

# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

**SITE DEVELOPMENT PLAN GENERAL NOTES**

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. PER PRELIMINARY FIRM PANEL 08035C01886, DATED JULY 11, 2014, THE 100-YEAR FLOOD PLAIN DOES NOT IMPACT THE SITE.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. THERE ARE NO TRACTS BEING DEDICATED WITH THIS APPLICATION.
10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
11. THIS SITE IS ZONED B: BUSINESS/COMMERCIAL, AND IS IN THE WOLFENBERGER NORTH ZONING OVERLAY DISTRICT.
12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
14. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
15. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

**FIRE NOTES**

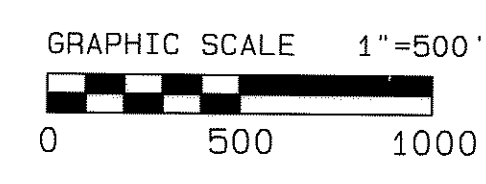
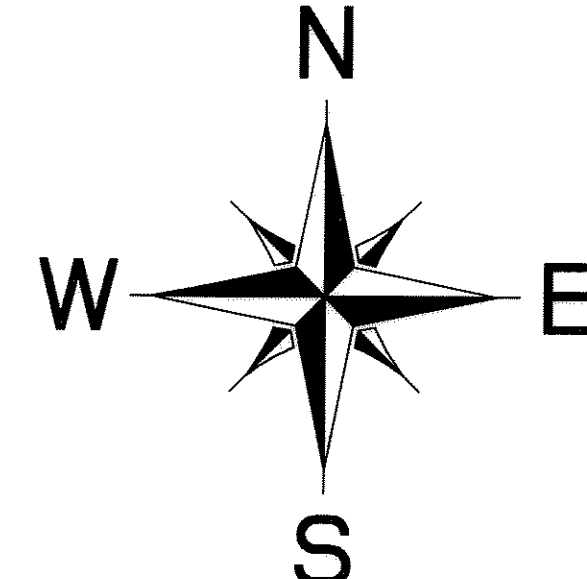
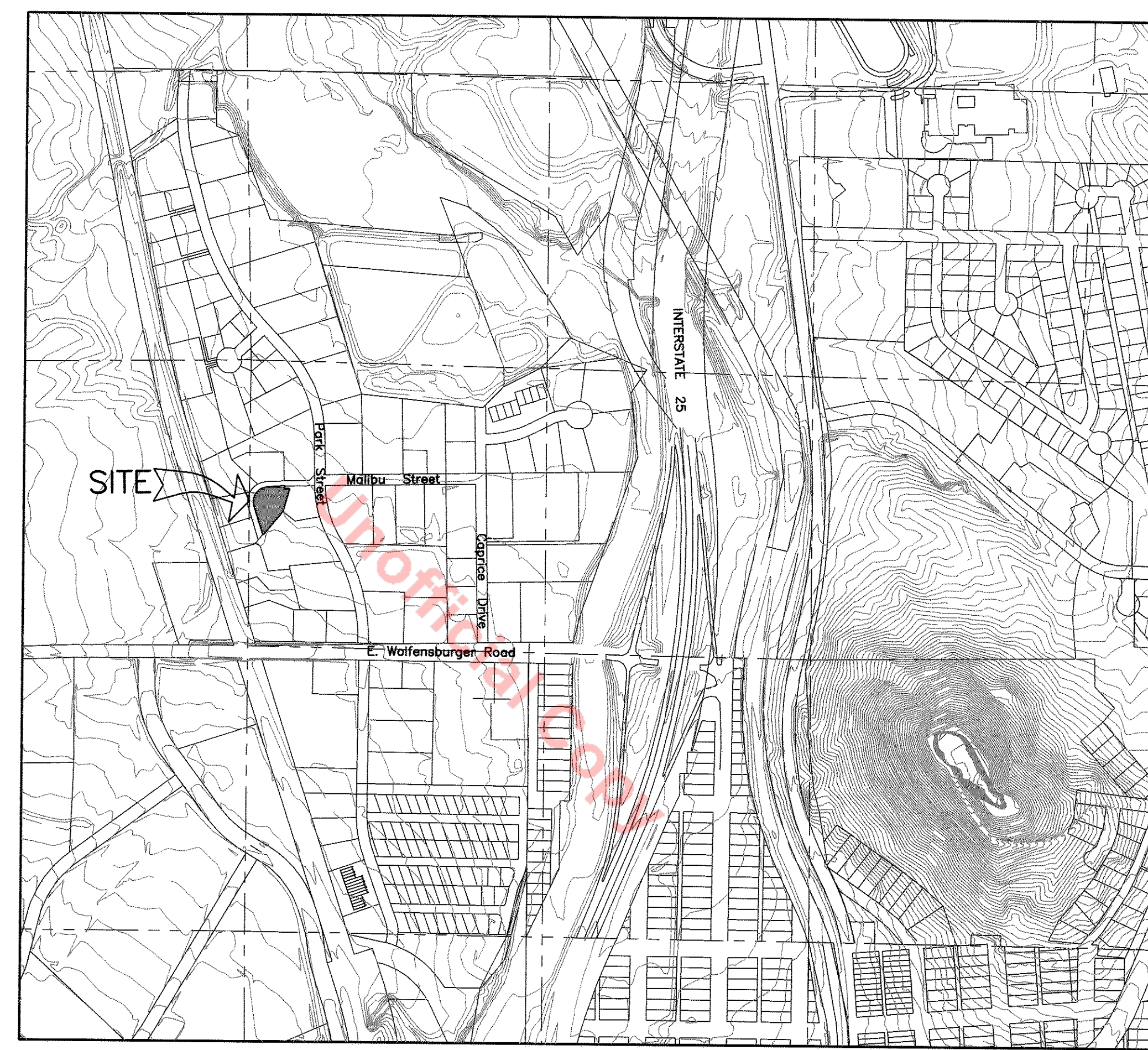
1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

**CONTACTS:**  
 TOWN OF CASTLE ROCK  
 UTILITIES DEPT.  
 PHONE: (720)733-6000

**GAS:**  
 BLACK HILLS ENERGY  
 PHONE: (800) 890-5554

**ELECTRIC:**  
 IREA  
 PHONE: 303-688-3100

**TELEPHONE:**  
 CENTURY LINK COMMUNICATIONS  
 PHONE: 720-578-5142



**VICINITY MAP**  
 1"=500'

SUMMARY TABLE	
LOT AREA	0.61 AC (26,567 SF)
BUILDING FOOTPRINT	3,052 SF
CONCRETE	13,030 SF
GRAVEL	2,406 SF
INTERIOR LANDSCAPING	5,871 SF
MAXIMUM FLOOR AREA RATIO	0.40 FAR
SETBACKS	FRONT: 15', REAR: 10', SIDES: 0'
MAX BUILDING HEIGHT ALLOWED	35 FEET
MAX BUILDING HEIGHT PROPOSED	34.50 FEET
SINGLE FAMILY EQUIVILANT UNITS (SFE)	1
PARKING REQUIRED	
1 SPACE/1000 S.F. OF G.L.A. & 3 SPACES/1000 OFFICE	1 x 2 = 2 3 x 3 = 9
& 1 SPACE/ COMPANY VEHICLE	1 x 3 = 3
TOTAL PARKING REQUIRED	14 SPACES - WNZOD 20% REDUCTION (2) = 12 SPACES
PARKING PROVIDED	14 SPACES (INCLUDING 2 H/C)

**LEGAL DESCRIPTION**  
 LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

**PROJECT BENCHMARK:**  
 THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM 3010030 ELEVATION 6394.91 AND IS ON NAVD88 DATUM.

