

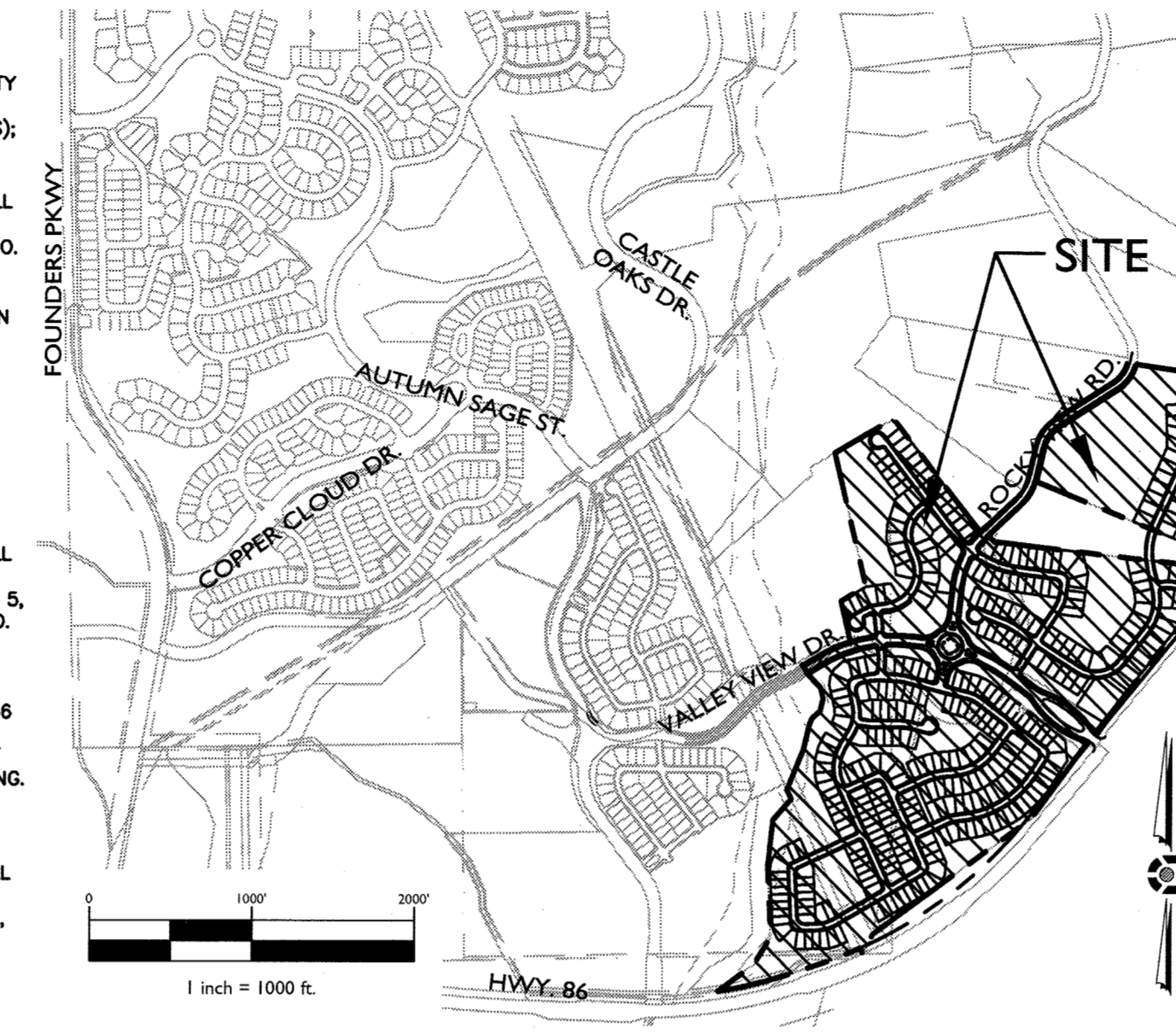
SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

PURPOSE OF AMENDMENT

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SHOW THE LOT, TRACT, AND STREET LAYOUT THAT FORMS THE BASIS FOR THE TERRAIN FILING NO. 1 PLAT.

LEGAL DESCRIPTION

PORTIONS OF THE EAST HALF OF SECTION 5 AND THE WEST HALF OF SECTION 5 AND THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 LOT 1 AND LOT 2, BLOCK 6, CASTLE OAKS, A SUBDIVISION RECORDED AT RECEPTION NO. 150556 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER (CONTAINS 39.91 ACRES, MORE OR LESS); TOGETHER WITH LOT 2, BLOCK 1, SAID CASTLE OAKS, RECEPTION NO. 150556 (BEING 20.07 ACRES), LESS AND EXCEPT THE FOLLOWING PARCEL:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHEAST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 45°54'06" E, A DISTANCE OF 1190.45 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 2, BLOCK 1, CASTLE OAKS, RECEPTION NO. 150556;
 THENCE S 53°46'19" W, ALONG THE SOUTH LINE OF SAID LOT 2, BLOCK 1, A DISTANCE OF 772.10 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2710.00 FEET, A CENTRAL ANGLE OF 0°32'47" AND AN ARC LENGTH OF 26.49 FEET, THE CHORD OF WHICH BEARS N 39°27'59" E, A DISTANCE OF 26.49 FEET;
 THENCE N 30°09'38" E, A DISTANCE OF 28.84 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 2, BLOCK 1;
 THENCE S 36°19'53" W, ALONG SAID SOUTH LINE, A DISTANCE OF 366.00 FEET TO THE POINT OF BEGINNING.
 (THIS EXCEPTED PARCEL CONTAINS 3,928 S.F., OR 0.090 ACRES, MORE OR LESS)
 TOGETHER WITH LOT 2, BLOCK 1, CONTAINS 19.98 ACRES, MORE OR LESS.)
 TOGETHER WITH LOT 2, BLOCK 1, SAID CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING;
 (CONTAINS 29.03 ACRES, MORE OR LESS);
 TOGETHER WITH A PARCEL OF LAND BEING A PORTION OF TRACT A, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHWEST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 12°27'14" E, A DISTANCE OF 2801.33 FEET TO THE EASTERLY CORNER OF LOT 2, VACATION AND REPLAT OF LOTS 1 AND 2, BLOCK 5, CASTLE OAKS, RECEPTION NO. 290989, ALSO BEING A POINT ON THE WEST LINE OF THE ROCKY VIEW ROAD RIGHT-OF-WAY, ALSO BEING THE SOUTHEAST CORNER OF TRACT A, CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING;
 THENCE N 37°46'34" W, ALONG THE NORTHEAST LINE OF SAID LOT 2, VACATION AND REPLAT OF LOTS 1 AND 2, ALSO BEING THE SOUTH LINE OF SAID TRACT A, CASTLE OAKS, RECEPTION NO. 150556, A DISTANCE OF 55.08 FEET;
 THENCE S 57°46'40" E, A DISTANCE OF 45.54 FEET TO A POINT ON THE WEST LINE OF SAID ROCKY VIEW ROAD RIGHT-OF-WAY, AND THE EAST LINE OF SAID TRACT A, CASTLE OAKS, RECEPTION NO. 150556 ALSO BEING A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE WEST LINE OF ROCKY VIEW ROAD RIGHT-OF-WAY, AND THE EAST LINE OF SAID TRACT A, CASTLE OAKS, RECEPTION NO. 150556 AND THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 4°12'39" AND AN ARC LENGTH OF 19.84 FEET, THE CHORD OF WHICH BEARS S 13°57'40" W, A DISTANCE OF 19.84 FEET TO THE POINT OF BEGINNING.
 (CONTAINS 427 SQUARE FEET, OR 0.01 ACRES, MORE OR LESS);
 TOGETHER WITH A PORTION OF THE VALLEY VIEW DRIVE RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHWEST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 06°44'18" E, A DISTANCE OF 1524.54 FEET TO THE NORTHWEST CORNER OF LOT 2, BLOCK 1, CASTLE OAKS, RECEPTION NO. 150556, ALSO BEING A POINT ON THE SOUTH LINE OF THE VALLEY VIEW DRIVE RIGHT-OF-WAY AND THE POINT OF BEGINNING;
 THENCE ALONG THE SOUTH LINE OF SAID VALLEY VIEW DRIVE RIGHT-OF-WAY THE FOLLOWING FOUR (4) COURSES:
 1. N 43°18'05" W, A DISTANCE OF 401.73 FEET TO A POINT OF CURVATURE;
 2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET, A CENTRAL ANGLE OF 79°18'59" AND AN ARC LENGTH OF 290.71 FEET;
 3. S 57°22'56" W, A DISTANCE OF 188.31 FEET TO A POINT OF CURVATURE;
 4. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 4°00'59" AND AN ARC LENGTH OF 18.93 FEET;
 THENCE N 32°00'14" W, A DISTANCE OF 35.34 FEET;
 THENCE N 57°59'40" E, A DISTANCE OF 89.96 FEET TO A POINT OF CURVATURE;
 THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 936.00 FEET, A CENTRAL ANGLE OF 14°43'30" AND AN ARC LENGTH OF 240.55 FEET;
 THENCE N 13°13'37" W, A DISTANCE OF 26.71 FEET TO A POINT ON THE NORTH LINE OF SAID VALLEY VIEW DRIVE RIGHT-OF-WAY, ALSO BEING THE SOUTHWEST CORNER OF LOT 2, VACATION AND REPLAT OF LOTS 1 & 2, BLOCK 5, CASTLE OAKS, RECEPTION NO. 290989;
 THENCE ALONG THE SOUTH LINE OF SAID LOT 2 AND THE NORTH LINES OF THE VALLEY VIEW DRIVE & ROCKY VIEW ROAD RIGHT-OF-WAY THE FOLLOWING NINE (9) COURSES:
 1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 50°40'09" AND AN ARC LENGTH OF 238.77 FEET, THE CHORD OF WHICH BEARS S 68°38'09" E, A DISTANCE OF 231.07 FEET;
 2. S 43°18'05" E, A DISTANCE OF 444.86 FEET TO A POINT OF CURVATURE;
 3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET, A CENTRAL ANGLE 92°30'00" AND AN ARC LENGTH OF 339.03 FEET;
 4. N 44°11'55" E, A DISTANCE OF 97.89 FEET TO A POINT OF CURVATURE;
 5. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 370.00 FEET, A CENTRAL ANGLE OF 28°26'18" AND AN ARC LENGTH OF 183.65 FEET;
 6. N 15°45'37" E, A DISTANCE OF 147.96 FEET TO A POINT OF CURVATURE;
 7. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 370.00 FEET, A CENTRAL ANGLE OF 54°00'00" AND AN ARC LENGTH OF 348.72 FEET;
 8. N 38°14'23" W, A DISTANCE OF 123.00 FEET TO A POINT OF CURVATURE;
 9. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 54°18'23" AND AN ARC LENGTH OF 255.91 FEET TO A POINT ON THE NORTH LINE OF THE ROCKY VIEW ROAD RIGHT-OF-WAY;
 THENCE S 57°46'40" E, A DISTANCE OF 27.24 FEET;
 THENCE S 43°07'15" E, A DISTANCE OF 41.73 FEET TO THE NORTHWEST CORNER OF LOT 1, BLOCK 6, CASTLE OAKS, RECEPTION NO. 150556, ALSO BEING A POINT ON THE SOUTH LINE OF SAID ROCKY VIEW ROAD RIGHT-OF-WAY, RECEPTION NO. 150556;
 THENCE ALONG THE SOUTH LINE OF SAID ROCKY VIEW ROAD RIGHT-OF-WAY, AND THE WEST LINE OF SAID LOT 1, BLOCK 6, CASTLE OAKS, THE FOLLOWING FOUR (4) COURSES:
 1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 210.00 FEET, A CENTRAL ANGLE OF 46°22'59" AND AN ARC LENGTH OF 170.00 FEET, THE CHORD OF WHICH BEARS S 15°02'54" E, A DISTANCE OF 165.40 FEET;
 2. S 38°14'23" E, A DISTANCE OF 123.00 FEET TO A POINT OF CURVATURE;
 3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 54°00'00" AND AN ARC LENGTH OF 405.27 FEET, THE CHORD OF WHICH BEARS S 11°14'23" E, A DISTANCE OF 390.43 FEET;
 4. THENCE S 15°45'37" W, A DISTANCE OF 147.96 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 6 AND A POINT OF CURVATURE;
 THENCE ALONG THE SOUTH LINE OF SAID ROCKY VIEW ROAD RIGHT-OF-WAY THE FOLLOWING FOUR (4) COURSES:
 1. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 28°26'18" AND AN ARC LENGTH OF 213.43 FEET;
 2. S 44°11'55" W, A DISTANCE OF 97.89 FEET TO A POINT OF CURVATURE;
 3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 92°30'00" AND AN ARC LENGTH OF 435.90 FEET;
 4. N 43°17'50" W, A DISTANCE OF 43.13 FEET TO THE NORTHWEST CORNER OF SAID LOT 2, BLOCK 1, CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING
 (CONTAINS 142,027 SQUARE FEET, OR 3.26 ACRES, MORE OR LESS);
 TOGETHER WITH A PARCEL OF LAND BEING PORTIONS OF LOT 1, BLOCK 1 AND TRACT D, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHWEST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 06°44'18" E, A DISTANCE OF 1524.54 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 1, CASTLE OAKS, RECEPTION NO. 150556, ALSO BEING A POINT ON THE SOUTH LINE OF THE VALLEY VIEW DRIVE RIGHT-OF-WAY AND THE POINT OF BEGINNING;
 THENCE S 12°02'39" W, ALONG THE EAST LINE OF SAID LOT 1, BLOCK 1, A DISTANCE OF 1430.24 FEET TO THE SOUTH CORNER OF SAID LOT 1, BLOCK 1, ALSO BEING A POINT ON THE NORTH LINE OF TRACT D, CASTLE OAKS, RECEPTION NO. 150556;
 THENCE S 26°26'12" W, A DISTANCE OF 132.56 FEET TO THE SOUTH CORNER OF SAID TRACT D, ALSO BEING A POINT ON THE NORTH LINE OF THE COLORADO STATE HIGHWAY 86 RIGHT-OF-WAY;
 THENCE N 22°07'11" W, ALONG THE WEST LINE OF SAID TRACT D, A DISTANCE OF 1103.05 FEET TO A POINT ON THE EAST LINE OF TRACT C, CASTLE OAKS ESTATES FILING NO. 5, AMENDMENT NO. 1 PLAT, RECEPTION NO. 201503149, SAID DOUGLAS COUNTY RECORDS;
 THENCE N 22°29'55" E, A DISTANCE OF 257.28 FEET;
 THENCE N 12°57'20" E, A DISTANCE OF 166.85 FEET;
 THENCE N 22°17'31" E, A DISTANCE OF 39.68 FEET;
 THENCE N 48°19'24" E, A DISTANCE OF 65.19 FEET;
 THENCE N 13°58'19" E, A DISTANCE OF 18.23 FEET;
 THENCE N 13°18'35" W, A DISTANCE OF 67.41 FEET;
 THENCE N 43°11'16" W, A DISTANCE OF 109.75 FEET;
 THENCE N 32°00'14" W, A DISTANCE OF 36.66 FEET TO A POINT ON THE SOUTH LINE OF THE VALLEY VIEW DRIVE RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556;
 THENCE ALONG THE SOUTH LINE OF SAID VALLEY VIEW DRIVE RIGHT-OF-WAY THE FOLLOWING FOUR (4) COURSES:
 1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 270.00 FEET, A CENTRAL ANGLE OF 04°00'59" AND AN ARC LENGTH OF 18.93 FEET, THE CHORD OF WHICH BEARS N 59°23'26" E, A DISTANCE OF 18.92 FEET;
 2. N 57°22'56" E, A DISTANCE OF 188.31 FEET TO A POINT OF CURVATURE;
 3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 210.00 FEET, A CENTRAL ANGLE OF 79°18'59" AND AN ARC LENGTH OF 290.71 FEET;
 4. S 43°17'50" W, A DISTANCE OF 43.13 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 1 CASTLE OAKS, AND THE POINT OF BEGINNING.
 (CONTAINS 882,427 SQUARE FEET, OR 20.26 ACRES, MORE OR LESS).
 TOGETHER WITH TRACT D, CASTLE OAKS ESTATES FILING NO. 5 AMENDMENT NO. 1 PLAT, RECEPTION NO. 201503149, SAID DOUGLAS COUNTY RECORDS.
 (CONTAINS 393,308 SQUARE FEET, OR 9.03 ACRES, MORE OR LESS).
 TOGETHER WITH A PARCEL OF LAND BEING A PORTION OF TRACT C, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHWEST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 40°43'33" E, A DISTANCE OF 3105.61 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 6, CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING;
 THENCE N 83°29'14" W, ALONG THE NORTH LINE OF SAID LOT 1, BLOCK 6, A DISTANCE OF 482.02 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 422.50 FEET, A CENTRAL ANGLE OF 28°30'39" AND AN ARC LENGTH OF 195.49 FEET, THE CHORD OF WHICH BEARS N 07°32'01" E, A DISTANCE OF 193.77 FEET TO A POINT ON THE SOUTH LINE OF LOT 2, BLOCK 6, CASTLE OAKS, RECEPTION NO. 150556;
 THENCE S 67°47'17" E, ALONG THE SOUTH LINE OF SAID LOT 2, BLOCK 6, A DISTANCE OF 518.45 FEET TO THE SOUTH CORNER OF SAID LOT 2, BLOCK 6;
 THENCE N 03°39'03" W, ALONG THE EAST LINE OF SAID LOT 2, BLOCK 6, A DISTANCE OF 716.85 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 232.50 FEET, A CENTRAL ANGLE OF 01°51'27" AND AN ARC LENGTH OF 7.54 FEET, THE CHORD OF WHICH BEARS S 38°23'49" E, A DISTANCE OF 7.54 FEET;
 THENCE S 68°37'45" E, A DISTANCE OF 229.93 FEET TO A POINT ON THE EAST LINE OF SAID TRACT C;
 THENCE S 06°45'36" W, ALONG THE EAST LINE OF SAID TRACT C, A DISTANCE OF 461.89 FEET TO A POINT OF NON-TANGENT CURVATURE;
 THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 2777.50 FEET, A CENTRAL ANGLE OF 05°04'45" AND AN ARC LENGTH OF 246.22 FEET, THE CHORD OF WHICH BEARS S 29°36'30" W, A DISTANCE OF 246.14 FEET;
 THENCE N 83°29'14" W, A DISTANCE OF 21.27 FEET TO THE POINT OF BEGINNING.
 (CONTAINS 163,648 SQUARE FEET, OR 3.76 ACRES, MORE OR LESS).
 TOGETHER WITH A PARCEL OF LAND BEING A PORTION OF TRACT C, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHWEST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 24°01'27" E, A DISTANCE OF 1897.06 FEET TO THE SOUTHWEST CORNER OF LOT 1, BLOCK 6, CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING;
 THENCE S 58°27'15" E, ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 6, A DISTANCE OF 610.79 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 6, CASTLE OAKS, RECEPTION NO. 150556;
 THENCE S 37°56'56" W, A DISTANCE OF 67.72 FEET;
 THENCE S 39°13'55" W, A DISTANCE OF 112.77 FEET TO A POINT ON THE NORTH LINE OF HIGH POINT ROAD RIGHT-OF-WAY, RECEPTION NO. 150556;
 THENCE N 50°48'34" W, ALONG THE NORTH RIGHT-OF-WAY OF SAID HIGH POINT ROAD, A DISTANCE OF 301.95 FEET TO A POINT OF CURVATURE;
 THENCE CONTINUING ALONG THE NORTH RIGHT-OF-WAY OF SAID HIGH POINT ROAD AND THE CURVE TO THE LEFT HAVING A RADIUS OF 1040.00 FEET, A CENTRAL ANGLE OF 12°40'49" AND AN ARC LENGTH OF 230.17 FEET, THE CHORD OF WHICH BEARS N 57°08'58" W, A DISTANCE OF 229.70 FEET;
 THENCE N 63°29'23" W, ALONG THE NORTH RIGHT-OF-WAY OF SAID HIGH POINT ROAD, A DISTANCE OF 63.76 FEET TO A POINT ON THE EAST LINE OF HIGH POINT ROAD RIGHT-OF-WAY, RECEPTION NO. 150556;
 THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 05°24'45" AND AN ARC LENGTH OF 40.62 FEET, THE CHORD OF WHICH BEARS N 18°27'59" E, A DISTANCE OF 40.60 FEET TO THE POINT OF BEGINNING.
 (CONTAINS 28,040 SQUARE FEET, OR 0.64 ACRES, MORE OR LESS.)



SHEET INDEX

- CIVIL PLANS**
 - 1 COVER SHEET
 - 2 GENERAL NOTES & DETAILS
 - 3 SHEET INDEX
 - 4-11 SITE PLAN
 - 12-19 GRADING PLAN
 - 20-27 UTILITY PLAN
- LANDSCAPE PLANS**
 - 28 LANDSCAPE COVER
 - 29 LANDSCAPE NOTES
 - 30 OVERALL LANDSCAPE & FENCING PLAN
 - 31-47 LANDSCAPE PLANS
 - 48 LANDSCAPE PLAN-PARK

TITLE CERTIFICATION

I, James Betson, AN AUTHORIZED REPRESENTATIVE OF First American Title Ins. Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE. 20 25 SIGNED THIS DAY OF March, 2016.

[Signature]
 AUTHORIZED REPRESENTATIVE
First American Title Ins. Co.
 TITLE INSURANCE COMPANY
 COUNTY OF DOUGLAS)
 STATE OF COLORADO)
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 25 DAY OF March, 2016.

BY JAMES BETSON, AUTHORIZED REPRESENTATIVE OF
FIRST AM. TITLE INS. CO.
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 20, 2015 AT RECEPTION NO. 2015059653, DOUGLAS COUNTY, COLORADO. SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

7-7-75
 BANK OF THE OZARKS
 SIGNED THIS 4 DAY OF APRIL, 2016.
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 4 DAY OF APRIL, 2016.
 BY JUAN GONZALEZ AS Executive Vice President OF BANK OF THE OZARKS.
 WITNESS MY HAND AND OFFICIAL SEAL

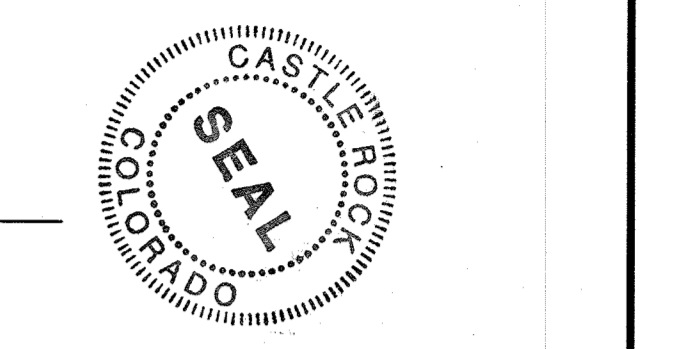
[Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 11-6-19

CERTIFICATE OF OWNERSHIP

THE UNDERSIGNED ARE ALL OF THE OWNERS OF THE ABOVE DESCRIBED PROPERTY IN THE TOWN OF CASTLE ROCK, SLV CASTLE OAKS, LLC A DELAWARE LIMITED LIABILITY COMPANY
 BY [Signature] TITLE: WEST REGION PRESIDENT
 SIGNED THIS 21 DAY OF MARCH, 2016.
 COUNTY OF DOUGLAS)
 STATE OF COLORADO)
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY OF March, 2016.
 BY CRAIG CAMPBELL, W. REGION PRES. OF SLV CASTLE OAKS, LLC
 WITNESS MY HAND AND OFFICIAL SEAL
[Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: July 31, 2019

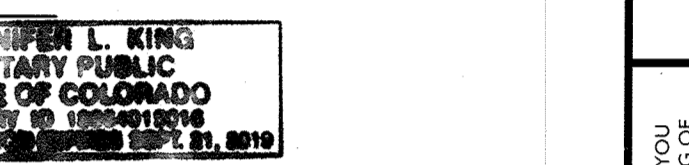
CERTIFICATE OF OWNERSHIP, CONTINUED

TOWN OF CASTLE ROCK, A COLORADO MUNICIPAL CORPORATION
 BY Paul Donahue
 MAYOR
 SIGNED THIS 21st DAY OF April, 2016.
 ATTEST
[Signature]
 TOWN CLERK
 SIGNED THIS 21st DAY OF April, 2016.
 COUNTY OF DOUGLAS)
 STATE OF COLORADO)
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 21st DAY OF April, 2016.
 BY Paul Donahue as Mayor and Sally Misare as Town Clerk
 WITNESS MY HAND AND SEAL



REGISTERED PROFESSIONAL ENGINEER
 SURVEYOR'S STATEMENT
 I, THOMAS M. GIRARD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

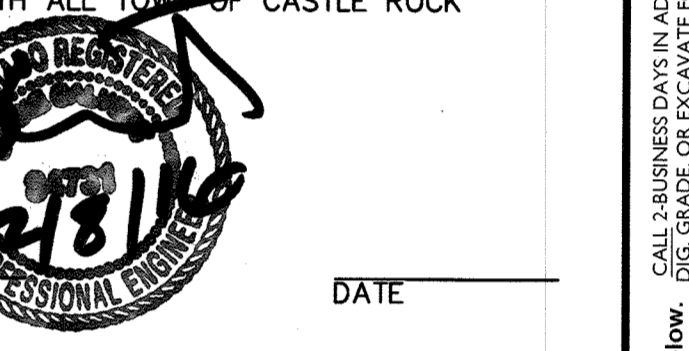
[Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 9-21-2019



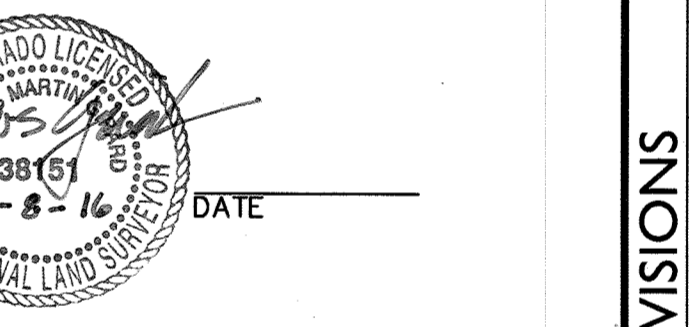
CIVIL ENGINEER'S STATEMENT

I, BLAKE CALVERT, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

[Signature]
 REGISTERED PROFESSIONAL ENGINEER
 DATE 11



THOMAS M. GIRARD
 PROFESSIONAL LAND SURVEYOR COLORADO PLS NO. 38151
 FOR AND ON BEHALF OF CORE CONSULTANTS, INC.
[Signature]
 DATE 11



PLANNING COMMISSION APPROVAL

THIS SITE DEVELOPMENT PLAN FOR WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14TH DAY OF DECEMBER, 2015.

[Signature]
 CHAIR
 DATE 4-14-2016
 ATTEST:
[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES
 DATE 4/15/2016

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 5TH DAY OF JANUARY, 2016.

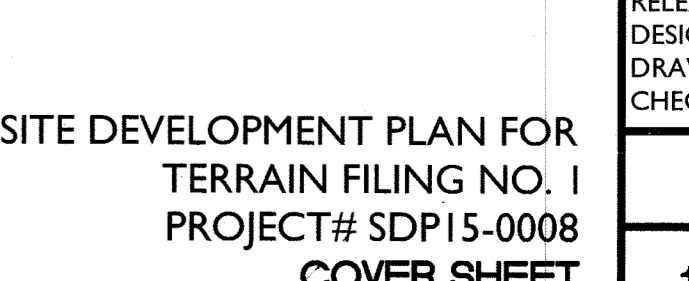
Paul Donahue
 MAYOR
 ATTEST:
[Signature]
 TOWN CLERK
 DATE 4/21/16



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:50 am ON THE 26th DAY OF May, 2016 AT RECEPTION NO. 2016033119.

DOUGLAS COUNTY CLERK AND RECORDER
 BY [Signature]
 DEPUTY



SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDP15-0008
 COVER SHEET

CIVIL ENGINEERING DEVELOPMENT CONSULTING LAND SURVEYING
 303.703.4444
 1950 W. Litchfield Blvd., Ste. 109
 Littleton, CO 80120
CORE CONSULTANTS
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND PUBLIC UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THE DRAWINGS HAVE BEEN LOCATED BY THE RESPONSIBILITY OF THE CONTRACTOR TO READ CAREFULLY THE RECORDS OF ALL UTILITIES SHOWN TO THE CONTRACTOR.
REVISIONS

#	DESCRIPTION	DATE BY	DATE
1	PER TOWN COMMENTS	4/17/15 PJD	4/17/15
2	PER TOWN COMMENTS	6/23/15 PJD	6/23/15
3	PER TOWN COMMENTS	9/11/15 PJD	9/11/15
4	PER TOWN COMMENTS	10/12/15 PJD	10/12/15

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 COVER SHEET TOWN OF CASTLE ROCK, COLORADO
 INITIAL PLAN RELEASE: 2/20/2015
 DESIGNED BY: PJD
 DRAWN BY: PJD
 CHECKED BY: BRC
 JOB NO. 14-001
 SHEET 1 OF 48

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK LAND USE SUMMARY

LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS/SFE'S	PROPOSED % OF SITE ACREAGE	NET DENSITY	MIN. LOT AREA	AVE. LOT AREA	MAX. LOT AREA	SETBACKS FRONT TO GARAGE	SETBACKS FRONT TO LIVING AREA	SETBACKS REAR BACK TO LOT	SETBACKS SIDE INTERIOR LOTS	SETBACKS SIDE TO STREET	MAX. BLDG. HEIGHT	
R-SF	45' WIDE SINGLE FAMILY DETACHED	20.686 AC	159	16.19%	7.75	4,950 SF	5,931 SF	10,003 SF	20'	10'	12'	5'	10'	35'
R-SF	50' WIDE SINGLE FAMILY DETACHED	14.511 AC	99	11.36%	6.90	5,500 SF	6,567 SF	11,812 SF	20'	15'	15'	5'	10'	35'
R-SF	60' WIDE SINGLE FAMILY DETACHED	13.140 AC	74	10.29%	5.70	6,600 SF	7,465 SF	15,138 SF	20'	15'	15'	5'	10'	35'
R-SF	70' WIDE SINGLE FAMILY DETACHED	7.292 AC	35	5.71%	4.91	7,700 SF	9,167 SF	14,016 SF	20'	15'	15'	5'	10'	35'
OSP	OPEN SPACE DEDICATION PRIVATE	46.403 AC	-	36.32%	-	-	-	-	-	-	-	-	-	-
PLD	PUBLIC LAND DEDICATION	3.137 AC	-	2.46%	-	-	-	-	-	-	-	-	-	-
ROW	PROPOSED COLLECTOR ROADS	6.188 AC	-	4.84%	-	-	-	-	-	-	-	-	-	-
ROW	PROPOSED LOCAL STREETS- PA 34-43*	16.393 AC	-	12.83%	-	-	-	-	-	-	-	-	-	-
		127.75 AC	367	100%	2.87 DU/AC (GROSS)									

* DOES NOT INCLUDE VALLEY VIEW DRIVE, ROCKY VIEW DRIVE, AND HIGH POINT ROAD

TRACT SUMMARY

TRACT	AC	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	8.650 AC	OSP/DR/UT	HOA	HOA
TRACT B	2.070 AC	OSP/DR/UT	HOA	HOA
TRACT C	3.235 AC	OSP/DR/UT	HOA	HOA
TRACT D	0.281 AC	OSP/DR/UT	HOA	HOA
TRACT E	3.032 AC	OSP/DR/UT	HOA	HOA
TRACT F	0.608 AC	OSP/DR/UT	HOA	HOA
TRACT G	0.377 AC	OSP/DR/UT	HOA	HOA
TRACT H	1.784 AC	OSP/DR/UT/PARK	OWNER	OWNER
TRACT I	0.607 AC	OSP/DR/UT	HOA	HOA
TRACT J	5.124 AC	OSP/DR/UT	HOA	HOA
TRACT K	0.048 AC	OSP/DR/UT	HOA	HOA
TRACT L	0.193 AC	OSP/DR/UT	HOA	HOA
TRACT M	11.386 AC	OSP/DR/UT	HOA	HOA
TRACT N	0.169 AC	OSP/DR/UT	HOA	HOA
TRACT O	0.324 AC	OSP/DR/UT	HOA	HOA
TRACT P	1.037 AC	OSP/DR/UT/PLD	TOWN	TOWN
TRACT Q	1.082 AC	OSP/DR/UT	HOA	HOA
TRACT R	2.167 AC	OSP/DR/UT	HOA	HOA
TRACT S	4.106 AC	OSP/DR/UT	HOA	HOA
TRACT T	2.100 AC	OSP/DR/UT/PLD	TOWN	TOWN
TRACT U	0.211 AC	OSP/DR/UT	HOA	HOA
TRACT V	0.949 AC	OSP/DR/UT	HOA	HOA

LEGAL DESCRIPTION (CONTINUED):

TOGETHER WITH A PARCEL OF LAND BEING A PORTION OF TRACT D, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHEAST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 43°00'46" E, A DISTANCE OF 1701.07 FEET TO THE EAST CORNER OF LOT 2, BLOCK 1, CASTLE OAKS, RECEPTION NO. 150556 AND THE POINT OF BEGINNING;
THENCE N 52°58'08" W, ALONG THE NORTH LINE OF SAID LOT 2, BLOCK 1, A DISTANCE OF 574.95 FEET TO A POINT ON THE EAST LINE OF VALLEY VIEW DRIVE RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556, AND A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE EAST LINE OF SAID VALLEY VIEW DRIVE RIGHT-OF-WAY, AND ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 05°15'40" AND AN ARC LENGTH OF 39.49 FEET, THE CHORD OF WHICH BEARS N 34°28'42" E, A DISTANCE OF 39.47 FEET TO THE NORTHERLY CORNER OF SAID TRACT D, ALSO BEING A POINT ON THE SOUTH LINE OF THE HIGH POINT ROAD RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556;
THENCE ALONG THE SOUTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:
1. S 63°29'23" E, ALONG THE SOUTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY, A DISTANCE OF 63.76 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 960.00 FEET, A CENTRAL ANGLE OF 12°40'49" AND AN ARC LENGTH OF 212.46 FEET, THE CHORD OF WHICH BEARS S 57°08'58" E, A DISTANCE OF 212.03 FEET;
3. S 50°48'34" E, A DISTANCE OF 302.09 FEET;
THENCE S 36°19'53" W, A DISTANCE OF 55.15 FEET TO THE EAST CORNER OF SAID LOT 2, BLOCK 1, AND THE POINT OF BEGINNING.
(CONTAINS 34,439 SQUARE FEET, OR, 0.79 ACRES, MORE OR LESS.)
TOGETHER WITH A PORTION OF THE HIGH POINT ROAD RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH P.M., BEARING N 00°27'01" W FROM THE SOUTHEAST CORNER OF SECTION 6, BEING A 3 1/4" ALUMINUM CAP STAMPED "PLS 12405" TO THE EAST QUARTER CORNER OF SAID SECTION 6, BEING A 1 1/2" ALUMINUM CAP STAMPED "PLS 13258", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6, THENCE N 24°08'44" E, A DISTANCE OF 1856.65 FEET TO A POINT ON THE WEST LINE OF THE VALLEY VIEW DRIVE RIGHT-OF-WAY, ALSO BEING A POINT ON THE NORTH LINE OF THE HIGH POINT ROAD RIGHT-OF-WAY, CASTLE OAKS, RECEPTION NO. 150556, AND THE POINT OF BEGINNING;
THENCE ALONG THE NORTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:
1. S 63°29'23" E, ALONG THE NORTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY, A DISTANCE OF 63.76 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1040.00 FEET, A CENTRAL ANGLE OF 12°40'49" AND AN ARC LENGTH OF 230.17 FEET, THE CHORD OF WHICH BEARS S 57°08'58" E, A DISTANCE OF 229.70 FEET;
3. S 50°48'34" E, A DISTANCE OF 301.95 FEET;
THENCE S 39°13'55" W, A DISTANCE OF 76.03 FEET;
THENCE S 36°19'53" W, A DISTANCE OF 3.97 FEET TO A POINT ON THE SOUTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY;
THENCE ALONG THE NORTH LINE OF SAID HIGH POINT ROAD RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:
1. N 50°08'37" W, A DISTANCE OF 302.09 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 960.00 FEET, A CENTRAL ANGLE OF 12°40'49" AND AN ARC LENGTH OF 212.46 FEET;
3. N 63°29'23" W, A DISTANCE OF 63.76 FEET TO A POINT ON THE EAST LINE OF VALLEY VIEW DRIVE RIGHT-OF-WAY, RECEPTION NO. 150556;
THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 430.00 FEET, A CENTRAL ANGLE OF 10°40'30" AND AN ARC LENGTH OF 80.12 FEET, THE CHORD OF WHICH BEARS N 26°30'37" E, A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.
(CONTAINS 46,858 SQUARE FEET, OR, 1.08 ACRES, MORE OR LESS.)
TOTAL AREA CONTAINED WITHIN THIS DESCRIPTION IS 127.75 ACRES, MORE OR LESS.

SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS, AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THIS SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOIL OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE/USE OF ALL TRACTS AND THE DEDICATION OF ALL TRACTS WILL BE FOR OPEN SPACE, UTILITIES, AND DRAINAGE, AND SHALL BE OWNED AND MAINTAINED BY THE HOA.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- PA 34-37, 38-40, 42 ARE ZONED AS R-SF. PA 37 IS ZONED AS OSP. PA 41 IS ZONED AS R-SFA, AND PA 43 IS ZONED R-TH-SF PER THE APPROVED TERRAIN PD (REC. #).
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNER'S ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10' UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALL PUBLIC RIGHTS OF WAY AND SHALL HAVE 5' UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE 100-YEAR ZONE A FLOODPLAIN FOR MCMURDO GULCH ENCROACHES INTO THE PROJECT SITE. A CLOMR HAS BEEN SUBMITTED TO FEMA (CASE #15-08-0760R) TO REMOVE THE FLOODPLAIN FROM THE SITE.

UTILITY PROVIDERS

WATER
TOWN OF CASTLE ROCK
UTILITIES DEPARTMENT
175 KELLOGG COURT
CASTLE ROCK, CO 80104
PHONE: (720) 733-6000
FAX: (303) 688-0437

SEWER
TOWN OF CASTLE ROCK
UTILITIES DEPARTMENT
175 KELLOGG COURT
CASTLE ROCK, CO 80104
PHONE: (720) 733-6000
FAX: (303) 688-0437

