

## SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
 IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL ENGINEERING  
 DEVELOPMENT CONSULTING  
 LAND SURVEYING  
 303.703.4444  
 1950 W. Littleton Blvd., Ste. 109  
 Littleton, CO 80120

# CORE CONSULTANTS

CALL BUSINESS BANK IN ADVANCE BEFORE ANY  
 DIG. GRADE OR EXCAVATE FOR THE MARKING OF  
 UNDERGROUND MEMBER UTILITIES.  
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
 UTILITIES SHOWN ON THIS PLAN AND VERTICAL THE EXISTING  
 FROM THE BEST AVAILABLE INFORMATION. IT IS ADVISED  
 TO THE LOCATION OF ALL UTILITIES PRIOR TO THE  
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.

REVISIONS	DATE BY	8/11/15 PID	9/24/15 PID
# DESCRIPTION			
1. PER TOWN COMMENTS			
2. PER TOWN COMMENTS			

## SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 COVER SHEET

TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 7/14/2015 DESIGNED BY: NIM DRAWN BY: JAF CHECKED BY: PID
JOB NO. 14-001
SHEET 1 OF 22

**PURPOSE OF AMENDMENT**  
 THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SHOW THE LOT, TRACT, AND STREET LAYOUT THAT FORMS THE BASIS FOR THE TRACT C CASTLE OAKS ESTATES FILING NO. 4 AMENDMENT #2 PLAT.

**LEGAL DESCRIPTION**  
 TRACT C, CASTLE OAKS ESTATES FILING NO. 4, AMENDMENT NO. 2 PLAT, AS RECORDED AT RECEPTION NO. 2015016043 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER.

**TITLE CERTIFICATION**  
 I, James Betson, AN AUTHORIZED REPRESENTATIVE OF First American Title Ins. Co. A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE. 29, SIGNED THIS DAY OF 25 March, 2016.

[Signature]  
 AUTHORIZED REPRESENTATIVE

First American Title Ins. Co.  
 TITLE INSURANCE COMPANY

COUNTY OF DOUGLAS )  
 STATE OF COLORADO )

**NOTARY BLOCK**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 25 DAY OF March, 2016.

BY JAMES BETSON, AUTHORIZED REPRESENTATIVE OF FIRST AMERICAN TITLE INSURANCE CO.

WITNESS MY HAND AND OFFICIAL SEAL

JESSICA SAMUEL  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID #20164010568  
 MY COMMISSION EXPIRES MARCH 15, 2020

**NOTARY PUBLIC**  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP**

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE ABOVE DESCRIBED PROPERTY IN THE TOWN OF CASTLE ROCK.  
 SLV CASTLE OAKS, LLC, DELAWARE LIMITED LIABILITY COMPANY

BY: Craig Campbell TITLE: WEST REGION VICE PRESIDENT

SIGNED THIS 29 DAY OF March, 2016

COUNTY OF DOUGLAS )  
 STATE OF COLORADO )

**NOTARY BLOCK**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY OF March, 2016

BY CRAIG CAMPBELL, AS WEST REGION VICE PRESIDENT OF SLV CASTLE OAKS, LLC

WITNESS MY HAND AND OFFICIAL SEAL

Rebecca Ramos  
 NOTARY PUBLIC  
 STATE OF COLORADO  
 NOTARY ID #20154030172  
 MY COMMISSION EXPIRES: July 31, 2019

**LIENHOLDER SUBORDINATION CERTIFICATE**

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 20, 2015 AT RECEPTION NO. 2015059653, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

2-778  
 BANK OF THE OZARKS

SIGNED THIS 4 DAY OF APRIL, 2016.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4 DAY OF APRIL, 2016.  
 BY Juan Gonzalez AS Executive Vice President OF BANK OF THE OZARKS.

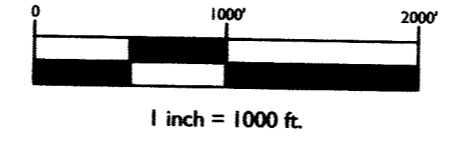
WITNESS MY HAND AND OFFICIAL SEAL

[Signature]  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 11-6-19

ARMANDO GARCIA - #17462227  
 NOTARY PUBLIC  
 STATE OF TEXAS  
 EXPIRES 11-06-2019



VICINITY MAP



**SHEET INDEX**

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  - 12-15 UTILITY PLAN
- LANDSCAPE PLANS**
- 16-22 LANDSCAPE PLANS

**CIVIL ENGINEER'S STATEMENT**

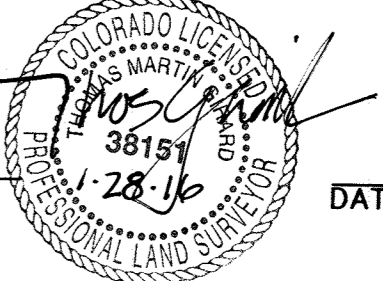
I, BLAKE CALVERT, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S STATEMENT**

I, THOMAS M. GIRARD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

THOMAS M. GIRARD  
 PROFESSIONAL LAND SURVEYOR COLORADO PLS NO. 38151  
 FOR AND ON BEHALF OF CORE CONSULTANTS, INC.



**PLANNING COMMISSION APPROVAL**

THIS SITE DEVELOPMENT PLAN FOR WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 12th DAY OF NOVEMBER, 2015.

Michael J. Tronczyk  
 CHAIR  
 ATTEST:

4-14-2016  
 DATE

[Signature]  
 DIRECTOR OF DEVELOPMENT SERVICES

4/15/2016  
 DATE

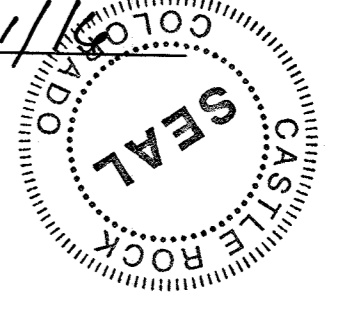
**TOWN COUNCIL APPROVAL**

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 1st DAY OF DECEMBER, 2015.

Paul Donahue  
 MAYOR  
 ATTEST:

4/21/16  
 DATE

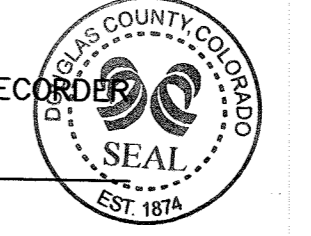
[Signature]  
 TOWN CLERK  
 DATE 4-21-16



**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:50 am ON THE 26th DAY OF May, 2016 AT RECEPTION NO. 2016033120

DOUGLAS COUNTY CLERK AND RECORDER  
 BY: [Signature]  
 DEPUTY



SITE DEVELOPMENT PLAN FOR  
 TERRAIN FILING NO. 2  
 PROJECT# SDP15-0023

COVER SHEET

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### BENCHMARK

BENCHMARK: A 3-1/4" ALUMINUM CAP LOCATED ON THE SOUTH SIDE OF CASTLE OAKS DRIVE JUST EAST OF THE 225 FOOT WIDE P.S.C.O. UTILITY EASEMENT, SAID POINT IS A DOUGLAS COUNTY CONTROL MONUMENT # DC GIS 4.004007

ELEVATION = 6495.263 (NAVD 88 DATUM).

### BASIS OF BEARINGS

BASIS OF BEARINGS: THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 31 BEING MONUMENTED AT THE WEST ONE-QUARTER CORNER OF SAID SECTION BY A 3-1/4" ALUMINUM SURVEYOR'S CAP - STAMPED "PLS 22100" AND AT THE SOUTHWEST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP - P.L.S. #12046, BEING ASSUMED TO BEAR N0012°27'E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

### SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS, AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THIS SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH THE CONSTRUCTION DOCUMENTS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE/USE OF ALL TRACTS AND THE DEDICATION OF ALL TRACTS WILL BE FOR OPEN SPACE, UTILITIES, AND DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE HOA.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- PA 45 IS ZONED AS I-B/MF, PA 46 IS ZONED AS R-MF PER THE APPROVED TERRAIN PD (REC. # ).
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNER'S ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10' UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS OF WAY AND SHALL HAVE 5' UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ALLOWABLE ENCROACHMENTS INTO SIDE YARD EASEMENTS WILL INCLUDE BUT NOT LIMITED TO WINDOW WELLS, EVES, CANTILEVERS.
- SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK TO ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE 100-YEAR ZONE A FLOODPLAIN FOR MCMURDO GULCH DOES NOT ENCROACH ONTO THE SITE PER THE FEMA FIRM MAP PANEL NUMBERS 08035C0189F AND 08035C0189G.

### LAND USE SUMMARY

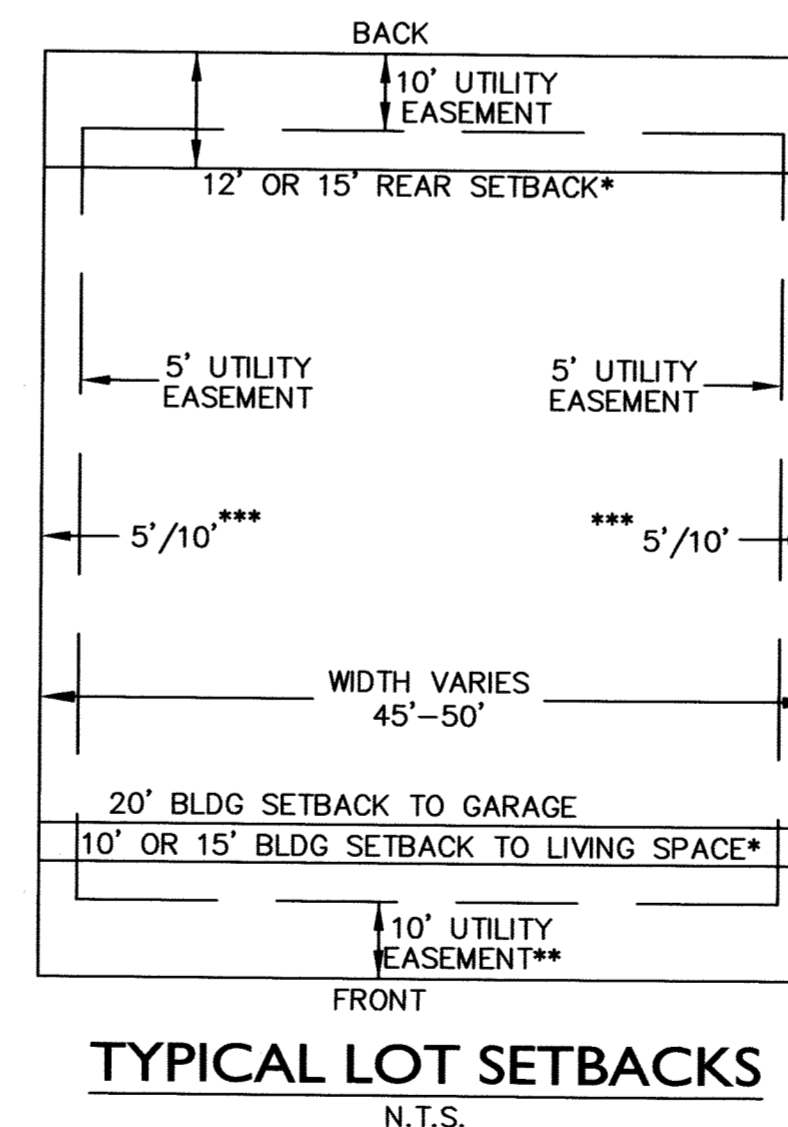
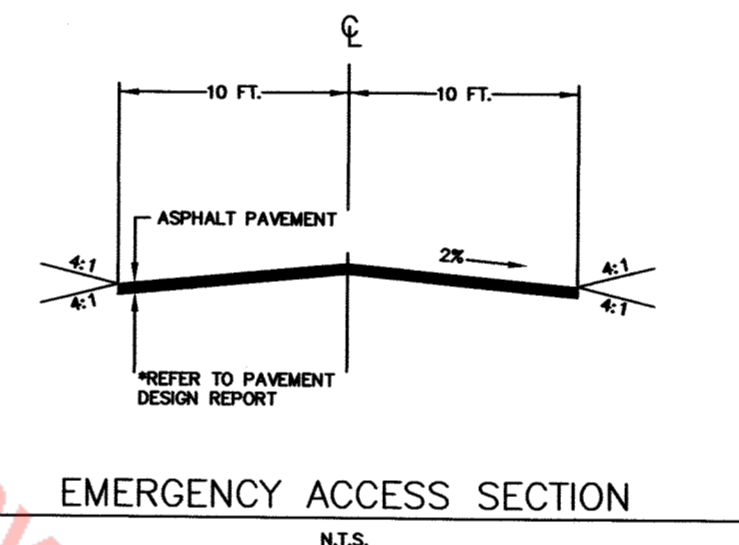
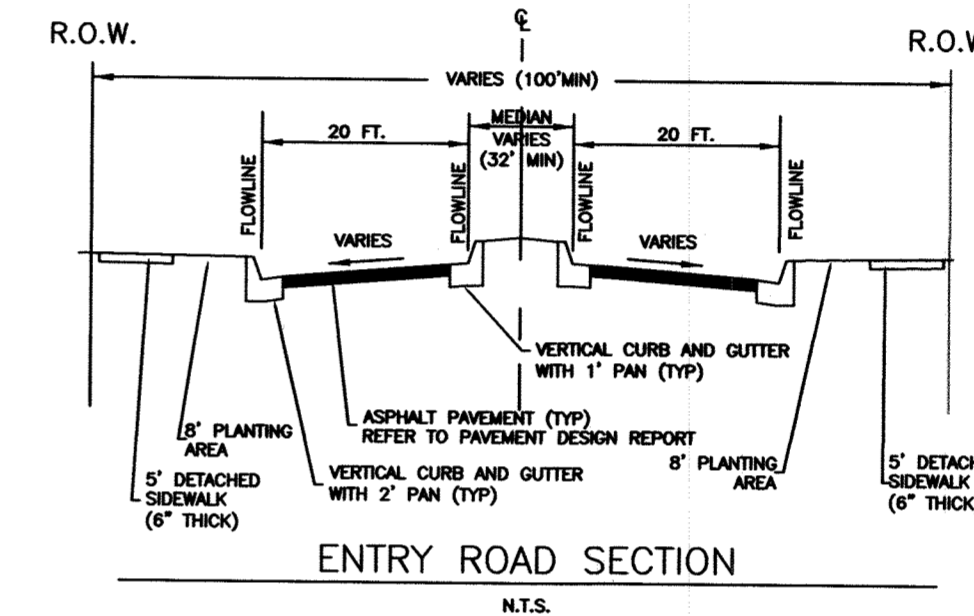
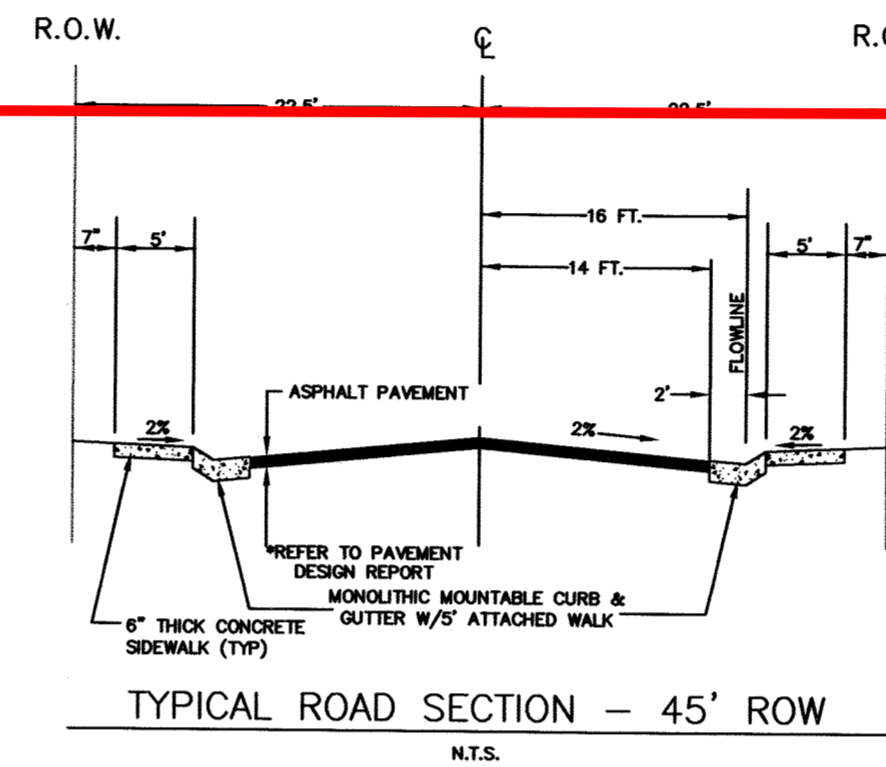
LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS/SFE's	PROPOSED % OF SITE ACREAGE	GROSS DENSITY	NET DENSITY	MIN. LOT AREA	AVE. LOT AREA	MAX LOT AREA	SETBACKS FRONT TO GARAGE	SETBACKS FRONT TO LIVING AREA	SETBACKS REAR BACK TO LOT	SETBACKS SIDE INTERIOR LOTS	SETBACKS SIDE TO STREET	MAX. BLDG. HEIGHT
R-SF 45' WIDE SINGLE FAMILY DETACHED	10.459 AC	79	17.23%	2.55	7.55	4,950 SF	5,767 SF	12,407 SF	20'	10'	12'	5'	10'	35'
R-SF 50' WIDE SINGLE FAMILY DETACHED	10.752 AC	76	17.71%	2.55	7.07	5,500 SF	6,239 SF	10,186 SF	20'	15'	15'	5'	10'	35'
OSP OPEN SPACE DEDICATION PRIVATE	33.211 AC	-	54.71%	-	-	-	-	-	-	-	-	-	-	-
ROW PROPOSED LOCAL STREETS- PA 45-46	6.279 AC	-	10.35%	-	-	-	-	-	-	-	-	-	-	-
	60.701 AC	155	100%	2.55 DU/AC	7.31 DU/AC									

### TRACT SUMMARY

TRACT	AC	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	0.617 AC	OSP/DR/UT	HOA	HOA
TRACT B	0.618 AC	OSP/DR/UT	HOA	HOA
TRACT C	8.984 AC	OSP/DR/UT	HOA	HOA
TRACT D	22.992 AC	OSP/DR/UT	HOA	HOA

### FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR A PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NO LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PROTECTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY IF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, AND DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS, OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.



\* REFER TO LAND USE CHART ABOVE FOR CLARIFICATION  
 \*\* TO INCLUDE SIGNAGE AND LIGHTING  
 \*\*\* SIDE TO INTERIOR/SIDE TO STREET

### MONUMENT LEGEND

- FOUND ALIQUOT MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED

### LEGEND:

PROPOSED	EXISTING	
SANITARY SEWER	BOUNDARY LINE	PHASE LINE
PIPE with MANHOLE	6360 PROPOSED MAJOR CONTOUR	6340 PROPOSED MINOR CONTOUR
PIPE with PLUG	6360 EXISTING MAJOR CONTOUR	6340 EXISTING MINOR CONTOUR
WATER PIPELINE	4% STREET GRADE	H.P. HIGH POINT
WATER VALVE	L.P. LOW POINT	HANDICAPPED RAMP
FIRE HYDRANT	6375.5 SPOT ELEVATION	PROPOSED STREET LAMP
BEND and TEE	EXISTING INDIVIDUAL 6" OR LARGER TREES OUTSIDE OF TREE STAND	EXISTING TREE STAND OR SCRUB OAK STAND
BLOWOFF ASSEMBLY	EXISTING FENCE	* NON-STANDARD UTILITY SERVICE LOCATIONS
AIR RELEASE VALVE		
ARV VENT		
IRRIGATION TAP/METER		
STORM DRAIN		
MANHOLE and PIPE INLET		
FLARED END SECTION		
EASEMENT		
CENTER LINE		

CALL BUSINESS DATE IN ADVANCE BEFORE YOU  
 DUE TO THE NATURE OF THE WORK AND THE  
 NEED FOR UNDERGROUND UTILITY  
 LOCATIONS (HORIZONTAL AND VERTICAL). THE  
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING  
 THE LOCATION OF ALL UTILITIES AND FOR THE  
 PROTECTION OF ALL UTILITIES. THE CONTRACTOR  
 SHALL BE RESPONSIBLE FOR THE PROTECTION OF  
 ALL UTILITIES AND FOR THE PROTECTION OF  
 ANY CONSTRUCTION ACTIVITIES.