**BASIS OF BEARINGS**  
 BEARINGS ARE BASED ON THE CONSIDERATION THAT THE SOUTH LINE OF LOTS 1 & 2 BEARS S88°51'08" W BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

SHEET INDEX SHEET NO.	DESCRIPTION
1 OF 8	COVER SHEET
2 OF 8	SITE PLAN
3 OF 8	GENERAL GRADING PLAN
4 OF 8	GENERAL UTILITIES PLAN
5 OF 8	CONCEPTUAL LANDSCAPE PLAN
6 OF 8	CONCEPTUAL LANDSCAPE NOTES
7 OF 8	BUILDING ELEVATIONS
8 OF 8	BUILDING ELEVATIONS & GENERAL LIGHTING SPECIFICATIONS

**SURVEYOR'S CERTIFICATE**

I, DEE ALLEN BIRD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST. THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

*Dee Allen Bird*  
 DEE ALLEN BIRD DATE 7-13-2015

**CIVIL ENGINEER'S STATEMENT**

I, KEVIN E. ARCHER, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY CERTIFY THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*Kevin E. Archer*  
 KEVIN E. ARCHER DATE 7-13-15

REVISIONS
LIENHOLDER' CERT.S 7-13-15

**OWNERSHIP CERTIFICATE**  
 THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.  
 DATED 7-13-2015

KYLE TRIPP  
 BY *Kyle Tripp* AS OWNER  
 SIGNED THIS 15<sup>th</sup> DAY OF July, 2015

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 15<sup>th</sup> DAY OF July, 2015 BY KYLE TRIPP.  
 WITNESS MY HAND AND OFFICIAL SEAL.  
*Renee Toland*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11/2/2018

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 15<sup>th</sup> DAY OF July, 2015 BY JENNIFER TRIPP.  
 WITNESS MY HAND AND OFFICIAL SEAL.  
*Renee Toland*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11/2/2018

**LIENHOLDER SUBORDINATION CERTIFICATE**  
 THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MAY 28, 2015 AT RECEPTION NUMBER 2015034642, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

PEOPLE'S NATIONAL BANK  
 BY *Carl Kingery* AS Vice president  
 SIGNED THIS 14 DAY OF July, 2015

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14<sup>th</sup> DAY OF July, 2015 BY Daniel Kingery  
 WITNESS MY HAND AND OFFICIAL SEAL.  
*Renee Toland*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11/2/2018

**TITLE CERTIFICATION**  
 I, **MARIANN INGERMANN**, AN AUTHORIZED REPRESENTATIVE OF **LAND TITLE GUARANTEE COMPANY**, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE  
*Marian Ingermann*  
 LAND TITLE GUARANTEE COMPANY  
 SIGNED THIS 14<sup>th</sup> DAY OF July, 2015

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14<sup>th</sup> DAY OF July, 2015 BY *Mariann Ingermann* AS AUTHORIZED REPRESENTATIVE OF *Land Title Guarantee Company*  
 WITNESS MY HAND AND OFFICIAL SEAL.  
*Linda Stafford*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 12-17-18

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**  
 THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:15 PM ON THE 23<sup>rd</sup> DAY OF July, 2015 AT RECEPTION NO. 2015051933

DOUGLAS COUNTY CLERK AND RECORDER  
*Sandra C. Sealey*  
 DEPUTY

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**  
 THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 20<sup>th</sup> DAY OF July, 2015

*Kevin E. Archer*  
 DIRECTOR OF DEVELOPMENT SERVICES

PROJECT NO. SDP15-0004

**SITE DEVELOPMENT PLAN**  
 LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK  
 DOUGLAS COUNTY, COLORADO.

CLIENT: KYLE TRIPP

DATE: 7-13-15

SCALE: 1"=20'

