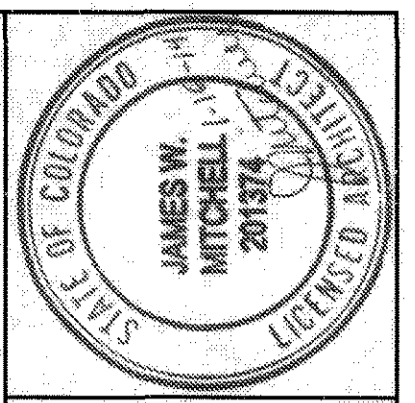


SITE DEVELOPMENT PLAN LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. COUNTY OF DOUGLAS, STATE OF COLORADO



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1324 E. GREEN MEADOW LANE
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THE ACME WATERTOWER CENTER LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, COLORADO 80116
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SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10,
TOWN OF CASTLE ROCK
PROJECT NO. SDP 14-0004

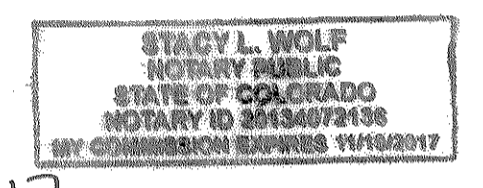
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SIGNATURES

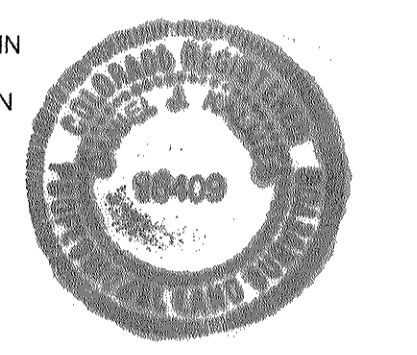
OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
THE ACME WATER TOWER CENTER LLC
BY: [Signature]
DENISE M. BLODIG, AS MANAGER
SIGNED THIS 16th DAY OF April, 2014

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 16th DAY OF April, 2014
BY DENISE M. BLODIG, AS MANAGER OF THE ACME WATER TOWER CENTER LLC

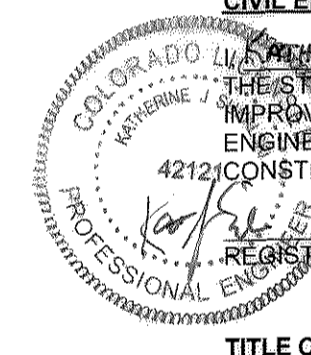
WITNESS MY HAND AND OFFICIAL SEAL.
[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: 11-19-17



SURVEYOR'S CERTIFICATE
I, DANIEL J. KALMES, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS DOCUMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS DOCUMENT ACCURATELY REPRESENTS THAT SURVEY.
[Signature] 04/17/2014
REGISTERED LAND SURVEYOR DATE

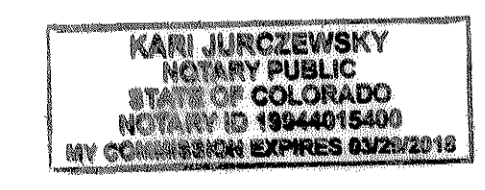


CIVIL ENGINEER'S STATEMENT
I, WENDIE J. SULLIVAN, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS DOCUMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
[Signature] 4/16/14
REGISTERED PROFESSIONAL ENGINEER DATE



TITLE CERTIFICATION
[Signature] AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
[Signature]
AUTHORIZED REPRESENTATIVE
Land Title Guarantee Company
TITLE COMPANY
SIGNED THIS 17th DAY OF April, 2014

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF April, 2014
2014 BY Drenda Becker AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company
WITNESS MY HAND AND OFFICIAL SEAL.
[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3/29/18



DESIGN REVIEW BOARD APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 9th DAY OF April, 2014
CHAIR: [Signature] DATE: 4-22-14
ATTEST: [Signature] DATE: 4/22/14
DEVELOPMENT SERVICES DIRECTOR

ARCHITECTURAL GENERAL NOTES

- GO TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT IN WRITING OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING DESIGN. REFER TO DRAWINGS BY OTHERS FOR SOILS TESTING, LANDSCAPE DESIGN, DRAINAGE DESIGN, SITE SURVEY DATA, TRAFFIC STUDIES, ENERGY CALCULATIONS, MECH./ELECT./PLUMBING, AND ANY OTHER CONSULTANT DESIGNS NOT CONTAINED WITHIN THE ARCHITECTURAL DRAWINGS.
- PROVIDE BLOCKING IN PARTITIONS AS REQUIRED TO SECURE ALL WALLMOUNTED ITEMS TO PARTITIONS. ALL BLOCKING SHALL COMPLY WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS.
- ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
- PROVIDE A SIGN STATING "NO SMOKING", "SMOKE-FREE" OR "THIS IS A NON-SMOKING ESTABLISHMENT" AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, CONSPICUOUSLY POST AT EACH ENTRY POINT TO THE BUILDING WITH ALL LETTERS OR SYMBOLS THEREON BEING NO LESS THAN 3 INCHES IN HEIGHT.
- THE CONTRACT DOCUMENTS CONVEY DESIGN INTENT AND THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS TO COMPLETE THE WORK. MEANS AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS UNLESS SPECIFIED HEREIN TO THE CONTRARY.
- UNLESS DIMENSIONED OTHERWISE, DEPTH OF FURRING ON COLUMNS AND OTHER ELEMENTS IS TO BE HELD TO THE MINIMUM THICKNESS REQUIRED TO CONCEAL MECHANICAL, PLUMBING, OR ELECTRICAL COMPONENTS.
- COMMUNICATION, DATA, SECURITY AND SIMILAR SYSTEMS WILL BE FURNISHED AND INSTALLED BY THE TENANT UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE TENANT'S VENDORS AND PROVIDE CONDUIT, BOXES, AND OTHER ROUGH-IN REQUIREMENTS TO FACILITATE FINAL INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS PRIOR TO COMMENCEMENT OF THE JOB.
- ONLY THE MOST CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS SHALL BE ON THE JOB SITE.
- FIRE PROTECTION DOCUMENTS WILL BE PROVIDED AS A DEFERRED SUBMITTAL BY THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL SUBMIT FIRE ALARM PLANS AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- ALL WALLS, ROOFS AND FOUNDATIONS TO BE INSULATED IN ACCORDANCE WITH LOCAL CODES AND INTERNATIONAL ENERGY CONSERVATION CODE 2012.
- ALL EXTERIOR DOORS AND WINDOWS TO BE METAL OR METAL CLAD, LOW-E GLAZING (U<0.35) AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. VERIFY ALL WINDOW AND DOOR SIZES BEFORE PLACING ORDER.
- PROVIDE ICE AND WATER SHIELD AT ALL ROOF VALLEYS AND EAVES, TO 3' MINIMUM UP EACH ROOF PLANE SLOPE.
- ALL ROOFING, FLASHING AND WATERPROOFING TO BE INSTALLED PER INDUSTRY STANDARDS AND REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2012.
- WHERE ENCLOSED ACCESSIBLE SPACE UNDER STAIRS, INSTALL 5/8" TYPE X GYPSUM BOARD TO WALLS AND UNDER-STAIR SURFACE OF STAIR RUN.
- PROVIDE FIRE BLOCKING AND DRAFTSTOPPING PER INTERNATIONAL FIRE CODE 2012.
- PROVIDE TEMPERED GLAZING IN HAZARDOUS LOCATIONS, AS IDENTIFIED IN INTERNATIONAL BUILDING CODE 2012.
- PROVIDE STAIR RISERS AND RUNS PER INTERNATIONAL BUILDING CODE 2012. RISER HEIGHT AND TREAD DEPTH TOLERANCES SHALL BE MEASURED BEFORE INSTALLATION OF FINISHED FLOORING MATERIAL.
- PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS PER INTERNATIONAL FIRE CODE 2012.
- DESIGNS FOR SIGNAGE AND/OR GRAPHICS TO BE SUBMITTED AT A FUTURE DATE.
- GUTTERS AND DOWNSPOUT LOCATIONS ARE INDICATED ON THE DRAINAGE PLAN, INCLUDED AS THE LAST PAGE OF THE DRAINAGE REPORT, DATED 2-2-14 (UNDER SEPARATE COVER).
- THE TOWN OF CASTLE ROCK RESERVES THE RIGHT TO REMOVE ANY LANDSCAPING OR INFRASTRUCTURE PLACED ON TOWN RIGHT-OF-WAY.

PROJECT DATA

BUILDING USE GROUP: MIXED OCCUPANCY
B - BUSINESS (PRIMARY)
M - MERCANTILE (ACCESSORY)
CONSTRUCTION TYPE: V-B
NO. OF STORIES: 2 FLOORS
ALLOWABLE SF: 9,000 (PER FLOOR)
SPRINKLER INCREASE: 0
FRONTAGE INCREASE: N/A (NOT NEEDED)
UNDERLYING ZONING: ZONING B
OVERLAY: DOWNTOWN OVERLAY DISTRICT (DOD)
503.1.2: BUILDINGS ARE ON ONE LOT AND SHALL BE CONSIDERED PORTIONS OF ONE BUILDING, NOT EXCEEDING THE MAXIMUM HEIGHT AND AREA

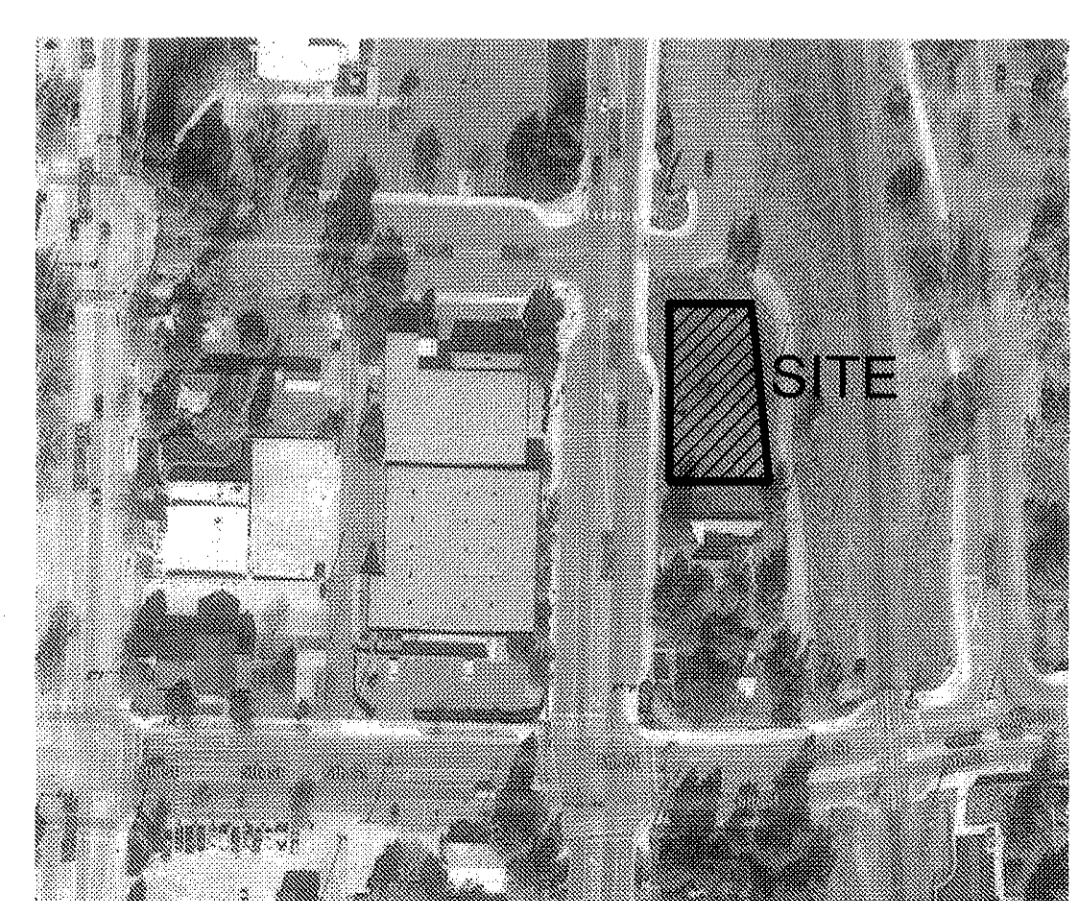
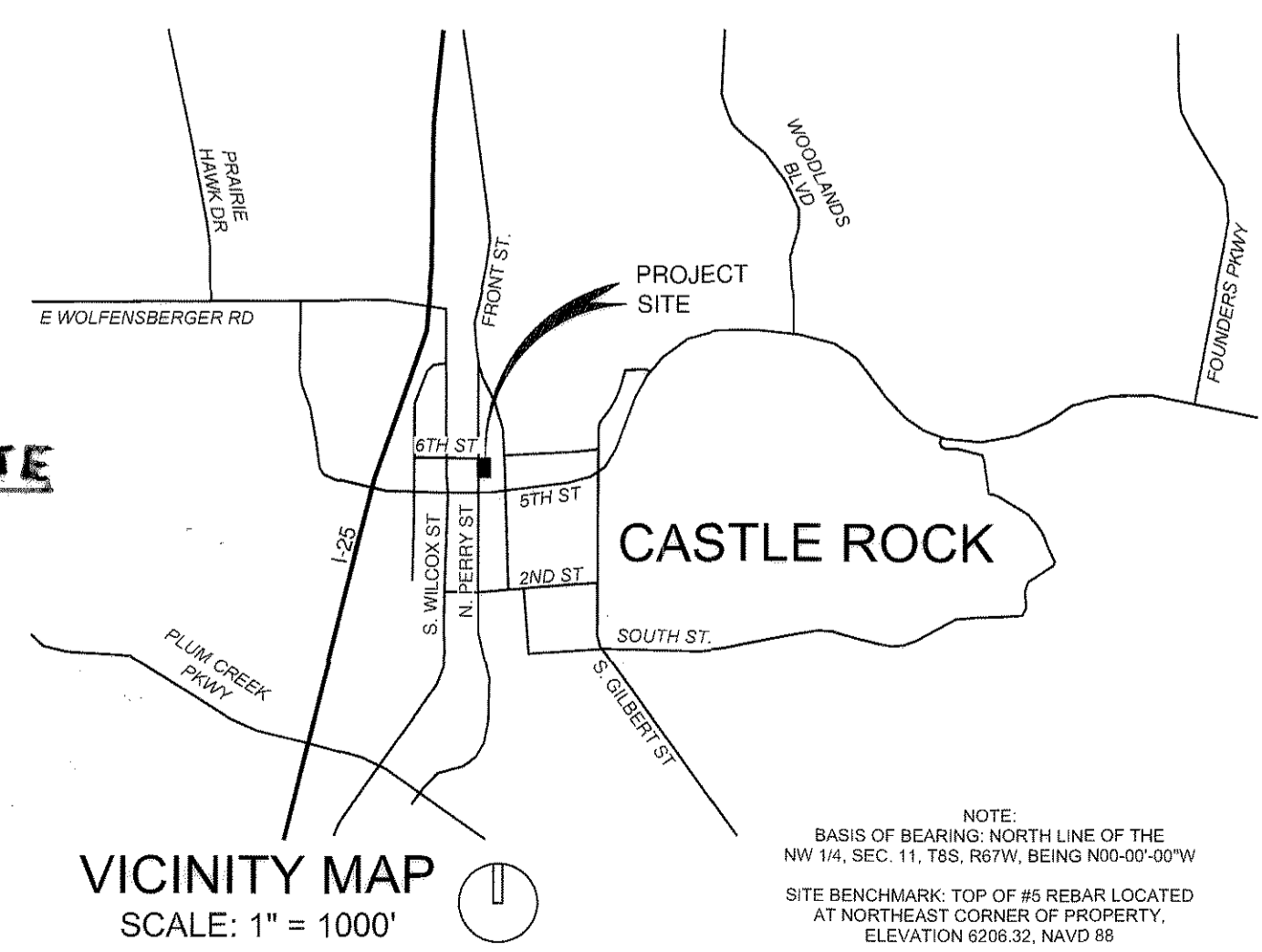
SUMMARY TABLE

