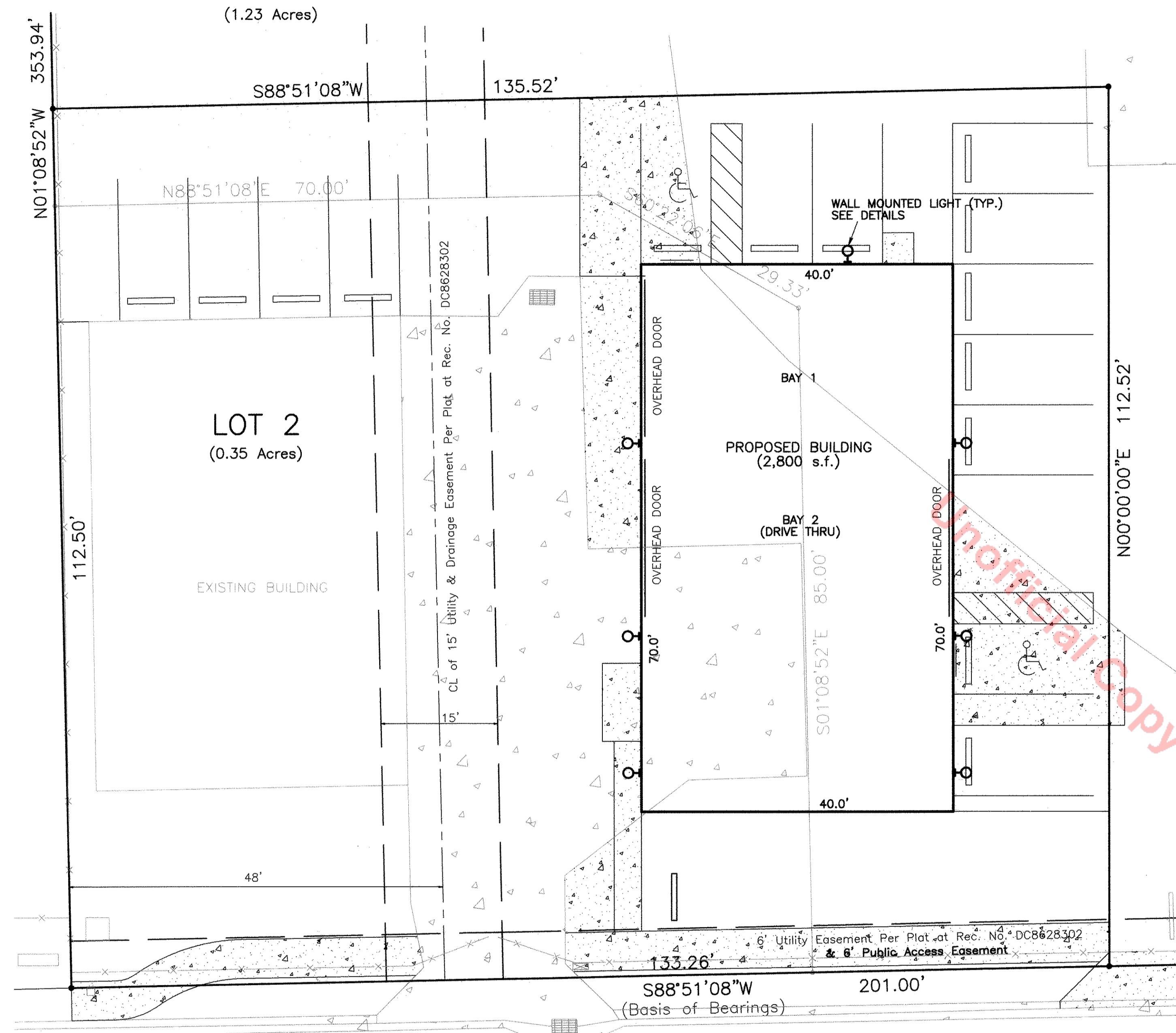
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SITE DEVELOPMENT PLAN

LOT 2, VILLAGE NORTH AMENDMENT NO. 13

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



SYMBOL	MOUNTING	DESCRIPTION	MANUFACTURER & CAT. #	VOLTAGE NO.	NO. OF LAMPS	LAMP TYPE
⊕	WALL	EXTERIOR SCONCE	LITHONIA TWAC-26TRT-MVOLT	MVOLT	6	26W TRT



FEATURES & SPECIFICATIONS

INTENDED USE
For entrances, stairwells, corridors and other pedestrian areas.

CONSTRUCTION
Rear housing is rugged, corrosion-resistant, die-cast aluminum. Front cover is one-piece UV-resistant injection molded polycarbonate, internally painted. Captive external hardware is specially treated for corrosion resistance and includes slotted hex-head and tamperproof fasteners.

FINISH
Dark bronze (DOB) corrosion-resistant polyester powder.

OPTICAL
One-piece die-formed reflector is diffused aluminum. Reflector is clear UV stabilized polycarbonate, providing 185 cutoff distribution and maximum lateral light output. Front cover is sealed and gasketed to inhibit the entrance of outside contaminants.