105 WILCOX ST. CASTLE ROCK, COLORADO 80104

DAVID E. ARCHER & ASSOCIATES, INC.  
 LAND DEVELOPMENT CONSULTING  
 SURVEYING & ENGINEERING  
 PHONE (303) 688-4642

Sheet 1 of 8 JOB NUMBER 13-1161

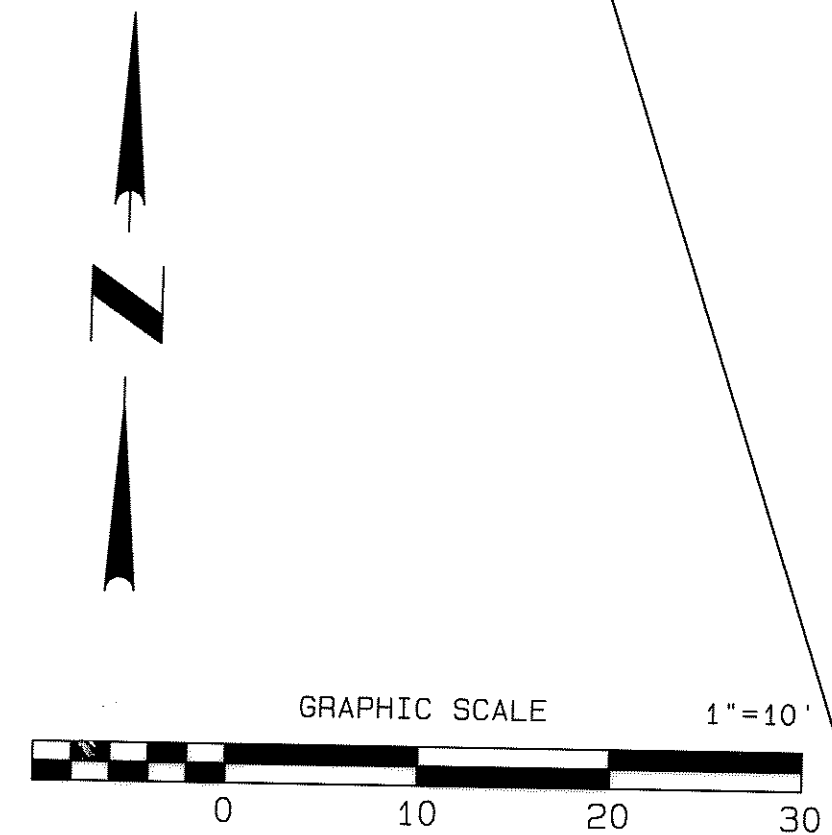




# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

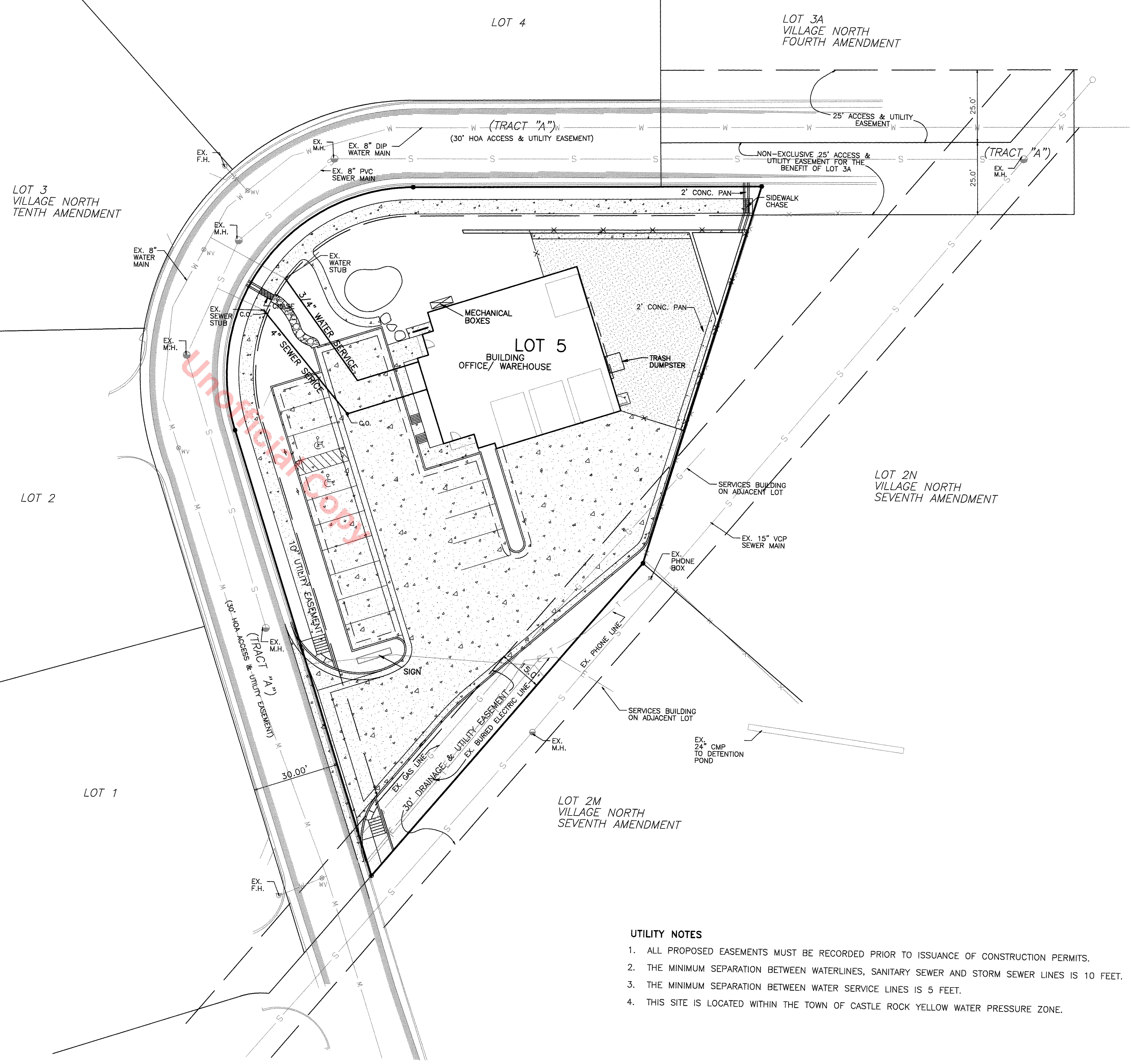


**PROJECT BENCHMARK:**  
 THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM 3010030 ELEVATION 6394.91 AND IS ON NAVD88 DATUM.

**BASIS OF BEARINGS**  
 BEARINGS ARE BASED ON THE CONSIDERATION THAT THE NORTHEASTERLY LINE OF LOT 5 BEARS N16°28'19" E BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

**LEGEND**

- PROPOSED 6" CONCRETE CURB & GUTTER
- EXISTING CURB & GUTTER
- PROP CULVERT W/ FES
- EX CULVERT W/ FES
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING RIP-RAP
- PROP FENCE LINE
- EXISTING WALL LINE
- PROPOSED WALL LINE
- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- PROPOSED EASEMENT
- EXISTING RCP STORM SEWER
- PROPOSED STORM SEWER
- EXISTING 8" WATER MAIN
- PROP WATER LINE
- EXISTING 8" SEWER MAIN W/ MH
- PROP SEWER LINE W/ MH
- PROP LIGHT POLE
- EX LIGHT POLE
- PROP FIRE HYDRANT
- EX FIRE HYDRANT
- PROP HANDICAP PARKING
- EX HANDICAP PARKING
- PROP LOW TAILWATER BASIN
- EX LOW TAILWATER BASIN
- PROP FLARE END SECTION
- EX FLARE END SECTION
- EXISTING WATER VALVE
- PROPOSED WATER VALVE



**UTILITY NOTES**

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

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**DAVID E. ARCHER & ASSOCIATES, INC.**  
 LAND SURVEYING CONSULTING ENGINEERING SURVEYING  
 PHONE (303) 888-4842  
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS

FINAL	6-19-15
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**LOT 5, VILLAGE NORTH TENTH AMENDMENT**  
 IN SEC. 2 T8S, R67W, TOWN OF CASTLE ROCK  
 DOUGLAS COUNTY, COLORADO.  
**GENERAL UTILITIES PLAN**  
 CONTACT: KYLE TRIPP  
 PHONE: 720-454-5201

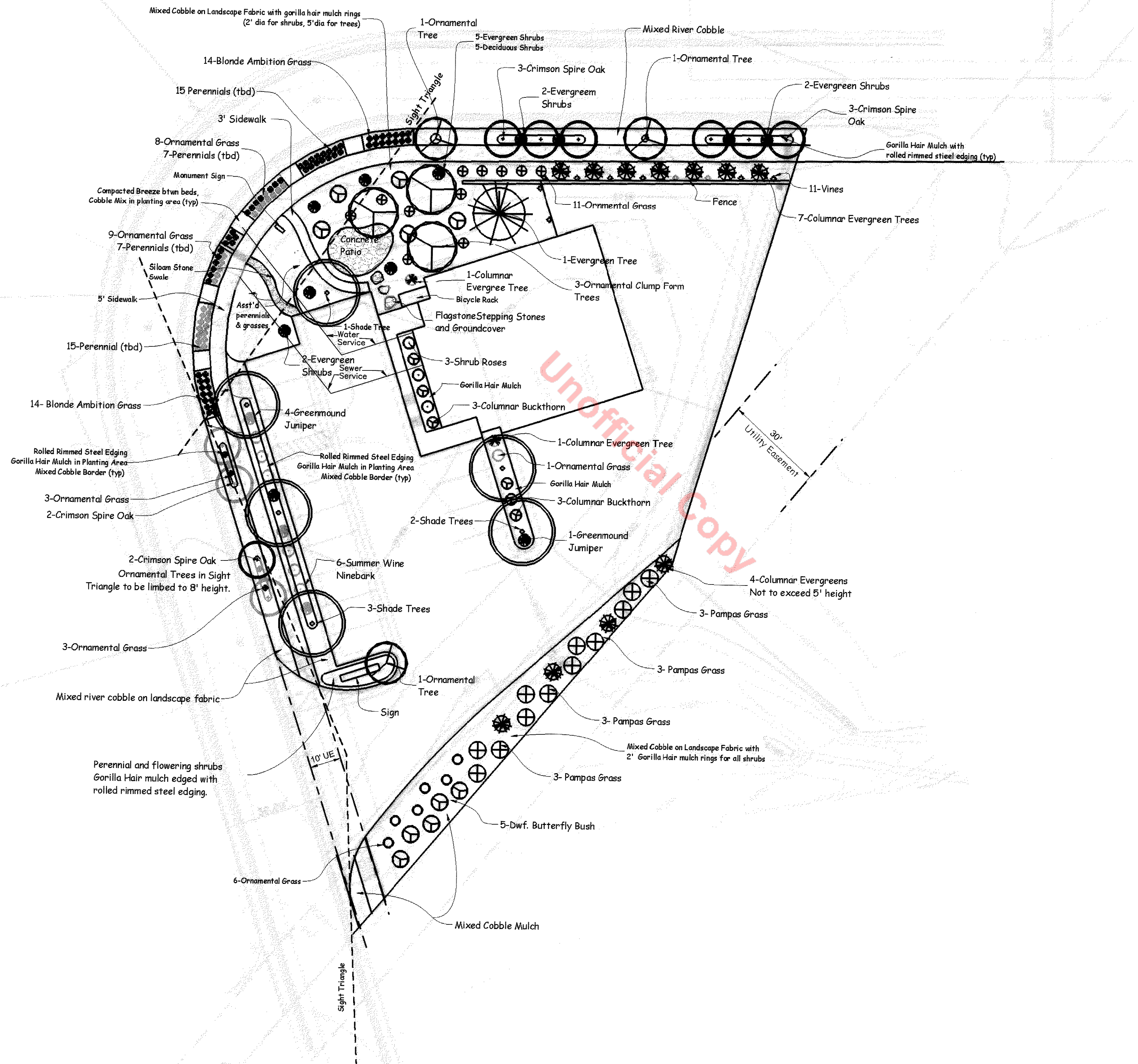
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DATE	1-27-15		
DR'N	DMH	CKD	KEA
AP'VD	KEA		
JOB NUMBER	13-1161		
Sheet	4 of 8		

LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 SITE DEVELOPMENT PLAN  
 PROJECT NO. SDP15-0004

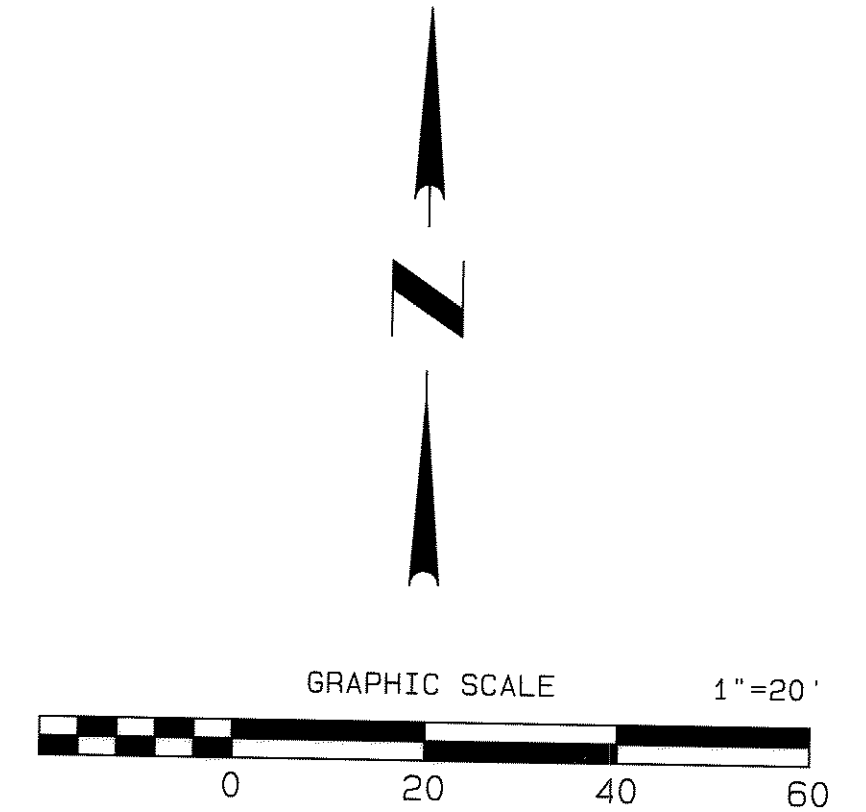
# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



- PLANT LEGEND**
- Evergreen Tree
  - Deciduous Large Tree
  - Deciduous Small Tree
  - Deciduous Shrub
  - Deciduous Shrub
  - Evergreen Shrub
  - Ornamental Grass
  - Perennials & Grass



terihensendesign

Teri Hensen  
1031 Surlyn Ct.  
Castle Rock, CO 80109

[thensen@msn.com](mailto:thensen@msn.com)

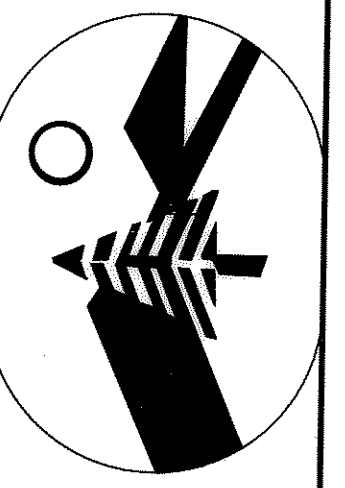
Colorado Registration #790  
TCR Registration #455

COLORADO REGISTERED LANDSCAPE ARCHITECT

Teri Hensen, P.L.A. #790

Date: 6/24/15

LOT 5, VILLAGE NORTH TENTH AMENDMENT  
SITE DEVELOPMENT PLAN  
PROJECT NO. SDP15-0004



**DAVID E. ARCHER & ASSOCIATES, INC.**  
LAND DEVELOPMENT CONSULTING  
ENGINEERING  
PHONE: (303) 688-1100  
105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS	Final	6-19-15

**LOT 5, VILLAGE NORTH TENTH AMENDMENT**  
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK  
DOUGLAS COUNTY, COLORADO.

**CONCEPTUAL LANDSCAPE PLAN**

CONTACT: KYLE TRIPP  
PHONE: 720-464-5201

SCALE	1" = 20'
DATE	1-27-15
DRN:	DMH
APVD:	KEA
JOB NUMBER	13-1161
Sheet	5 of 8

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# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



#### Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Teri Hensen  
 Town of Castle Rock Registration # 455 State of Colorado Lincense Landscape Architect # 790  
 Company Name Teri Hensen Design Address 1031 Surlyn Ct, Castle Rock, CO 80109  
 Phone 720.936.6949 Email thensen@msn.com Date 3.9.15  
 PROJECT NAME Tripp Construction Lot 5, Village North 10th Amendment Wolfensberger Overlay District

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
62 acre (26,902 sq.ft.)	5,871 sq.ft.	N/A	235	14	20	56	70	4 cu.yds/ 1,000sf	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Median Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,800 sq.ft.	480 sq.ft. <small>*The Tree canopies next to the parking lot area are being summed to meet the parking lot landscaping requirements. Per Ruth Stadler 3.12.15</small>	14		Peninsula	6' Peninsula		6		

PLANT TYPE	HYDROZONE	SUPPLEMENTAL WATER NEEDED PER GROWING SEASON
Evergreen Trees	3	Less than 15"
Deciduous Shade Tree	3	Less than 15"
Deciduous Ornamental Tree	3	Less than 15"
Evergreen Shrub	2 & 3	Less than 10"-15"
Deciduous Shrub	2 & 3	Less than 10"-15"
Ornamental Grass	2	Less than 10"
Perennial	2	Less than 10"

