

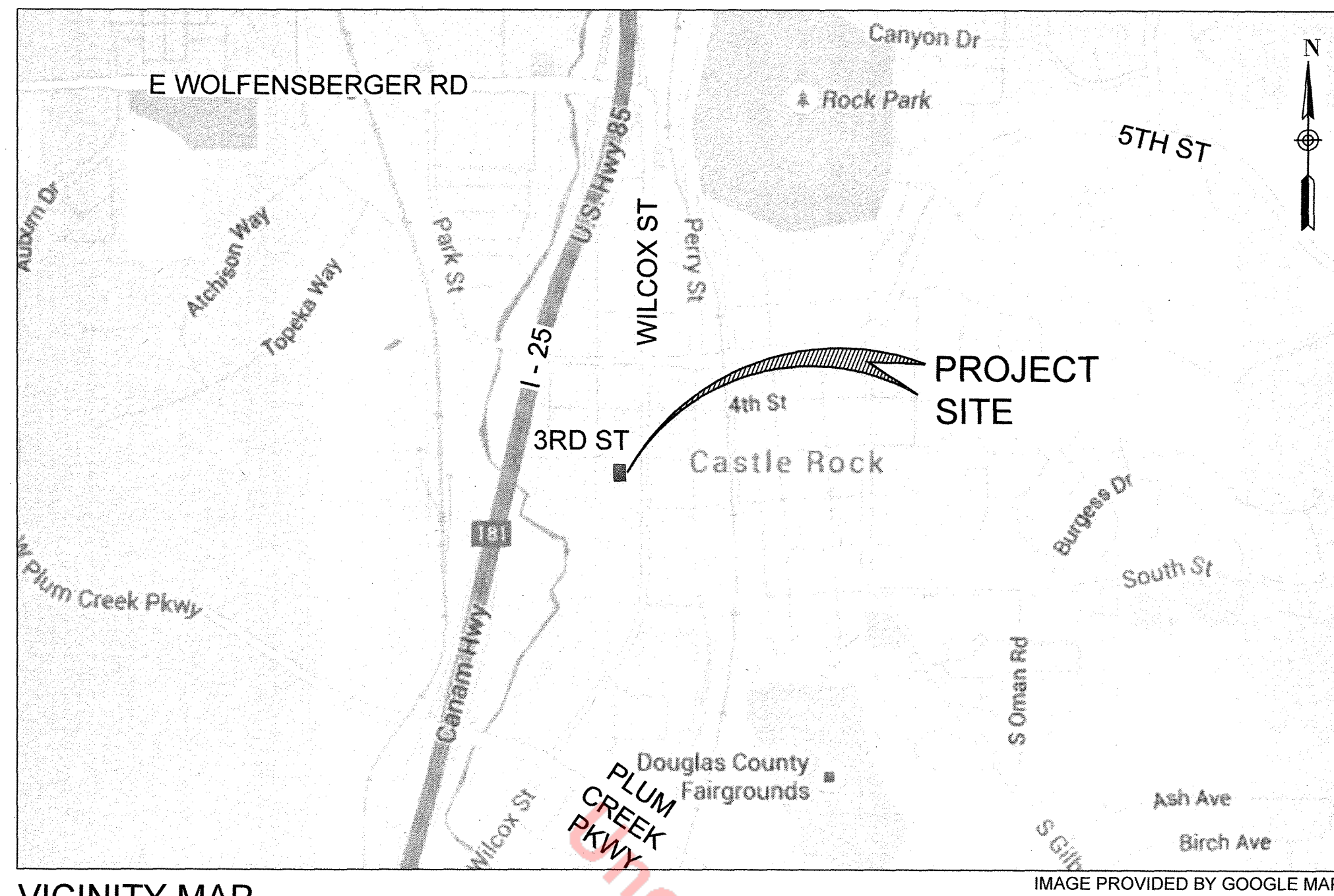
LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK

SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS, THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 4.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THERE NO FEMA REGULATED FLOODPLAINS OR WETLANDS ON THE SITE PER FEMA FLOOD INSURANCE RATE MAP NUMBER 08035C391G, DATED PRELIMINARY JULY 11, 2014.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.
- THIS SITE IS ZONED B, BUSINESS/COMMERCIAL, WITHIN THE DOWNTOWN CORE DISTRICT OF THE DOWNTOWN OVERLAY DISTRICT.
- THE ACCESS ROAD AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRICAL LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.



VICINITY MAP
 SCALE 1" = 1000'

SUMMARY TABLE

ZONE DISTRICT	B/ DOWNTOWN OVERLAY DISTRICT (DOD)	
ZONE LOT SIZE (GROSS PROJECT AREA)	10,790 S.F.	0.248 AC
GROSS FLOOR AREA (S.F.)		
OFFICE/RETAIL	12,725	
RESIDENTIAL	12,295	
TOTAL FLOOR AREA	25,000	
RESIDENTIAL UNITS	12	
BUILDING SETBACK AND SEPARATIONS	REQUIRED	PROVIDED(MIN)
FRONT	0	5'
SIDE	0	9.5'
REAR	0	14.8"
PARKING SPACES	REQUIRED	PROVIDED
	0	0
DESIGN ELEMENTS	MAX	PROVIDED
BUILDING HEIGHT, STORIES	4	4
BUILDING HEIGHT (FEET)	60' MAX	55'-0"
TOTAL SITE COVERAGE (S.F.)		
BUILDING	6521	
DRIVEWAY	186	
OPEN SPACE/LANDSCAPE/HARDSCAPE	4083	
SINGLE FAMILY EQUIVALENT UNITS (SFE'S)	35.9*	
* ASSUMES 9,375 S.F. RETAIL OFFICE, 3,125 S.F. RESTAURANT AND 12 APARTMENT UNITS		

SHEET INDEX

- COVER
- SITE PLAN
- GENERAL GRADING AND UTILITY PLAN
- CONCEPTUAL LANDSCAPE PLAN
- BUILDING ELEVATIONS
- GENERAL LIGHTING PLAN

VARIANCES:

- SECTION 17.51.08 "DOWNTOWN OVERLAY DISTRICT DESIGN STANDARDS" OF THE CASTLE ROCK MUNICIPAL CODE - VARIANCE TO ALLOW LESS THAN EIGHT (8) FEET WIDTH TO SIDEWALKS.

FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY. BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED, SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 25 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

SITE BENCHMARK

MANHOLE RIM ELEVATION = 6212.26
 LOCATED AT 3RD STREET AND JERRY STREET
 USGS 1988 DATUM

BASIS OF BEARING

BASIS OF BEARINGS, N LINE OF THE NW 1/4 SEC 11, T8S, R67W,
 ASSUMED TO BEAR N00°00'00"W.


