

# PLAT IDENTIFICATION SHEET

350832

4-15 85

UNOFFICIAL COPY

**GRANTOR:**  
(owner/signer)

Villages at Castle Rock 2  
Site Plan

**GRANTEE:**  
(subdivision name or name of plat)

Villages at Castle Rock 2  
Site Plan

**LEGAL:**  
(section-township-range)

# VILLAGES AT CASTLE ROCK, FILING No. 2, FINAL SITE PLAN

A PART OF SECTION 8, T 8 S, R 66 W, OF THE 6th P.M.

COUNTY OF DOUGLAS, STATE OF COLORADO

## MINIMUM BUILDING SETBACKS FROM LOT LINES:

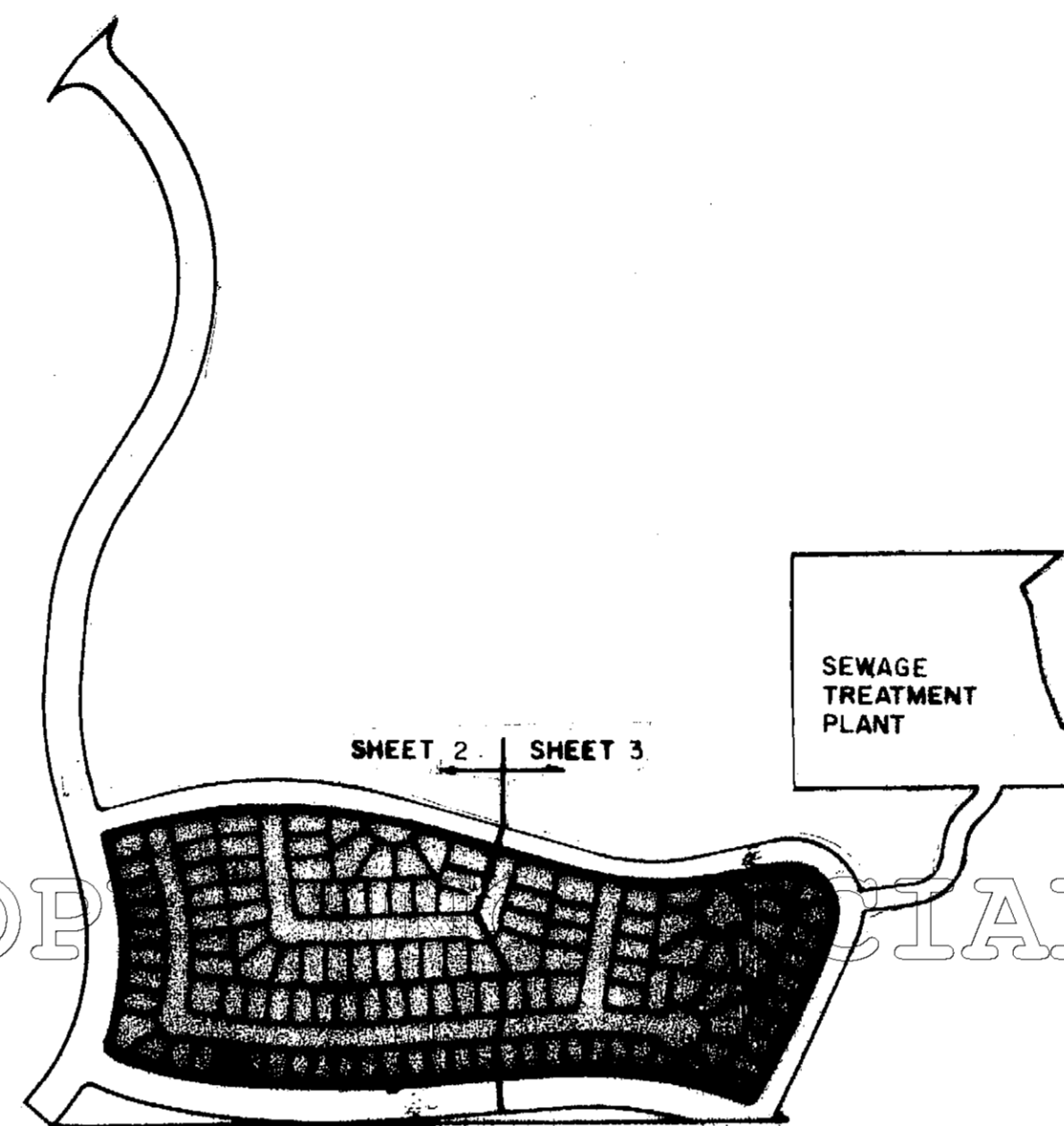
All single family lots shall have the following minimum building setback dimensions from the property lines.