-- MAXIMUM GROSS FLOOR AREA (FOUR BUILDING COUNT):
FIRST FLOOR GROSS: 5,661 SF
2ND FLOOR GROSS: 5,307 SF
TOTAL FLOOR AREA: 11,968 SF GROSS
-- BUILDING SETBACKS AND SEPARATIONS: NONE REQUIRED
-- PARKING SPACES REQUIRED: NONE
-- MAXIMUM HEIGHT ALLOWABLE: 60 FEET
-- PROVISIONS FOR SEPARATION FOR EACH LAND USE: N/A
-- SITE UTILIZATION: TOTAL LOT = 12,275 SF
BUILDING FOOTPRINT = 6,661 SF
TRASH BIN AREA = 96 SF
TOTAL BUILT COVERAGE = 6,757 SF (55% OF SITE)
TOTAL OPEN SPACE = 5,518 SF (45% OF SITE)
-- SINGLE FAMILY EQUIVALENT UNITS = 3 (1 PER PRIMARY BUILDING)

DRAWING INDEX

- 1 of 14 COVER SHEET
- 2 of 14 SITE PLAN / GROUND FLOOR PLANS
- 3 of 14 WATER TOWER BUILDING ELEVATIONS AND NOTES
- 4 of 14 CONDUCTOR BUILDING ELEVATIONS AND NOTES
- 5 of 14 DEPOT BUILDING ELEVATIONS AND NOTES
- 6 of 14 WINDMILL/BATHROOM BUILDING ELEVATIONS AND NOTES
- 7 of 14 GENERAL LANDSCAPE PLAN
- 8 of 14 LANDSCAPE CHARTS, DETAILS AND NOTES
- 9 of 14 IRRIGATION PLAN
- 10 of 14 IRRIGATION CHARTS, SPECS AND NOTES
- 11 of 14 IRRIGATION DETAILS
- 12 of 14 GENERAL GRADING PLAN
- 13 of 14 GENERAL UTILITY PLAN
- 14 of 14 GENERAL SITE LIGHTING PLAN

PROJECT LOCATION MAP



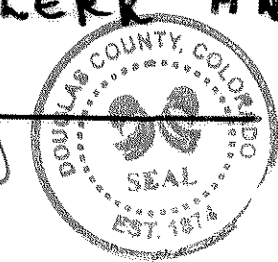
AERIAL VIEW

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:14 PM ON THE 23rd DAY OF April, 2014 AT RECEPTION NO. 2014020139.

DOUGLAS COUNTY CLERK AND RECORDER

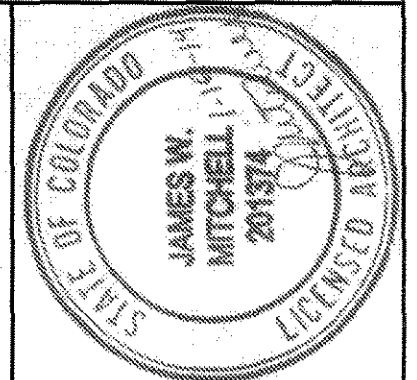
By: Sandra C. Searcy
DEPUTY



COVER SHEET

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SITE DEVELOPMENT PLAN LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. COUNTY OF DOUGLAS, STATE OF COLORADO

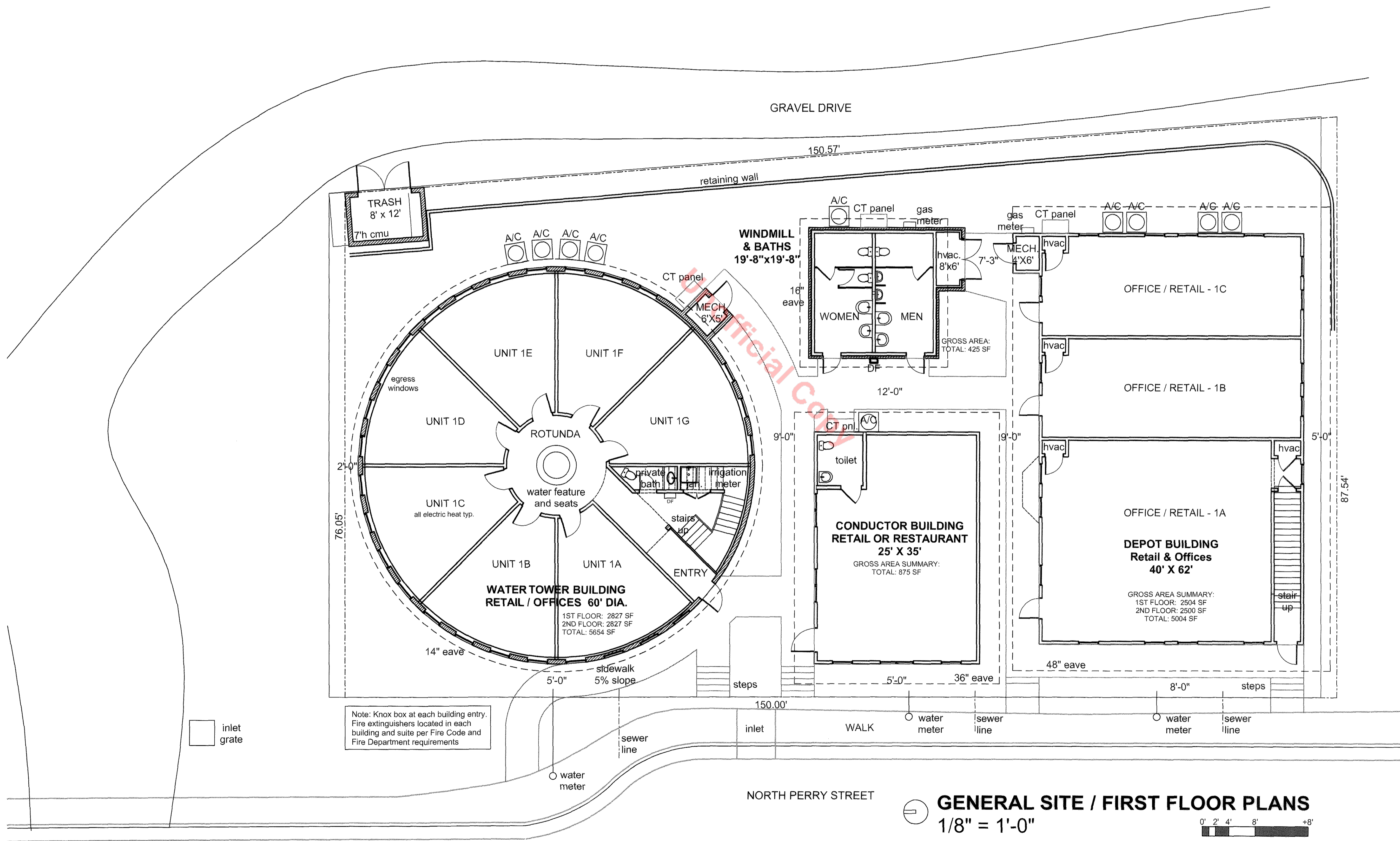


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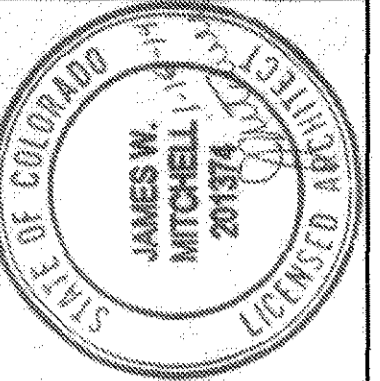


GENERAL SITE / FIRST FLOOR PLANS
1/8" = 1'-0"

SITE PLAN / GROUND FLOOR PLANS

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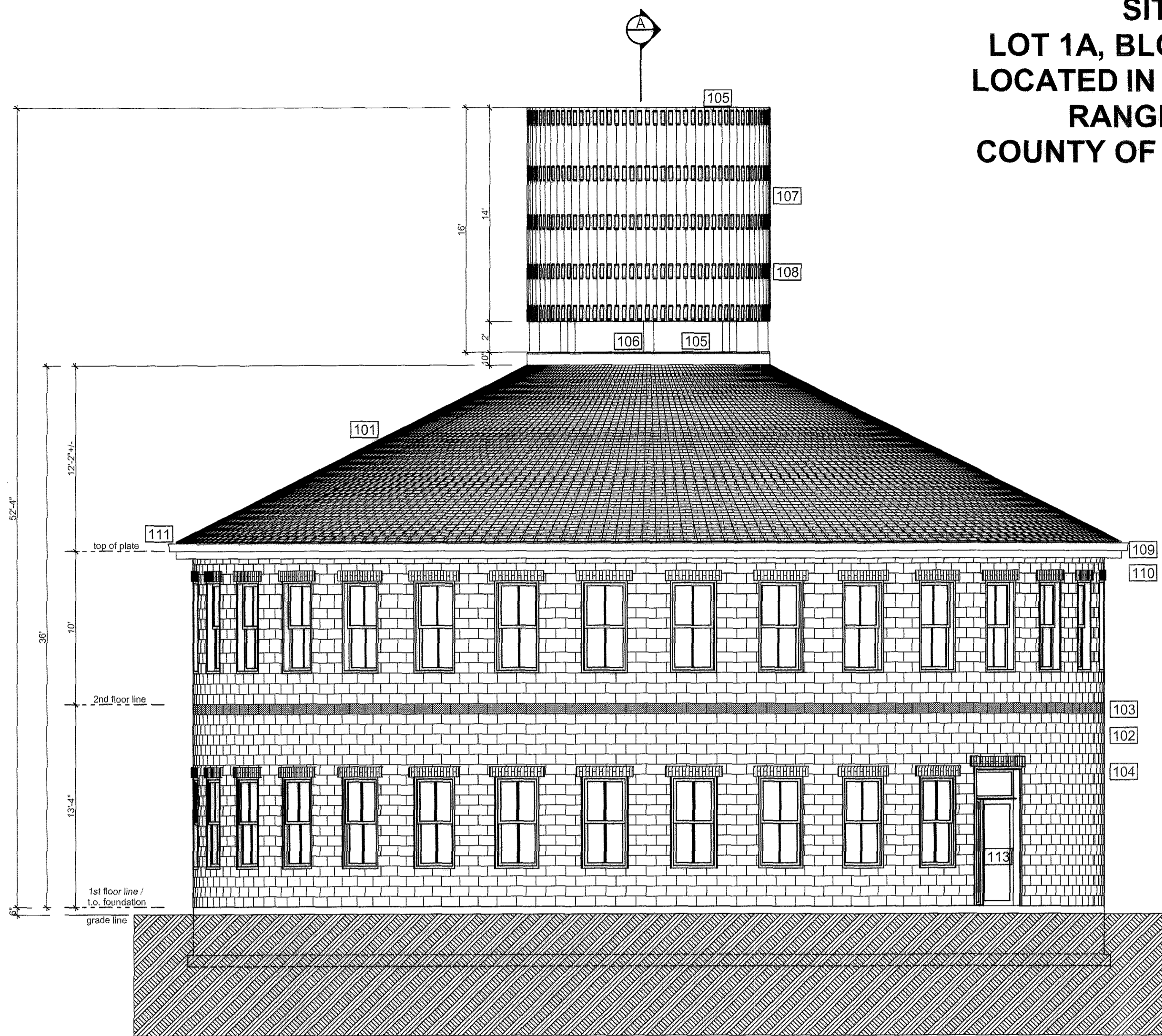
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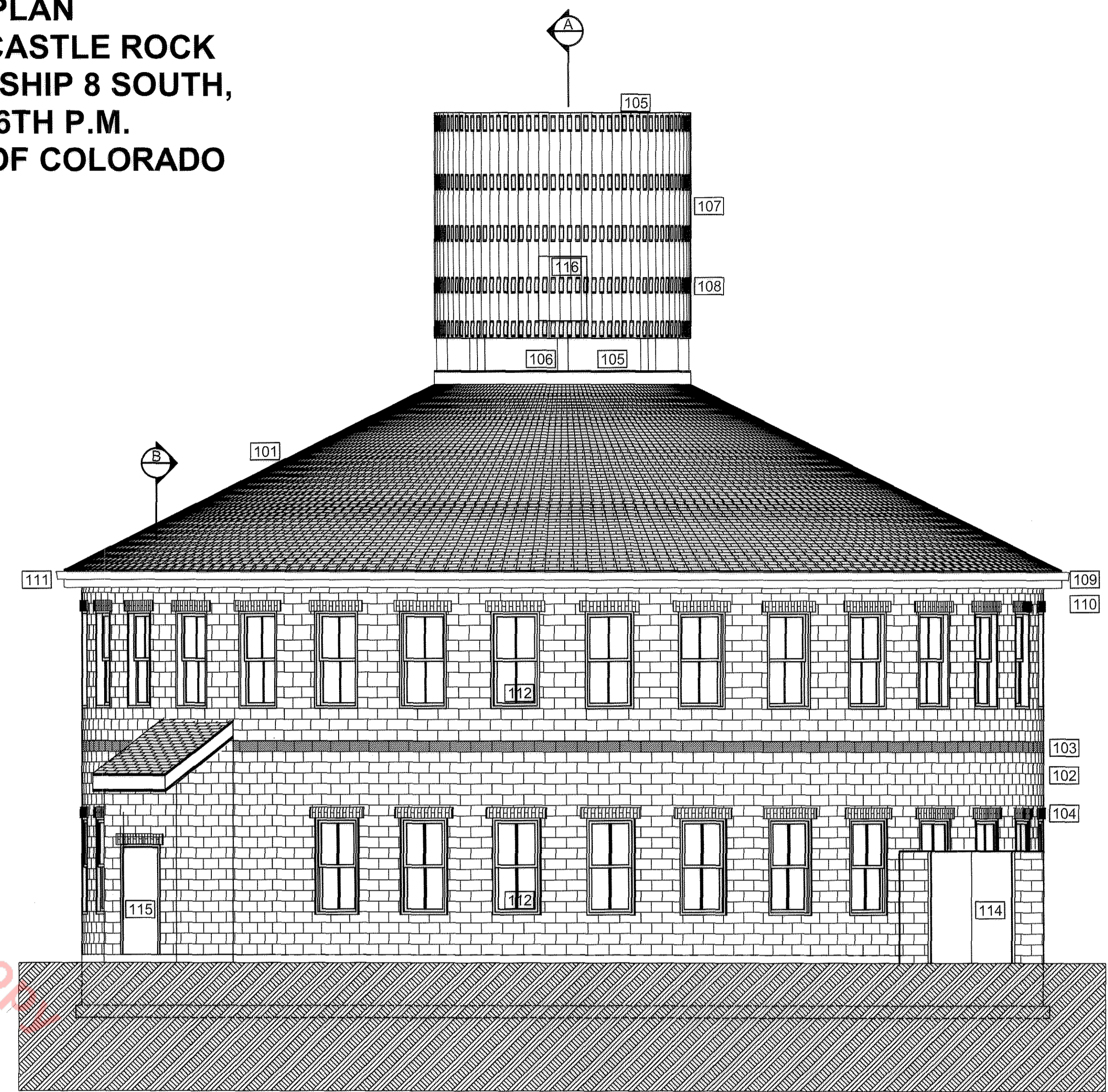
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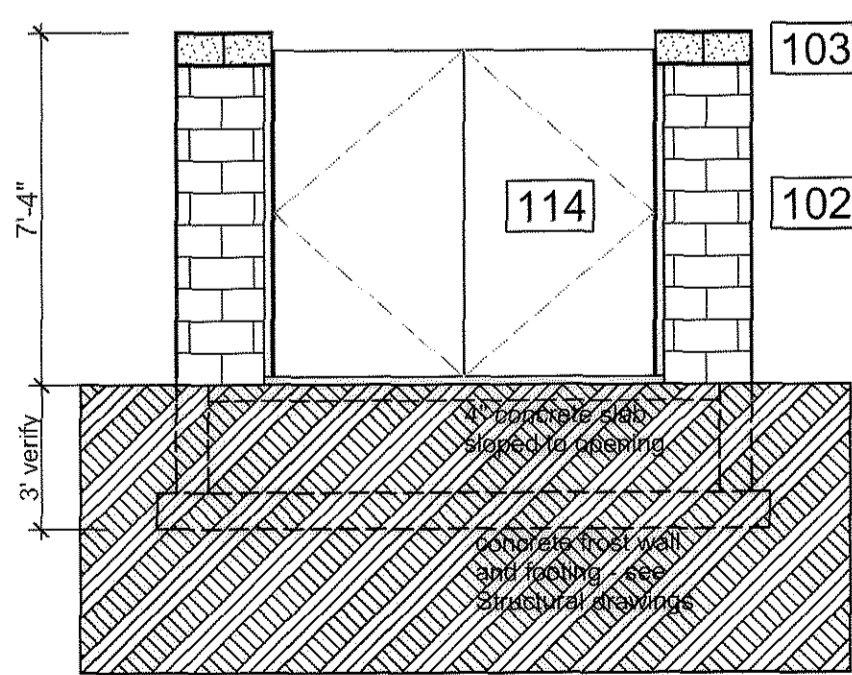
WEST ELEVATION - WATER TOWER BUILDING
 3/16" = 1'-0"