LEGAL DESCRIPTION

LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK
 ACCORDING TO THE LOT LINE ADJUSTMENT CERTIFICATE RECORDED JULY 10,
 2015, UNDER RECEPTION NO. 2015048016
 COUNTY OF DOUGLAS, STATE OF COLORADO
 BEING 0.26-ACRES M/L


OWNER/DEVELOPER:

MERCHANTILE COMMONS LLC
 367 SANDY HOLLOW TRAIL
 FRANK TOWN, CO 80116
 PH: 303-850-4123
 CONTACT: GENE GREGORY
 GENE.GREG11@GMAIL.COM

CIVIL ENGINEER:

ROTH ENGINEERING GROUP

 7853 EAST ARAPAHOE COURT, SUITE 2500
 CENTENNIAL, CO 80112
 PH: 303-841-9365
 FAX: 303-648-5212
 CONTACT: KEVIN ROTH
 KROTH@ROTHENGINEERING.COM

SURVEYOR:

DANIEL J. KALMES

 4901 E DRY CREEK ROAD, UNIT 208
 CENTENNIAL, CO 80122
 PH: 303-773-8770
 FAX: 303-773-8776
 CONTACT: DANIEL J. KALMES

ARCHITECT:

WONG ARCHITECTS

 820 SANTA FE DRIVE
 DENVER, CO 80204
 PH: 303-293-9206
 CONTACT: ROBERT KLAP
 RKLAP@WSARCHITECT.COM

LANDSCAPE ARCHITECT:

JIMENEZ DESIGN GROUP

 314 ROSE PINCH CIRCLE
 HIGHLANDS RANCH, CO 80129
 PH: 303-736-8259
 CONTACT: JULIO C. JIMENEZ

TITLE CERTIFICATION

Brenda Becker AN AUTHORIZED REPRESENTATIVE OF
Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN
 THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL
 OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF
 OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Brenda Becker
 AUTHORIZED REPRESENTATIVE
Land Title Guarantee Company
 TITLE COMPANY

SIGNED THIS 4th DAY OF February, 2016.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4th DAY OF February,
 2016 BY Brenda Becker AS AUTHORIZED REPRESENTATIVE
 OF Land Title Guarantee Company

WITNESS MY HAND AND OFFICIAL SEAL

Kari Jurczenksky
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 1994015400
 MY COMMISSION EXPIRES 03/29/2018

MY COMMISSION EXPIRES: 3/29/18

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK,
 COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

MERCHANTILE COMMONS LLC
 MERCHANTILE COMMONS LLC, A COLORADO LIMITED LIABILITY COMPANY
 SIGNED THIS 4th DAY OF February, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4th DAY OF February, 2016
 BY Milan Hajduk AS Owner
 OF MERCHANTILE COMMONS, LLC

WITNESS MY HAND AND OFFICIAL SEAL

Dawn M. Miller
 Notary Public
 State of Colorado
 Notary ID 2015041508
 My Commission Expires 12/31/17

MY COMMISSION EXPIRES: July 18, 2017

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF
 CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE
 UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MAY 6, 2015 AT
 RECEPTION NO. 2015029613, AND MAY 28, 2015 AT RECEPTION NO. 2015034963, DOUGLAS COUNTY,
 COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF
 THIS DOCUMENT.

Ly Hoosteth, v.c.
 CASTLE ROCK BANK

SIGNED THIS 4th DAY OF February, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4th DAY OF February, 2016
 BY Tracy Hovestice AS Vice-President
 OF CASTLE ROCK BANK

WITNESS MY HAND AND OFFICIAL SEAL

Lorie S. Limbaugh
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 2004015508
 MY COMMISSION EXPIRES APRIL 7, 2017

MY COMMISSION EXPIRES: 4/7/17

DESIGN REVIEW BOARD APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF
 CASTLE ROCK, COLORADO, ON THE 18th DAY OF NOVEMBER 2015

CHAIR: [Signature] DATE: 2-19-16

ATTEST:
[Signature] DATE: 2/19/16
 DEVELOPMENT SERVICES DIRECTOR

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND
 RECORDER OF DOUGLAS COUNTY AT 3:00 p.m. ON THE 22nd DAY OF February,
 2016 AT RECEPTION NO. 2016010152

DOUGLAS COUNTY CLERK AND RECORDER:

BY: Jody Blawie
 DEPUTY

SURVEYOR'S CERTIFICATION

Daniel J. Kalmes REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY
 THAT THE SURVEY FOR THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THAT THE
 ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

Daniel J. Kalmes SURVEYOR PLS# 112611

CIVIL ENGINEER'S STATEMENT

Kevin S. Roth, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE
 STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS
 IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN
 CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

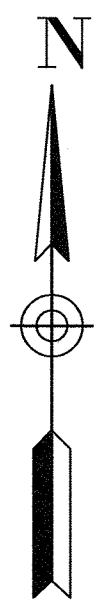
Kevin S. Roth REGISTERED PROFESSIONAL ENGINEER DATE: 1/26/16

LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK

SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

ROTH ENGINEERING GROUP
7853 E. ARAPAHOE COURT
SUITE 2500
CENTENNIAL, CO 80112
PHONE: 303-841-9365
FAX: 303-648-5212



DRY UTILITY EASEMENT NOTE:

UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. DRY UTILITY CROSSINGS MAY BE PERMITTED IN OTHER UTILITY OR DRAINAGE EASEMENTS PROVIDED THAT ANY NECESSARY CROSSING OF THE TOWN'S UTILITY IS AT A 90-DEGREE ANGLE. IN ALL CASES, PRIOR APPROVAL OF THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT SHALL BE OBTAINED FOR DRY UTILITY CROSSINGS OF EXCLUSIVE WET UTILITY EASEMENTS AND EXCLUSIVE DRAINAGE EASEMENTS.