Minimum front yard: 15 feet, except where a garage or carport enters directly upon a street, and in such case, 20 feet for such garage or carport.

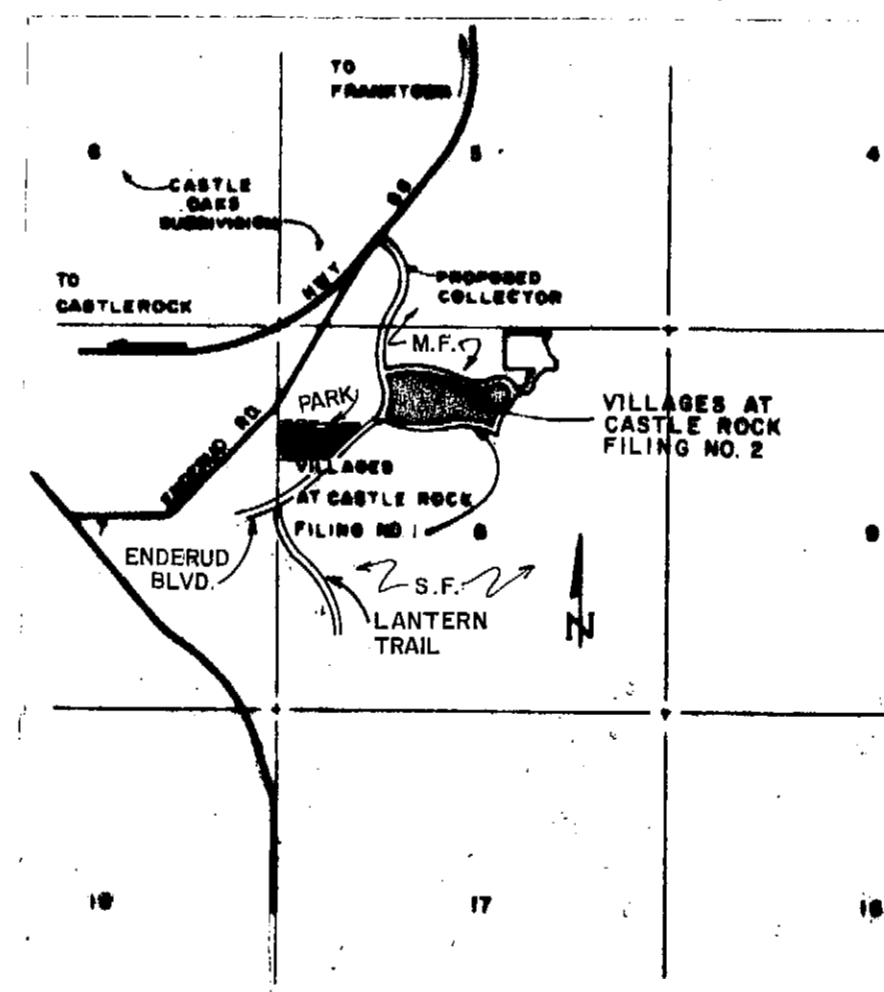
Rear 20'  
Side 3' with adjacent building 10' away  
Corner 10'  
Maximum building height: 35'

## SITE DATA

NUMBER OF LOTS 126  
BUILDING TYPE SINGLE FAMILY  
APPROX. LOT AREA .12 AC. AVERAGE  
GROSS DENSITY 8.1 UNITS/ACRE  
NET DENSITY 7.6 UNITS/ACRE  
LAND USE SINGLE FAMILY LOTS  
TOTAL PLAN AREA 20.459 ACRES