#### STREETSCAPE LANDSCAPE REQUIREMENTS

Street Linear Feet	No. of Trees Required 1Trees/40'	No. of Trees Provided	No. of Shrubs Required 4Shrubs/every Tree required	No. of Shrubs Provided	No. of Flowering Plants Required	No. of Flowering Plants Provided
272 ft (with sight triangle area)	7 trees	10 trees	28 shrubs	4 shrubs, 44 ornamental grass	0	44 flowering plants

#### Conceptual Landscape Plan Standard Notes

- Square footages are estimated. Final landscape area coverage shall meet or exceed coverage represented in this drawing and shall conform to subsequent submittal requirements.
- Quantities and locations of plant materials are approximated. Final quantities and locations will be reflected on construction documents.
- Refer to The Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for all submittal requirements for landscape and irrigation plans.
- This property is part of the Wolfensberger North Overlay Zoning District (WNZOD). Refer to Design Standards per Chapter 17.46.070 of the Municipal Code.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to utility lines should be a minimum of 10 feet. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type of the property.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the water restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
- At this time only sub-surface drip irrigation shall be used providing 4gpm.
- Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional. Dual meter installations are allowed for irrigated areas between two thousand five hundred (2,500) and five thousand (5,000) square feet, not exceeding seven and one half (7.5) feet per second through the service connection, and a demand of less than ten (10) gallons per minute (gpm).
- Contact the Town of Castle Rock utilities department at 720.722.6045 for an on-site pre-construction meeting before beginning installation of the landscaping.
- Streetscape requirements apply. See Section 8 of the Landscape Manual.
- Special consideration has been requested to waive the street tree requirements within the site triangle with-in the curve on the N corner of the property along Malibu Street. Please refer to the landscape plan.
- Street trees shown in the site triangle of the main entrance shall be small ornamental and columnar trees, limbed a min. of 5' high. Due to street tree requirements and corner site triangle restrictions we would also request special consideration to allow these trees to remain.

terihensendesign



Teri Hensen  
 1031 Surlyn Ct.  
 Castle Rock, CO 80109

thensen@msn.com

Colorado Registration #790  
 TOCR Registration #455

TERI HENSEN  
790

COLORADO REGISTERED LANDSCAPE ARCHITECT

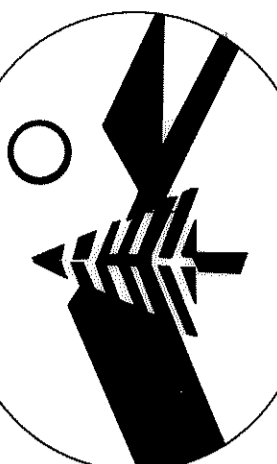
Original Date of Licensure

STATE OF COLORADO  
LANDSCAPE ARCHITECT

Teri Hensen, RLA #790

Date 6/24/15

LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 SITE DEVELOPMENT PLAN  
 PROJECT NO. SDP15-0004



DAVID E. ARCHER & ASSOCIATES, INC.  
 LAND DESIGN, CONSTRUCTION,  
 SURVEYING & ENGINEERING  
 PHONE (303) 686-4642  
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS  
 Final 6-19-15

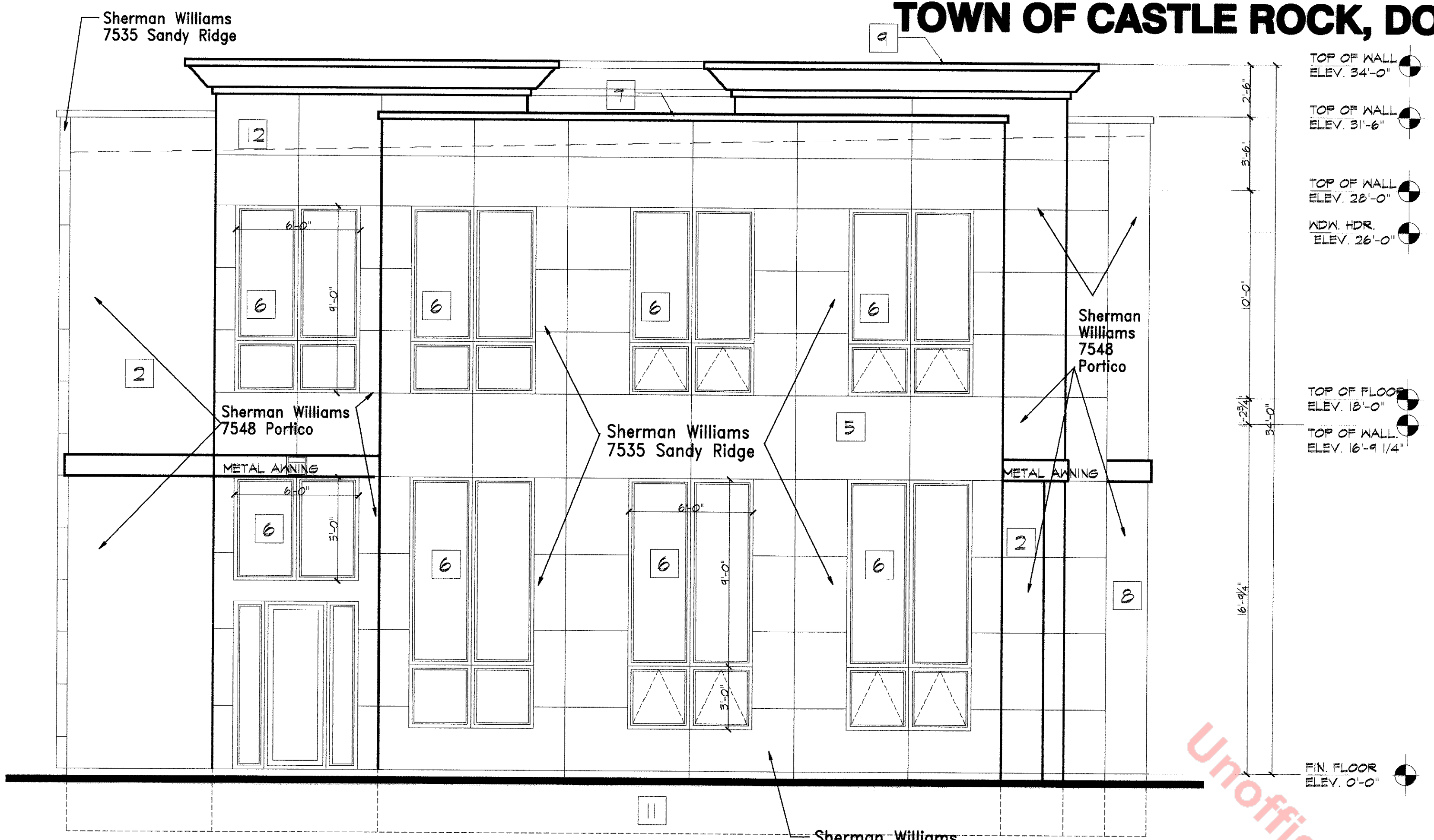
LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK,  
 DOUGLAS COUNTY, COLORADO.  
**CONCEPTUAL LANDSCAPE PLAN NOTES**