NOTE: see floor plans for locations of masonry control joints.

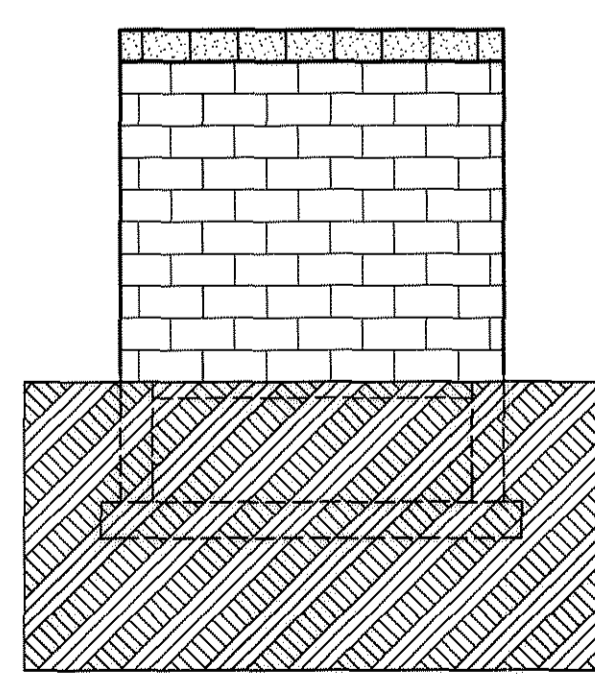


EAST ELEVATION - WATER TOWER BUILDING
 3/16" = 1'-0"

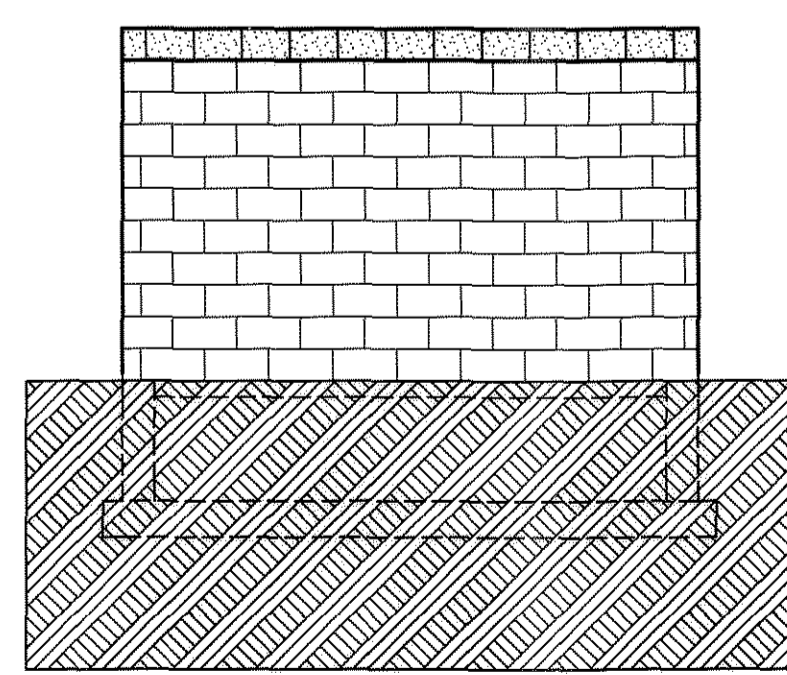
NOTE: see floor plans for locations of masonry control joints.



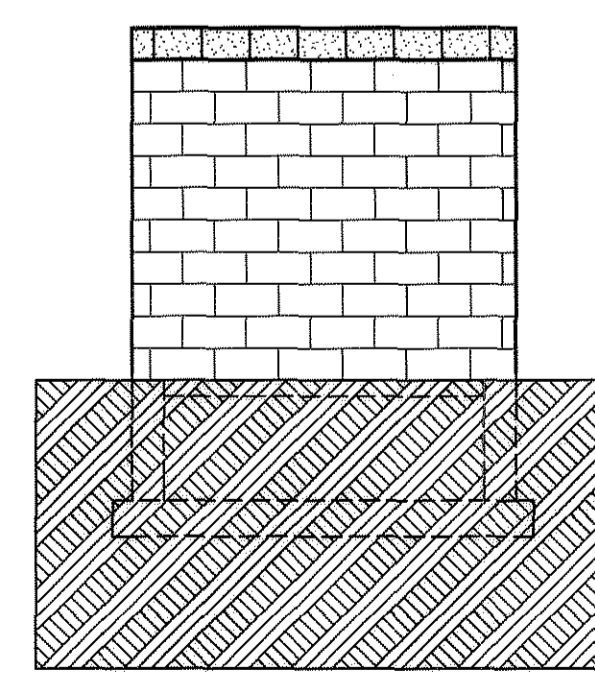
WEST ELEVATION - TRASH
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"



EAST ELEVATION - TRASH
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"

WATERTOWER BUILDING KEYED NOTES

- 101 GAF GRAND SEQUOIA IMPACT-RESISTANT ASPHALT SHINGLES, RUST
- 102 CMU - 8"x8"x16" CLAYTON (MAIN BODY) C-23 BRICK COLOR, SPLIT FACE
- 103 CMU - 8"x8"x16" COLORED DETAIL BAND C-26 SUEDE, SPLIT FACE
- 104 HEADERS / CMU WALL CAP - SPLIT RHYOLITE 4"x12" UNIT SIZES
- 105 EPDM ROOF SYSTEM WITH METAL FLASHING AT PERIMETER
- 106 STEEL SUPPORT POSTS, PAINTED BLACK
- 107 VERTICAL WOOD SIDING (2X6 T&G, PAINTED), PAINTED DUSTY RED
- 108 BLACK METAL BANDING
- 109 FASCIA - 1x10 WOOD, PAINTED DUSTY RED
- 110 SOFFIT - EXTERIOR GRADE PLYWOOD, PAINTED DUSTY RED
- 111 6" PRE-PRIMED METAL GUTTERS AND DOWNSPOUTS, GREY
- 112 WINDOWS - MANCO ALUMINUM DOUBLE-HUNG 3x6H BRONZE-BLACK
- 113 ENTRY DOOR - ALUMINUM STOREFRONT, AUTO-LOCK DEVICE, BRONZE-BLACK
- 114 SERVICE DOOR - OBSCURE STEEL MESH WITH STEEL FRAME, GREY
- 115 SERVICE DOOR - HOLLOW METAL WITH STEEL FRAME, GREY
- 116 DOOR ACCESS TO "WATER TANK", PAINTED DUSTY RED

**WATER TOWER BLDG.
 ELEVATIONS & NOTES**

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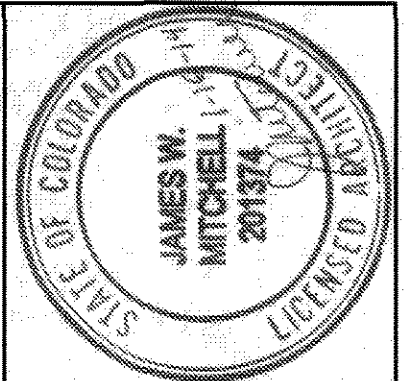
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**SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK
 LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH,
 RANGE 67 WEST OF THE 6TH P.M.
 COUNTY OF DOUGLAS, STATE OF COLORADO**

CONDUCTOR BUILDING KEYED NOTES

- 201 METAL ROOF - ROCKY MTN. METAL - 1/2 PROFILE 26 GAUGE, RUST COLOR
- 202 SIDING - CEDAR BOARD AND BATTEN, PAINTED, CREAM
- 203 TRIM - 5/4 BOND, 5.5" WIDTH, PAINTED, TAN
- 204 STONE AND BAND - RYOLITE, NATURAL
- 205 FASCIA - 2x10 WOOD, PAINTED, TAN
- 206 SOFFIT - 1x6 T&G WOOD, PAINTED, TAN
- 207 6" PRE-PRIMED METAL GUTTERS AND DOWNSPOUTS, PAINTED TAN
- 208 WINDOWS - ALUMINUM CLAD WOOD, SIERRA PACIFIC DBL.-HUNG, 3x6'H, TAN
- 209 ENTRY DOOR - ALUMINUM CLAD WOOD WITH DEAD BOLT AND KEY, RUST