ELECTRIC
IREA
5496 N. U.S. HWY 85
P.O. DRAWER A
SEDALIA, CO 80135
PHONE (303) 930-2000

CABLE
COMCAST
118 WILCOX ST., UNIT B
CASTLE ROCK, CO 80104
PHONE (303) 930-2000

GAS
BLACK HILLS ENERGY
1515 WYNKOOP ST., 5TH FLOOR
DENVER, CO 80202
PHONE (888) 890-5554

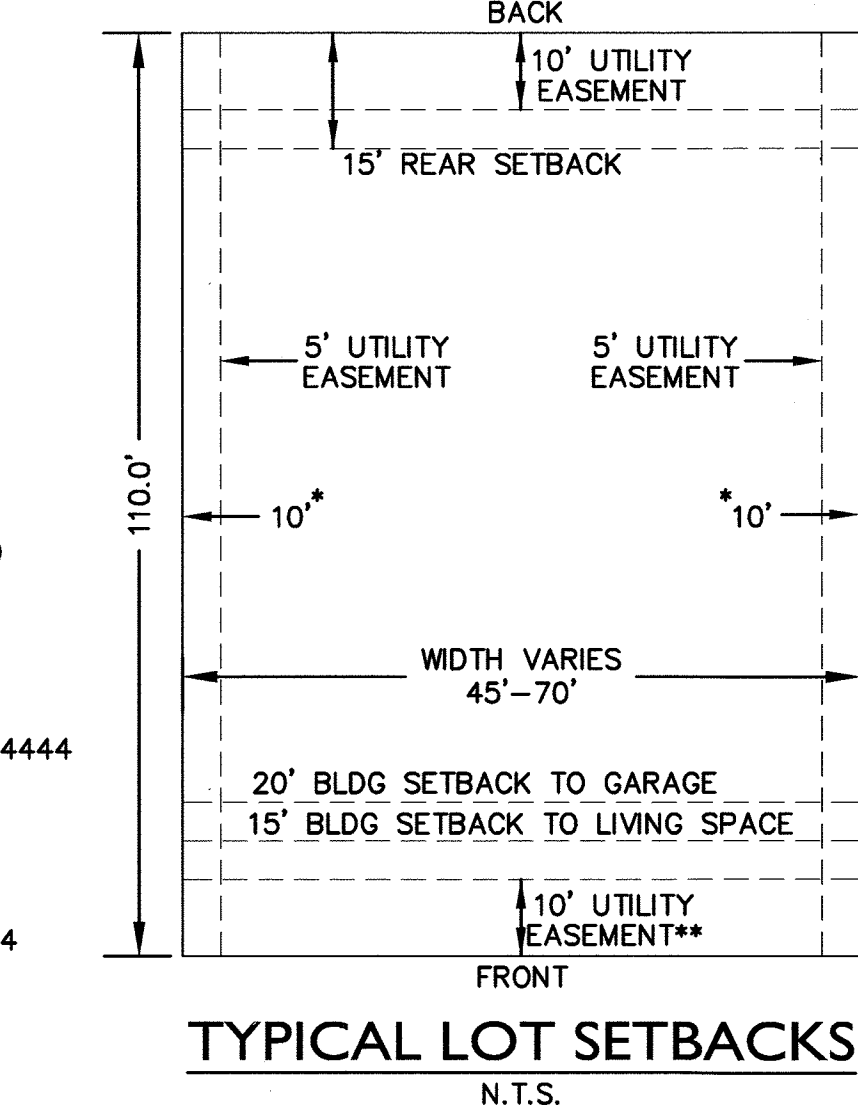
OWNERS

SLV CASTLE OAKS, LLC
385 INVERNESS PKWY, SUITE 310
ENGLEWOOD, CO 80112
CONTACT: KURT JONES 720-346-2800

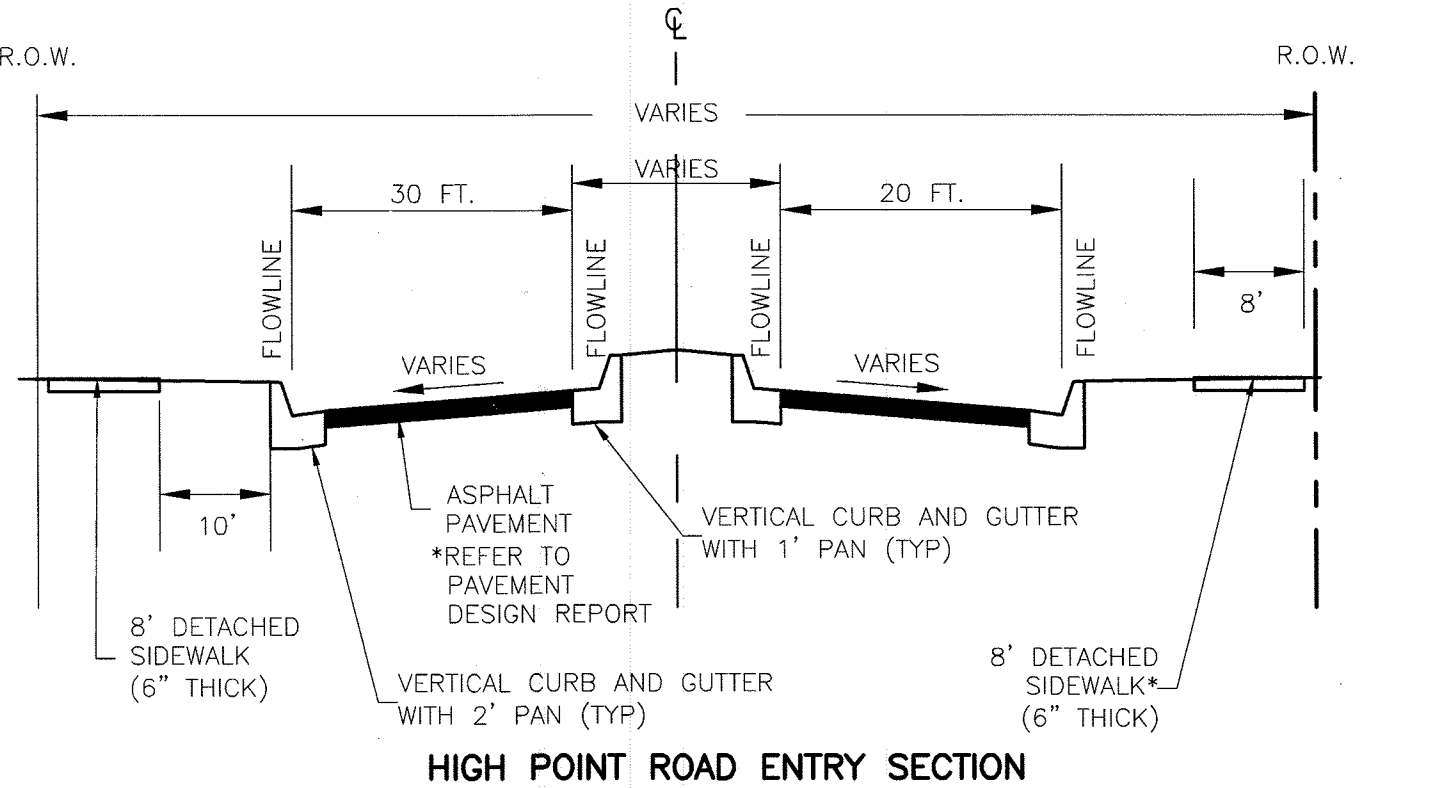
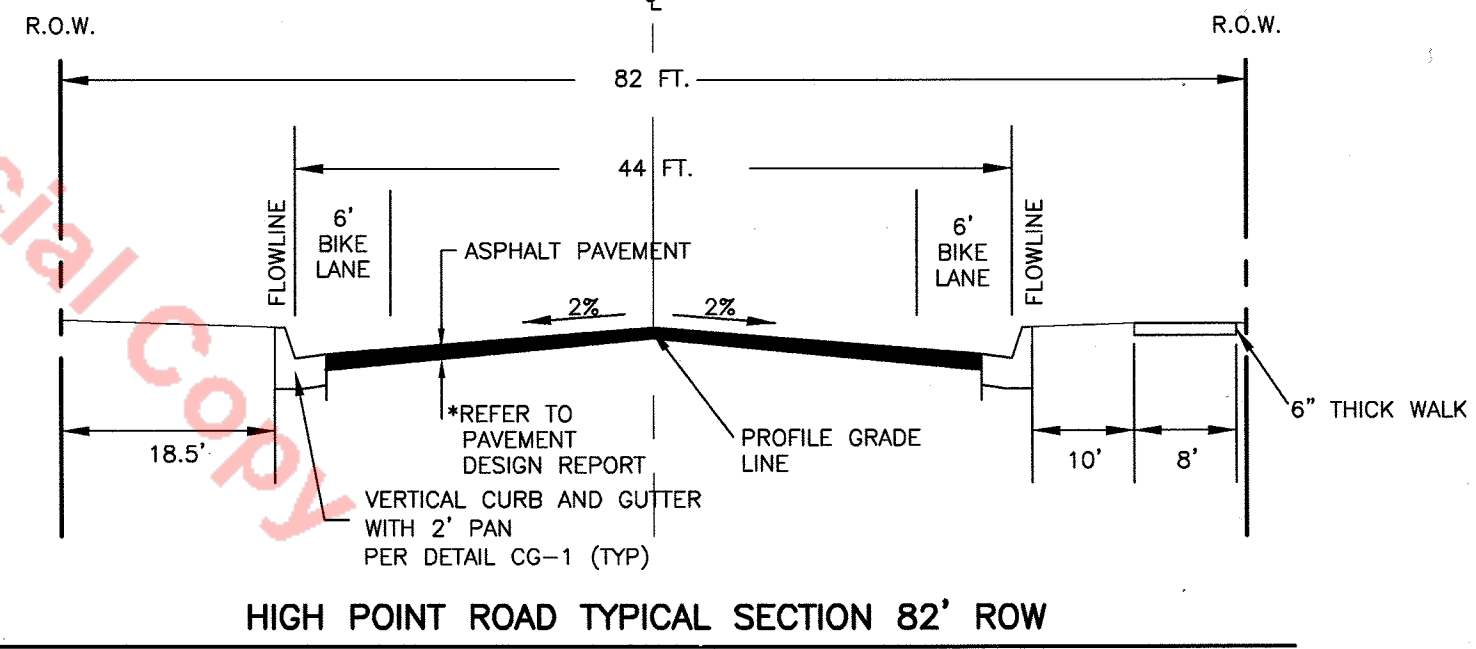
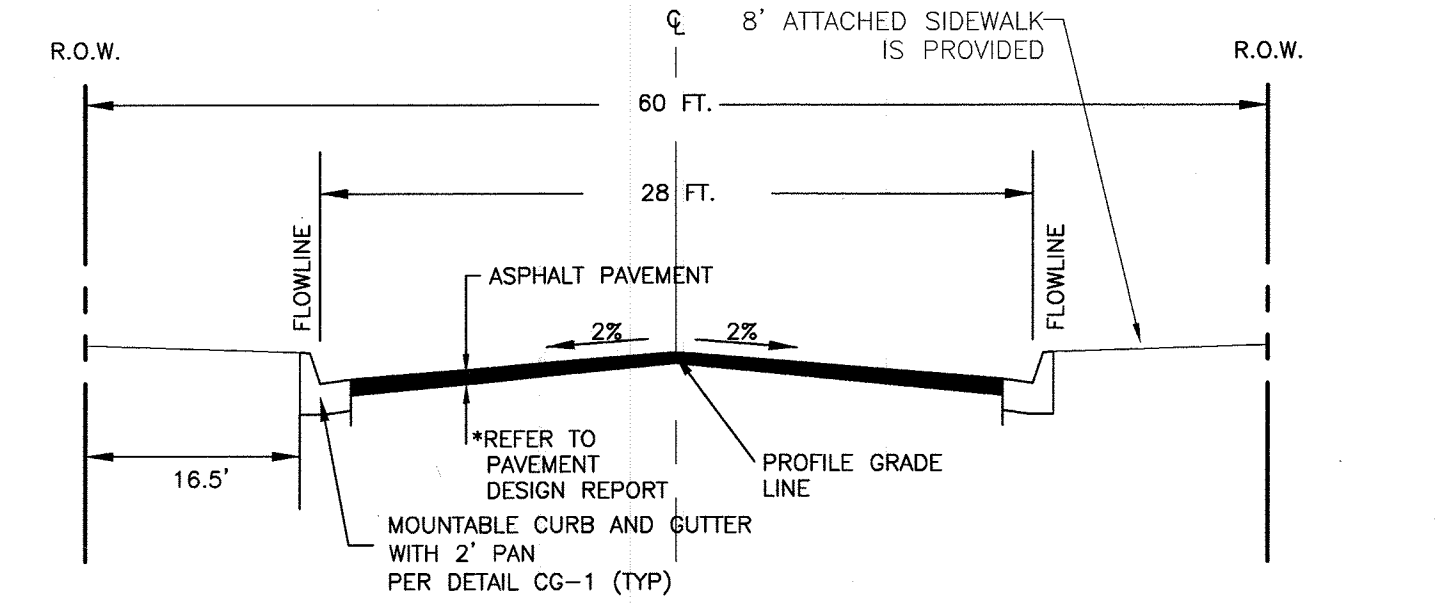
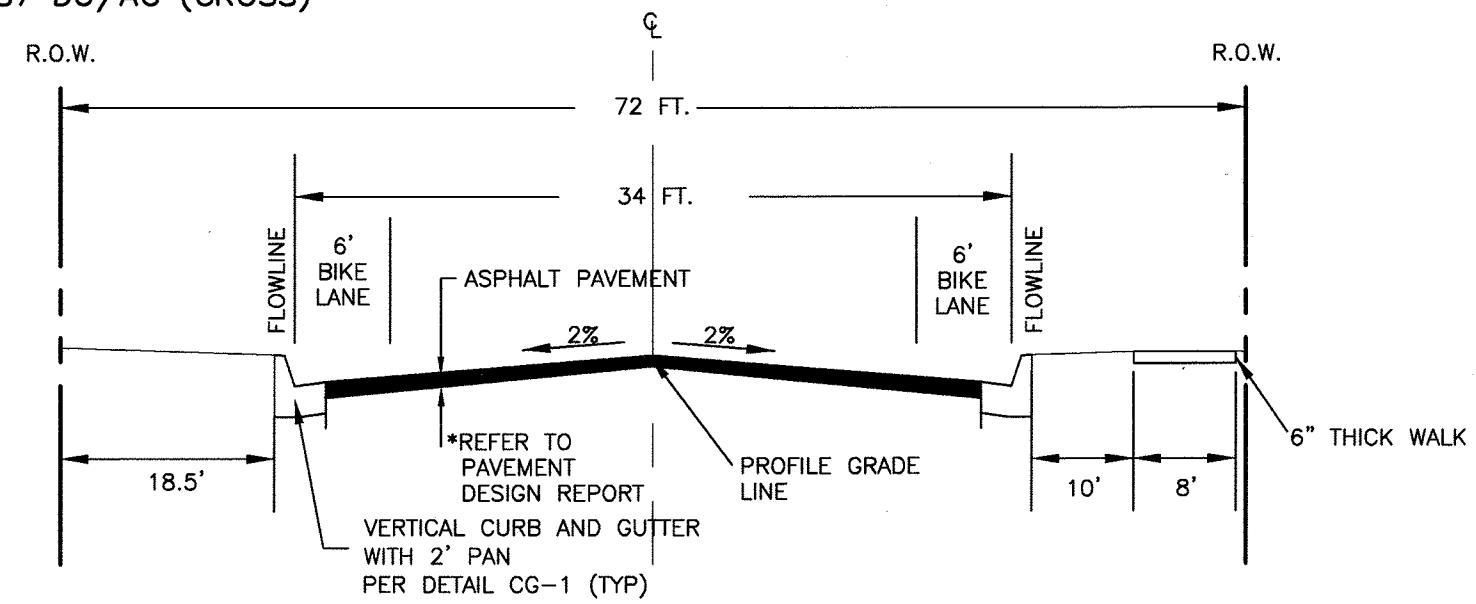
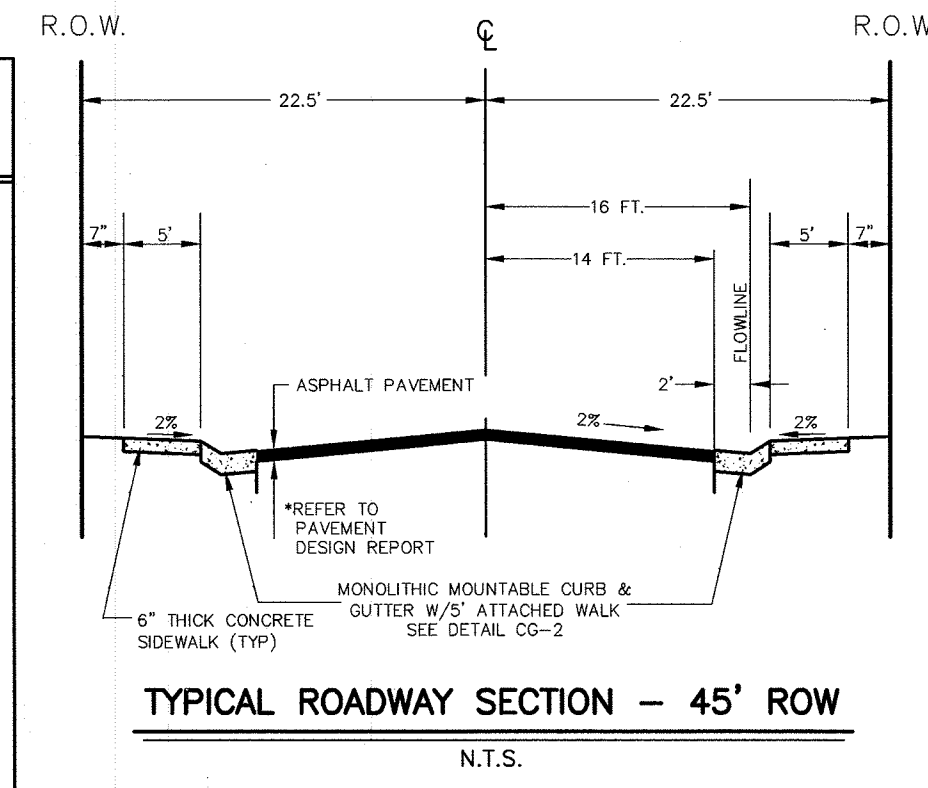
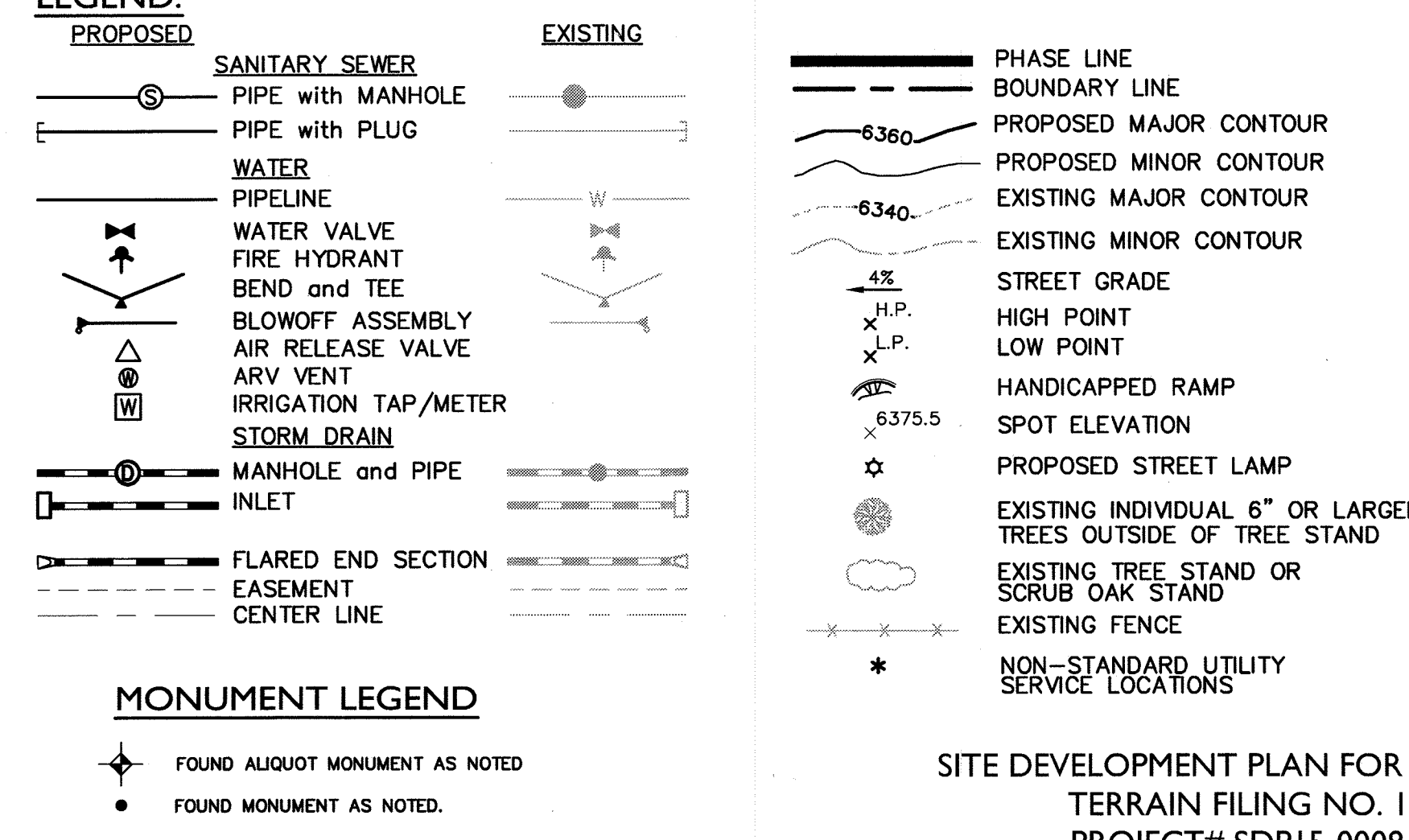
ENGINEER
CORE CONSULTANTS, INC.
1950 S. LITTLETON BLVD. STE. 109
LITTLETON, CO 80120
CONTACT: BLAKE CALVERT 303-703-4444

LAND SURVEYOR
CORE CONSULTANTS, INC.
1950 W. LITTLETON BLVD., STE 109
LITTLETON, CO 80120
CONTACT: TOM GIRARD 303-703-4444

LAND PLANNER
PCS GROUP INC.
#3 - B-180 INDEPENDENCE PLAZA
1007 16TH STREET
DENVER, CO 80265
CONTACT: JOHN PRESTWICH 303-531-4905



LEGEND:



BENCHMARK
A 3 - 1/4" ALUMINUM CAP LOCATED ON THE SOUTH SIDE OF CASTLE OAKS DRIVE JUST EAST OF THE 225 FOOT WIDE P.S.C.O. UTILITY EASEMENT, SAID POINT IS A DOUGLAS COUNTY CONTROL MONUMENT # DC GIS 4.004007
ELEVATION = 6495.263 (NAVD 88 DATUM).

BASIS OF BEARINGS: THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31 BEING MONUMENTED AT THE WEST ONE-QUARTER CORNER OF SAID SECTION BY A 3-1/4" ALUMINUM SURVEYOR'S CAP - STAMPED "PLS 22100" AND AT THE SOUTHWEST CORNER BY A 3-1/4" ALUMINUM SURVEYOR'S CAP - P.L.S. #12046, BEING ASSUMED TO BEAR N00°12'27"E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

VARIANCE	DATE OF APPROVAL	DESCRIPTION
TCV15-0037	08/19/2015	ALLOWS FOR A MODIFIED ROADWAY SECTION FOR ROCKY VIEW ROAD FROM STA: 7+50 TO STA 23+00. ALSO ALLOWS FOR THE USE OF EXISTING ROADWAY HORIZONTAL & VERTICAL GEOMETRY

CIVIL ENGINEERING DEVELOPMENT CONSULTING LAND SURVEYING
CORE CONSULTANTS
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CALL US BUSINESS DAYS IN ADVANCE BEFORE YOU CAN BE RESPONSIBLE FOR THE LOCATION (HORIZONTAL AND VERTICAL) OF THE BEST AVAILABLE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS

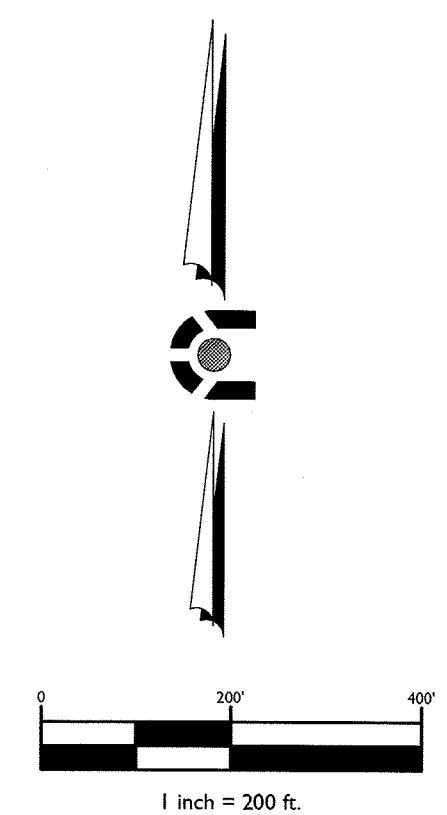
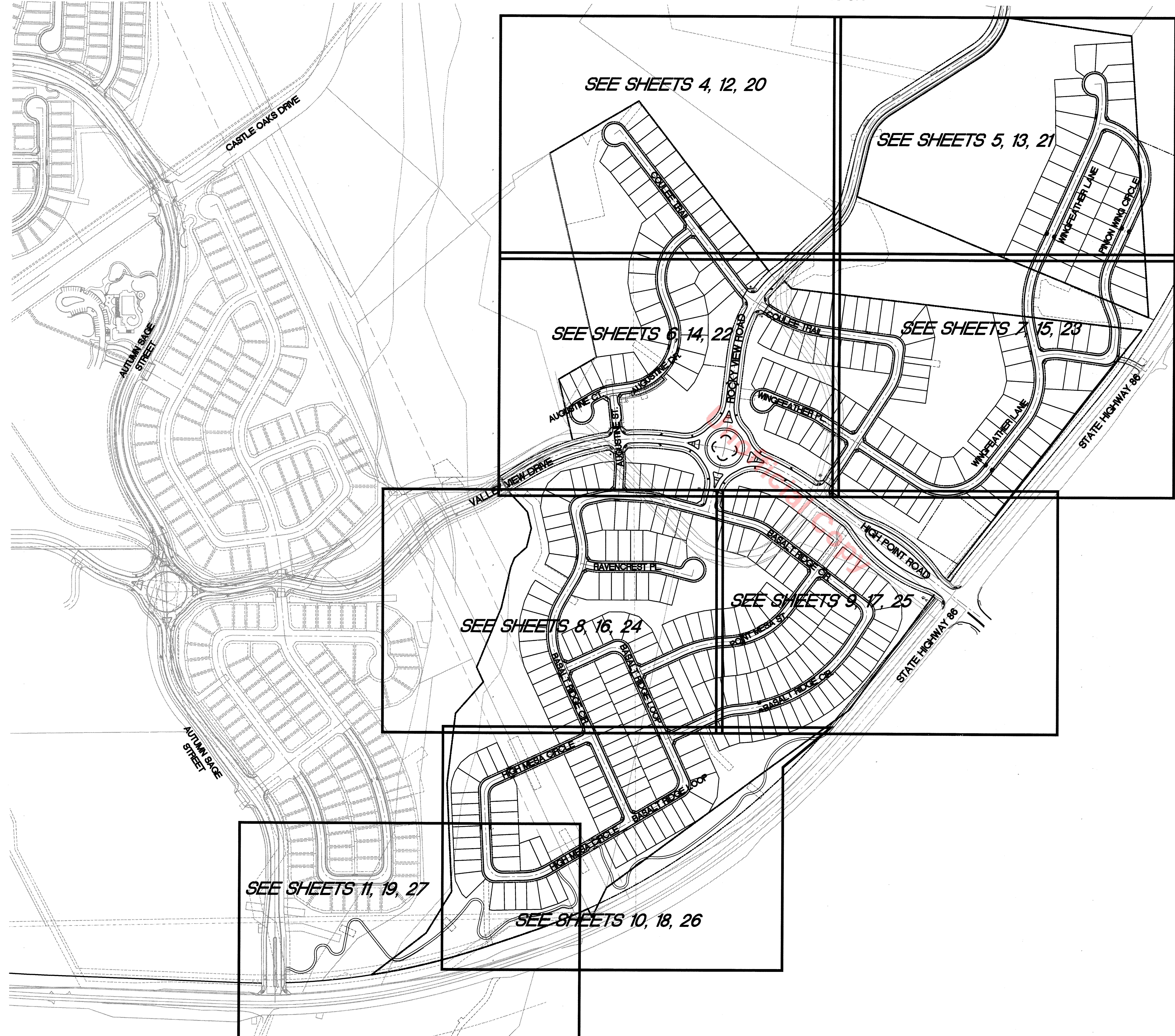
#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PID
2	PER TOWN COMMENTS	6/02/15	BRN
3	PER TOWN COMMENTS	9/11/15	PID
4	PER TOWN COMMENTS	10/21/15	PID

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 GENERAL NOTES AND DETAILS TOWN OF CASTLE ROCK, COLORADO

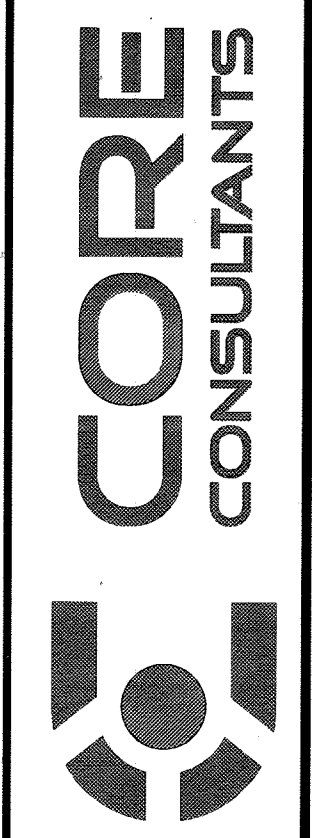
INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NIM
CHECKED BY: BRC

JOB NO. 14-001
SHEET 2 OF 48

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1,
 SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
 MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK



CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 302.702.4444
 1990 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND UTILITY LINES.
 CALL 811 BEFORE YOU DIG.
 CALL 811 BEFORE YOU DIG.
 CALL 811 BEFORE YOU DIG.
 CALL 811 BEFORE YOU DIG.
 CALL 811 BEFORE YOU DIG.

#	DESCRIPTION	DATE BY
1	PER. TOWN COMMENTS	4/7/15 PID
2	PER. TOWN COMMENTS	6/02/15 BRC
3	PER. TOWN COMMENTS	9/11/15 PID
4	PER. TOWN COMMENTS	10/7/15 PID

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 DRAWING INDEX
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: PID
 DRAWN BY: NIM
 CHECKED BY: BRC

JOB NO.
 14-001
 SHEET
 3 OF 48

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDP15-0008
 DRAWING INDEX

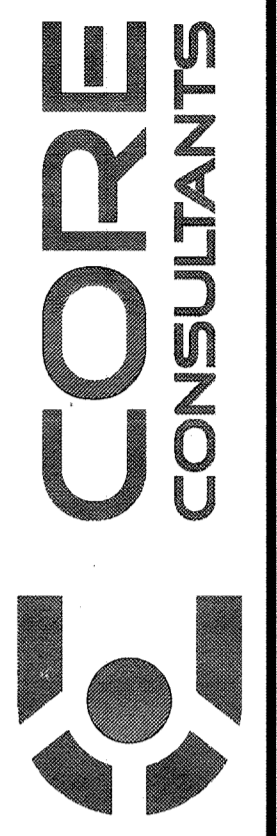
SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LEGEND:

	SANITARY SEWER
	PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
	PIPE WITH PLUG
	SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
	WATER
	TRANSMISSION MAIN RAW WATER LINE
	IRRIGATION LINE
	PIPE WITH PLUG & B.O.
	WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
	BEND AND THRUST BLOCK
	EXISTING TRANSMISSION MAIN STORM DRAIN
	MANHOLE AND PIPE
	INLET
	FLARED END SECTION
	EX. MANHOLE AND PIPE
	EXISTING DRY UTILITY
	GAS LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	FIBER OPTIC LINE
	EASEMENT
	CENTER LINE
	PROPERTY BOUNDARY LINE
	HANDICAPPED RAMP
	PROPOSED STREET LAMP
	EXISTING STREET LAMP

NOTE:
LOTS MARKED WITH * SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

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LAND SURVEYING
303E.702.4444
1950 W. Litchton Blvd., Ste. 109
Litchton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR HARMING UTILITY LINES. SHOWING ON THE DRAWING HAS BEEN PLOTTED UTILITIES. THE CONTRACTOR TO VERIFY THE RESPONSIBILITY OF ANY CONSTRUCTION ACTIVITIES.



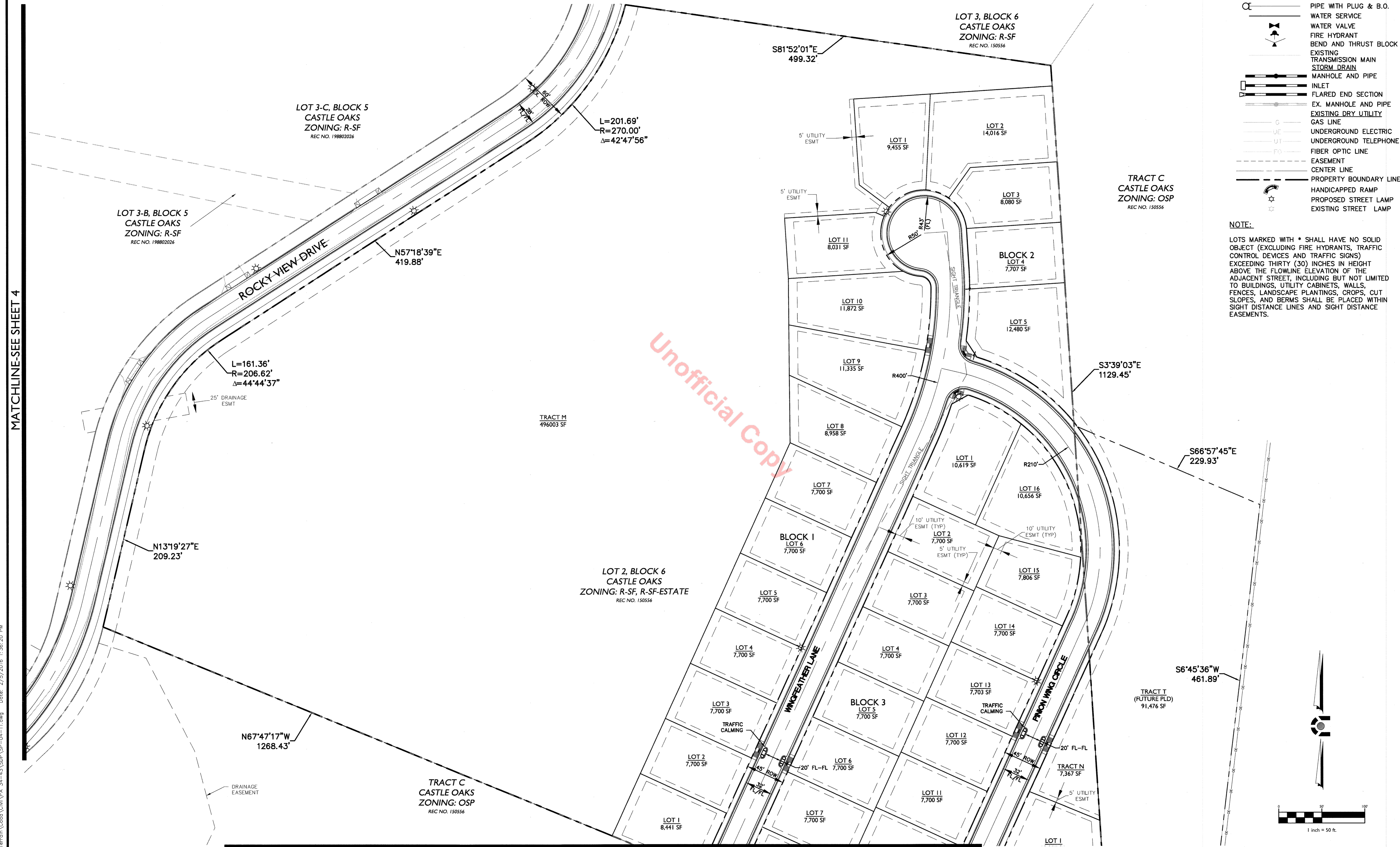
REVISIONS

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 PID
2	PER TOWN COMMENTS	6/02/15 PID
3	PER TOWN COMMENTS	9/11/15 PID
4	PER TOWN COMMENTS	10/12/15 PID

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
SITE PLAN
TOWN OF CASTLE ROCK, COLORADO**

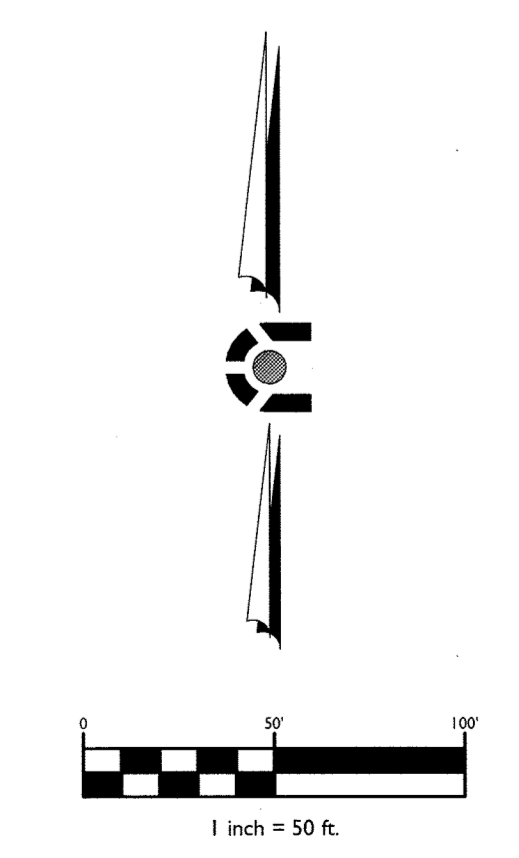
INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
5 OF 48



MATCHLINE-SEE SHEET 4

MATCHLINE-SEE SHEET 7



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
SITE PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 4

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH MANHOLE
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER
- PIPE WITH MANHOLE WATER
- TRANSMISSION MAIN
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:

LOTS MARKED WITH * SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG OR UNDERGROUND MEMBER UTILITIES. CALL BEFORE YOU DIG.

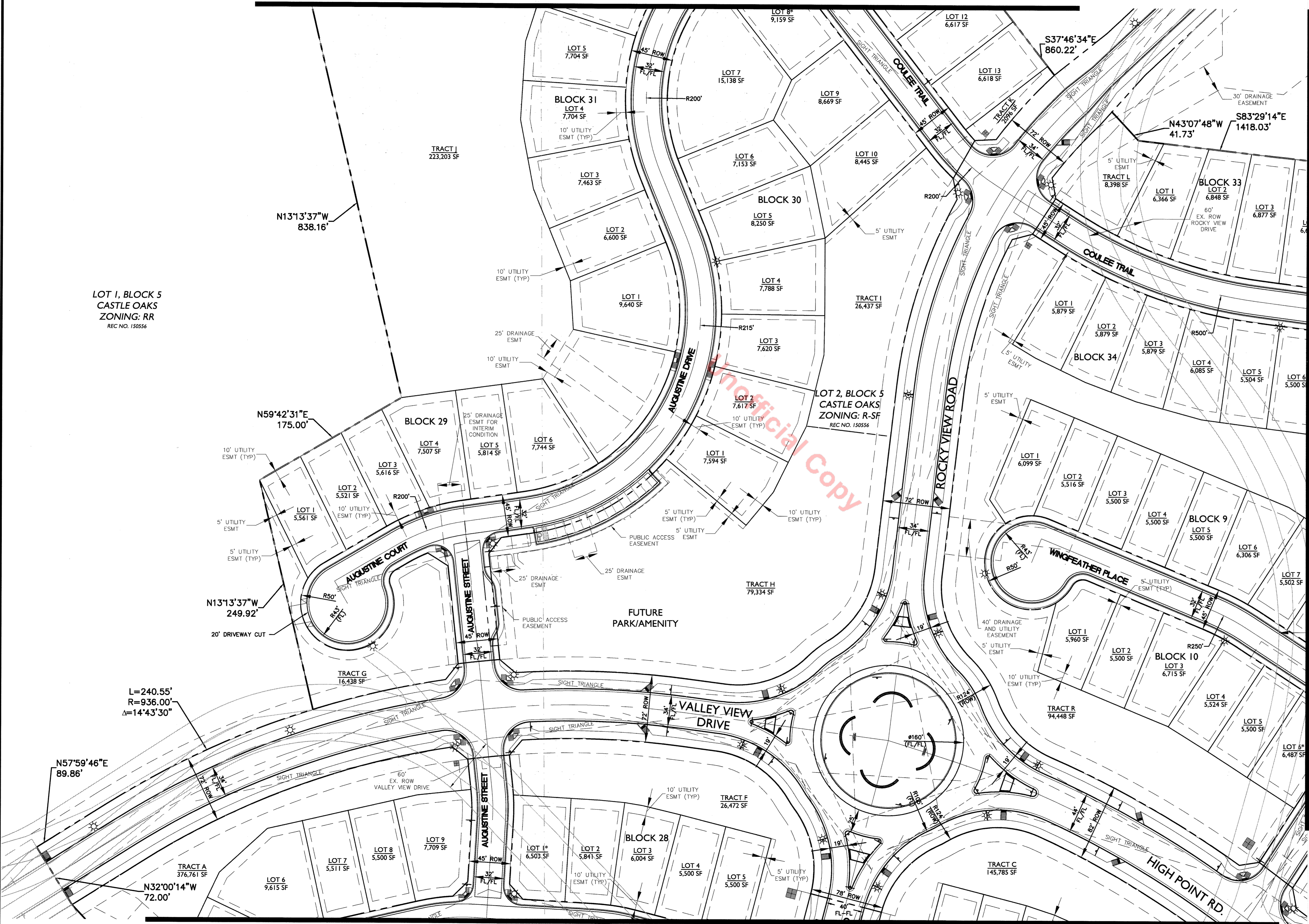
CORE CONSULTANTS HAS REPRESENTED BY THIS PLAN THE LOCATION OF ALL KNOWN AND UNKNOWN UTILITIES. THE EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CORRECTNESS OF ANY UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.

REVISIONS	
#	DESCRIPTION
1	PER TOWN COMMENTS
2	PER TOWN COMMENTS
3	PER TOWN COMMENTS
4	PER TOWN COMMENTS

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
SITE PLAN
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NIM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
6 OF 48



MATCHLINE-SEE SHEET 8

MATCHLINE-SEE SHEET 9

MATCHLINE-SEE SHEET 7

LOT 1, BLOCK 5
CASTLE OAKS
ZONING: RR
REC NO. 150556

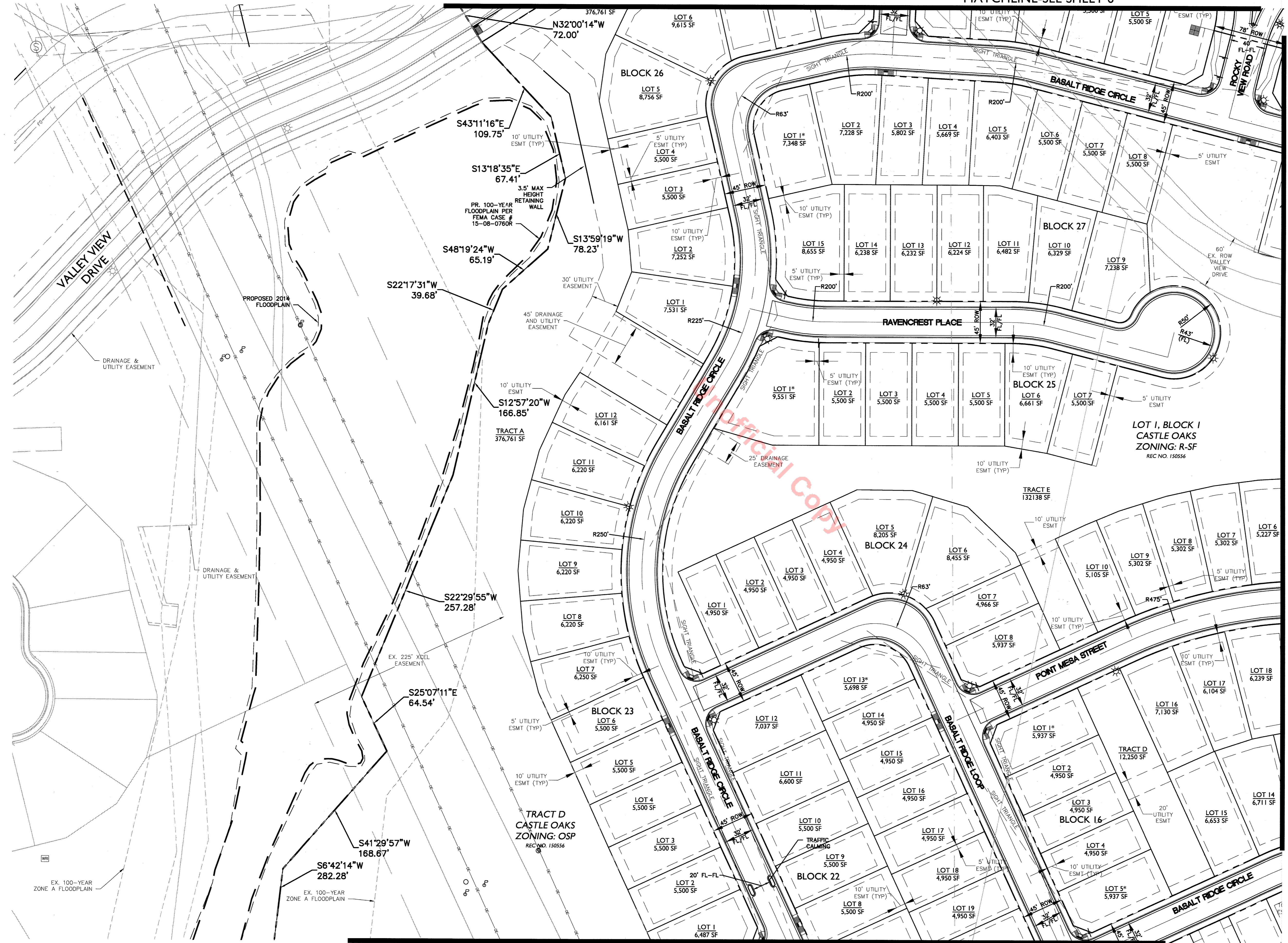
LOT 2, BLOCK 5
CASTLE OAKS
ZONING: R-SF
REC NO. 150556

Official Copy

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 6

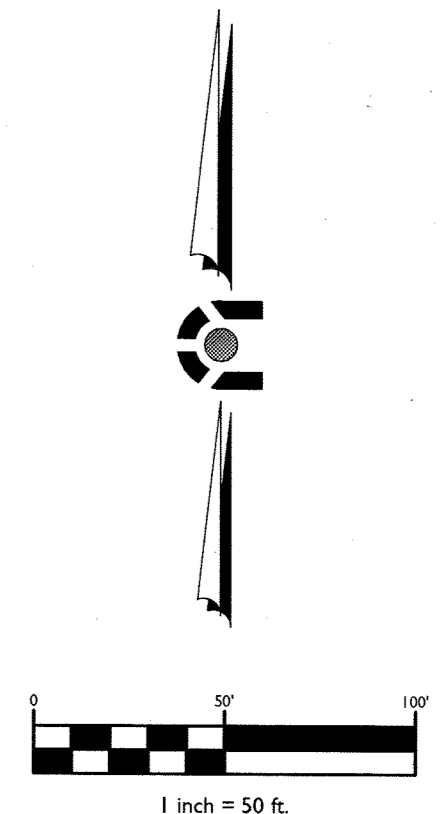


LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:

LOTS MARKED WITH * SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.



MATCHLINE-SEE SHEET 9

MATCHLINE-SEE SHEET 10

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Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND PUBLIC UTILITIES.

CALL BEFORE YOU DIG

811

REVISIONS	DATE BY
1. PER TOWN COMMENTS	4/17/15 PID
2. PER TOWN COMMENTS	6/02/15 BRL
3. PER TOWN COMMENTS	9/11/15 PID
4. PER TOWN COMMENTS	10/21/15 PID

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
SITE PLAN
TOWN OF CASTLE ROCK, COLORADO

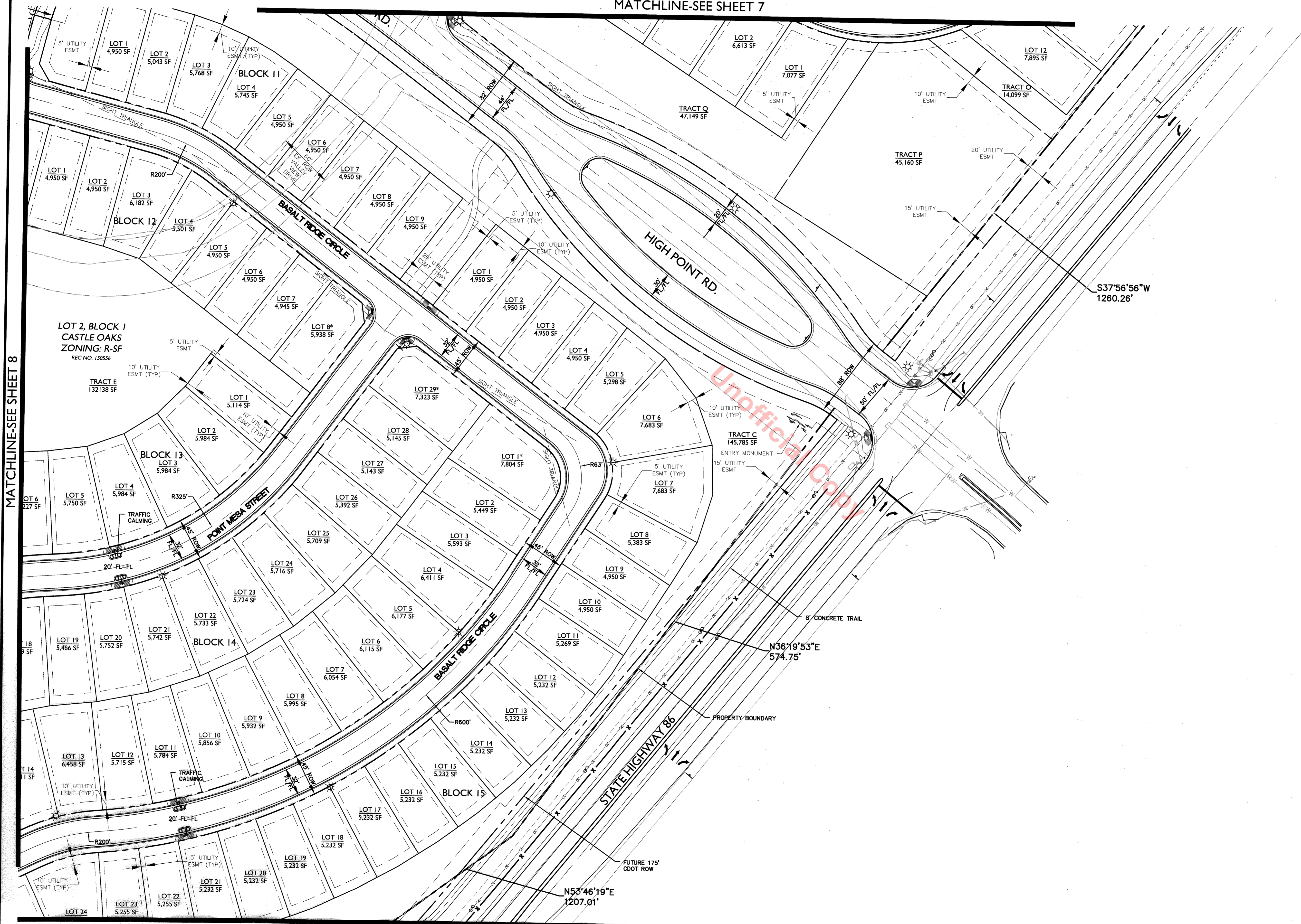
INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NIM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
8 OF 48

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 7



LEGEND:

- SANITARY SEWER
- PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:

LOTS MARKED WITH * HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

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CALL 24 HOURS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THE DRAWING UNLESS FACTORED INTO THE DESIGN OF THE PROJECT. IT IS HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

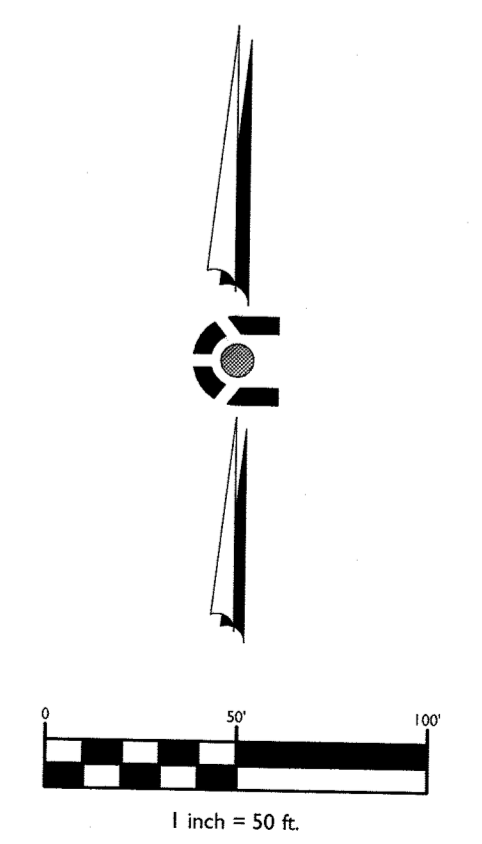


REVISIONS	
#	DATE BY
1	PER TOWN COMMENTS 4/7/15 PID
2	PER TOWN COMMENTS 6/22/15 PID
3	PER TOWN COMMENTS 9/11/15 PID
4	PER TOWN COMMENTS 10/21/15 PID

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
SITE PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NIM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
9 OF 48



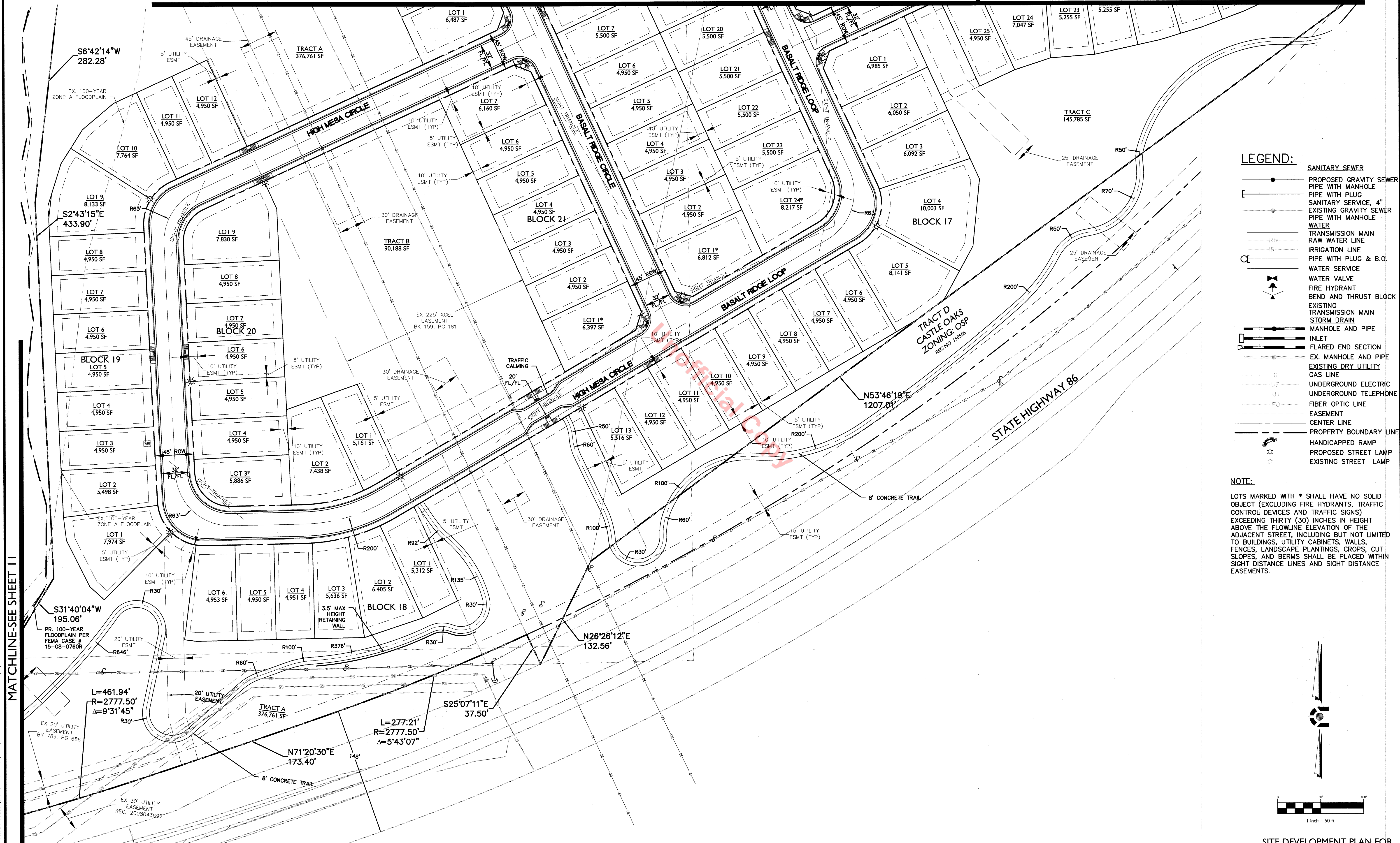
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
SITE PLAN

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 8

MATCHLINE-SEE SHEET 9



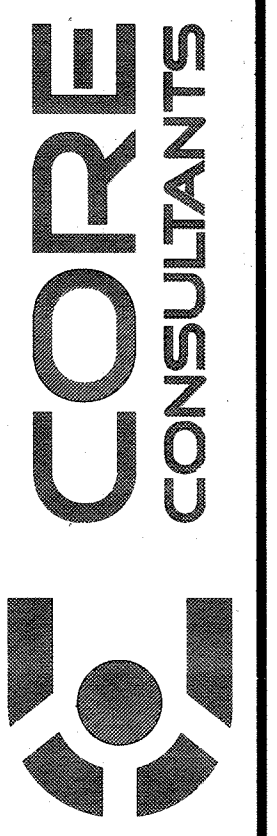
LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH MANHOLE
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:

LOTS MARKED WITH * SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

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CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. GRUBBERS AS RESPONSIBLE FOR THE LOCATION OF
UNDERGROUND UTILITY
CORE CONSULTANTS HAS BEEN ADVISED BY THE UTILITY
LOCATION INCORPORATED AND VERTICAL. THE EXISTING
UTILITY RECORDS AND DRAWINGS HAVE BEEN CHECKED
AND FOUND TO BE CORRECT. THE CONTRACTOR TO VERIFY
THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.