811

REVISIONS	DATE	BY
1. PER TOWN COMMENTS	8/24/15	PID
2. PER TOWN COMMENTS	9/24/15	PID

## SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 GENERAL NOTES AND DETAILS TOWN OF CASTLE ROCK, COLORADO

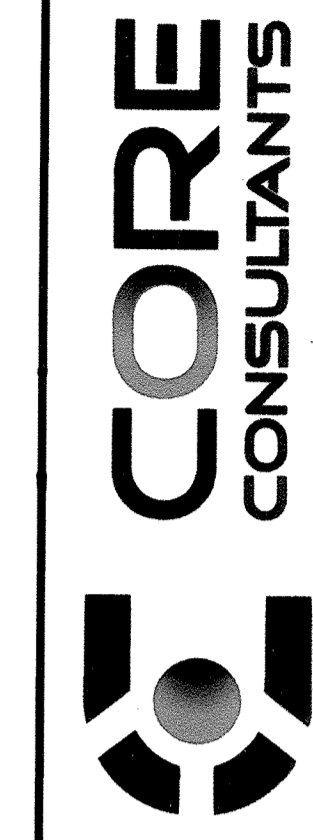
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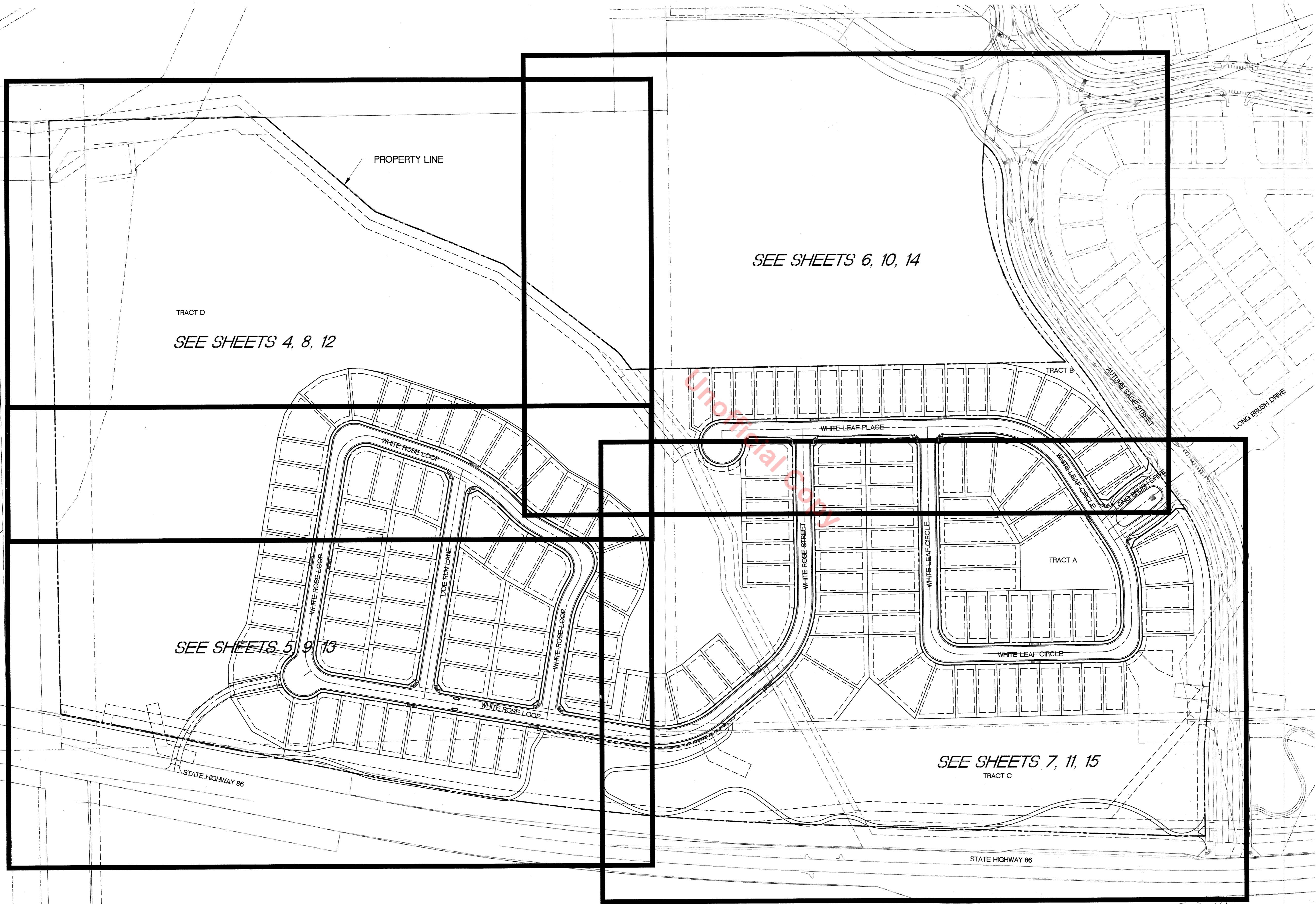
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SHEET  
2 OF 22

GENERAL NOTES AND DETAILS

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
3032 703 4444  
1960 W. Litchford Blvd., Ste. 109  
Litcher, CO 80720



**SITE DEVELOPMENT PLAN FOR  
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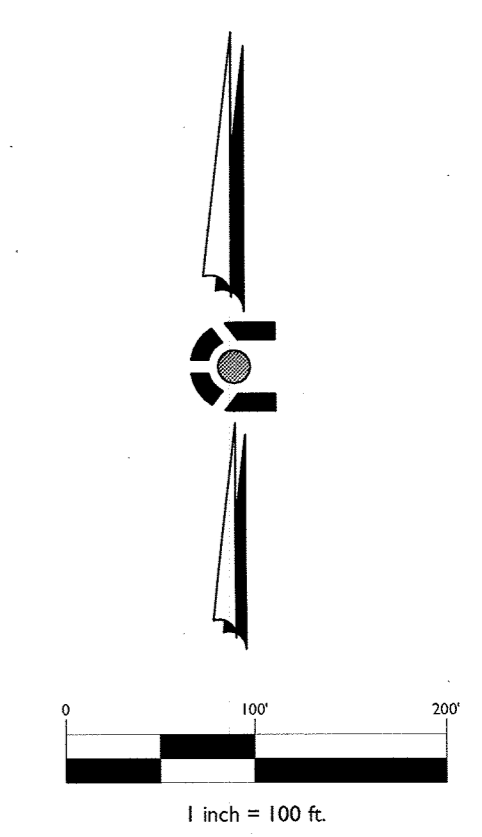


TRACT D  
*SEE SHEETS 4, 8, 12*

*SEE SHEETS 6, 10, 14*

*SEE SHEETS 5, 9, 13*

*SEE SHEETS 7, 11, 15*  
TRACT C



SITE DEVELOPMENT PLAN FOR  
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SHEET INDEX  
3 OF 22

Know what's below.  
Call before you dig.  
811

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND PUBLIC UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR LOCATING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN ROTTED OR THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

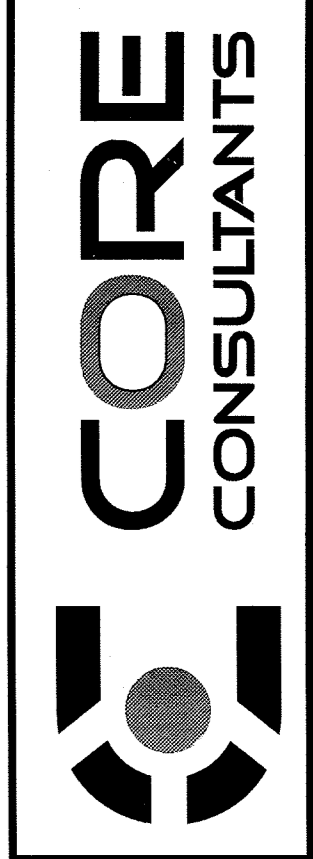
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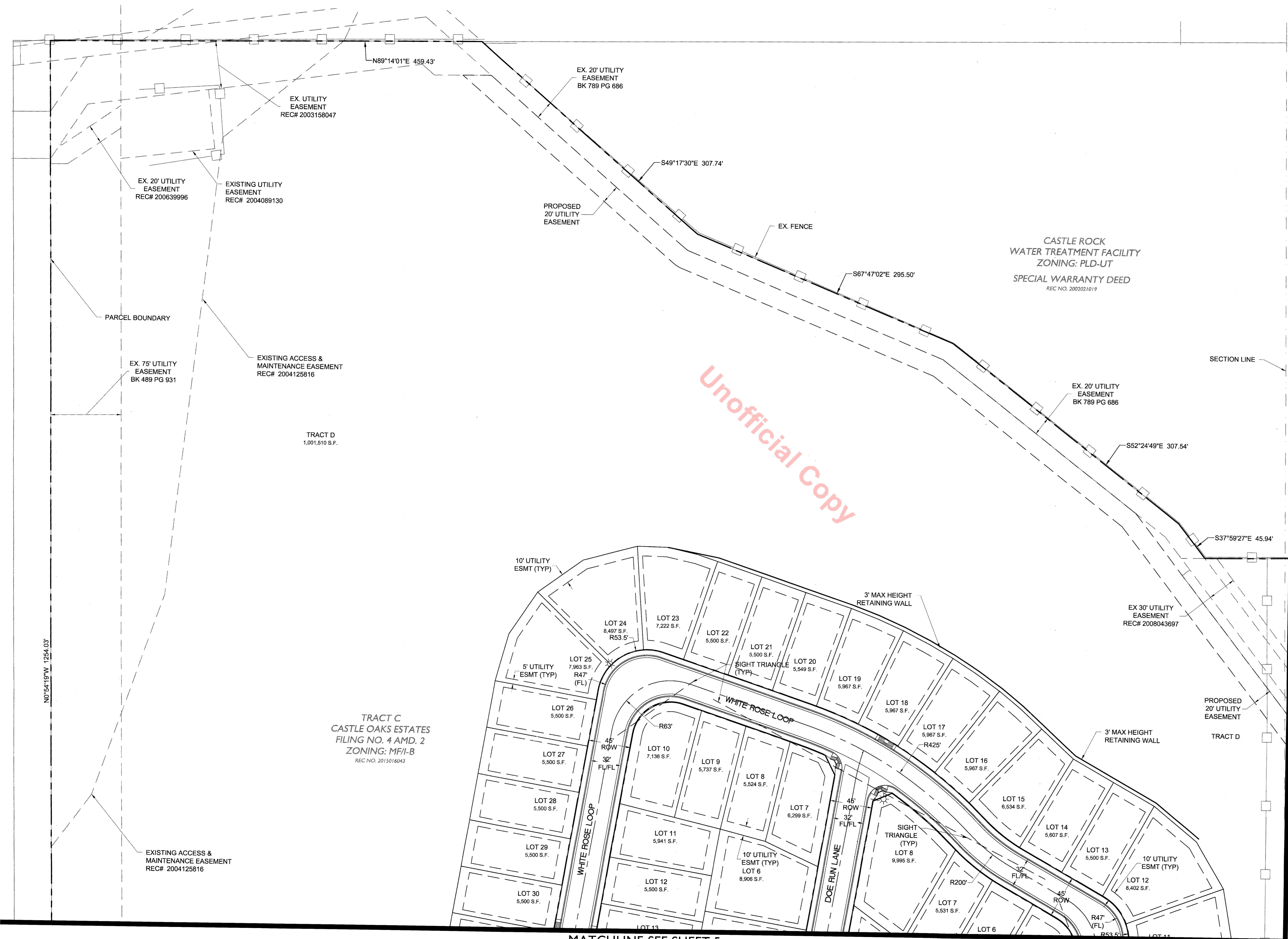
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CIVIL ENGINEERING  
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LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



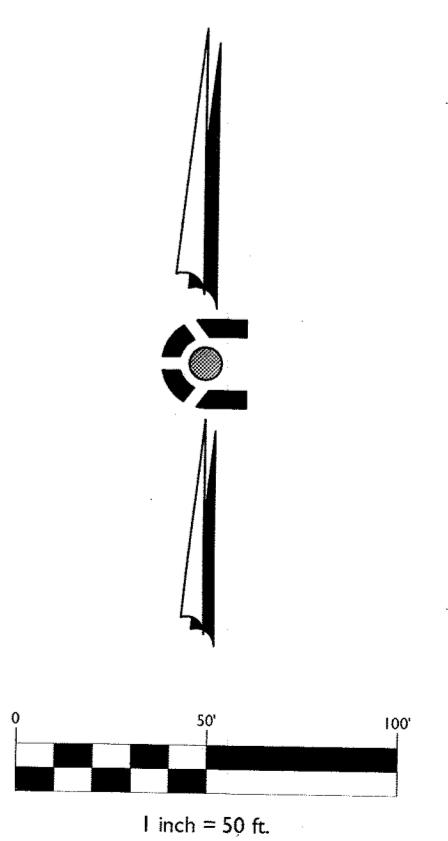
Unofficial Copy

- LEGEND:**
- SANITARY SEWER
  - PROPOSED GRAVITY SEWER PIPE with MANHOLE
  - PIPE with PLUG
  - SANITARY SERVICE, 4"
  - EXISTING GRAVITY SEWER PIPE with MANHOLE
  - WATER TRANSMISSION MAIN
  - RAW WATER LINE
  - IRRIGATION LINE
  - PIPE with PLUG & B.O.
  - WATER SERVICE
  - WATER VALVE
  - FIRE HYDRANT
  - BEND and THRUST BLOCK
  - EXISTING TRANSMISSION MAIN
  - STORM DRAIN
  - MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
  - EX. MANHOLE and PIPE
  - GAS LINE
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - FIBER OPTIC LINE
  - EASEMENT
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
  - HANDICAPPED RAMP
  - PROPOSED STREET LAMP
  - EXISTING STREET LAMP

**NOTE:**

LOTS MARKED WITH \* SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE F.O.W.L. ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO LANDSCAPE PLANTINGS, WALLS, FENCES, LANDSCAPE CABINETS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

MATCHLINE-SEE SHEET 6



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

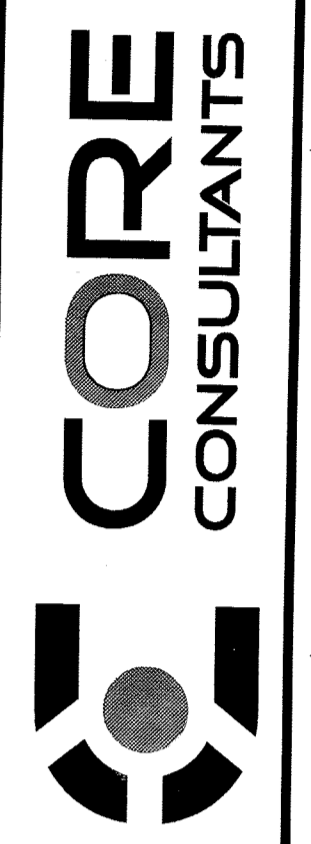
REVISIONS	
#	DESCRIPTION
1	PER TOWN COMMENTS
2	PER TOWN COMMENTS

**SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
SITE PLAN  
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NIM  
DRAWN BY: JAF  
CHECKED BY: PID

JOB NO.  
14-001  
SHEET  
4 OF 22

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
103.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

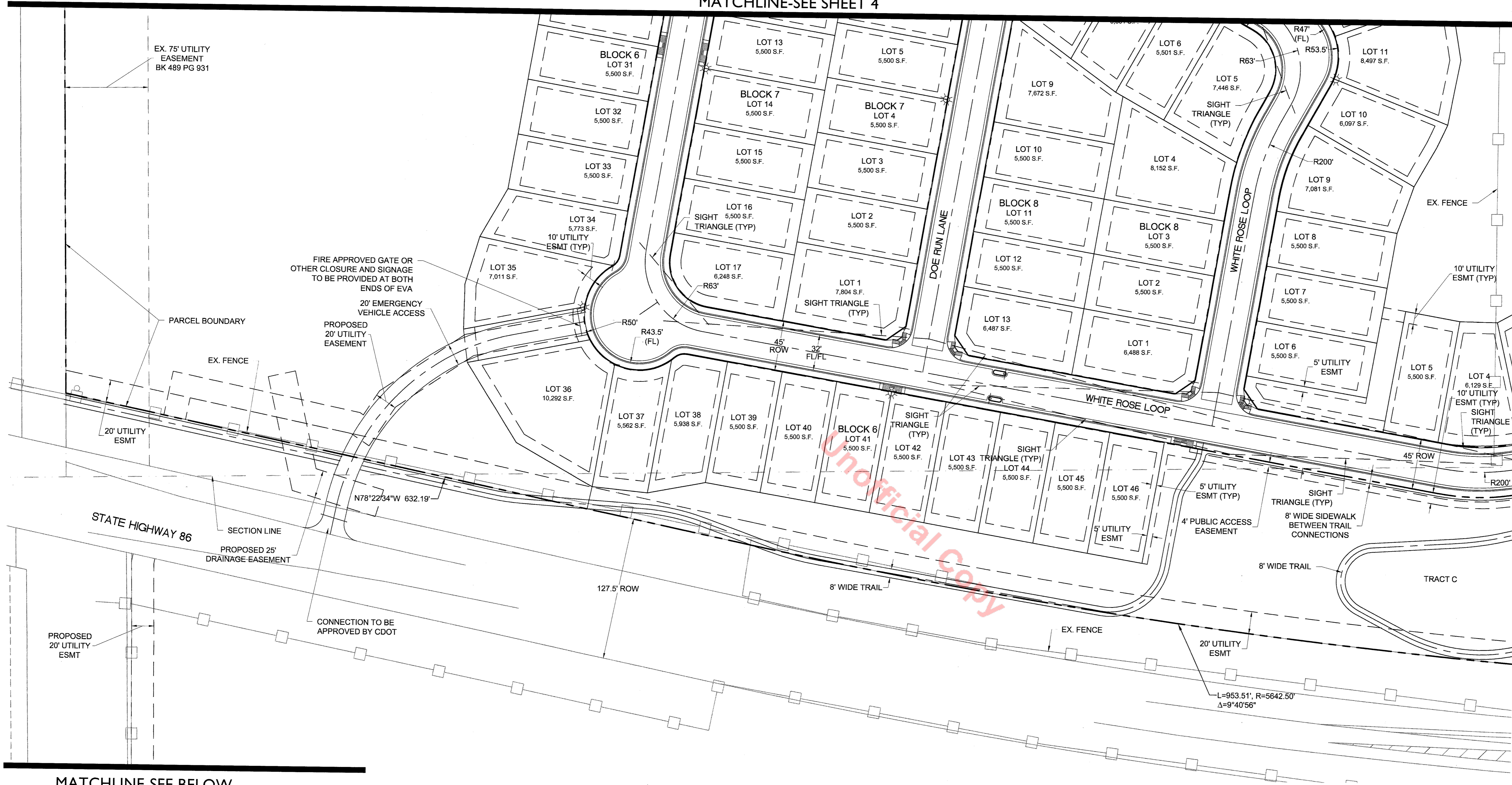


CALL A BUSINESS BEFORE YOU START ANY WORK. YOU ARE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES. THE INFORMATION IS BASED ON THE BEST AVAILABLE INFORMATION. IT IS ADVISED THAT THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

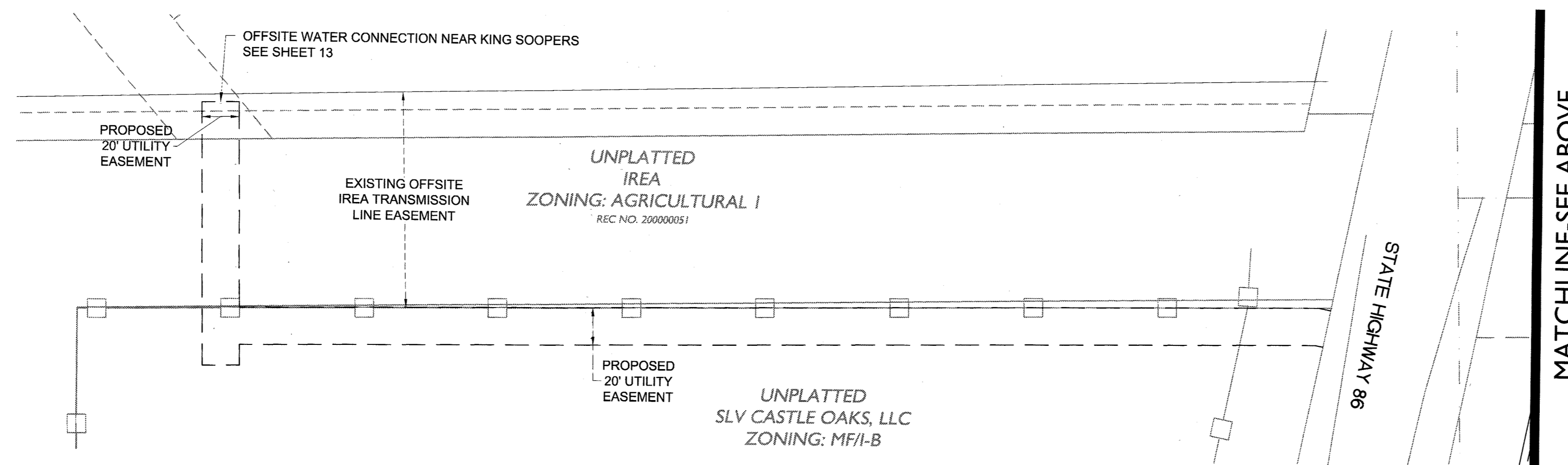
# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 4



MATCHLINE-SEE BELOW



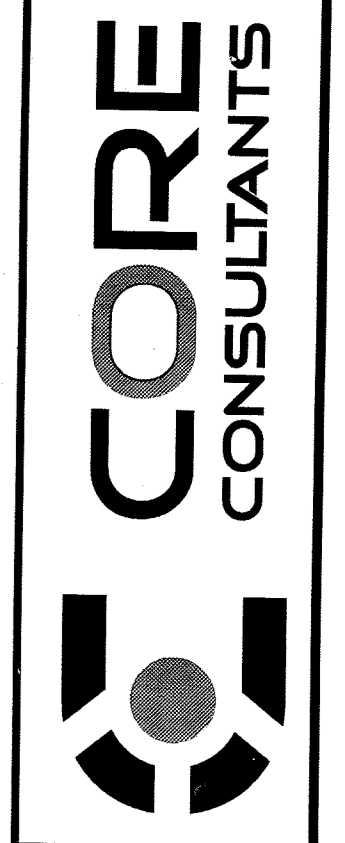
**LEGEND:**

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE with MANHOLE
- PIPE with PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER
- PIPE with MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE with PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND and THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE and PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE and PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

**NOTE:**

LOTS MARKED WITH \* SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY THE BEST AVAILABLE INFORMATION. IT IS ADVISED THAT THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

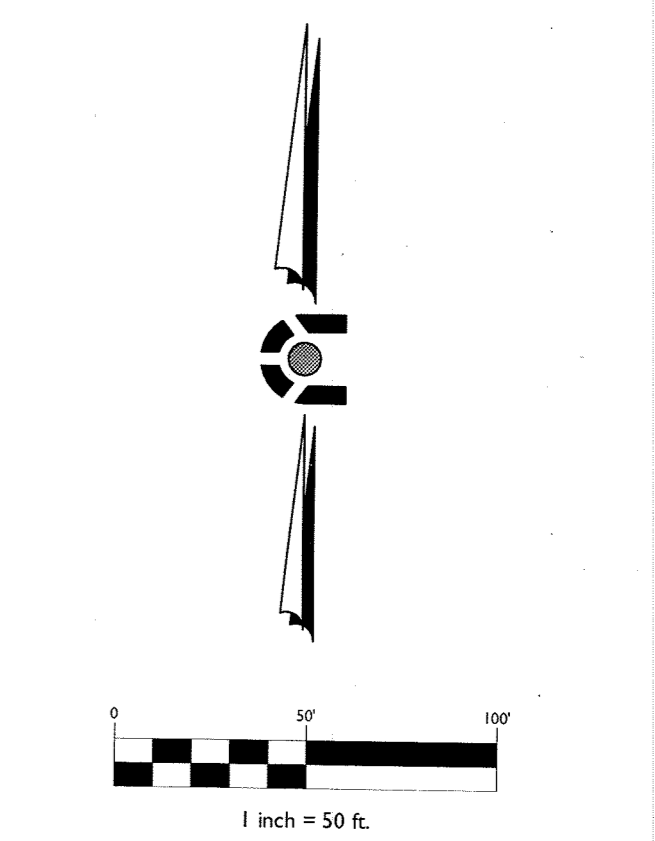


REVISIONS	
#	DATE BY
1	8/21/15 JIC
2	9/24/15 JIC

**SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
SITE PLAN**  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NIM  
DRAWN BY: JAF  
CHECKED BY: JFD