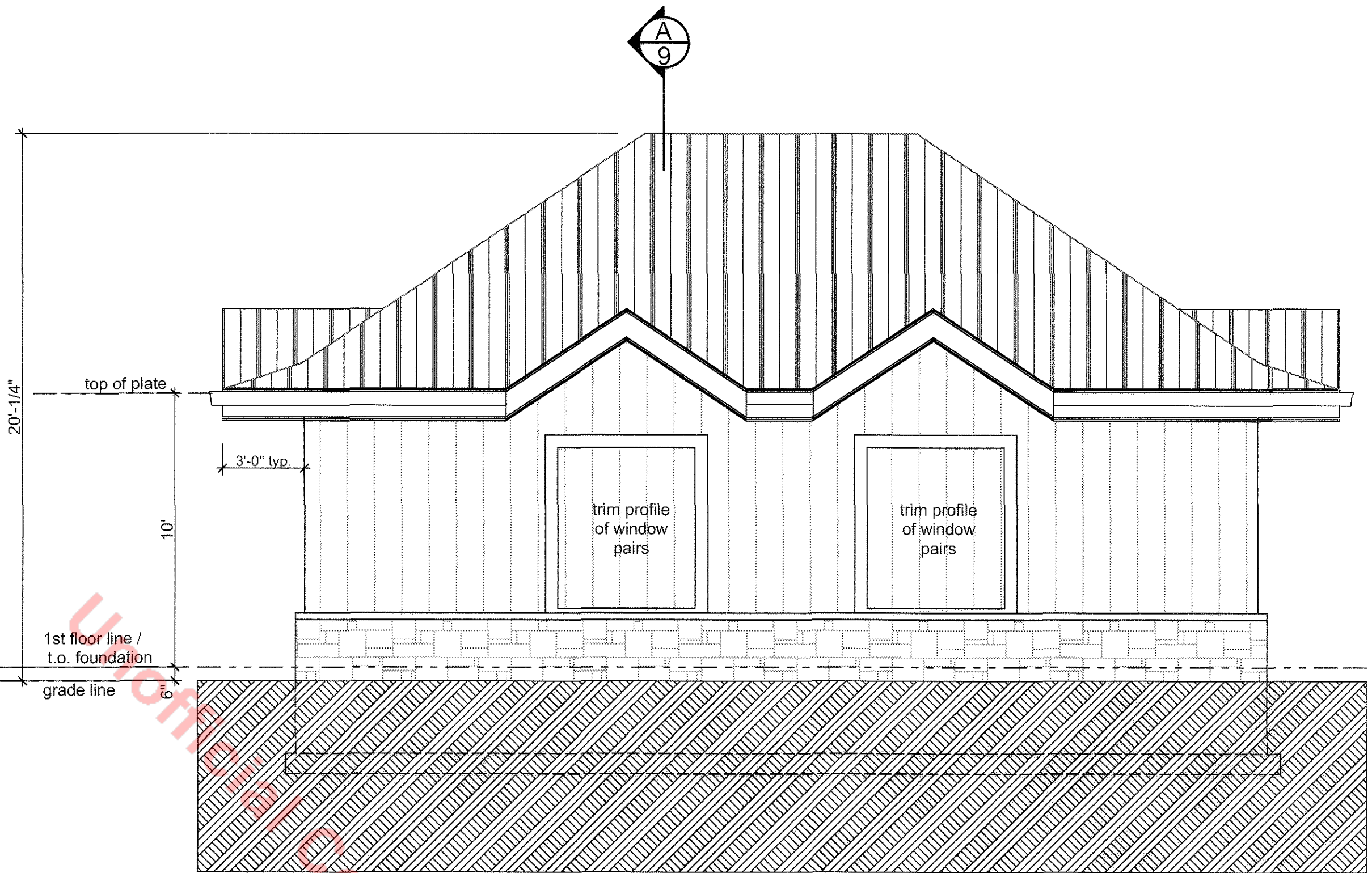
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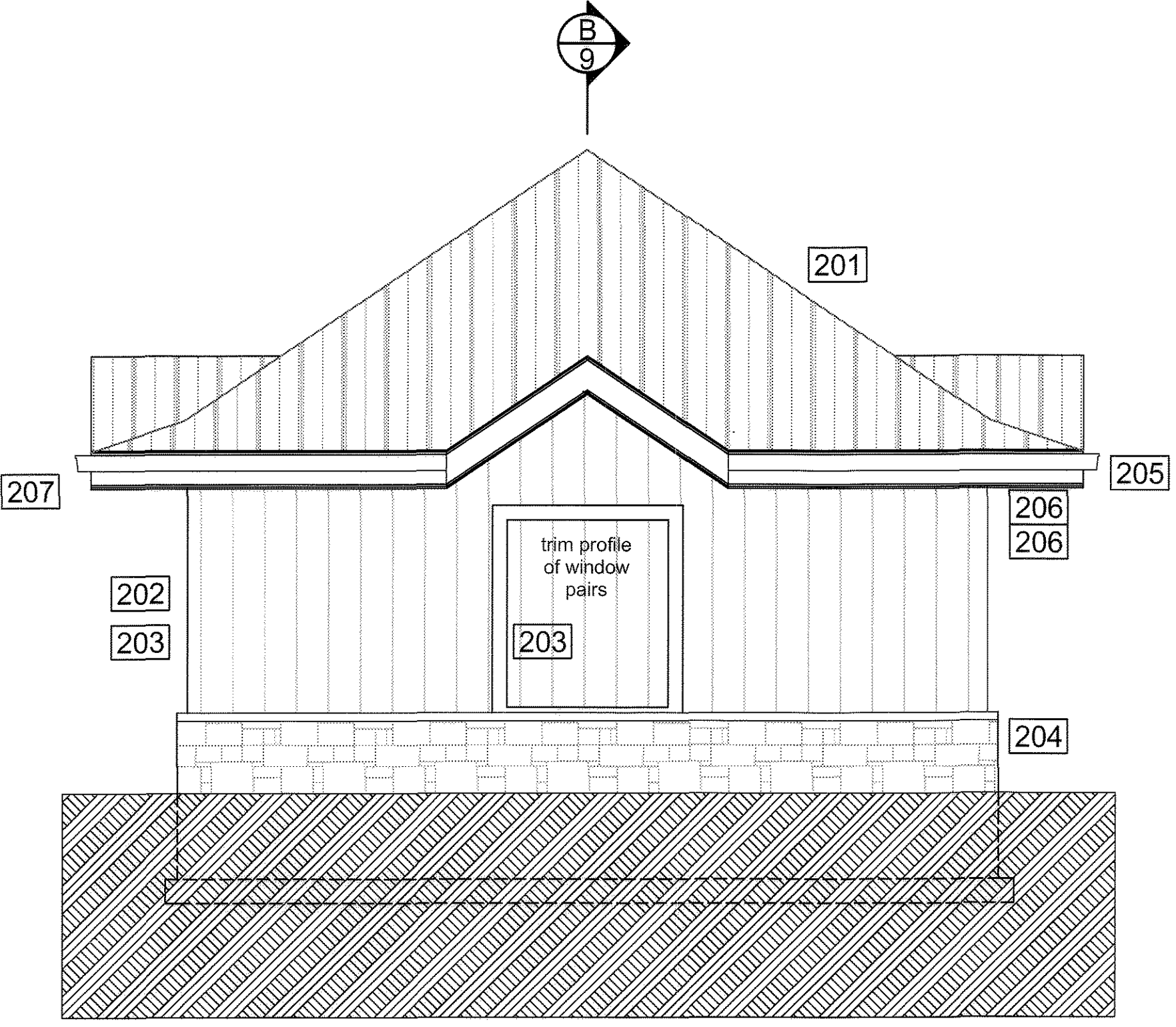
SITE DEVELOPMENT PLAN
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WEST ELEVATION - CONDUCTOR BUILDING
 1/4" = 1'-0"



SOUTH ELEVATION - CONDUCTOR BUILDING
 1/4" = 1'-0"



EAST ELEVATION - CONDUCTOR BUILDING
 1/4" = 1'-0"



NORTH ELEVATION - CONDUCTOR BUILDING
 1/4" = 1'-0"

**CONDUCTOR BLDG.
ELEVATIONS & NOTES**

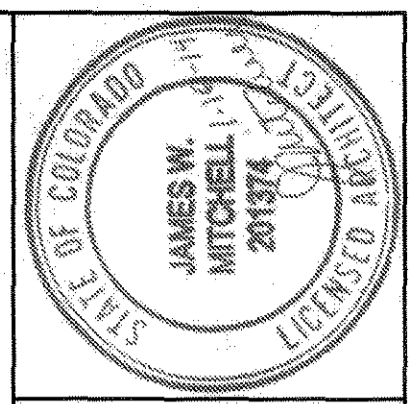
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- DEPOT BUILDING KEYED NOTES**
- 301 GAF GRAND SEQUOIA IMPACT-RESISTANT ASPHALT SHINGLES, GREY
 - 302 HARDIE FIBER CEMENT LAP SIDING-CEDAR MILL 6.25" WIDTH, SAGE GREEN
 - 303 TRIM - 5/4 BOND - RUSTIC 5.5" WIDTH, COLOR LIGHT MUSTARD
 - 304 FASCIA - 2x10 WOOD, PAINTED LIGHT MUSTARD
 - 305 SOFFIT - 1X6 T&G WOOD, PAINTED LIGHT MUSTARD
 - 306 FRIEZE BOARD - 1X8 WOOD, PAINTED LIGHT MUSTARD
 - 307 6" PRE-PRIMED METAL GUTTERS AND DOWNSPOUTS, LIGHT MUSTARD
 - 308 WINDOWS - ALUMINUM CLAD WOOD - SIERRA PACIFIC DH 3X6H, DARK MUSTARD
 - 309 ENTRY DOOR - ALUMINUM STOREFRONT, AUTO-LOCK DEVICE, DARK MUSTARD
 - 310 SERVICE DOOR - HOLLOW METAL WITH STEEL FRAME, DARK MUSTARD
 - 311 ENTRY DOOR - ALUMINUM STOREFRONT, DEADBOLT AND KEY, DARK MUSTARD
 - 312 WOOD CORBELS - 4X6, PAINTED LIGHT MUSTARD