CONTACT: KYLE TRIPP  
 PHONE: 720-454-5201

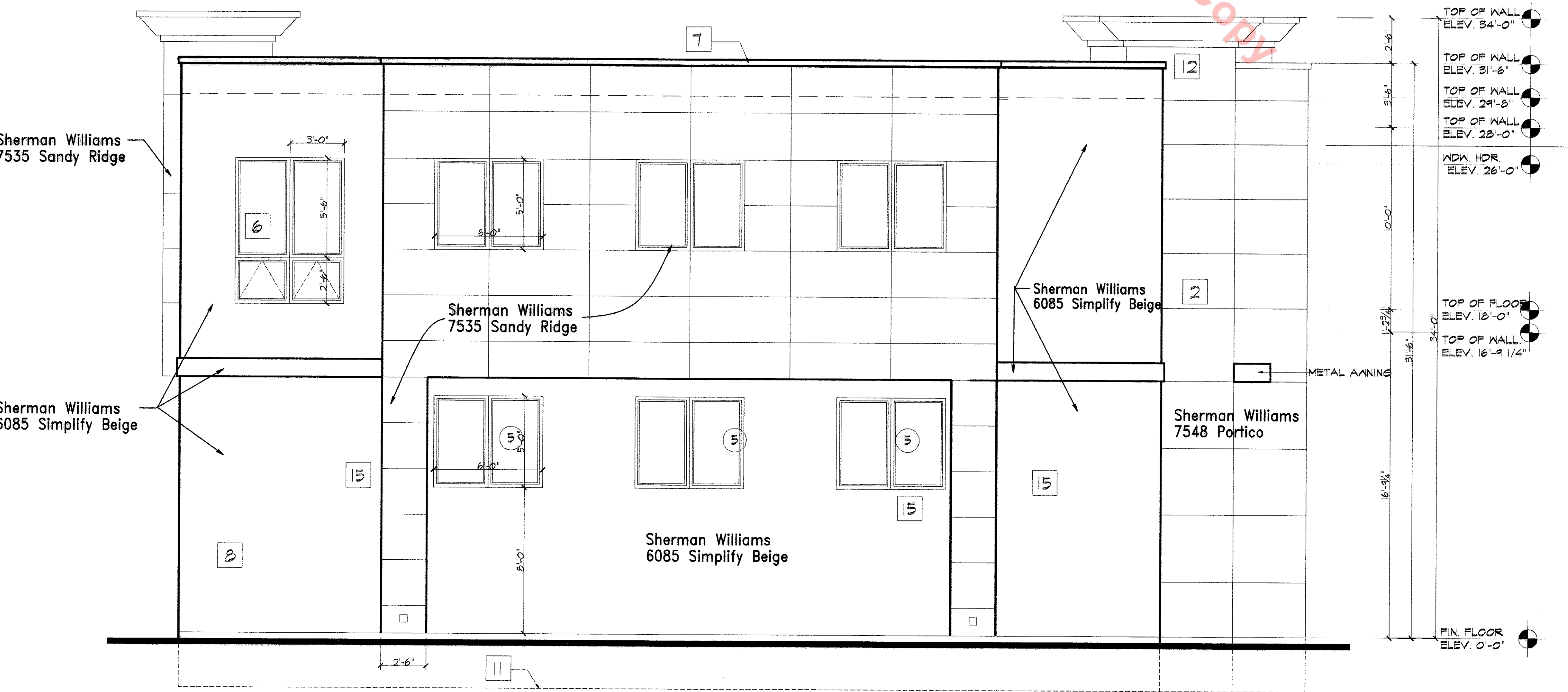
# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

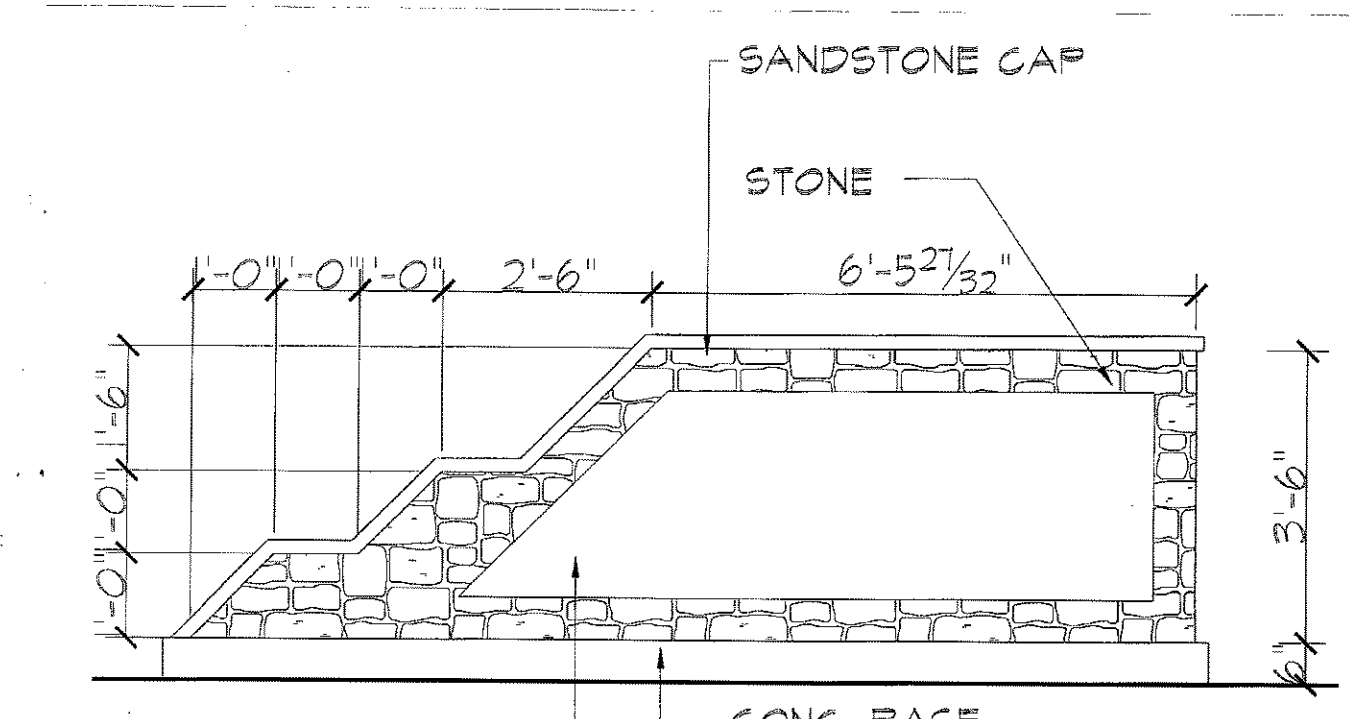


**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

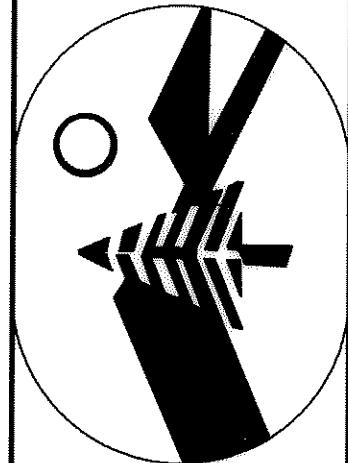
- ELEVATION KEY NOTES:**
- 1 EXTERIOR GRADE RE: SITE PLAN
  - 2 METAL EXPANSION JOINTS
  - 3 PRE-FINISHED METAL AWNING
  - 4 STUCCO BAND
  - 5 STUCCO
  - 6 ALUMINUM STOREFRONT WINDOW
  - 7 METAL FLASHING WITH DRIP EDGE
  - 8 2"X 12" FOAM BELLY BAND W/ STUCCO OVER
  - 9 PRE-FINISHED STUCCO CROWN MOULDING
  - 10 OVERHEAD GARAGE DOOR - RE DOOR SCHEDULE
  - 11 FOUNDATION WALL & FOOTING RE: FOUNDATION DESIGN
  - 12 FLASH AT ALL ROOF/WALL TO WALL INTERSECTIONS.
  - 13 SIGN BY SIGN MANUFACTURER. CONFIRM SIZE AND TYPE W/ MANUF. /BUILDER
  - 14 STUCCO OVER COLUMN.
  - 15 DOWNSPOUT (IN WALL) PER MANUF. SPEC'S.