JOB NO.  
14-001  
SHEET  
5 OF 22



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

SITE PLAN

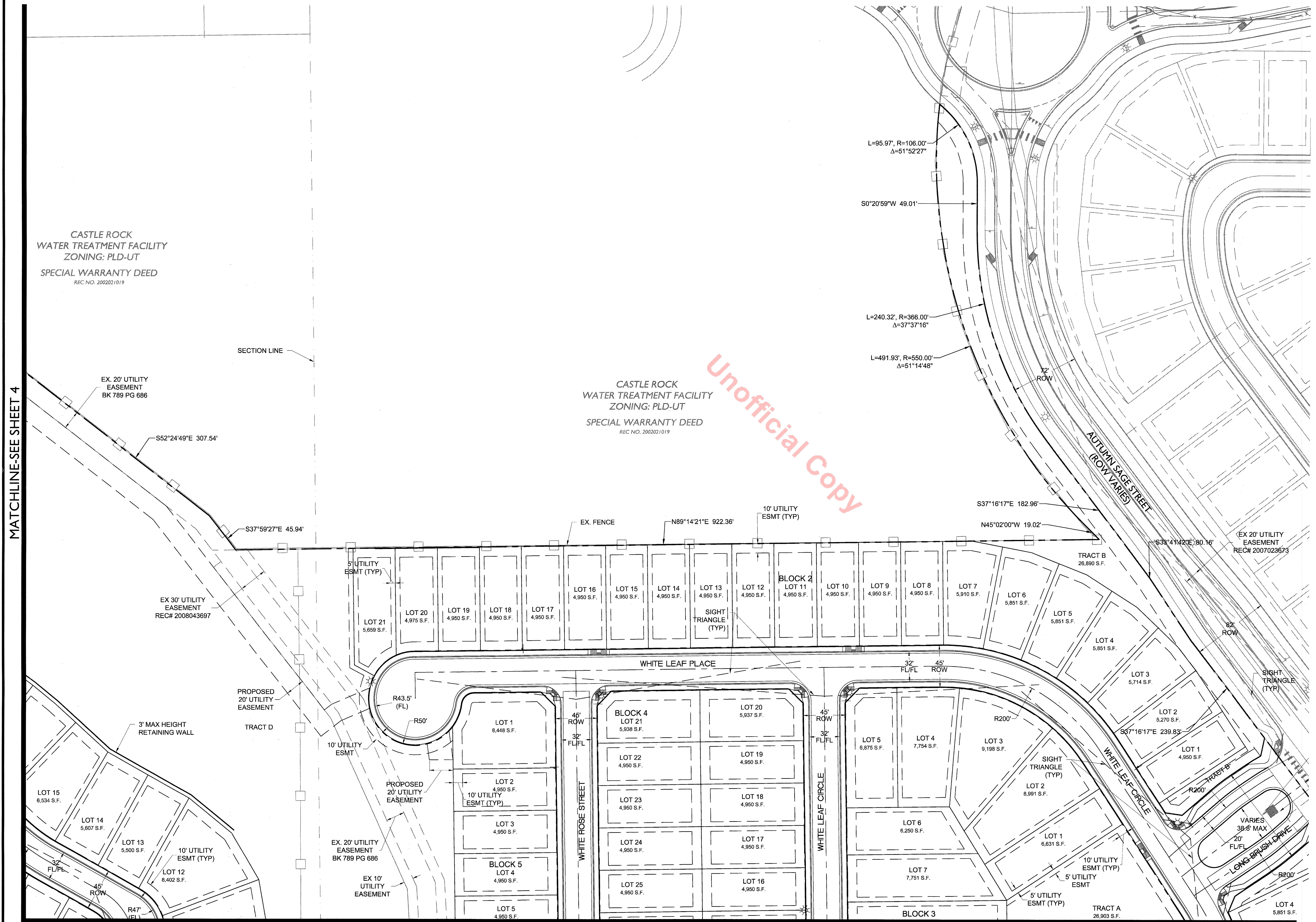
# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- LEGEND:**
- SANITARY SEWER
  - PROPOSED GRAVITY SEWER
  - PIPE with MANHOLE
  - PIPE with PLUG
  - SANITARY SERVICE, 4"
  - EXISTING GRAVITY SEWER
  - PIPE with MANHOLE
  - WATER
  - TRANSMISSION MAIN
  - RAW WATER LINE
  - IRRIGATION LINE
  - PIPE with PLUG & B.O.
  - WATER SERVICE
  - WATER VALVE
  - FIRE HYDRANT
  - BEND and THRUST BLOCK
  - EXISTING TRANSMISSION MAIN
  - STORM DRAIN
  - MANHOLE and PIPE INLET
  - FLARED END SECTION
  - EX. MANHOLE and PIPE
  - EXISTING DRY UTILITY
  - GAS LINE
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - FIBER OPTIC LINE
  - EASEMENT
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
  - HANDICAPPED RAMP
  - PROPOSED STREET LAMP
  - EXISTING STREET LAMP

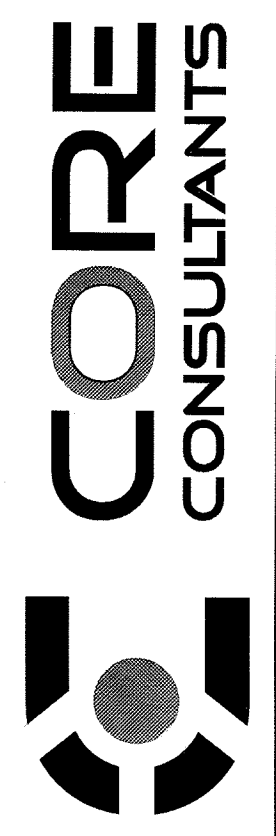
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1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU  
KNOW WHAT YOU WANT TO DO. CALL 801.468.8888  
CALL 801.468.8888  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED  
FROM THE BEST AVAILABLE INFORMATION. I.E.S. HOWEVER,  
THE LOCATION OF ALL UTILITIES PRIOR TO THE START  
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

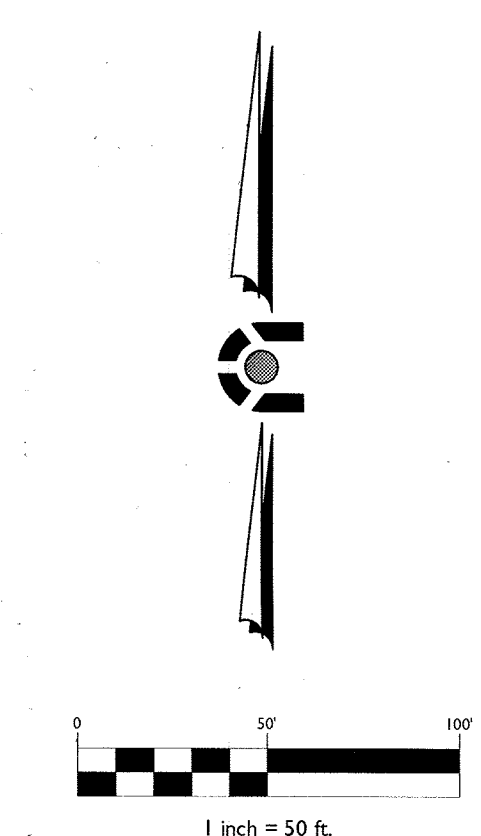


REVISIONS	DATE	BY
# DESCRIPTION		
1. PER TOWN COMMENTS	8/21/15	RJD
2. PER TOWN COMMENTS	9/24/15	PLD

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
SITE PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PLD

JOB NO.  
14-001  
SHEET  
6 OF 22



MATCHLINE-SEE SHEET 7

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

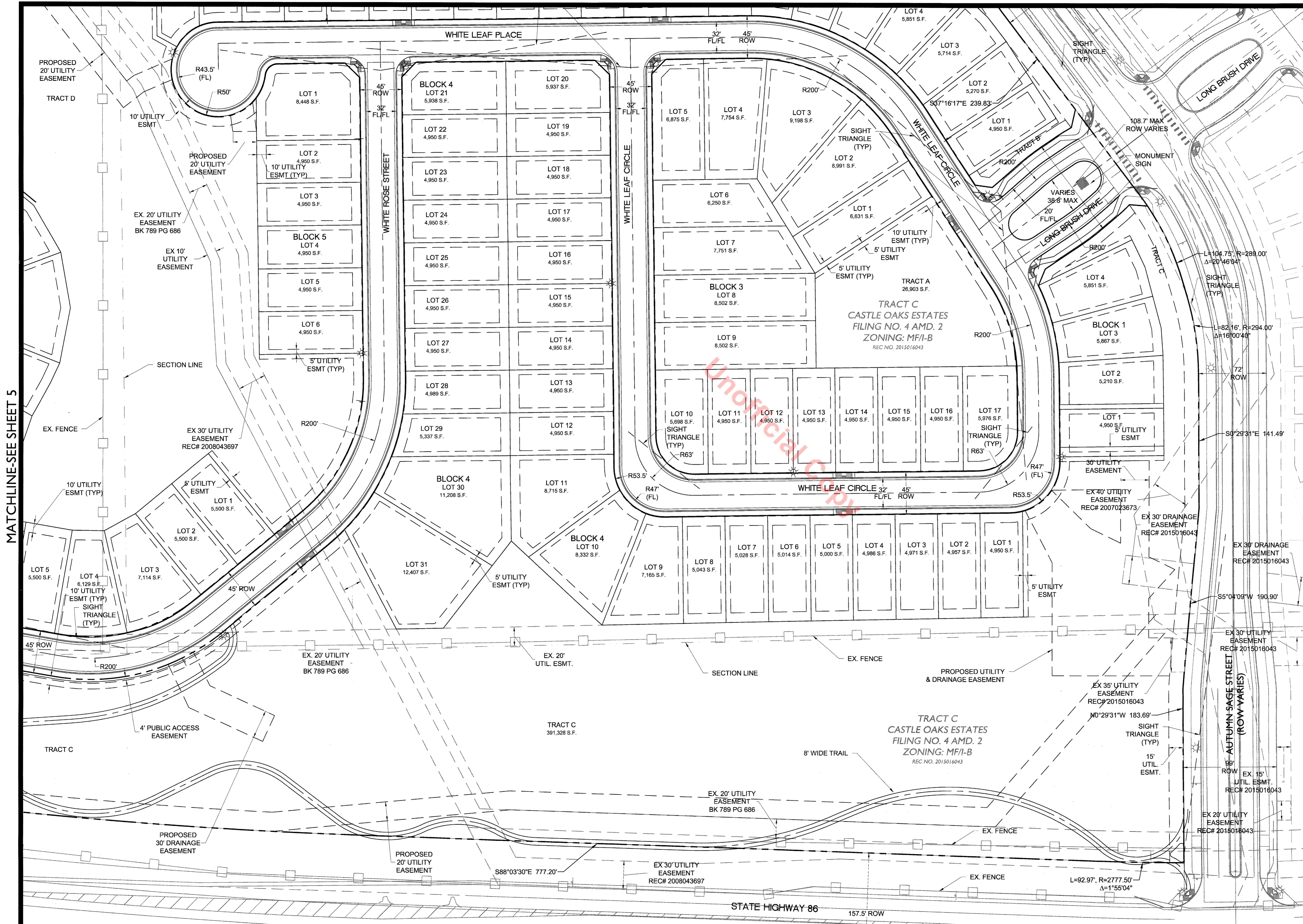
SITE PLAN

MATCHLINE-SEE SHEET 4

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 6

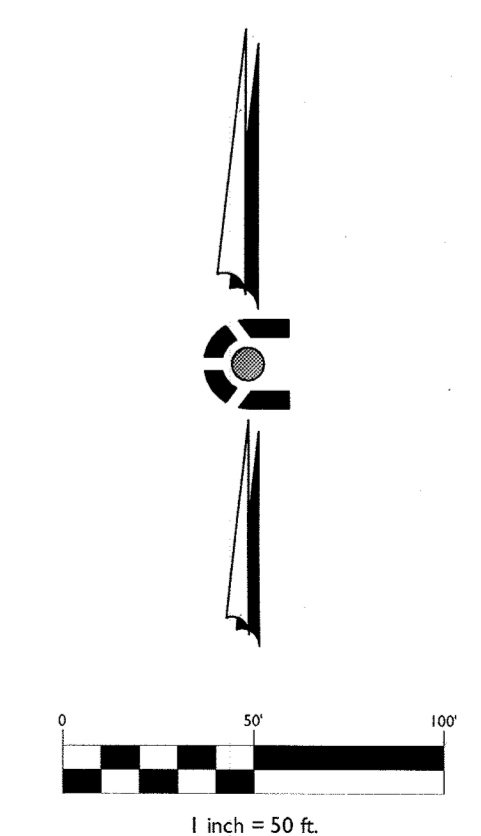


**LEGEND:**

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE with MANHOLE
- PIPE with PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE with MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE with PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND and THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE and PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE and PIPE
- EXISTING DRY UTILITY
- EXISTING DRY UTILITY
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

**NOTE:**

LOTS MARKED WITH \* SHALL HAVE NO SOLID OBJECT (EXCLUDING TREE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.



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303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

**CORE CONSULTANTS**

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CHECK FOR DEPT. OF TRANSPORTATION OF UNDERGROUND UTILITY RECORDS.  
CORE ANALYSIS AND REPORTS FOR UTILITIES, CITY LOCATION, HORIZONTAL AND VERTICAL. THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION ACTIVITIES.

REVISIONS	DATE	BY
1. PER TOWN COMMENTS	8/21/15	PD
2. PER TOWN COMMENTS	9/24/15	PD

**811**

**SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
SITE PLAN  
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PD

JOB NO. 14-001  
SHEET 7 OF 22

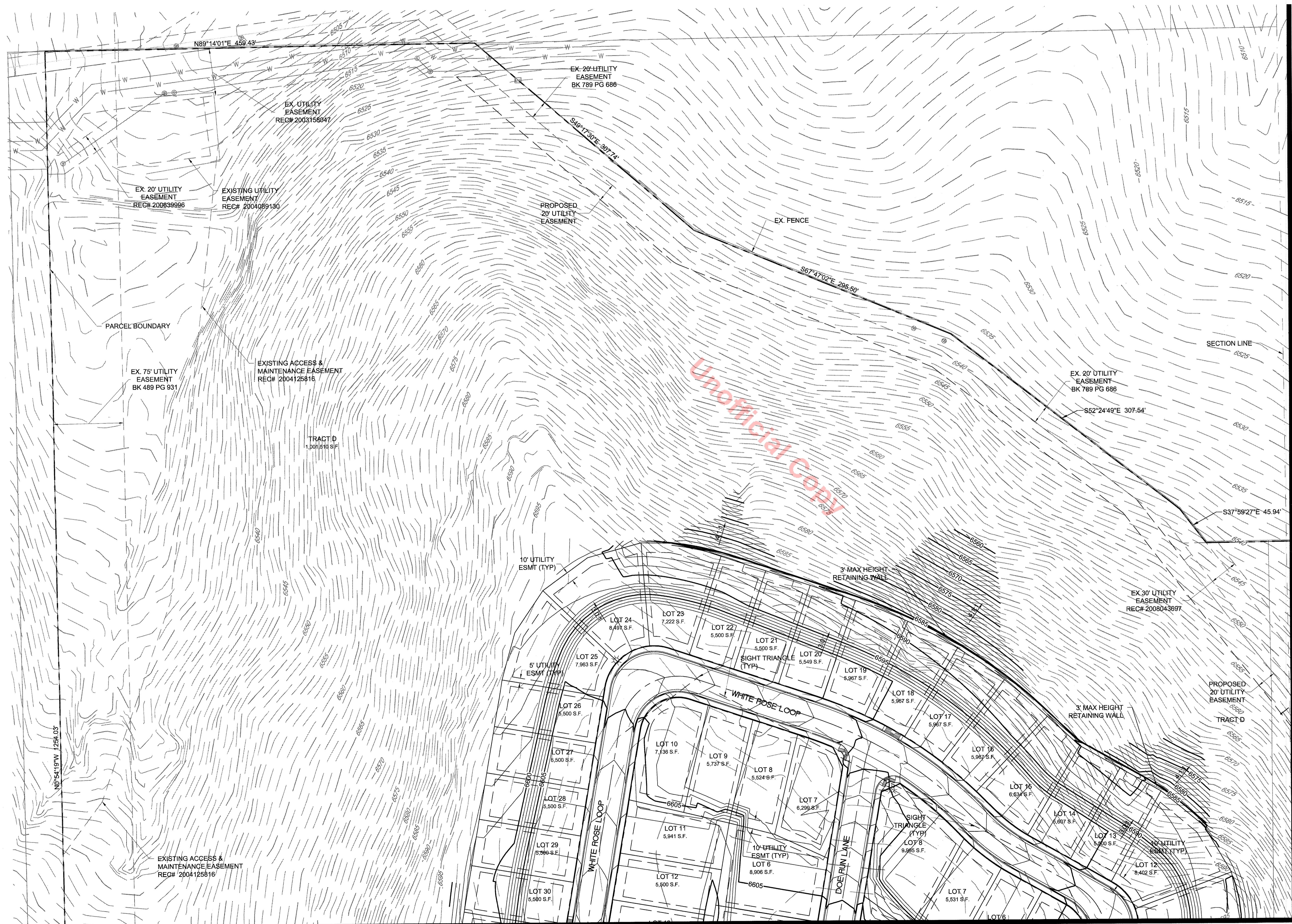
MATCHLINE-SEE SHEET 5

TRACT C 391,328 S.F.

STATE HIGHWAY 86

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

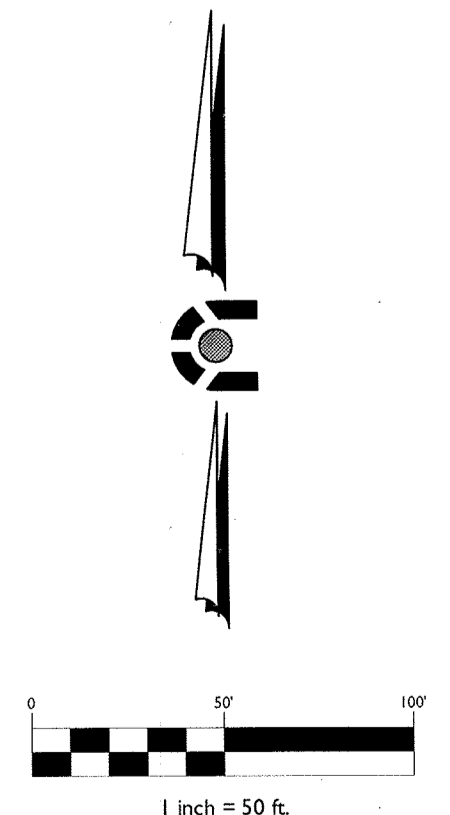


### LEGEND

- PROPOSED STORM DRAIN
- MANHOLE and PIPE
- INLET
- FLARED END SECTION
- EXISTING STORM DRAIN
- EXISTING MANHOLE and PIPE
- EXISTING INLET
- EXISTING FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION

MATCHLINE-SEE SHEET 10

MATCHLINE-SEE SHEET 9



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.705.4444  
1950 W. Litchman Blvd., Ste. 109  
Littleton, CO 80120

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU  
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND UTILITY.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED  
FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER,  
THE LOCATION OF ALL UTILITIES PRIOR TO THE  
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS

#	DESCRIPTION	DATE BY
1.	PER TOWN COMMENTS	8/21/15 JPD
2.	PER TOWN COMMENTS	9/24/15 PID

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
GRADING PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PID

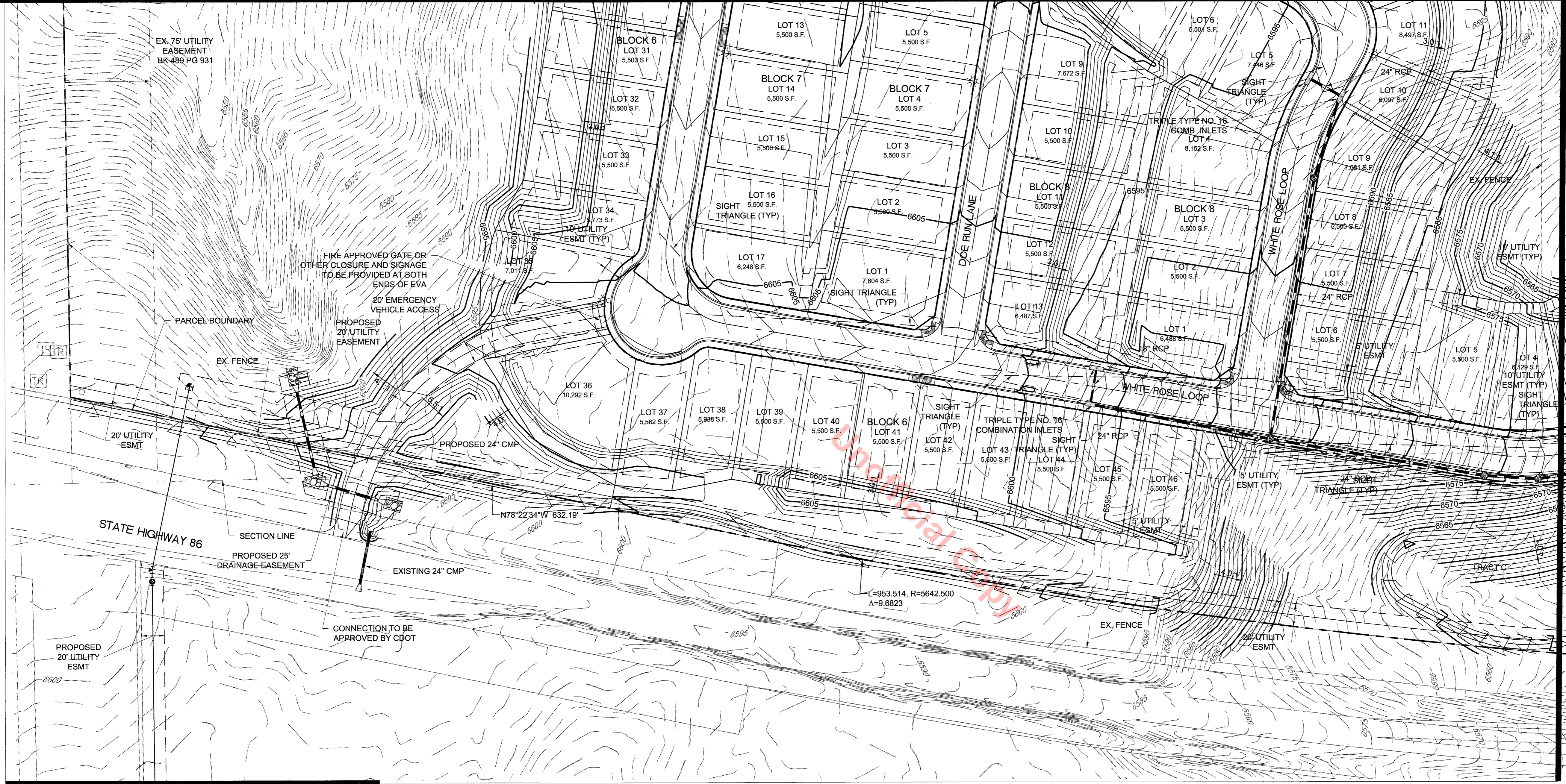
JOB NO.  
14-001

SHEET  
8 OF 22

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

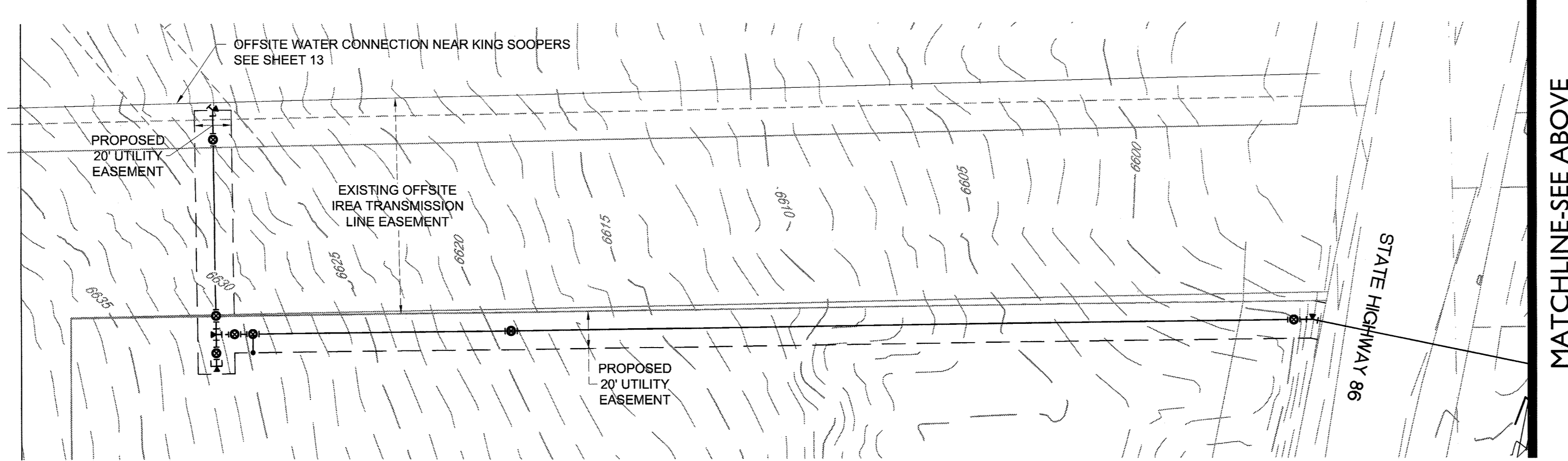
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 8