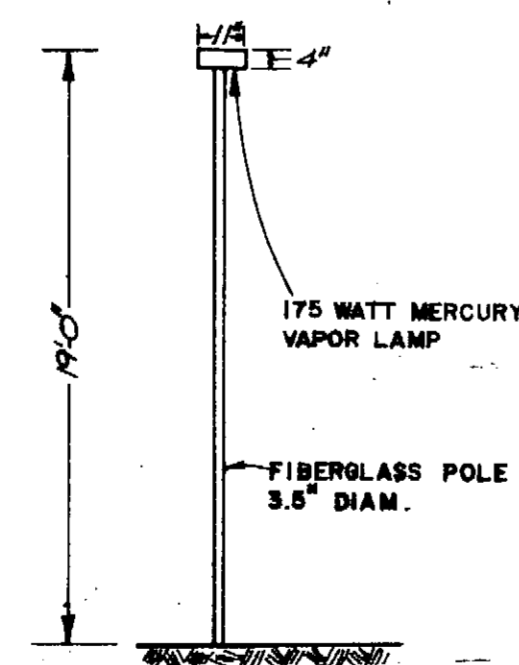
KEY MAP



VICINITY MAP

## UTILITIES LEGEND

- EXISTING MANHOLE & SEWER
- PROPOSED MANHOLE & SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE & BOX
- PROPOSED VALVE & BOX
- I— EXISTING IRRIGATION WATER
- I— PROPOSED IRRIGATION WATER
- PROPOSED BLOWOFF
- EXISTING MANHOLE & STORM SEWER
- PROPOSED MANHOLE & STORM SEWER



STREET LIGHTING DETAIL

## LEGAL

A PARCEL OF LAND LOCATED IN THE NORTH HALF OF SECTION 8, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 8;  
THENCE ALONG THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER, NORTHWEST ONE-QUARTER OF SAID SECTION 8 N89°34'48"E, A DISTANCE OF 135.73 FEET;  
THENCE DEPARTING SAID LINE N00°25'12"W A DISTANCE OF 169.65 FEET TO THE POINT OF BEGINNING ON A NON-TANGENT CURVE WHEN THE CENTER OF SAID CURVE BEARS N24°15'55"E;  
THENCE ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 86°08'21" AND A RADIUS OF 25.00 FEET, A DISTANCE OF 37.59 TO A POINT OF REVERSE CURVE;  
THENCE ALONG THE ARC OF SAID REVERSE CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 35°25'12" AND A RADIUS OF 642.50 FEET, A DISTANCE OF 397.19 FEET TO A POINT OF TANGENT;  
THENCE N15°01'15"W ALONG SAID TANGENT A DISTANCE OF 79.81 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 90°00'00" AND A RADIUS OF 15.00 FEET A DISTANCE OF 23.56 FEET TO A POINT OF TANGENT;  
THENCE N74°58'45"E ALONG SAID TANGENT A DISTANCE OF 133.02 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 30°38'40" AND A RADIUS OF 970.00 FEET A DISTANCE OF 518.84 FEET TO A POINT OF TANGENT;  
THENCE S74°22'27"E ALONG SAID TANGENT A DISTANCE OF 489.89 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 27°49'50" AND A RADIUS OF 530.00 FEET A DISTANCE OF 257.44 FEET TO A POINT OF TANGENT;  
THENCE N77°47'42"E ALONG SAID TANGENT A DISTANCE OF 187.14 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 126°22'19" AND A RADIUS OF 110.00 FEET A DISTANCE OF 242.62 FEET TO A POINT OF TANGENT;  
THENCE S24°10'01"W ALONG SAID TANGENT A DISTANCE OF 440.80 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID REVERSE CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 89°30'50" AND A RADIUS OF 15.00 FEET A DISTANCE OF 23.47 FEET TO A POINT OF REVERSE CURVE;  
THENCE ALONG THE ARC OF SAID REVERSE CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 28°11'49" AND A RADIUS OF 864.77 FEET A DISTANCE OF 425.58 FEET TO A POINT OF TANGENT;  
THENCE S85°36'42"W ALONG SAID TANGENT A DISTANCE OF 425.00 FEET TO A POINT OF CURVE;  
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 16°37'44" AND A RADIUS OF 1758.39 FEET A DISTANCE OF 520.57 FEET TO A POINT OF COMPOUND CURVE;  
THENCE ALONG THE ARC OF SAID COMPOUND CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 11°41'09" AND A RADIUS OF 583.81 FEET A DISTANCE OF 119.07 FEET TO THE POINT OF BEGINNING;

CONTAINING 891,201 SQUARE FEET OR 20.459 ACRES MORE OR LESS.