#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 JPD
2	PER TOWN COMMENTS	6/02/15 PER
3	PER TOWN COMMENTS	9/17/15 JPD
4	PER TOWN COMMENTS	10/21/15 JPD

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
SITE PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JPD
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
10 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
SITE PLAN

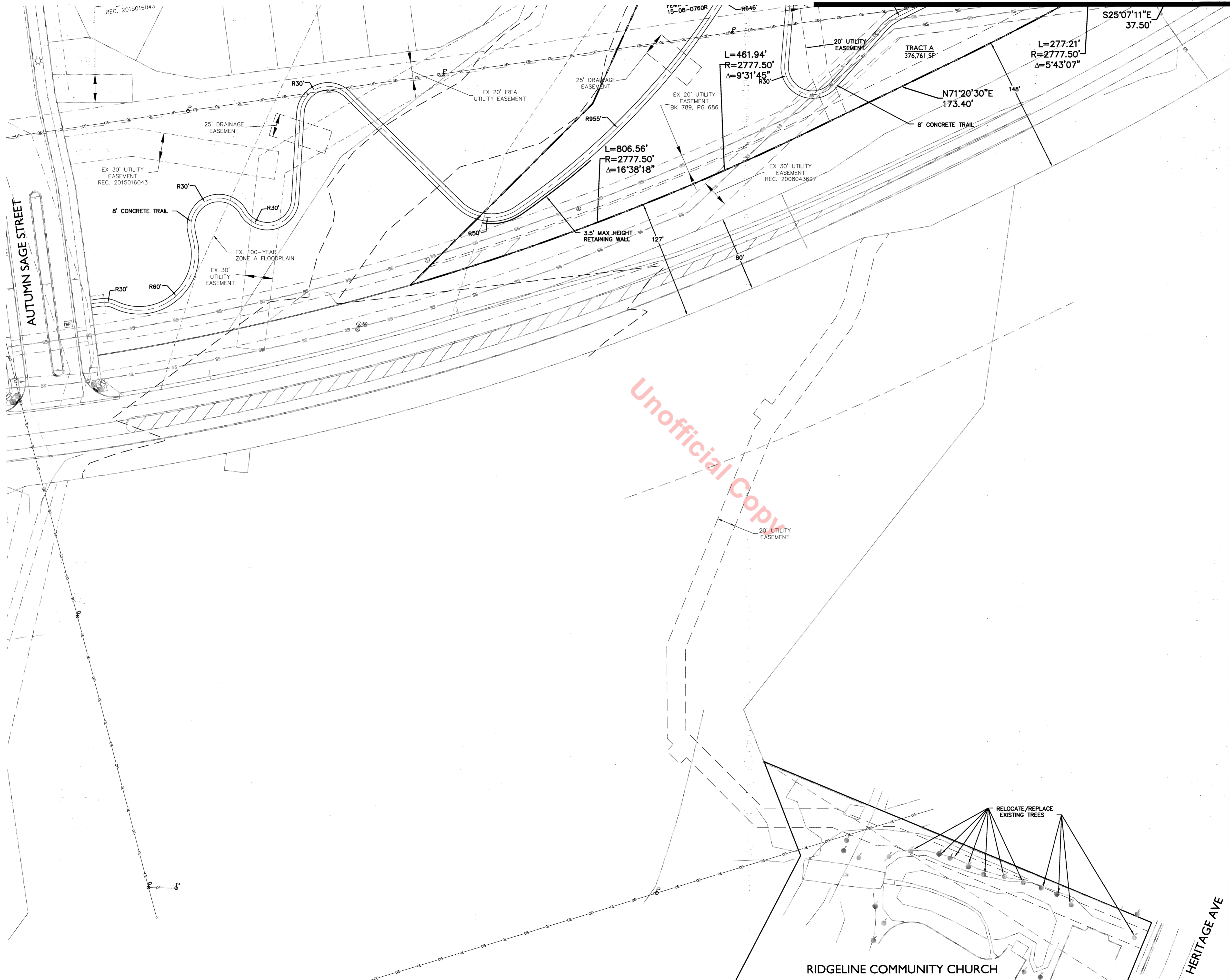
SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,

SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 10



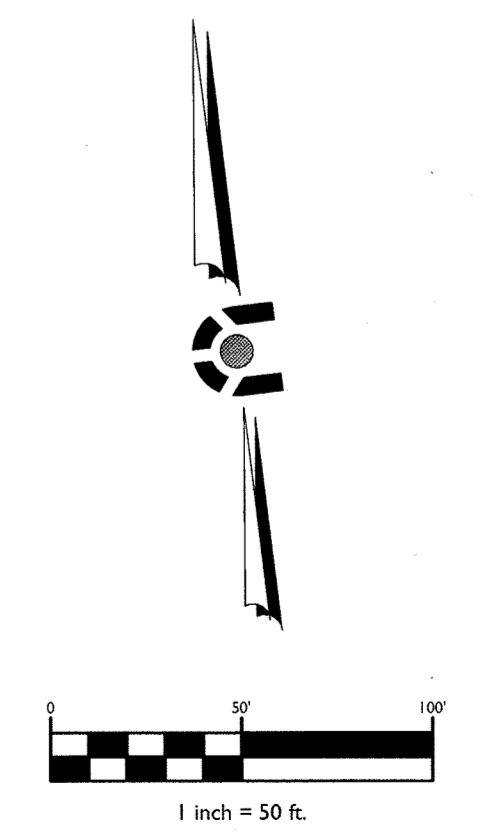
LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

NOTE:
 LOTS MARKED WITH * SHALL HAVE NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.

MATCHLINE-SEE SHEET 10

Unofficial Copy



SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDP15-0008
 SHEET 11 OF 48

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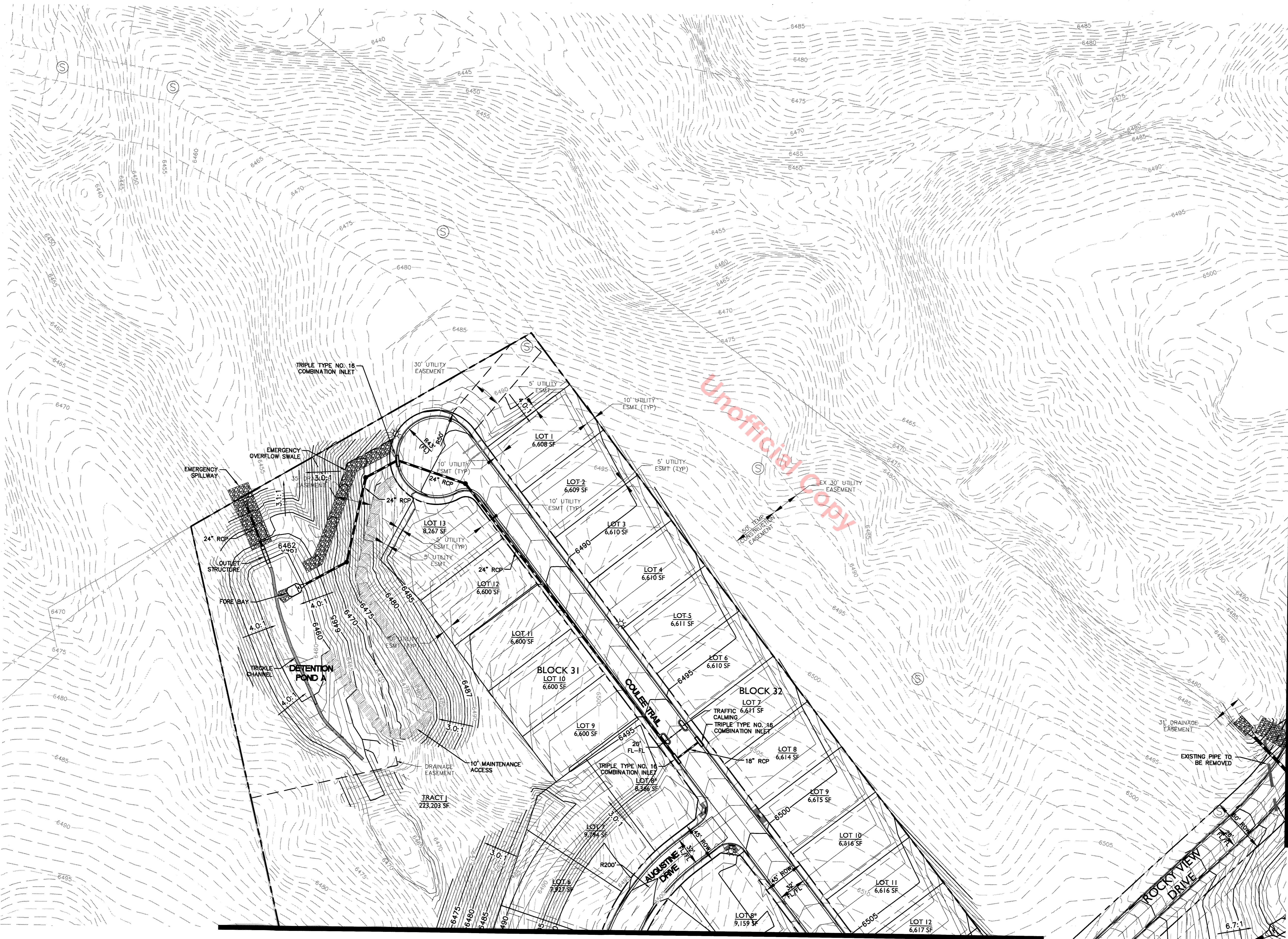
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM RECORD DRAWINGS. THE CONTRACTOR TO FIELD VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND THE RESULTS OF ALL CONSTRUCTION ACTIVITIES.
 811 logo

#	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PID
2	PER TOWN COMMENTS	6/02/15	PER
3	PER TOWN COMMENTS	9/11/15	PID
4	PER TOWN COMMENTS	10/12/15	PID

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 SITE PLAN
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: PID
 DRAWN BY: NJM
 CHECKED BY: BRC
 JOB NO. 14-001
 SHEET 11 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK



LEGEND

	PROPOSED STORM DRAIN
	MANHOLE AND PIPE
	INLET
	FLARED END SECTION
	EXISTING STORM DRAIN
	MANHOLE AND PIPE
	INLET
	FLARED END SECTION
	GAS LINE
	EASEMENT
	CENTER LINE
	PROPERTY BOUNDARY
	CDOT R.O.W.
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	DRAINAGE SWALE AROUND FINISHED LOT
	LIMITS OF CONSTRUCTION
	HANDICAPPED RAMP
	SPOT ELEVATION
	A LOT
	B LOT
	WALK OUT LOT
	TRANSITION LOT

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 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CORE CONSULTANTS

CALL SUBMITTERS IN ADVANCE BEFORE YOU
 DIG, GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 LOCATIONS. THE MARKING OF EXISTING UTILITIES
 SHOWN ON THE DRAWING HAS BEEN OBTAINED
 FROM THE RECORD DRAWINGS AND FIELD SURVEY.
 THE REPRESENTATIVE OF ALL UTILITIES PRIOR TO THE
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

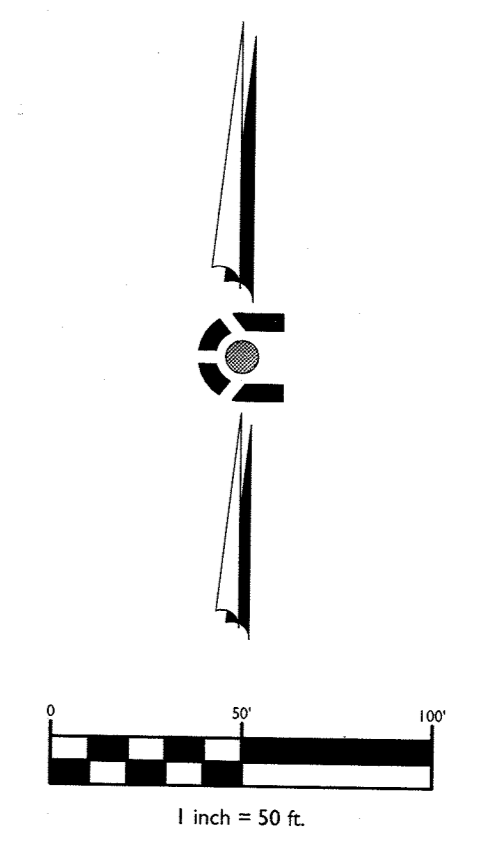
REVISIONS	
#	DATE BY
1.	PER TOWN COMMENTS 4/17/15 PID
2.	PER TOWN COMMENTS 6/02/15 PER
3.	PER TOWN COMMENTS 9/11/15 PID
4.	PER TOWN COMMENTS 10/12/15 PID

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 GRADING PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015 DESIGNED BY: PID DRAWN BY: NJM CHECKED BY: BRC	JOB NO. 14-001 SHEET 12 OF 48
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MATCHLINE-SEE SHEET 13

MATCHLINE-SEE SHEET 14

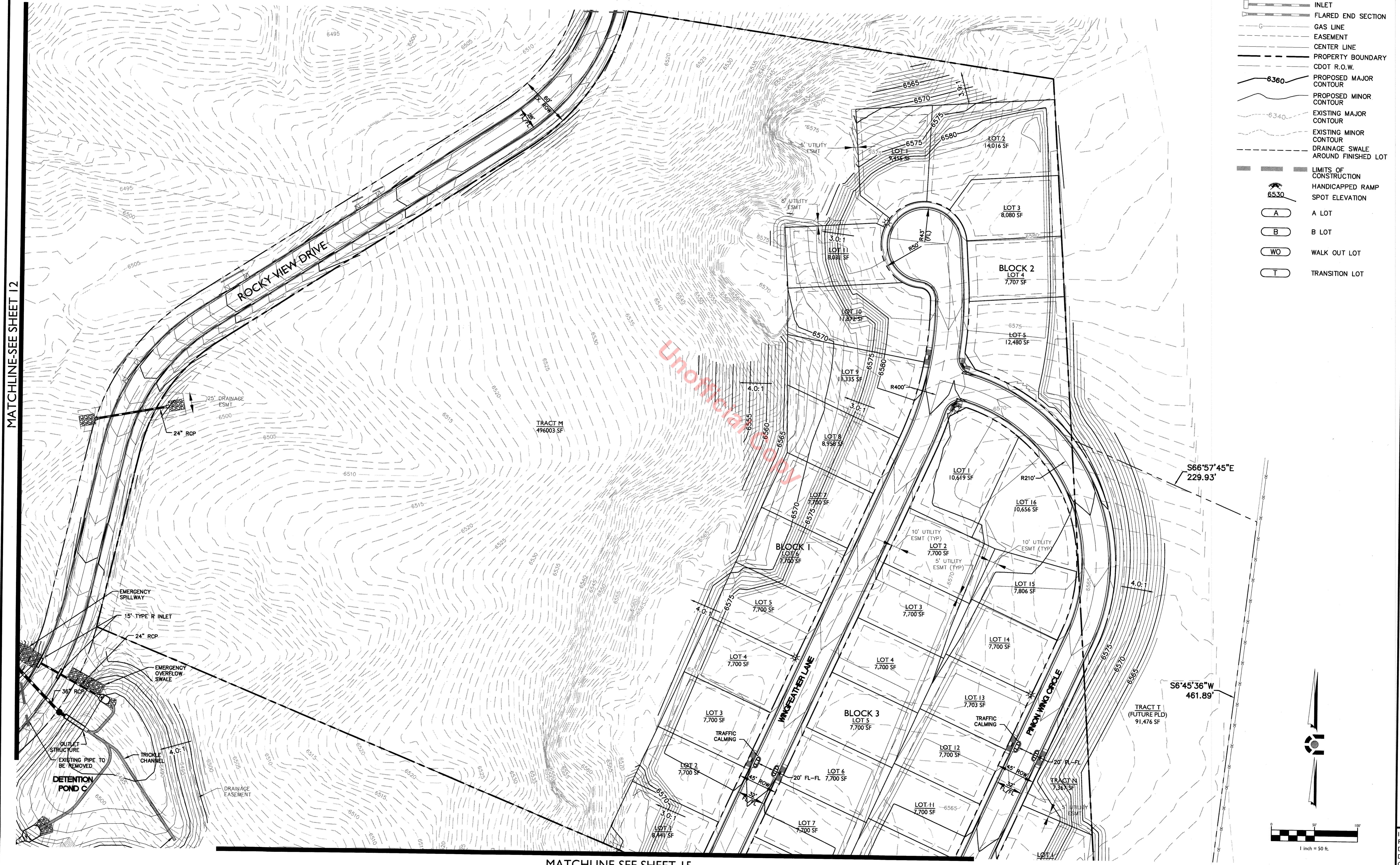


SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LEGEND

- PROPOSED STORM DRAIN
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EXISTING STORM DRAIN
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY
- CDOT R.O.W.
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION
- A LOT
- B LOT
- WO WALK OUT LOT
- T TRANSITION LOT

MATCHLINE-SEE SHEET 12



MATCHLINE-SEE SHEET 15

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LAND SURVEYING**
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

**CORE
CONSULTANTS**

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND UTILITY LINES.

CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LINES. THE USER OF THIS DRAWING HAS BEEN NOTIFIED
BY THE DESIGNER OF THE LOCATION OF ALL UTILITIES AND THE
RESPONSIBILITY FOR THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

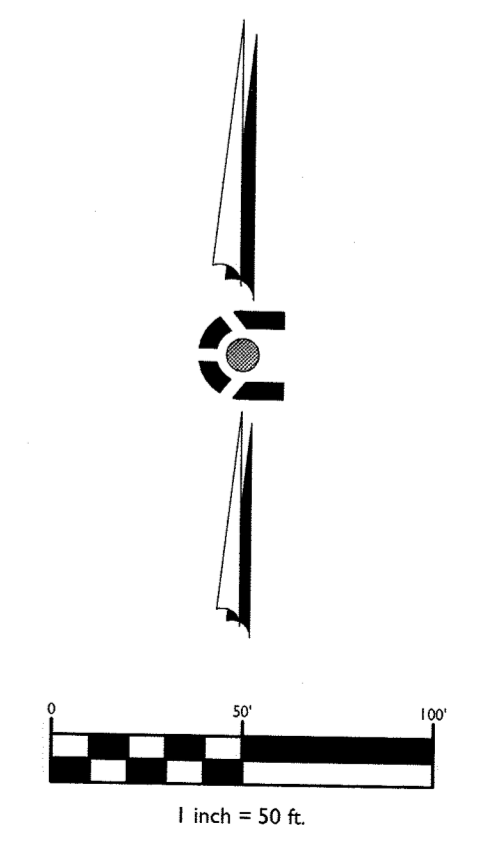
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REVISIONS	#	DESCRIPTION	DATE BY
1.	PER TOWN COMMENTS	4/17/15 PID	
2.	PER TOWN COMMENTS	6/02/15 PER	
3.	PER TOWN COMMENTS	9/11/15 PID	
4.	PER TOWN COMMENTS	10/12/15 PID	

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN**
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
13 OF 48



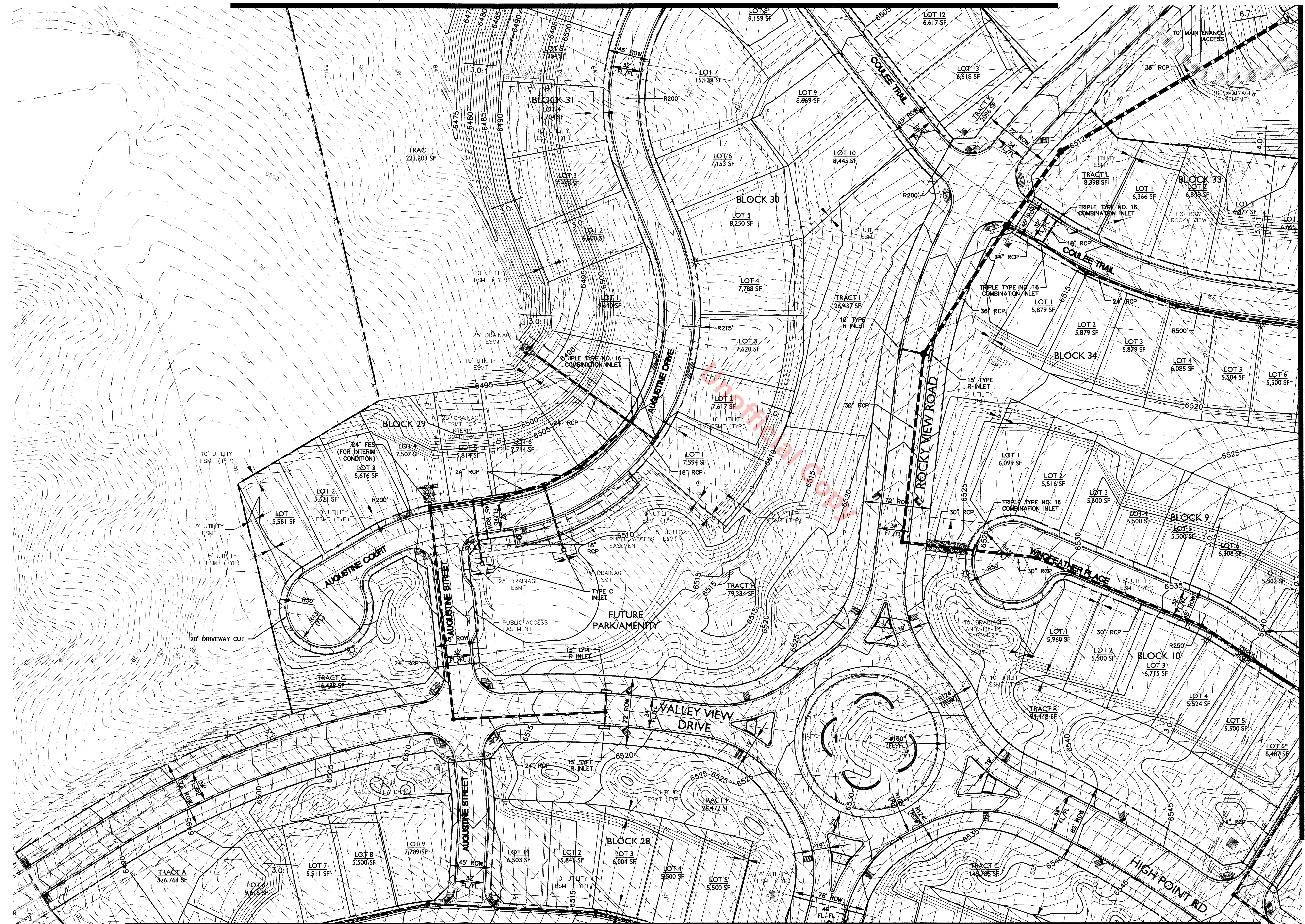
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
GRADING PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 12

LEGEND

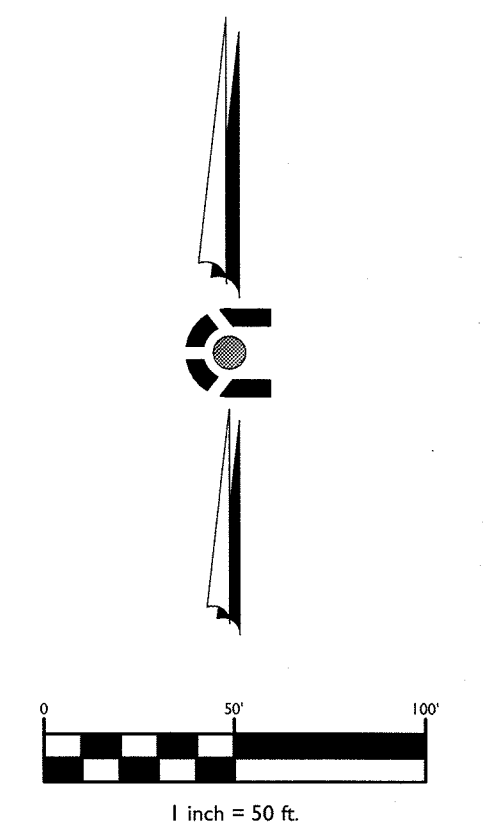
- PROPOSED STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EXISTING STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- PROPOSED MAJOR CONTOUR**
- PROPOSED MINOR CONTOUR**
- EXISTING MAJOR CONTOUR**
- EXISTING MINOR CONTOUR**
- DRAINAGE SWALE AROUND FINISHED LOT**
- LIMITS OF CONSTRUCTION**
- HANDICAPPED RAMP**
- SPOT ELEVATION**
- A LOT**
- B LOT**
- WALK OUT LOT**
- TRANSITION LOT**



MATCHLINE-SEE SHEET 16

MATCHLINE-SEE SHEET 17

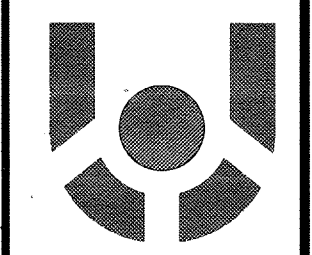
MATCHLINE-SEE SHEET 15



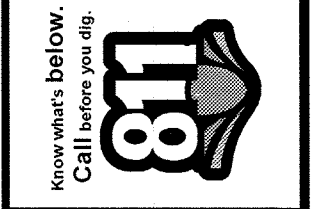
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
GRADING PLAN

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING

CORE
CONSULTANTS



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE OR EXCAVATE FOR THE MARKING OF
UNDERGROUND UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
UTILITIES SHOWN ON THE DRAWING HAVE BEEN LOCATED
BY THE CONTRACTOR TO FIELD VERIFY.
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
THE LOCATION OF ALL UTILITIES IS THE
CONTRACTOR'S RESPONSIBILITY.



#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 PID
2	PER TOWN COMMENTS	6/22/15 PER
3	PER TOWN COMMENTS	9/11/15 PER
4	PER TOWN COMMENTS	10/12/15 PID

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
14 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK MATCHLINE-SEE SHEET 13

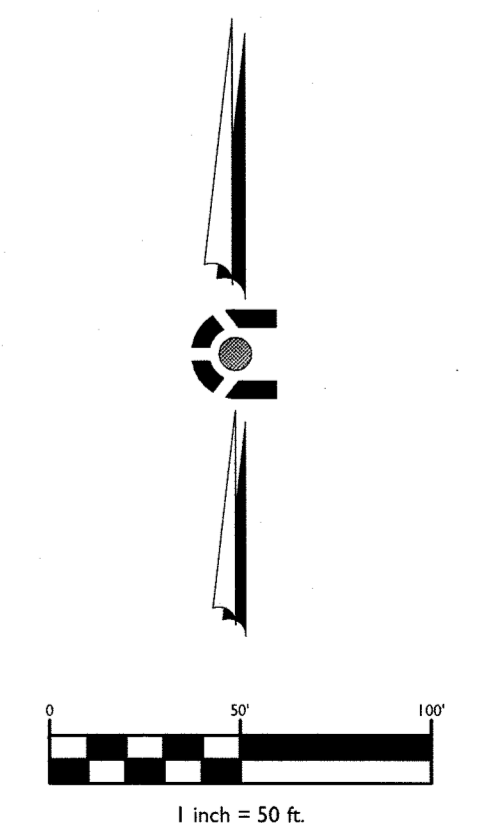
LEGEND

- PROPOSED STORM DRAIN**
 - MANHOLE AND PIPE
 - FLARED END SECTION
- EXISTING STORM DRAIN**
 - MANHOLE AND PIPE
 - FLARED END SECTION
- PROPOSED MAJOR CONTOUR**
- PROPOSED MINOR CONTOUR**
- EXISTING MAJOR CONTOUR**
- EXISTING MINOR CONTOUR**
- DRAINAGE SWALE**
- AROUND FINISHED LOT**
- LIMITS OF CONSTRUCTION**
- HANDICAPPED RAMP**
- SPOT ELEVATION**
- A LOT**
- B LOT**
- WALK OUT LOT**
- TRANSITION LOT**

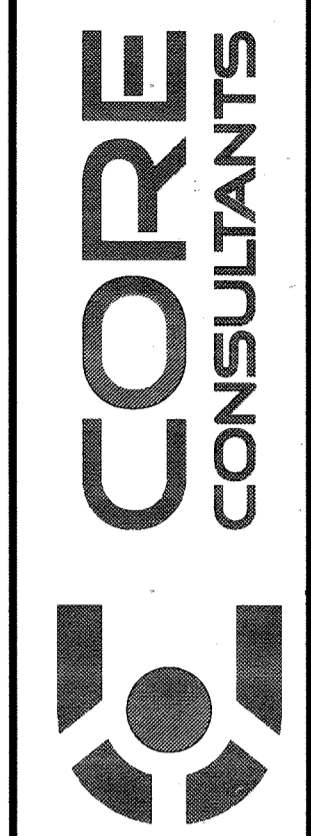


MATCHLINE-SEE SHEET 14

MATCHLINE-SEE SHEET 17



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
305.703.4444
1950 W. Litcheron Blvd., Ste. 109
Litcheron, CO 80120



CALL BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED
THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY
THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION PROJECT.



REVISIONS	DATE	BY
1. PER TOWN COMMENTS	4/17/15	PID
2. PER TOWN COMMENTS	6/02/15	PID
3. PER TOWN COMMENTS	9/11/15	PID
4. PER TOWN COMMENTS	10/12/15	PID

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

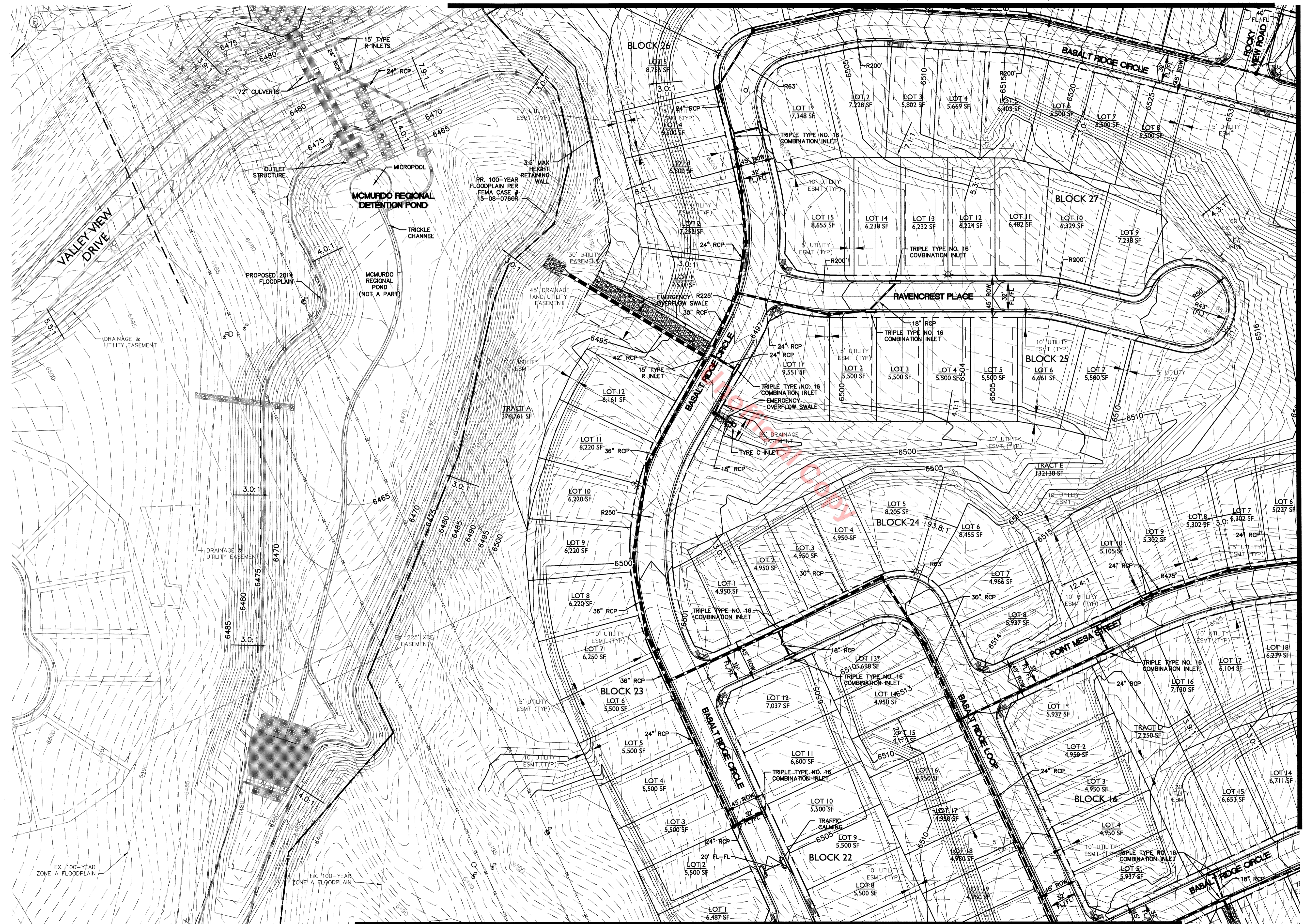
JOB NO.
14-001
SHEET
15 OF 48

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK
MATCHLINE-SEE SHEET 14

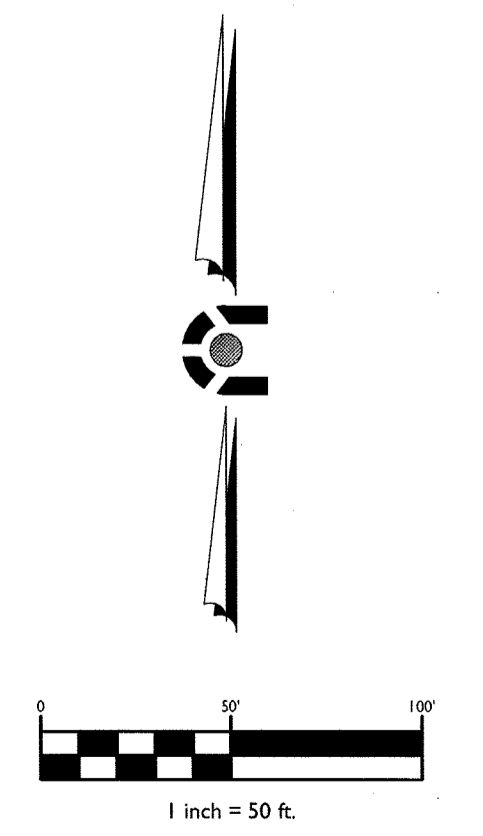
LEGEND

- PROPOSED STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EXISTING STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
 - GLASS LINE
 - EASEMENT
 - CENTER LINE
 - PROPERTY BOUNDARY
 - CDOT R.O.W.
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - DRAINAGE SWALE
 - AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION
- A LOT
- B LOT
- WALK OUT LOT
- TRANSITION LOT



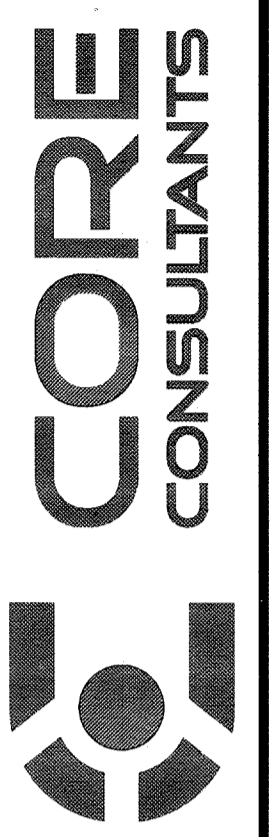
MATCHLINE-SEE SHEET 17

MATCHLINE-SEE SHEET 18



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
GRADING PLAN

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 5-BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. CONTACT US AT 303.703.4444 FOR
UNDERGROUND UTILITY INFORMATION.
LOCATIONS HORIZONTAL AND VERTICAL. THE CUTTING
UTILITIES SHOWN ON THE DRAWING HAVE BEEN PLOTTED
FROM THE RECORD DRAWINGS. THE CONTRACTOR TO VERIFY
THE REASONABLENESS OF ANY CONSTRUCTION ACTIVITIES.
CONTRACTOR'S RESPONSIBILITY.



#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PJD
2	PER TOWN COMMENTS	6/02/15	PER
3	PER TOWN COMMENTS	9/11/15	PJD
4	PER TOWN COMMENTS	10/12/15	PJD

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PJD
DRAWN BY: NJM
CHECKED BY: BRC

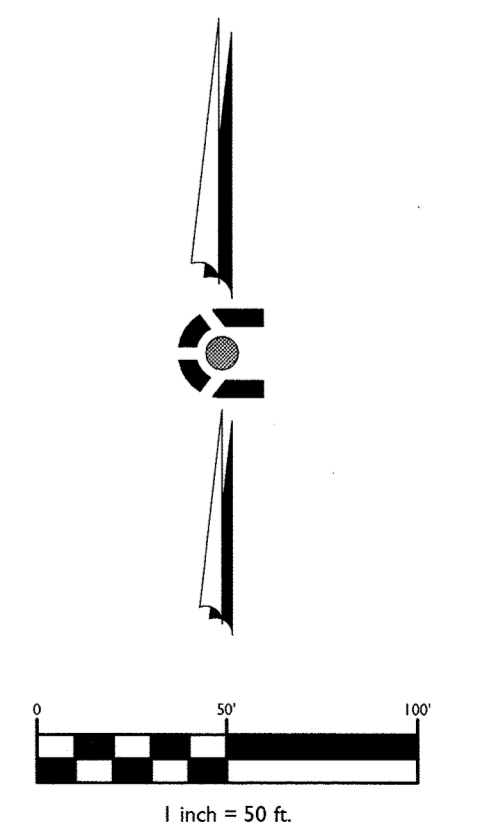
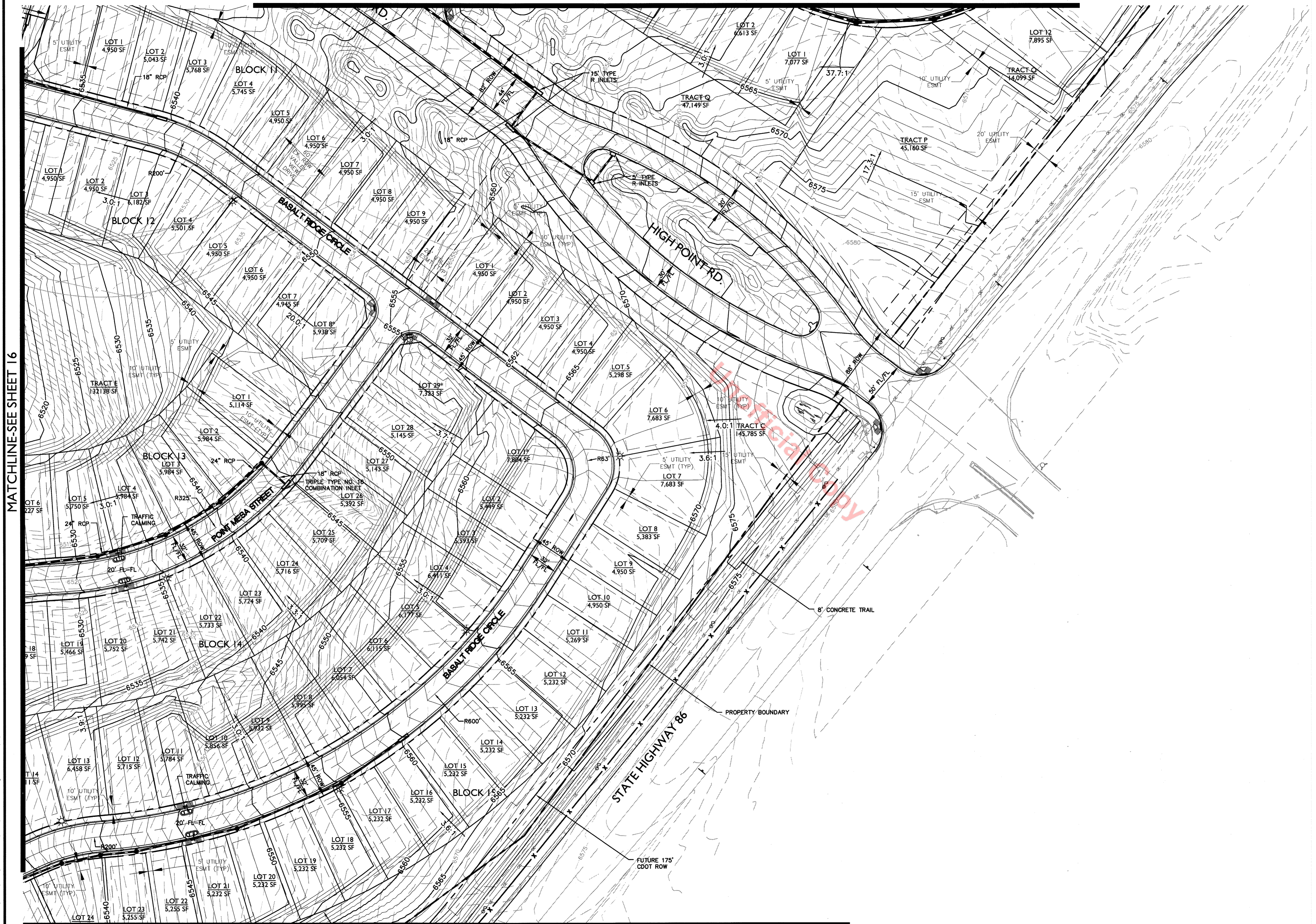
JOB NO.
14-001
SHEET
16 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 15

LEGEND

- PROPOSED STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EXISTING STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY
- DOT R.O.W.
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION
- A LOT
- B LOT
- WALK OUT LOT
- TRANSITION LOT



MATCHLINE-SEE SHEET 18

MATCHLINE-SEE SHEET 16

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DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. GR. UNDERGROUND MEMBER UTILITIES.
Call before you dig.