MATCHLINE-SEE SHEET 11

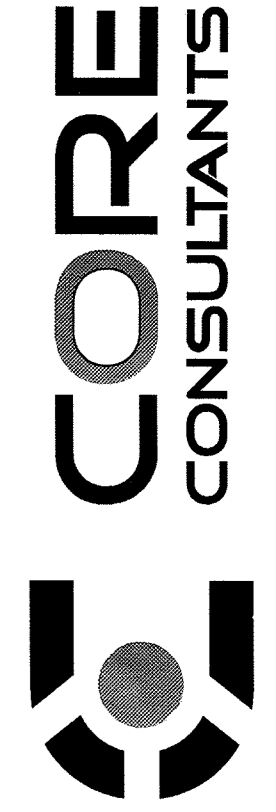
MATCHLINE-SEE BELOW



### LEGEND

- PROPOSED STORM DRAIN: MANHOLE and PIPE, INLET, FLARED END SECTION
- EXISTING STORM DRAIN: MANHOLE and PIPE, INLET, FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION

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DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL A SURVEYOR FOR AN ADVISANCE BEFORE YOU  
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATION (HORIZONTAL AND VERTICAL), THE EXISTING  
DEPTH, OR THE LOCATION OF ALL UTILITIES NEAR TO THE  
PERMITS OF ANY CONSTRUCTION ACTIVITIES.

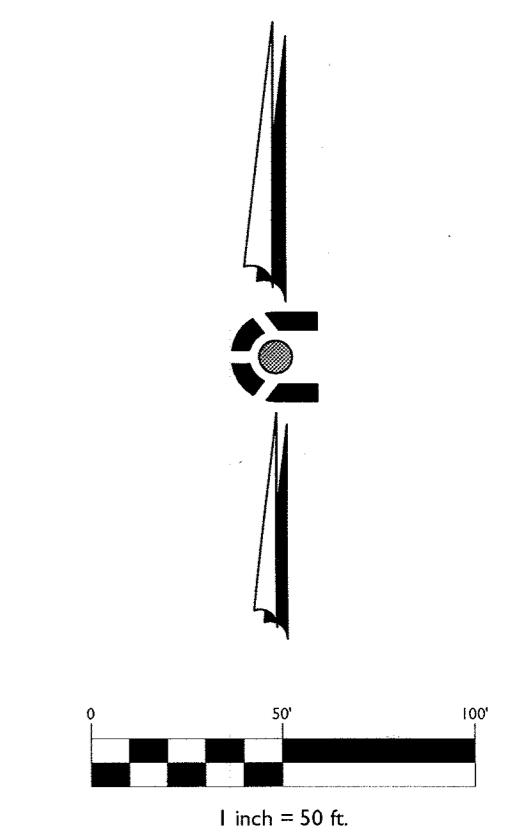


REVISIONS		DATE BY
#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	8/21/15 JPD
2	PER TOWN COMMENTS	9/24/15 JPD

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
GRADING PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: JPD

JOB NO.  
14-001  
SHEET  
9 OF 22



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

GRADING PLAN

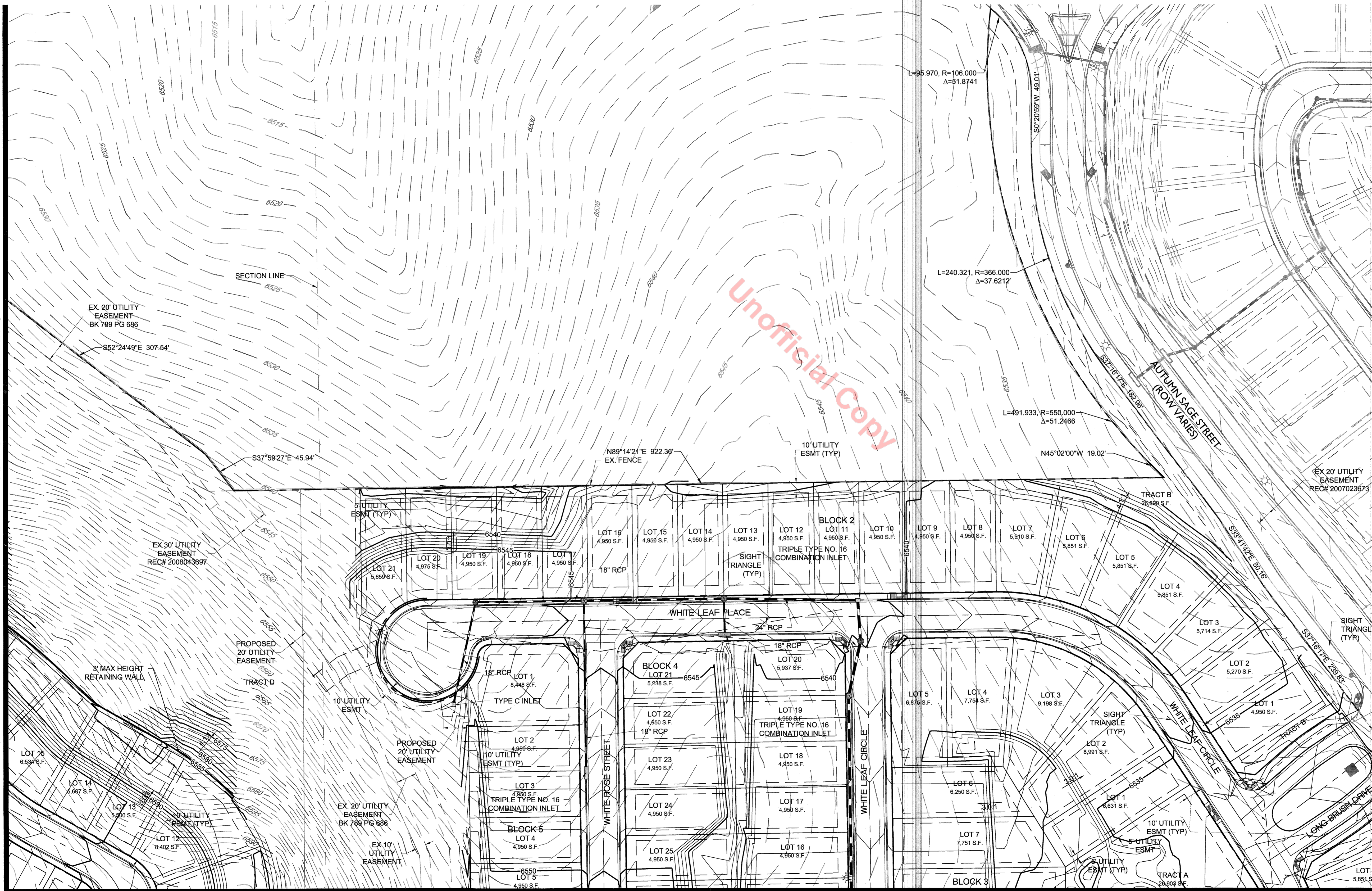
# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### LEGEND

- PROPOSED STORM DRAIN
  - MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- EXISTING STORM DRAIN
  - MANHOLE and PIPE
  - INLET
  - FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION

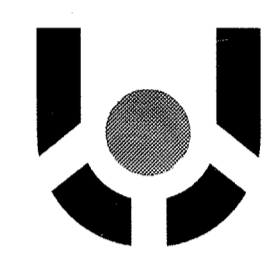
MATCHLINE-SEE SHEET 8



MATCHLINE-SEE SHEET 11

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

# CORE CONSULTANTS



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU  
CALL OR VISIT OUR WEBSITE FOR SCHEDULING OF  
OUR CONSULTING SERVICES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING  
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON  
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER,  
THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE  
EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO  
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.



REVISIONS	DATE	BY
1. PER TOWN COMMENTS	8/21/15	PID
2. PER TOWN COMMENTS	9/24/15	PID

## SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 GRADING PLAN

TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PID

JOB NO.  
14-001  
SHEET  
10 OF 22

1 inch = 50 ft.

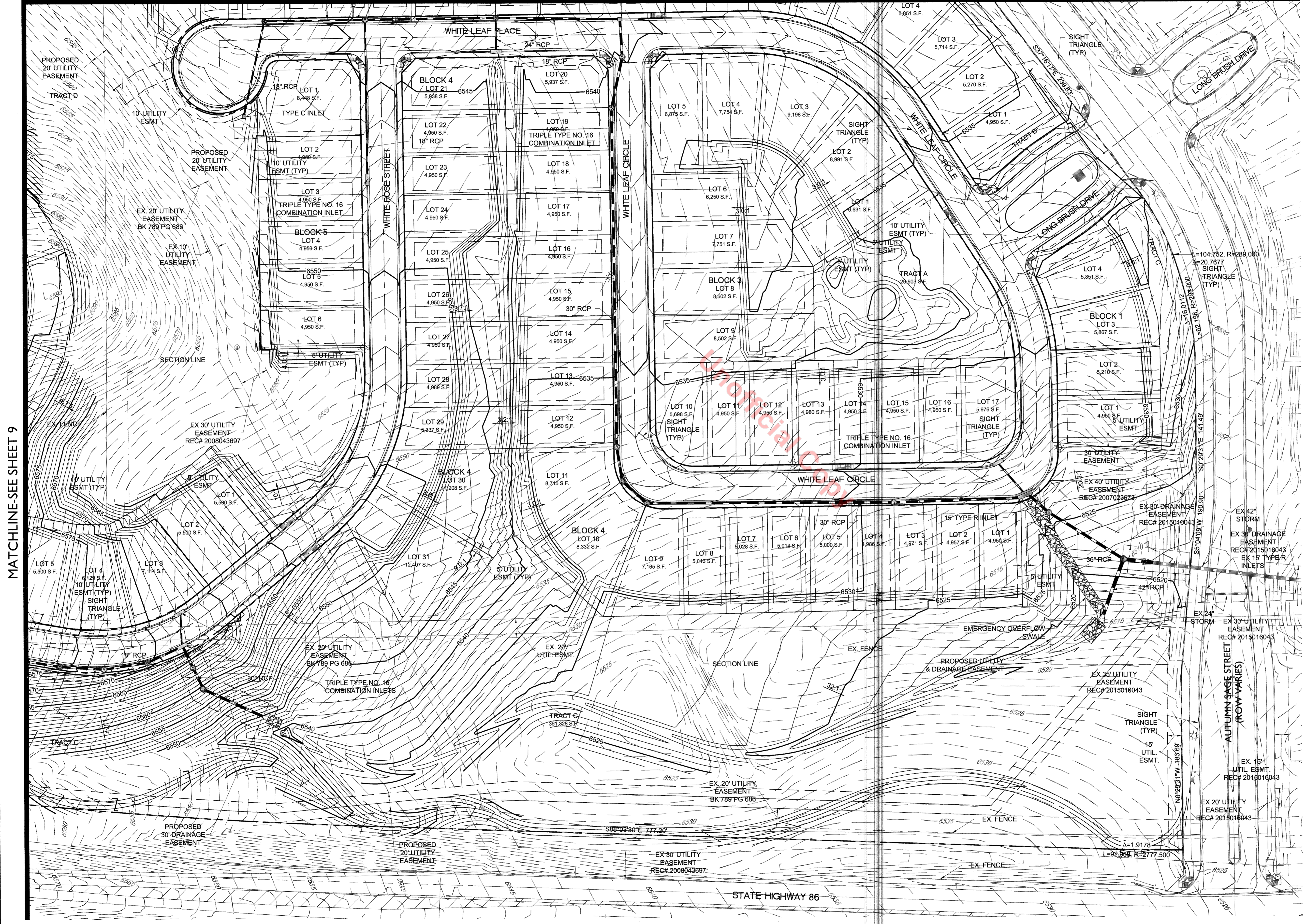
SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

GRADING PLAN

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

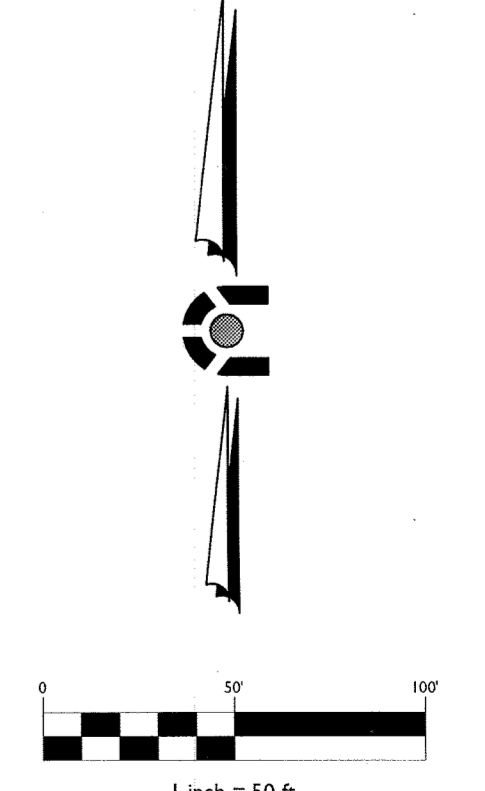
SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 10



### LEGEND

- PROPOSED STORM DRAIN: MANHOLE and PIPE, INLET, FLARED END SECTION
- EXISTING STORM DRAIN: MANHOLE and PIPE, INLET, FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- PROPOSED MAJOR CONTOUR (6360)
- PROPOSED MINOR CONTOUR (6340)
- EXISTING MAJOR CONTOUR (6360)
- EXISTING MINOR CONTOUR (6340)
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION (6530)

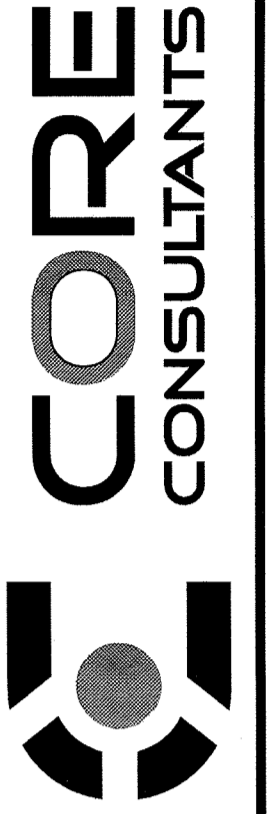


SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

GRADING PLAN

MATCHLINE-SEE SHEET 9

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DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.703.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU  
CALL OR VISIT OUR WEBSITE FOR THE LATEST  
DRAFTING AND DESIGN SERVICES. WE ARE  
HERE TO SERVE YOU. CONTACT US TODAY.  
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#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	8/21/15 PID
2	PER TOWN COMMENTS	9/24/15 PID

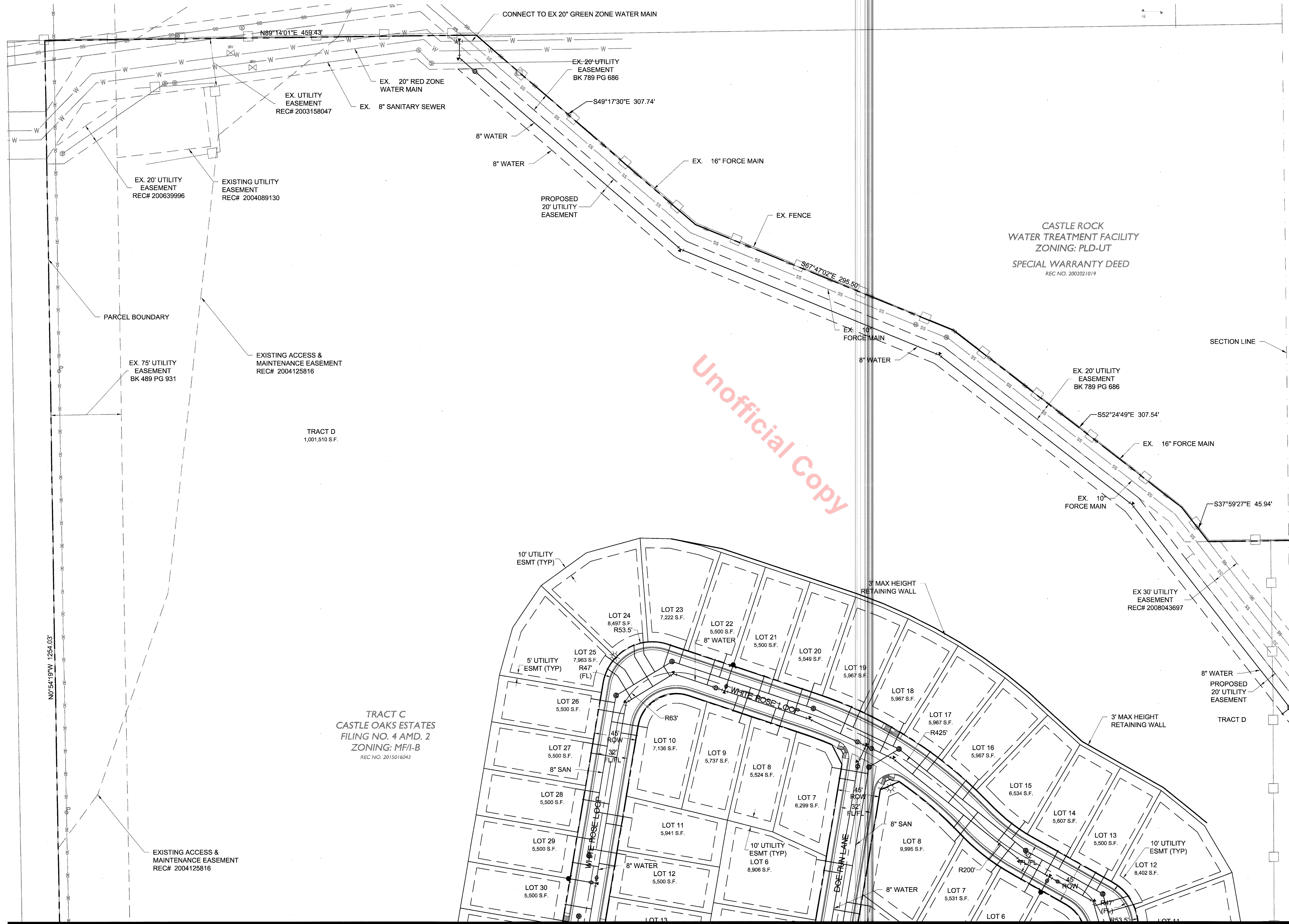
SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
GRADING PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PID

JOB NO.  
14-001  
SHEET  
11 OF 22

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**LEGEND:**

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE with MANHOLE
- PIPE with PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE with MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE with PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND and THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE and PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE and PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

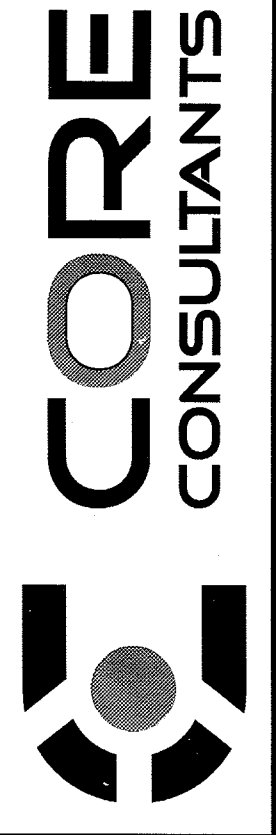
**NOTE:** \* LOTS MARKED WITH \* SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE. VARIATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE FLASHMENTS.

**LOT NOTES:**

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATER LINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK RED AND GREEN WATER PRESSURE ZONES.