## APPROVALS

*P. Melody* July 10, 1985  
Planning Commission Chairman Date

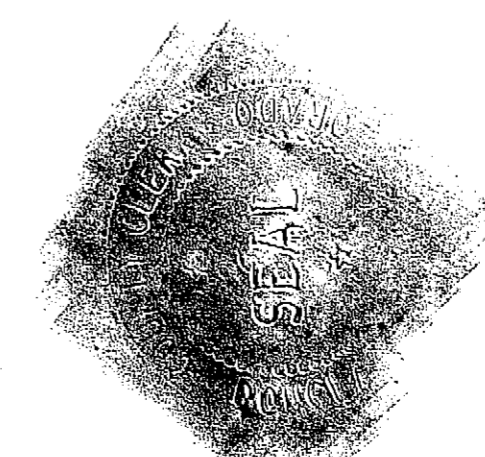
*George J. Bennett* July 19, 1985  
Mayor Date

## RECORDER'S CERTIFICATE:

THIS SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:24 P.M. ON THE 15th DAY OF APRIL, 1985.  
Per Reception # 350832.

COUNTY CLERK AND RECORDER

By: *Jane A. Brown*  
DEPUTY



| NO. | DESCRIPTION | DATE | BY |
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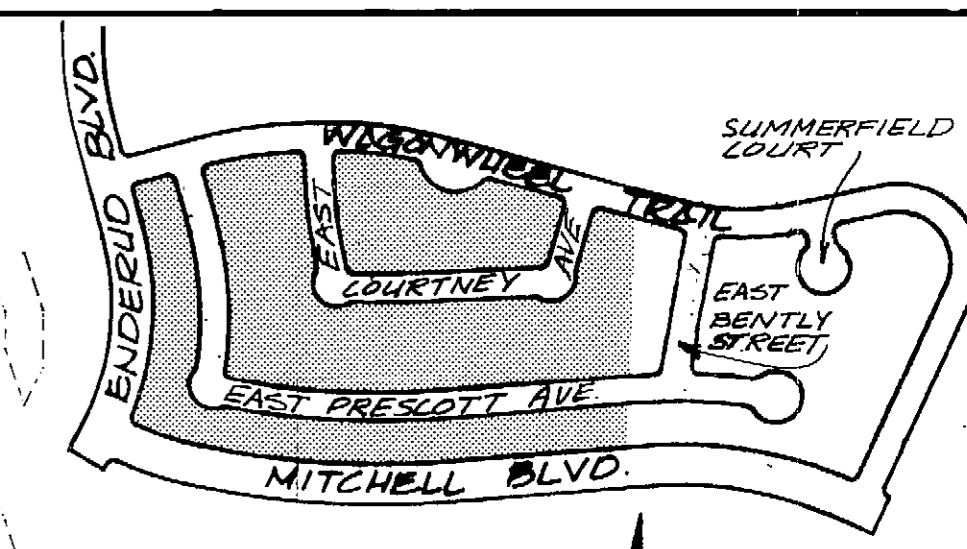
REVISIONS