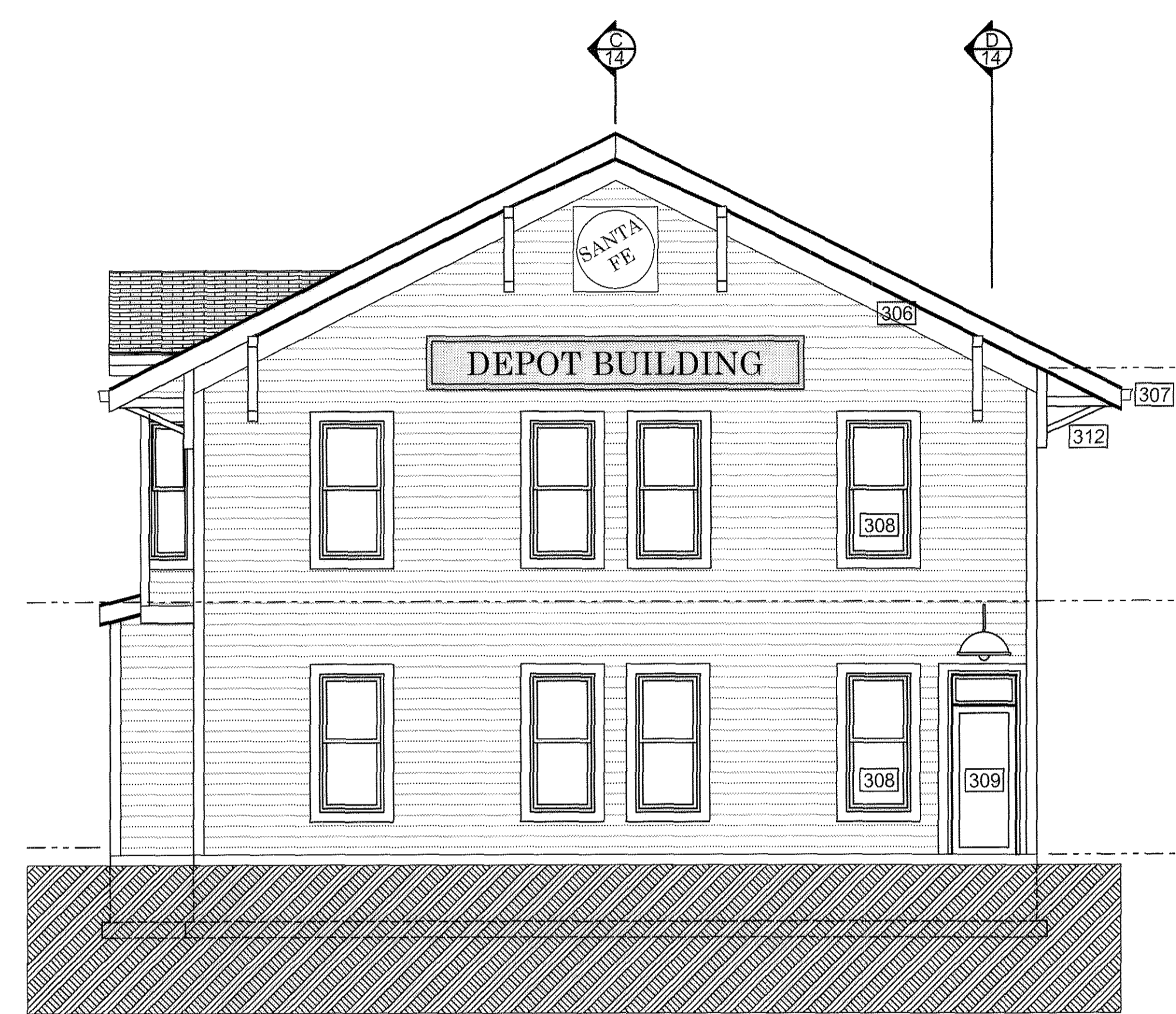


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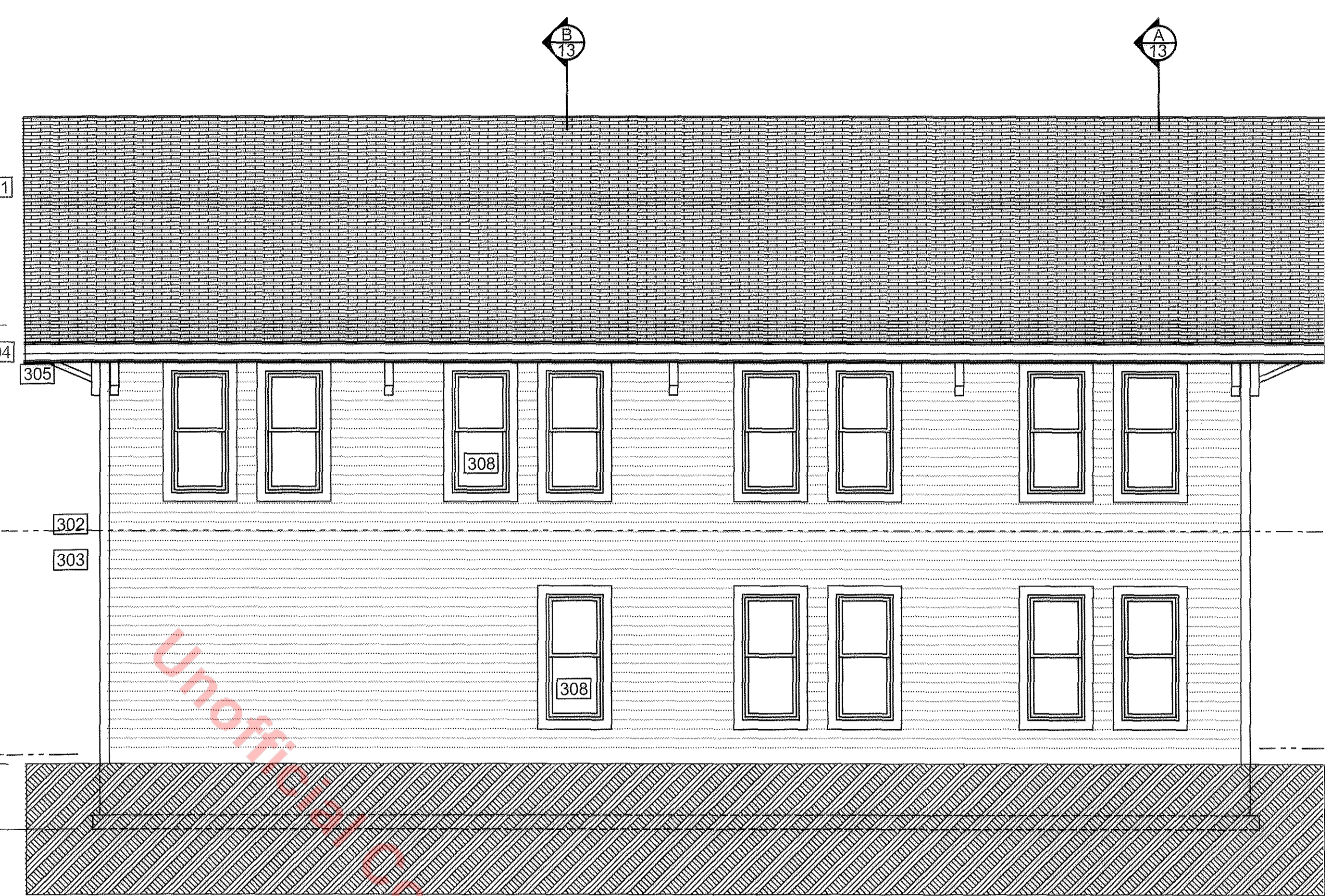
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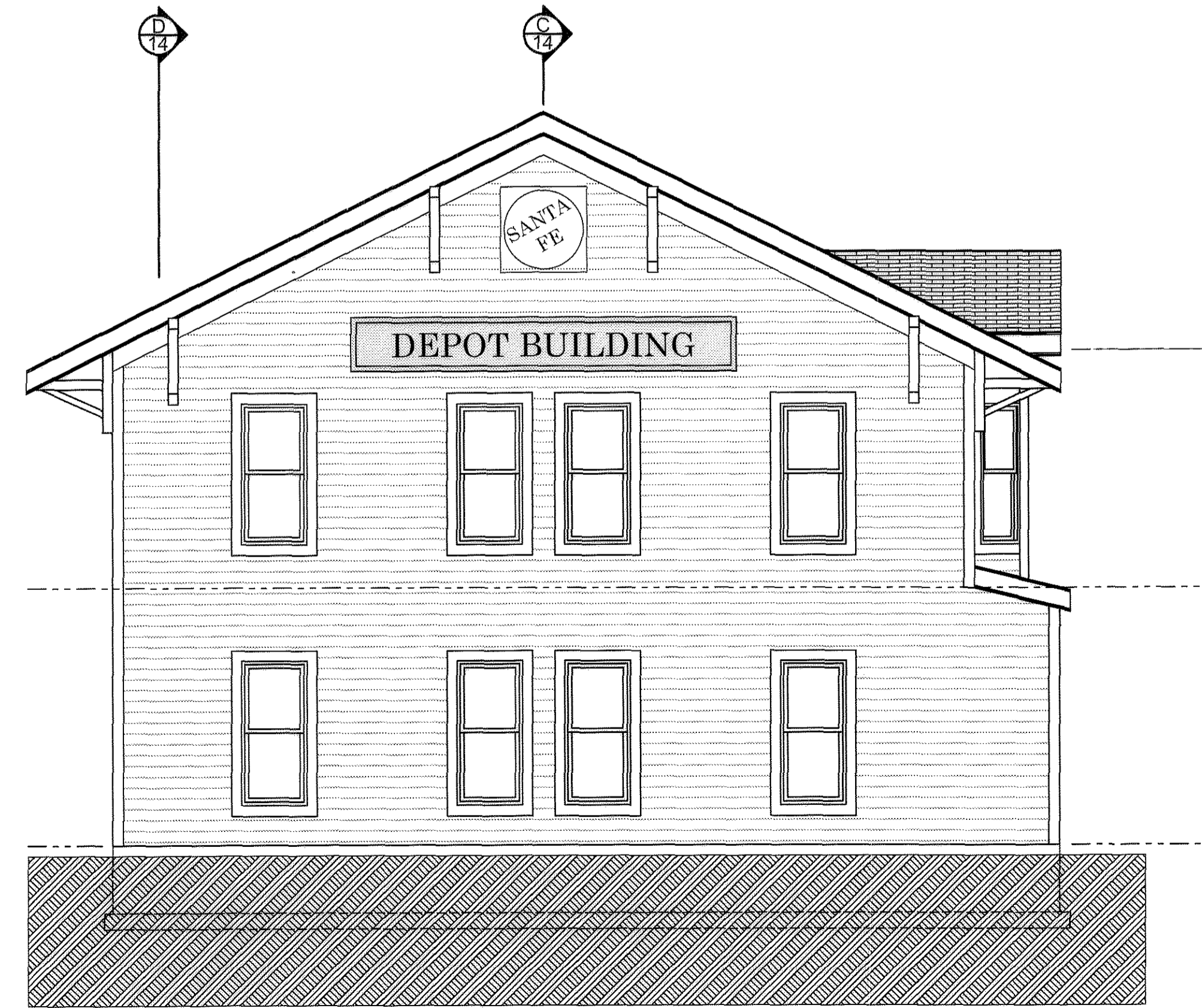
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WEST ELEVATION - DEPOT BUILDING
 3/16" = 1'-0"



SOUTH ELEVATION - DEPOT BUILDING
 3/16" = 1'-0"



EAST ELEVATION - DEPOT BUILDING
 3/16" = 1'-0"

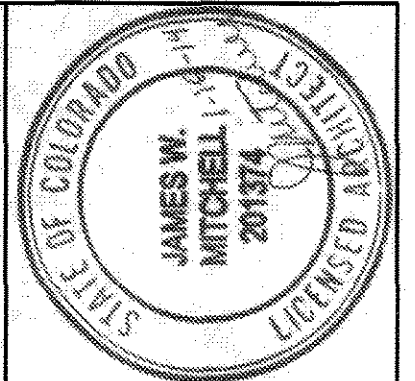


NORTH ELEVATION - DEPOT BUILDING
 3/16" = 1'-0"

DEPOT BUILDING ELEVATIONS & NOTES

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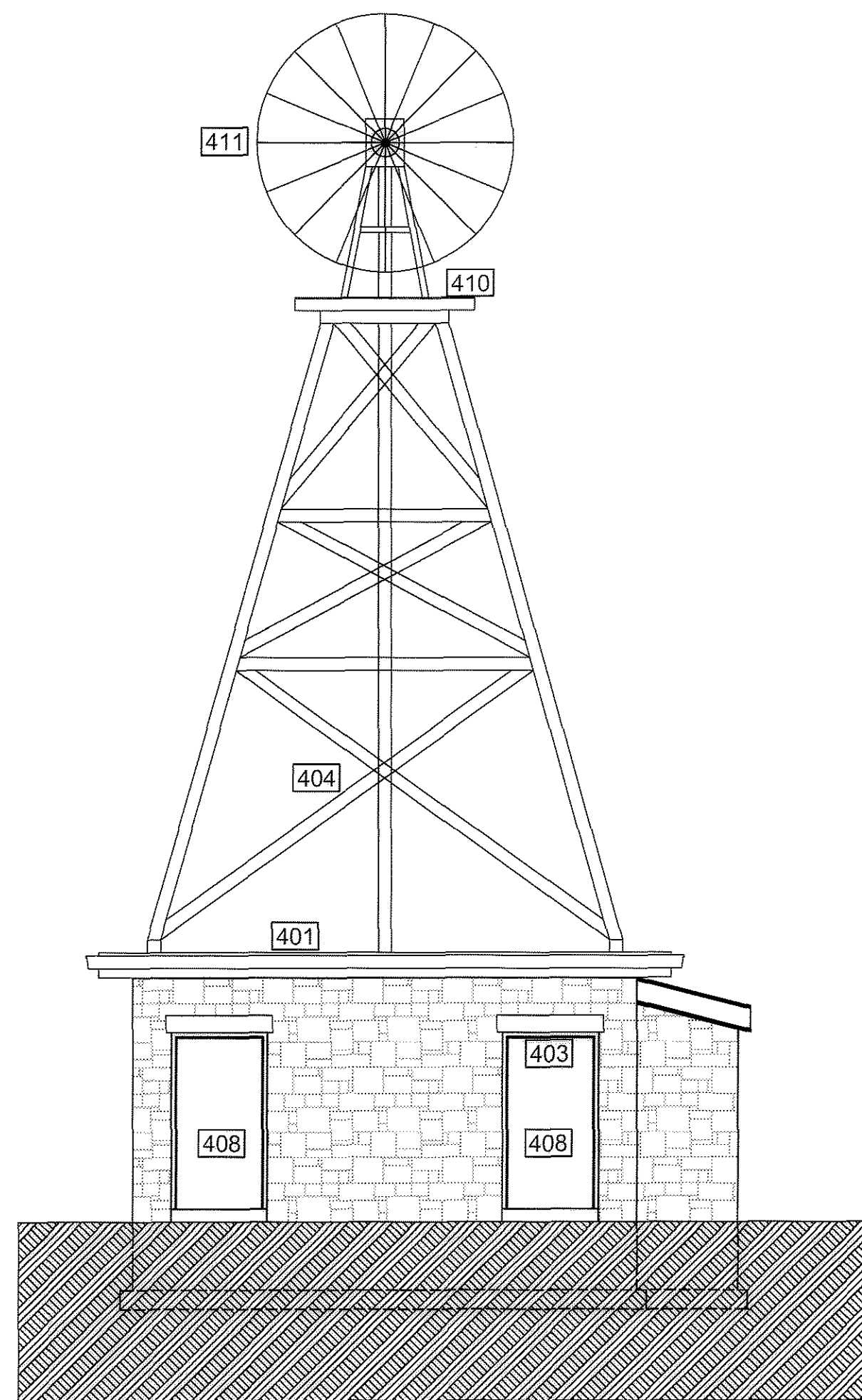


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303-795-8202

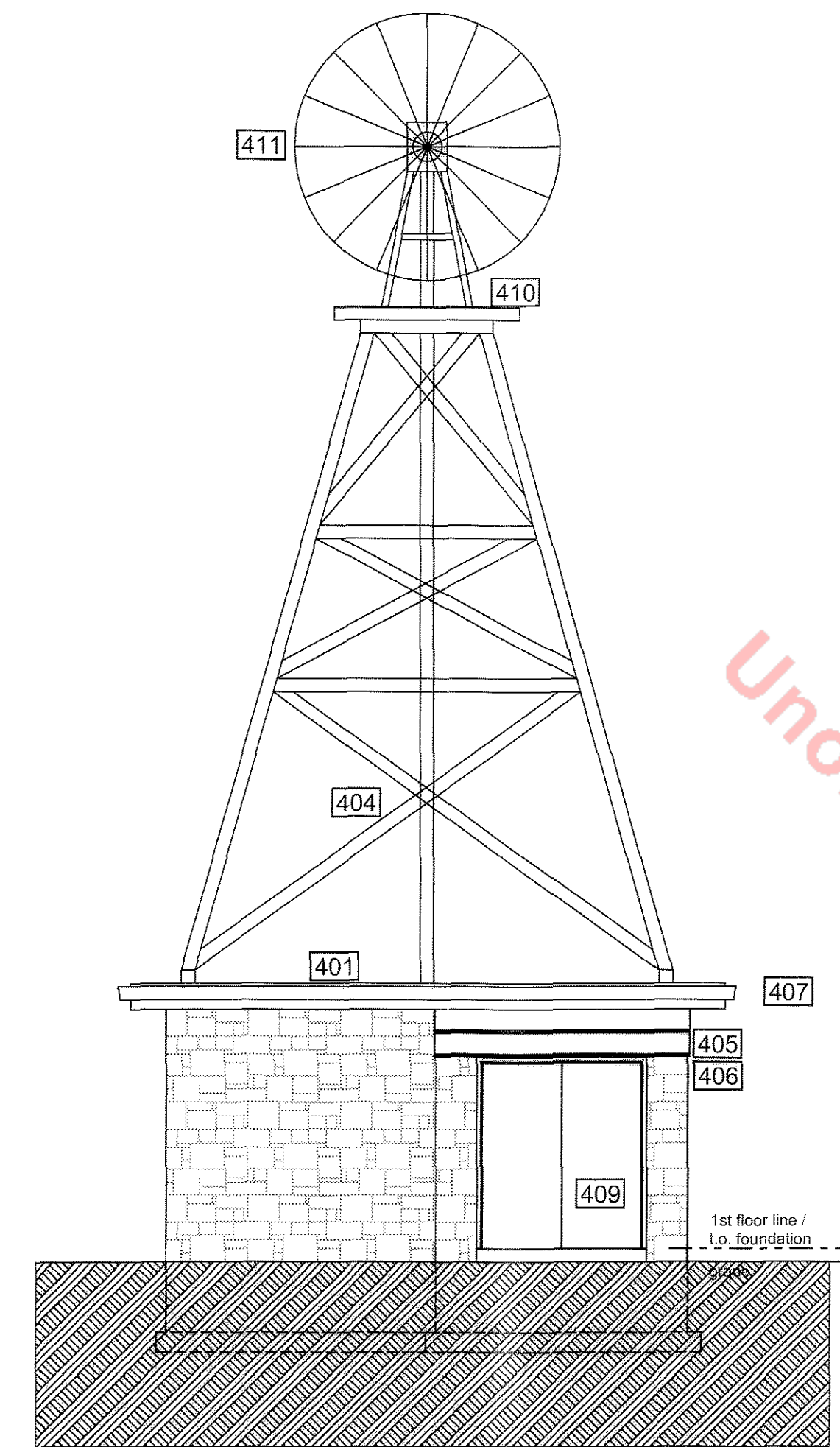
THE ACME WATERTOWER CENTER LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, COLORADO 80116
303-803-6326

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10,
TOWN OF CASTLE ROCK
PROJECT NO. SDP 14-0004