MATCHLINE-SEE SHEET 14

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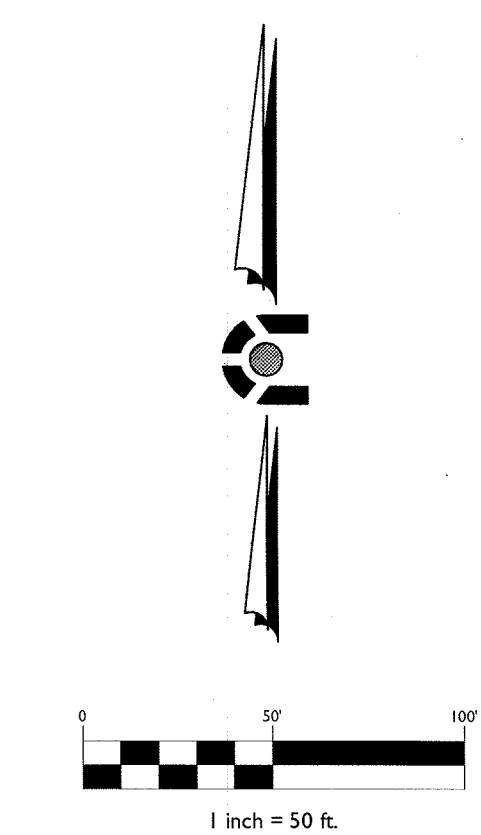
CALL A BUSINESS DAY IN ADVANCE BEFORE YOU DIG, GRAZE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS HAVE BEEN LOCATED BY THE CONTRACTOR TO THE PROPERTY. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	8/21/15 JID
2	PER TOWN COMMENTS	9/24/15 JID

**SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
UTILITY PLAN  
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: JID

JOB NO.  
14-001  
SHEET  
12 OF 22



MATCHLINE-SEE SHEET 13

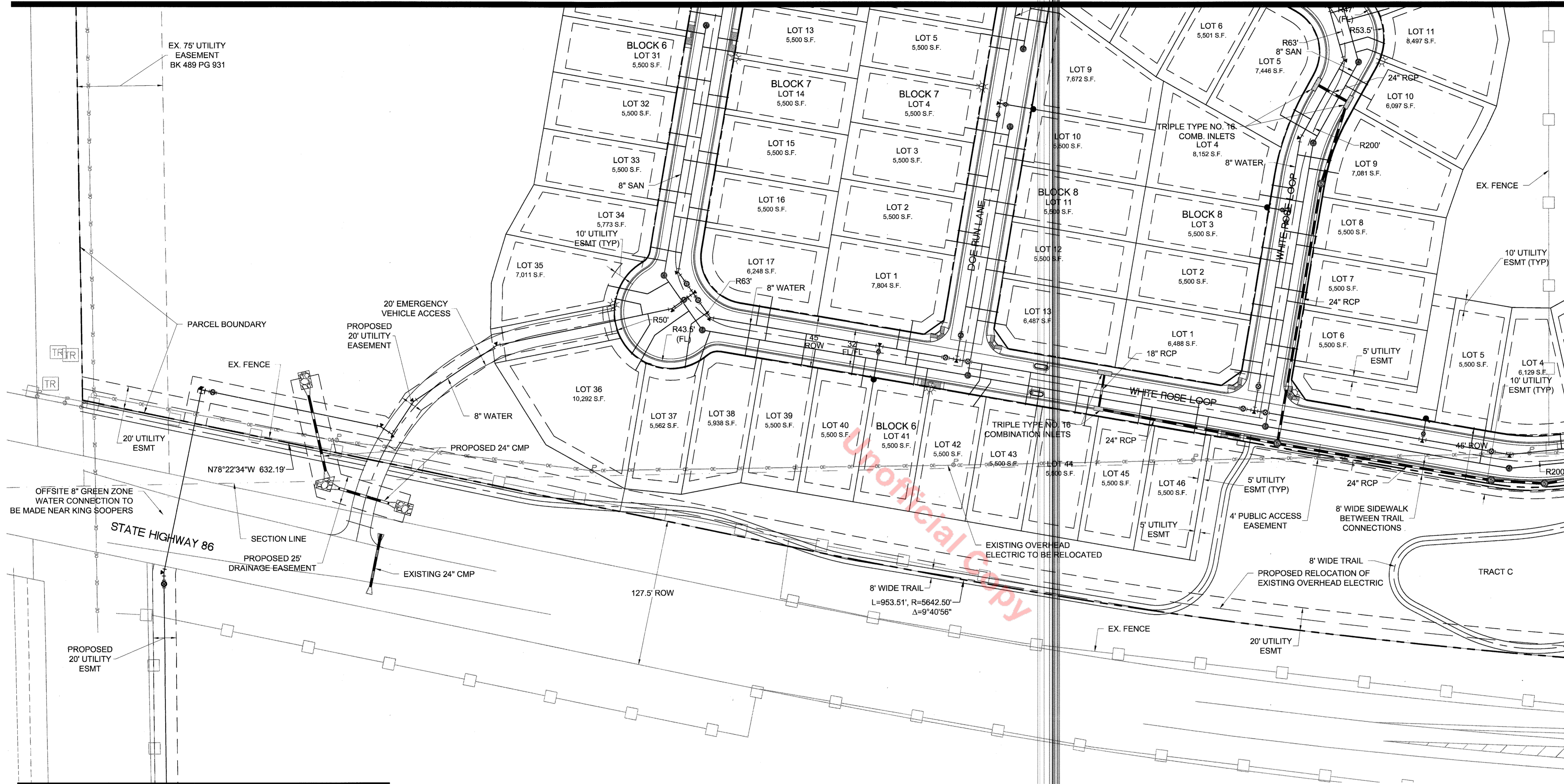
SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

UTILITY PLAN

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS STATE OF COLORADO

MATCHLINE-SEE SHEET 12



MATCHLINE-SEE SHEET 15

**LEGEND:**

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE with MANHOLE
- PIPE with PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE with MANHOLE
- WATER
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- RAW WATER LINE
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- PIPE with PLUG & B.O.
- WATER SERVICE
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- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE and PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE and PIPE
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- G GAS LINE
- UE UNDERGROUND ELECTRIC
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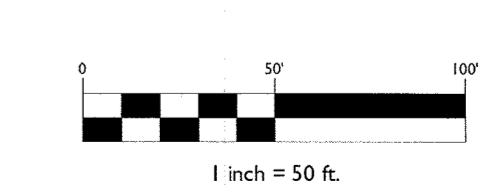
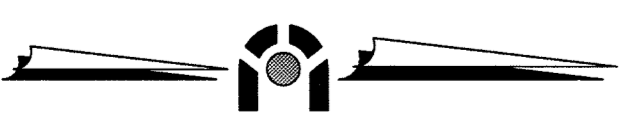
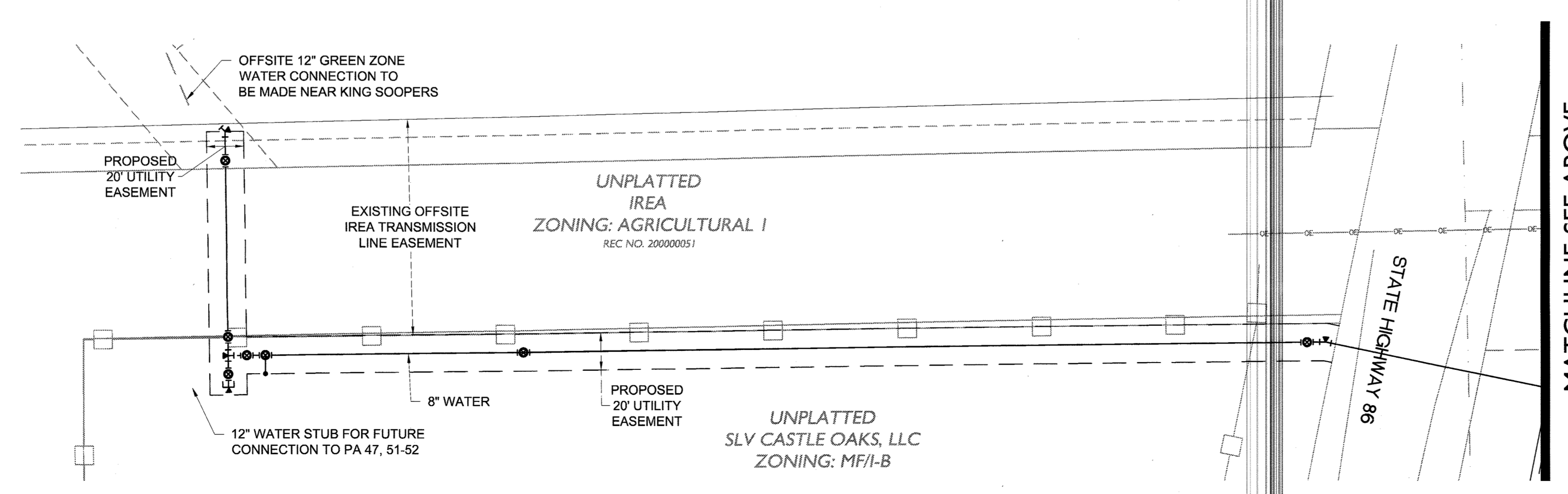
**NOTE:** ⚠

LOTS MARKED WITH \* SHALL HAVE NO SOLID OBJECT (INCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FINISHED GRADE OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CURB SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE FLASHMENTS.

**UTILITY NOTES:**

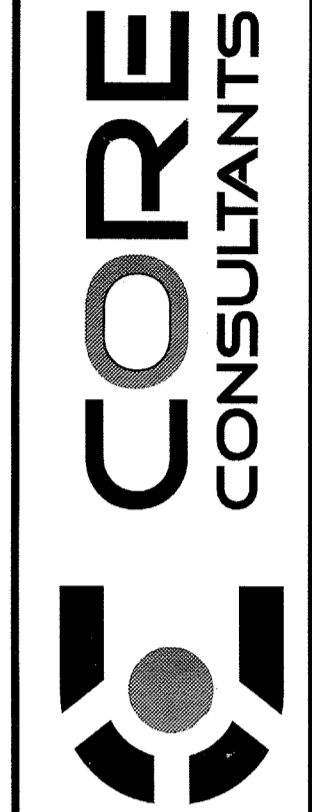
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MATCHLINE-SEE BELOW



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

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CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THE DRAWINGS HAVE BEEN LOCATED BY THE FIELD SURVEYOR AND CONTRACTOR TO THE BEST OF THEIR KNOWLEDGE AND BELIEF. HOWEVER, THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



#	DESCRIPTION	DATE BY
1.	PER TOWN COMMENTS	8/21/15 JID
2.	PER TOWN COMMENTS	9/24/15 JID

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
UTILITY PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASED: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: JID

JOB NO.  
14-001  
SHEET  
13 OF 22

UTILITY PLAN

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**LEGEND:**

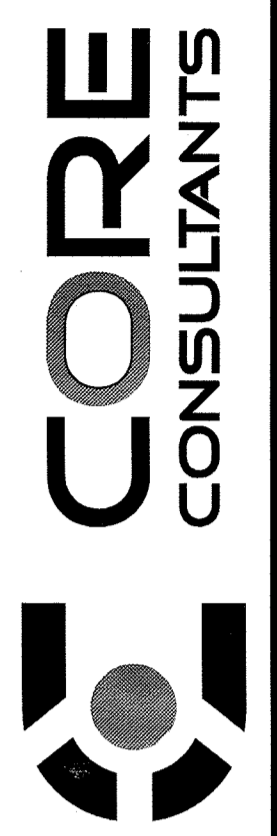
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- PIPE with PLUG
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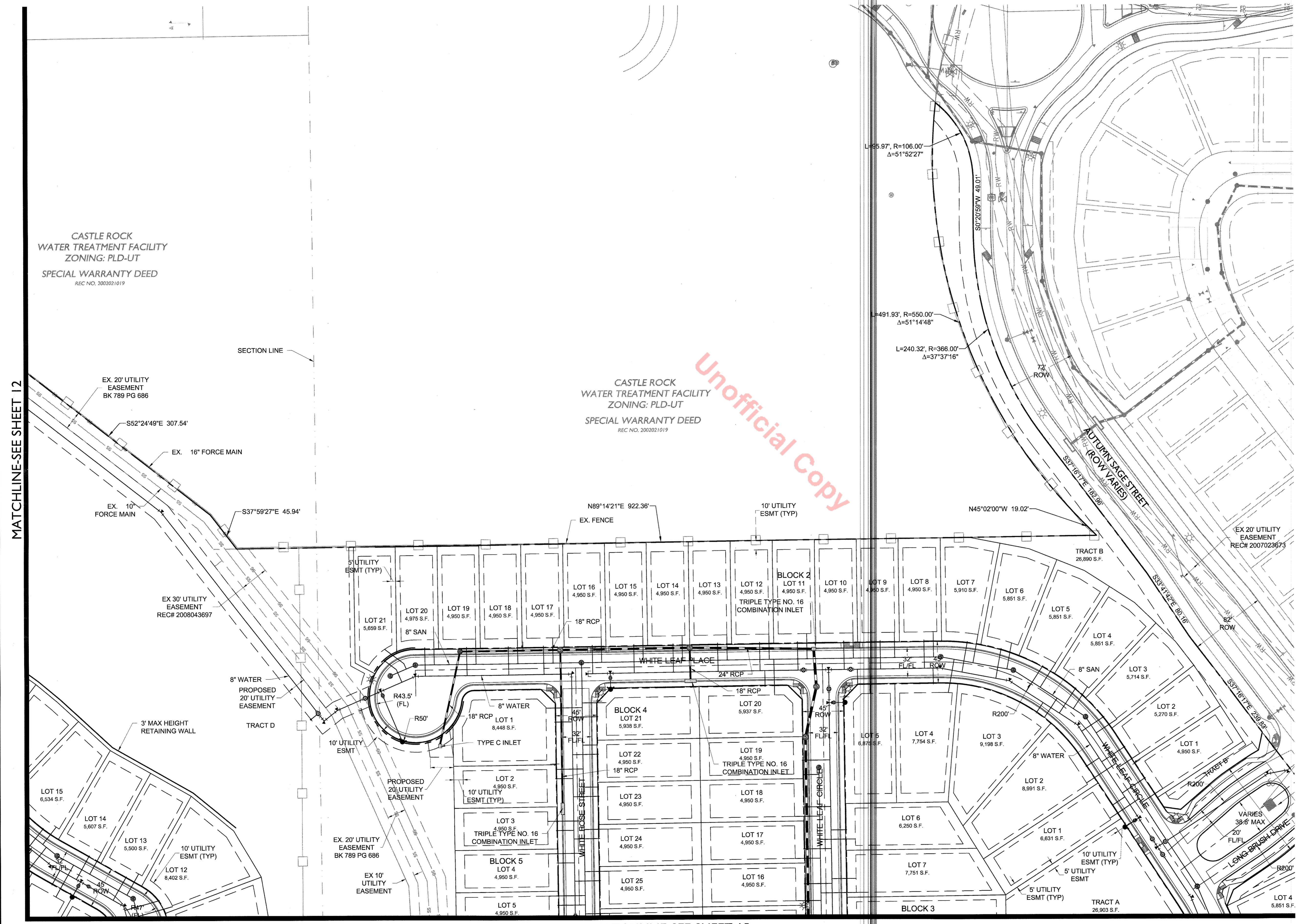
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY THE FIELD STAFF OF THE CONSULTANT. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



REVISIONS	
#	DESCRIPTION
1	PER TOWN COMMENTS
2	PER TOWN COMMENTS

**SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
UTILITY PLAN**  
TOWN OF CASTLE ROCK, COLORADO

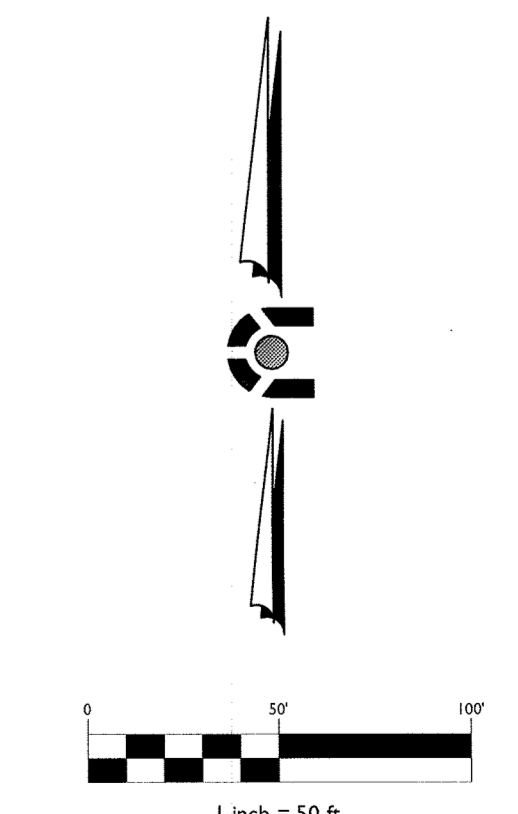
INITIAL PLAN RELEASE DATE:	7/14/2015
DESIGNED BY:	NIM
DRAWN BY:	JAE
CHECKED BY:	PID
JOB NO.	14-001
SHEET	14 OF 22



MATCHLINE-SEE SHEET 12

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MATCHLINE-SEE SHEET 15



SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

UTILITY PLAN

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

MATCHLINE-SEE SHEET 14

### LEGEND:

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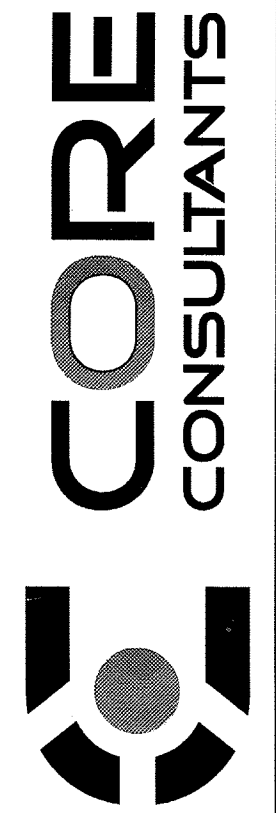
**NOTE:**

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### UTILITIES NOTES:

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Littleton, CO 80120



CALL SURVEYORS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY MARKING. THE LOCATION OF ALL UTILITIES SHOWN ON THESE DRAWINGS HAS BEEN LOCATED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER, THE RESPONSIBILITY OF THE USER TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

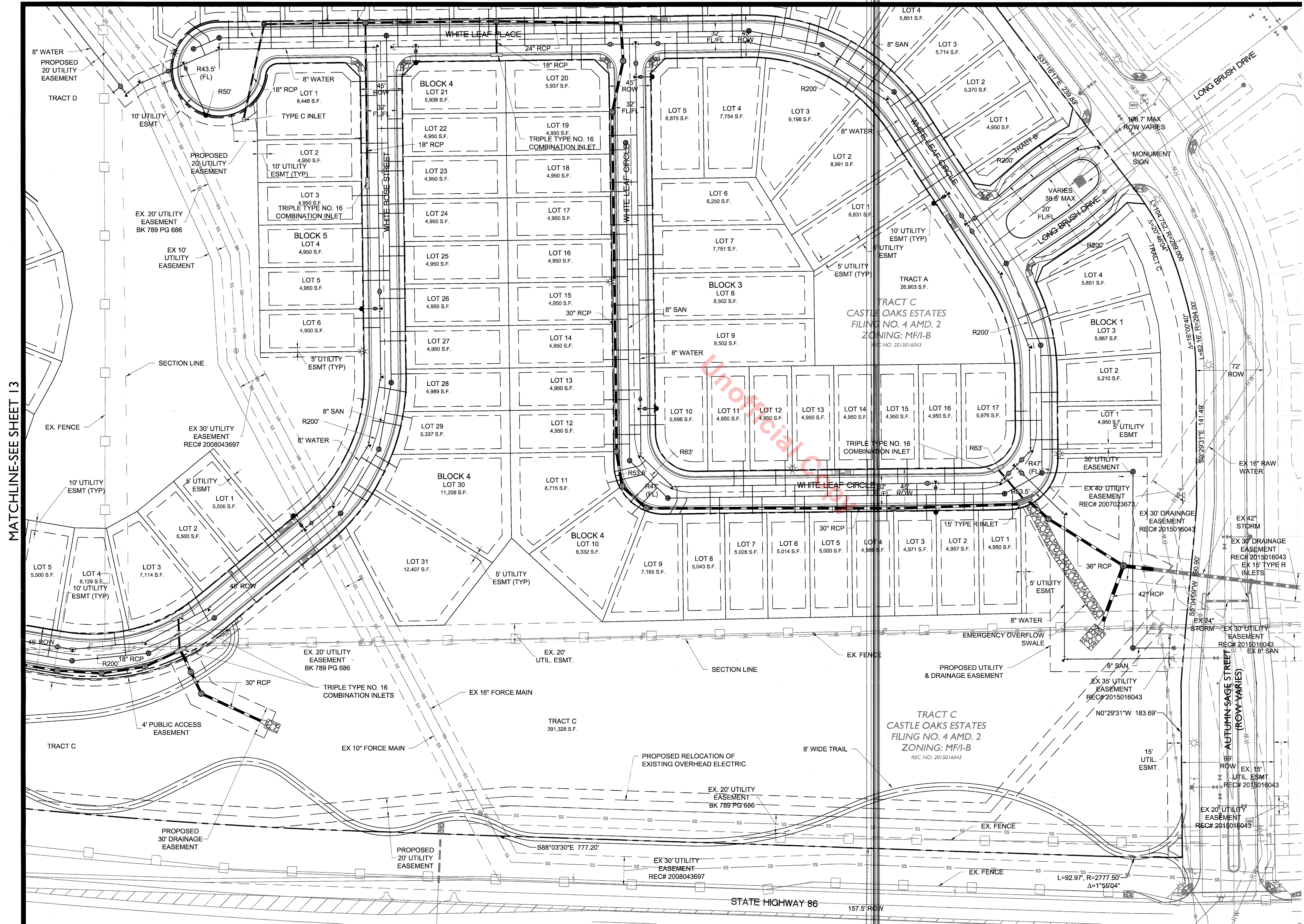


REVISIONS	DATE BY
# DESCRIPTION	
1. PER TOWN COMMENTS	8/21/15 JPD
2. PER TOWN COMMENTS	9/24/15 JPD

SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
UTILITY PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
RELEASE: 7/14/2015  
DESIGNED BY: NIM  
DRAWN BY: JAF  
CHECKED BY: JPD

JOB NO.  
14-001  
SHEET  
15 OF 22



MATCHLINE-SEE SHEET 13

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SITE DEVELOPMENT PLAN FOR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

UTILITY PLAN



# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE ARCHITECTURE:

pcs group inc. www.pcsgroupco.com  
#3, 8-180 Independence Plaza  
1007 14th Street, Denver CO 80265  
1 303.531.4905 - f 303.531.4908

### CONCEPTUAL PLANT SCHEDULE

**Registered** James Ivy  
**Professional**  
**Registration #** #741 (State of Colorado Landscape Architect)  
**Company Name** PCS Group, Inc.  
**Address** #3 B 180 Independence Plaza  
**Phone** 303-531-4905  
**Email** jim@pcsgroupco.com