DATE 7-16-84  
DES/DFI 25-38  
PROJ. NO. 0045  
SHEET 1 of 3

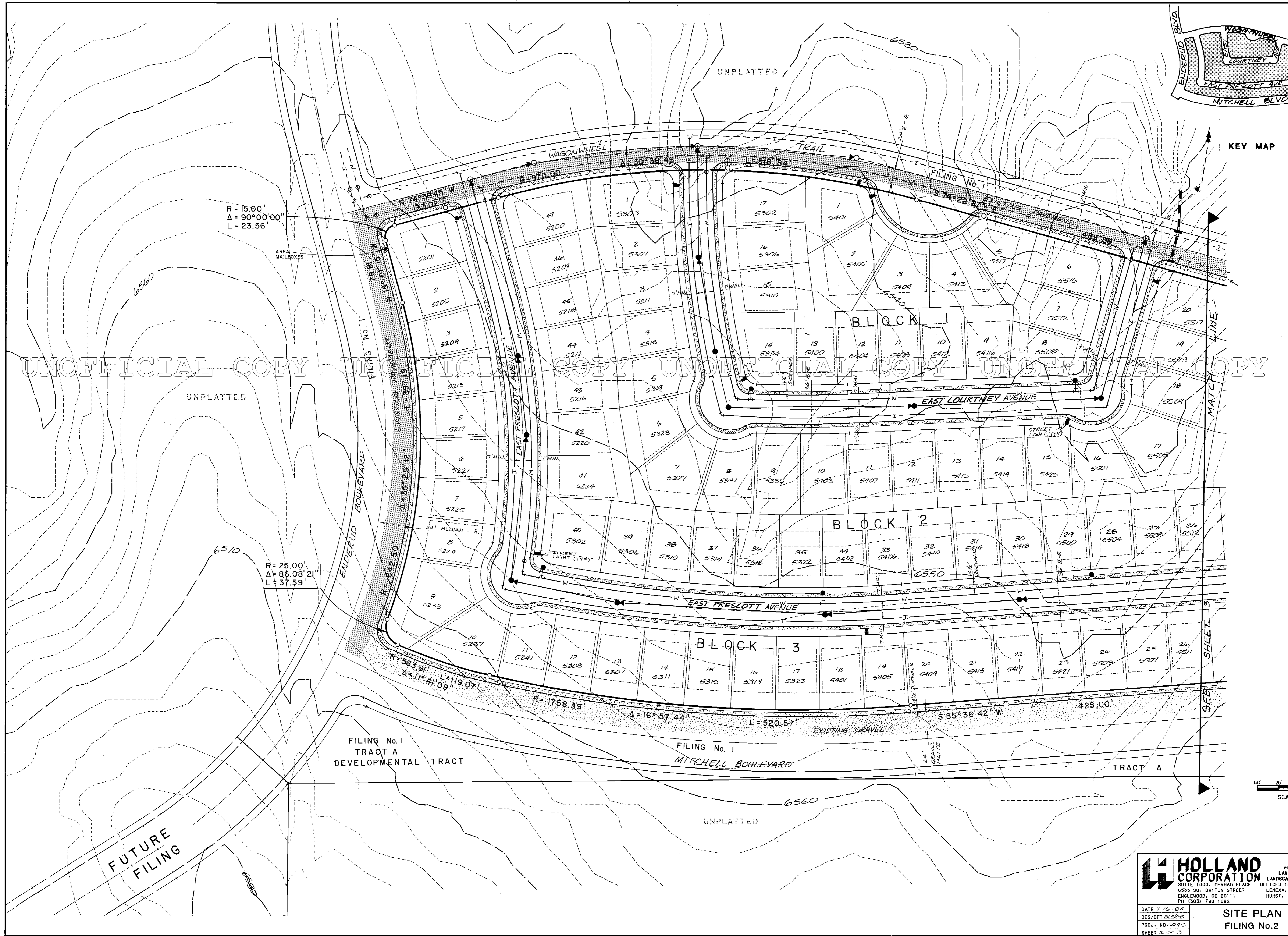
**HOLLAND CORPORATION**  
PLANNING ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE  
SUITE 1600, MERHAM PLACE OFFICES IN:  
6335 SO. DAYTON STREET LENEXA, KANSAS  
ENGLEWOOD, CO 80111 HURST, TEXAS  
PH. (303) 750-1082

**SITE PLAN**  
FILING No. 2

2 of 3



KEY MAP



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$R = 15.90'$   
 $\Delta = 90^\circ 00' 00''$   
 $L = 23.56'$