REVISIONS	
#	DESCRIPTION
1.	PER TOWN COMMENTS 4/17/15, PID
2.	PER TOWN COMMENTS 6/02/15, DEN
3.	PER TOWN COMMENTS 9/11/15, PID
4.	PER TOWN COMMENTS 10/21/15, PID

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

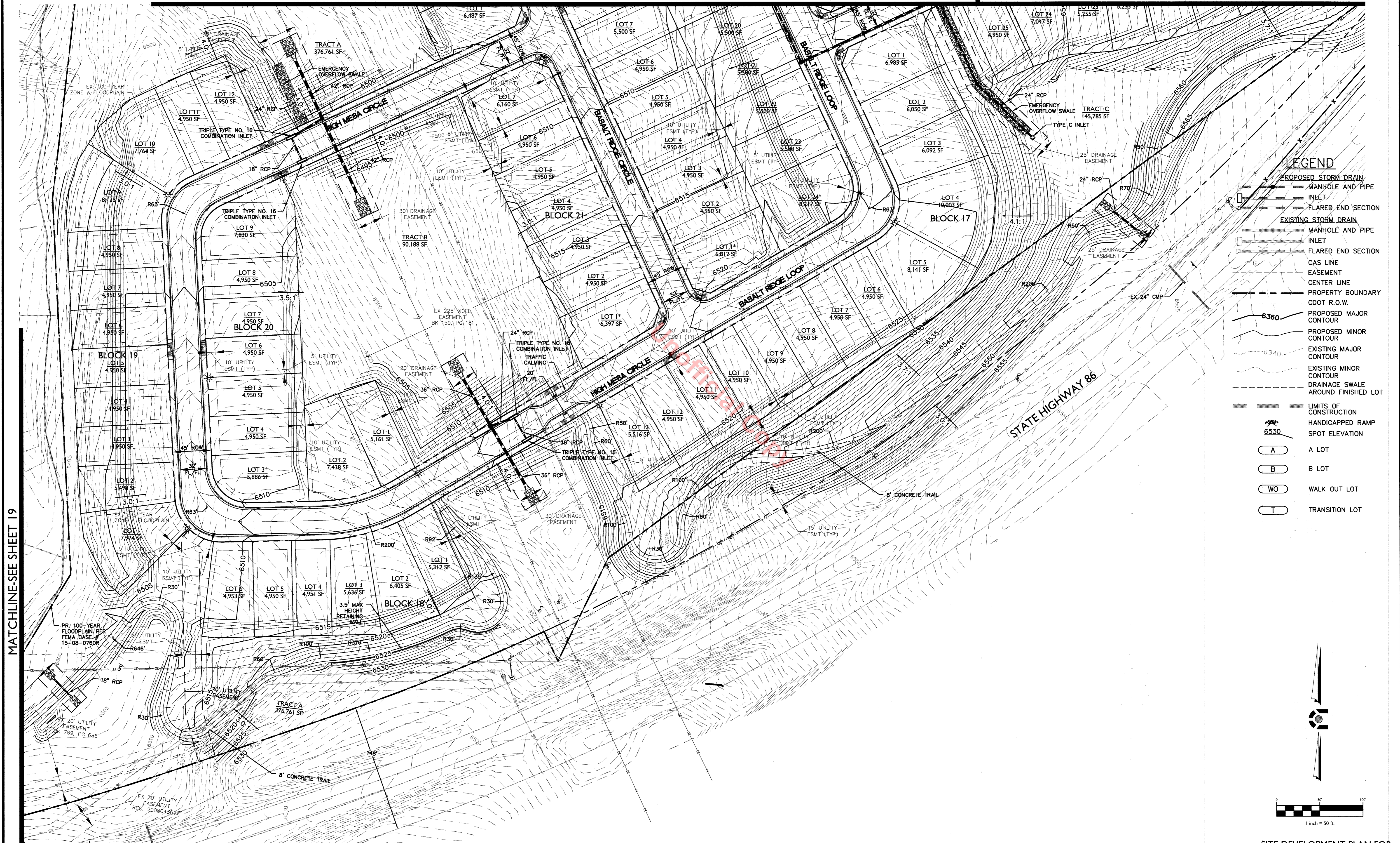
JOB NO.
14-001
SHEET
17 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
GRADING PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

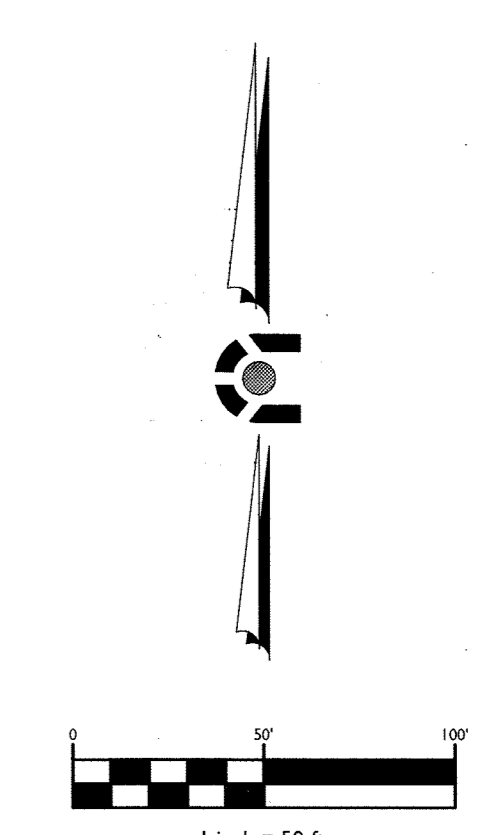
MATCHLINE-SEE SHEET 16

MATCHLINE-SEE SHEET 17

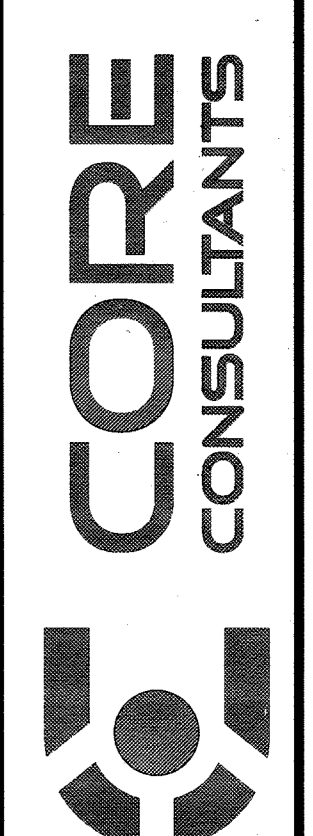


LEGEND

- PROPOSED STORM DRAIN
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EXISTING STORM DRAIN
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- GAS LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY
- CDOT R.O.W.
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- DRAINAGE SWALE AROUND FINISHED LOT
- LIMITS OF CONSTRUCTION
- HANDICAPPED RAMP
- SPOT ELEVATION
- A LOT
- B LOT
- WALK OUT LOT
- TRANSITION LOT



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LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. ALWAYS ASK REGARDLESS OF THE UTILITY
LOCATOR'S HORIZONTAL AND VERTICAL. THE EXISTING
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN SPOTTED
BY THE CONTRACTOR TO FIELD VERIFY
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PID
2	PER TOWN COMMENTS	6/02/15	DR
3	PER TOWN COMMENTS	9/11/15	PID
4	PER TOWN COMMENTS	10/21/15	PID

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 GRADING PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
18 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
GRADING PLAN

MATCHLINE-SEE SHEET 19

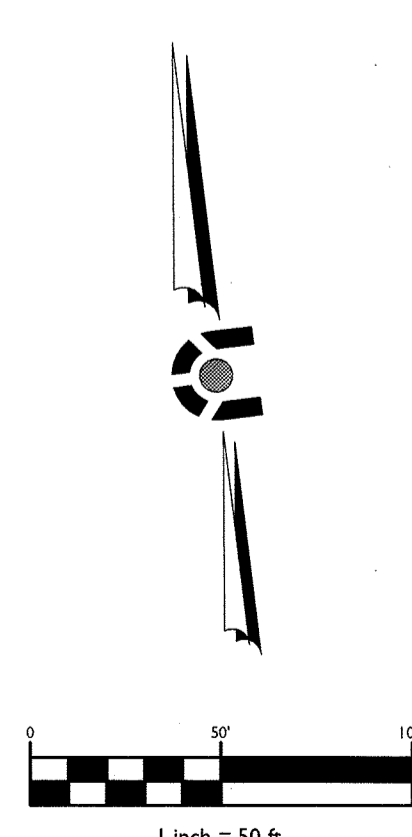
SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK MATCHLINE-SEE SHEET 18

LEGEND

- PROPOSED STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EXISTING STORM DRAIN**
 - MANHOLE AND PIPE
 - INLET
 - FLARED END SECTION
- EASEMENT**
 - GAS LINE
 - CENTER LINE
 - PROPERTY BOUNDARY
 - CDOT R.O.W.
- PROPOSED MAJOR CONTOUR**
- PROPOSED MINOR CONTOUR**
- EXISTING MAJOR CONTOUR**
- EXISTING MINOR CONTOUR**
- DRAINAGE SWALE AROUND FINISHED LOT**
- LIMITS OF CONSTRUCTION**
- HANDICAPPED RAMP**
- SPOT ELEVATION**
- A LOT**
- B LOT**
- WALK OUT LOT**
- TRANSITION LOT**

MATCHLINE-SEE SHEET 18



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDPI5-0008
GRADING PLAN

REVISIONS	
#	DESCRIPTION
1	PER TOWN COMMENTS
2	PER TOWN COMMENTS
3	PER TOWN COMMENTS
4	PER TOWN COMMENTS

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
GRADING PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PJD
DRAWN BY: NIM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
19 OF 48

CALL SURVEYOR FOR UTILITY INFORMATION
DIG. GRADE OR ESCALATE FOR THE MARKING OF
UNDERGROUND REFER UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LOCATIONS HORIZONTAL AND VERTICAL. THE DOTTING
LOCATIONS HORIZONTAL AND VERTICAL. THE DOTTING
FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER
THE LOCATION OF ALL UTILITIES FROM TO THE
COMPONENTS OF ANY CONSTRUCTION ACTIVITIES.

DATE BY	DATE BY
4/17/15 PJD	4/17/15 PJD
6/02/15 PER	6/02/15 PER
9/11/15 RID	9/11/15 RID
10/12/15 RID	10/12/15 RID

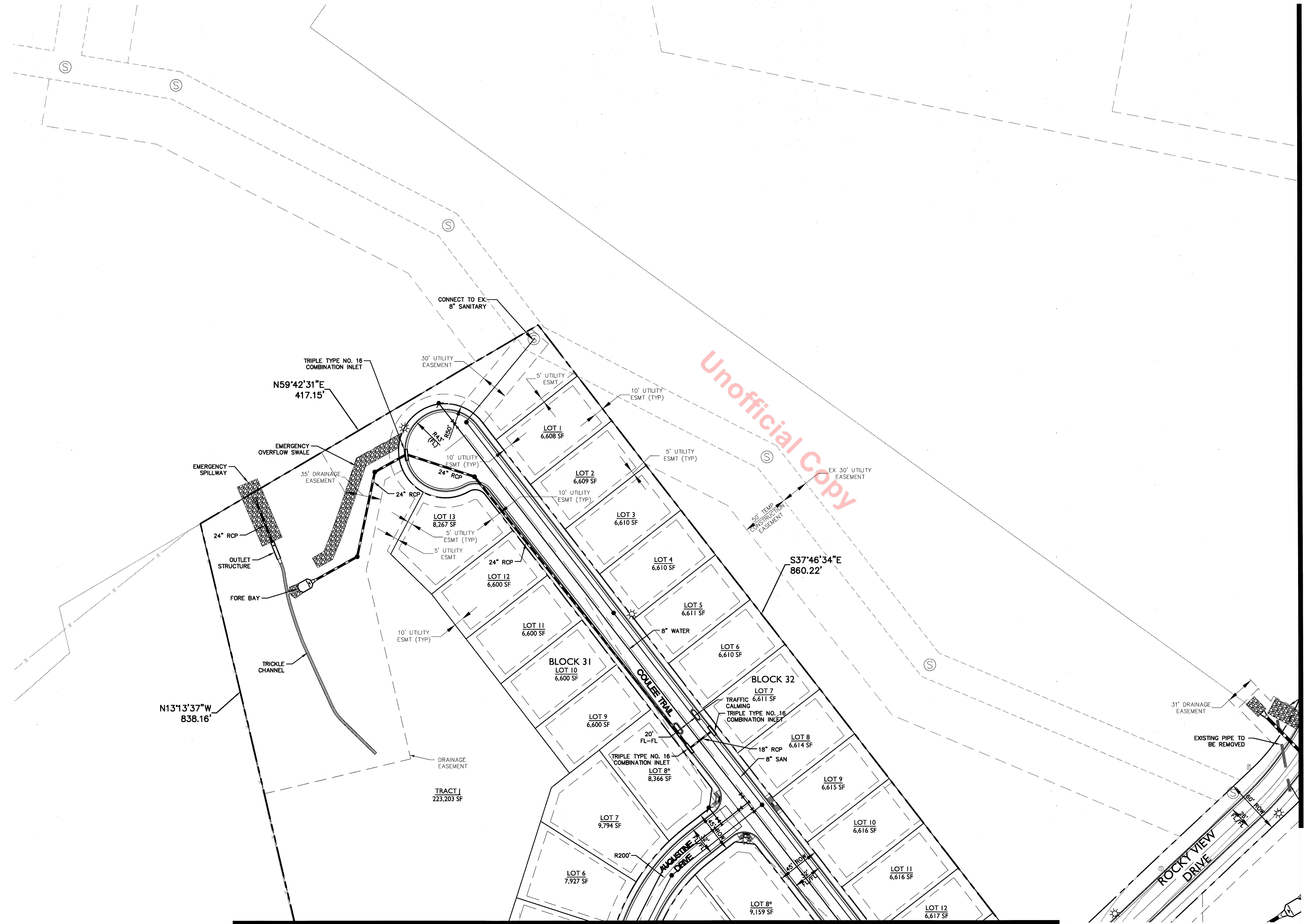
CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LEGEND:

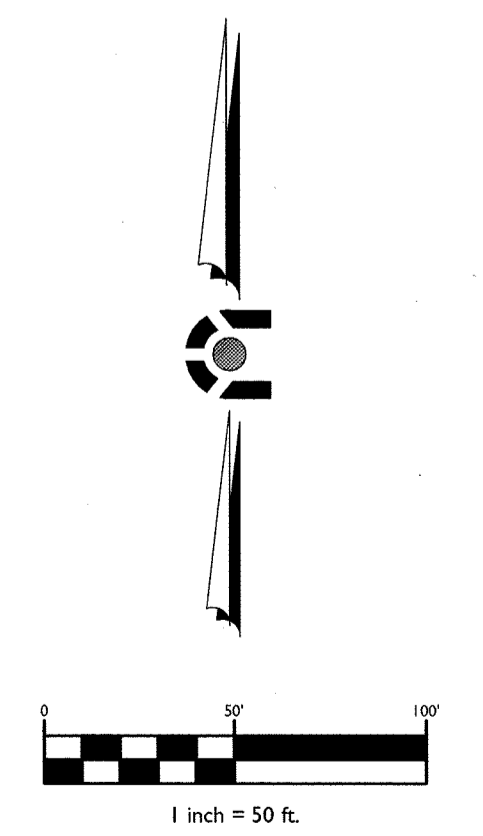
- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" PIPE WITH MANHOLE
- EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE INLET
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.



MATCHLINE-SEE SHEET 21

MATCHLINE-SEE SHEET 22



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
UTILITY PLAN

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
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303.703.4444
1950 W. Larimer Blvd., Ste. 109
LITTLETON, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE OR EXCAVATE FOR THE MARKING OF
UNDERGROUND UTILITY LINES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN FLOTTED
THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
CONNECTIONS TO ALL UTILITIES.
811

REVISIONS	
#	DATE (BY)
1.	PER TOWN COMMENTS 4/17/15 (PID)
2.	PER TOWN COMMENTS 6/02/15 (PID)
3.	PER TOWN COMMENTS 9/11/15 (PID)
4.	PER TOWN COMMENTS 10/12/15 (PID)

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC
JOB NO.
14-001
SHEET
20 OF 48

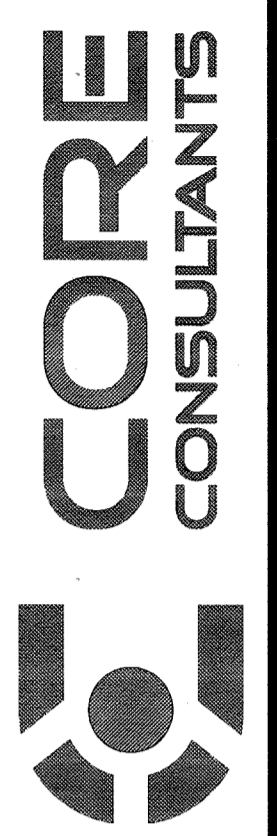
SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1,
 SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
 MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Lakewood Blvd., Ste. 109
 Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE RECORD DRAWINGS OF THE CONTRACTOR TO FIELD VERIFY. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

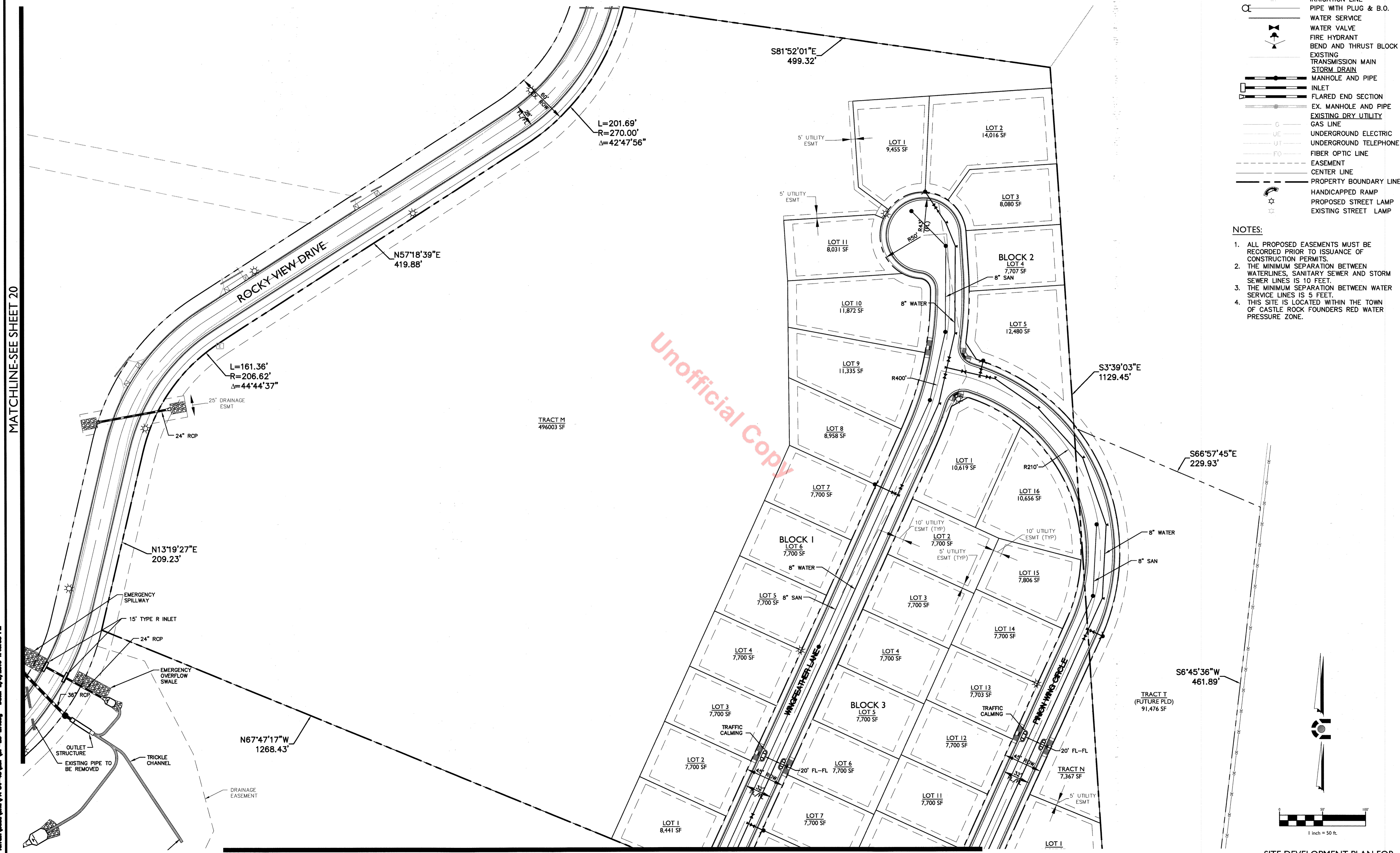


#	REVISIONS	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PIJ
2	PER TOWN COMMENTS	6/22/15	PIJ
3	PER TOWN COMMENTS	9/11/15	PIJ
4	PER TOWN COMMENTS	10/12/15	PIJ

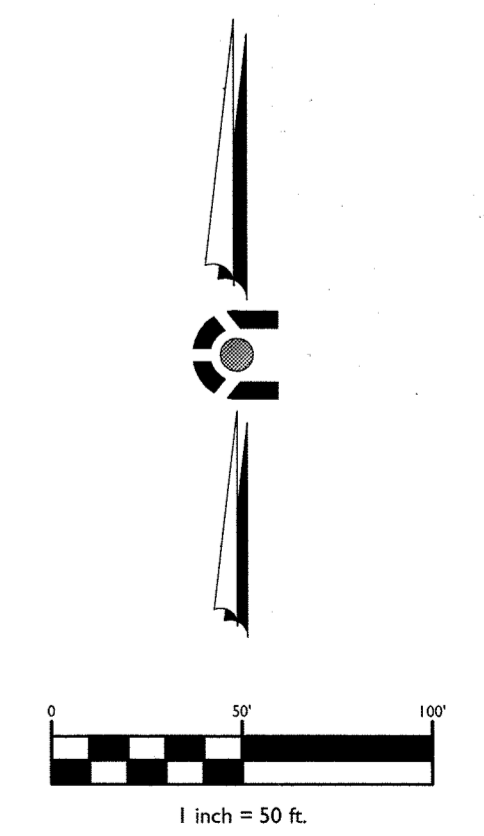
SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 UTILITY PLAN
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: PIJ
 DRAWN BY: NJM
 CHECKED BY: BRC

JOB NO.
 14-001
 SHEET
 21 OF 48



Unofficial Copy



MATCHLINE-SEE SHEET 20

Plot 21 of 48 Terrain Filing No. 1 - SDP15-008 Date: 2/20/2015 1:48:33 PM

MATCHLINE-SEE SHEET 23

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDP15-0008
 UTILITY PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 20

LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC TELEPHONE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE CONSULTANTS

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CHECK FOR ALL UTILITIES INCLUDING UNDERGROUND NEARBY UTILITIES.
KNOWN AS 811

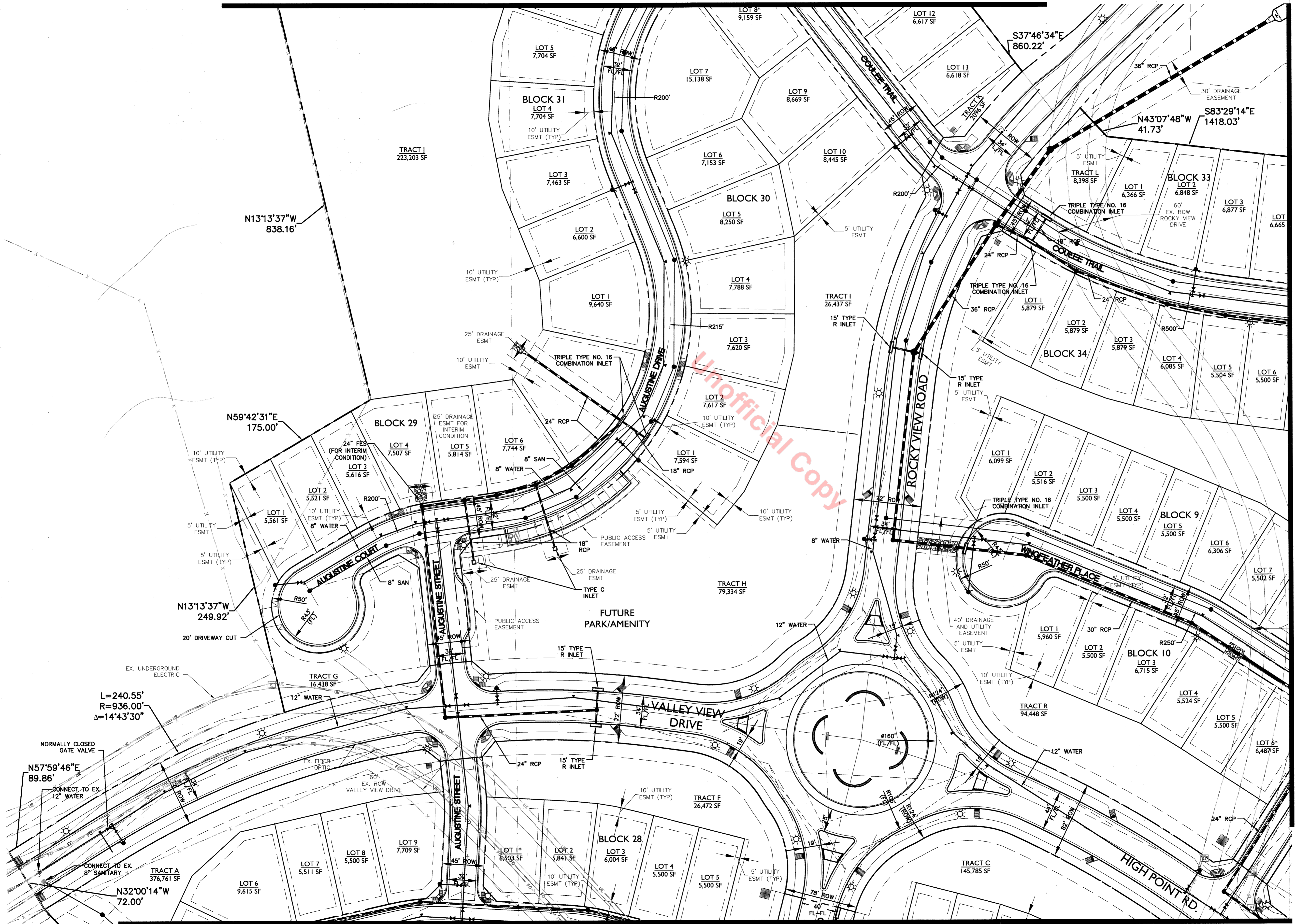
REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	PID
2	PER TOWN COMMENTS	6/02/15	PER
3	PER TOWN COMMENTS	9/17/15	PID
4	PER TOWN COMMENTS	10/12/15	PID

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

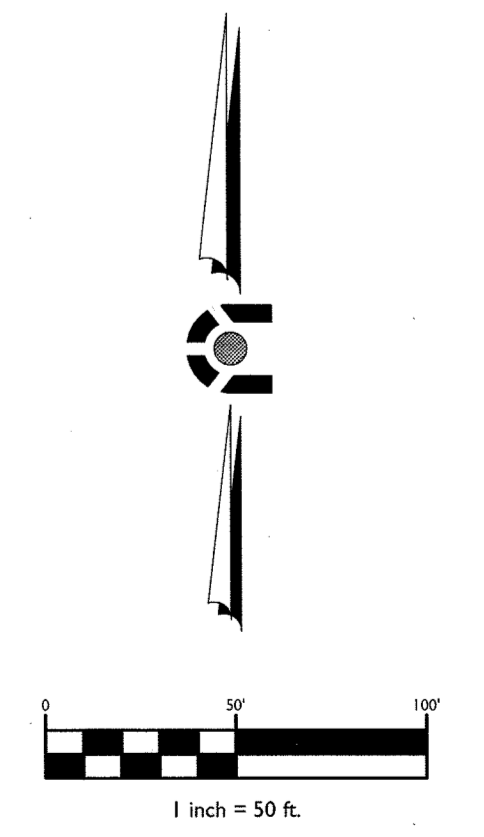
JOB NO.
14-001
SHEET
22 OF 48



MATCHLINE-SEE SHEET 23

MATCHLINE-SEE SHEET 24

MATCHLINE-SEE SHEET 25



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
UTILITY PLAN

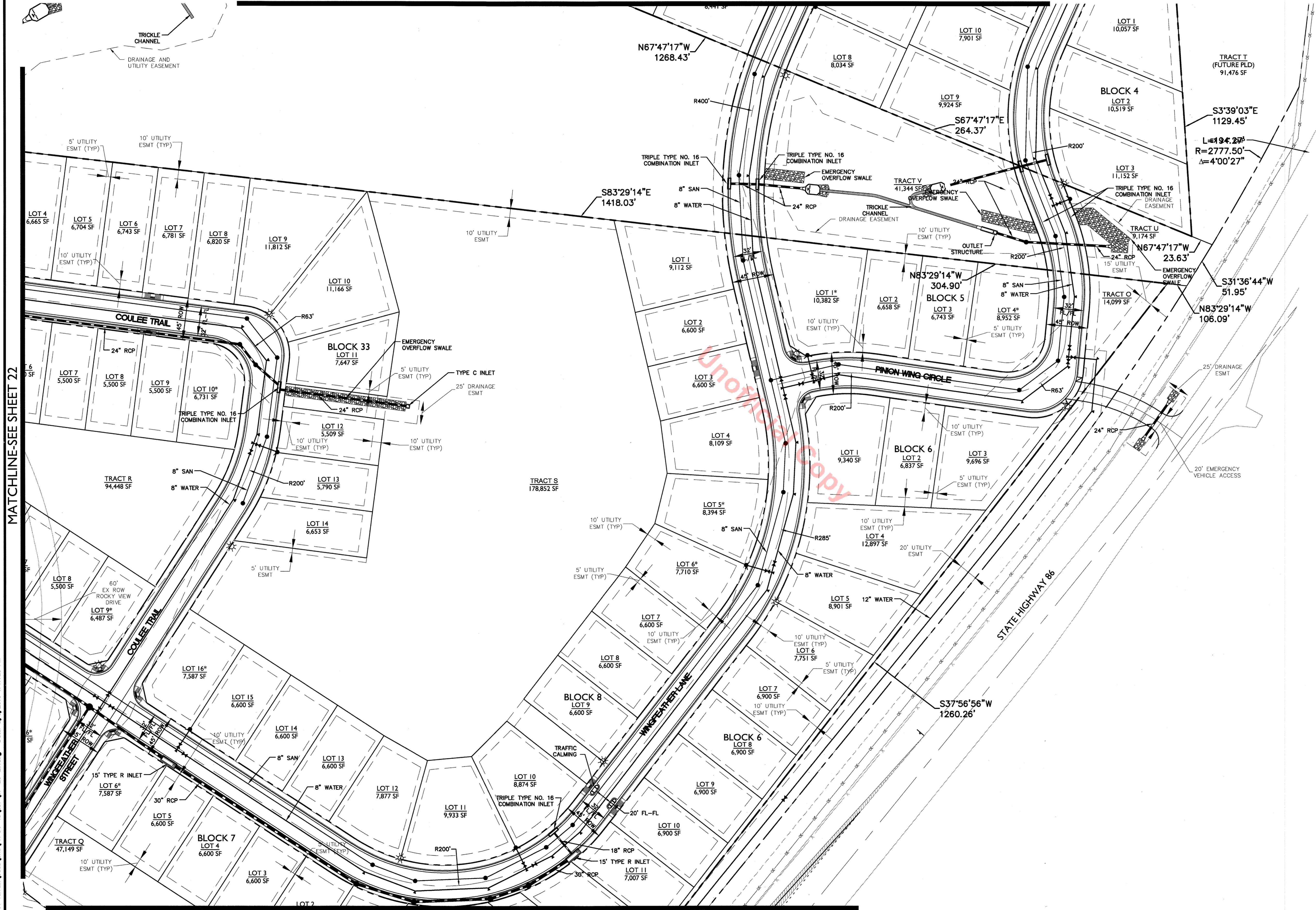
SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 21

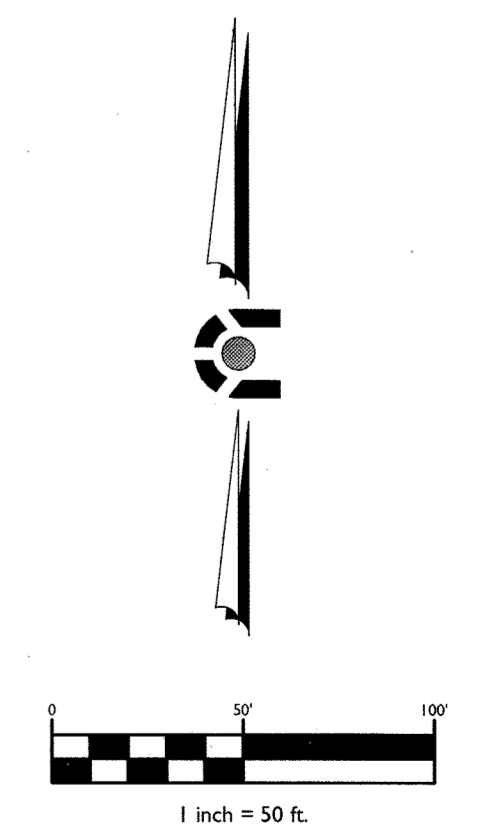
LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER
- PIPE WITH MANHOLE
- PIPE WITH PLUG
- EXISTING GRAVITY SEWER
- PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE INLET
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
- PROPERTY BOUNDARY LINE
- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.



MATCHLINE-SEE SHEET 25



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
UTILITY PLAN

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CORE
 CONSULTANTS

CALL BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND UTILITIES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
 UTILITIES SHOWN ON THE DRAWING HAVE BEEN FOOTED
 THE BEST AVAILABLE INFORMATION TO THE BEST OF
 THE LOCATION OF ALL UTILITIES PRIOR TO THE
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS	DATE BY
1. PER TOWN COMMENTS	4/17/15 PID
2. PER TOWN COMMENTS	6/02/15 PID
3. PER TOWN COMMENTS	9/11/15 PID
4. PER TOWN COMMENTS	10/12/15 PID

811
 Know what's below.
 Call before you dig.

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 UTILITY PLAN
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: PID
 DRAWN BY: NJM
 CHECKED BY: BRC

JOB NO.
 14-001
 SHEET
 23 OF 48

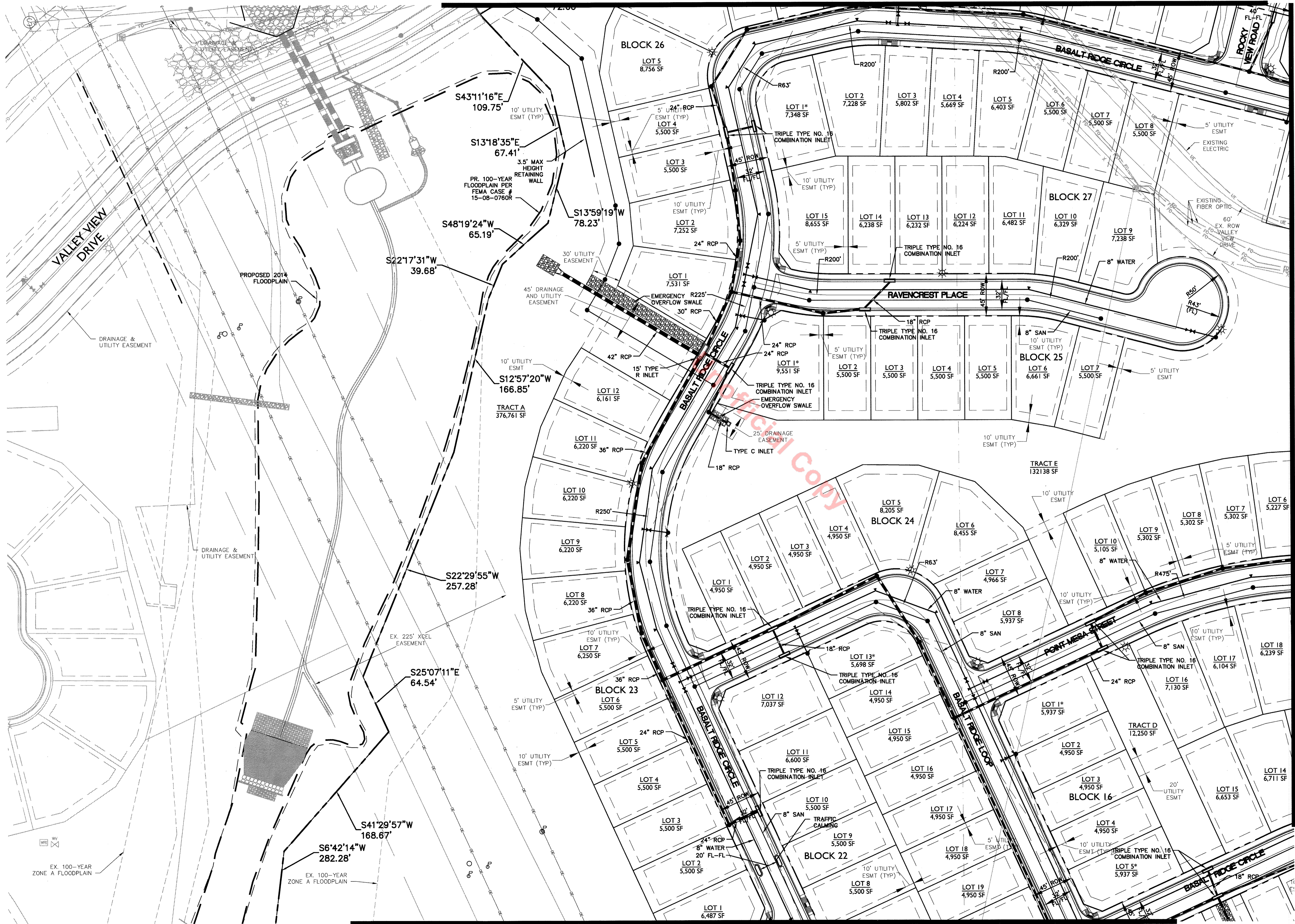
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1,
SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL
MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 22

LEGEND:

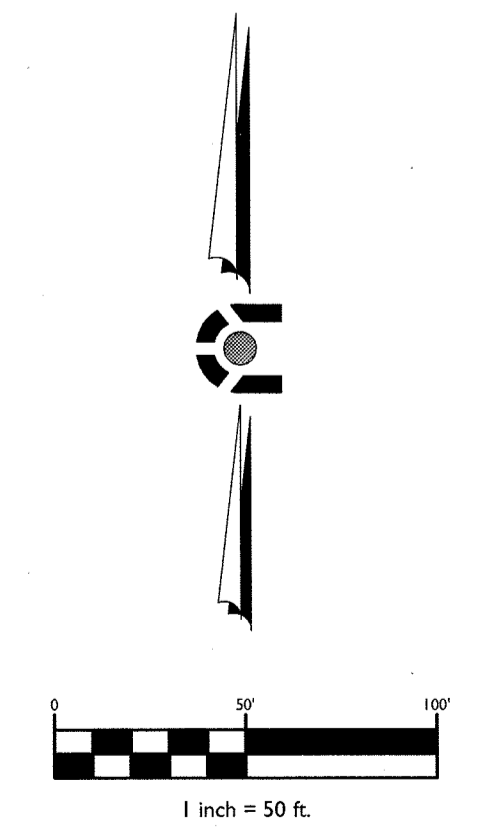
- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" SANITARY SERVICE, 4"
- EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
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- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.

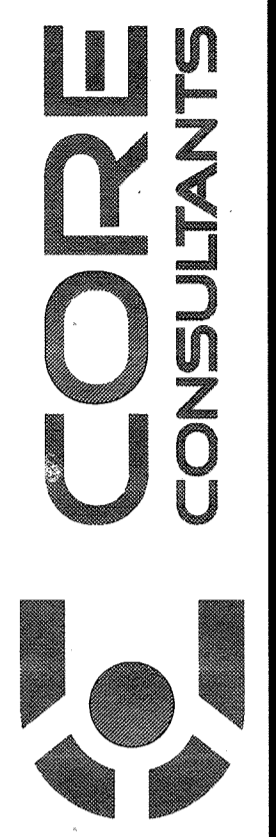


MATCHLINE-SEE SHEET 25

MATCHLINE-SEE SHEET 26



CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.702.4444
 1850 W. Lincoln Blvd., Ste. 109
 Littleton, CO 80120



CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY LINES.
 CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LINES SHOWN ON THE DRAWING HAVE BEEN LOCATED BY THE CONTRACTOR TO BE RESPONSIBLE TO THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



REVISIONS	DATE	BY
#	DATE	BY
1	4/17/15	PID
2	6/02/15	PID
3	9/11/15	PID
4	10/12/15	PID

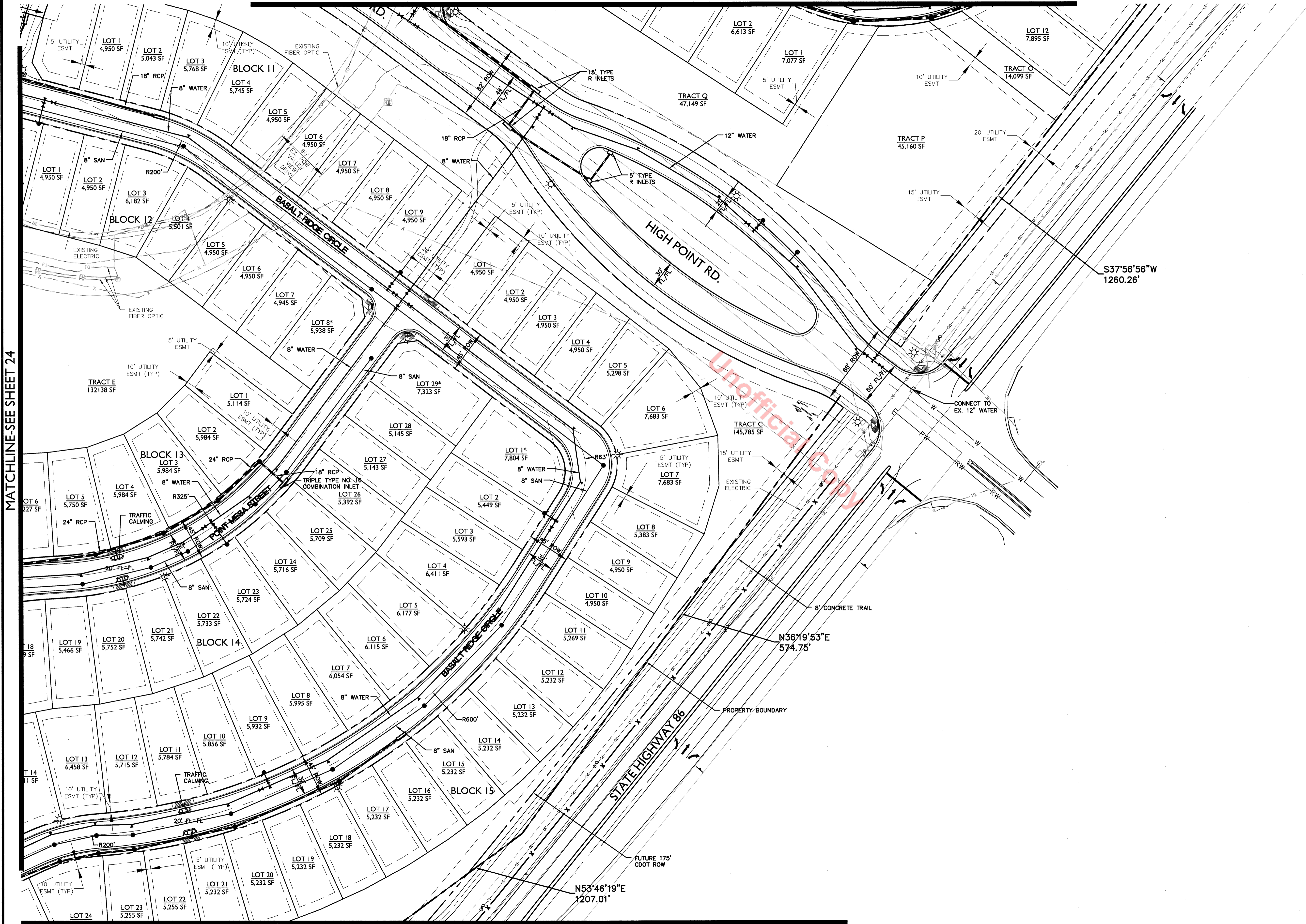
SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN	RELEASE: 2/20/2015
DESIGNED BY:	PID
DRAWN BY:	NJM
CHECKED BY:	BRC

JOB NO. 14-001
 SHEET 24 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 23



LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" PIPE WITH MANHOLE
- EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
- EXISTING DRY UTILITY
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
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- HANDICAPPED RAMP
- PROPOSED STREET LAMP
- EXISTING STREET LAMP

- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING

CORE CONSULTANTS

303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

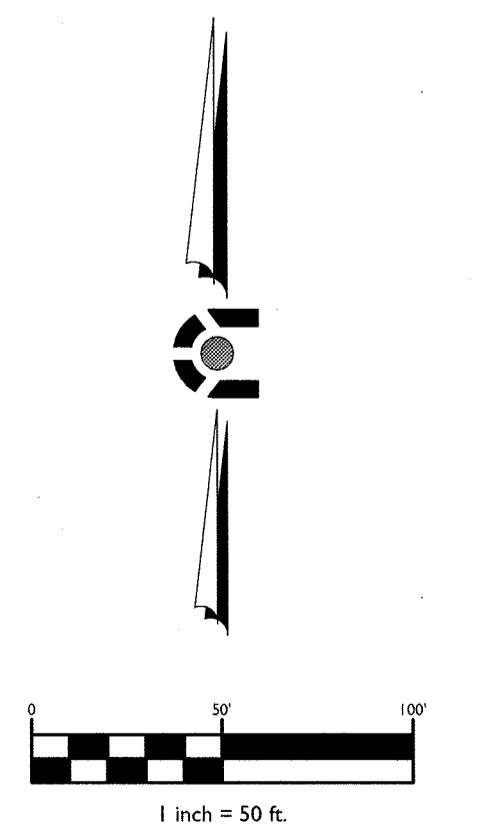
CALL 811 BEFORE YOU DIG. YOU ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM THE TOWN OF CASTLE ROCK AND THE COLORADO UTILITY LOCATIONS HORIZONTAL AND VERTICAL. THE LOCATIONS HORIZONTAL AND VERTICAL INFORMATION IS PROVIDED FOR INFORMATION ONLY. THE LOCATION OF ALL UTILITIES FROM THE TOWN OF CASTLE ROCK IS THE RESPONSIBILITY OF THE USER. THE LOCATION OF ALL UTILITIES FROM THE TOWN OF CASTLE ROCK IS THE RESPONSIBILITY OF THE USER.

Know what you dig. Call before you dig. **811**

REVISIONS	#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 PJD	
2	PER TOWN COMMENTS	6/02/15 DER	
3	PER TOWN COMMENTS	9/11/15 PJD	
4	PER TOWN COMMENTS	10/21/15 PJD	

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN**

TOWN OF CASTLE ROCK, COLORADO



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
UTILITY PLAN

INITIAL PLAN	JOB NO.
RELEASE: 2/20/2015	14-001
DESIGNED BY: PJD	SHEET
DRAWN BY: NIM	25 OF 48
CHECKED BY: BRC	

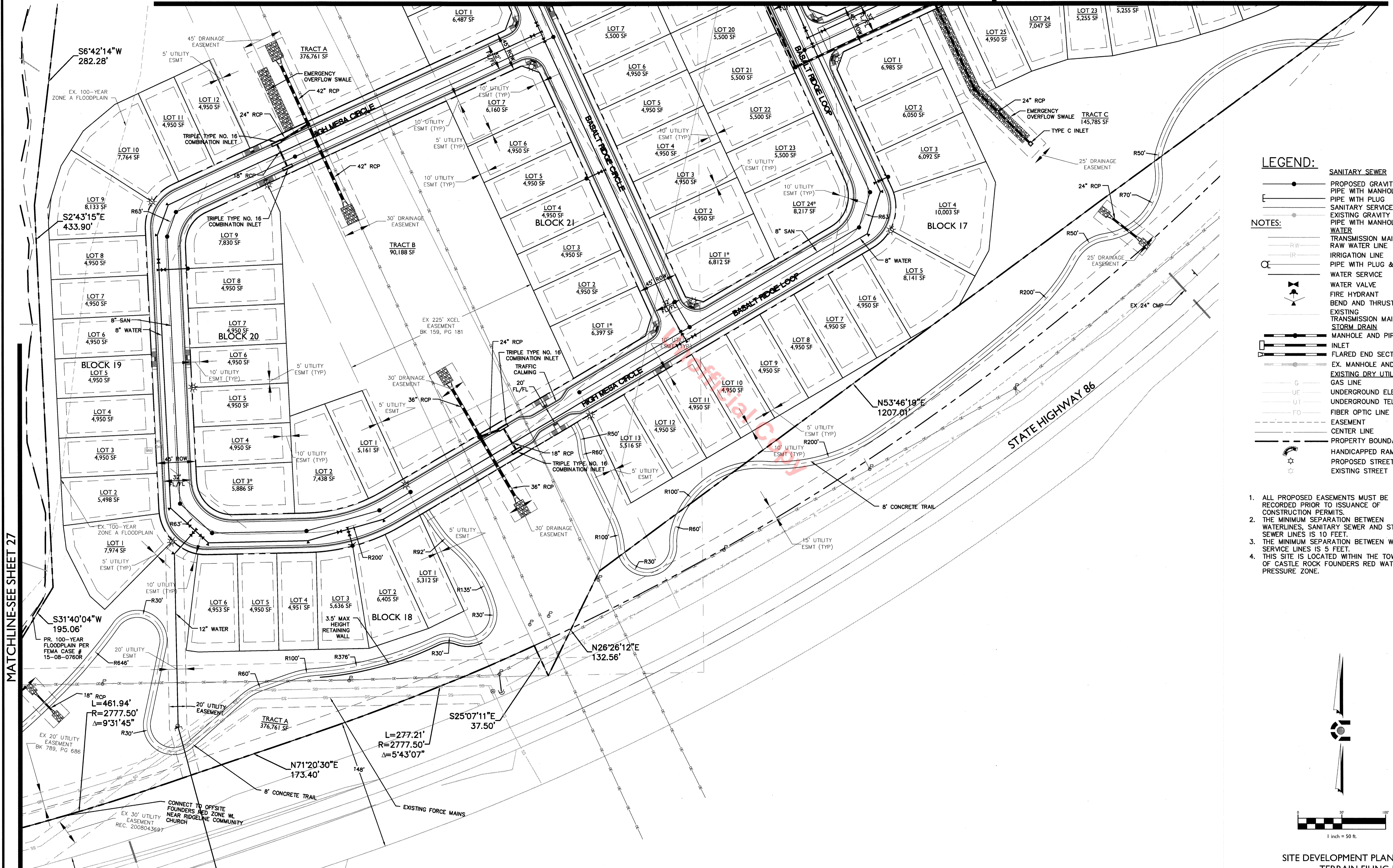
MATCHLINE-SEE SHEET 24

MATCHLINE-SEE SHEET 26

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

MATCHLINE-SEE SHEET 24

MATCHLINE-SEE SHEET 25



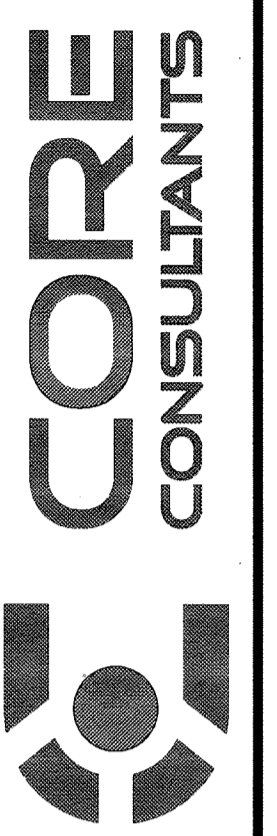
LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE
- INLET
- FLARED END SECTION
- EX. MANHOLE AND PIPE
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- GAS LINE
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- UNDERGROUND TELEPHONE
- FIBER OPTIC LINE
- EASEMENT
- CENTER LINE
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- PROPOSED STREET LAMP
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NOTES:

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3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK FOUNDERS RED WATER PRESSURE ZONE.