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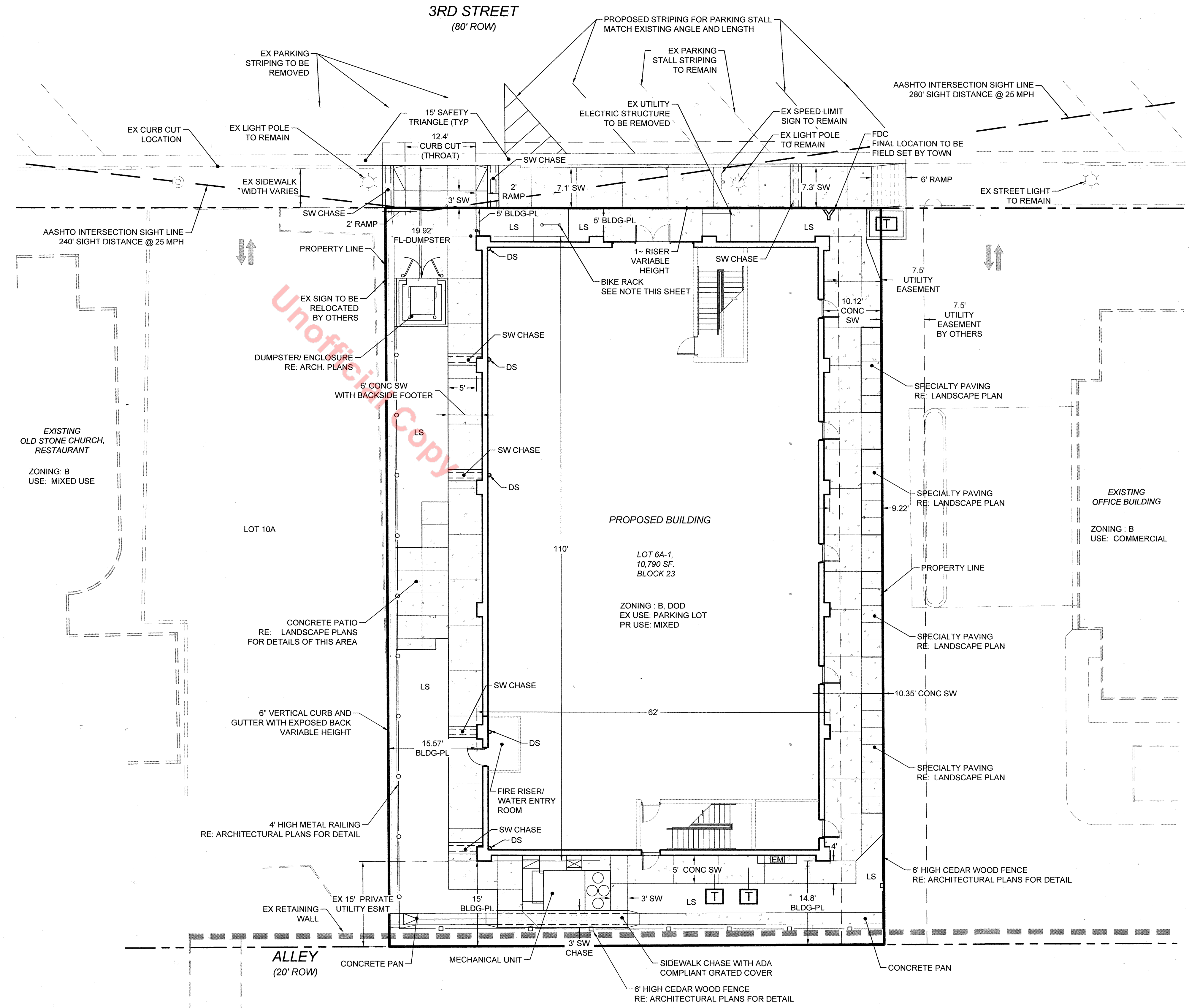
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ABBREVIATIONS:

BLDG	BUILDING	LS	LANDSCAPE
CO	CLEANOUT	PL	PROPERTY LINE
CONC	CONCRETE	PR	PROPOSED
DS	DOWNSPOUT	RET	RETAINING
EG	EXISTING GRADE	REV	REVISION
EL	ELEVATION	ROW	RIGHT-OF-WAY
ELEC	ELECTRIC	SS	SANITARY SEWER
EM	ELECTRIC METER	ST	STORM
ESMT	EASEMENT	SV	SERVICE
EX	EXISTING	SW	SIDEWALK
FDC	FIRE DEPARTMENT CONNECTION	TBC	TOP BACK OF CURB
FF	FINISH FLOOR	TELE	TELEPHONE / COMMUNICATIONS
FH	FIRE HYDRANT	TOR	TOP OF RAMP
FG	FINISH GRADE	TOS	TOP OF STAIR
FL	FLOWLINE	TW	TOP OF WALL
GM	GAS METER	TYP	TYPICAL
HP	HIGH POINT		

LEGEND:

PROPOSED	EXISTING



LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK
SITE DEVELOPMENT PLAN

PREPARED FOR:
MERCHANTILE COMMONS, LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, COLORADO 80116

ISSUE DATE:	01/19/16
DESIGNED BY:	KRS/ELS
DRAWN BY:	ELS
JOB NUMBER:	150702
DATE	REVISIONS

DESIGNED BY: KRS/ELS
DRAWN BY: ELS
JOB NUMBER: 150702
PLAN SCALE: 1" = 10'
HORIZONTAL SCALE: 1" = 10'
BAR IS 2 INCHES ON ORIGINAL DRAWING

SITE PLAN

SHEET NUMBER:
2 OF 6

LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
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ROTH ENGINEERING GROUP
7853 E. ARAPAHOE COURT
SUITE 2500
CENTENNIAL, CO 80112
PHONE: 303-841-9365
FAX: 303-848-5212

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SITE DEVELOPMENT PLAN

MERCHANTILE COMMONS, LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, COLORADO 80116

PREPARED FOR:

ISSUE DATE:	01/19/16
DATE	REVISIONS
BY	

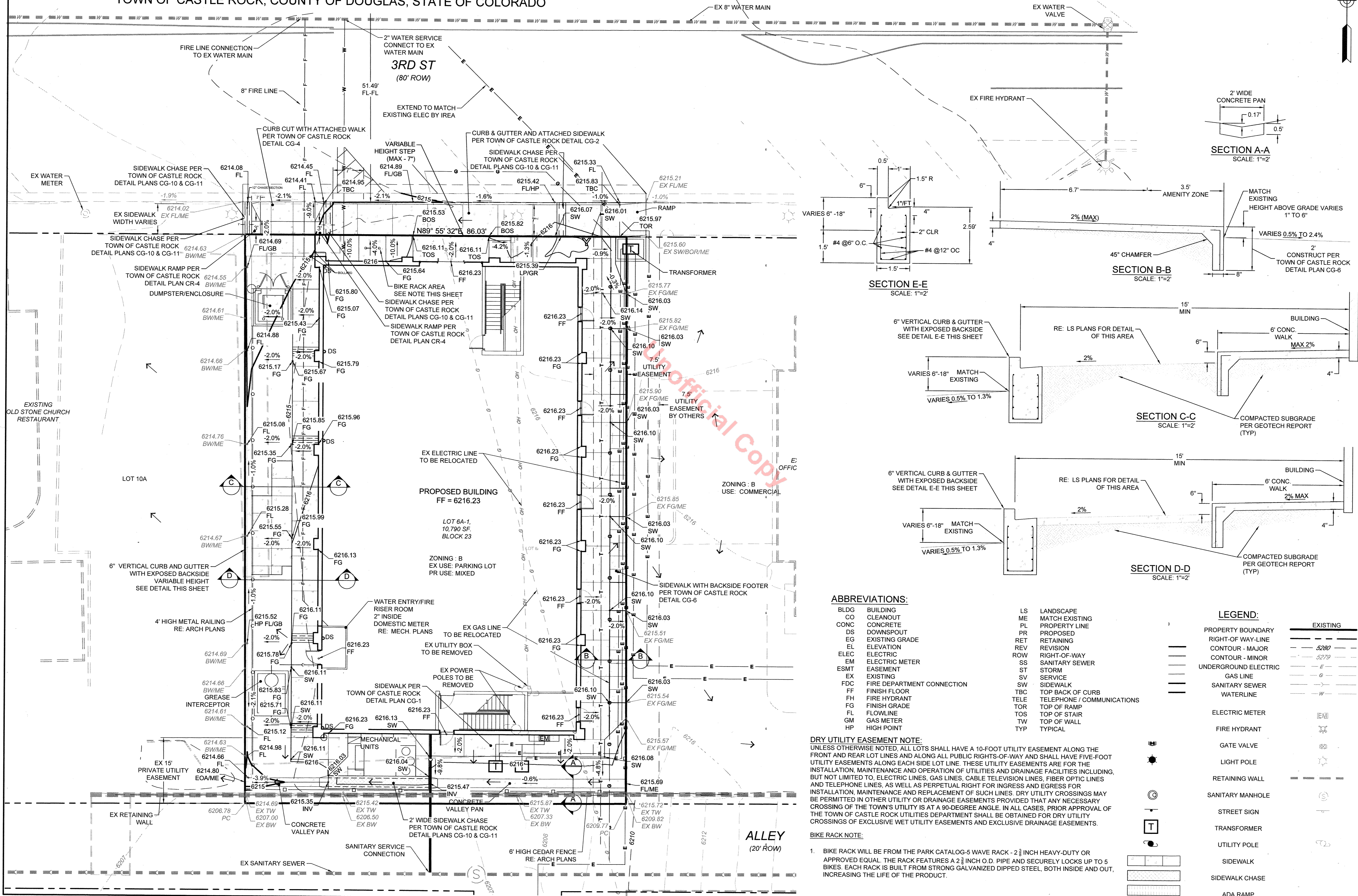
DESIGNED BY: KRS/ELS
DRAWN BY: ELS
JOB NUMBER: 150702