$R = 25.00'$   
 $\Delta = 86.08' 21''$   
 $L = 37.59'$

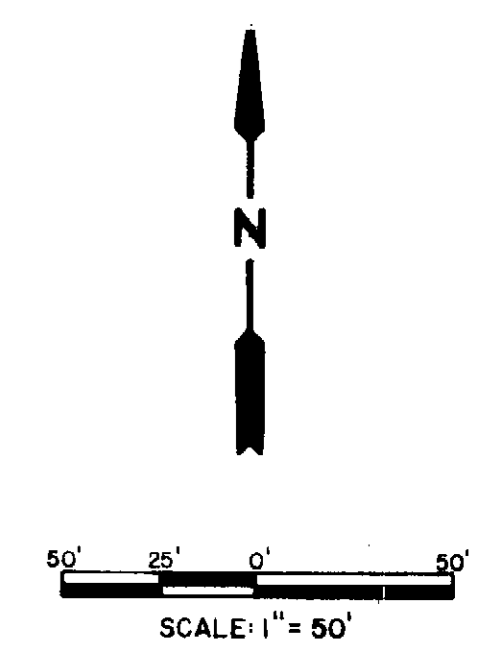
$R = 583.81'$   
 $\Delta = 11^\circ 41' 09''$   
 $L = 119.07'$

FILING No. 1  
 TRACT A  
 DEVELOPMENTAL TRACT

FILING No. 1  
 MITCHELL BOULEVARD

TRACT A

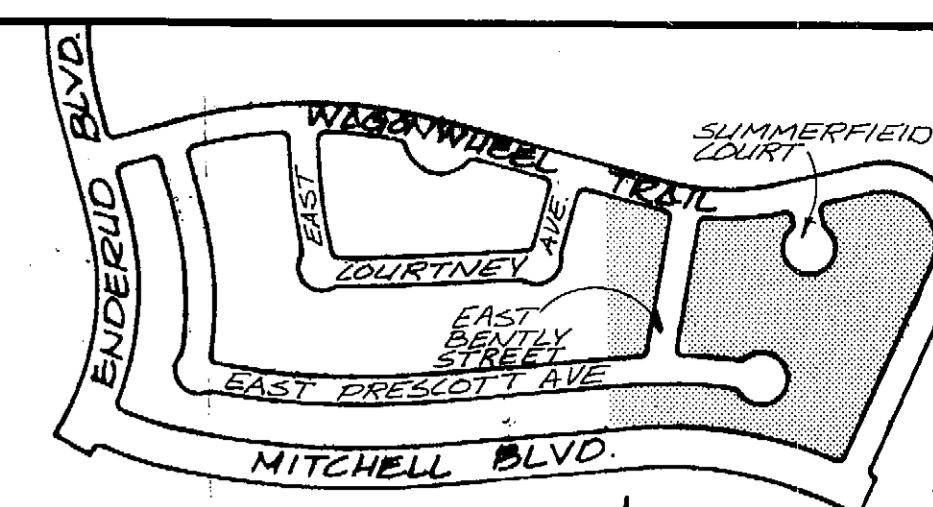
FUTURE FILING



**HOLLAND CORPORATION**  
 PLANNING ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE  
 SUITE 1600, MERHAM PLACE 6535 SD. DAYTON STREET ENGLEWOOD, CO 80111 PH (303) 790-1082 OFFICES IN: LENEXA, KANSAS HURST, TEXAS