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 72 HOURS IN ADVANCE BEFORE YOU DIG. OR UNDERGROUND MEMBER UTILITIES. Know where you are. Call before you dig.

811

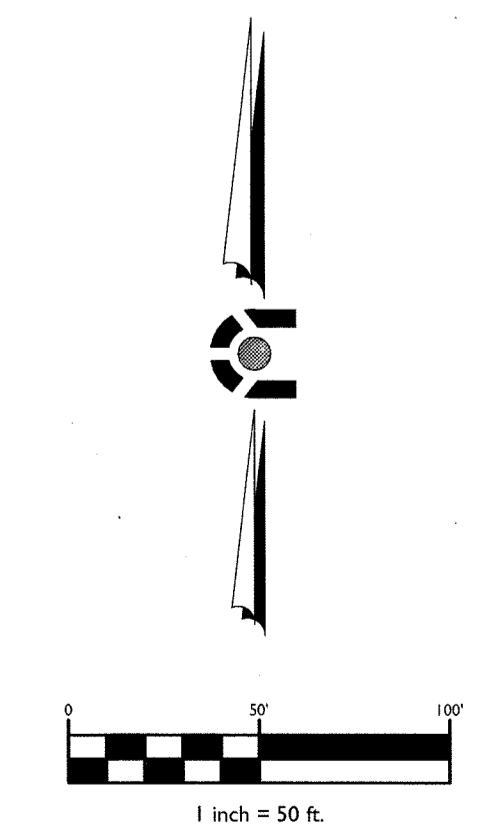
FOR ADDRESS OR RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS HORIZONTAL AND VERTICAL, THE EXISTING INFORMATION IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION FROM THE BEST AVAILABLE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ANY CONSTRUCTION ACTIVITIES.

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 PID
2	PER TOWN COMMENTS	6/02/15 PID
3	PER TOWN COMMENTS	9/11/15 PID
4	PER TOWN COMMENTS	10/21/15 PID

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PID
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO. 14-001
SHEET 26 OF 48



File: X:\14-001-Terrain\Cons\Civil\PA_34-43\SDP\UP-26-27.dwg Date: 2/5/2016 1:48:37 PM

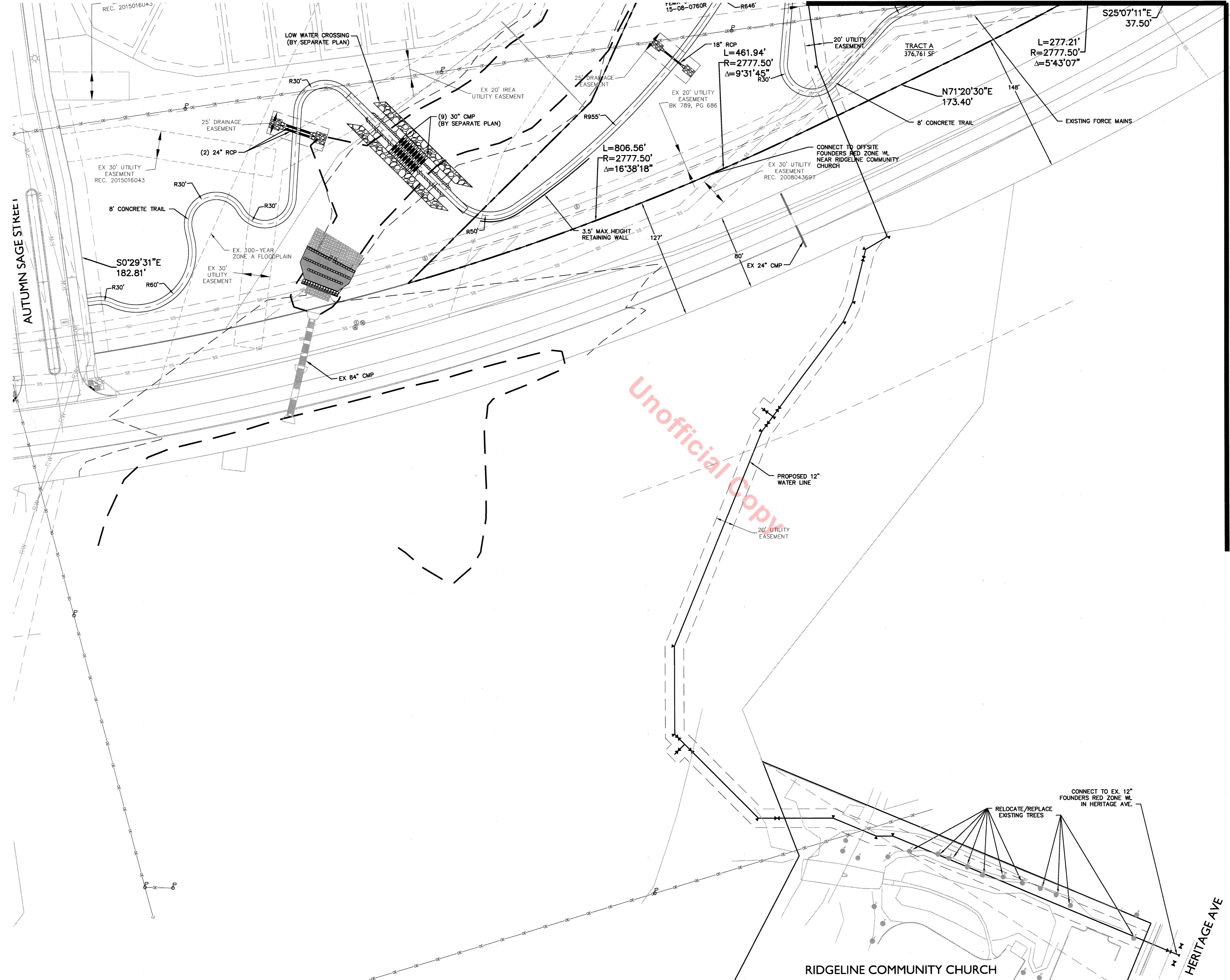
MATCHLINE-SEE SHEET 27

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

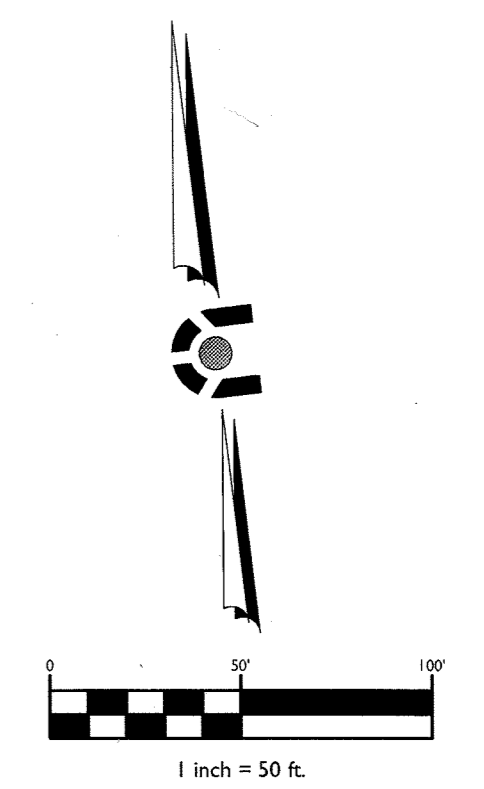
LEGEND:

- SANITARY SEWER
- PROPOSED GRAVITY SEWER PIPE WITH MANHOLE
- PIPE WITH PLUG
- SANITARY SERVICE, 4" EXISTING GRAVITY SEWER PIPE WITH MANHOLE
- WATER
- TRANSMISSION MAIN
- RAW WATER LINE
- IRRIGATION LINE
- PIPE WITH PLUG & B.O.
- WATER SERVICE
- WATER VALVE
- FIRE HYDRANT
- BEND AND THRUST BLOCK
- EXISTING TRANSMISSION MAIN
- STORM DRAIN
- MANHOLE AND PIPE INLET
- FLARED END SECTION
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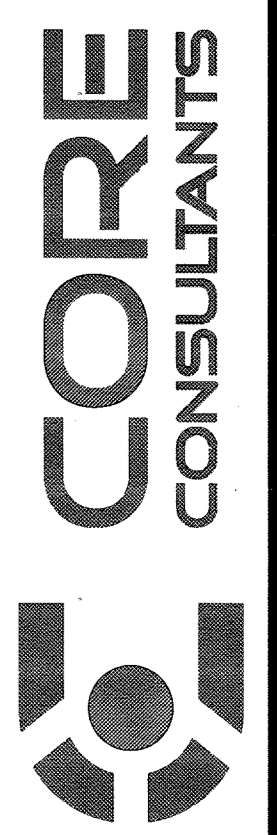


MATCHLINE-SEE SHEET 26



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
UTILITY PLAN

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Jackson Blvd., Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN FLOTTED TO THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTS.

#	REVISIONS	DATE BY
1.	PER TOWN COMMENTS	4/17/15 PJD
2.	PER TOWN COMMENTS	6/22/15 PJD
3.	PER TOWN COMMENTS	9/11/15 PJD
4.	PER TOWN COMMENTS	10/12/15 PJD

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
UTILITY PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: PJD
DRAWN BY: NJM
CHECKED BY: BRC

JOB NO.
14-001
SHEET
27 OF 48

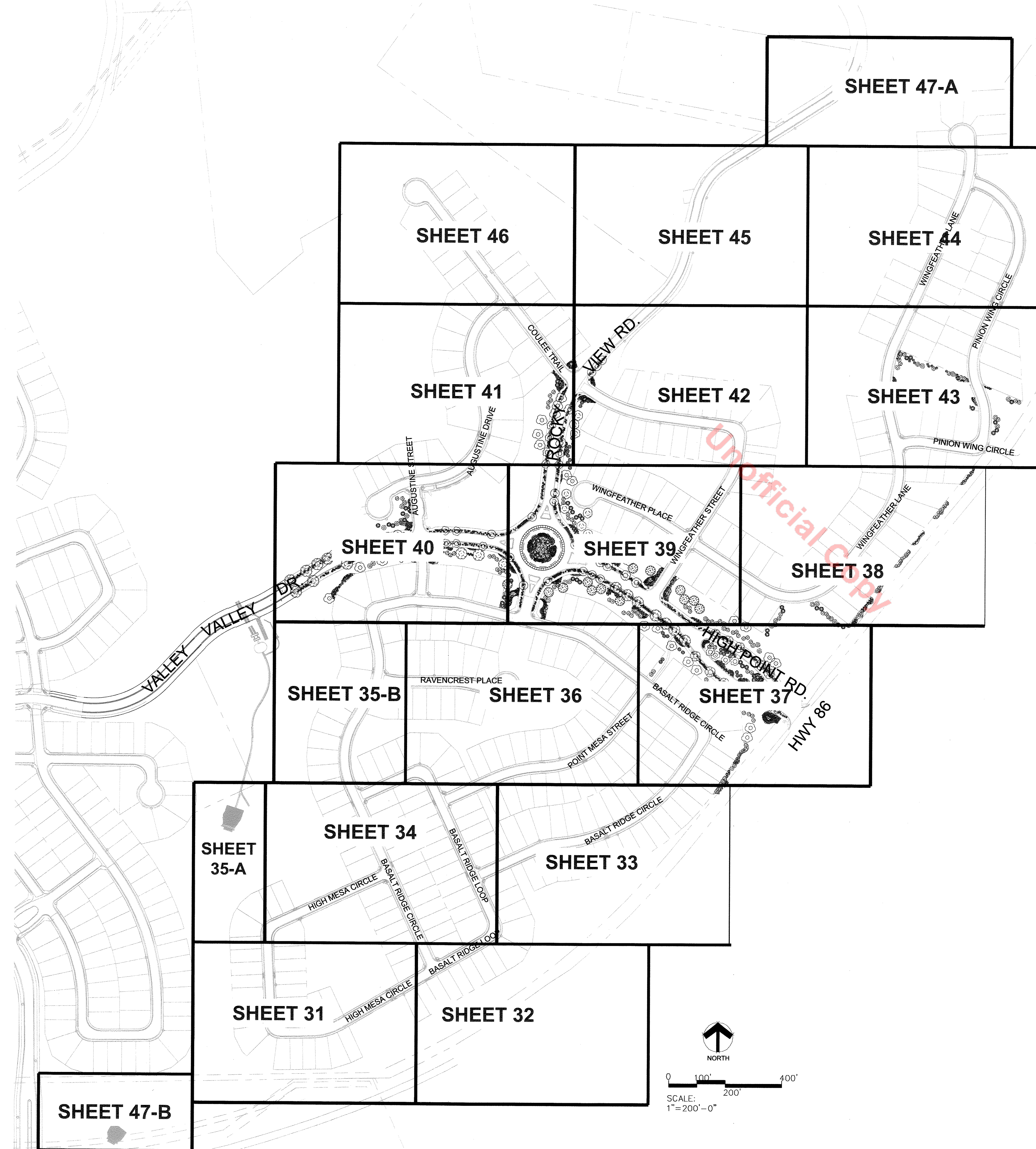
SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgruppco.com
#3, B-180 Independence plaza
1007 16th street, denver co 80265
t 303.531.4905 f 303.531.4908

LANDSCAPE SHEET INDEX

- 28 LANDSCAPE COVER SHEET
- 29 LANDSCAPE NOTES
- 30 OVERALL LANDSCAPE, FENCING & TRAIL PLAN
- 31-47 LANDSCAPE PLANS
- 48 MONUMENT DETAILS

SHEET KEY



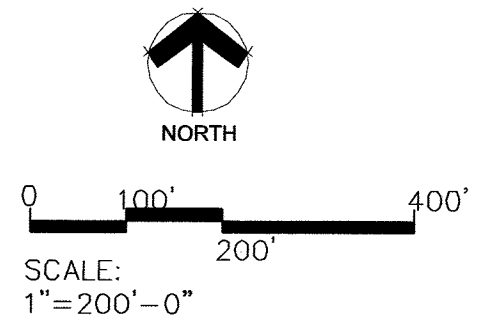
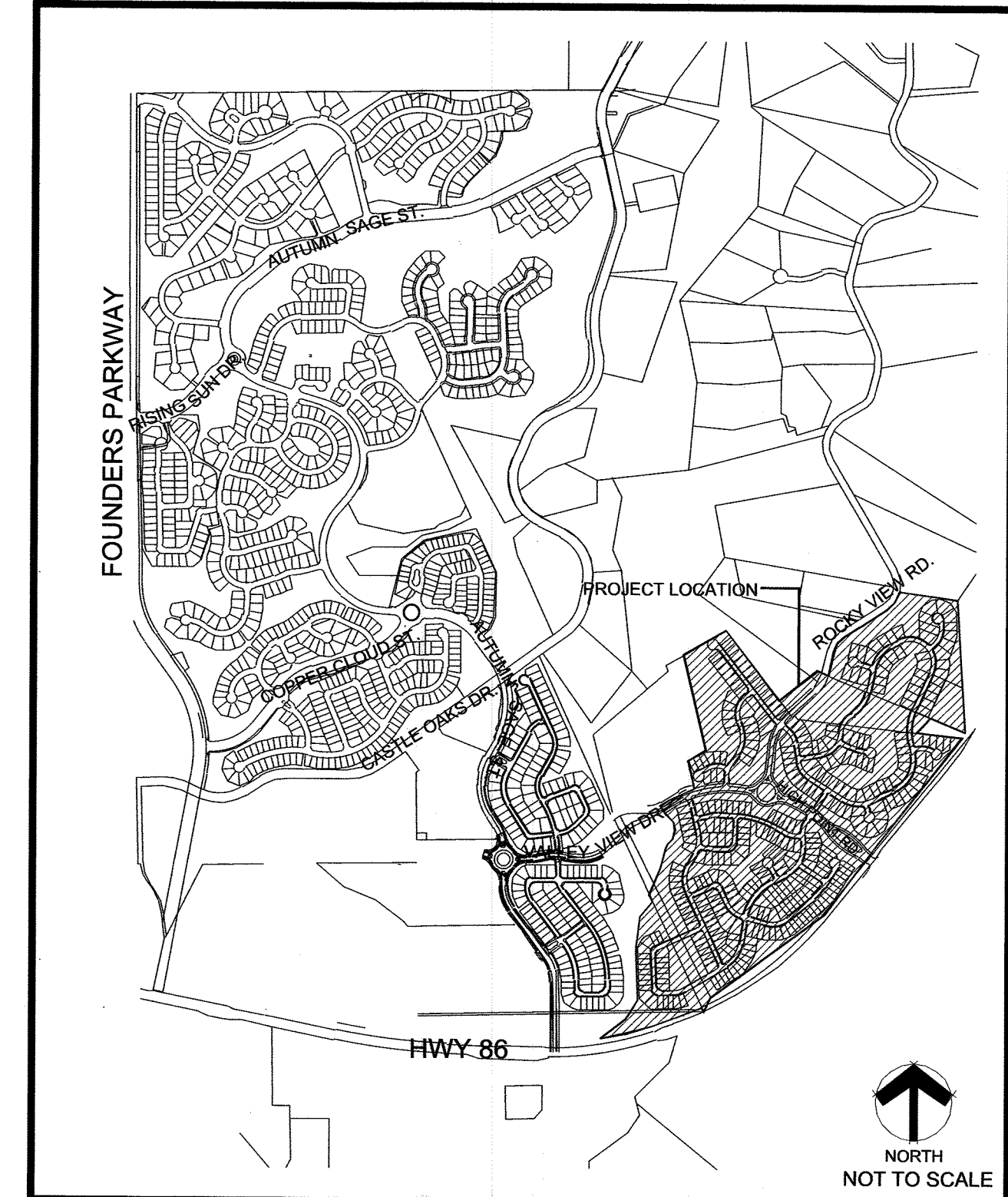
CONTACTS

OWNER
SLV CASTLE OAKS, LLC
385 INVERNESS PKWY., STE. 310
ENGLEWOOD, CO 80112
CONTACT: CRAIG CAMPBELL 303.858.9992

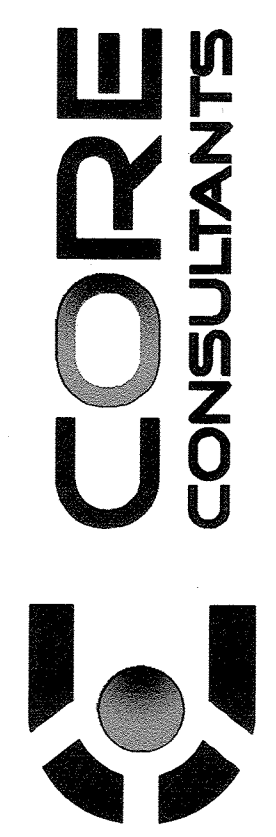
PLANNER/LANDSCAPE ARCHITECT
PCS GROUP, INC.
#3, B-180 INDEPENDENCE PLAZA
1007 16TH ST., DENVER, CO 80265
CONTACT: JIM IVY 303.531.4905

CIVIL ENGINEER
CORE CONSULTANTS, INC.
1950 W. LITTLETON BLVD., STE 109
CONTACT: PHIL DALRYMPLE 303.703.4444

VICINITY MAP



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
UTILITIES SHOWN ON THIS PLAN. THE LOCATION OF ALL UTILITIES
FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER,
THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE
LOCATION OF ALL UTILITIES PRIOR TO THE
COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	JWI
2	PER TOWN COMMENTS	5/07/15	JWI
3	PER TOWN COMMENTS	9/11/15	JWI
4	PER TOWN COMMENTS	10/8/15	JWI

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE COVER SHEET & NOTES
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS

JOB NO.
14-001
SHEET
28 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE COVER SHEET & NOTES

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:



pcs group inc. www.pcsgruopco.com
#3 B-180 Independence Plaza
1007 14th Street, Denver, CO 80202
1.303.531.4905, 1.303.531.4906

CONCEPTUAL PLANT SCHEDULE

Registered Professional James Ivy
Registration # #741 (State of Colorado Landscape Architect)
Company Name PCS Group, Inc.
Address #3 B 180 Independence Plaza
Phone 303-531-4905
Email jim@pcsgroupco.com

Irrigation (Drip, spray or rotor)	Plant Name (Scientific)	Plant Name (Common)	Planting Size	Root	Legend Abbrev.	Mature Size (H x W)	No. of Plants	Water Requirements (inches per month)	Water Use (Very Low, Low, Moderate)	Sq. Ft. of Zone (Turf only)	Percentage of Total Area	Sq. Ft. of Total Landscape Area
DECIDUOUS TREES												
DRIP	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2" CAL	B & B	ABM	40' X 15'	15	2.0	LOW-MOD	n/a	n/a	n/a
DRIP	CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL	B & B	CS	50' X 40'	11	2.0	LOW	n/a	n/a	n/a
DRIP	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL	B & B	HAC	50' X 30'	10	2.0	LOW	n/a	n/a	n/a
DRIP	GLEDISIA TRIACANTHOS 'INERMIS' 'SHADEMASTER' TM	SHADEMASTER LOCUST	2" CAL	B & B	GS	45' X 50'	14	2.0	LOW	n/a	n/a	n/a
DRIP	GLEDISIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2" CAL	B & B	GI	45' X 40'	8	2.0	LOW	n/a	n/a	n/a
DRIP	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	2" CAL	B & B	GK	45' X 50'	5	2.0	LOW	n/a	n/a	n/a
DRIP	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL	B & B	QB	50' X 50'	18	2.0	LOW	n/a	n/a	n/a
DRIP	QUERCUS MACROCARPA	BURR OAK	2" CAL	B & B	QM	70' X 70'	13	2.0	VERY LOW	n/a	n/a	n/a
DRIP	QUERCUS RUBRA	RED OAK	2" CAL	B & B	QR	50' X 40'	22	2.0	LOW	n/a	n/a	n/a
EVERGREEN TREES												
DRIP	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	6" HT	15 GAL	JJS	15' X 8'	20	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	6" HT	15 GAL	WB	20' X 6'	89	1.0	LOW	n/a	n/a	n/a
DRIP	PINUS EDULIS	PINON PINE	6"-8" HT	B & B	PP	25' X 20'	27	1.0	VERY LOW	n/a	n/a	n/a
DRIP	PINUS FLEXILIS	PINON PINE	6" HT	B & B	LPN	70' X 25'	59	2.0	LOW	n/a	n/a	n/a
DRIP	PINUS HELDREICHII	BOSNIAN PINE	6"-8" HT	B & B	BPE	40' X 10'	3	2.0	LOW	n/a	n/a	n/a
DRIP	PINUS NIGRA	AUSTRIAN BLACK PINE	6"-8" HT	B & B	PN	50' X 30'	107	2.0	VERY LOW	n/a	n/a	n/a
ORNAMENTAL TREES												
DRIP	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	6" CLUMP	B & B	AH	30' X 15'	41	2.5	LOW	n/a	n/a	n/a
DRIP	MALUS X SPRING SNOW	SPRING SNOW CRAB APPLE	1.5" CAL	B & B	SSC	30' X 20'	6	2.5	LOW	n/a	n/a	n/a
DECIDUOUS SHRUBS												
DRIP	AMELANCHIER ALNIFOLIA 'REGENT'	SASKATOON SERVICEBERRY	6" X 6"	5 GAL	SSB	LOW	39	1.5	LOW	n/a	n/a	n/a
DRIP	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY	20" X 12"	5 GAL	AG	LOW	6	1.0	LOW	n/a	n/a	n/a
DRIP	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN'	MANZANITA	4" X 5"	5 GAL	AC	LOW	17	1.0	LOW	n/a	n/a	n/a
DRIP	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO'	PANCHITO MANZANITA	1.5" X 5"	5 GAL	AP	LOW	96	1.0	LOW	n/a	n/a	n/a
DRIP	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	10" X 5"	5 GAL	AR	LOW	25	1.0	LOW	n/a	n/a	n/a
DRIP	CARYOPTERIS INCANNA	COMMON BLUEBEARD SPIREA	4" X 5"	5 GAL	BSP	LOW	88	1.0	LOW	n/a	n/a	n/a
DRIP	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGONY	5" X 5"	5 GAL	CI	LOW	22	1.0	LOW	n/a	n/a	n/a
DRIP	CHRYSOHEMUS NAUSEOSUS	RAKBIT BRUSH	4" X 4"	5 GAL	RB	LOW	116	1.0	LOW	n/a	n/a	n/a
DRIP	COTONEASTER ACUTIFOLIUS	PEBBING COTONEASTER	10" X 6"	5 GAL	CA	LOW	11	1.5	LOW	n/a	n/a	n/a
DRIP	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	3" X 5"	5 GAL	CH	MODERAT	49	1.5	LOW	n/a	n/a	n/a
DRIP	FORSYTHIA X 'NORTHERN SUN'	NORTHERN SUN FORSYTHIA	10" X 8"	5 GAL	NSF	LOW	16	1.0	LOW	n/a	n/a	n/a
DRIP	PEROVSKIA AT RIPICIFOLIA	RUSSIAN SAGE	5" X 4"	5 GAL	PA	VERY LOW	102	1.0	LOW	n/a	n/a	n/a
DRIP	PHILADELPHUS MICROPHYLLUS 'LITTLE LEAF'	LITTLE LEAF MOKKORAGE	3" X 4"	5 GAL	PJO	LOW	17	2.0	MODERATE	n/a	n/a	n/a
DRIP	POTENTILLA FRUTICOSA 'JACKMANII'	JACKMAN'S POTENTILLA	4" X 4"	5 GAL	PJ	LOW	55	1.0	LOW	n/a	n/a	n/a
DRIP	PRUNUS BESSEYI	SAND CHERRY	8" X 8"	5 GAL	PB	LOW	14	1.0	LOW	n/a	n/a	n/a
DRIP	PRUNUS BESSEYI 'PAMNEE BUTTES'	PAMNEE BUTTES SAND CHERRY	18" X 5"	5 GAL	SCH	LOW	46	1.0	LOW	n/a	n/a	n/a
DRIP	QUERCUS GAMBELII	GAMBEL OAK	10" X 8"	5 GAL	QG	VERY LOW	10	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3" X 8"	5 GAL	RHU	LOW	121	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS TRILOBATA	THREE LEAF SUMAC	4" X 5"	5 GAL	RT	VERY LOW	34	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS TYPHINA 'DISSECTA'	STAGHORN SUMAC	12" X 10"	5 GAL	SSU	LOW	3	1.0	LOW	n/a	n/a	n/a
DRIP	RHUS TYPHINA 'LACINATA'	CUTLEAF STAGHORN SUMAC	6" X 6"	5 GAL	RL	LOW	24	1.0	LOW	n/a	n/a	n/a
DRIP	RIBES ALPINUM	ALPINE CURRANT	4" X 4"	5 GAL	RA	LOW	4	1.0	LOW	n/a	n/a	n/a
DRIP	RIBES AUREUM	GOLDEN CURRANT	4" X 6"	5 GAL	RG	LOW	13	1.0	LOW	n/a	n/a	n/a
DRIP	ROSAMEDILAND SERIES 'FIRE'	FIRE MEDILAND ROSE	2" X 4"	5 GAL	FMR	LOW	218	1.0	LOW	n/a	n/a	n/a
DRIP	ROSAMEDILAND SERIES 'WHITE'	WHITE MEDILAND ROSE	2" X 4"	5 GAL	RW	LOW	82	1.0	LOW	n/a	n/a	n/a
DRIP	SHEPHERDIA ARGENTEA	SILVER BUFFALOBERRY	12" X 12"	5 GAL	SA	LOW	25	1.0	LOW	n/a	n/a	n/a
EVERGREEN SHRUBS												
DRIP	CYTISUS SCOPARIUS 'MOONLIGHT'	MOONLIGHT BROOM	3" X 5"	5 GAL	CSM	LOW	43	1.0	LOW	n/a	n/a	n/a
DRIP	EPHEDRA EQUISSETINA	BLUESTEM JOINT FIR	5" X 5"	5 GAL	EE	LOW	140	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	8" X 7"	5 GAL	JB	LOW	23	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	1.5" X 6"	5 GAL	JH	VERY LOW	65	1.0	LOW	n/a	n/a	n/a
DRIP	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	2" X 6"	5 GAL	BUJ	LOW	104	1.0	LOW	n/a	n/a	n/a
DRIP	PINUS MUGO 'SLOWMOUND'	MUGO PINE	2.5" X 5"	5 GAL	PS	LOW	5	1.0	LOW	n/a	n/a	n/a
GRASSES												
DRIP	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	4.5" X 2"	1 GAL	CK	LOW	229	1.0	LOW	n/a	n/a	n/a
DRIP	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	3" X 2"	1 GAL	BG	LOW-MOD	282	1.0	LOW	n/a	n/a	n/a
DRIP	PANICUM VIRGATUM 'SUNBURST'	SWITCH GRASS 'SUNBURST'	4" X 3"	1 GAL	PV	LOW	388	1.0	LOW	n/a	n/a	n/a
DRIP	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	3" X 3"	1 GAL	PG	LOW	192	1.0	LOW	n/a	n/a	n/a
PERENNIALS												
DRIP	AGASTACHE X 'CORANADO RED'	ANISE HYSSOP	2.5" X 3"	1 GAL	AHC	LOW	59	1.0	LOW	n/a	n/a	n/a
DRIP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2" X 2"	1 GAL	EP	LOW	18	1.0	LOW	n/a	n/a	n/a
DRIP	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	BLACK-EYED SUSAN	1.5" X 1.5"	1 GAL	BES	LOW	84	1.0	LOW	n/a	n/a	n/a
DRIP	SCABIOSA CAUCASICA 'PERFECTA BLUE'	PINCUSHION FLOWER	2.5" X 1.5"	1 GAL	SP	LOW	6	1.0	LOW	n/a	n/a	n/a

SEED/SOD MIXES

IRRIGATED SOD
SPECIES/VARIETY
TURF MASTER'S ENVIRO TURF. CONTRACTOR SHALL SUBMIT TO THE TOWN OF CASTLE ROCK BEFORE INSTALLATION.

SPECIES/VARIETY	COMMON NAME	QTY	REMARKS
BIG BLUESTEM	KAW	1.1	10
YELLOW INDIAN GRASS	CHEYENNE	1.0	10
SMITH GRASS	BLACKWELL	0.4	10
SIDE OATS GRAMA	VAUGHN	0.9	10
WESTERN WHEAT GRASS	ARRIBA	1.6	10
BLUE GRAMA	HACHITA	0.3	10
THICK SPIKE SWHEAT GRASS	CRITANA	1.0	10
PRAIRIE NEEDLE GRASS	GOSHEN	0.7	10
GREEN NEEDLE GRASS	LODORM	1.0	10
SLENDER WHEAT GRASS	PRYOR	0.6	5
STREAMBANK WHEAT GRASS	SODAR	0.6	5

APPLY AT A RATE OF 9.2 PLS LBS. PER ACRE DRILLED

MULCH / GROUND COVER SCHEDULE

MULCH	COMMON NAME	QTY	REMARKS
	CRUSHER FINES, TAN	1,734 SF	
	ROCK MULCH, 3/4" DIA	61,195 SF	4" DEPTH, RE: LDSCP NOTES
	ROCK MULCH, 4"-12" COBBLE	9,218 SF	4" DEPTH, RE: LDSCP NOTES
	WOOD MULCH	31,218 SF	4" DEPTH, RE: LDSCP NOTES
SOD/SEED	COMMON NAME	QTY	REMARKS
	PERMANENT NATIVE MIX - NON-IRRIG	1,278,079 SF	PERMANENT DRILL SEED PER GESC DETAIL 17, RE: LDSCP NOTES
	SOD, 'ENVIROTURF'	9,646 SF	SOD, 'ENVIROTURF'

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES.

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGES SHALL MEET OR EXCEED COVERAGES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

COMPOSITE LANDSCAPE WATER USE RATING CHART

Landscape Zone	LWUR Rating
Very Low Water Use	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

Irrig. Zone	Plant Name (Common)	App Rate (inches/month)	Zone (V.L., Mod., HW)	% of Total Area	IA (Irrigated area in sq ft for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscape Zones in sq ft)	CLWUR (LWUR x IATA)
	TURF MASTER'S ENVIRO TURF	3.0	MODERATE	0%	9,691	3.0	133,835	0.22
DRIP	CANOPY TREES (38)*	2.0	LOW	0%	8,500	2.0		0.13
DRIP	EVERGREEN TREES (88)*	2.0	LOW	0%	18,600	2.0		0.28
DRIP	SHRUB BED	2.0	LOW	0%	95,844	2.0		1.43
DRIP	PERENNIAL BED	3.0	MODERATE	0%	1,200	3.0		0.03
TOTAL OF THE CLWUR								2.08

* TREES IN NON-IRRIGATED NATIVE AREAS REQUIRING DRIP IRRIGATION

STREETSCAPE TABLE

STREET RIGHT OF WAY NOT ADJACENT TO RESIDENTIAL LOTS	LENGTH	REQUIRED	PROVIDED
HIGH POINT ROAD	2,092 LF	TREES 52 SHRUBS 209	52 221
VALLEY VIEW DRIVE	1,753 LF	TREES 44 SHRUBS 175	44 198
ROCKY VIEW ROAD	1,324 LF	TREES 33 SHRUBS 132	33 155

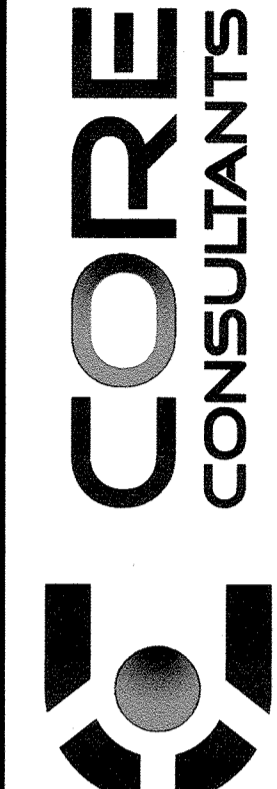
LANDSCAPE BUFFERES

REQUIRED	PROVIDED
MINIMUM REQUIRED AREA & PLANTINGS MIN. 15' WIDE BUFFER x 2,696 L.F. (2 TREES & 4 SHRUBS PER 1,000 S.F.)	40,470 S.F. = 81 TREES 162 SHRUBS
VALLEY VIEW DRIVE	179,403 S.F. = 80 TREES 175 SHRUBS
MINIMUM REQUIRED AREA & PLANTINGS MIN. 15' WIDE BUFFER x 1,268 L.F. (2 TREES & 4 SHRUBS PER 1,000 S.F.)	19,020 S.F. = 38 TREES 76 SHRUBS
ROCKY VIEW DRIVE	74,619 S.F. = 45 TREES 100 SHRUBS
MINIMUM REQUIRED AREA & PLANTINGS MIN. 15' WIDE BUFFER x 1,324 L.F. (2 TREES & 4 SHRUBS PER 1,000 S.F.)	19,860 S.F. = 40 TREES 79 SHRUBS
VALLEY VIEW DRIVE	74,619 S.F. = 57 TREES 164 SHRUBS

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE OF IMPROVED SITE
*GROSS IMPROVED SITE		
LANDSCAPE AREA	1,453,397	100%
CONCRETE TRAILS	31,087	2%
CRUSHER FINES	1,734	0%
NON-IRRIGATED SEED AREA (EXCLUDES IRRIGATED TREE AREAS)	1,262,150	88%
IRRIGATED SOD	9,691	1%
IRRIGATED NATIVE SEED MIX	0	0%
IRRIGATED TREE AREAS IN NON-IRRIGATED SEED	27,100	2%
IRRIGATED SHRUBS BEDS	101,635	7%
TOTAL	1,453,397	100%
TOTAL IRRIGATED LANDSCAPE AREA	128,735	9%

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303E.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

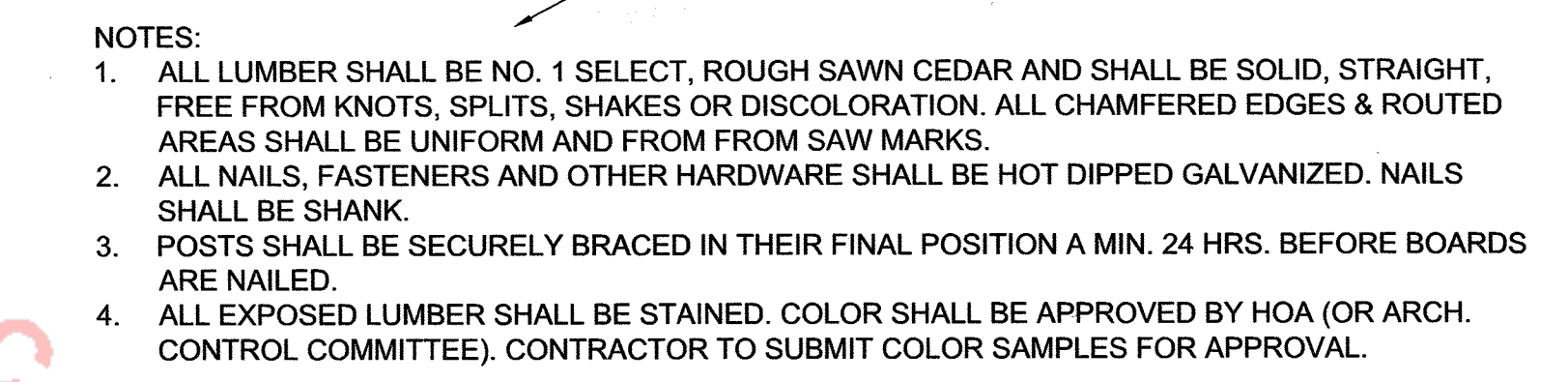
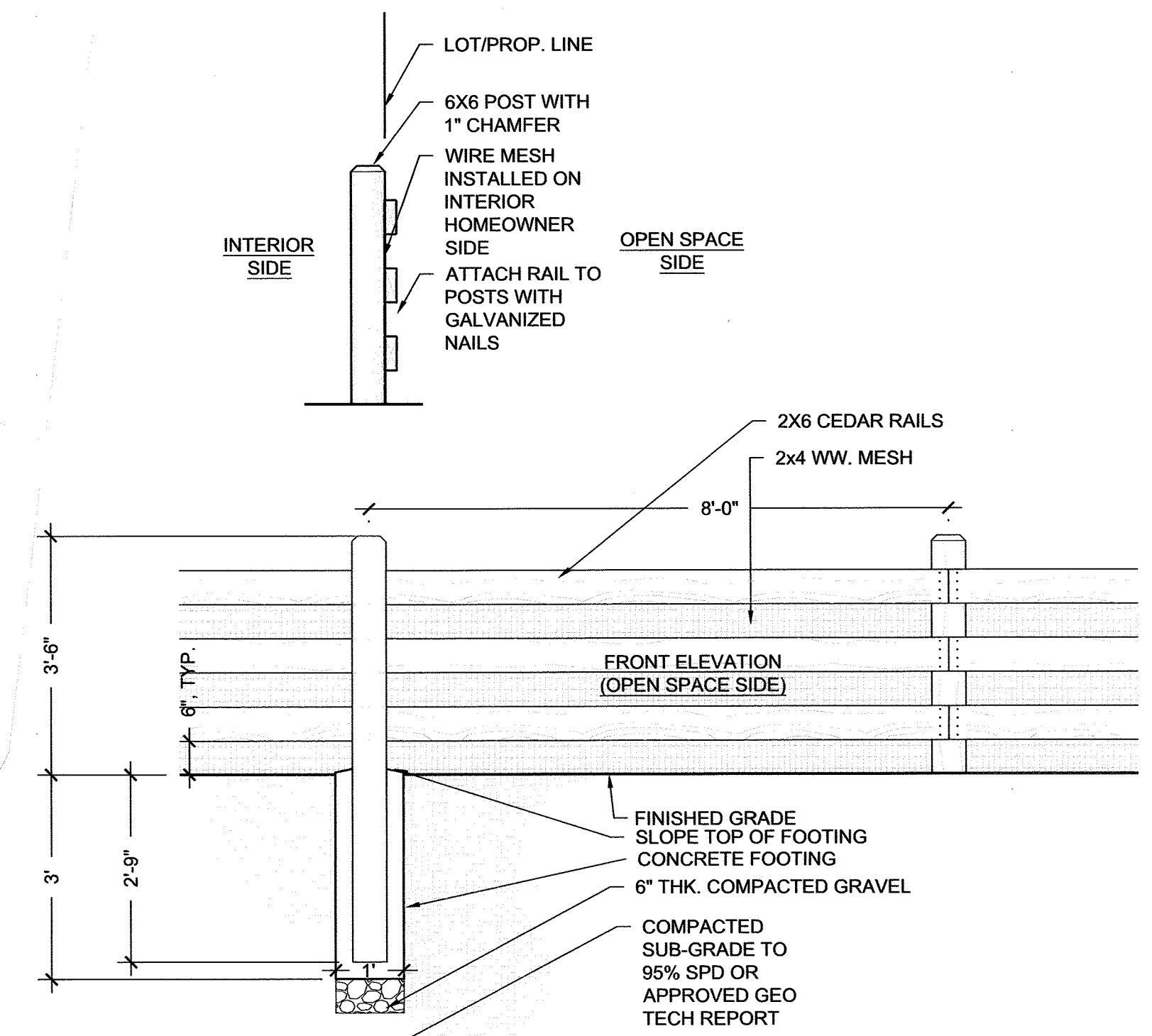
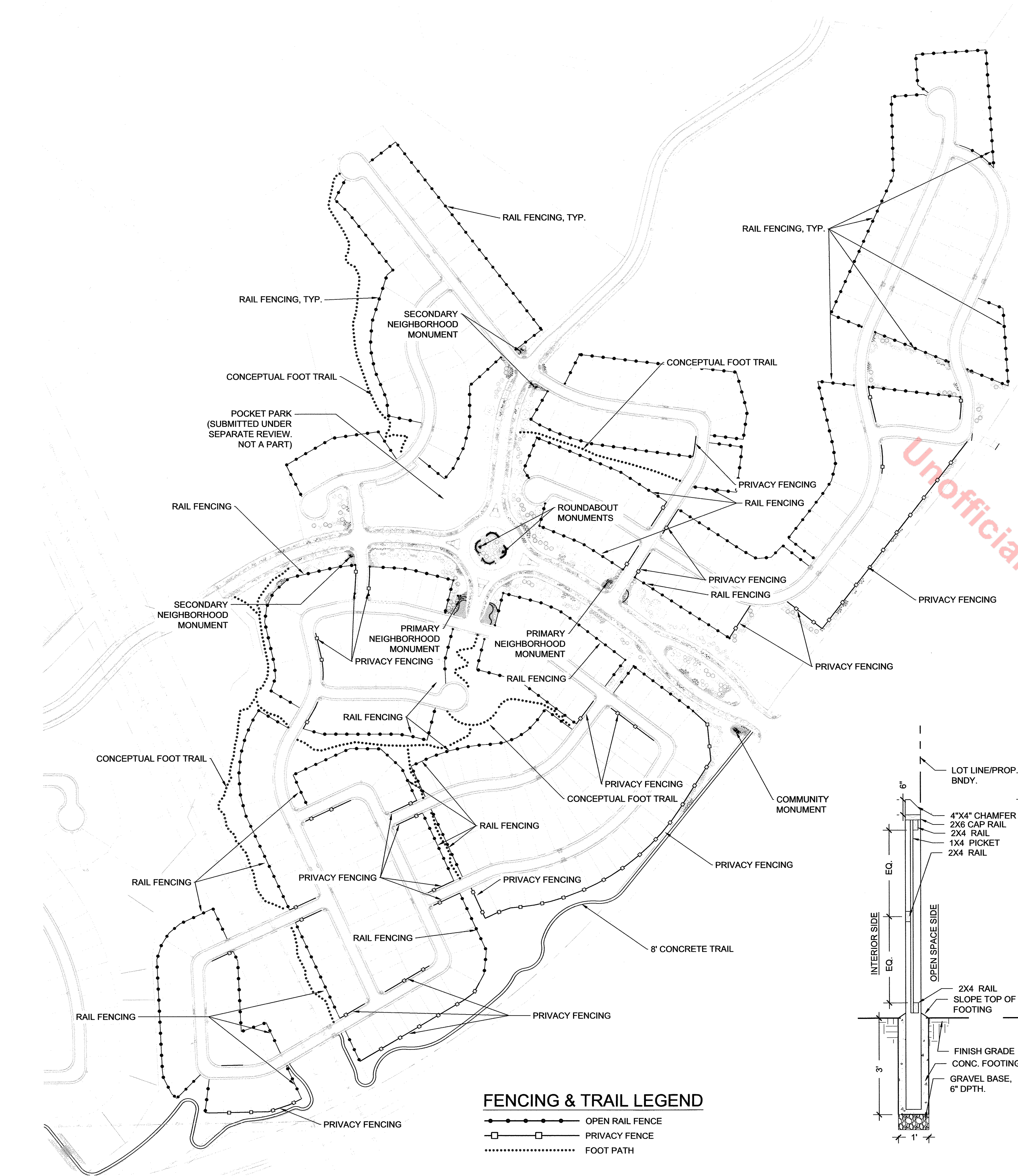


CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CALL BEFORE YOU DIG. CALL BEFORE YOU DIG. CALL BEFORE

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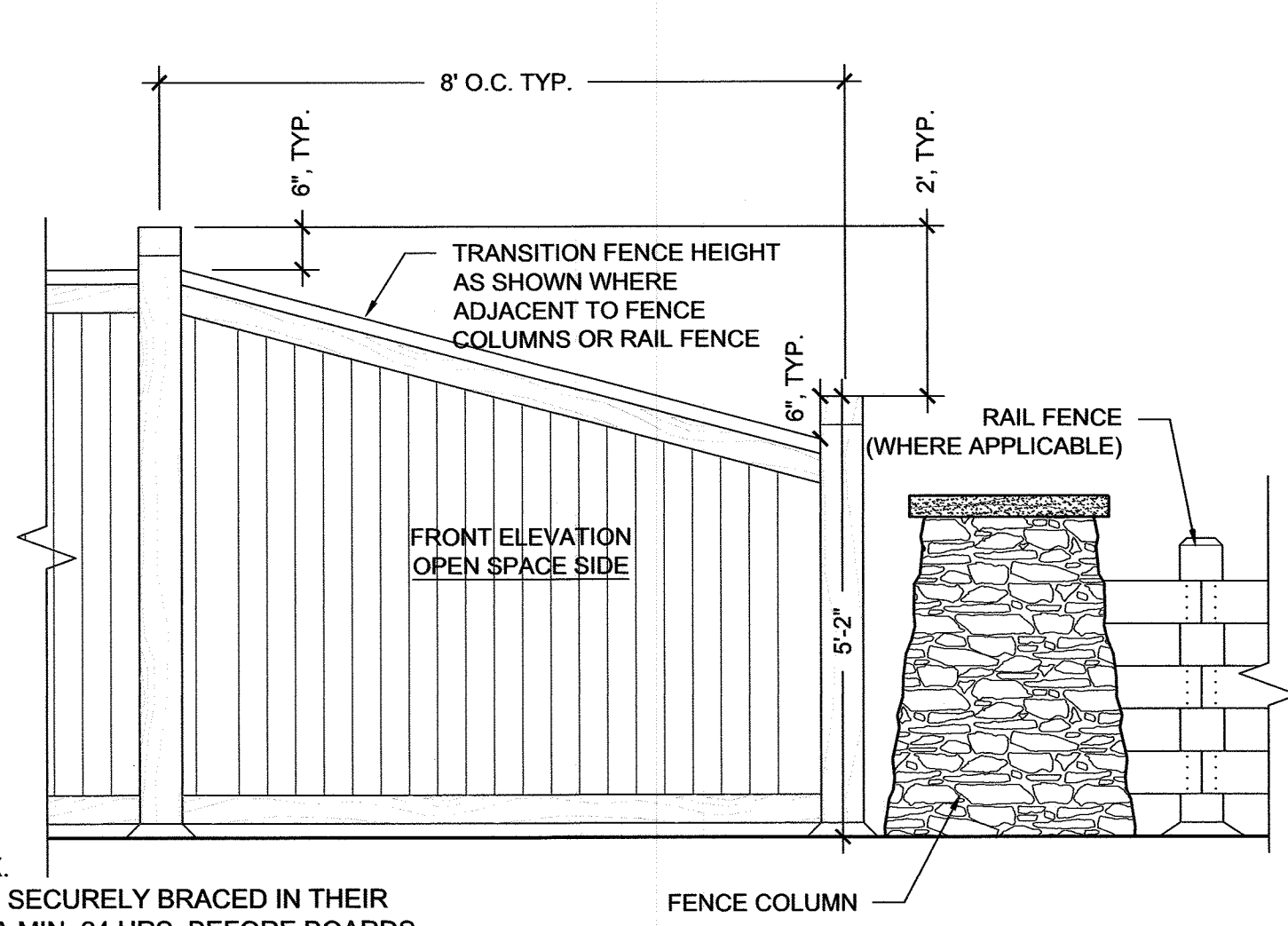
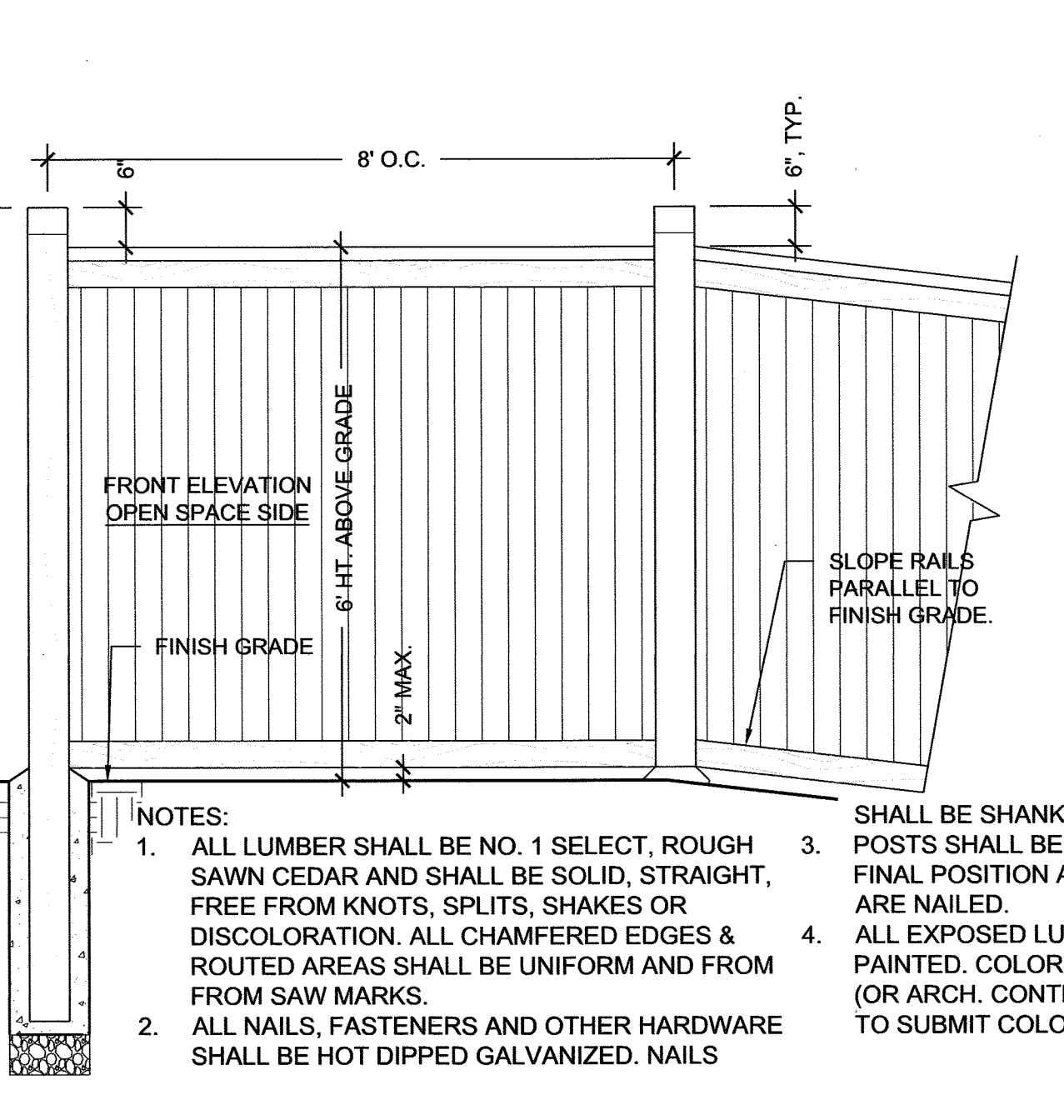
LANDSCAPE ARCHITECTURE:

people creating spaces
pcs group inc. www.pcsgroupco.com
#3, 9-180 independence plaza
1007 16th street, denver co 80265
1 303.531.4905 f 303.531.4908



2 RAIL FENCE NOT TO SCALE

4 FENCE COLUMN NOT TO SCALE



3 PRIVACY FENCE NOT TO SCALE

5 RAIL FENCE NOT TO SCALE

1 OVERALL LANDSCAPE & FENCING PLAN NOT TO SCALE

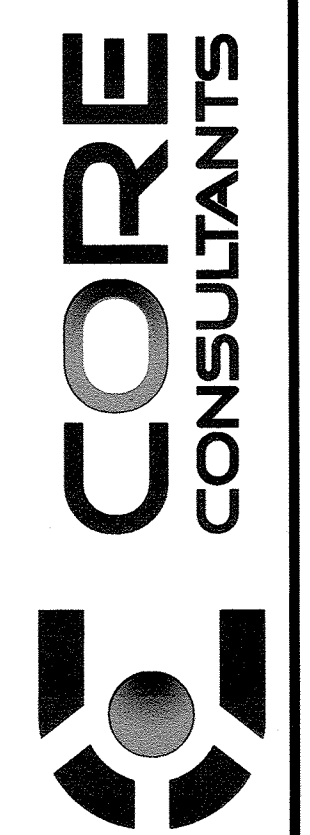
FENCING & TRAIL LEGEND

 - - - - - OPEN RAIL FENCE
 □ - □ - □ - PRIVACY FENCE
 FOOT PATH

- NOTES:**
- ALL LUMBER SHALL BE NO. 1 SELECT, ROUGH SAWN CEDAR AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES OR DISCOLORATION. ALL CHAMFERED EDGES & ROUTED AREAS SHALL BE UNIFORM AND FROM FROM SAW MARKS.
 - ALL NAILS, FASTENERS AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
 - POSTS SHALL BE SECURELY BRACED IN THEIR FINAL POSITION A MIN. 24 HRS. BEFORE BOARDS ARE NAILED.
 - ALL EXPOSED LUMBER SHALL BE STAINED. COLOR SHALL BE APPROVED BY HOA (OR ARCH. CONTROL COMMITTEE). CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVAL.

- NOTES:**
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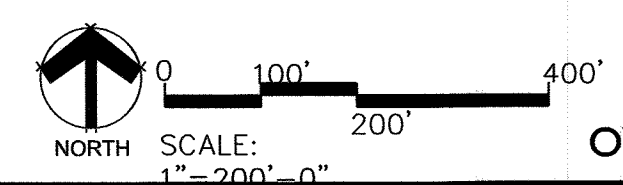
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#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15 (JWI)	JWI
2	PER TOWN COMMENTS	6/02/15 (JWI)	JWI
3	PER TOWN COMMENTS	9/11/15 (JWI)	JWI
4	PER TOWN COMMENTS	10/01/15 (JWI)	JWI

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 OVERALL LANDSCAPE & FENCING PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS
JOB NO. 14-001
SHEET 30 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
OVERALL LANDSCAPE & FENCING PLAN



SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

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people creating spaces
pcs group inc. www.pcsgruopco.com
#3, 9-180 Independence Plaza
1007 16th Street, Denver, CO 80265
1.303.531.4905 | 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James IV, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN GLAZE MAPLE
QM	BURR OAK
HAC	COMMON HACKBERRY
GI	IMPERIAL HONEYLOCUST
OK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
QR	RED OAK
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIA PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
BSP	COMMON BLUEBEARD SPIREA
RI	CUTLEAF STAGHORN SUMAC
RF	FIRE MIDLAND ROSE
QG	GAMBEL OAK
RG	GOLDEN CURRANT
RHJ	GROUNDW FRAGRANT SUMAC
CJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
PMO	LITTLELEAF MOCKORAGE
AG	MANZANITA
NFS	NORTHERN SUN FORSYTHIA
AP	PANCHITO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
CA	PEKING COTONEASTER
RB	RABBITBRUSH
AR	RED CHOCHEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
FB	SAND CHERRY
SS	SASKATOON SERVICEBERRY
SA	SILVER BUFFALOBERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
RW	WHITE MIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
JB	BLUE CHIP JUNIPER
EE	BLUESTEM JOINT FIR
BJW	BUFFALO JUNIPER
JH	HUGHES JUNIPER
CSM	MOONLIGHT BROOM
PS	MUGO PINE
GRASSES	COMMON NAME
RCG	BLUE OAT GRASS
CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PINCUSHION FLOWER
EP	PURPLE CONEFLOWER
MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVROTURF

KEYMAP

NOTE: 1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

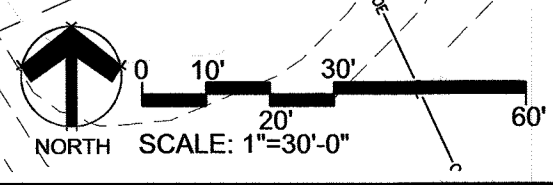
NOTE:
IN THIS AREA LANDSCAPE & SEEDING PLANS ARE PART OF THE VALLEY VIEW PUBLIC IMPROVEMENTS, NOT A PART OF THIS SUBMITTAL.

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REVISIONS

#	DATE	BY	DESCRIPTION
1.	4/7/15 [JVI]	JVI	PER. TOWN COMMENTS
2.	6/02/15 [JVI]	JVI	PER. TOWN COMMENTS
3.	9/1/15 [JVI]	JVI	PER. TOWN COMMENTS
4.	10/15/15 [JVI]	JVI	PER. TOWN COMMENTS

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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

CIVIL ENGINEERING
DESIGN
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

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CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU CALL. CALL 24 HOURS FOR EMERGENCY SERVICE.
CONTRACTOR RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING UTILITY INFORMATION IS BASED ON RECORD DRAWINGS FROM THE BEST AVAILABLE INFORMATION. IT IS ADVISED THAT THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE ACCURACY OF ANY CONSTRUCTION ACTIVITIES.

Know what's below. Call before you dig.
811

REVISIONS

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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015
DESIGNED BY: JVI
DRAWN BY: JVI
CHECKED BY: PCS

JOB NO. 14-001
SHEET 31 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgroupco.com
#3, 9-180 independence plaza
1007 14th street, denver, co 80202
1.303.531.4905 | 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James Ivy, RLA #741
DATE: 7/29/2014

SYMBOL LEGEND

DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	SPADE CUT	R.O.W./PROP BOUNDARY	LIMIT OF LANDSCAPE WORK
DECIDUOUS SHRUBS	EVERGREEN SHRUBS	ORNAMENTAL GRASSES & PERENNIALS	RAIL FENCE INSTALLED BY HOME BUILDER	STEEL EDGER	EXISTING VEGETATION

PLANT PALETTE

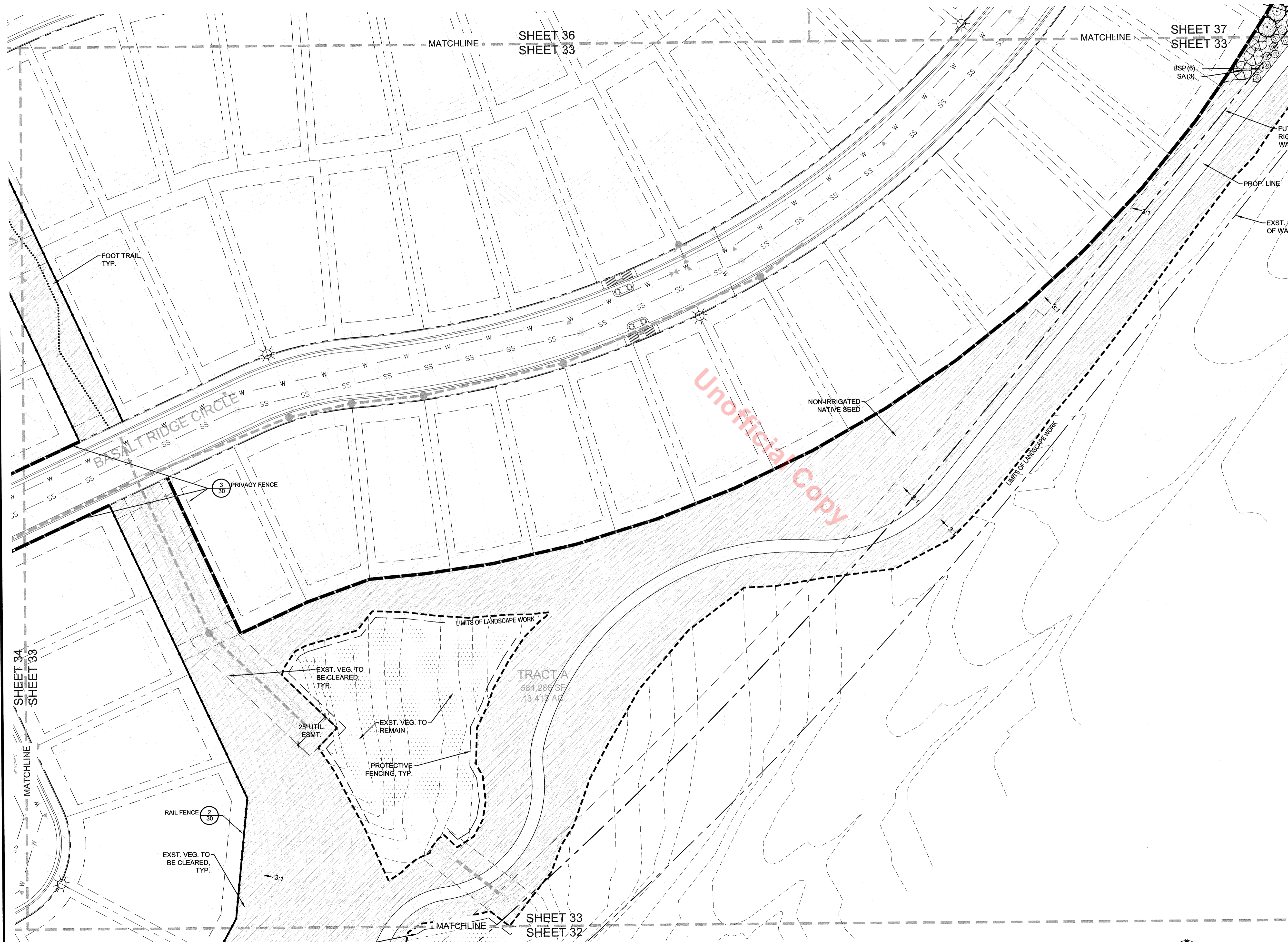
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QM	BURR OAK
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OR	RED OAK
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CB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSCHMAN PINE
LPN	LIMBER PINE
PP	PINON PINE
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WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
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SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRRANT
BSP	COMMON BLUEBEARD SPIREA
RL	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEIDLAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRRANT
RAU	GRASSY LOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
PMO	LITTLELEAF MOCKORAGE
MANZ	MANZANITA
NFS	NORTHERN SUN FORSYTHIA
PAN	PANCHITO MANZANITA
AP	PAWNEE BUTTES SAND CHERRY
SCH	PAWNEE BUTTES SAND CHERRY
CA	PEKING COTONEASTER
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PS	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
RT	STAGHORN SUMAC
RSU	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
IB	BLUE CHIP JUNIPER
EE	BLUESTEM JOINT FIR
BUJ	BUFFALO JUNIPER
JH	HUGHES JUNIPER
CJM	MOONLIGHT BROOM
PS	MUGO PINE
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CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PRUDISHION FLOWER
EP	PURPLE CONEFLOWER
MULCH	COMMON NAME
[Symbol]	CRUSHER FINES, TAN
[Symbol]	ROCK MULCH, 3/4" DIA
[Symbol]	ROCK MULCH, 4"-12" COBBLE
[Symbol]	WOOD MULCH
SOD/SEED	COMMON NAME
[Symbol]	PERMANENT NATIVE MIX - NON-IRRIG
[Symbol]	SOD, 'ENVIROTURF'

REVISIONS

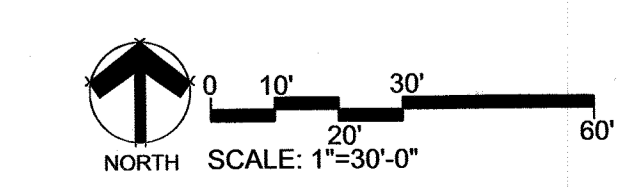
#	DESCRIPTION	DATE BY
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2	PER TOWN COMMENTS	6/02/15 JVI
3	PER TOWN COMMENTS	9/11/15 JVI
4	PER TOWN COMMENTS	10/15/15 JVI

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

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 DEVELOPMENT CONSULTING
 LAND SURVEYING
CORE
 CONSULTANTS
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 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
 DIG, GRADE OR EXCAVATE FOR THE MARKING OF
 UNDERGROUND UTILITY LINES.
 CORE ASSUMES NO RESPONSIBILITY FOR DIGGING UTILITY
 LINES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED
 FROM RECORD DRAWINGS. THE CONTRACTOR TO VERIFY
 THE LOCATION OF ALL UTILITIES PRIOR TO THE
 COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JVI
 DRAWN BY: JVI
 CHECKED BY: PCS
 JOB NO. 14-001
 SHEET 33 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgroupco.com
#3, 8-180 Independence plaza
1007 16th street, denver co 80205
1.303.531.4905 f. 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James W. Ivy
JAMES W. IVY, RLA #741
DATE: 7/22/14

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
HAC	COMMON HACKBERRY
GI	GENERAL HONEYLOCUST
CS	KENTUCKY COFFEE TREE
OR	NORTHERN CATALPA
GS	RED OAK
GB	SHADEMASTER LOCUST
	SWAMP WHITE OAK
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FMR	FIRE MEIDLAND ROSE
GG	GAMBEL OAK
RG	GOLDEN CURRANT
RHU	GRACKLE FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
PMO	LITTLE LEAF MOCKORAGE
AC	MANZANITA
NSF	NORTHERN SUN FORSYTHIA
AP	PANCHO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
CA	PEWEE COTONEASTER
RB	RABBITBRUSH
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PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PRINCISION FLOWER
EP	PURPLE CONEFLOWER
MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIROTURF

REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	JWV
2	PER TOWN COMMENTS	6/02/15	JWV
3	PER TOWN COMMENTS	9/11/15	JWV
4	PER TOWN COMMENTS	10/8/15	JWV

KEYMAP

NOTE: 1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

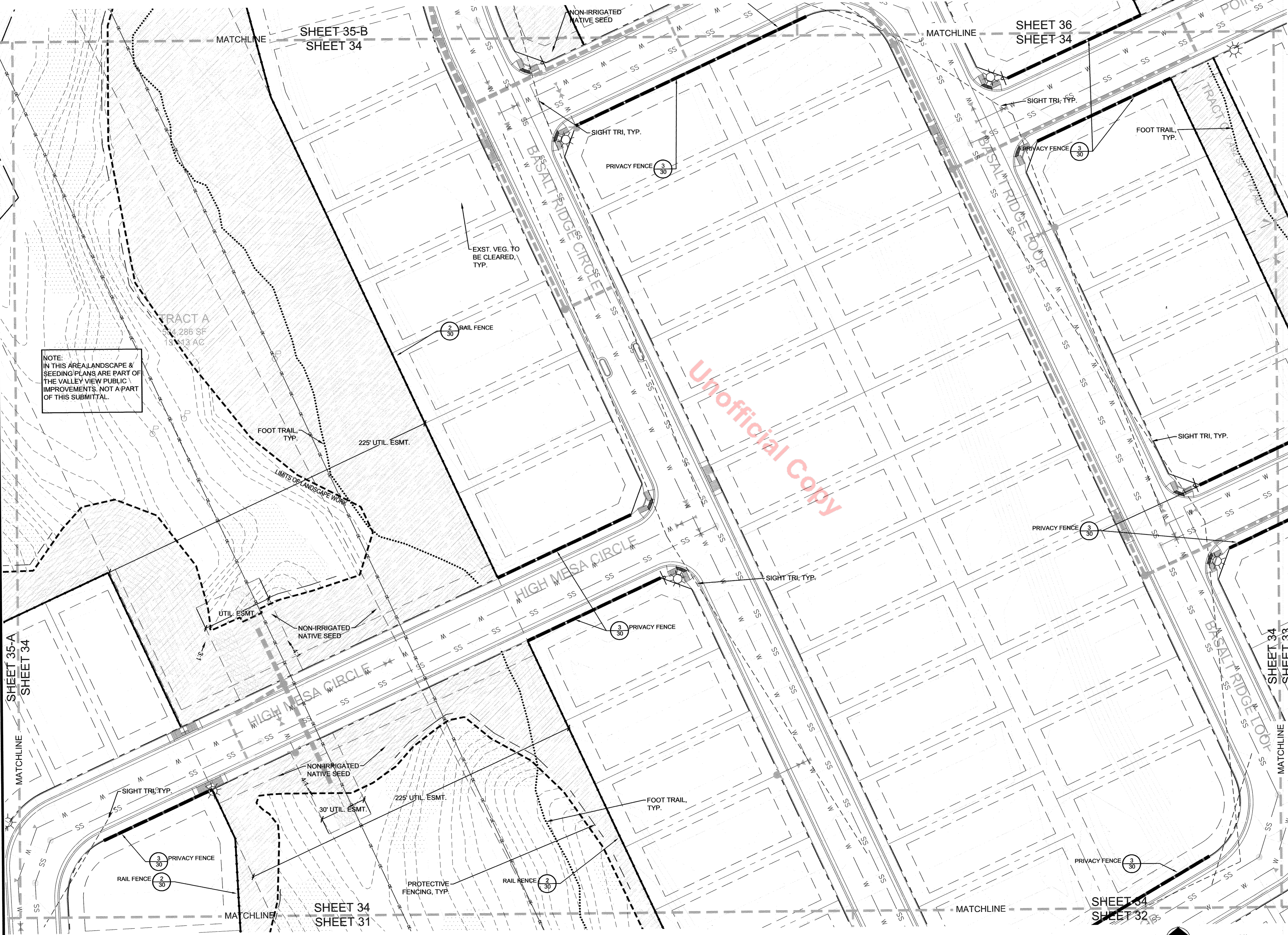
NOTE: 1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

SCALE: 1"=30'-0"

0 10' 20' 30' 40' 50' 60'

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JWV
DRAWN BY: JWV
CHECKED BY: PCS

JOB NO. 14-001
SHEET 34 OF 48



NOTE: IN THIS AREA LANDSCAPE & SEEDING PLANS ARE PART OF THE VALLEY VIEW PUBLIC IMPROVEMENTS, NOT A PART OF THIS SUBMITTAL.

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811
 Call before you dig

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JWV
 DRAWN BY: JWV
 CHECKED BY: PCS

JOB NO. 14-001
 SHEET 34 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgruopco.com
#3, B-180 Independence Plaza
1027 16th Street, Denver, CO 80202
1.303.531.4905, 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James IVY, RLA #741
DATE: 7/22/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W. PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
AM	AUTUMN BLAZE MAPLE
OM	BURR OAK
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KEYMAP

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REVISIONS

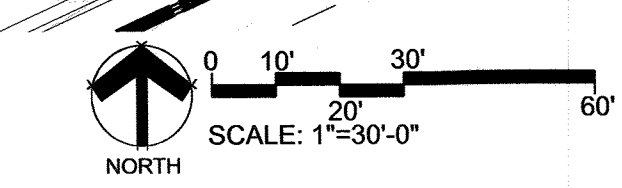
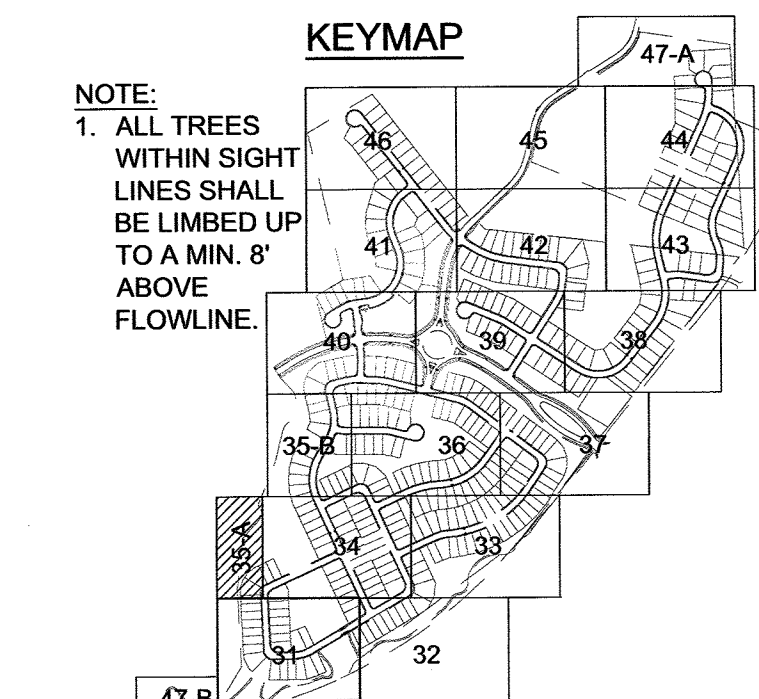
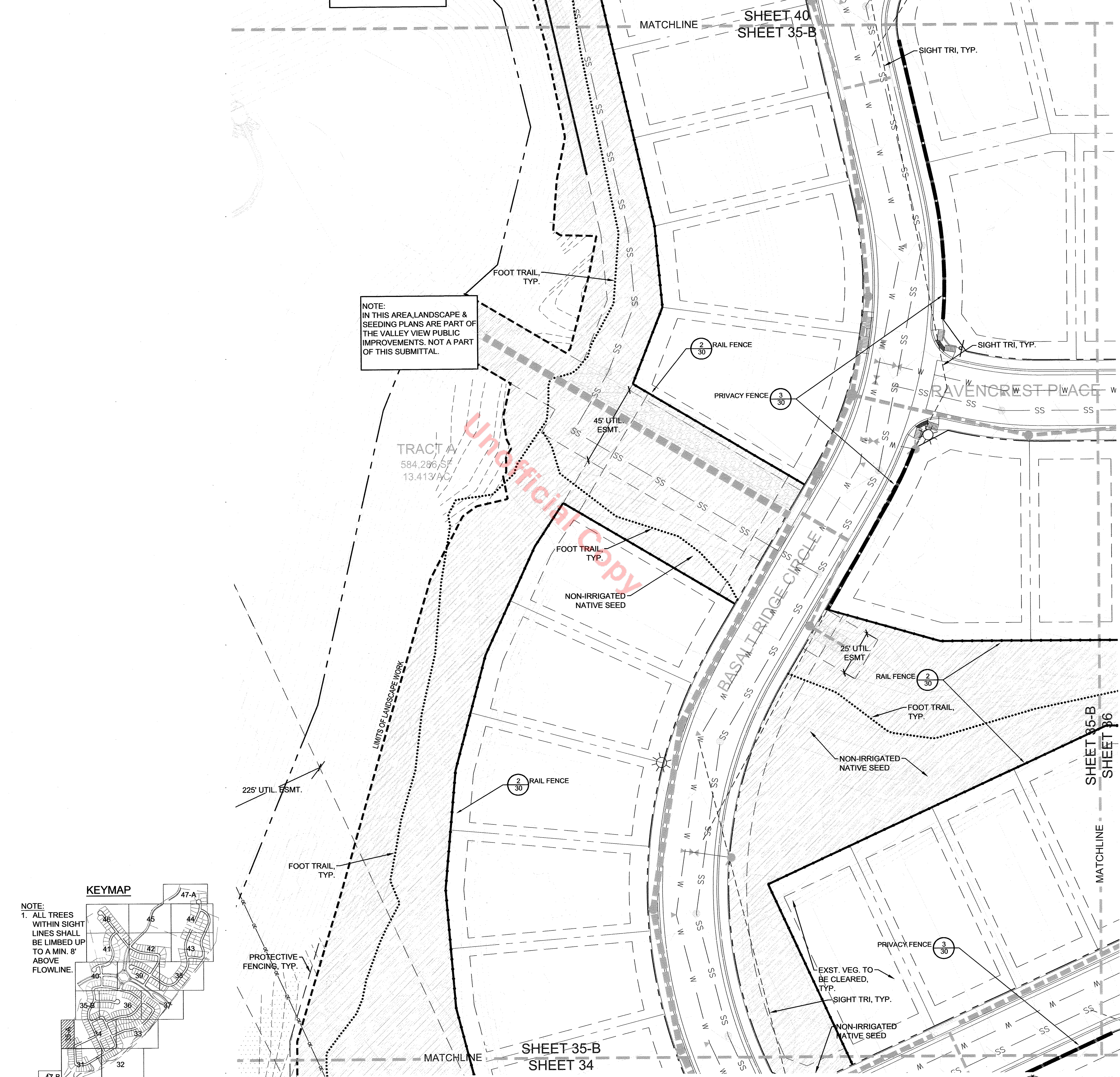
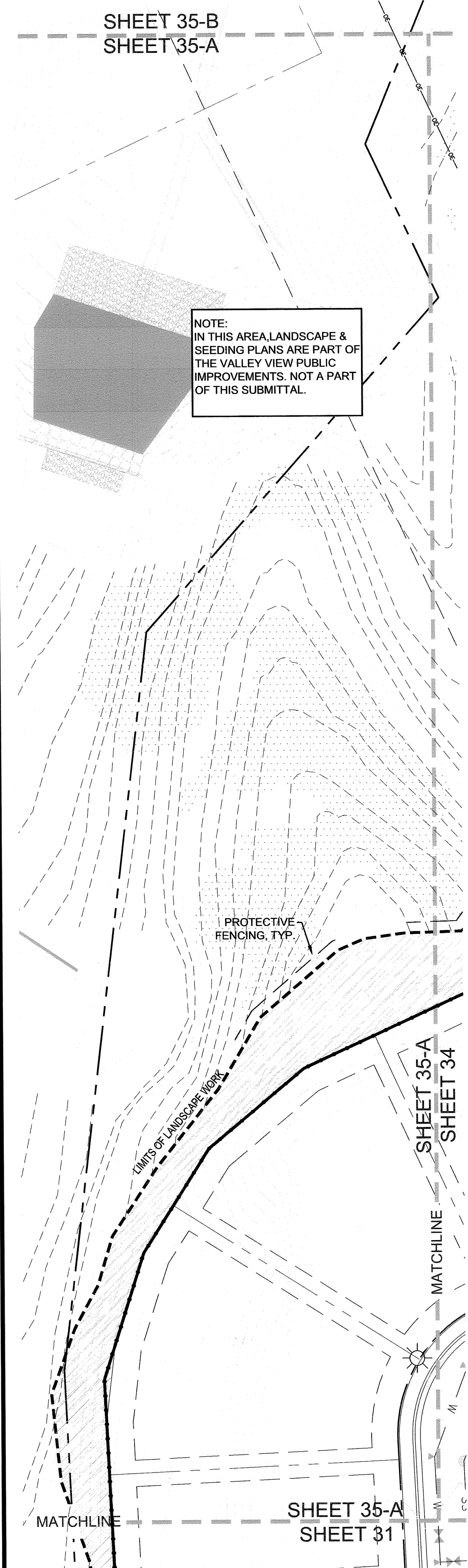
#	DESCRIPTION	DATE	BY
1.	PER. TOWN COMMENTS	4/17/15	JWI
2.	PER. TOWN COMMENTS	6/02/15	JWI
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KNOW WHAT'S BELOW.
 Call before you dig.

811
 CALL BEFORE YOU DIG

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS

SHEET NO. 14-001
 SHEET 35 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
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COLORADO REGISTERED
LANDSCAPE ARCHITECT
James Ivy, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

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	EVERGREEN TREES		EVERGREEN SHRUBS
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FMR	FIRE MEIDLAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRANT
RHU	GROLOW TRANSPARENT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
PMO	LITTLE LEAF MOCKORAGIA
AC	MANZANITA
NSF	NORTHERN SUN FORSYTHIA
AP	PANWEE BUTTES SAND CHERRY
SCH	PEKING COTONEASTER
CA	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
RB	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
IB	BLUE CHIP JUNIPER
EE	BLUESTEM JOINT FIR
BUJ	BUFFALO JUNIPER
JH	HUGHES JUNIPER
CSM	MOONLIGHT BROOM
PS	MUGGO PINE
GRASSES	COMMON NAME
BOG	BLUE OAT GRASS
CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PRINCISION FLOWER
EP	PURPLE CONEFLOWER

REVISIONS

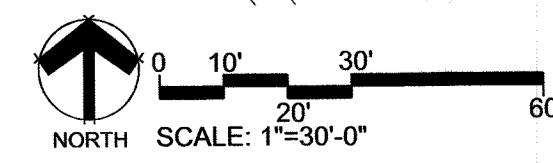
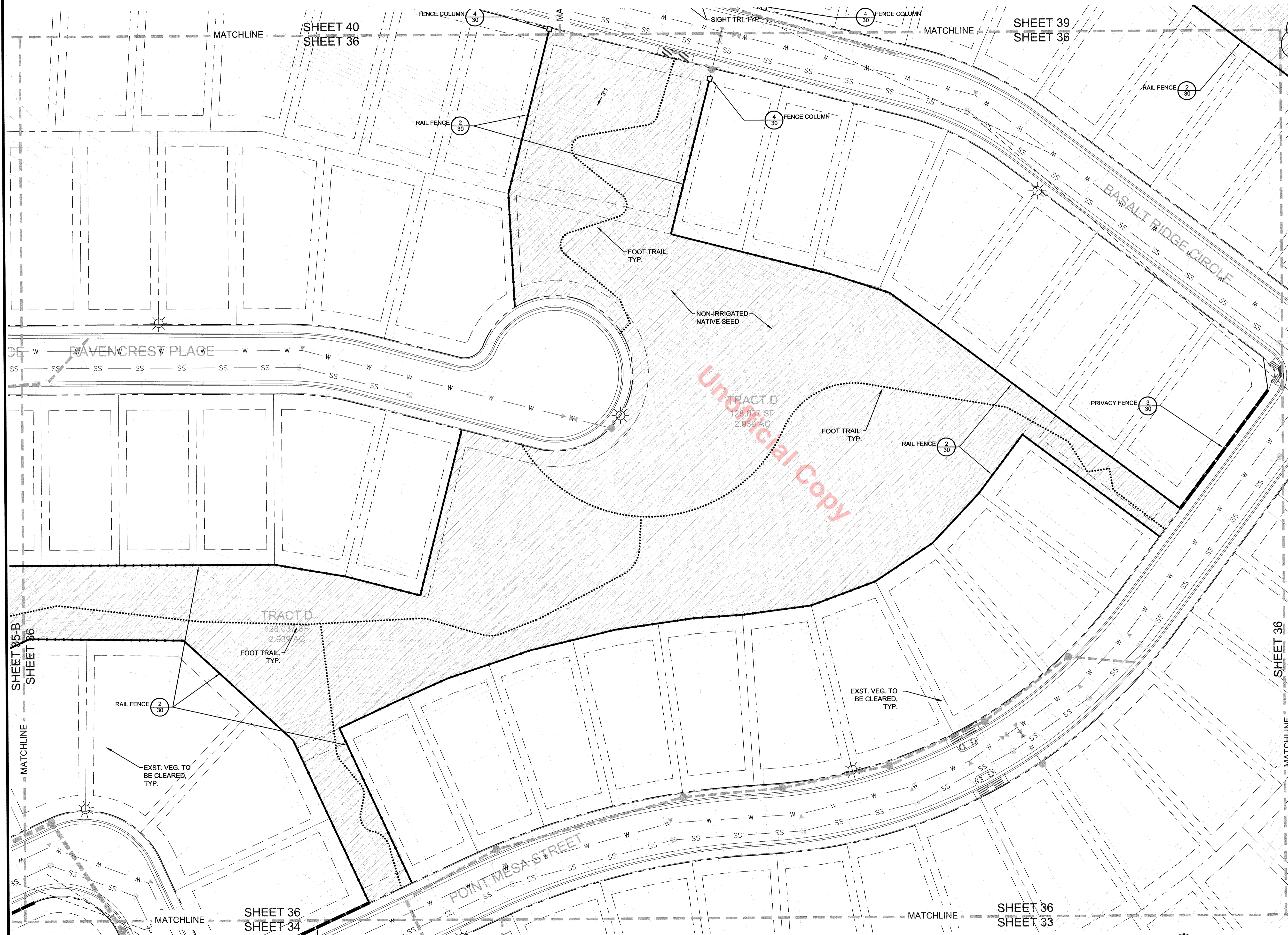
#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	JWI
2	PER TOWN COMMENTS	6/22/15	JWI
3	PER TOWN COMMENTS	9/11/15	JWI
4	PER TOWN COMMENTS	10/8/15	JWI

MULCH

	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
	SOD/SEED
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIROTURF

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDPI5-0008
LANDSCAPE PLAN

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CORE CONSULTANTS

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SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS

JOB NO.
 14-001
 SHEET
 36 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgrouppco.com
#3, 8-180 Independence plaza
1007 16th Street, denver co 80202
1.303.531.4905 | 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James Ivy, RLA #741
DATE: 7/29/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

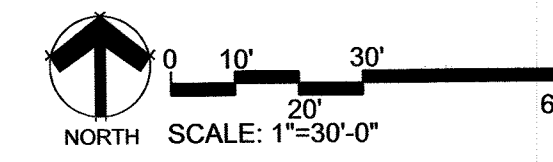
DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
HAC	COMMON HACKBERRY
GI	IMPERIAL HONEYLOCUST
GK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
QR	RED OAK
GS	SHADEMASTER LOCUST
GB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIA PINE
LPN	LIMBER PINE
JP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
BSP	COMMON BLUEBEARD SPREA
RL	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEDILAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRANT
GR	GRACIOW FRAGRANT SUMAC
RHI	JACKMAN'S POTENTILLA
PJ	LITTLE LEAF MOUNTAIN MAHOGONY
CI	LITTLE LEAF MOCKORAGE
PFO	MANZANITA
AC	NORTHERN SUN FORSYTHIA
AP	PANCHITO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
CA	PERING COTONEASTER
RB	RABBITBUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
SB	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
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RT	THREE LEAF SUMAC
RW	WHITE MEDILAND ROSE
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PV	SWITCH GRASS 'SUNBURST'
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BES	BLACK-EYED SUSAN
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EP	PURPLE CONEFLOWER
MULCH	COMMON NAME
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	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIROTURF

REVISIONS

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 JWI
2	PER TOWN COMMENTS	6/02/15 JWI
3	PER TOWN COMMENTS	9/11/15 JWI
4	PER TOWN COMMENTS	10/08/15 JWI

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



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 SHOWN ON THE DRAWING. THESE UTILITIES HAVE BEEN FIELD
 VERIFIED BY THE SURVEYOR. THE CONTRACTOR TO FIELD VERIFY
 THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
 THE RESPONSIBILITY OF ANY CONSTRUCTION ACTIVITIES.

811
 Call before you dig

REVISIONS
 # DESCRIPTION DATE BY
 1 PER TOWN COMMENTS 4/17/15 JWI
 2 PER TOWN COMMENTS 6/02/15 JWI
 3 PER TOWN COMMENTS 9/11/15 JWI
 4 PER TOWN COMMENTS 10/08/15 JWI

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE PLAN**
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JWI
 DRAWN BY: JWI
 CHECKED BY: PCS
 JOB NO. 14-001
 SHEET 37 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgruopco.com
43. s-180 independence plaza
1007 16th street, denver co 80265
1.303.531.4905 • 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James W. RLA
JAMES WY, RLA #741
DATE: 7/22/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

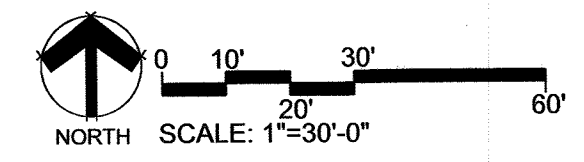
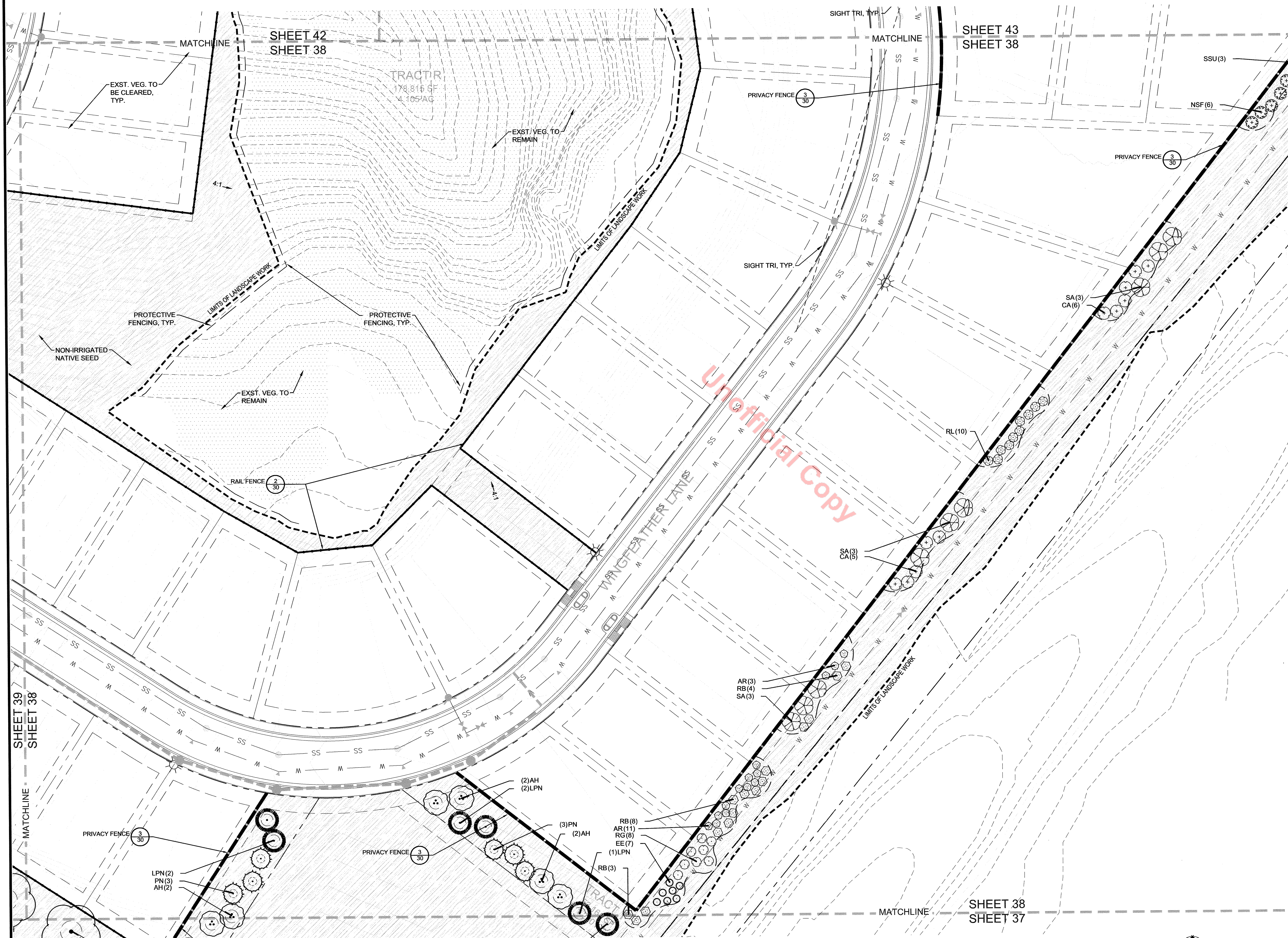
DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
GI	COMMON HACKBERRY
GK	IMPERIAL HONEYLOCUST
CS	KENTUCKY COFFEE TREE
QR	NORTHERN CATALPA
GS	RED OAK
QB	SHADEMASTER LOCUST
	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
SSC	SPRING SNOW GRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
BSP	COMMON BLUEBEARD SPIREA
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OG	GAMBEL OAK
RG	GOLDEN CURRANT
RHU	GRO-LOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
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PMO	LITTLE LEAF MOCKORAGE
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NSF	NORTHERN SUN FORSYTHIA
AP	PANCHITO MANZANITA
SP	PAWNEE BUTTES SAND CHERRY
CA	PERINO COTONEASTER
RB	RABBITBUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PB	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
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EE	BLUESTEM JOINT FIR
BLJ	BUFFALO JUNIPER
H	HUGHES JUNIPER
CSM	MOONLIGHT BROOM
PS	MUGO PINE
GRASSES	COMMON NAME
BOG	BLUE OAT GRASS
CK	FEATHER REED GRASS
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PV	SWITCH GRASS 'SUNBURST'
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MULCH	COMMON NAME
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	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIROTURF

REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	JWV
2	PER TOWN COMMENTS	6/02/15	JWV
3	PER TOWN COMMENTS	9/11/15	JWV
4	PER TOWN COMMENTS	10/28/15	JWV

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

CIVIL ENGINEERING
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 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CORE CONSULTANTS

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 DIG, GRADE OR EXCAVATE FOR THE MAKING OF
 UNDESIGNATED TREE UNITS.
 CORE ASSURES NO IMPROVEMENTS TO LOCALITIES OR
 UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED
 THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY
 THE RESPONSIBILITY OF ANY CONSTRUCTION ACTIVITIES.