PLAN SCALE: 1"=20'
HORIZONTAL SCALE: 1"=10'
BAR IS 2 INCHES ON ORIGINAL DRAWING

GENERAL GRADING AND UTILITY PLAN

SHEET NUMBER:
3 OF 6

ZONING : B
USE: MUNICIPAL PROPERTY



ABBREVIATIONS:

BLDG	BUILDING	LS	LANDSCAPE
CO	CLEANOUT	ME	MATCH EXISTING
CONC	CONCRETE	PL	PROPERTY LINE
DS	DOWNSPOUT	PR	PROPOSED
EG	EXISTING GRADE	RET	RETAINING
EL	ELEVATION	REV	REVISION
ELEC	ELECTRIC	ROW	RIGHT-OF-WAY
EM	ELECTRIC METER	SS	SANITARY SEWER
ESMT	EASEMENT	ST	STORM SERVICE
EX	EXISTING	SV	SERVICE VALVE
FFC	FIRE DEPARTMENT CONNECTION	SW	SIDEWALK
FG	FINISH FLOOR	TBC	TOP BACK OF CURB
FM	FIRE HYDRANT	TEL	TELEPHONE / COMMUNICATIONS
FL	FINISH GRADE	TOR	TOP OF RAMP
GM	GAS METER	TOS	TOP OF STAIR
HP	HIGH POINT	TW	TOP OF WALL
		TYP	TYPICAL

LEGEND:

---	PROPERTY BOUNDARY	---	EXISTING
---	RIGHT-OF-WAY-LINE	---	5280
---	CONTOUR - MAJOR	---	5279
---	CONTOUR - MINOR	---	E
---	UNDERGROUND ELECTRIC	---	G
---	GAS LINE	---	S
---	SANITARY SEWER	---	W
---	WATERLINE		
---	ELECTRIC METER	---	EM
---	FIRE HYDRANT	---	EH
---	GATE VALVE	---	GV
---	LIGHT POLE	---	LP
---	RETAINING WALL	---	RW
---	SANITARY MANHOLE	---	SM
---	STREET SIGN	---	SS
---	TRANSFORMER	---	TR
---	UTILITY POLE	---	UP
---	SIDEWALK	---	
---	SIDEWALK CHASE	---	
---	ADA RAMP	---	

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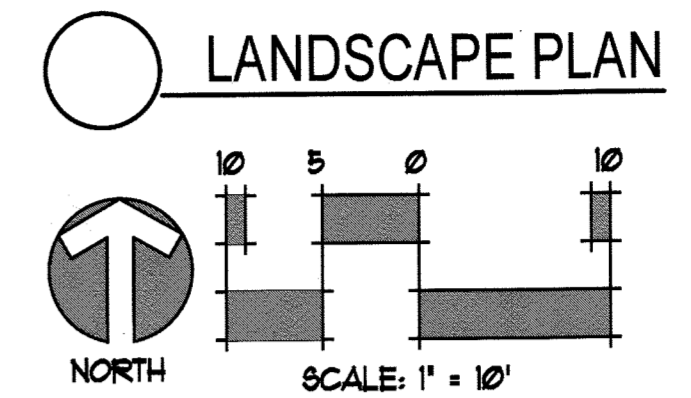
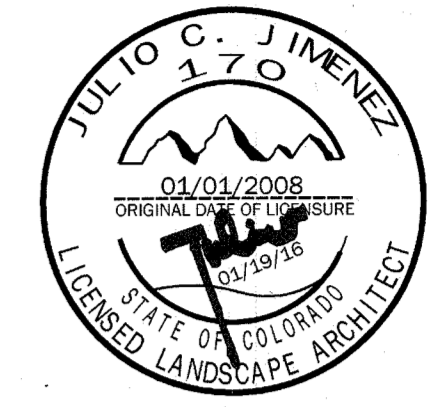
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TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE ARCHITECT:
TOCR # 15-1388
JDJ
JIMENEZ DESIGN GROUP
314 Rose Park Circle Highlands Ranch, CO 80129
Phone: 303.738.8259 Fax: 720.344.0284
NOTICE: THESE PLANS REPRESENT THE DESIGN CONTRACTOR'S DESIGN AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON.

ROTH ENGINEERING GROUP
7853 E. ARAPAHOE COURT
SUITE 2500
CENTENNIAL, CO 80112
PHONE: 303-841-9365
FAX: 303-848-5212



DOD (DOWNTOWN OVERLAY DISTRICT) REQ.