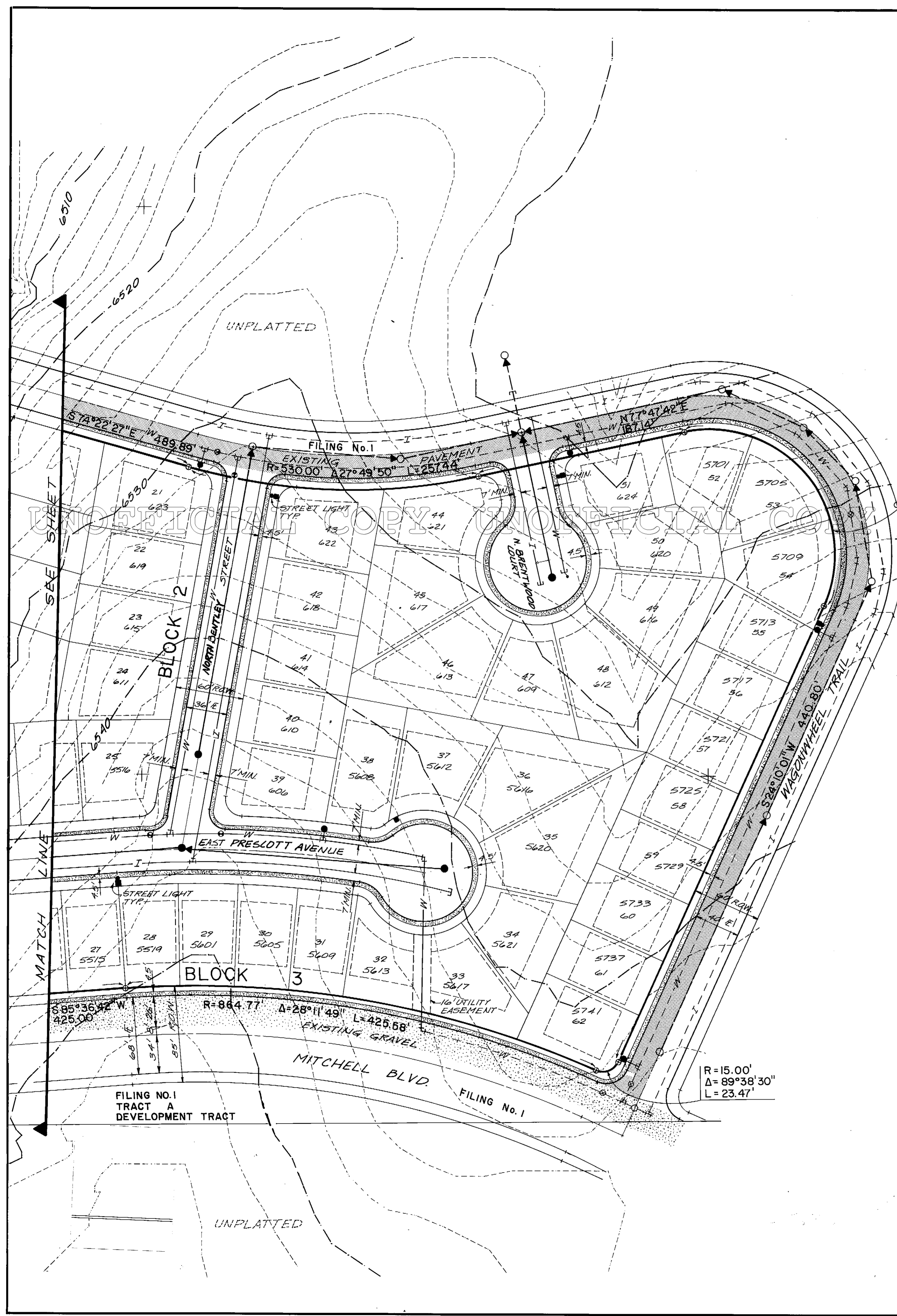
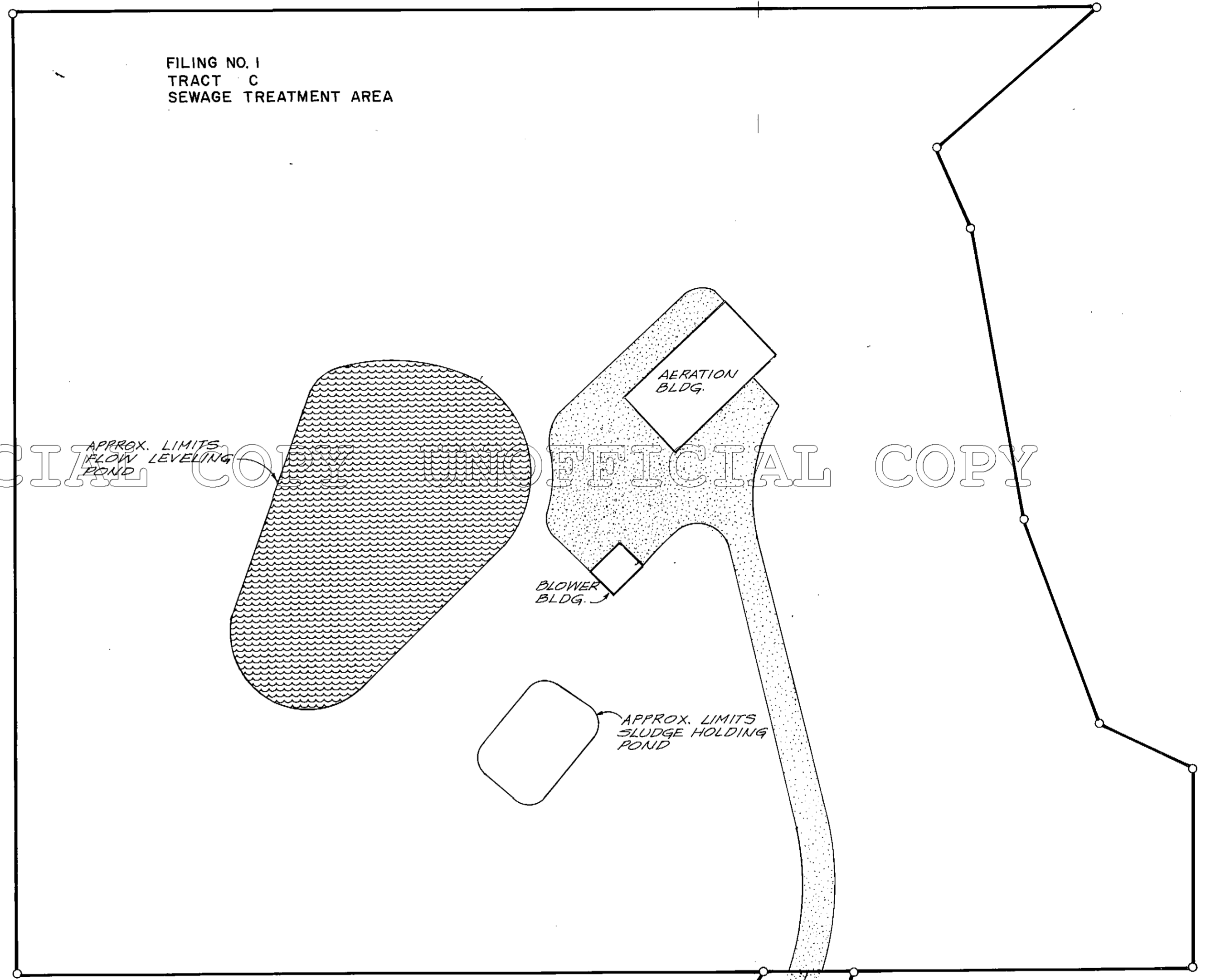
DATE 7-16-84  
 DES/OFT BLS/ST  
 PROJ. NO 0046  
 SHEET 2 of 3