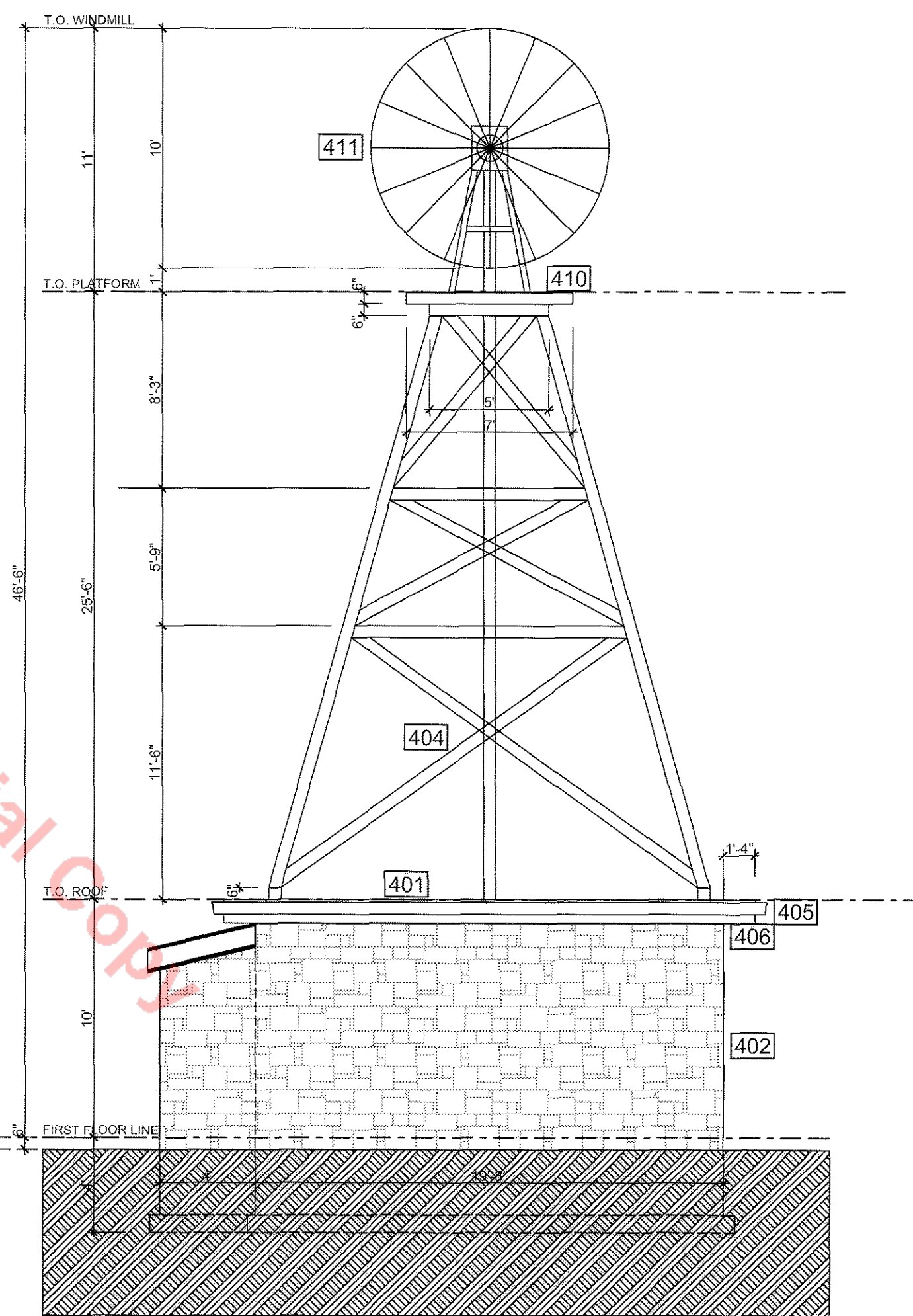
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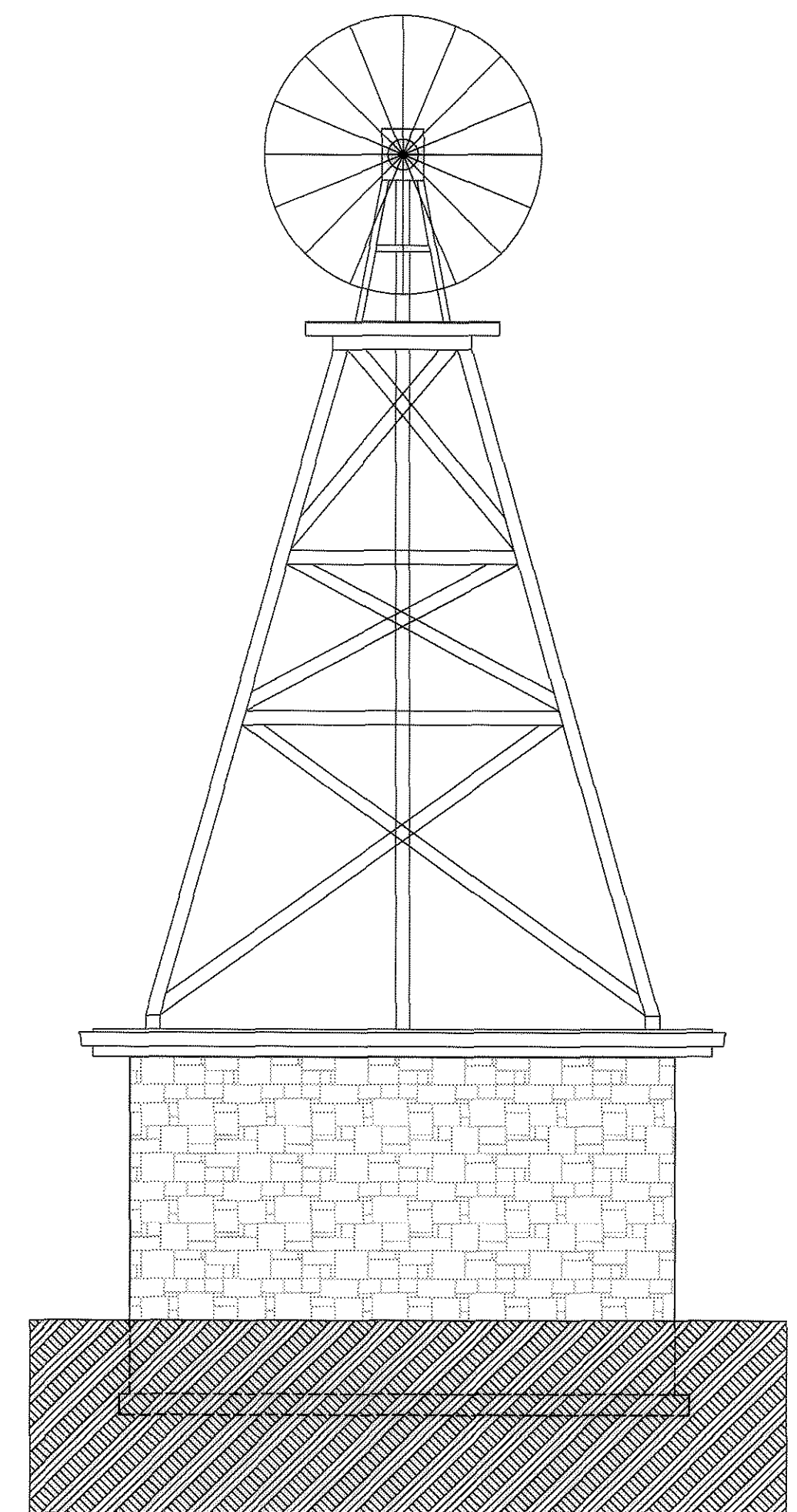
WEST - RESTROOMS / WINDMILL
3/16" = 1'-0"



SOUTH - RESTROOMS / WINDMILL
3/16" = 1'-0"



EAST - RESTROOMS / WINDMILL
3/16" = 1'-0"



NORTH - RESTROOMS / WINDMILL
3/16" = 1'-0"

WINDMILL / BATHROOM BUILDING KEYED NOTES

- 401 ROOF - EPDM SYSTEM WITH METAL FLASHED PERIMETER
- 402 STONE AND BAND - RYOLITE, NATURAL
- 403 HEADERS - RYOLITE
- 404 STEEL TUBE 6X6 PAINTED BLACK
- 405 FASCIA - 2x10 WOOD, PAINTED GREY
- 406 SOFFIT - 1X6 T&G WOOD, PAINTED GREY
- 407 6" PRE-PRIMED METAL GUTTERS AND DOWNSPOUTS, GREY
- 408 ENTRY DOOR - INSULATED HOLLOW METAL WITH STEEL FRAME-GREY
- 409 SERVICE DOOR - HOLLOW METAL WITH STEEL FRAME-GREY
- 410 DIAMOND PLATE STEEL PLATFORM-BLACK
- 411 DEMPSTER #9 WINDMILL

**WINDMILL / BATHROOM BUILDING
ELEVATIONS & NOTES**

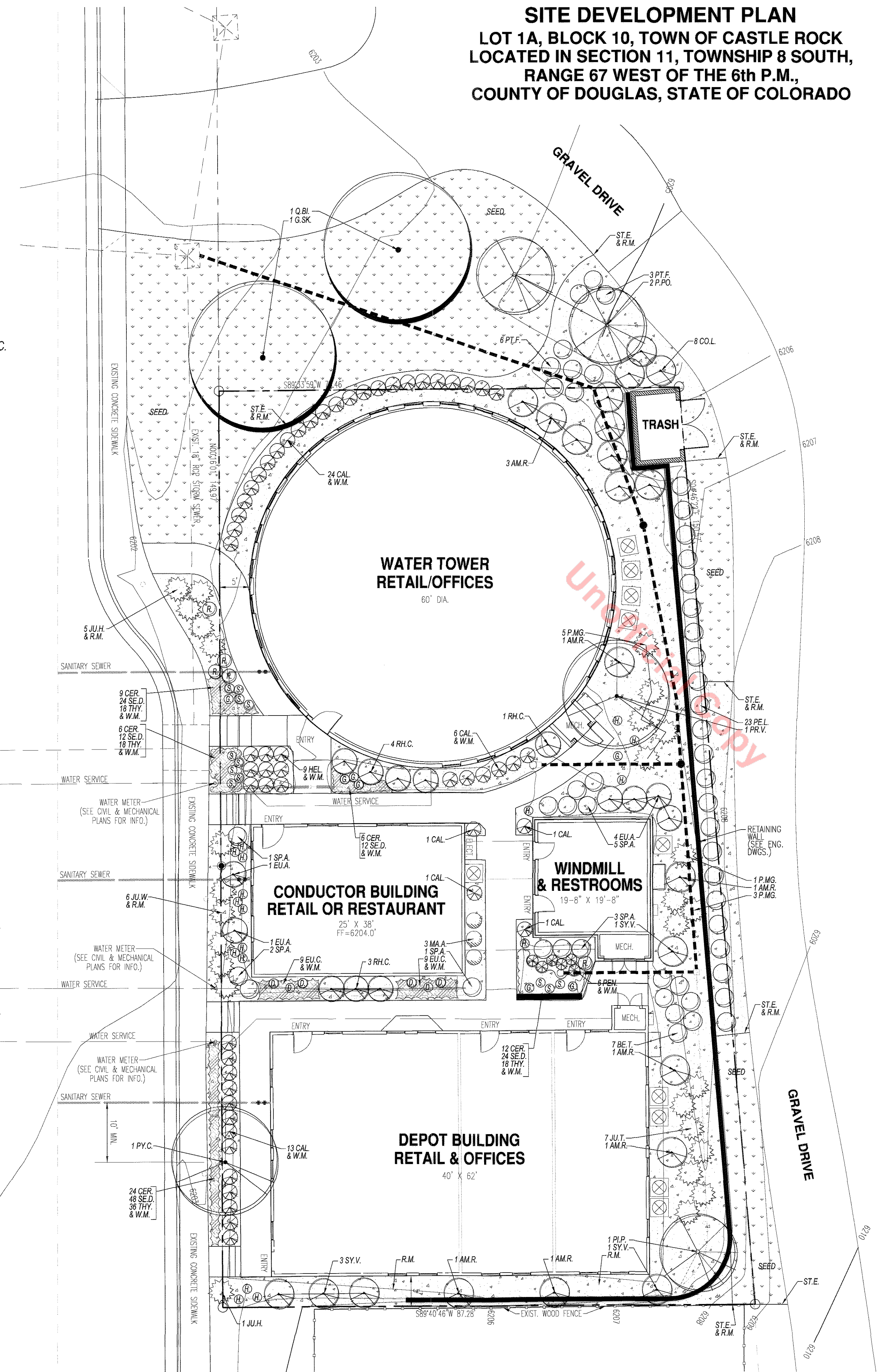
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SITE DEVELOPMENT PLAN

LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK
 LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH,
 RANGE 67 WEST OF THE 6th P.M.,
 COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

- EVERGREEN TREE
- SHADE TREE
- ORNAMENTAL TREE
- SHRUB PLANTINGS
- ORNAMENTAL GRASS
- GROUND COVERS, PERENNIALS, ETC.
- DRYLAND GRASS SEEDED AREA (NON-IRRIGATED)
- ROCK (OR WOOD) MULCH AREA
- STEEL EDGING



PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	MATURE SIZE	SPACING	HYDRO-ZONE
DECIDUOUS SHADE TREES								
1	G.SK.	GLEDTISIA X 'SKYLINE'	SKYLINE HONEYLOCUST	2.0" CAL.	B.&B.	45' HT. x 40' SPR.	40' MIN.	2,3
1	Q.BI.	QUERCUS BICOLOR	SWAMP WHITE OAK	2.0" CAL.	B.&B.	40'-60' HT. x 40'-60' SPR.	25' MIN.	2,3,4
DECIDUOUS ORNAMENTAL TREES								
1	PR.V.	PRUNUS VIRGINIANA	CANADA RED CHERRY	1.5" CAL.	B.&B.	25' HT. x 20' SPR.	20' MIN.	1,2
1	P.Y.C.	PYRUS CALLERYANA	CHANTICLEER PEAR	1.5" CAL.	B.&B.	30' HT. x 30' SPR.	20' MIN.	3,4
EVERGREEN TREES								
1	PL.P.	PICEA PLUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	6' HT.	B.&B.	60' HT. x 30' SPR.	20' MIN.	3,4
2	P.PO.	PINUS PONDEROSA	PONDEROSA PINE	6' HT.	B.&B.	60' HT. x 30' SPR.	20' MIN.	1,2,3
7	= TOTAL TREES							
DECIDUOUS SHRUBS								
9	AM.R.	AMELANCHIER X 'REGENT'	REGENT SERVICEBERRY	#5 CONT.	3'-4' HT.	6' HT. x 6' SPR.	+/-5' O.C.	2,3
7	BE.T.	BERBERIS THUNBERGII	REDLEAF BARBERRY	#5 CONT.	18"-24" HT.	3' HT. x 3' SPR.	+/-4' O.C.	2,3
8	CO.L.	COTONEASTER LUCIDUS	PEKING COTONEASTER	#5 CONT.	24"-30" HT.	8' HT. x 8' SPR.	+/-5' O.C.	2,3
6	EU.A.	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	#5 CONT.	24"-30" HT.	5' HT. x 4' SPR.	+/-4' O.C.	3
3	MA.A.	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGONGRAPE	#5 CONT.	18"-24" HT.	3' HT. x 3' SPR.	+/-3' O.C.	1,2
23	PE.L.	PEROVSKIA ATRIPLICIFOLIA 'L.S.'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT.	18"-24" HT.	3' HT. x 3' SPR.	+/-3' O.C.	1,2
9	PT.F.	POTENTILLA FRUTICOSA 'K.DYKES'	K. DYKES CINQUEFOIL	#5 CONT.	18"-24" HT.	3' HT. x 3' SPR.	+/-3' O.C.	1,2
8	RH.C.	RHAMNUS FRANGULA 'COLUMNARIS'	TALL HEDGE BUCKTHORN	#5 CONT.	4'-5' HT.	8' HT. x 3' SPR.	+/-3' O.C.	2,3
5	R.	ROSA 'MEDLAND RED'	RED SHRUB ROSE	#5 CONT.	18"-24" HT.	3' HT. x 3' SPR.	+/-3' O.C.	1,2
12	SPA.	SPIRAEA X BUMALDA 'ANTHONY WAT.'	ANTHONY WATERER SPIREA	#5 CONT.	18"-24" HT.	3' HT. x 4' SPR.	+/-3' O.C.	3
5	SY.V.	SYRINGA VULGARIS 'CHARLES JOLY'	DBL. RED FRENCH LILAC	#5 CONT.	3'-4' HT.	15' HT. x 15' SPR.	+/-5' O.C.	2,3
EVERGREEN SHRUBS								
6	JU.H.	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	#5 CONT.	18"-24" SPR.	1' HT. x 6' SPR.	+/-4' O.C.	2
6	JU.W.	JUNIPERUS HORIZONTALIS 'WILTONII'	WILTON JUNIPER	#5 CONT.	18"-24" SPR.	1' HT. x 8' SPR.	+/-4' O.C.	2
7	JU.T.	JUNIPERUS SABINA 'TAMARISCIFOL.'	TAMMY JUNIPER	#5 CONT.	18"-24" SPR.	4' HT. x 8' SPR.	+/-4' O.C.	2
9	P.MG.	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	#5 CONT.	18"-24" SPR.	3' HT. x 5' SPR.	+/-5' O.C.	2
123	= TOTAL SHRUBS							
ORNAMENTAL GRASSES								
47	CAL.	CALAMAGROSTIS ACUTIFLORA 'K.F.'	K. FOERSTER FEATHER REED	#1 CONT.	12" HT.	5' HT. x 2' SPR.	+/-30" O.C.	2,3
9	HEL.	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#1 CONT.	6" HT.	4' HT. x 3' SPR.	+/-30" O.C.	2,3
6	PEN.	PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 CONT.	12" HT.	3' HT. x 3' SPR.	+/-18" O.C.	2,3
62	= TOTAL ORNAMENTAL GRASSES							
GROUND COVERS, PERENNIALS, ORNAMENTAL GRASSES, ETC.								
13	H.	AGASTACHE CANA	DBL. BUBBLEMINT HYSSOP	#1 CONT.	6" HT.	3' HT. x 3' SPR.	+/-30" O.C.	2,3
57	CER.	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER	2.25" POT	12" SPR.	6" HT. x 1' SPR.	+/-12" O.C.	2,3
18	EU.C.	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	#1 CONT.	12" SPR.	1' HT. x 2' SPR.	+/-18" O.C.	2,3
7	G.	GAILARDIA X 'FANFARE'	DWARF BLANKET FLOWER	#1 CONT.	6" HT.	2' HT. x 2' SPR.	+/-24" O.C.	2,3
6	D.	HEMEROCALLIS X 'HYPERION'	YELLOW DAYLILY	#1 CONT.	6" HT.	2' HT. x 2' SPR.	+/-24" O.C.	2,3
12	S.	SALVIA NEMOROSA 'BLUE QUEEN'	BLUE SALVIA	#1 CONT.	6" HT.	2' HT. x 2' SPR.	+/-24" O.C.	2,3
120	SE.D.	SEDUM SPURIMUM 'DRAG. BLOOD'	SNOW-IN-SUMMER	2.25" POT	12" SPR.	6" HT. x 1' SPR.	+/-12" O.C.	2,3
90	THY.	THYMUS PRAEOCOX 'PSUEDO.'	WOOLLY THYME	2.25" POT	12" SPR.	6" HT. x 1' SPR.	+/-12" O.C.	2,3
323	= TOTAL GROUND COVERS, PERENNIALS, ETC.							

NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT QUANTITIES SHOWN AND NOTED ON THE PLAN WHICH SHALL TAKE PRECEDENCE OVER PLANT QUANTITIES LISTED IN THE PLANT LIST. PLANT SPACING DIMENSIONS ARE GENERAL PLANTING GUIDELINES ONLY. ACTUAL PLANT LOCATIONS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE IN THE EVENT OF CONFLICTING INFORMATION.

LANDSCAPE MATERIALS

R.M.	ROCK MULCH AREA - 3" LAYER OF 1.5" DIA. GRAY COLORED CRUSHED GRANITE OVER WEED BARRIER FABRIC.
SEED	DRYLAND GRASS SEEDING AREA - NON-IRRIGATED, LOW GROW NATIVE GRASS SEED MIX (SEE T.O.C.R. GESC PLAN, DETAIL #17).
ST.E.	STEEL EDGING - 6"x3"x16"x10" SIZED GREEN PAINTED, ROLLED TOP STEEL EDGER.
W.M.	WOOD MULCH AREA - 3" THICK LAYER OF SHREDDED CEDAR WOOD MULCH.

TOWN OF CASTLE ROCK NOTES:

- LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL.
- MAINTENANCE OF LANDSCAPED AREAS SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS. MAINTENANCE OF THE PROPOSED LANDSCAPING ON THE ADJACENT RIGHT-OF-WAY AREAS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- NO STREET WASHING IS ALLOWED IN THE TOWN OF CASTLE ROCK.
- PLANT SPECIES AND QUANTITIES MAY CHANGE WITH FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS.
- CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT AT 720-733-6045 FOR A PRE-CONSTRUCTION MEETING BEFORE BEGINNING THE LANDSCAPE OR IRRIGATION SYSTEM INSTALLATION.
- THE TOWN OF CASTLE ROCK RESERVES THE RIGHT TO REMOVE ANY LANDSCAPING OR INFRASTRUCTURE PLACED ON THE TOWN RIGHT-OF-WAY AREAS.

TOWN OF CASTLE ROCK
 Registration of Landscape Professional
 Michael L. Stahl - Landscape Architect
 Town of Castle Rock Landscape Professional - Design
 Certification No.: 4187
 Issued: February 21, 2014
 Expiration: March 1, 2015

TOWN OF CASTLE ROCK APPROVAL
 PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL

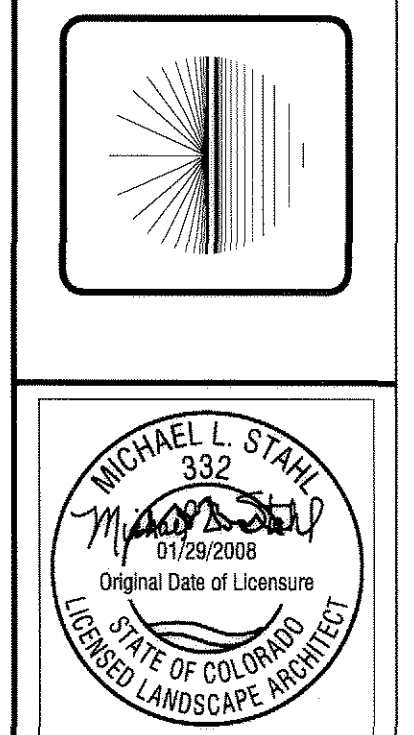
RECOMMEND APPROVAL BY: _____ DATE _____

ENGINEERING DIVISION _____ DATE _____

APPROVED BY: _____ DATE _____

DEVELOPMENT SERVICES _____ DATE _____

MICHAEL L. STAHL, INC.
 LANDSCAPE ARCHITECT
 8427 Bramblebridge Dr., Castle Pines, CO 80108
 Ph.: 303-779-6601
 E-mail: mistahl1@aol.com

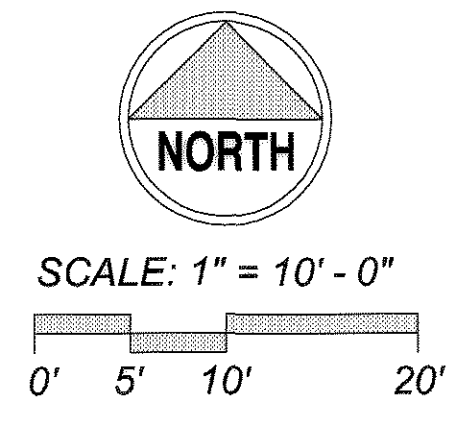


ACME WATER TOWER CENTER LLC
 367 SANDY HOLLOW TRAIL
 FRANKTOWN, CO 80116
 303-803-6326

LANDSCAPE PLAN
 ACME WATER TOWER CENTER
 SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10,
 TOWN OF CASTLE ROCK,
 PROJECT NO. SDP 14-0004

REVISIONS
02-19-14 PER T.O.C.R. COMMENTS
02-24-14 CONSTRUCTION SET
03-31-14 PER T.O.C.R. COMMENTS
04-10-14 T.O.C.R. NOTES REVISED

File Name: MSL-Land.dwg
 Plot Date: _____
 Date: 02/24/14 Sheet: _____
 Drawn: MSL 7
 Checked: MSL of
 Job No. _____
 A-1306 14



NOTE: THERE ARE NO UTILITY EASEMENTS LOCATED WITHIN THIS SITE DEVELOPMENT. SEE THE CIVIL ENGINEERED PLANS FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES, UTILITY LINES, DRAIN LINES, EASEMENTS AND GRADING.

SITE DEVELOPMENT PLAN

LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK
LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6th P.M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

WATER USAGE HYDROZONE LEGEND

- LOW WATER USE AREA:
MULCHED PLANTING BEDS,
DRIP IRRIGATED.
- LOW WATER USE AREA:
DRYLAND GRASS SEED
(NOTE: SEED AREAS SHALL BE
HAND WATERED WITH HOSES
UNTIL THE GRASS SEED IS
ESTABLISHED. NO
PERMANENT IRRIGATION
FROM THE SPRINKLER
SYSTEM PROVIDED.)

IRRIGATION LEGEND

- NOTE: THE IRRIGATION SYSTEM WATER SHALL BE SUPPLIED OFF THE BUILDING WATER METER. A DUAL METER INSTALLATION IS REQUIRED FOR THE LANDSCAPE IRRIGATION SYSTEM (SEE SECTION 4.2.3 OF THE T.O.C.R. LANDSCAPE & PERFORMANCE STANDARDS CRITERIA). SEE PLUMBING PLANS FOR ADDITIONAL MECHANICAL ROOM INFORMATION.
- RPBP ANTI-SIPHON DEVICE ASSEMBLY - 3/4" SIZED REDUCED PRESSURE BACKFLOW PREVENTER WITH MASTER VALVE ASSEMBLY.
- GATE VALVE - 1.0" MATCO 514T07X CROSS HDL.
- AUTOMATIC ELECTRIC CONTROLLER - RAINBIRD ESP-SMT6 SERIES, 6 STATION IRRIGATION CONTROLLER, WALL MOUNTED OUTDOORS (LOCATION AS SHOWN).
- SLEEVING - SIZED AS NOTED, SCHEDULE 40 PVC PIPE, 18" MIN. DEPTH, LAID TO DRAIN.
- PRESSURE MAINLINE - CLASS 200 PVC PIPE, NSF APPROVED, 1.0" SIZED, MIN. 24" DEPTH. (NOTE: ALL PRESSURE MAINLINE DEAD ENDS SHALL TERMINATE INTO A 90 DEGREE ELL AT THE LAST VALVE OR QUICK COUPLER.)
- ELECTRIC REMOTE CONTROL VALVE - RAINBIRD 75-PEB, SIZED AS NOTED, INSTALL IN A DRAINABLE APPROVED VALVE BOX.
- DRIP IRRIGATION - XCZ-100 PRF DRIP CONTROL ZONE VALVE WITH POLY PIPE (SIZED AS NOTED OR REQUIRED), AND RAINBIRD X8-10PC EMITTERS (AS REQUIRED, SEE SPECS & DETAILS SHEET). FLUSH CAPS SHALL BE INSTALLED AT THE END OF ALL DRIP LINES.
- QUICK COUPLER VALVE - RAINBIRD #3-RC BRASS QUICK COUPLER VALVE ASSEMBLY, INCL. KEY AND BRASS HOSE SWIVEL.
- RAIN SENSOR - "MINI-CLK" RAIN SENSOR TO BE INSTALLED PER MFR. SPECIFICATIONS. FIELD ADJUST ACTUAL MOUNTING LOCATION FOR OPTIMAL OPERATING EFFICIENCY AND PROTECTION FROM DAMAGE. COORDINATE WITH RELATED BUILDING CONTRACTORS FOR ANY NECESSARY CONDUITS, CONNECTIONS, ETC. NOTE: RAIN SENSOR SHALL NOT BE INSTALLED UNDER THE BUILDING EAVE AREA, OR UNDER LARGE EVERGREEN OR CANOPY TREES.