**SITE TRIANGLE NOTE**  
ALL CANOPY TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A MINIMUM 8' ABOVE FLOWLINE TO MAINTAIN PROPER SIGHT DISTANCE

Irrigation (Drip, spray or rotor)	Plant Name (Scientific)	Plant Name (Common)	Planting Size	Root	Legend Abbrev.	Mature Size (H x W)	No. of Plants	Water Requirements (inches per month)	Water Use (Very Low, Low, Moderate, High)	Sq. Ft. of Zone (Turf only)	Percentage of Total Area	Sq. Ft. of Total Landscape Area
<b>DECIDUOUS TREES</b>												
DRIP	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BAZEL MAPLE	2" CAL	B & B	ABM	40' X 15'	4	2.0	LOW	n/a	n/a	n/a
DRIP	CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL	B & B	CS	50' X 40'	3	2.0	LOW	n/a	n/a	n/a
DRIP	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL	B & B	HAC	50' X 30'	11	2.0	LOW	n/a	n/a	n/a
DRIP	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	2" CAL	B & B	GS	45' X 50'	5	2.0	LOW	n/a	n/a	n/a
DRIP	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2" CAL	B & B	GI	45' X 40'	2	2.0	LOW	n/a	n/a	n/a
DRIP	GYMNOCADUS DIOICA	KENTUCKY COFFEE TREE	2" CAL	B & B	GK	45' X 50'	3	2.0	LOW	n/a	n/a	n/a
DRIP	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL	B & B	QB	50' X 50'	5	2.0	LOW	n/a	n/a	n/a
DRIP	QUERCUS MACROCARPA	BURR OAK	2" CAL	B & B	QM	70' X 70'	2	2.0	LOW	n/a	n/a	n/a
<b>EVERGREEN TREES</b>												
DRIP	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	6' HT	15 GAL	JS	15' X 8'	17	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	6' HT	15 GAL	WBJ	20' X 6'	17	1.0	LOW	n/a	n/a	n/a
DRIP	PINUS EDULIS	PINON PINE	6'-8' HT	B & B	PP	25' X 20'	3	1.0	VERY LOW	n/a	n/a	n/a
DRIP	PINUS FLEXILIS	LIMBER PINE	6' HT	B & B	LPN	70' X 25'	6	2.0	LOW	n/a	n/a	n/a
DRIP	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	6'-8' HT	B & B	VAN	25' X 15'	6	2.0	LOW	n/a	n/a	n/a
DRIP	PINUS HELDREICHII	BOSNIAN PINE	6'-8' HT	B & B	BPE	40' X 10'	2	2.0	LOW	n/a	n/a	n/a
DRIP	PINUS NIGRA	AUSTRIAN BLACK PINE	6'-8' HT	B & B	PN	50' X 30'	20	2.0	LOW	n/a	n/a	n/a
<b>ORNAMENTAL TREES</b>												
DRIP	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	6' CLUMP	B & B	AH	30' X 15'	16	2.5	MODERATE	n/a	n/a	n/a
<b>DECIDUOUS SHRUBS</b>												
DRIP	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY	5 GAL	CONT.	AG	20' X 12'	15	1.5	LOW	n/a	n/a	n/a
DRIP	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	MANZANITA	5 GAL	CONT.	AC	4' X 5'	4	1.0	VERY LOW	n/a	n/a	n/a
DRIP	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	5 GAL	CONT.	AP	1.5' X 5'	10	1.0	VERY LOW	n/a	n/a	n/a
DRIP	ARONIA FLORIBUNDA	RED CHOKEBERRY	5 GAL	CONT.	AR	10' X 5'	18	1.0	LOW	n/a	n/a	n/a
DRIP	CARYOPTERIS INCANA	COMMON BLUEBEARD SPIREA	5 GAL	CONT.	BSP	4' X 5'	26	1.0	LOW	n/a	n/a	n/a
DRIP	CHRYSOTHAMNUS NAUSEOSUS	RABBIT BRUSH	5 GAL	CONT.	RB	4' X 4'	44	1.5	LOW	n/a	n/a	n/a
DRIP	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	5 GAL	CONT.	CH	3' X 5'	17	1.0	LOW	n/a	n/a	n/a
DRIP	PHILADELPHUS MICROPHYLLUS 'LITTLE LEAF'	LITTLE LEAF MOCKORAGE	5 GAL	CONT.	PCH	4' X 6'	5	1.0	LOW	n/a	n/a	n/a
DRIP	POTENTILLA FRUTICOSA 'JACKMANII'	JACKMAN'S POTENTILLA	5 GAL	CONT.	PJ	3' X 4'	46	1.0	LOW	n/a	n/a	n/a
DRIP	PRUNUS BESSEYI	SAND CHERRY	5 GAL	CONT.	PB	8' X 8'	12	1.0	LOW	n/a	n/a	n/a
DRIP	PRUNUS BESSEYI 'PAMNEE BUTTES'	PAMNEE BUTTES SAND CHERRY	5 GAL	CONT.	SCH	18" X 5'	29	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	CONT.	RHU	3' X 8'	29	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL	CONT.	RT	4' X 5'	33	1.0	LOW	n/a	n/a	n/a
DRIP	RIBES AUREUM	GOLDEN CURRANT	5 GAL	CONT.	RG	4' X 6'	4	1.0	LOW	n/a	n/a	n/a
DRIP	ROSA MEDILAND SERIES 'FIRE'	FIRE MEDILAND ROSE	5 GAL	CONT.	FMR	2' X 4'	45	1.0	LOW	n/a	n/a	n/a
DRIP	ROSA MEDILAND SERIES 'WHITE'	WHITE MEDILAND ROSE	5 GAL	CONT.	RW	2' X 4'	22	1.0	LOW	n/a	n/a	n/a
DRIP	SHEPHERDIA ARGENTEA	SILVER BUFFALO BERRY	5 GAL	CONT.	SA	12' X 12'	7	1.0	VERY LOW	n/a	n/a	n/a
<b>EVERGREEN SHRUBS</b>												
DRIP	CYTISUS SCOPARIUS 'MOONLIGHT'	MOONLIGHT BROOM	5 GAL	CONT.	CSM	3' X 5'	37	1.0	LOW	n/a	n/a	n/a
DRIP	EPHEDRA EQUISSETINA	BLUEBERRY JOINT FIR	5 GAL	CONT.	EE	5' X 5'	50	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL	CONT.	JB	8" X 7"	14	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	5 GAL	CONT.	JH	1.5' X 6'	12	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL	CONT.	BUJ	2' X 6'	38	1.0	LOW	n/a	n/a	n/a
<b>GRASSES</b>												
DRIP	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	CONT.	CK	4.5' X 2'	81	1.0	LOW	n/a	n/a	n/a
DRIP	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	1 GAL	CONT.	PV	4' X 5'	17	1.5	MODERATE	n/a	n/a	n/a
DRIP	PANICUM VIRGATUM 'SUNBURST'	SWITCH GRASS 'SUNBURST'	1 GAL	CONT.	PV	4' X 3'	119	1.0	LOW	n/a	n/a	n/a
DRIP	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	1 GAL	CONT.	FG	3' X 3'	45	1.5	MODERATE	n/a	n/a	n/a
<b>PERENNIALS</b>												
DRIP	AGASTACHE X 'CORANADO RED'	ANISE HYSSOP	1 GAL	CONT.	AHC	2.5' X 3'	16	1.0	LOW	n/a	n/a	n/a
DRIP	PEROVSKIA TRIPLICIFOLIA	RUSSIAN SAGE	5 GAL	CONT.	PA	5' X 4'	62	1.0	LOW	n/a	n/a	n/a

### MULCH & GROUND COVER LEGEND

MULCH	QTY	BOTANICAL NAME	SOD/SEED	QTY	BOTANICAL NAME
	630 SF	CRUSHER FINES, TAN		476,056 SF	PERMANENT NATIVE MIX - NON-IRRIG PERMANENT DRILL SEED PER GESC DETAIL 17, RE: LDSCP NOTES
	21,863 SF	ROCK MULCH, 3/4" DIA 4" DEPTH, RE: LDSCP NOTES		10,931 SF	TURF, 'ENVIROTURF' TURF, 'ENVIROTURF'
	4,019 SF	ROCK MULCH, 4"-12" COBBLE 4" DEPTH, RE: LDSCP NOTES			
	7,136 SF	WOOD MULCH 4" DEPTH, RE: LDSCP NOTES			

### SEED/SOD MIXES

**IRRIGATED SOD**  
SPECIES/VARIETY  
TURF MASTER'S ENVIROTURF. CONTRACTOR SHALL SUBMIT TO THE TOWN OF CASTLE ROCK BEFORE INSTALLATION

### NON-IRRIGATED NATIVE SEED MIX

SPECIES/VARIETY	COMMON NAME/VARIETY	PLS/ACRE	% OF MIX
BIG BLUESTEM	KAW	1.1	10
YELLOW INDIAN GRASS	CHEYENNE	1.0	10
SWITCHGRASS	BLACKWELL	0.4	10
SIDEOATS GRAMA	VAUGHN	0.9	10
WESTERN WHEATGRASS	ARRIBA	1.6	10
BLUE GRAMA	HACHITA	0.3	10
THICKSPIKE SWHEATGRASS	CRITANA	1.0	10
PRAIRIE SANDREED	GOSHEN	0.7	10
GREEN NEEDLEGRASS	LOADORM	1.0	10
SLENDER WHEATGRASS	PRYOR	0.6	5
STREAMBANK WHEATGRASS	SODAR	0.6	5

APPLY AT A RATE OF 9.2 PLS. LBS. PER ACRE DRILLED

### CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES.

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

### COMPOSITE LANDSCAPE WATER USE RATING CHART

Landscape Zone	LWUR Rating
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

Irrig. Zone	Plant Name (Common)	App Rate (inches/month)	Zone (V.L., Mod., H.W)	% of Total Area	IA (Irrigated area in sq ft for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscape Zones in sq ft)	CLWUR (LWUR x IA/TA)
SPRAY	SOD MIX (ENVIROTURF)	3.0	MODERATE	0%	10,931	3.0	46,948	0.70
DRIP	CANOPY TREES (14")	2.0	LOW	0%	1,400	2.0		0.06
DRIP	EVERGREEN TREES (25")	2.0	LOW	0%	2,500	2.0		0.11
DRIP	SHRUB BED	2.0	LOW	0%	31,817	2.0		1.36
DRIP	PERENNIAL BED	3.0	MODERATE	0%	300	3.0		0.02

\* TREES IN NON-IRRIGATED NATIVE AREAS REQUIRING DRIP IRRIGATION

TOTAL OF THE CLWUR 2.24

### STREETSCAPE TABLE

STREET RIGHT OF WAY (NOT ADJACENT TO RESIDENTIAL LOTS)	*LENGTH	REQUIRED	PROVIDED
AUTUMN SAGE STREET	1,731 LF	TREES 43 SHRUBS 173	43 249

### LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE OF IMPROVED SITE
*GROSS IMPROVED SITE LANDSCAPE AREA	466,877	100%
CONCRETE TRAILS	5,908	1%
CRUSHER PATH	592	0%
NON-IRRIGATED SEED AREA (EXCLUDES IRRIGATED TREE AREAS)	412,831	88%
IRRIGATED SOD	11,829	3%
IRRIGATED NATIVE SEED MIX	0	0%
IRRIGATED TREE AREAS IN NON-IRRIGATED SEED	3,900	1%
IRRIGATED SHRUBS BEDS	31,817	7%
TOTAL	466,877	100%
TOTAL IRRIGATED LANDSCAPE AREA	47,546	10%
PLANT TOTALS		

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CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
3033 7035-4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

**CORE CONSULTANTS**

CALL 24 HOURS DAILY IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES. CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS OR DEPTHS. THE USER SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.

REVISIONS

#	DESCRIPTION	DATE BY
1	PER. TOWN COMMENTS	8/21/15 JWI
2	PER. TOWN COMMENTS	9/24/15 JWI

**SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2**  
LANDSCAPE NOTES  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PID

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 PROJECT# SDP15-0023

JOB NO. 14-001

SHEET 17 OF 22

LANDSCAPE NOTES

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

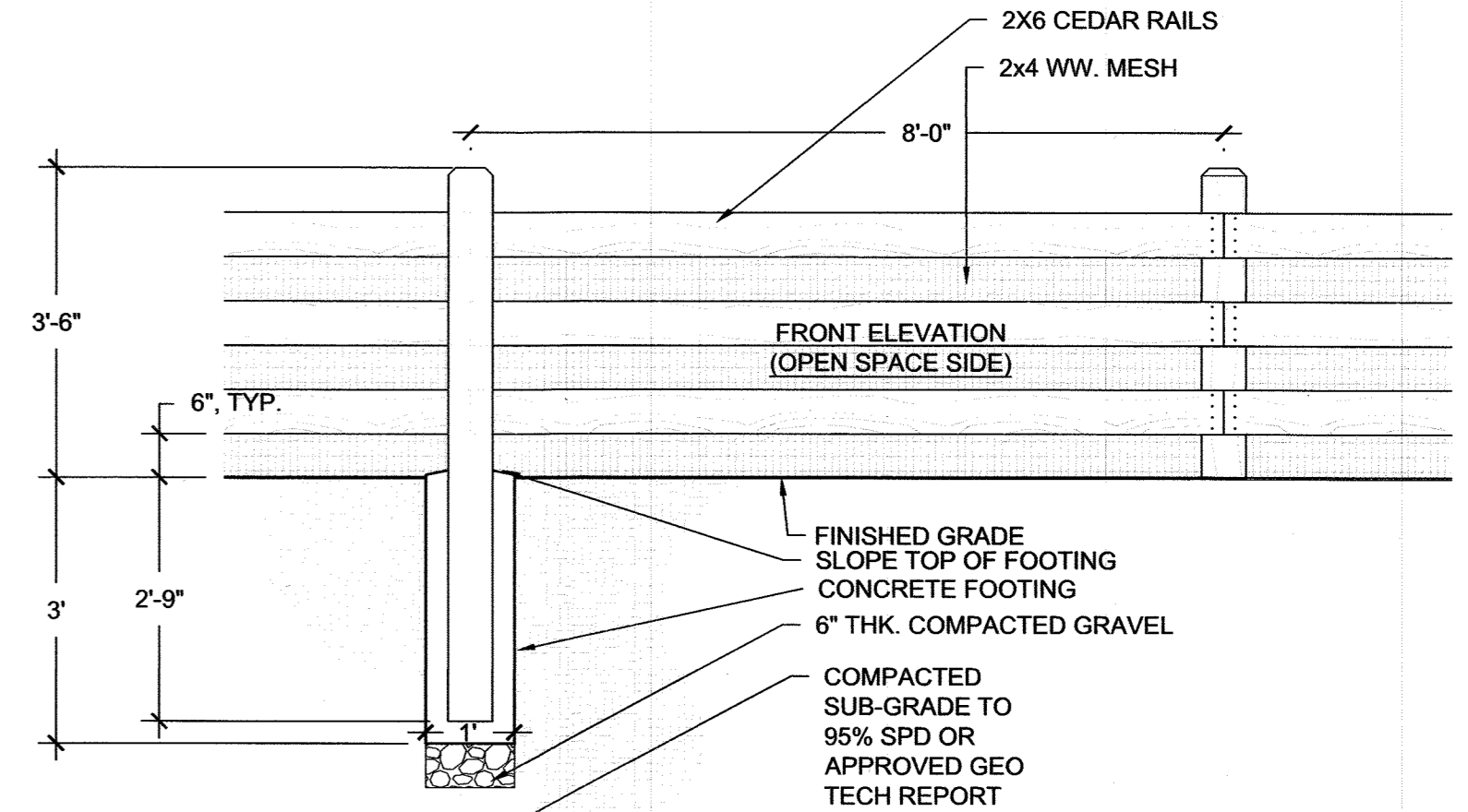
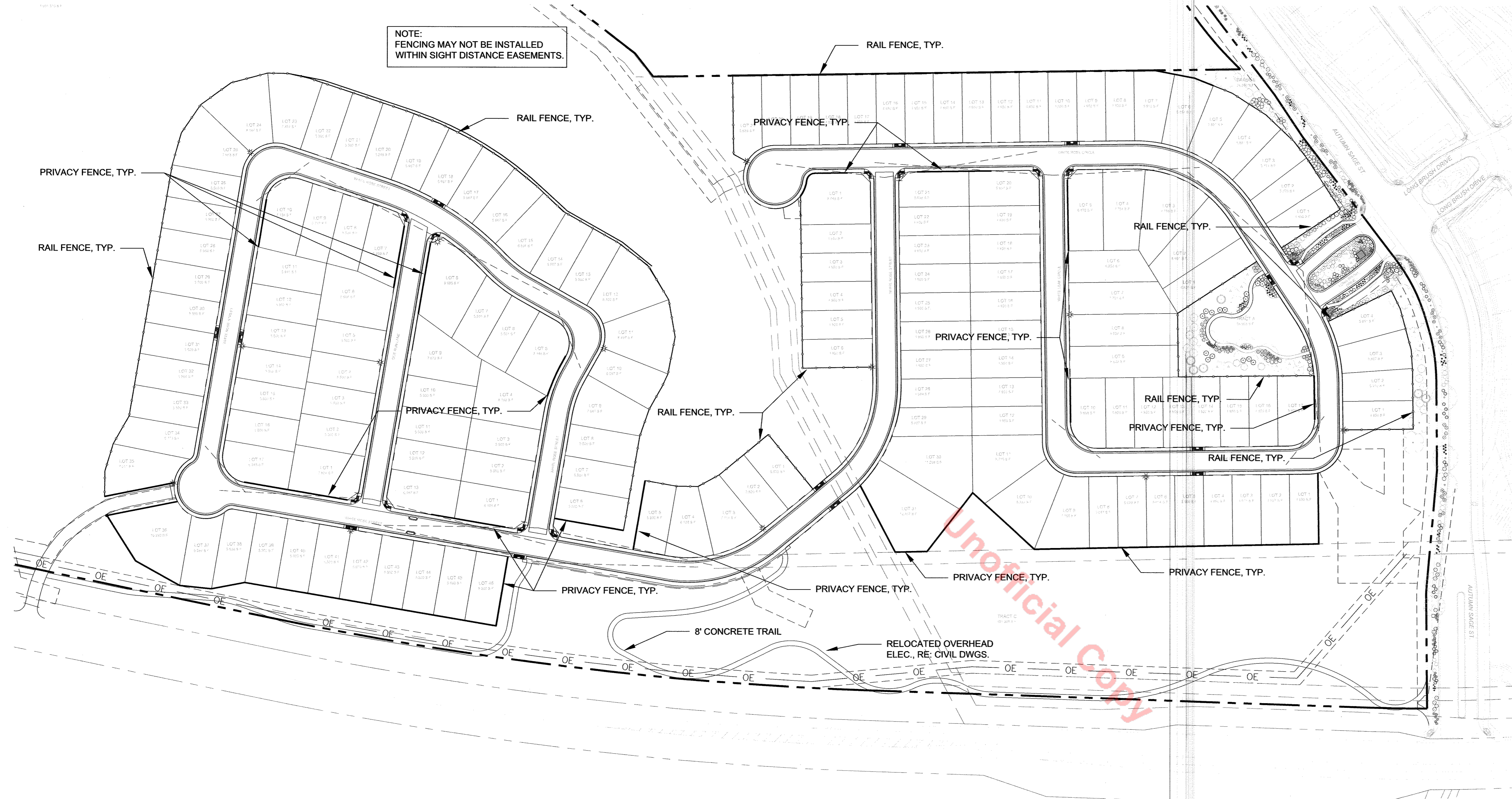
LANDSCAPE ARCHITECTURE: **JAMES IVY, RLA #741**  
DATE: 10/20/14

peoples creating spaces

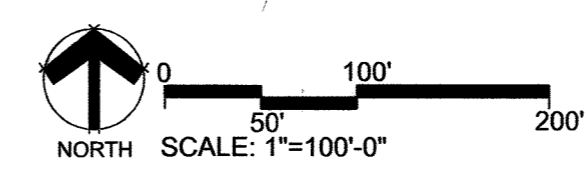
pcs group inc. www.pcsgroupco.com  
#3, 8-180 Independence plaza  
1007 16th street, denver co 80202  
1.303.531.4905 | 1.303.531.4908

COLORADO REGISTERED  
LANDSCAPE ARCHITECT  
James Ivy  
JAMES IVY, RLA #741  
DATE: 10/20/14

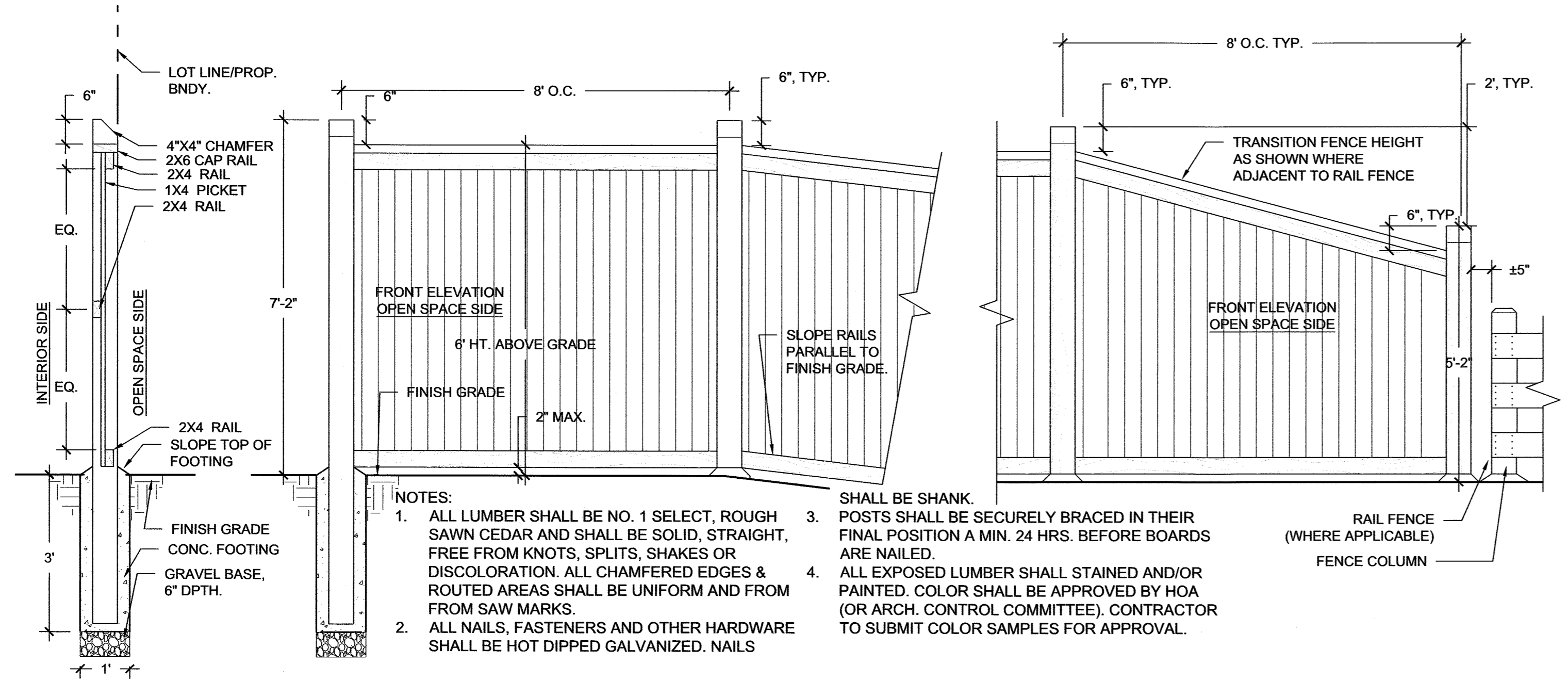
NOTE:  
FENCING MAY NOT BE INSTALLED  
WITHIN SIGHT DISTANCE EASEMENTS.