**ENTRY MONUMENT**  
N.T.S.

Signage Summary Table	
Sign Type	Area (SF)
Wall	56
Entry - Freestanding	42
<b>Total (for lot)</b>	<b>98</b>

DAVID WOODY AND CO.  
RESIDENTIAL / COMMERCIAL DESIGN AND DRAFTING  
P.O. BOX 2391 MONUMENT COLORADO  
(719)531-9018



**DAVID ARCHER & ASSOCIATES INC.**  
LAND DEVELOPMENT CONSULTING  
105 MILCOX ST. CASTLE ROCK, COLORADO 80104  
PHONE (303) 688-4642

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Final 6-18-15

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REVISIONS

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LOT 5, VILLAGE NORTH TENTH AMENDMENT  
IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK  
DOUGLAS COUNTY, COLORADO.

**BUILDING ELEVATIONS**

CONTACT: KYLE TRIPP  
PHONE: 720-454-5201

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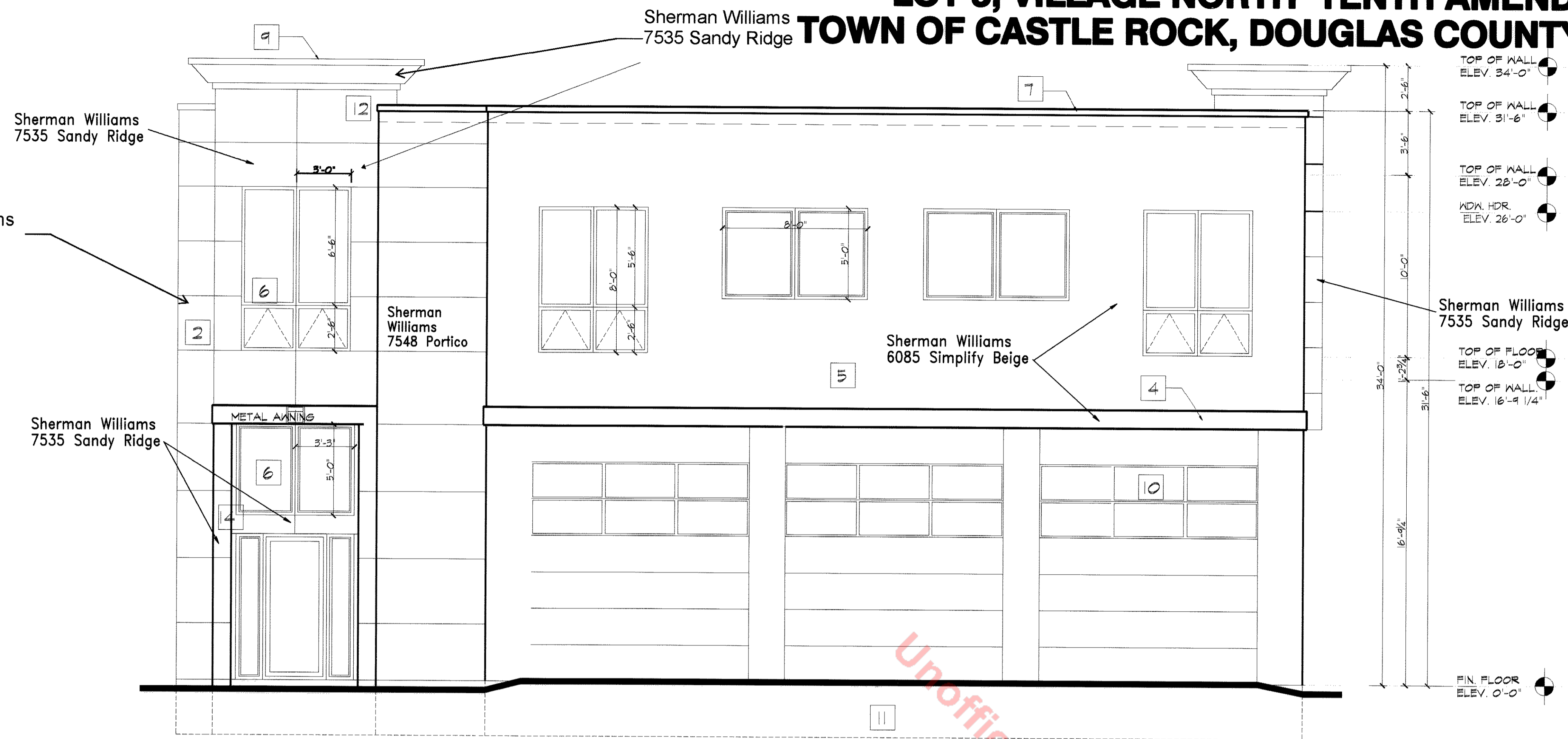
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DATE: 1-27-15  
DR'N: DMH CKD: KEA  
AP'VD: KEA  
JOB NUMBER: 13-1161  
Sheet 7 of 8