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: JWV
 DRAWN BY: JWV
 CHECKED BY: PCS

JOB NO.
 14-001
 SHEET
 38 OF 48

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgroupco.com
43.9180 Independence Plaza
1007 16th Street, Denver CO 80265
1.303.531.4905 f.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James Ivy, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
HAC	COMMON HACKBERRY
GI	IMPERIAL HONELOCUST
CK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
QR	RED OAK
GS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
SPE	SCOTLAND PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
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SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
BSP	COMMON BLUEBEARD SPIREA
RI	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEIDLAND ROSE
QG	GAMBEL OAK
RG	GOLDEN CURRANT
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PJO	LITTLE LEAF MOUNTAIN MAHOGONY
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AG	THREE LEAF SUMAC
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	'AUTUMN BRILLIANCE' SERVICEBERRY

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EE	BLEUETEM JOINT FIR
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JH	HUGHES JUNIPER
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PS	MUGO PINE
GRASSES	COMMON NAME
BOG	BLUE OAT GRASS
CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PINKUSHION FLOWER
EP	PURPLE CONEFLOWER

MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIRTURF

REVISIONS

#	DESCRIPTION	DATE	BY
1	PER. TOWN COMMENTS	4/17/15	JWI
2	PER. TOWN COMMENTS	6/02/15	JWI
3	PER. TOWN COMMENTS	9/11/15	JWI
4	PER. TOWN COMMENTS	10/09/15	JWI

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

NOTE:

1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE CONSULTANTS

CALL: BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRASS AND UNDERGROUND UTILITY LOCATIONS HORIZONTAL AND VERTICAL. THE EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE ACCURACY OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS

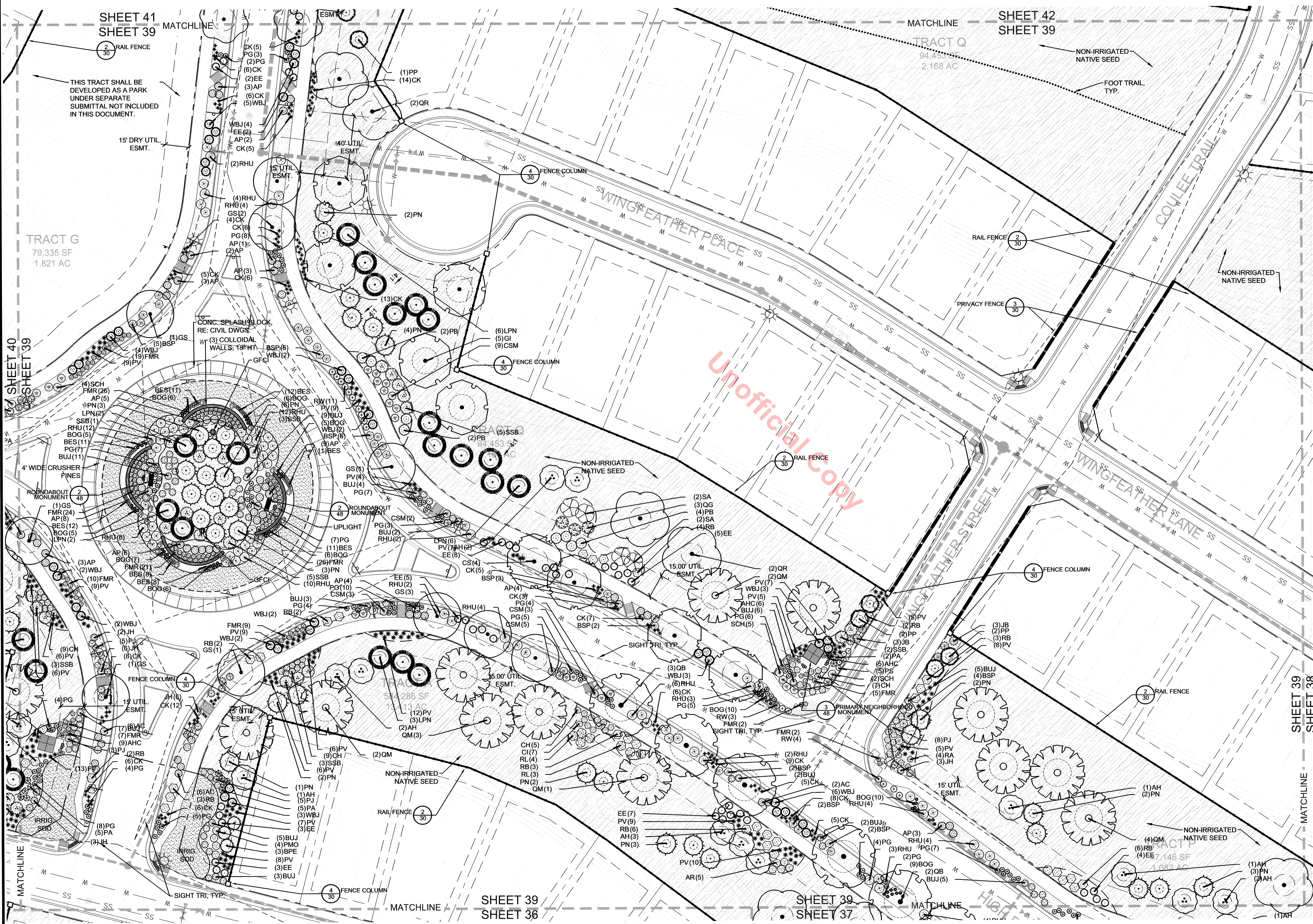
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3	PER. TOWN COMMENTS	9/11/15	JWI
4	PER. TOWN COMMENTS	10/09/15	JWI

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN

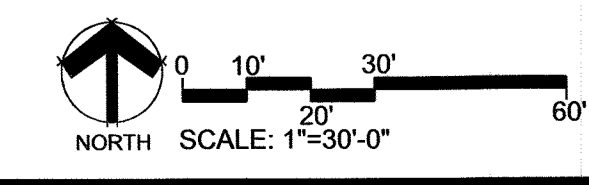
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS

JOB NO. 14-001
SHEET 39 OF 48



Unofficial Copy



SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

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pcs group inc. www.pcsgruopco.com
#3, 8-180 independence plaza
1007 14th street, denver, co 80202
1.303.531.4905 f. 303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James IVI
JAMES IVI, RLA #741
DATE: 7/29/2014

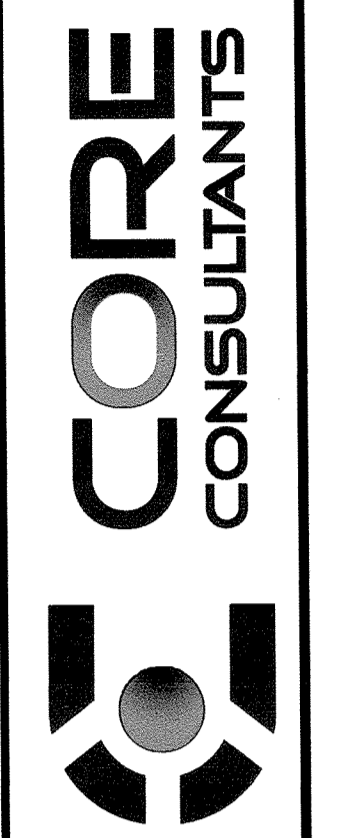
SYMBOL LEGEND

DECIDUOUS TREES	DECIDUOUS SHRUBS
EVERGREEN TREES	EVERGREEN SHRUBS
ORNAMENTAL TREES	ORNAMENTAL GRASSES & PERENNIALS
SPADE CUT EDGER	RAIL FENCE INSTALLED BY HOME BUILDER
R.O.W./PROP BOUNDARY	STEEL EDGER
LIMIT OF LANDSCAPE WORK	EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ASH	AUTUMN BLAZE MAPLE
OM	BURR OAK
HAC	COMMON HACKBERRY
GI	EMERALD HONEYLOCUST
CS	KENTUCKY COFFEE TREE
OR	NORTHERN CATALPA
GR	RED OAK
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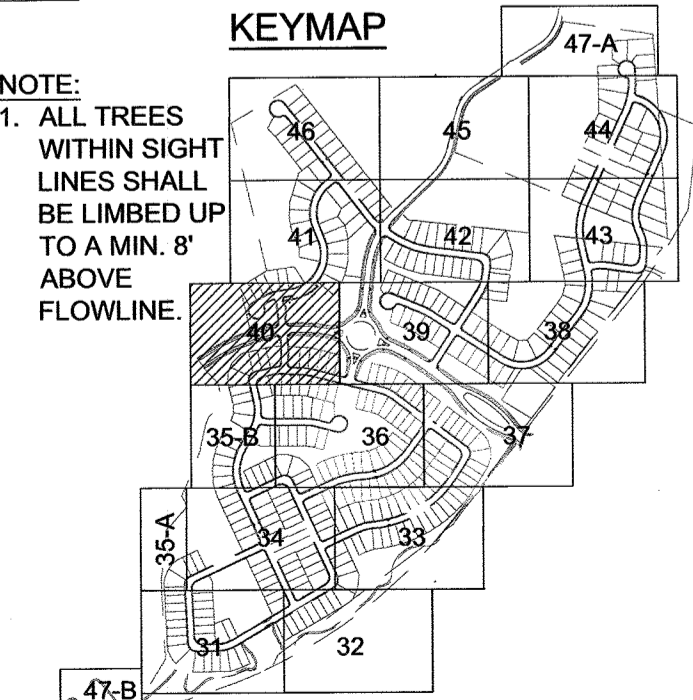
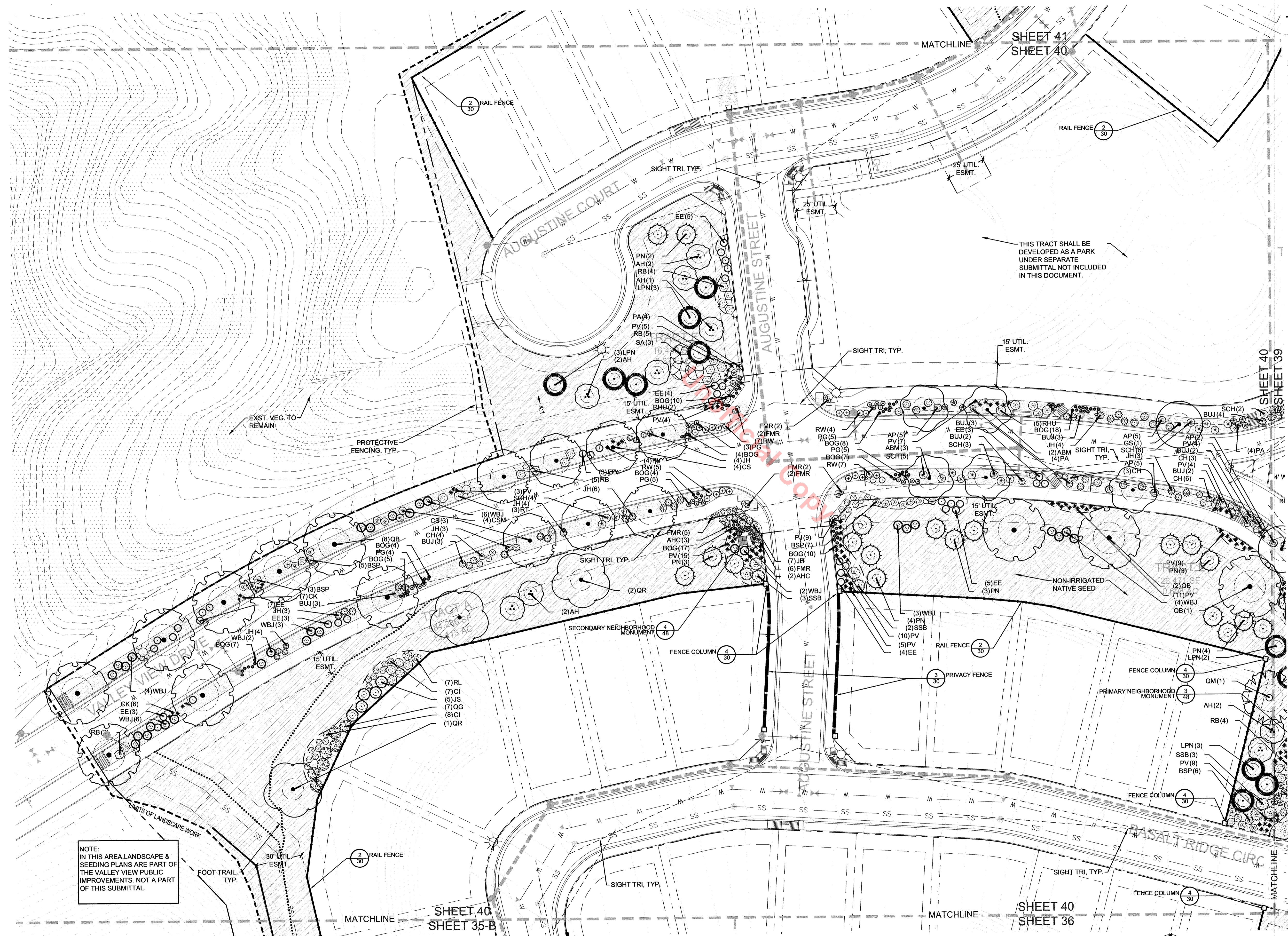
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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LINES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED
BASED ON RECORD DRAWINGS. THE CONTRACTOR TO VERIFY
THE LOCATION OF ALL UTILITIES PRIOR TO ANY
CONSTRUCTION OF ANY TYPE.



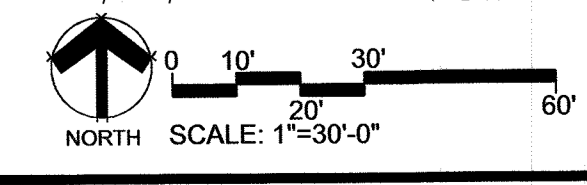
REVISIONS	DATE BY
1	4/17/15 JVI
2	6/20/15 JVI
3	9/11/15 JVI
4	10/8/15 JVI

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015 DESIGNED BY: JVI DRAWN BY: JVI CHECKED BY: PCS	JOB NO. 14-001 SHEET 40 OF 48
--------------------------------------------------------------------------------------------	----------------------------------------



NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



NOTE:
IN THIS AREA, LANDSCAPE & SEEDING PLANS ARE PART OF THE VALLEY VIEW PUBLIC IMPROVEMENTS. NOT A PART OF THIS SUBMITTAL.

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:

people creating spaces
pcs group inc. www.pcsgroupco.com
43.9180 independence plaza
1007 16th street, denver co 80265
1.303.531.4905 f.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT

JAMES IVY, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE INSTALLED BY HOME BUILDER
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
QM	BURR OAK
GI	COMMON HACKBERRY
GK	IMPERIAL HONEYLOCUST
CS	KENTUCKY COFFEE TREE
QR	NORTHERN CATALPA
GS	RED OAK
QR	SHADEMASTER LOCUST
GS	SWAMP WHITE OAK

EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER

ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
SSC	SPRING SNOW CRAB APPLE

DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
BSP	COMMON BLUEBEARD SPIREA
RL	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEIDLAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRANT
RHU	GROULOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
AC	LITTLE LEAF MOCKORAGIA
NSF	MANZANITA
AP	NORTHERN SUN FORSYTHIA
SCH	PANCHO MANZANITA
CA	PAWNEE BUTTES SAND CHERRY
RB	PENING COTONEASTER
AR	RABBITBRUSH
CH	RED CHOKEBERRY
PA	RUSSIAN SAGE
FB	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
AG	AUTUMN BRILLIANCE SERVICEBERRY

EVERGREEN SHRUBS	COMMON NAME
JB	BLUE CHIP JUNIPER
EE	BLUESTEM JOINT FIR
BLU	BUFFALO JUNIPER
HT	HUGHES JUNIPER
CSM	MOONLIGHT BROOM
PS	MUGO PINE

GRASSES	COMMON NAME
BOG	BLUE OAT GRASS
CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'

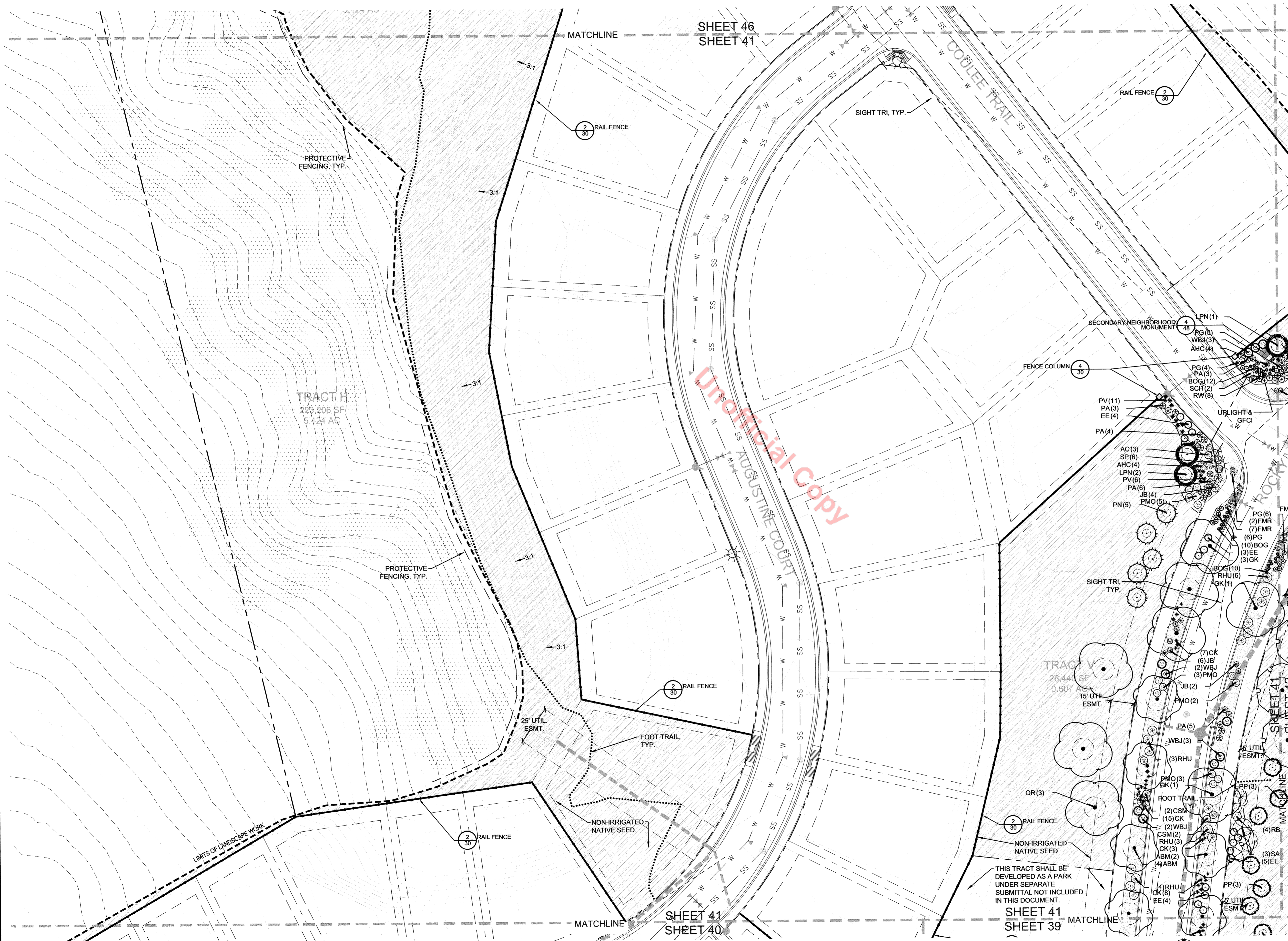
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
BES	BLACK-EYED SUSAN
SP	PINCUSHION FLOWER
PP	PURPLE CONEFLOWER

MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4-12" COBBLE
	WOOD MULCH

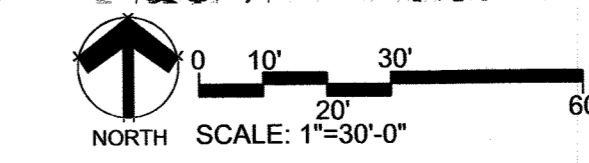
PERMANENT NATIVE MIX - NON-IRRIG	COMMON NAME
	SOD, ENVIROTURF

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



THIS TRACT SHALL BE DEVELOPED AS A PARK UNDER SEPARATE SUBMITTAL NOT INCLUDED IN THIS DOCUMENT.



CIVIL ENGINEERING DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRASS AND HERB UTILITY. UNDESIGNATED HERB UTILITY. COORDINATE HORIZONTAL AND VERTICAL. THE EDITING UTILITY SHOWN ON THE DRAWING HAS BEEN LOTTED TO THE CONTRACTOR TO VERIFY THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE ACCURACY OF ANY CONSTRUCTION ACTIVITIES.

REVISIONS	#	DESCRIPTION	DATE	BY
	1	PER TOWN COMMENTS	4/17/15	JWI
	2	PER TOWN COMMENTS	6/02/15	JWI
	3	PER TOWN COMMENTS	9/11/15	JWI
	4	PER TOWN COMMENTS	10/08/15	JWI

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS

JOB NO. 14-001
SHEET 41 OF 48

SITE DEVELOPMENT PLAN FOR

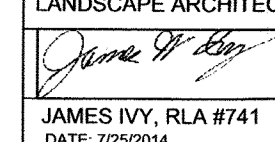
TERRAIN FILING NO. 1,

SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:

 people creating spaces
 pcs group inc. www.pcsgruopco.com
 #3, 8-180 independence plaza
 1007 16th street, denver co 80265
 1.303.531.4905 1.303.531.4908

COLORADO REGISTERED
 LANDSCAPE ARCHITECT

 JAMES IVY, RLA #741
 DATE: 7/25/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE
	R.O.W./PROP BOUNDARY		STEEL EDGER
	LIMIT OF LANDSCAPE WORK		EXISTING VEGETATION

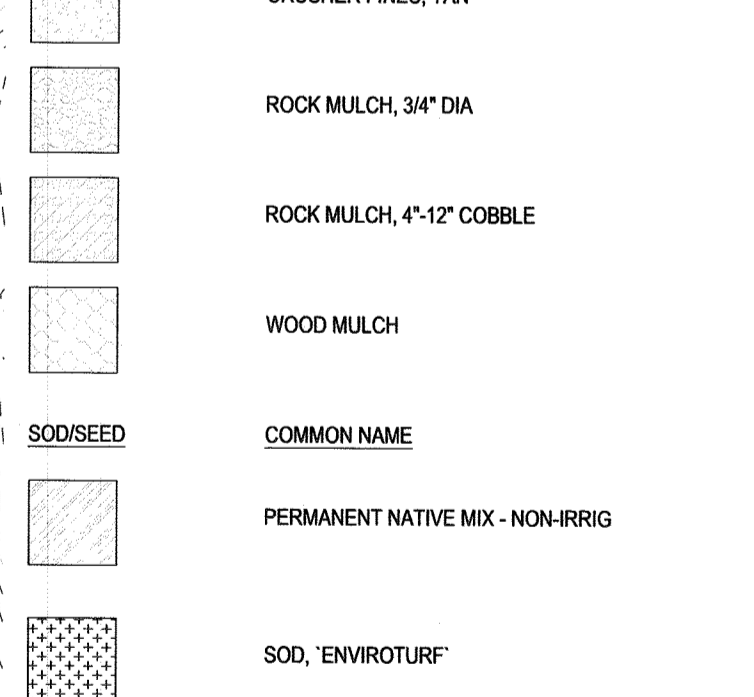
PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
OM	BURR OAK
HAC	COMMON HACKBERRY
GF	IMPERIAL HONEYLOCUST
GK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
QR	RED OAK
SS	SHADEMASTER LOCUST
QB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BP	BOSNIAN PINE
LPN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
AH	HOT WINGS TATARIAN MAPLE
SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
RA	ALPINE CURRANT
RSP	COMMON BLUEBEARD SPIREA
RL	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEIDLAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRANT
RHU	GRO-LOW FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
FMO	LITTLELEAF MOCKORAGE
MC	MANZANITA
NSF	NORTHERN SUN FORSYTHIA
AP	PANCHO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
GA	PEWING COTONEASTER
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
PB	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
RW	WHITE MEIDLAND ROSE
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
JB	BLUE CHIP JUNIPER
EE	BLUESTEM JOINT FIR
BUJ	BUFFALO JUNIPER
HJ	HUGHES JUNIPER
CSM	MOONLIGHT BROOM
PS	MUGO PINE
GRASSES	COMMON NAME
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CK	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
AHC	ANISE HYSSOP
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EP	PURPLE CONEFLOWER
MULCH	COMMON NAME
	CRUSHER FINES, TAN
	ROCK MULCH, 3/4" DIA
	ROCK MULCH, 4"-12" COBBLE
	WOOD MULCH
SOD/SEED	COMMON NAME
	PERMANENT NATIVE MIX - NON-IRRIG
	SOD, ENVIROTURF

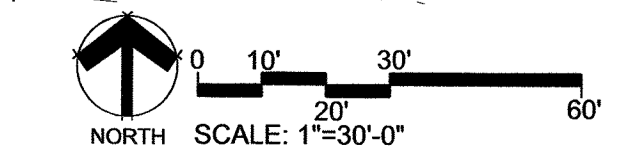
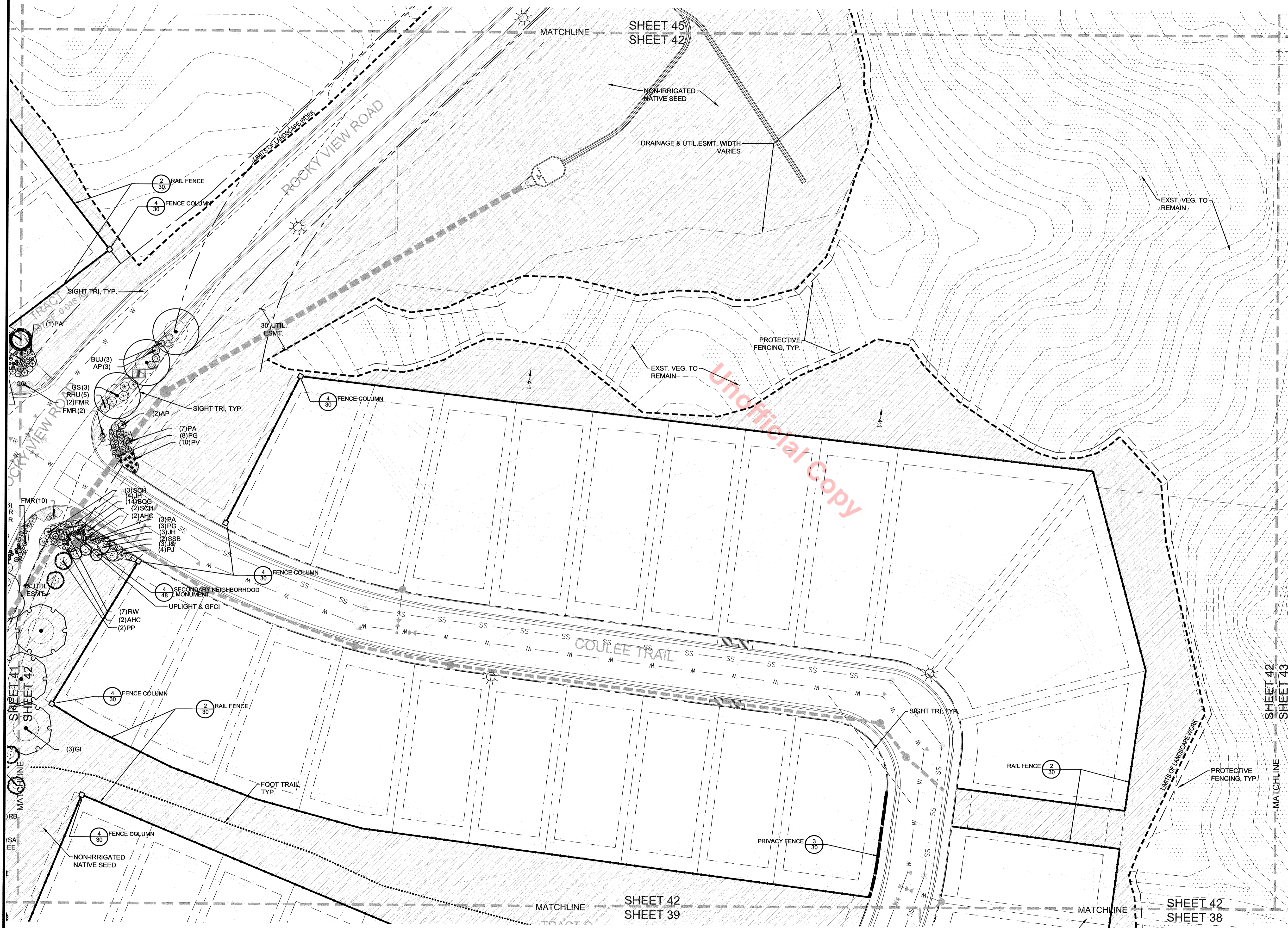
REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/7/15	IWI
2	PER TOWN COMMENTS	6/22/15	IWI
3	PER TOWN COMMENTS	9/1/15	IWI
4	PER TOWN COMMENTS	10/8/15	IWI

KEYMAP



NOTE:
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CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120

CORE
 CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITY.
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REVISIONS

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/7/15	IWI
2	PER TOWN COMMENTS	6/22/15	IWI
3	PER TOWN COMMENTS	9/1/15	IWI
4	PER TOWN COMMENTS	10/8/15	IWI

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1

LANDSCAPE PLAN

TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
 RELEASE: 2/20/2015
 DESIGNED BY: IWI
 DRAWN BY: IWI
 CHECKED BY: PCS

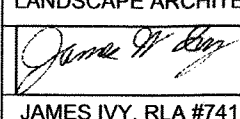
JOB NO.
 14-001
 SHEET
 42 OF 48

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDPI5-0008
 LANDSCAPE PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:

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pcs group inc. www.pcsgruopco.com
43, 8-180 Independence plaza
1007 16th street, denver co 80265
1.303.531.4905 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT

JAMES IVY, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

- | | | | |
|--|-------------------------|--|--------------------------------------|
| | DECIDUOUS TREES | | DECIDUOUS SHRUBS |
| | EVERGREEN TREES | | EVERGREEN SHRUBS |
| | ORNAMENTAL TREES | | ORNAMENTAL GRASSES & PERENNIALS |
| | SPADE CUT EDGER | | RAIL FENCE INSTALLED BY HOME BUILDER |
| | R.O.W./PROP BOUNDARY | | STEEL EDGER |
| | LIMIT OF LANDSCAPE WORK | | EXISTING VEGETATION |

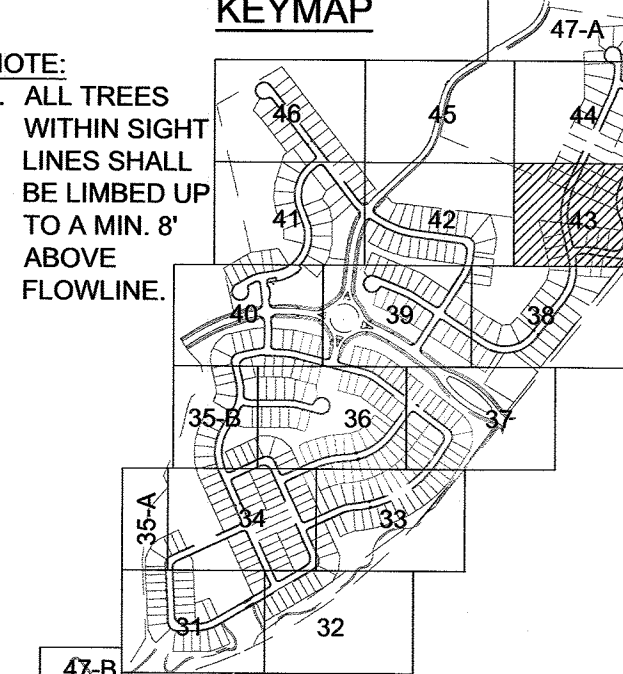
PLANT PALETTE

- | | |
|-------------------------|----------------------------------|
| DECIDUOUS TREES | COMMON NAME |
| ABM | AUTUMN BLAZE MAPLE |
| BM | BURR OAK |
| HAC | COMMON HACKBERRY |
| GI | IMPERIAL HONEYLOCUST |
| GK | KENTUCKY COFFEE TREE |
| CS | NORTHERN CATALPA |
| QR | RED OAK |
| CS | SHADEMASTER LOCUST |
| OB | SWAMP WHITE OAK |
| EVERGREEN TREES | COMMON NAME |
| PN | AUSTRIAN BLACK PINE |
| BPE | BOSNIAN PINE |
| LPN | LIMBER PINE |
| PP | PINON PINE |
| JS | ROCKY MOUNTAIN JUNIPER |
| WBJ | WICHITA BLUE JUNIPER |
| ORNAMENTAL TREES | COMMON NAME |
| AH | HOT WINGS TATARIAN MAPLE |
| SSC | SPRING SNOW GRAB APPLE |
| DECIDUOUS SHRUBS | COMMON NAME |
| RA | ALPINE CURRANT |
| BSP | COMMON BLUEBEARD SPIREA |
| RL | CUTLEAF STAGHORN SUMAC |
| FMR | FIRE MEIDLAND ROSE |
| QG | GAMBEL OAK |
| RG | GOLDEN CURRANT |
| RHU | GRO-LOW FRAGRANT SUMAC |
| PJ | JACKMAN'S POTENTILLA |
| CI | LITTLE LEAF MOUNTAIN MAHOGONY |
| FMO | LITTLE LEAF MOCKORAGE |
| MAC | MANZANITA |
| NSF | NORTHERN SUN FORSYTHIA |
| AP | PANCHITO MANZANITA |
| SCH | PAWNEE BUTTES SAND CHERRY |
| CA | PEKING COTONEASTER |
| RB | RABBITBRUSH |
| AR | RED CHOKEBERRY |
| CH | ROCK COTONEASTER |
| PA | RUSSIAN SAGE |
| SB | SAND CHERRY |
| PSB | SASKATOON SERVICEBERRY |
| SA | SILVER BUFFALO BERRY |
| SSU | STAGHORN SUMAC |
| RT | THREE LEAF SUMAC |
| RW | WHITE MEIDLAND ROSE |
| AG | 'AUTUMN BRILLIANCE' SERVICEBERRY |
| EVERGREEN SHRUBS | COMMON NAME |
| JB | BLUE CHIP JUNIPER |
| EE | BLUESTEM JOINT FIR |
| BUJ | BUFFALO JUNIPER |
| JH | HUGHES JUNIPER |
| CSM | MOONLIGHT BROOM |
| PS | MUGO PINE |
| GRASSES | COMMON NAME |
| BOG | BLUE OAT GRASS |
| CK | FEATHER REED GRASS |
| PG | FOUNTAIN GRASS |
| PV | SWITCH GRASS 'SUNBURST' |
| PERENNIALS | COMMON NAME |
| AHC | ANISE HYSSOP |
| BES | BLACK-EYED SUSAN |
| SP | PINCUSHION FLOWER |
| EP | PURPLE CONEFLOWER |
| MULCH | COMMON NAME |
| | CRUSHER FINES, TAN |
| | ROCK MULCH, 3/4" DIA |
| | ROCK MULCH, 4-12" COBBLE |
| | WOOD MULCH |
| SOD/SEED | COMMON NAME |
| | PERMANENT NATIVE MIX - NON-IRRIG |
| | SOD, 'ENVIROTURF' |

- | | |
|---------------------|--------------|
| REVISIONS | DATE BY |
| # DESCRIPTION | |
| 1 PER TOWN COMMENTS | 4/17/15 JWI |
| 2 PER TOWN COMMENTS | 6/02/15 JWI |
| 3 PER TOWN COMMENTS | 9/11/15 JWI |
| 4 PER TOWN COMMENTS | 10/08/15 JWI |

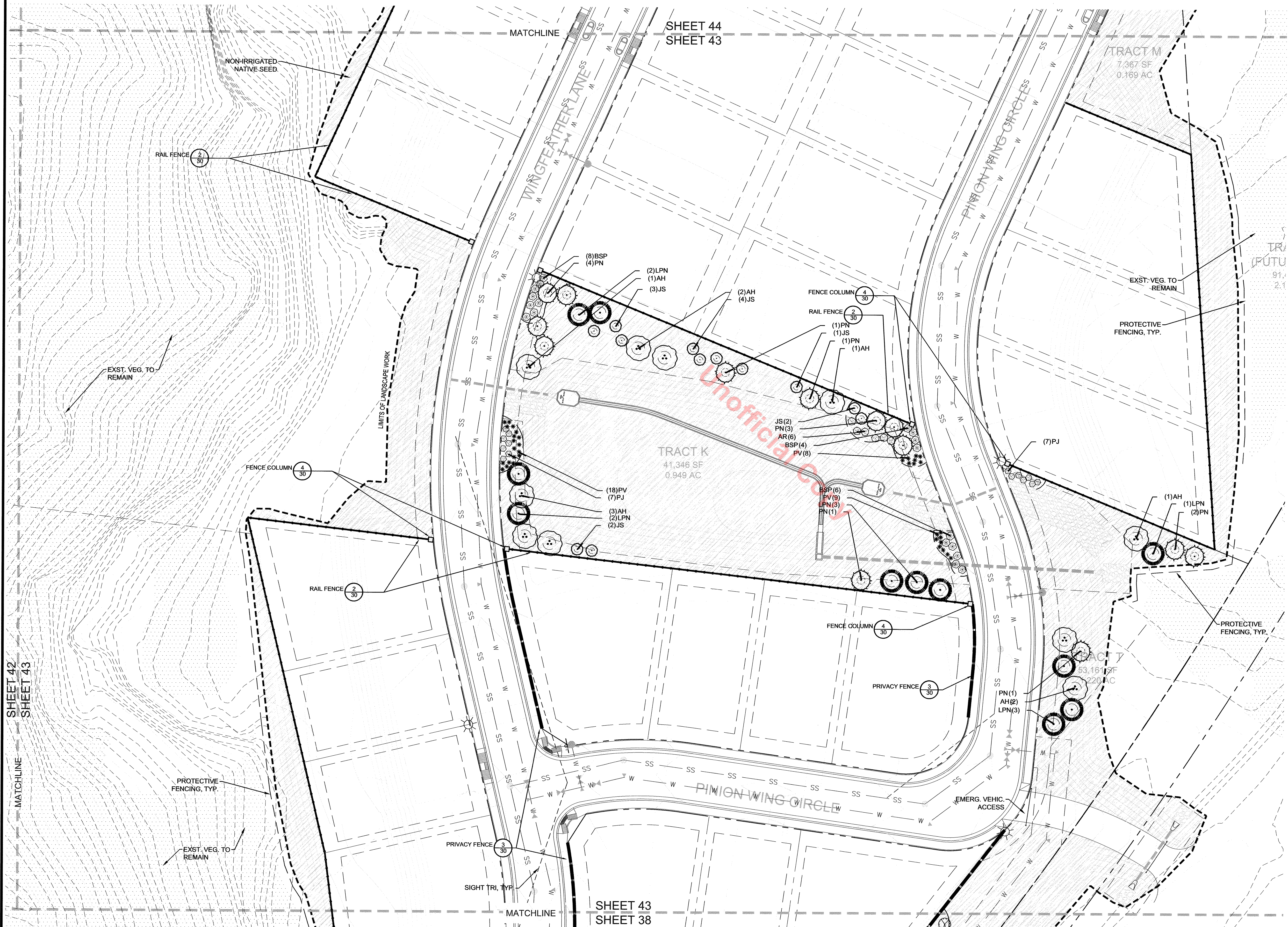
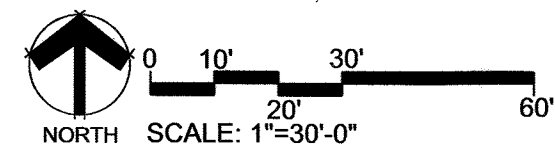
- | | |
|--|----------------------------------|
| | SOD, 'ENVIROTURF' |
| | PERMANENT NATIVE MIX - NON-IRRIG |
| | ROCK MULCH, 3/4" DIA |
| | ROCK MULCH, 4-12" COBBLE |
| | WOOD MULCH |
| | CRUSHER FINES, TAN |

KEYMAP

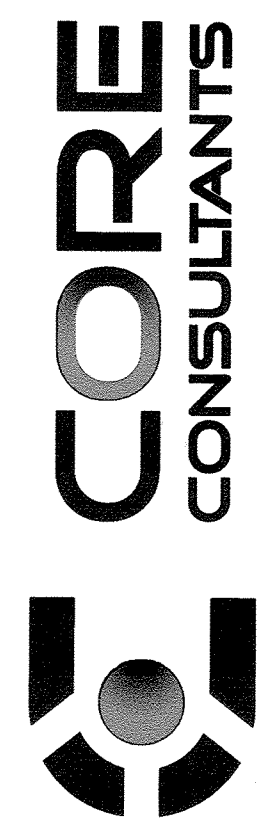


NOTE:
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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LINES OR FOR THE LOCATION OF UTILITY LINES. THE EXISTING
UTILITY LINES SHOWN ON THIS PLAN ARE BASED ON THE MOST
RECENT AVAILABLE INFORMATION. IT IS HOWEVER,
THE LOCATION OF ALL UTILITIES PRIOR TO THE
COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

#	DESCRIPTION	DATE BY
1	PER TOWN COMMENTS	4/17/15 JWI
2	PER TOWN COMMENTS	6/02/15 JWI
3	PER TOWN COMMENTS	9/11/15 JWI
4	PER TOWN COMMENTS	10/08/15 JWI

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1 LANDSCAPE PLAN TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS
JOB NO.
14-001
SHEET
43 OF 48

SITE DEVELOPMENT PLAN FOR

TERRAIN FILING NO. 1,

SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces

pcs group inc. www.pcsgroupco.com
#3, 9-180 Independence plaza
1007 14th street, denver, co 80245
1.303.531.4905 | 1.303.531.4908

COLORADO REGISTERED
LANDSCAPE ARCHITECT
James Ivy, RLA #741
DATE: 7/22/2014

SYMBOL LEGEND

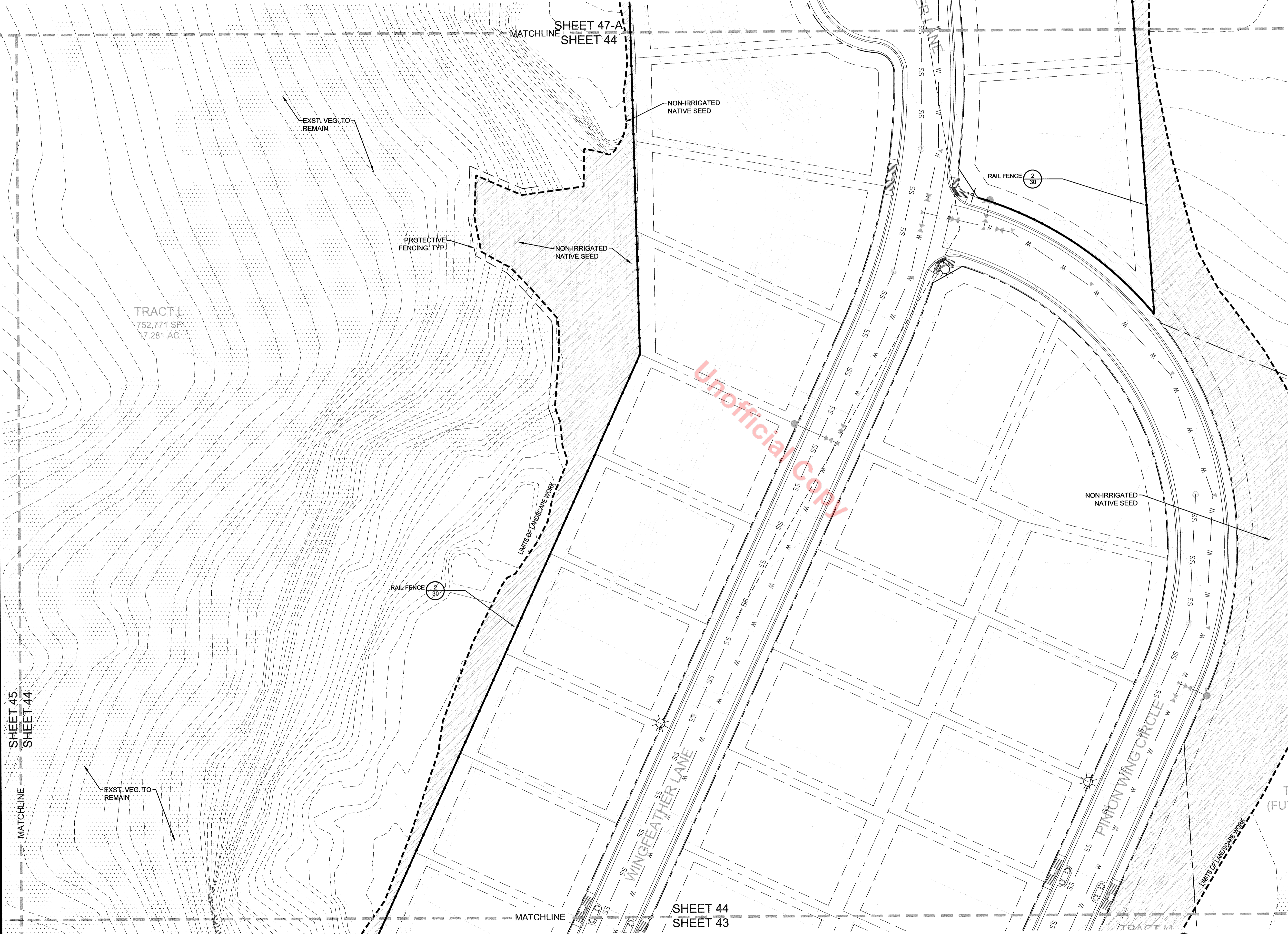
DECIDUOUS TREES	EVERGREEN TREES	ORNAMENTAL TREES	SPADE CUT EDGER	R.O.W./PROP BOUNDARY	LIMIT OF LANDSCAPE WORK
DECIDUOUS SHRUBS	EVERGREEN SHRUBS	ORNAMENTAL GRASSES & PERENNIALS	RAIL FENCE INSTALLED BY HOME BUILDER	STEEL EDGER	EXISTING VEGETATION

PLANT PALETTE

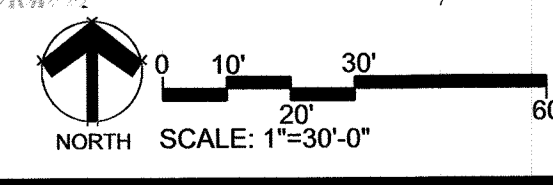
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ABM	AUTUMN BLAZE MAPLE
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HAC	COMMON HACKBERRY
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OK	KENTUCKY COFFEE TREE
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RL	CUTTLEF STAGHORN SUMAC
FMR	FIRE MEDICLAND ROSE
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RO	ROCK COTONEASTER
PA	RUSSIAN SAGE
PC	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
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[Symbol]	ROCK MULCH, 3/4" DIA
[Symbol]	ROCK MULCH, 4"-12" COBBLE
[Symbol]	WOOD MULCH
SOD/SEED	COMMON NAME
[Symbol]	PERMANENT NATIVE MIX - NON-IRRIG
[Symbol]	SOD, 'ENVIROTURF'

KEYMAP

NOTE:
1. ALL TREES WITHIN SIGHT LINES SHALL BE LIMBED UP TO A MIN. 8' ABOVE FLOWLINE.