- NOTES:
- ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES OR DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FROM FROM SAW MARKS.
  - ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
  - POSTS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HRS. BEFORE BOARDS ARE NAILED.
  - ALL EXPOSED LUMBER SHALL BE STAINED. COLOR SHALL BE APPROVED BY HOA (OR ARCH. CONTROL COMMITTEE). CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVAL.



**1 RAIL FENCE** NOT TO SCALE



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**2 PRIVACY FENCE** NOT TO SCALE

CIVIL ENGINEERING  
 DEVELOPMENT CONSULTING  
 LAND SURVEYING  
 303.703.4444  
 1950 W. Littleton Blvd., Ste. 109  
 Littleton, CO 80120

**CORE**  
 CONSULTANTS

CALL A SURVEYOR TO ADVISE RESPECT TO THE LOCATION OF ANY UTILITIES. CALL THE UTILITY LOCATOR TO VERIFY THE LOCATION OF ANY UTILITIES. CALL THE UTILITY LOCATOR TO VERIFY THE LOCATION OF ANY UTILITIES. CALL THE UTILITY LOCATOR TO VERIFY THE LOCATION OF ANY UTILITIES.

REVISIONS	DATE	BY
1. PER TOWN COMMENTS	8/21/15	JIV
2. PER TOWN COMMENTS	9/24/15	JIV

**SITE DEVELOPMENT PLAN FOR**  
 TERRAIN FILING NO. 2  
 OVERALL LANDSCAPE, FENCING & TRAIL PLAN  
 TOWN OF CASTLE ROCK, COLORADO

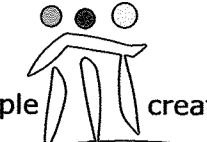
INITIAL PLAN RELEASE: 7/14/2015  
 DESIGNED BY: JIV  
 DRAWN BY: JIV  
 CHECKED BY: JIV

SITE DEVELOPMENT PLAN FOR  
 TERRAIN FILING NO. 2  
 PROJECT# SDP15-0023

JOB NO. 14-001  
 SHEET 18 OF 22

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE ARCHITECTURE:  
  
 people creating spaces  
 pcs group inc. www.pcsgruopco.com  
 #3, 8-180 Independence plaza  
 1007 14th street, denver, co 80265  
 1.303.531.4905, f.303.531.4908

COLORADO REGISTERED  
 LANDSCAPE ARCHITECT  
 James W. Long  
 JAMES IVY, RLA #741  
 DATE: 7/25/2014

### SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE/CROP EDGER		STEEL EDGER
	R.O.W./PROP. BOUNDARY		VEGETATION TO REMAIN
	LIMIT OF LANDSCAPE WORK		TREE/VEG PROTECTION

### PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
HAC	COMMON HACKBERRY
GI	IMPERIAL HONEYLOCUST
GK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
VAN	VANDERWOLF'S PYRAMID PINE
WBJ	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE

DECIDUOUS SHRUBS	COMMON NAME
BSP	COMMON BLUEBEARD SPIREA
FMR	FIRE MEIDLAND ROSE
RG	GOLDEN CURRANT
RHU	GRO-LOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
PJO	LITTLELEAF MOCKORAGE
AC	MANZANITA
AP	PANCHITO MANZANITA
SCH	PANWEE BUTTES SAND CHERRY
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PB	SAND CHERRY
SA	SILVER BUFFALOBERRY
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
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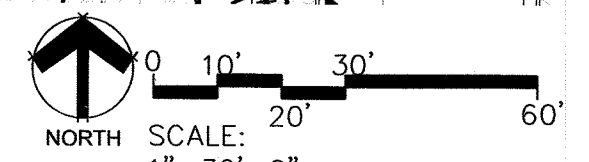
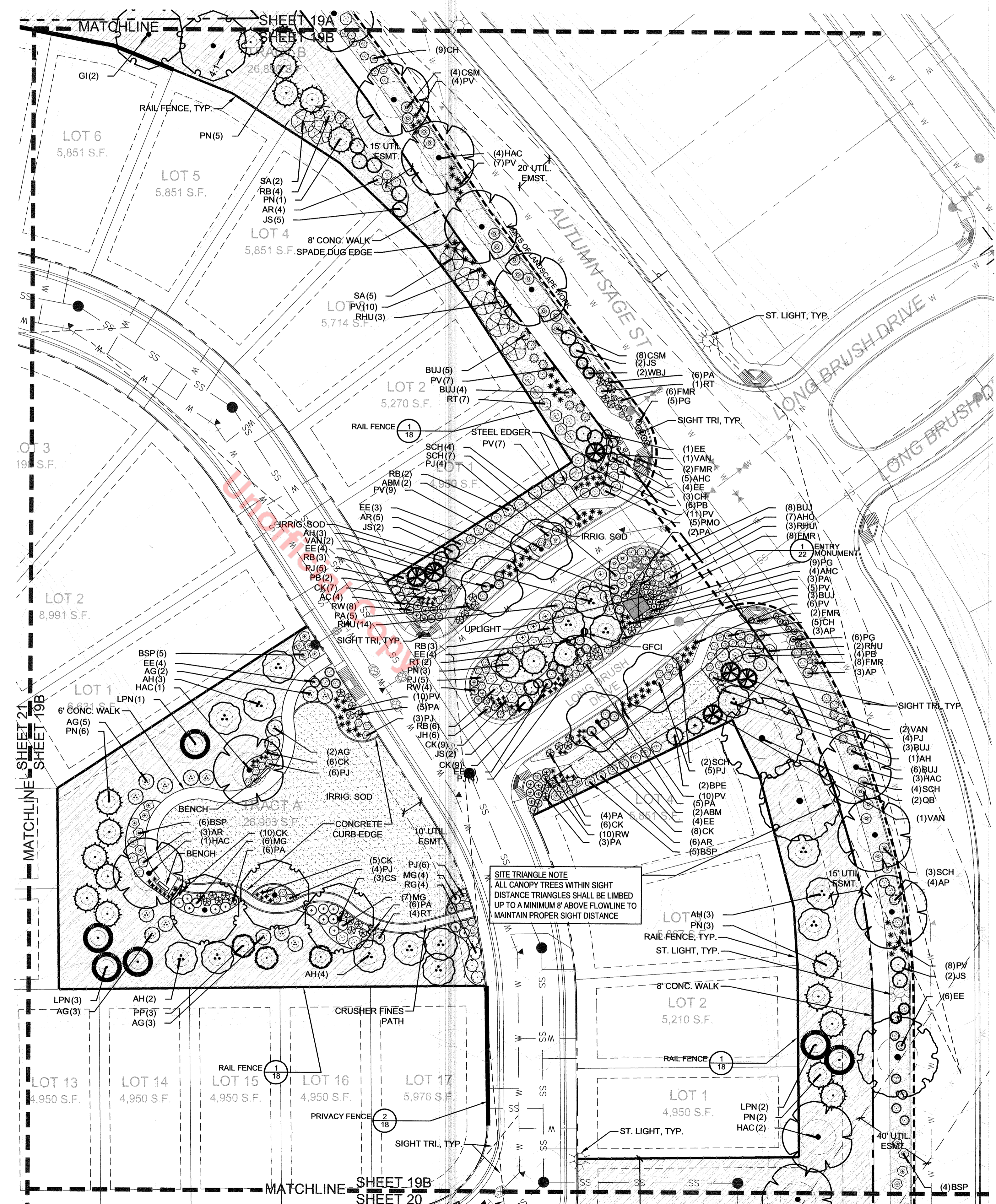
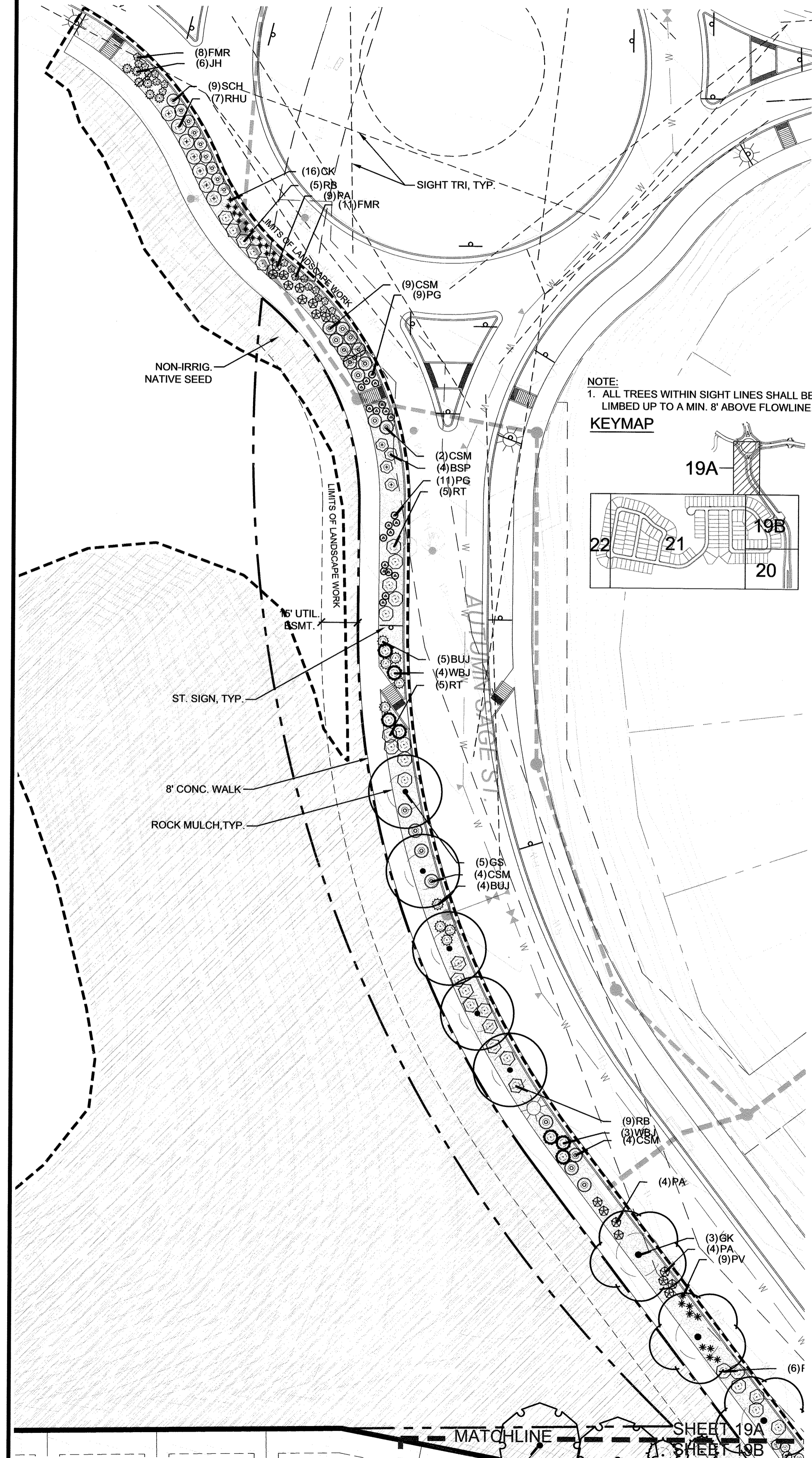
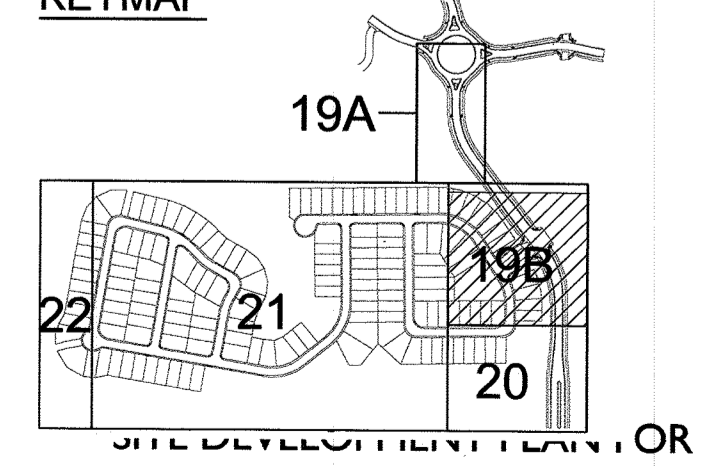
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PG	FOUNTAIN GRASS
MG	MAIDEN GRASS
PV	SWITCH GRASS 'SUNBURST'

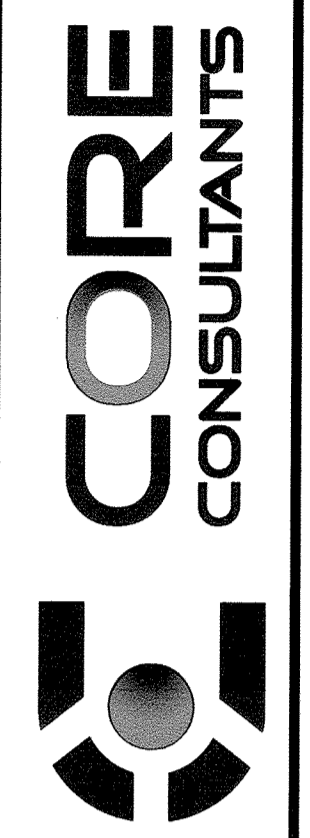
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP

MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	TURF, 'ENVIROTURF'

NOTE:  
 1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



CIVIL ENGINEERING  
 DEVELOPMENT CONSULTING  
 LAND SURVEYING  
 303.703.4444  
 1950 W. Littleton Blvd., Ste. 109  
 Littleton, CO 80120



CALL US BEFORE YOU ADVANCE BEFORE YOU  
 GO TO GRASS AND SOFTEN UP THE SOFTENING OF  
 GO UNDERGROUND MEMBER UTILITIES.  
 Call where you dig.  
 811  
 Know what's below.  
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
 LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING  
 LOCATIONS ARE SHOWN FOR INFORMATION. IT IS HOWEVER  
 FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER  
 THE RESPONSIBILITY OF ALL UTILITIES TO VERIFY  
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 CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

### REVISIONS

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	8/21/15 JVI
2	PER TOWN COMMENTS	9/24/15 JVI

### SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 LANDSCAPE PLAN

TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
 RELEASE: 7/14/2015  
 DESIGNED BY: NIM  
 DRAWN BY: JAF  
 CHECKED BY: PID

JOB NO.  
14-001

SHEET  
19 OF 22

LANDSCAPE PLAN

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE ARCHITECTURE:  
people creating spaces  
pcs group inc. www.pcsgroupco.com  
#3, 8-180 Independence place  
1007 14th street, denver co 80265  
1.303.531.4905 | 1.303.531.4908

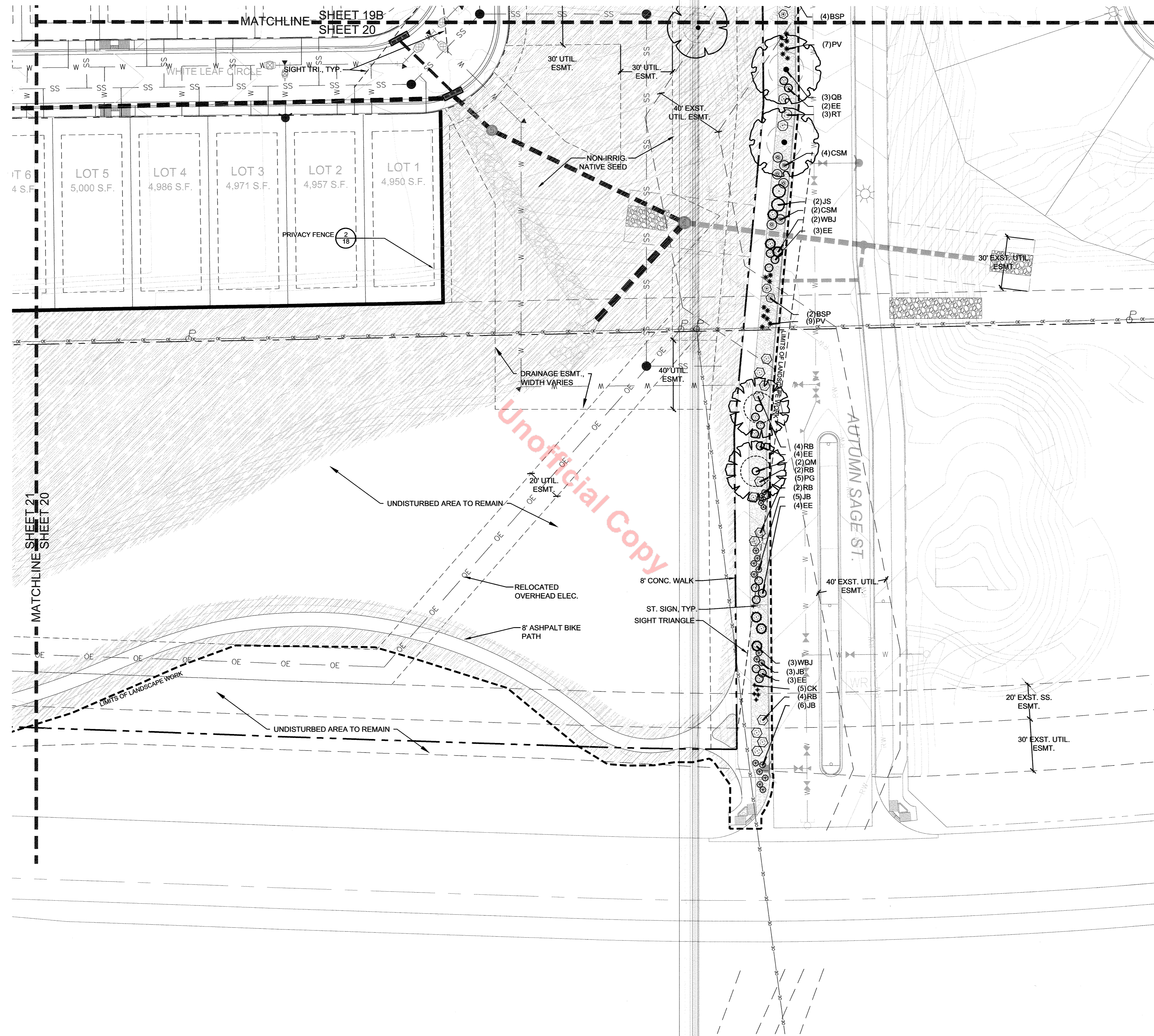
COLORADO REGISTERED  
LANDSCAPE ARCHITECT  
James IV, RLA #741  
DATE: 7/2/2014

### SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT		STEEL EDGER
	EDGER		EXISTING VEGETATION TO REMAIN
	R.O.W./PROP BOUNDARY		LIMIT OF LANDSCAPE WORK
	TREE/VEG PROTECTION		

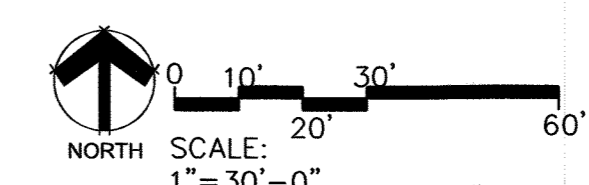
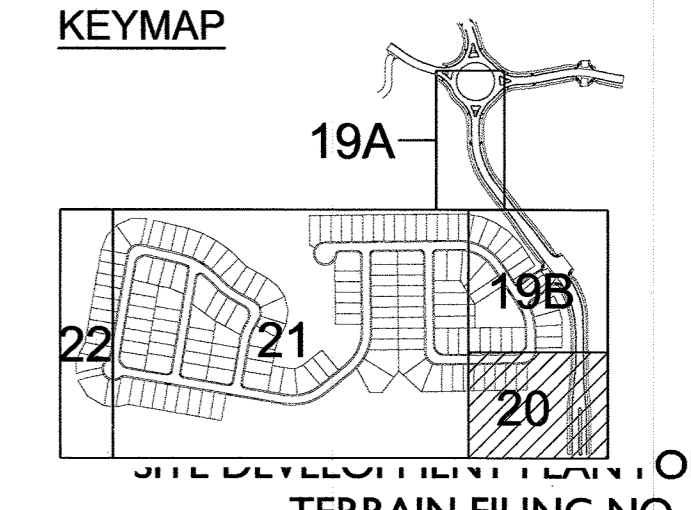
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FMO	LITTLELEAF MOCKORAGE
AC	MANZANITA
AP	PANCHITO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PB	SAND CHERRY
SA	SILVER BUFFALOBERRY
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
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<b>SOD/SEED</b>	<b>COMMON NAME</b>
	PERMANENT NATIVE MIX - NON-IRRIG
	TURF, 'ENVIROTURF'



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NOTE:  
1. ALL TREES USING TREE LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



OR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023  
LANDSCAPE PLAN

CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING  
303.708.4444  
1950 W. Littleton Blvd., Ste. 109  
Littleton, CO 80120

**CORE**  
CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CALL 24 HOURS BEFORE YOU UNDERGROUND UTILITIES.

CALL 811 BEFORE YOU DIG.