**SITE PLAN**  
 FILING No. 2



KEY MAP

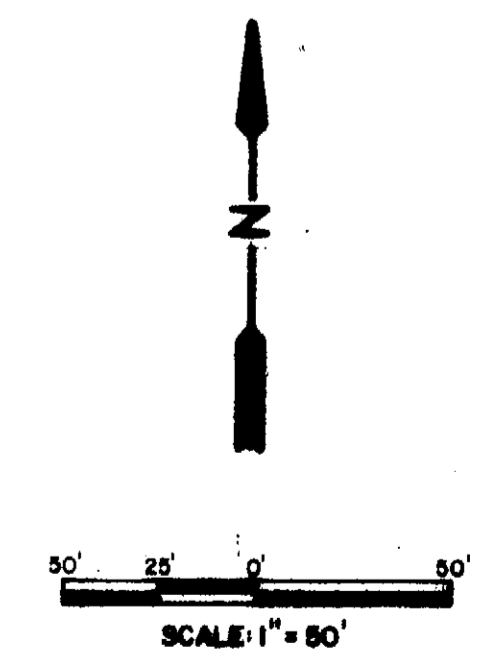
FILING NO. 1  
TRACT C  
SEWAGE TREATMENT AREA



$R=110.00'$   
 $\Delta=126^{\circ}22'19''$   
 $L=242.62'$

$R=15.00'$   
 $\Delta=89^{\circ}38'30''$   
 $L=23.47'$

FILING NO. 1  
TRACT A  
DEVELOPMENT TRACT



**HOLLAND CORPORATION**  
PLANNING ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE  
SUITE 1800, MERHAM PLACE OFFICES IN: ENGLEWOOD, CO 80111 PH: (303) 790-1082  
6535 SO. DAYTON STREET LENEXA, KANSAS HURST, TEXAS

DATE 7.16.84  
DES/DFY BLS/LB  
PROJ. NO 0075  
SHEET 3 OF 3

**SITE PLAN**  
FILING No. 2