MUNICIPAL CODE, SECTION 17.42.030.B6
SITE AREA = 11200 SF. (0.26 AC.)
OPEN SPACE AREA PROVIDED: 1284 SF.
PLANTING AREA = 110 SF. (INCLUDING FIFTEEN (15) PLANTERS.)
3RD STREET FRONTAGE = 87 LINEAR FEET
DOD LANDSCAPE REQUIREMENT: 1 LARGE CANOPY DECIDUOUS TREE/22 LF.
TREES REQUIRED = 4
FOR EVERY REQUIRED TREE, A CORRESPONDING NUMBER OF PLANTING OR TREES FROM EITHER SUBPARAGRAPH BELOW A, B, OR C WILL BE REQUIRED.
A. FIVE SHRUBS PER TREE REQUIRED
B. SEVEN PERENNIALS PER TREE REQUIRED
C. ONE TREE PER TREE REQUIRED
LANDSCAPE PROVIDED:
LARGE CANOPY DECIDUOUS TREES = 4
ORNAMENTAL TREES = 20
5 GAL. SHRUBS = 31
1 GAL. PERENNIALS = 15
FREE STANDING PLANTERS = 15

PARKING LOT LANDSCAPE REQUIREMENT

NO PARKING WITHIN THE SITE.
MINIMUM PLANT MATERIAL SIZES
GENERAL REQUIREMENTS:
LANDSCAPE REQ. SECTION 422.B.2.a-h
LARGE CANOPY DECIDUOUS TREES: 2" CAL. MIN.
EVERGREEN TREES: 6 FT. MIN.
ORNAMENTAL TREES: 1 1/2" CAL. MIN.
SHRUBS: 5 GAL. CONT.
GRASSES & PERENNIALS: 1 GAL. CONT.

PLANT SCHEDULE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REQ./HYDROZONE
LARGE CANOPY AND ORNAMENTAL TREES					
9HL	3	GLEDITSIA TRIACANTHOS 'SUNBURST'	SUNBURST HONEYLOCUST	2" CAL.	LOW
FGA	1	FRAXINUS NIGRA 'FALL GOLD'	FALL GOLD ASH	2" CAL.	LOW
FKP	2	FRUNUS NIGRA 'PRINCESS KAY'	PRINCESS KAY PLUM	1 1/2" CAL.	MOD
DECIDUOUS AND EVERGREEN SHRUBS					
ECB	6	BERBERIS x EMERALD CAROUSEL	EMERALD CAROUSEL BARBERRY	5 GAL.	LOW
SCJ	14	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	5 GAL.	LOW
GRASSES & PERENNIALS					
KFG	15	CALAMAGROSTIS AC. KARL FORESTER	FEATHER RED GRASS	1 GAL.	LOW
DAY-A	16	HEMEROCALLIS SP. 'AUTUMN RED'	RED DAYLILY	1 GAL.	LOW

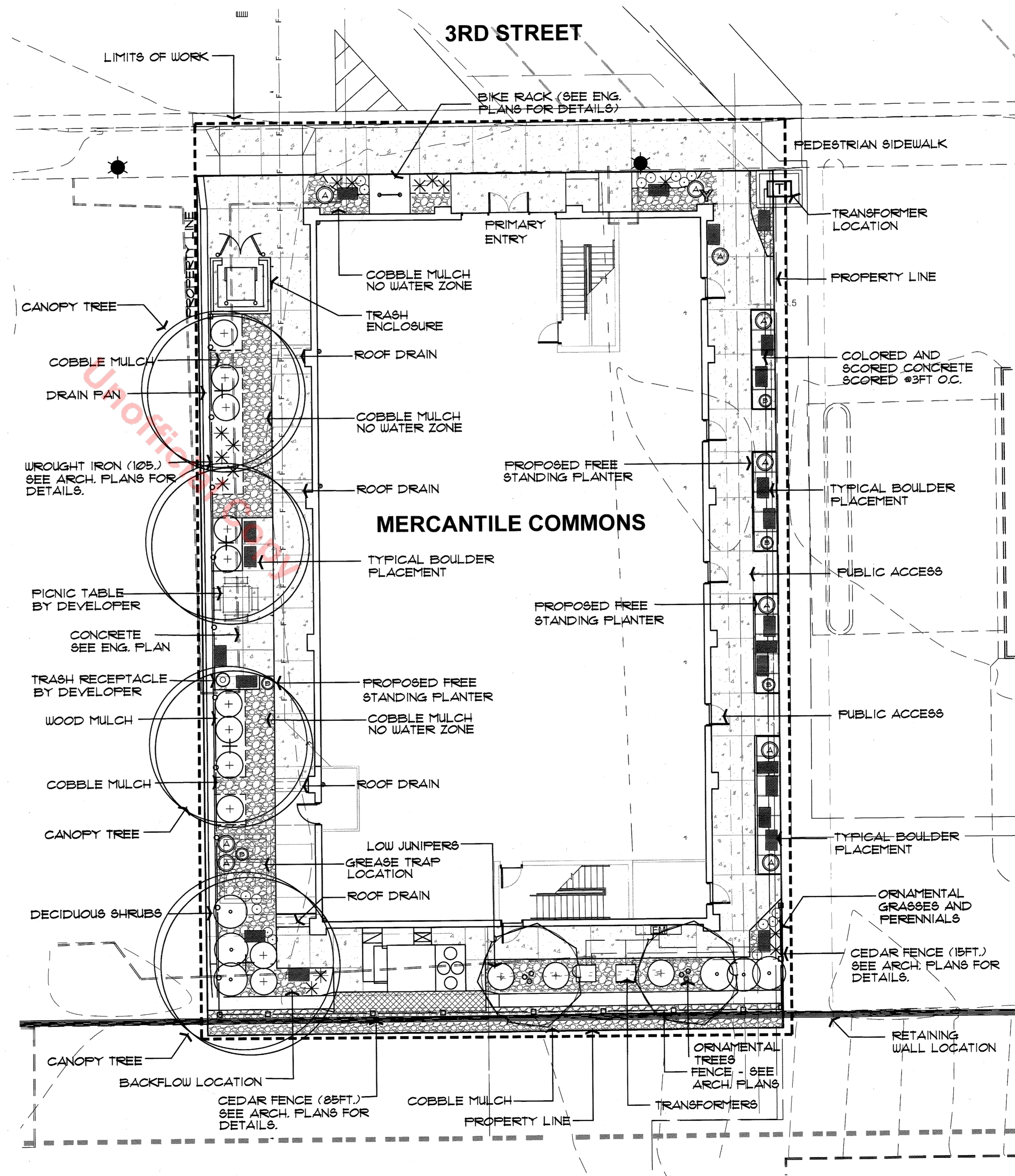
NOTE:
IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE SCHEDULE, THE PLANT MATERIAL QUANTITY, AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.
NO 'HIGH' WATER USE PLANT MATERIAL ARE BEING PROPOSED ON THIS PROJECT. THE WATER REQUIREMENT FOR ALL PLANTS PROVIDED ARE LOW TO VERY LOW. ALL PERENNIALS AND ANNUALS WITHIN 5FT. OF BUILDING FOUNDATION WILL BE PLANTED IN FREE STANDING PLANTER AND DRIP IRRIGATED ACCORDING TO THE TOWN OF CASTLE ROCK STANDARD REQUIREMENTS.