REVISIONS	DATE	BY
1. PER. TOWN COMMENTS	8/21/15	JW
2. PER. TOWN COMMENTS	9/24/15	JW

**SITE DEVELOPMENT PLAN FOR**  
TERRAIN FILING NO. 2  
LANDSCAPE PLAN  
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 7/14/2015  
DESIGNED BY: NJM  
DRAWN BY: JAF  
CHECKED BY: PD

JOB NO. 14-001  
SHEET 20 OF 22

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE ARCHITECTURE:  
people creating spaces  
pcs group inc. www.pcsgroupco.com  
#3, 8-180 Independence plaza  
1007 16th street, denver, co 80265  
1.303.531.4905, 1.303.531.4908

COLORADO REGISTERED  
LANDSCAPE ARCHITECT  
James IV, RLA #741  
DATE: 7/25/2014

### SYMBOL LEGEND

DECIDUOUS TREES	DECIDUOUS SHRUBS
EVERGREEN TREES	EVERGREEN SHRUBS
ORNAMENTAL TREES	ORNAMENTAL GRASSES & PERENNIALS
SPADE CUT EDGER	STEEL EDGER
R.O.W./PROP BOUNDARY	EXISTING VEGETATION TO REMAIN
LIMIT OF LANDSCAPE WORK	TREE/VEG PROTECTION

### PLANT PALETTE

COMMON NAME	COMMON NAME
DECIDUOUS TREES	AUTUMN BLAZE MAPLE
AEM	BURR OAK
QM	COMMON HACKBERRY
HAC	IMPERIAL HONEYLOCUST
GI	KENTUCKY COFFEE TREE
GK	NORTHERN CATALPA
CS	SHADEMASTER LOCUST
GS	SWAMP WHITE OAK
QB	

EVERGREEN TREES	AUSTRIAN BLACK PINE
PN	BOSNIAN PINE
BPE	LIMBER PINE
LPN	PINON PINE
PP	ROCKY MOUNTAIN JUNIPER
JS	VANDERWOLF'S PYRAMID PINE
VAN	WICHITA BLUE JUNIPER
WBJ	

ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE

DECIDUOUS SHRUBS	COMMON NAME
BSP	COMMON BLUEBEARD SPIREA
FMR	FIRE MEDILAND ROSE
RG	GOLDEN CURRANT
RHU	GRO-LOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
PMO	LITTLELEAF MOCKORAGE
AC	MANZANITA
AP	PANCHITO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PB	SAND CHERRY
SA	SILVER BUFFALO BERRY
RT	THREE LEAF SUMAC
RW	WHITE MEDILAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY

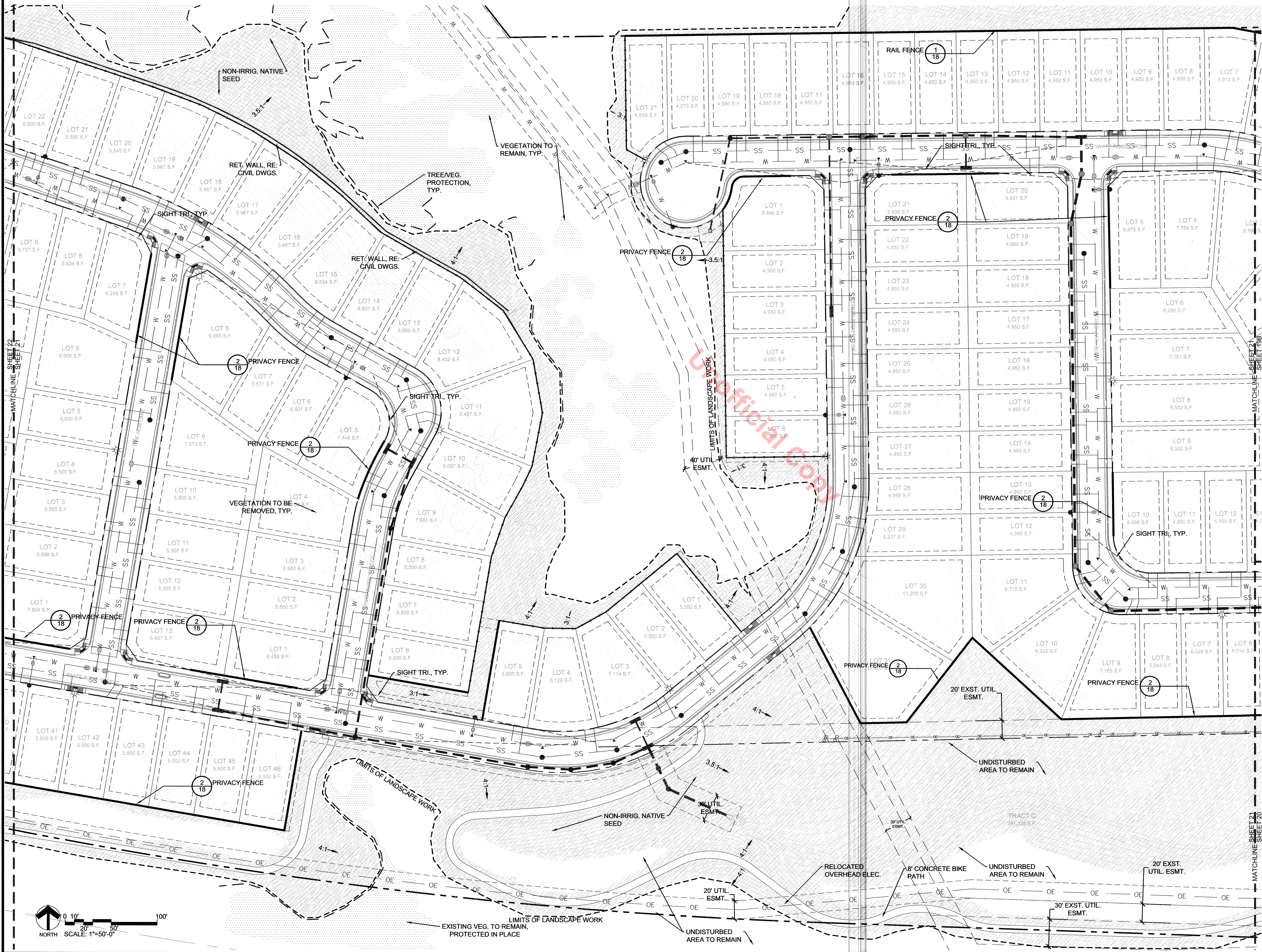
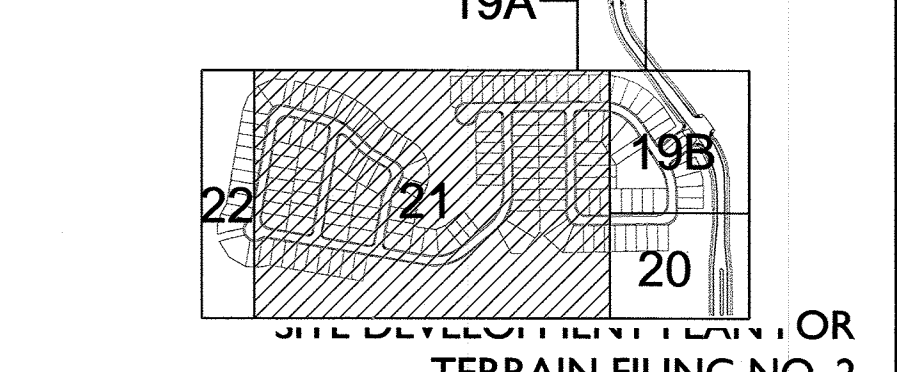
EVERGREEN SHRUBS	COMMON NAME
JB	BLUE CHIP JUNIPER
EE	BLEUSTEM JOINT FIR
BUJ	BUFFALO JUNIPER
JH	HUGHES JUNIPER
CSM	MOONLIGHT BROOM

GRASSES	COMMON NAME
CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
MG	MAIDEN GRASS
PV	SWITCH GRASS 'SUNBURST'

PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP

MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH

SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	TURF, 'ENVIROTURF'



CIVIL ENGINEERING  
DEVELOPMENT CONSULTING  
LAND SURVEYING

# CORE CONSULTANTS

1950 W. LITTLETON BLVD., Ste. 109  
LITTLETON, CO 80120

811

REVISIONS	
#	DESCRIPTION
1	PER. TOWN COMMENTS
2	PER. TOWN COMMENTS

### SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2 LANDSCAPE PLAN

TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE:	7/14/2015
DESIGNED BY:	JAF
DRAWN BY:	JAF
CHECKED BY:	FD

OR  
TERRAIN FILING NO. 2  
PROJECT# SDP15-0023

LANDSCAPE PLAN

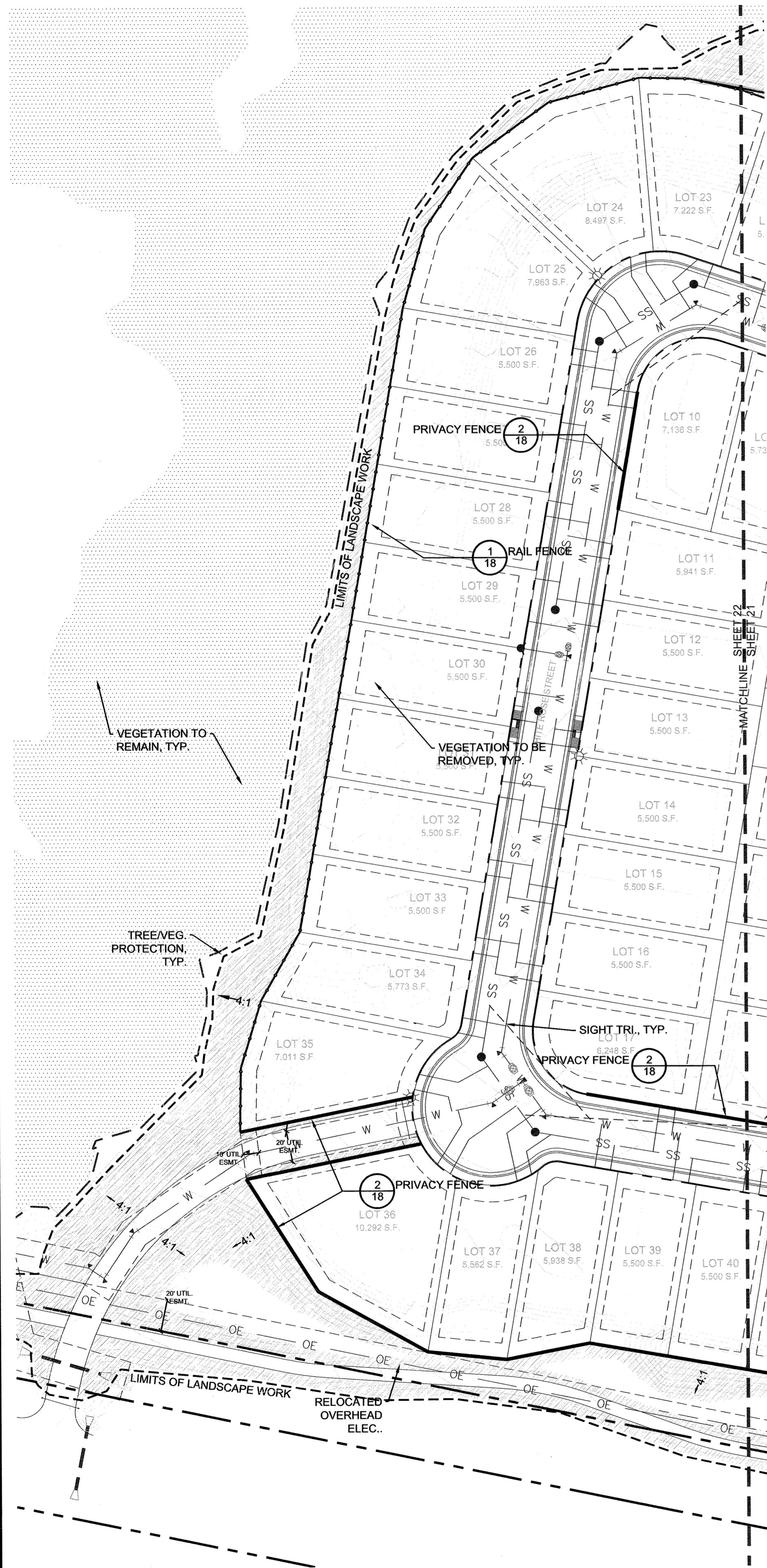
SHEET 21 OF 22

# SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 2

SITUATED IN SECTIONS 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

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COLORADO REGISTERED  
LANDSCAPE ARCHITECT  
*James Ivy*  
JAMES IVY, RLA #741  
DATE: 7/26/14



### SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		STEEL EDGER
	R.O.W./PROP BOUNDARY		EXISTING VEGETATION TO REMAIN
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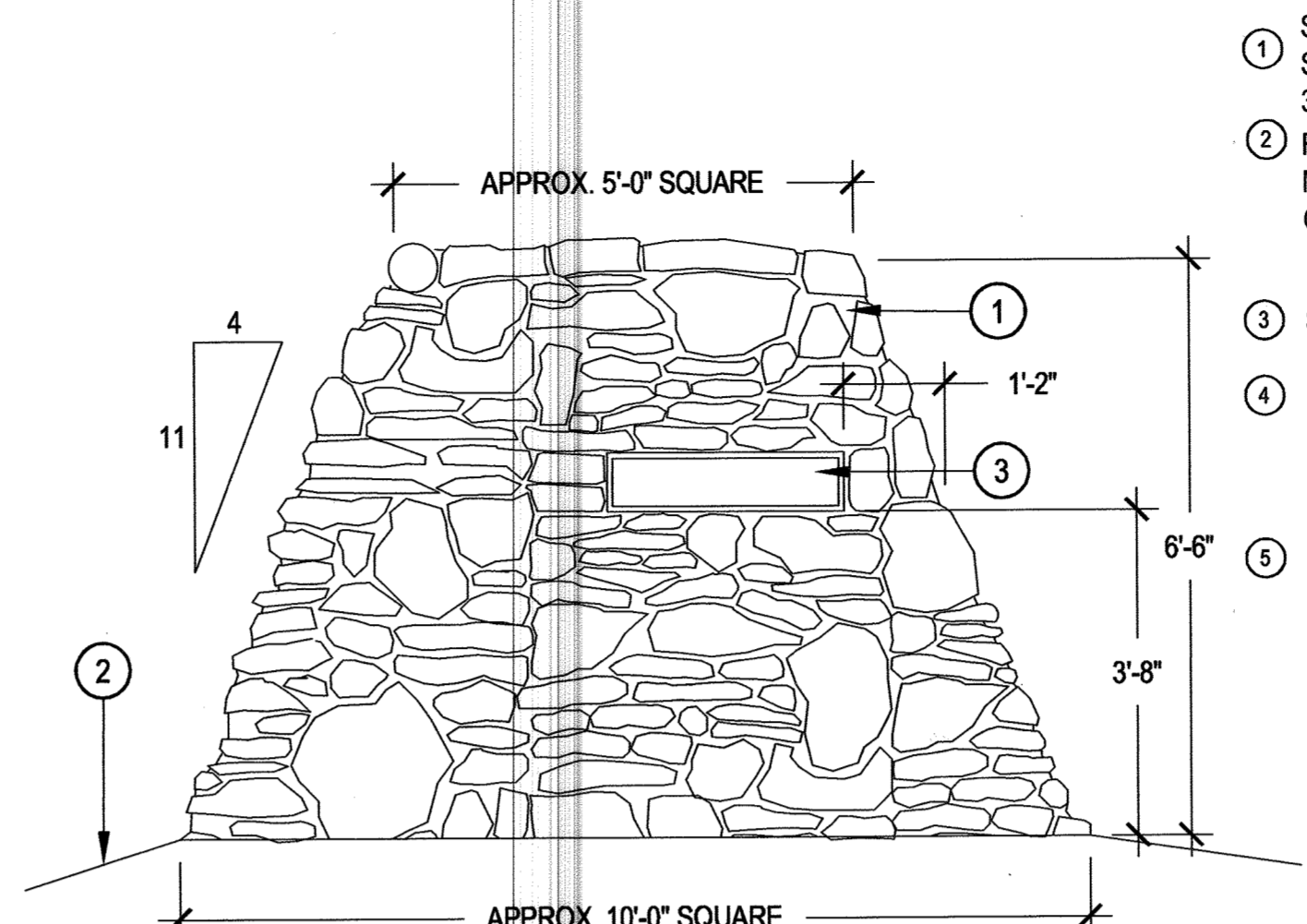
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	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH

SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	TURF, 'ENVIROTURF'

NOTE:  
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

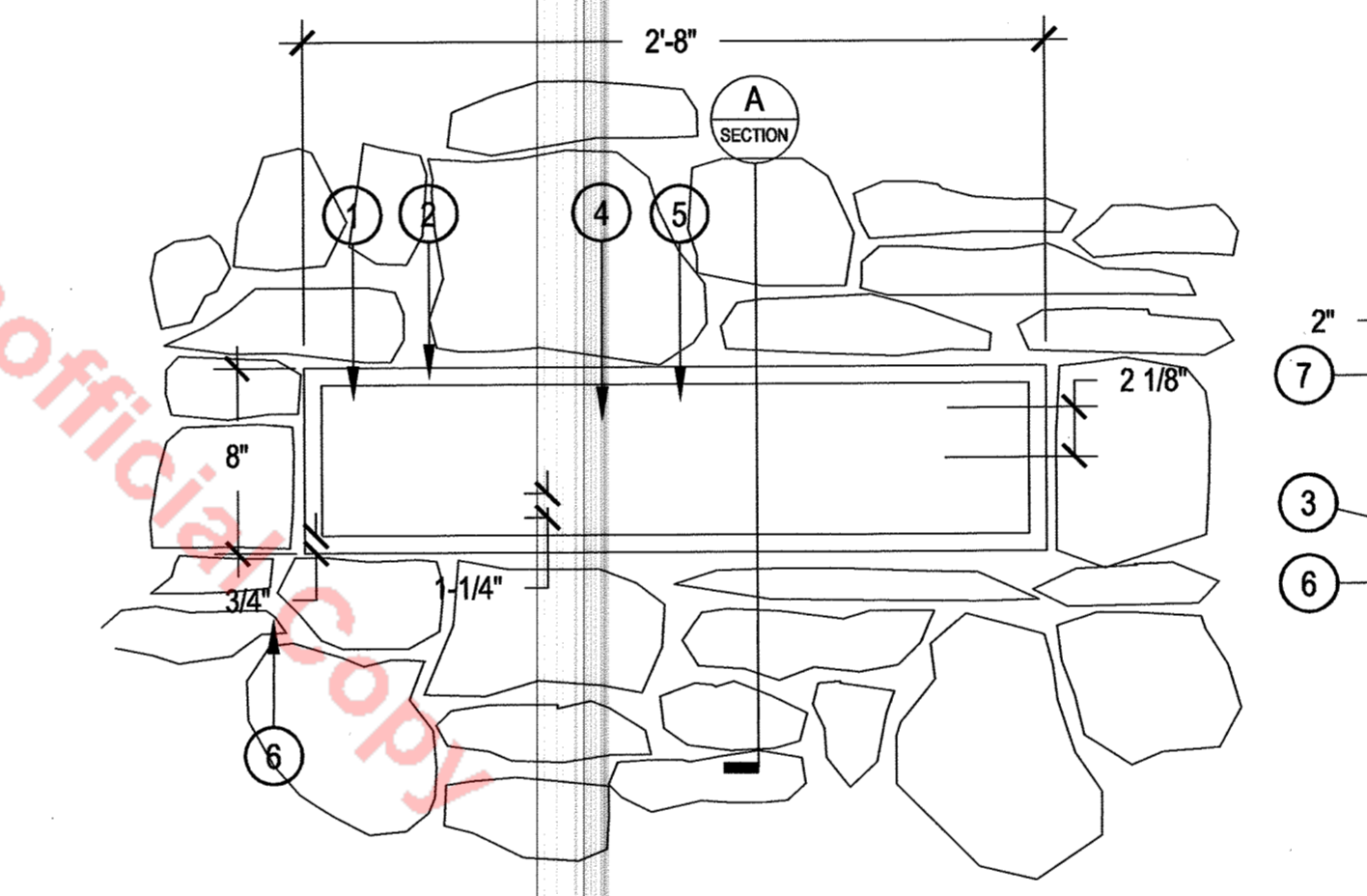
### KEYMAP

The keymap shows a grid of sheets labeled 19A, 19B, 20, 21, and 22. Sheet 19A is highlighted, indicating its position within the overall site plan.



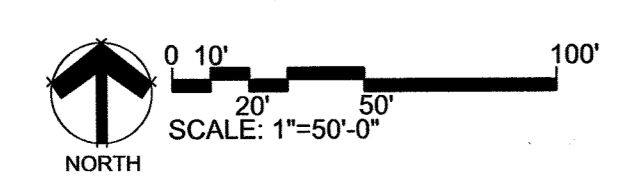
**1 FLATROCK PRIMARY MONUMENT** SCALE: 1/2"=1'-0"

- 1 SYBILLE MOSS ROCK VENEER, SUPPLIER: PIONEER ROCK & SAND, 303-841-4024
- 2 FINISH GRADE-ALL CORNERS OF MONUMENT SHALL BE AT CONSISTENT GRADE UNLESS NOTED OTHERWISE
- 3 SEE DETAIL, THIS SHEET
- 4 TOP OF MONUMENT SHALL RECEIVE STONE VENEER. PITCH 1/4" PER FOOT FROM CENTER TO DRAIN
- 5 MONUMENT SHALL BE CONSTRUCTED WITH REINFORCED CMU SUBSTRUCTURE PER STRUCT. ENG.



**2 FLATROCK SIGN INSET** NOT TO SCALE

- 1 8" X 32" X 1/4" ALUMINUM PANEL INSET
- 2 3/4" WIDE ALUMINUM PANEL BORDER, 1/8" THICK - PAINT GLOSSY BLACK W/ AUTOMOTIVE PAINT
- 3 ALUMINUM PANEL INSET 2" FROM FACE OF STONE
- 4 1/8" THICK BRUSHED ALUMINUM LASER CUT LETTERS PIN MOUNTED TO PANEL
- 5 ON THE INSIDE OF THE PANEL - FINISH SHALL BE A CUSTOM MOTTLED DARK PAINT T.B.D.
- 6 STONE VENEER, REFER TO MONUMENTATION DETAILS
- 7 2" X 8" MARINE GRADE WOOD BOARD



CIVIL ENGINEERING  
 DEVELOPMENT CONSULTING  
 LAND SURVEYING  
 1950 W. Littleton Blvd., Ste. 109  
 Littleton, CO 80120

# CORE CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY. CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY MARKING ON THE DRAWING HAVE BEEN FLOTTED. THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES FROM ACTIVITIES.

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	8/21/15 JAV
2	PER TOWN COMMENTS	9/24/15 JAV

## SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 2  
 LANDSCAPE PLAN & MONUMENT DETAILS  
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN  
 RELEASE: 7/14/2015  
 DESIGNED BY: NIM  
 DRAWN BY: JAF  
 CHECKED BY: PID

SITE DEVELOPMENT PLAN FOR  
 TERRAIN FILING NO. 2  
 PROJECT# SDP15-0023

JOB NO.  
 14-001

SHEET  
 22 OF 22

LANDSCAPE PLAN & MONUMENT DETAILS