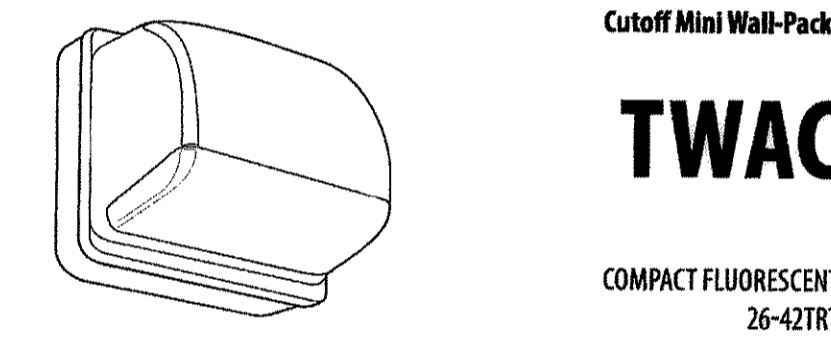
ELECTRICAL
Compact fluorescent ballasts are multi-volt (120-277) electronic high power factor. UL Listed. Four-pin (240TL, 26TRT, 32TRT and 42TRT) positive latching thermoplastic socket.

INSTALLATION
Mount to any vertical surface or to a 4" outlet box. Back access through gasketed slot. Top wiring access through 1/2" threaded conduit entry. (Through-wiring requires use of a conduit tee).

LISTING
UL listed for wet locations. IP65 rated. UL Listed to US and Canadian safety standards (see Options). NOM Certified.

Note: Specifications subject to change without notice.

Catalog Number	
Notes	
Type	



Specifications
Height: 10 (25.4)
Width: 11-1/2 (29.2)
Depth: 9 (22.7)
*Weight: 10 lbs. (4.53kg)
*Weight as configured example below. Specifications are in inches (cm) unless otherwise noted.

ORDERING INFORMATION

For shorter lead times, configure product using **standard options** (shown in bold). Example: TWAC 42TRT MVOLT LPI

Series	Wattage	Voltage	Ballast	Options	Finish	Lamp
TWAC	26TIT	120	(blank) Electronic 0°F	Shipped installed in fixture	(blank) Dark bronze	LPI Lamp included
	26TRT	277		GMF Internal slow-blow fusing	DNA Natural aluminum	L/LP Less lamp
	32TRT	347		EC Emergency circuit ¹	DBL Black	
	42TRT	MVOLT ¹		DC12 Emergency circuit 12 volt (35 watt lamp included) ²	DMB Medium bronze	
				DC2012 Emergency circuit 12 volt (20 watt lamp included) ³	DWH White	
				ZDC12 Emergency circuit 12 volt (2.35 watt lamp included) ⁴	DSS Sandstone	
				ZDC2012 Emergency circuit 12 volt (2.20 watt lamp included) ⁵	CR Corrosion-resistant finish ⁶	
				CSA Listed and labeled to comply with Canadian Standards	CRF Non-stick protective coating ⁶	
				NOM NOM Certified (consult factory)		
				PE Photocell ⁷		
				Shipped separately ⁷		
				WG Wire guard		

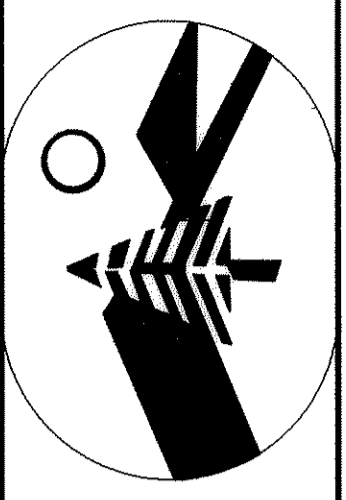
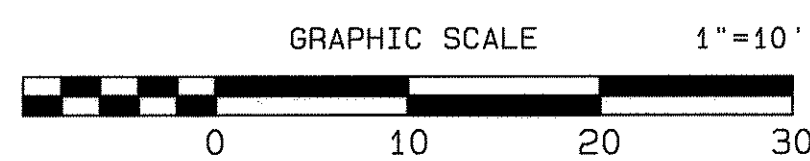
- NOTES:
- Optional multi-volt electronic ballast capable of operating any line voltage from 120-277V.
 - Maximum allowable wattage lamp included.
 - Not available with EC or NOM.
 - Not available with MVOLT.
 - May be ordered as an accessory as TWAWG II.
 - Finish applied to housing only.
 - Must be specified (PSK lamp with LPI).

OUTDOOR

TWAC-OF_0

GENERAL LIGHTING PLAN STANDARD NOTES

- THE OBJECTIVES FOR THE LIGHTING ON THE SITE ARE TO ILLUMINATE THE AREA AROUND THE BUILDING DURING THE HOURS OF OPERATION.
- HOURS OF OPERATION WILL GENERALLY BE 8AM TO 5PM.
- THE PROPOSED LIGHTING IS CUTOFF TYPE LIGHTING. THE SURROUNDING PROPERTIES ARE ALL COMMERCIAL PROPERTIES. THE PROPOSED LIGHTING IS MINIMAL AND MITIGATION IS NOT REQUIRED.
- THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.



DAVID E. ARCHER & ASSOCIATES, INC.
LAND SURVEYING & ENGINEERING
PHONE: (303) 888-4842
105 WILLOW ST. CASTLE ROCK, COLORADO 80104

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 IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK
 DOUGLAS COUNTY, COLORADO
GENERAL LIGHTING PLAN & SPECIFICATIONS
 CONTACT: GENE NOBLE
 PHONE: 303-906-5170

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