Fri Jun 19 16:43:10 2015  
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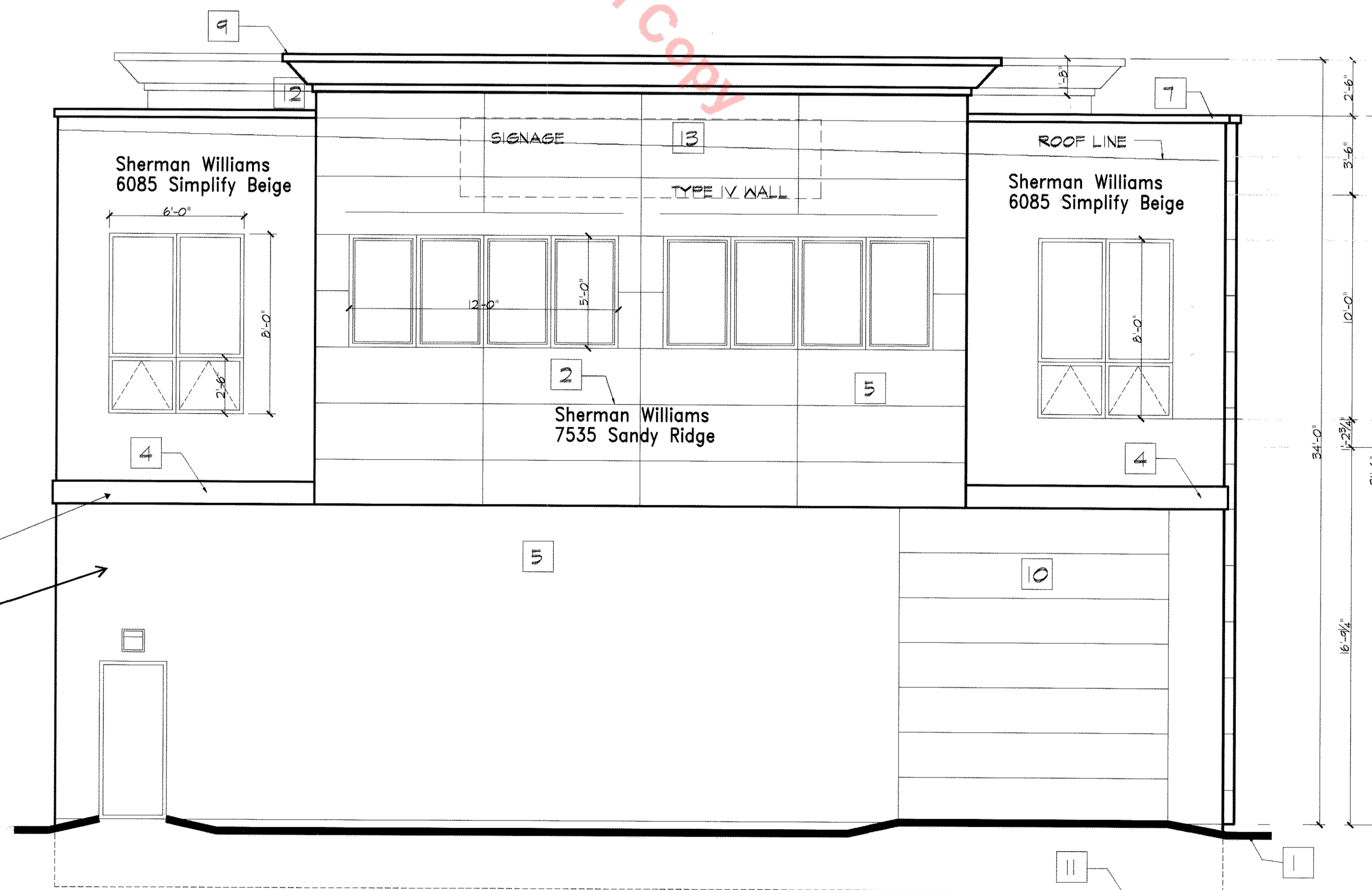
# SITE DEVELOPMENT PLAN

## LOT 5, VILLAGE NORTH TENTH AMENDMENT

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

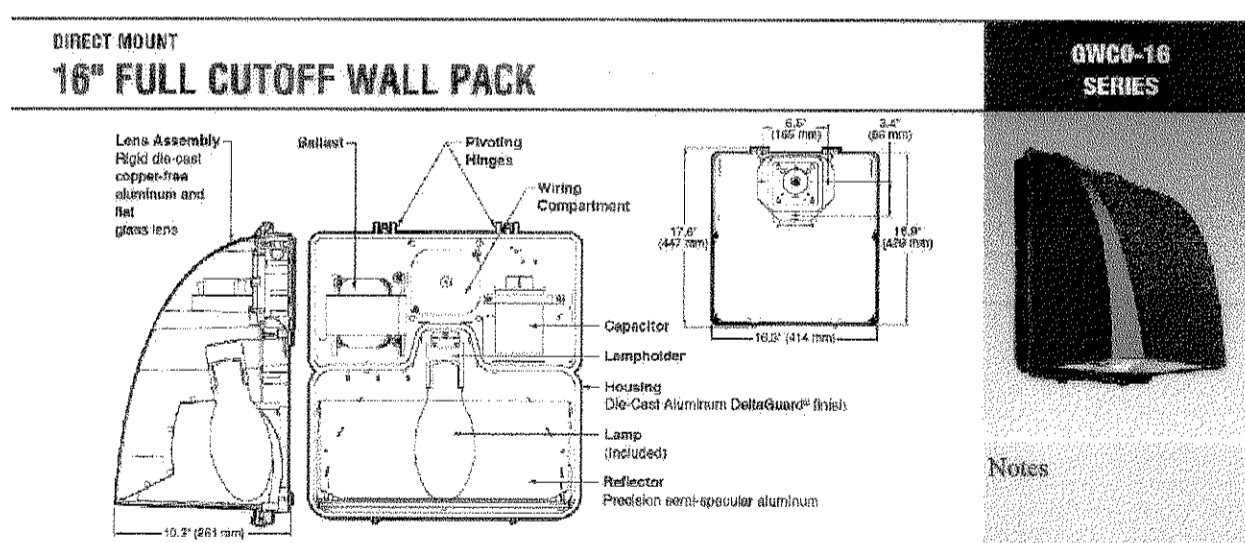


SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



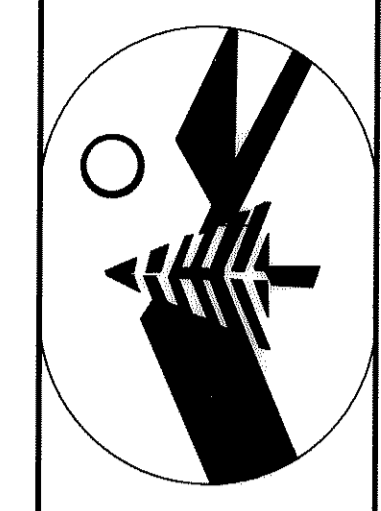
EAST ELEVATION  
SCALE: 1/4" = 1'-0"

- ELEVATION KEY NOTES:**
- 1 EXTERIOR GRADE RE: SITE PLAN
  - 2 METAL EXPANSION JOINTS
  - 3 PRE-FINISHED METAL AWNING
  - 4 STUCCO BAND
  - 5 STUCCO
  - 6 ALUMINUM STOREFRONT WINDOW
  - 7 METAL FLASHING WITH DRIP EDGE
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  - 14 STUCCO OVER COLUMN
  - 15 DOWNSPOUT (IN WALL) PER MANUF. SPECS.



- GENERAL LIGHTING PLAN STANDARD NOTES**
1. LIGHTING IS FOR ENTRANCE SECURITY AND ACCENTING.
  2. ENTRY LIGHTING DURING DARKNESS.
  3. ACCENT LIGHTING DUSK TO 10 P.M.
  4. LOW LIGHT LEVELS.
  5. COMMERCIAL AREA, MITIGATION NOT REQUIRED.
  6. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

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**DAVID E. ARCHER & ASSOCIATES, INC.**  
 LAND DEVELOPMENT ENGINEERING  
 SURVEYING & ENGINEERING  
 PHONE (303) 885-4642  
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS  
 Final 6-19-15

**LOT 5, VILLAGE NORTH TENTH AMENDMENT**  
 IN SEC. 2, T8S, R67W, TOWN OF CASTLE ROCK  
 DOUGLAS COUNTY, COLORADO.  
**BUILDING ELEVATIONS & CONCEPTUAL LIGHTING**  
 CONTACT: KYLE TRIPP  
 PHONE: 720-454-5201

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 P.O. BOX 2391 MONUMENT COLORADO  
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SCALE	1"=4'
DATE	1-27-15
DR'N	DMH CKD KEA
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JOB NUMBER	13-1161
Sheet	8 of 8

LOT 5, VILLAGE NORTH TENTH AMENDMENT  
 SITE DEVELOPMENT PLAN  
 PROJECT NO. SDR15-0004