LEGEND

- LARGE CANOPY TREES (4)
- ORNAMENTAL TREES (2)
- DECIDUOUS SHRUBS (6)
MEDIUM SIZE, DROUGHT TOLERANT
- EVERGREEN SHRUBS (14)
LOW SPREADING, DROUGHT TOLERANT
- GRASSES (15)
ORNAMENTAL GRASSES, ACCENT
- PERENNIALS (16)
ACCENT GROUPINGS
- METAL EDGING (225 LF.)
RYERSON STEEL EDGER, OR APPROVED EQUAL.
ROLLED TOP AND NO SHARP EDGES.
- COBBLE MULCH (1104 SF. - 430 COVERED W/PLANTS)
RIVER ROCK MIX, PLACED OVER GEOTEXTILE FABRIC. GRAY/WHITE COLOR.
20% - 6-8", 50% 2-4", AND 30% PEA GRAVEL INFILL
NO FABRIC SHALL BE EXPOSED.
- WOOD MULCH (280 SF.)
4" DEPTH OF SHREDDED WESTERN RED CEDAR
NO GEOTEXTILE FABRIC.
- BROWNSTONE CUT BOULDERS (22)
BROWNSTONE BOULDERS, SNAPPED OR CUT TO ABOUT 30"x18"x18" IN SIZE, AND BURIED 1/4 THEIR ORIGINAL SIZE. OR SIMILAR BOULDER TYPE APPROVED BY DEVELOPER.
AVAILABLE: THE ROCK GARDEN, FT. COLLINS, 970.472.1115
- ACCENT PLANTERS (10-A + 5-B)
A) APPROXIMATELY: 36" DIAMETER, 18" HEIGHT
B) APPROXIMATELY: 24" DIAMETER, 18" HEIGHT
PLANT MATERIAL WITHIN PLANTER WILL BE ANNUALS MIXED WITH PERENNIALS. TYPE OF PLANTS TO BE DETERMINED ACCORDING TO THE SEASON.

CONCEPTUAL LANDSCAPE NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED ON THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 42.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATER RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEM IS TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEM IS TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 42.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- DUE TO EXISTING SOIL STRUCTURE AND WATER RESTRICTION WITHIN 5FT. FROM THE FOUNDATION, NO IN-GROUND PLANTS WILL BE PLACED ADJACENT TO THE BUILDING. PLANTERS WITH DRIP IRRIGATION WILL BE INCORPORATED INTO THE LANDSCAPE PLANTING SCHEME.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTING, CROPS, CUT SLOPES, AND BERRIS, SHALL BE PLACED WITHIN THE SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.



**LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK
SITE DEVELOPMENT PLAN - PROJECT NO. SDP15-0029**

PREPARED FOR:
MERCANTILE COMMONS, LLC
367 SANDY HOLLOW TRAIL
FRANK TOWN, COLORADO 80116

ISSUED DATE:	01/19/16
BY	
REVISIONS	
DATE	

DESIGNED BY:
DRAWN BY:
JOB NUMBER:

CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER:
4 OF 6

SIGNAGE 19.04.053 DOWNTOWN OVERLAY DISTRICT

SIGN #1: IDENTIFICATION SIGN 34 SF

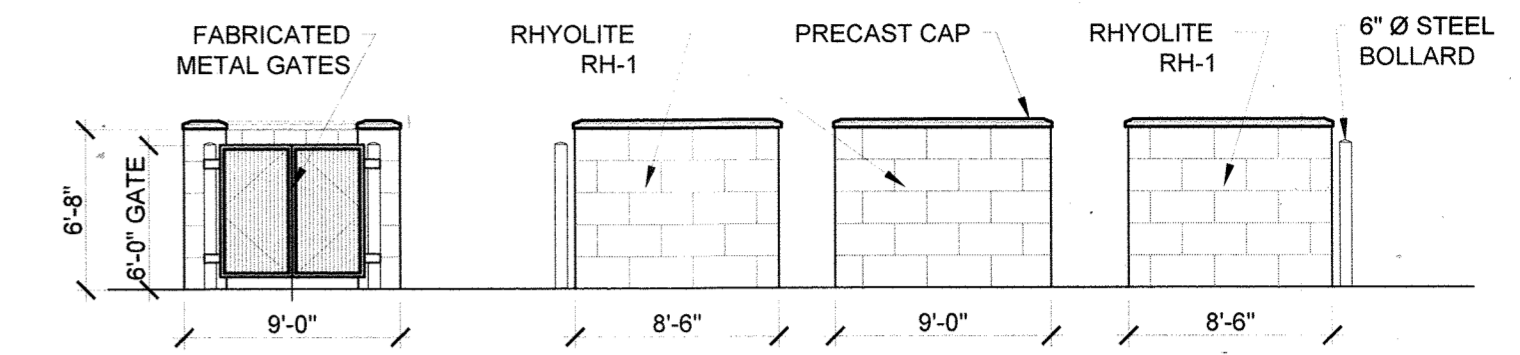
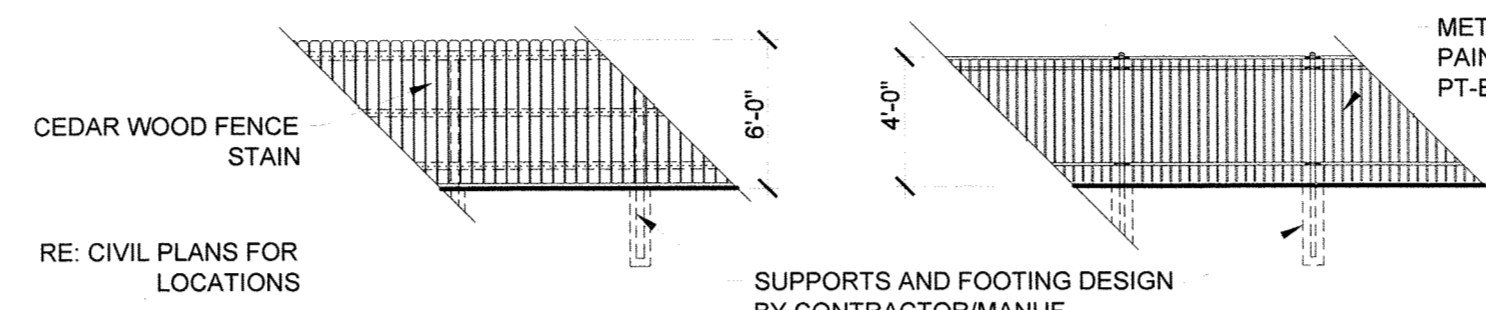
LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK

SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FINISHES/MATERIALS:

- RHYOLITE: STONE NATURAL COLOR
- BRICK: ACME BRICK RIO GRANDE
- STUCCO: POWERWALL FREE FORM / CEMENTITIOUS, 3-COAT SYSTEM
- ST-1: 3003 AMARILLO
- ST-2: 11504 GRAY FLANNEL
- STOREFRONT FRAME: ALUMINUM
- SF-1: GREY
- WINDOWS: TINTED INSULATED GLAZING