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LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE
CONSULTANTS

REVISIONS

#	DESCRIPTION	DATE	BY
1.	PER. TOWN COMMENTS	4/17/15	JWI
2.	PER. TOWN COMMENTS	6/21/15	JWI
3.	PER. TOWN COMMENTS	9/1/15	JWI
4.	PER. TOWN COMMENTS	10/8/15	JWI

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE PLAN
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN
RELEASE: 2/20/2015
DESIGNED BY: JWI
DRAWN BY: JWI
CHECKED BY: PCS

JOB NO.
14-001

SHEET
44 OF 48

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:
people creating spaces
pcs group inc. www.pcsgroupco.com
#3, 6-180 Independence Plaza
1007 16th Street, Denver, CO 80202
1.303.531.4905 • 1.303.531.4908

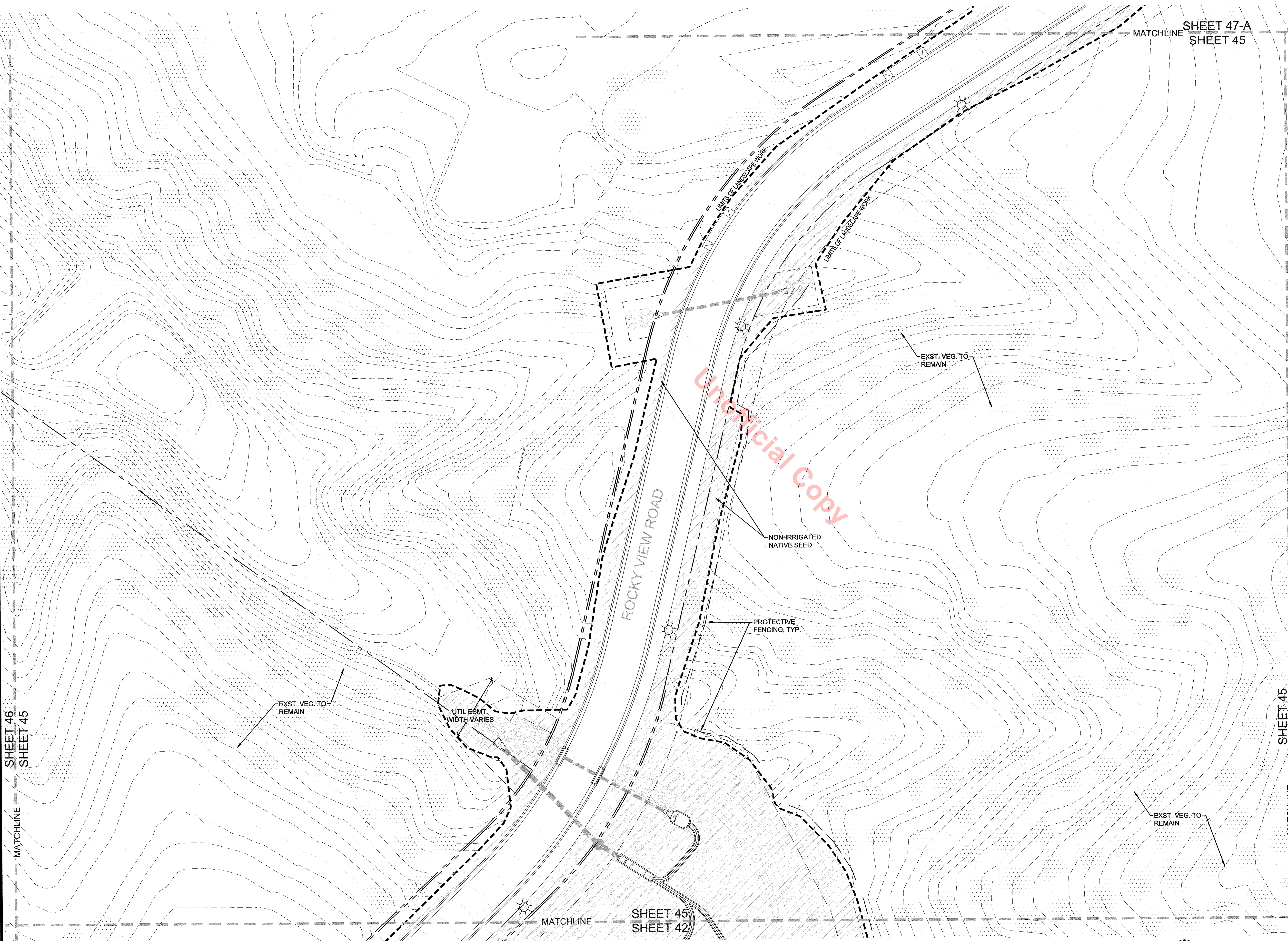
COLORADO REGISTERED
LANDSCAPE ARCHITECT
James R. V. RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

DECIDUOUS TREES	DECIDUOUS SHRUBS
EVERGREEN TREES	EVERGREEN SHRUBS
ORNAMENTAL TREES	ORNAMENTAL GRASSES & PERENNIALS
SPADE CUT EDGER	RAIL FENCE INSTALLED BY HOME BUILDER
R.O.W./PROP BOUNDARY	STEEL EDGER
LIMIT OF LANDSCAPE WORK	EXISTING VEGETATION

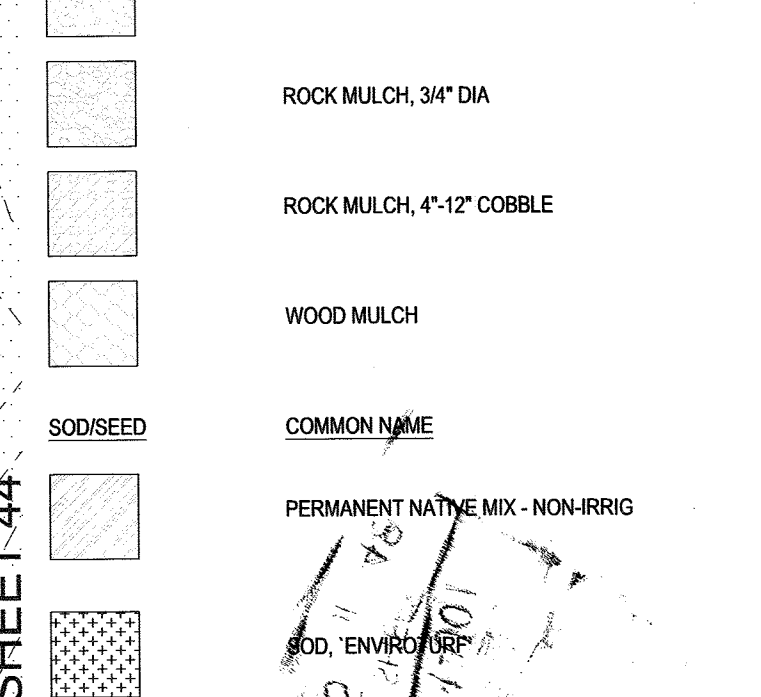
PLANT PALETTE

DECIDUOUS TREES	COMMON NAME
ABM	AUTUMN BLAZE MAPLE
OM	BURR OAK
HAC	COMMON HACKBERRY
GI	IMPERIAL HONEYLOCUST
GK	KENTUCKY COFFEE TREE
CS	NORTHERN CATALPA
OR	RED OAK
GS	SHADEMASTER LOCUST
GB	SWAMP WHITE OAK
EVERGREEN TREES	COMMON NAME
PN	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
LBN	LIMBER PINE
PP	PINON PINE
JS	ROCKY MOUNTAIN JUNIPER
WBJ	WICHITA BLUE JUNIPER
ORNAMENTAL TREES	COMMON NAME
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SSC	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
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BSP	COMMON BLUEBERRY SPIREA
RL	CUTLEAF STAGHORN SUMAC
FMR	FIRE MEIDLAND ROSE
OG	GAMBEL OAK
RG	GOLDEN CURRANT
RHI	GRACIOUS FRAGRANT SUMAC
PJ	JACKMAN'S POTENTILLA
CI	LITTLE LEAF MOUNTAIN MAHOGONY
AC	MANZANITA
PMO	NORTHERN SUN FORSYTHIA
AP	PANCHITO MANZANITA
SCH	PAWNEE BUTTES SAND CHERRY
CA	PEWEE COTONEASTER
RB	RABBITBRUSH
AR	RED CHOKEBERRY
CH	ROCK COTONEASTER
PA	RUSSIAN SAGE
RS	SAND CHERRY
SSB	SASKATOON SERVICEBERRY
SA	SILVER BUFFALO BERRY
SSU	STAGHORN SUMAC
RT	THREE LEAF SUMAC
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PG	FOUNTAIN GRASS
PV	SWITCH GRASS 'SUNBURST'
PERENNIALS	COMMON NAME
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BES	BLACK-EYED SUSAN
SP	FRIGHSION FLOWER
EP	PURPLE CONEFLOWER
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[Symbol]	ROCK MULCH, 3/4" DIA
[Symbol]	ROCK MULCH, 4"-12" COBBLE
[Symbol]	WOOD MULCH
SOD/SEED	COMMON NAME
[Symbol]	PERMANENT NATIVE MIX - NON-IRRIG
[Symbol]	SOD, ENVIRONMENTAL

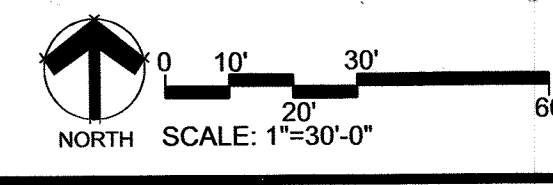


REVISIONS

#	DESCRIPTION	DATE BY
1.	PER TOWN COMMENTS	4/17/15 JWM
2.	PER TOWN COMMENTS	6/22/15 JWM
3.	PER TOWN COMMENTS	9/1/15 JWM
4.	PER TOWN COMMENTS	10/8/15 JWM



NOTE:
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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT # SDP15-0008
LANDSCAPE PLAN

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REVISIONS

**SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
LANDSCAPE PLAN
TOWN OF CASTLE ROCK, COLORADO**

INITIAL PLAN RELEASE: 2/20/2015
 DESIGNED BY: JWM
 DRAWN BY: JWM
 CHECKED BY: PCS

JOB NO. 14-001
 SHEET 45 OF 48

SITE DEVELOPMENT PLAN FOR

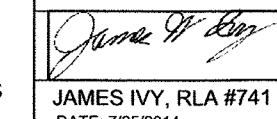
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TOWN OF CASTLE ROCK

LANDSCAPE ARCHITECTURE:

 pcs group inc. www.pcsgruppco.com
 #3, 8-180 Independence Plaza
 1007 14th Street - Denver CO 80205
 1.303.531.4905 / 1.303.531.4908

COLORADO REGISTERED
 LANDSCAPE ARCHITECT

 JAMES IVY, RLA #741
 DATE: 1/25/2014

SYMBOL LEGEND

	DECIDUOUS TREES		DECIDUOUS SHRUBS
	EVERGREEN TREES		EVERGREEN SHRUBS
	ORNAMENTAL TREES		ORNAMENTAL GRASSES & PERENNIALS
	SPADE CUT EDGER		RAIL FENCE
	R.O.W./PROP BOUNDARY		INSTALLED BY HOME BUILDER
	LIMIT OF LANDSCAPE WORK		STEEL EDGER
	EXISTING VEGETATION		

PLANT PALETTE

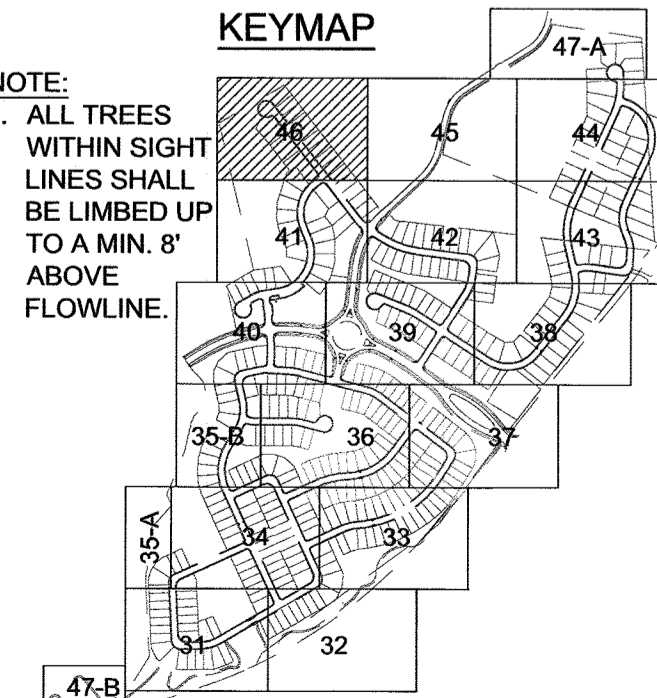
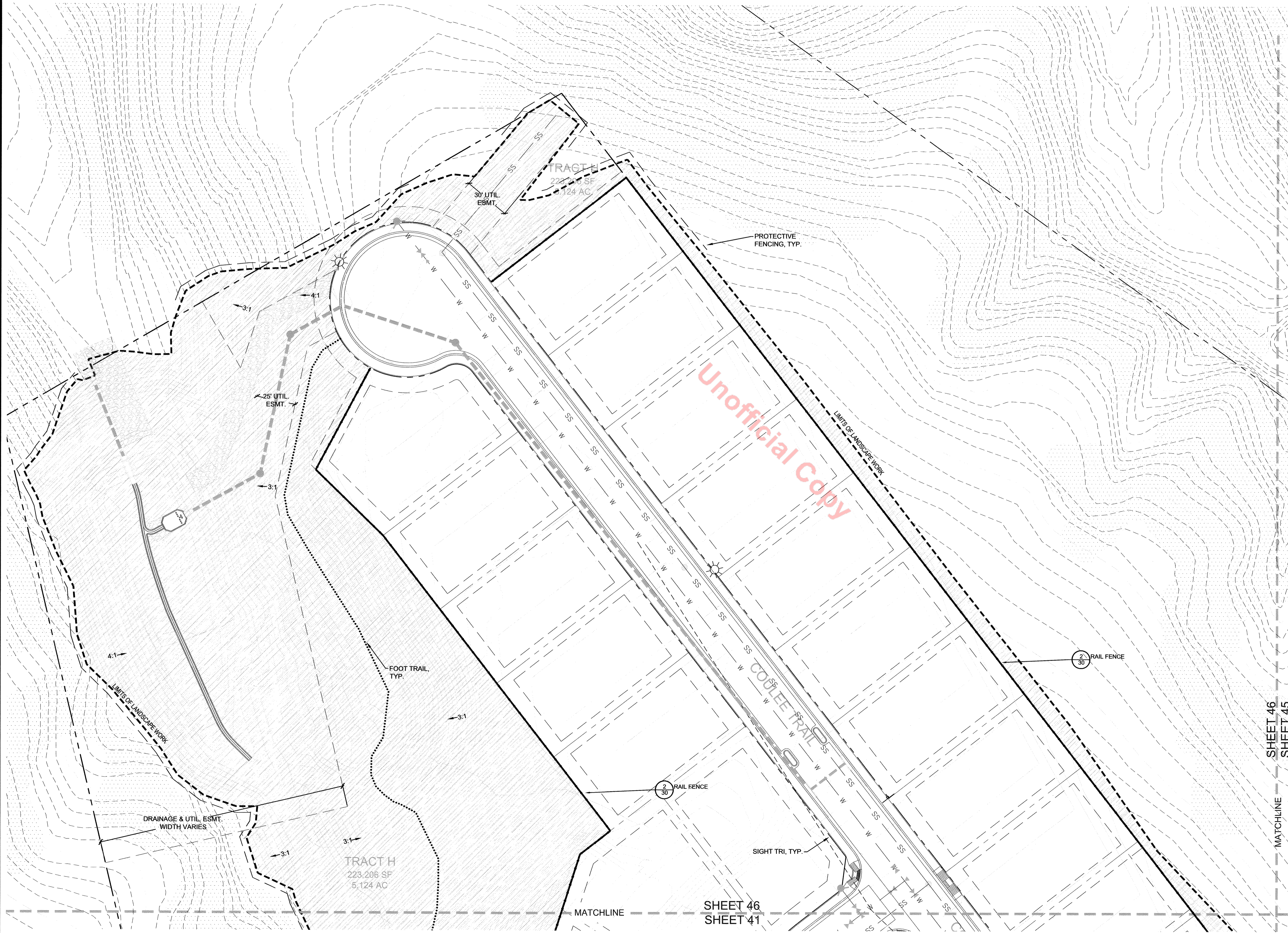
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RG	GOLDEN CURRANT
RHU	GRO-LW FRAGRANT SUMAC
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PMO	LITTLELEAF MOCKORAGE
AC	MANZANITA
NSF	NORTHERN SUN FORSYTHIA
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AR	RED CHINESE BERRY
AP	ROCK COTONEASTER
CH	RUSSIAN SAGE
PA	SAND CHERRY
PB	SASKATOON SERVICEBERRY
SSB	SILVER BUFFALO BERRY
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MULCH

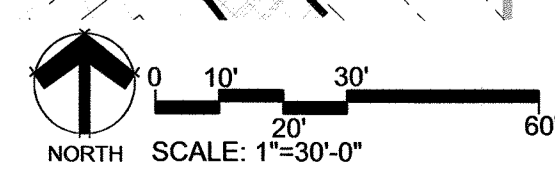
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	COMMON NAME	SOD, ENVIROTURF

KEYMAP

NOTE:
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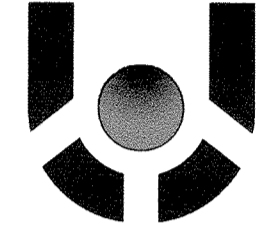



SHEET 46
 SHEET 41




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REVISIONS	#	DESCRIPTION	DATE BY
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4	PER TOWN COMMENTS	10/08/15 JWI	

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 LANDSCAPE PLAN
 TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN	RELEASE: 2/20/2015
DESIGNED BY: JWI	
DRAWN BY: JWI	
CHECKED BY: PCS	

JOB NO.
 14-001
 SHEET
 46 OF 48

LANDSCAPE PLAN

SITE DEVELOPMENT PLAN FOR
 TERRAIN FILING NO. 1
 PROJECT# SDP15-0008

LANDSCAPE PLAN

SITE DEVELOPMENT PLAN FOR TERRAIN FILING NO. 1, SITUATED IN SECTIONS 5, 6, AND 7, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK

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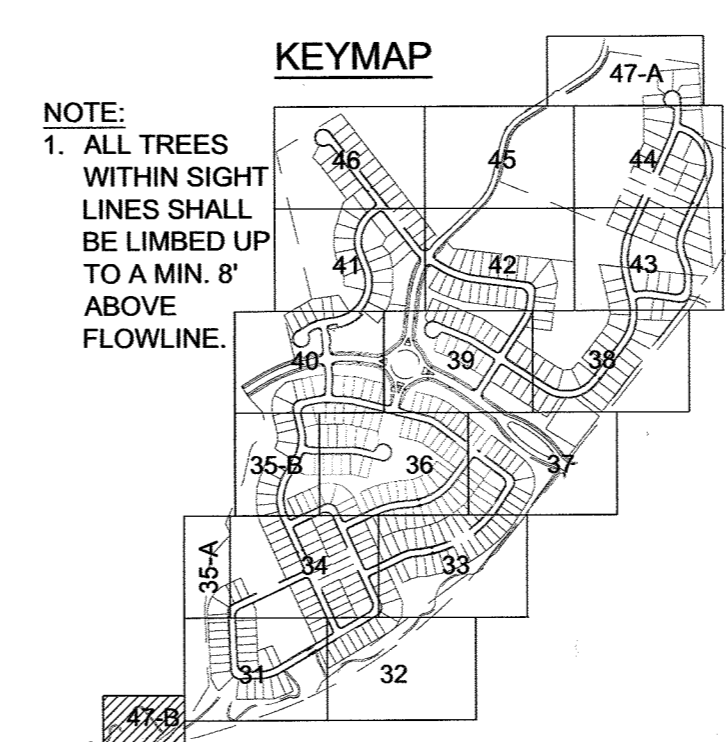
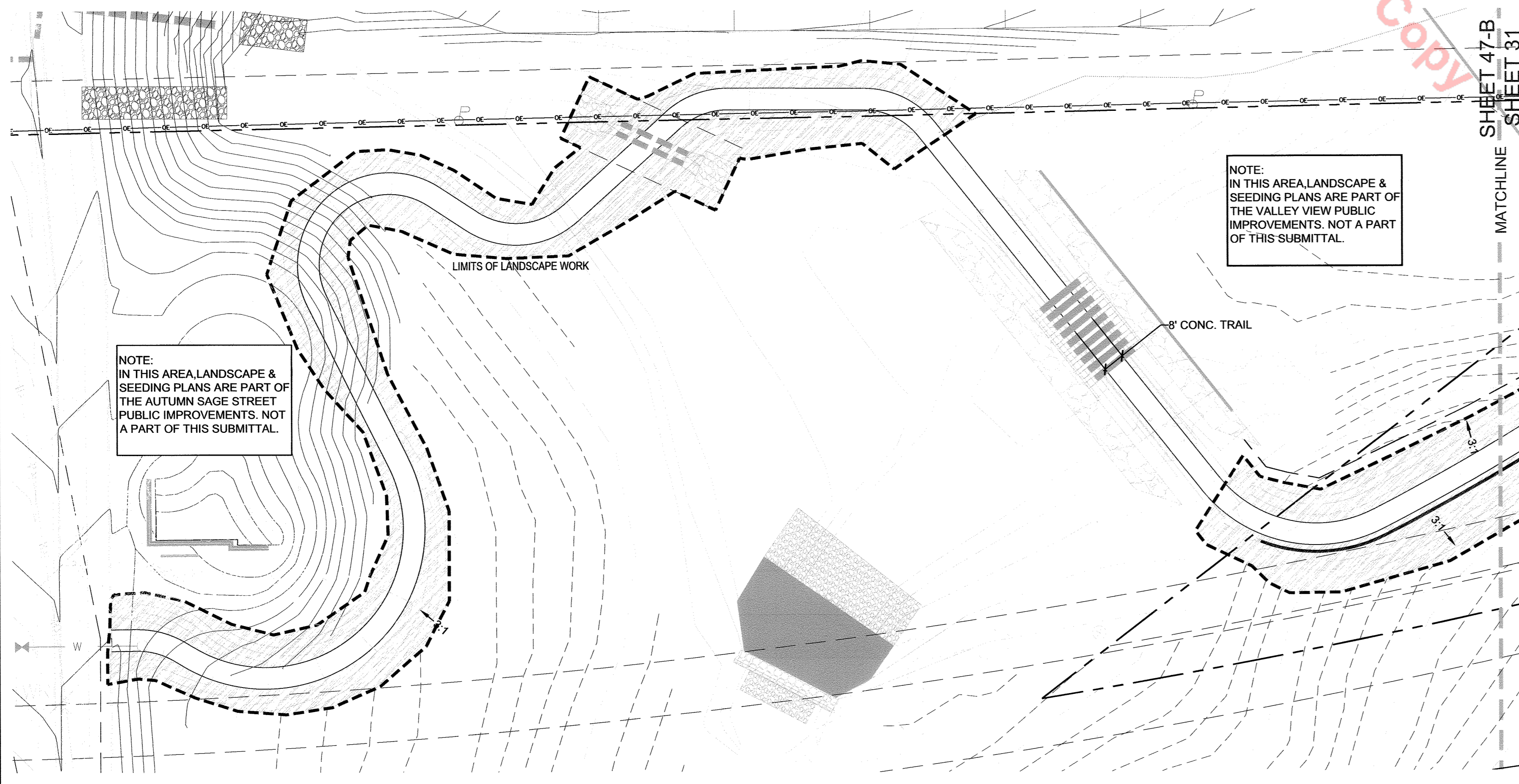
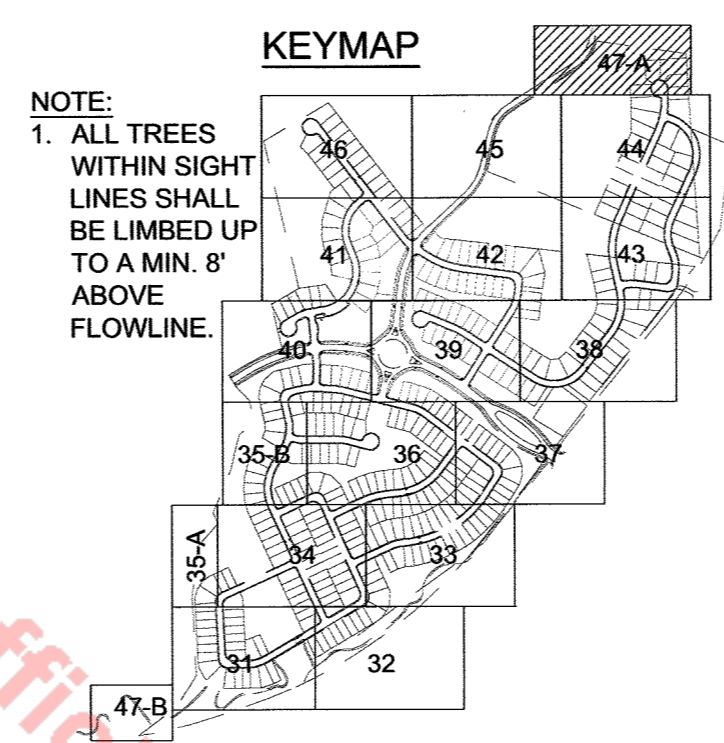
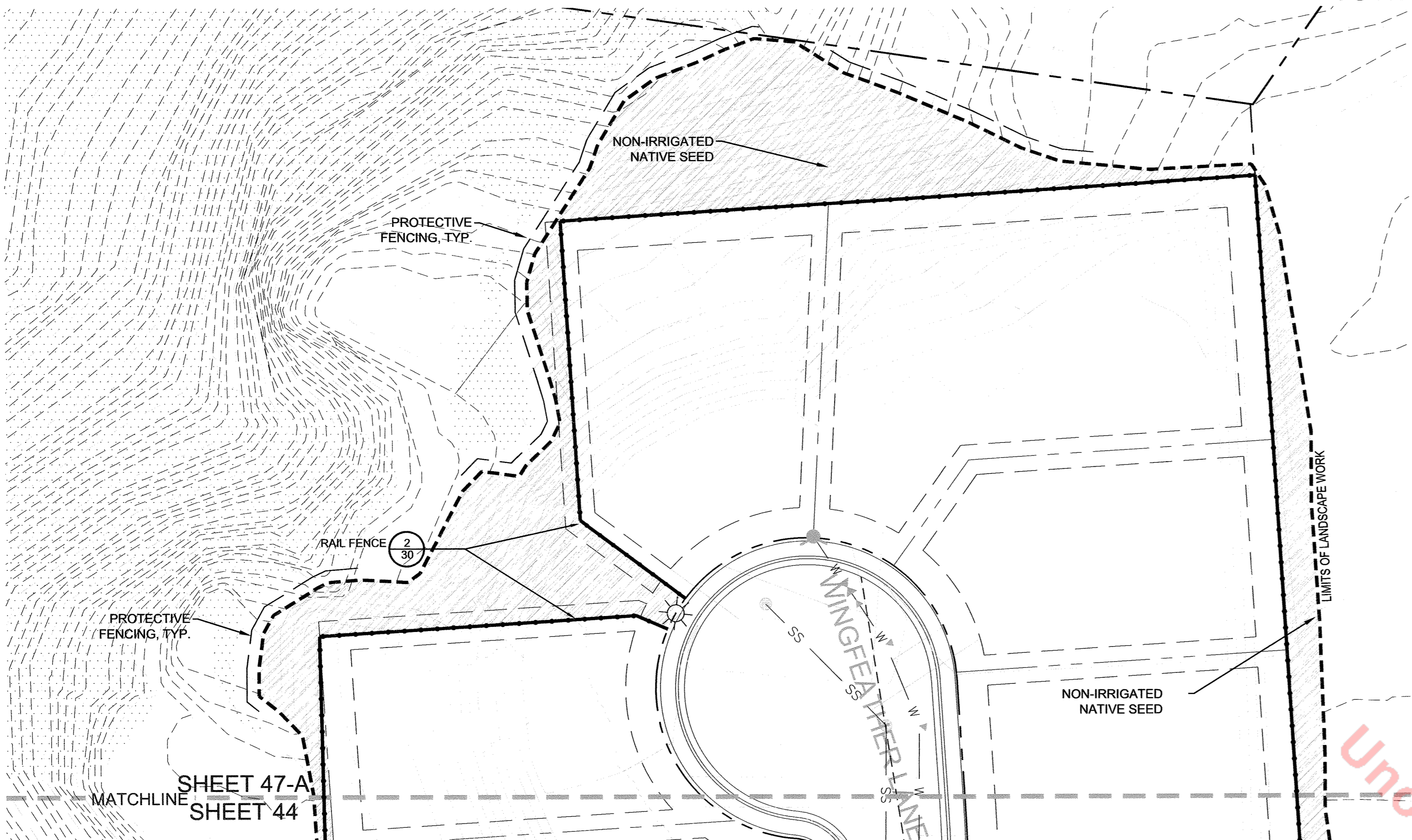
COLORADO REGISTERED
LANDSCAPE ARCHITECT
James W. Ivey
JAMES W. IVEY, RLA #741
DATE: 7/25/2014

SYMBOL LEGEND

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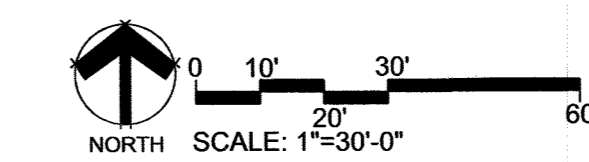
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INITIAL PLAN
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SHEET
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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
LANDSCAPE PLAN

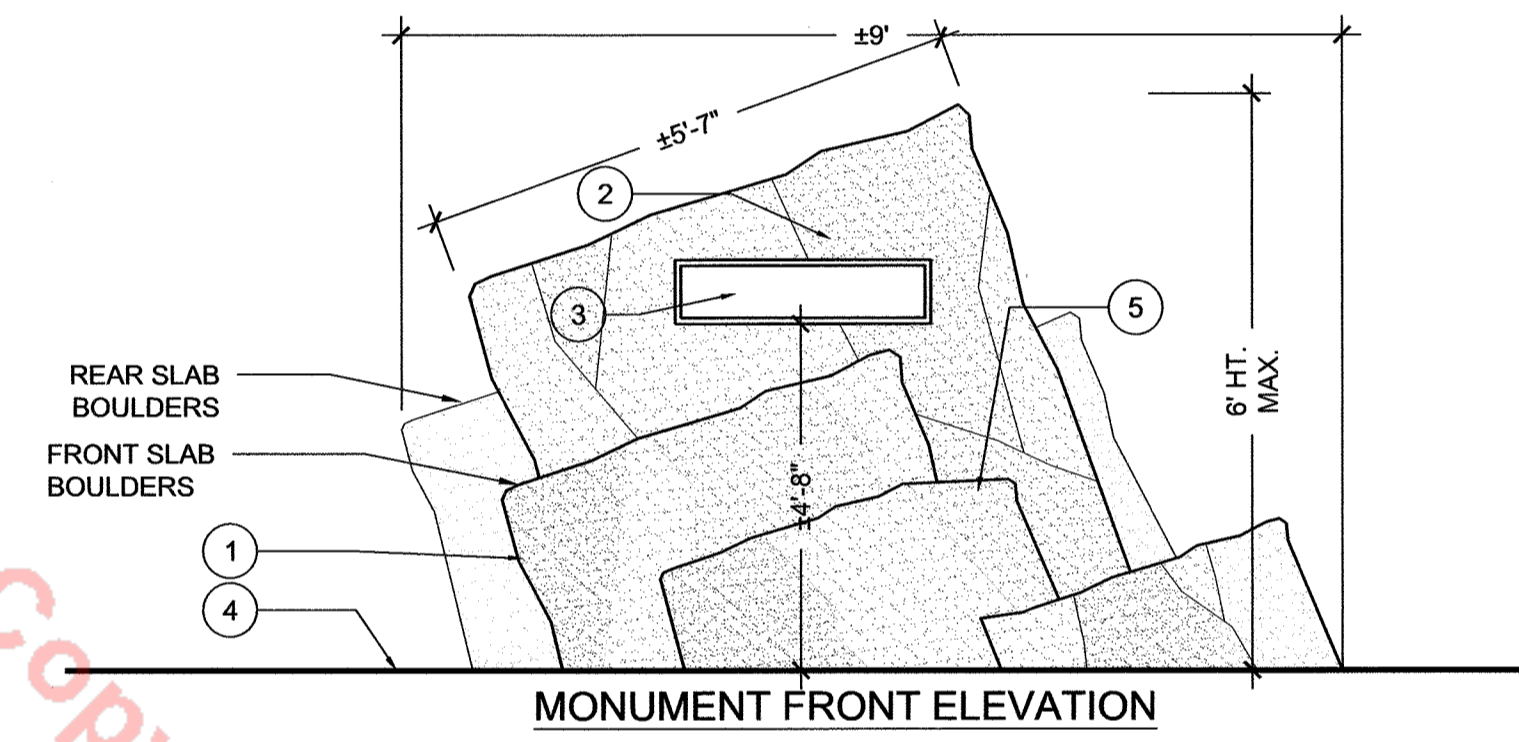
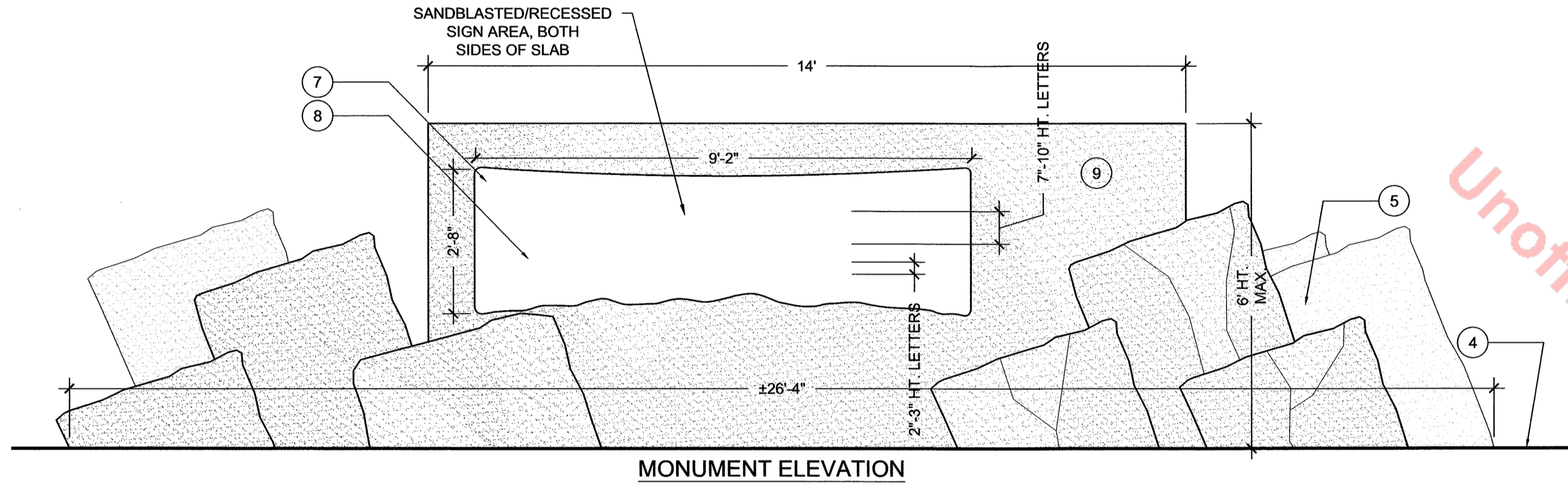
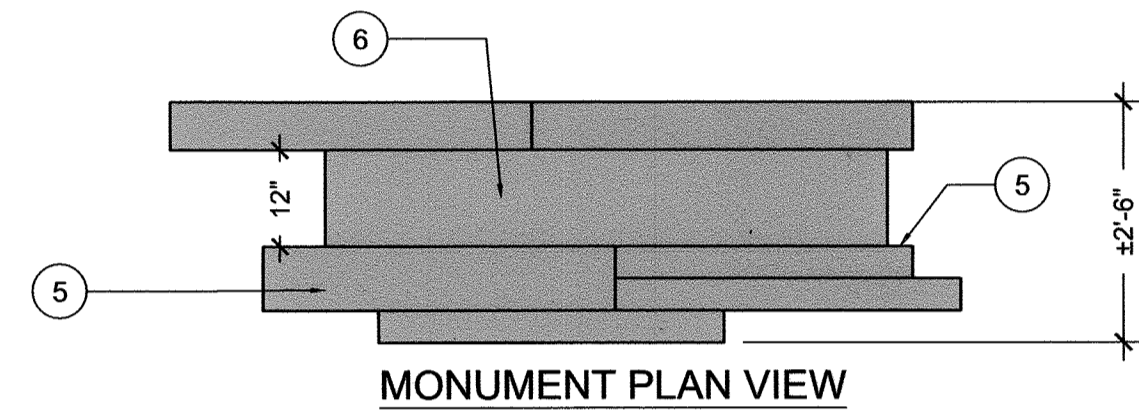
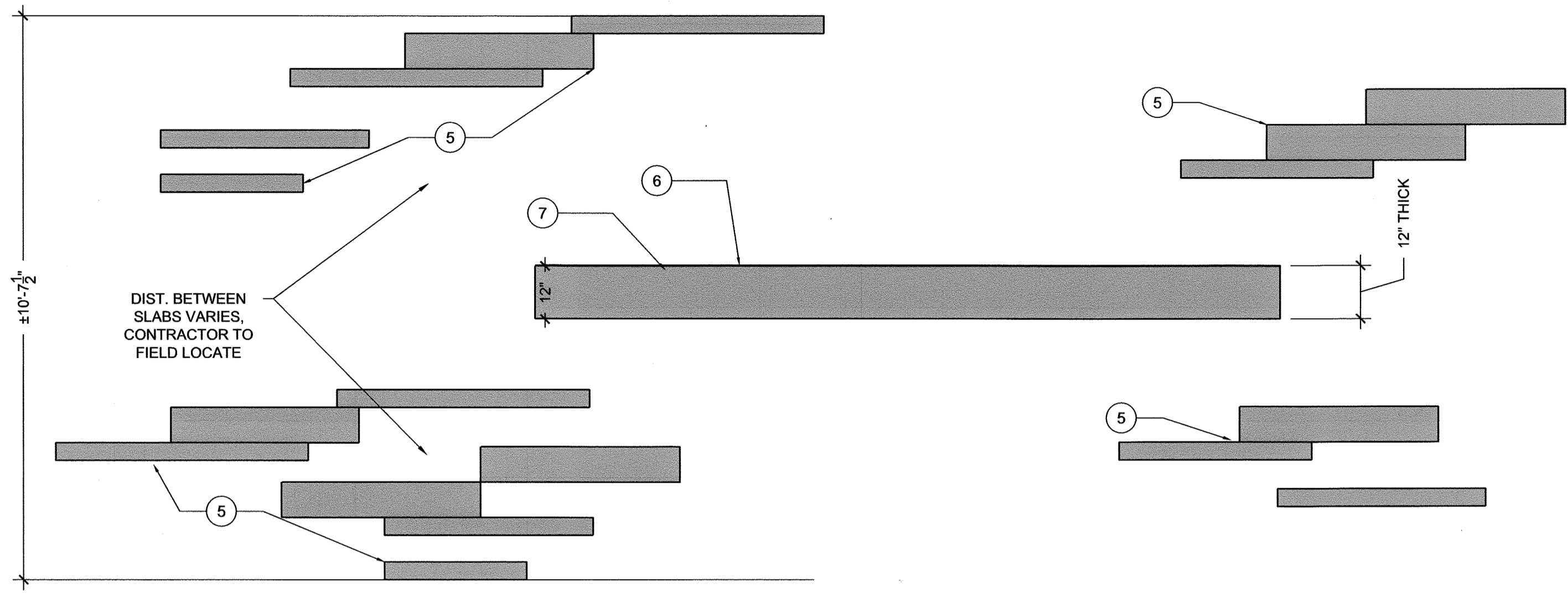
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LANDSCAPE ARCHITECTURE:
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MONUMENT MATERIAL NOTES:

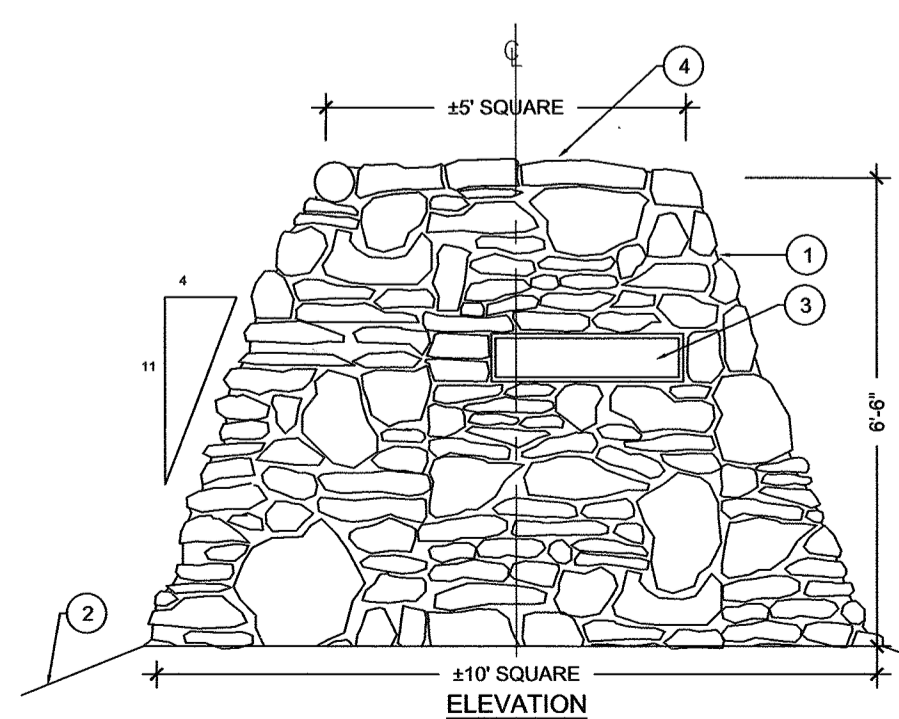
- ① SANDSTONE SLAB BOULDERS SET VERTICALLY, ANGLED.
- ② SANDSTONE SLAB WITH FABRICATED METAL SIGN PLAQUE
- ③ METAL SIGN PLAQUE, RE: DETAIL, THIS SHEET
- ④ FINISH GRADE
- ⑤ ±4"-8" THICK BOULDER SLAB
- ⑥ SEDIMENTARY SANDSTONE SLAB WITH SAW CUT EDGES, SIENNA BUFF, BY SILOAM STONE (719) 275-4275. STONE MUST SET BE SET VERTICAL TO CURE A MINIMUM OF 90 DAYS PRIOR TO INSTALLATION. MATCH MATERIALS WITH EXISTING MONUMENTS ALONG FOUNDERS PKWY.
- ⑦ ETCH/SANDBLAST RECTANGULAR RECESS TO 2" DEPTH, MIN.
- ⑧ PAINT RECESS SURFACE GLOSSY BLACK.
- ⑨ ALUMINUM, LASER CUT LETTERS PIN-MOUNTED TO STONE FACE, SET FLUSH.

MONUMENTS ARE SHOWN TO ILLUSTRATE DESIGN INTENT AND ARE SUBJECT TO CHANGE. FINAL DESIGN SHALL BE SUBMITTED AS PART OF SIGN PERMIT SET



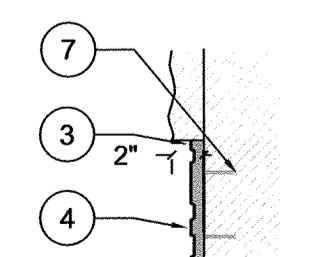
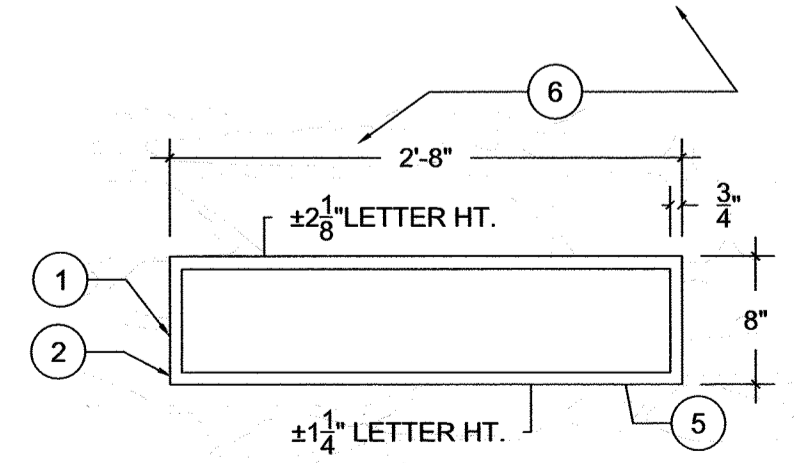
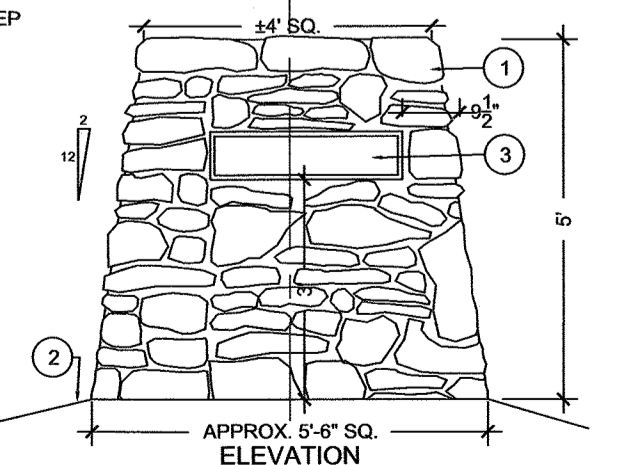
① COMMUNITY MONUMENT SIGN SCALE: 1/2"=1'-0"

② ROUND ABOUT MONUMENT SIGN SCALE: 1/2"=1'-0"



NEIGHBORHOOD MONUMENT CONSTRUCTION NOTES

- ① NATURAL STONE VENEER: TYPE: GILA RIVER STONE, TUMBLED, ID#1116 (OR APPROVED EQUAL), 3/4" THK., MORTAR IN PLACE SUPPLIER: HIGH PLAINS STONE, 303-791-1862 PATTERN: STACKED LEDGESTONE MAINTAIN 1/2" MAX MORTAR JOINTS WITH VENEER, DEEP RAKE. TINT MORTAR TO MATCH STONE COLOR.
- ② FINISH GRADE-ALL CORNERS OF THE MONUMENT SHALL BE AT CONSISTENT GRADE UNLESS OTHERWISE NOTED.
- ③ MONUMENT PLAQUES FACING ADJACENT STREETS - SEE DETAIL THIS SHEET
- ④ TOP OF MONUMENT SHALL RECEIVE STONE VENEER, PITCH TOP 1/4" PER FOOT FROM THE CENTER TO DARIN
- ⑤ MONUMENTS SHALL BE CONSTRUCTED WITH REINFORCED CMU SUBSTRUCTURE. RE: STRUCT. DWGS. (N.I.C.)



PLAQUE CONSTRUCTION NOTES

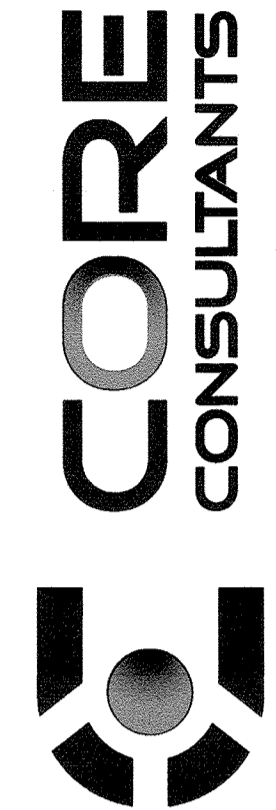
- ① 8"X32"X1/4" ALUMINUM PANEL INSET
- ② 3/4" WIDE ALUMINUM PANEL BORDER, 1/8" THICK-PAINT GLOSSY BLACK W/AUTOMOTIVE PAINT
- ③ ALUMINUM PANEL INSET 2" FROM FACE OF STONE
- ④ 1/8" THICK BRUSHED ALUMINUM LASER CUT LETTERS PIN-MOUNTED TO PANEL
- ⑤ FACE OF PLAQUE SHALL RECEIVE 'BUMP' TEXTURE FINISH, PAINTED GLOSSY BLACK.
- ⑥ STONE VENEER.
- ⑦ PLAQUE SECURED WITH NON-CORROSIVE PINS SET INTO CMU CORE & EPOXIED IN PLACE

③ PRIMARY NEIGHBORHOOD MONUMENT SCALE: 1/2"=1'-0"

④ SECONDARY NEIGHBORHOOD MONUMENT SCALE: 1/2"=1'-0"

⑤ MONUMENT PLAQUE NOT TO SCALE

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CALL TO UNDERGROUND UTILITY LOCATIONS. CALL 811 BEFORE YOU DIG. CALL 811 BEFORE YOU DIG. CALL 811 BEFORE YOU DIG.

#	DESCRIPTION	DATE	BY
1	PER TOWN COMMENTS	4/17/15	JWV
2	PER TOWN COMMENTS	6/02/15	JWV
3	PER TOWN COMMENTS	9/11/15	JWV
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SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
MONUMENT DETAILS
TOWN OF CASTLE ROCK, COLORADO

INITIAL PLAN RELEASE: 2/20/2015
DESIGNED BY: JWV
DRAWN BY: JWV
CHECKED BY: PCS

SITE DEVELOPMENT PLAN FOR
TERRAIN FILING NO. 1
PROJECT# SDP15-0008
MONUMENT DETAILS

JOB NO. 14-001
SHEET 48 OF 48