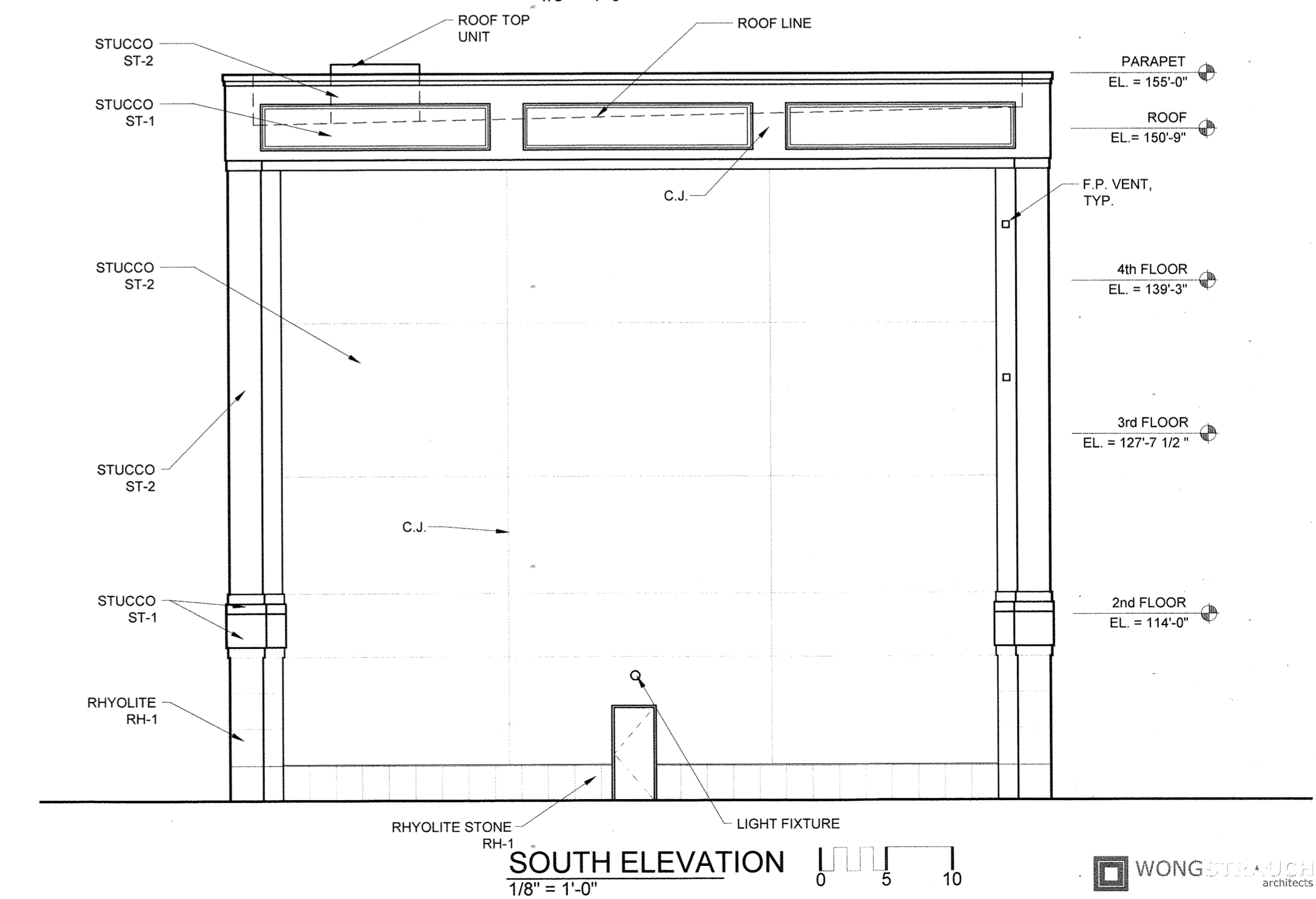
FENCE & RAILING ELEVATIONS
1/8" = 1'-0"

TRASH ENCLOSURE ELEVATIONS
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

SOUTH ELEVATION
1/8" = 1'-0"

ROTH ENGINEERING GROUP
7853 E. ARAPAHOE COURT SUITE 2500 CENTENNIAL, CO 80112
PHONE: 303-841-9365 FAX: 303-648-5212

LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK
SITE DEVELOPMENT PLAN - PROJECT NO. SDP15-0029

MERCHANTILE COMMONS, LLC
367 SANDY HOLLOW TRAIL
FRANK TOWN, COLORADO 80116

DATE	REVISIONS	BY
09/04/15	SITE DEVELOPMENT PLAN (SDP)	
10/21/15	SDP 1st REVIEW RESPONSES	
12/24/15	SDP 2nd REVIEW RESPONSES	
01/19/16	SDP 3rd REVIEW RESPONSES	

ISSUE DATE: 01/19/2016
DESIGNED BY:
DRAWN BY:
JOB NUMBER:

BUILDING ELEVATIONS

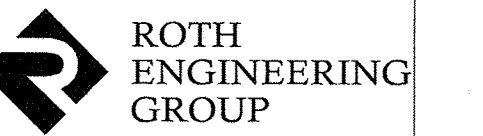
SHEET NUMBER:
5 OF 6



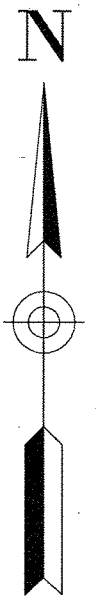
LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK

SITE DEVELOPMENT PLAN

LOCATED IN THE NORTHWEST QUARTER OF SECTION 11,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

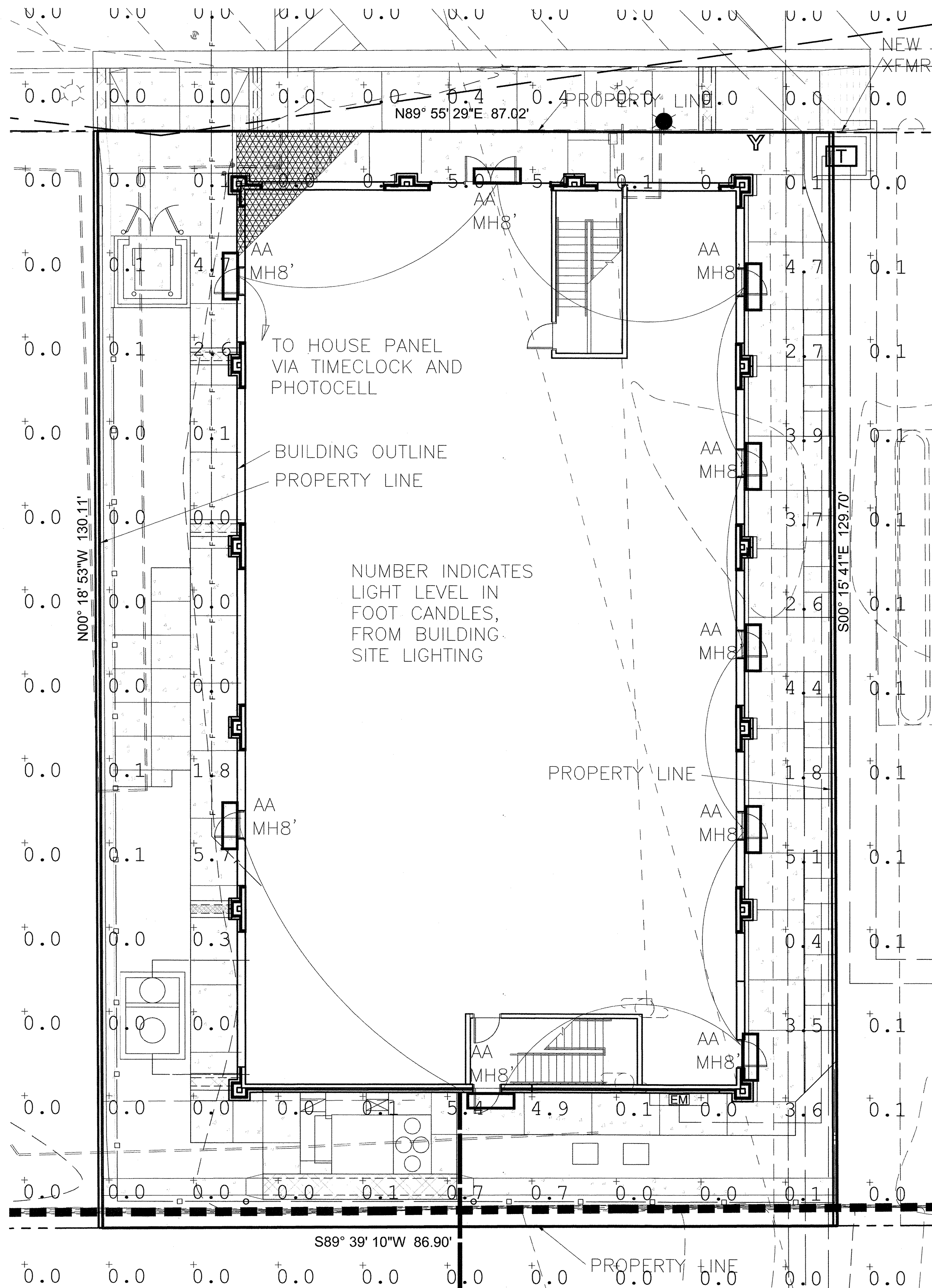


7853 E. ARAPAHOE COURT
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LOT 6A-1, BLOCK 23, TOWN OF CASTLE ROCK
SITE DEVELOPMENT PLAN - PROJECT NO. SDP15-0029

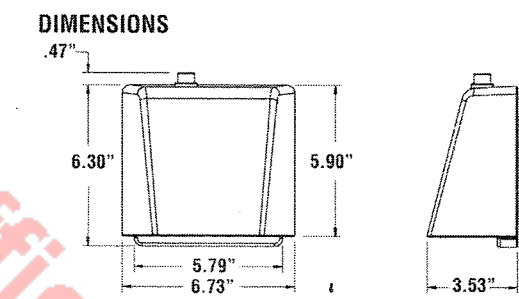
PREPARED FOR:
MERCHANTILE COMMONS, LLC
367 SANDY HOLLOW TRAIL
FRANK TOWN, COLORADO 80116



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description
AA	9	SWS-2-LED-CW-UE	SINGLE	N.A.	1328	1.000	SWS-2-LED-CW-UE

NOTE: ALL FIXTURES 'AA' ARE 14 WATT LED, MOUNTING HEIGHT=8'

SMALL LED WALL PACK (SWS)



LEDs - Select high-brightness LEDs. Color temperature 5000K (CW), 4000K (NW) and 3000K (WW). CRI = 65 (All values nominal).

CONSTRUCTION - Die-cast aluminum housing with stainless steel hardware, tempered flat glass lens and silicon gaskets. Knock-out of top of housing for available photocell accessory.

THERMAL MANAGEMENT - Driver and LED module are mounted directly to aluminum housing to maximize heat dissipation.

DIMMING - 0-10 volt dimming standard.

INSTALLATION - Luminaire features a back plate design that can be easily mounted to any vertical surface.

ELECTRICAL - Class 2 driver has universal voltage (120-277v, 50/60 Hz) input. Active power factor corrector (0.98 typical) and protection against over-voltage, over-temperature, short-circuit conditions and lightning (ANSI/IEEE 62.41 Class A).

OPERATING TEMPERATURE - -35° to 40°C (-31° to 104°F)

EXPECTED LIFE - Minimum 50,000 hours.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

WARRANTY - Limited 5-year warranty.

LISTING - UL listed to U.S. and Canadian safety standards. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



LIGHT OUTPUT - SWS		
Lumens	Watts	LPW
1328	14	92

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **SWS 2 LED NW UE GBZ**

Prefix	Distribution	Light Source	Color Temperature	Voltage	Color
SWS - 14-watt LED Wall Pack	2	LED	CW - Cool White NW - Neutral White WW - Warm White	UE - Universal Electronic (120-277V)	GBZ - Grey Bronze

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

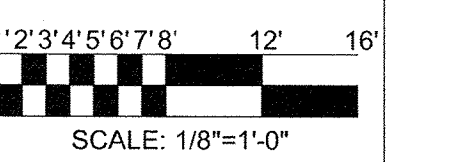
Description	Order Number
120VAC Photocell	SW PC1
208-277VAC Photocell	SW PC2

Industries Project Name _____ Fixture Type _____ 01/20/15
Catalog # _____ © 2015 LSI INDUSTRIES INC.

- GENERAL LIGHTING PLAN NOTES:
1. PURPOSE OF BLDG LIGHTING IS FOR PEDESTRIAN ACCESS AND SAFETY.
 2. BLDG LIGHTING SHALL BE CONTROLLED BY PHOTOCELL AND TIMECLOCK, SUCH THAT LIGHTING OPERATES AT NIGHT, BEGINNING AT DUSK AND ENDING AT DAWN.
 3. LIGHTING LEVEL SHALL BE 0 FT-CD AT PROPERTY LINE.
 4. BLDG FIXTURES SHALL BE FULL CUTOFF.

DATE	REVISIONS	BY

ISSUE DATE: 12.24.2015
DESIGNED BY: ARD
DRAWN BY: ARD
JOB NUMBER: _____



GENERAL LIGHTING PLAN

SHEET NUMBER:
6 OF 6