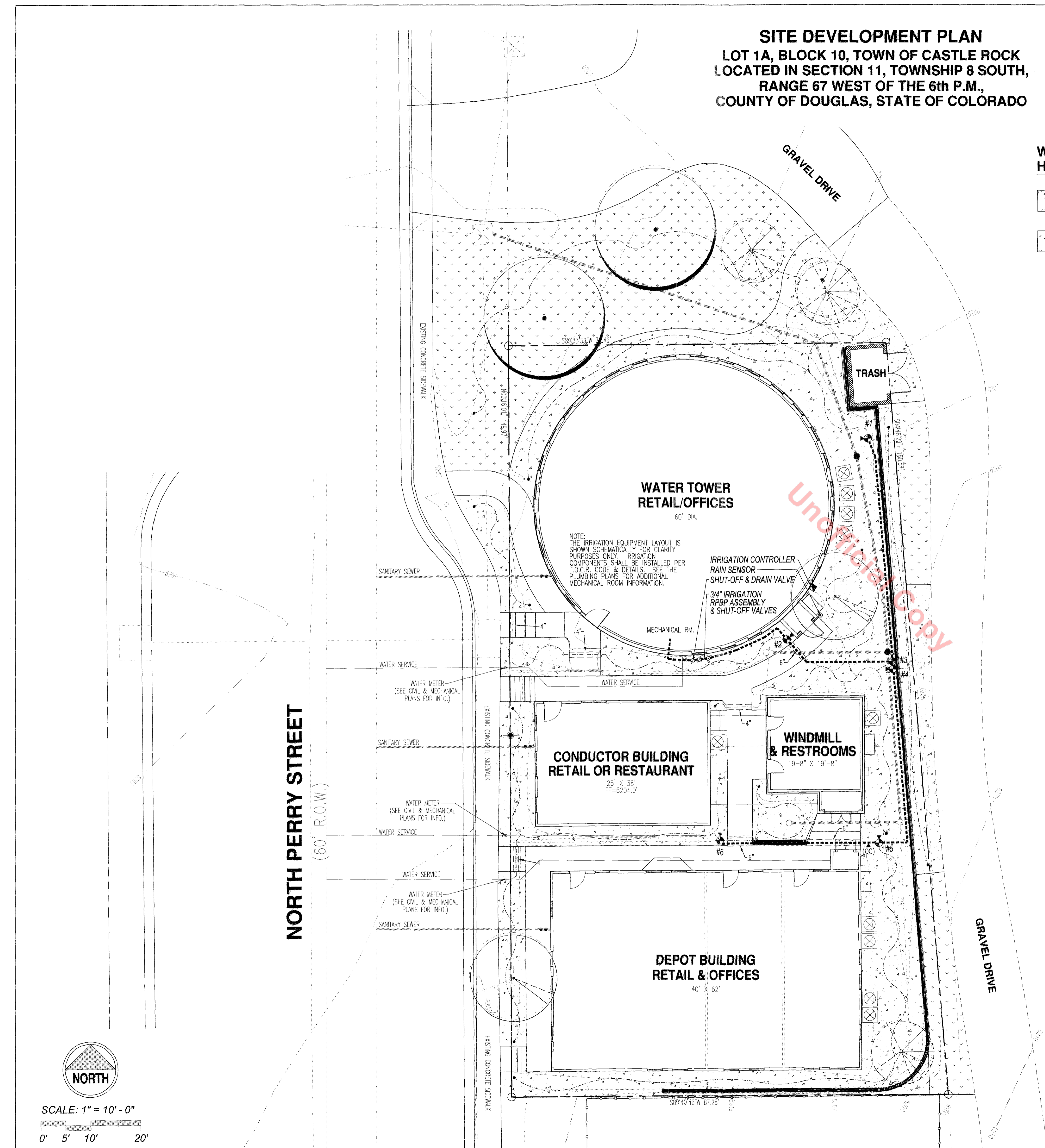
NOTES:
CONTRACTOR SHALL VERIFY WATER SERVICE AND PRESSURE INFORMATION PRIOR TO CONSTRUCTION. IF THE EXISTING ON SITE PSI READING IS LESS THAN 90 PSI, THE CONTRACTOR SHALL NOTIFY THE IRRIGATION SYSTEM DESIGNER PRIOR TO BEGINNING CONSTRUCTION. IN THE EVENT ACTUAL SITE CONDITIONS DIFFER FROM THE PLAN DRAWINGS THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE IRRIGATION SYSTEM DESIGN TO ALLOW FOR PROPER IRRIGATION SYSTEM OPERATION BASED ON VERIFIED WATER SERVICE AND PRESSURE INFORMATION. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MATCH PRECIPITATION RATES OF NOZZLE SIZES SELECTED. THE IRRIGATION PLAN LAYOUT IS DRAWN IN A SCHEMATIC FASHION FOR CLARITY PURPOSES. ACTUAL INSTALLED IRRIGATION EQUIPMENT SHALL BE FIELD ADJUSTED AS NECESSARY.

T.O.C.R. NOTES:

- LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL.
- THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.
- THE SIZE OF THE IRRIGATION TAP LINE, METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE THE SAME FROM THE TAP AT THE WATER LINE TO A DISTANCE OF TEN PIPE DIAMETERS PAST THE WINTERIZATION TEE DOWNSTREAM OF THE BACKFLOW PREVENTION ASSEMBLY.

TOWN OF CASTLE ROCK STANDARD NOTES:

- THE BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED BY A COLORADO STATE CERTIFIED CROSS-CONNECTION CONTROL TECHNICIAN APPROVED BY THE UTILITIES DEPARTMENT AT THE TIME OF INSTALLATION AND NO LESS THAN ANNUALLY THEREAFTER.
- IRRIGATION AMOUNTS TO BE ADJUSTED SEASONALLY.
- IRRIGATION SYSTEMS ARE TO BE WINTERIZED ANNUALLY IN THE FALL.
- ALL SPRINKLER HEADS TO BE ADJUSTED TO MINIMIZE/ELIMINATE OVER SPRAY ON TO HARD SURFACES OR UNINTENDED AREAS. PER TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN WATER WASTE IS NOT ALLOWED.
- IRRIGATION SYSTEMS MUST BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WASTER USE MANAGEMENT PLAN. CURRENT COMMERCIAL HOURS OF OPERATION ARE EVERY THIRD DAY 10 PM TO 5 AM.
- THE IRRIGATION SYSTEM MUST MEET A MINIMUM DISTRIBUTION UNIFORMITY (75 %) REQUIREMENT, AS SET BY THE TOWN OF CASTLE ROCK AND RESERVES THE RIGHT TO PERFORM AN IRRIGATION AUDIT PERFORMED BY THE TOWN OF CASTLE ROCK PAID FOR BY THE CONTRACTOR OR BY A CERTIFIED IRRIGATION AUDITOR PRIOR TO ISSUANCE OF AN OCCUPANCY CERTIFICATE. ALL WATER AUDITS TO BE APPROVED BY TOWN AND LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF SOD.
- OVERHEAD IRRIGATION INSTALLED IN AREAS LESS THAN 10' IN WIDTH WILL NOT BE APPROVED BY TOWN OF CASTLE ROCK INSPECTORS.
- CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT AT 720-733-6045 FOR A PRE-CONSTRUCTION MEETING BEFORE BEGINNING THE LANDSCAPE OR IRRIGATION SYSTEM INSTALLATION.



Unauthorized Copy

TOWN OF CASTLE ROCK
Registration of Landscape Professional
Michael L. Stahl - Landscape Architect
Town of Castle Rock Landscape Professional - Design
Certification No.: 4187
Issued: February 21, 2014
Expiration: March 1, 2015

TOWN OF CASTLE ROCK APPROVAL
PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM
DATE OF DEVELOPMENT SERVICES APPROVAL

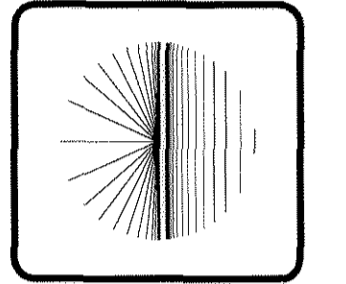
RECOMMEND APPROVAL BY: _____ DATE _____

ENGINEERING DIVISION _____ DATE _____

APPROVED BY: _____ DATE _____

DEVELOPMENT SERVICES _____ DATE _____

MICHAEL L. STAHL, INC.
LANDSCAPE ARCHITECT
8427 Bramberidge Dr., Castle Pines, CO 80108
Ph.: 303-779-6601
E-mail: mlstahl1@aol.com



ACME WATER TOWER CENTER LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, CO 80116
303-803-6326

IRRIGATION PLAN
ACME WATER TOWER CENTER
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10,
TOWN OF CASTLE ROCK,
PROJECT NO. SDP 14-0004

REVISIONS
02-19-14 PER T.O.C.R. COMMENTS
02-24-14 CONSTRUCTION SET
03-31-14 PER T.O.C.R. COMMENTS

File Name: MLS-Land.dwg
Plot Date: _____
Date: 02/24/14
Drawn: MLS
Checked: MLS
Job No. _____
Sheet: **9**
of
14

A-1306

SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK
LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6th P.M.,
COUNTY OF DOUGLAS, STATE OF COLORADO

IRRIGATION SPECIFICATIONS

- 1) THE IRRIGATION SYSTEM WATER SHALL BE SUPPLIED OFF OF THE BUILDING WATER METER. A DUAL METER INSTALLATION IS REQUIRED FOR THE LANDSCAPE IRRIGATION SYSTEM (SEE SECTION 4.2.3 OF THE T.O.C.R. LANDSCAPE & PERFORMANCE STANDARDS CRITERIA)...
2) SLEEVES SHALL BE SCHEDULE 40 PVC PIPE OF ADEQUATE SIZE TO ACCOMMODATE SPECIFIED PIPES AND WIRES...
3) PVC PIPE SHALL BE INSTALLED IN OPEN TRENCHES...
4) PIPE SUPPLIED SHALL BE CONTINUOUSLY MARKED WITH MFR. NAME, TYPE, SIZE, IPS, AND NSF APPROVAL...
5) FITTINGS FOR PVC PIPE SHALL BE SCH. 40 PVC SOCKET TYPE FITTINGS...
6) 1/2" DRAIN VALVES SHALL BE INSTALLED AT LOW POINTS OF THE PRESSURE LINE...
7) ELECTRIC CONTROLLER SHALL BE OF TYPE NOTED ON PLAN DRAWINGS...
8) ELECTRIC REMOTE CONTROL VALVES SHALL BE OF TYPE AND SIZE NOTED ON PLAN DRAWINGS...
9) ELECTRIC CONTROL WIRES SHALL BE 24 VOLT UF DIRECT BURIAL...
10) DRIP IRRIGATION PIPING AND NOZZLE LAYOUT SHOWN ON PLAN DRAWINGS IS SCHEMATIC ONLY...
11) QUICK COUPLER VALVES SHALL BE OF TYPE NOTED ON PLAN DRAWINGS...
12) IRRIGATION SYSTEM MATERIAL AND WORKMANSHIP SHALL BE FULLY (100 %) GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WORK ACCEPTANCE...
13) BEFORE RECEIVING FINAL ACCEPTANCE OF WORK BY T.O.C.R., CONTRACTOR SHALL SUPPLY A REPRODUCIBLE "AS-BUILT" IRRIGATION PLAN DRAWINGS...

IRRIGATION CHART
Registered Professional: Michael Stahl
Registration #: 4187
Date: 2-19-2014
Company Name: Michael L. Stahl, Inc. - Landscape Architect
Address: 8427 Brambleridge Dr., Castle Pines, CO 80108
Phone: 303-779-6601
Email: MLSTAH1@aol.com
Clock Make: RAINBIRD
Model: ESP-SMTe

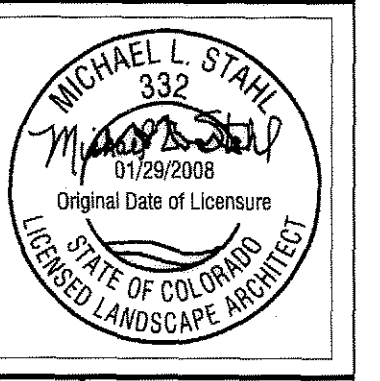
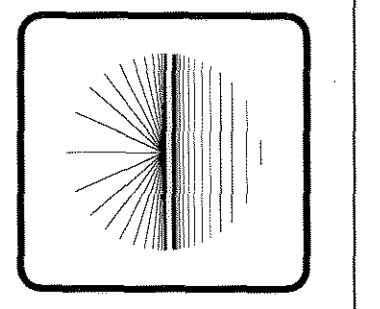
Table with 11 columns: Zone, Hydrozone, Plant Type, Head Type, Nozzle, App. Rate, GPM, Inches/Month, Run Time, Run Time, Water Usage. Includes a 'Total' row at the bottom.

Unofficial Copy

Irrigation System Hydraulic Worksheet
Project Name: ACME WATER TOWER CENTER
Project Location: Lot 1A, Block 10, Castle Rock, CO
Date: February 19, 2014
Prepared by: Michael L. Stahl, Inc. - Landscape Architect
Current TOCR Registration #: 4187
Tap Size: 0.75"
Static Water Pressure: 92 psi
Hydraulic Grade At Zone: 6204
Company: T.O.C.R. Water Company
Service Line to meter: 50 LF
Water Meter: 0.75
Service Line (meter to backflow): 5 LF
Backflow: 0.75
Master Valve: 1
Pressure Required at Head: 30
Lateral Allowance: 0.00
Control Valve Allowance: 2.00
Mainline Allowances: Length of Mainline, Pipe Material, Size, Gals., GPM
Elevation: Tap elevation 6,204, High/Low: 6,208
Total System requirements (PSI): 50.56
Available System Pressure (PSI): 92.00
Town of Castle Rock provides a minimum of 43 psi

Total irrigated area for tap #1 is 3,660 sf.
(Note: This sf. matches the irrigated portion of the "COMMERCIAL LANDSCAPE SITE INVENTORY" chart. It does not include the non-irrigated Native Grass Seed area sf.)
NOTE: CONTRACTOR SHALL VERIFY WATER SERVICE AND PRESSURE INFORMATION PRIOR TO CONSTRUCTION. IF THE EXISTING ON SITE PSI READING IS LESS THAN 90 PSI, THE CONTRACTOR SHALL NOTIFY THE IRRIGATION SYSTEM DESIGNER PRIOR TO BEGINNING CONSTRUCTION.

MICHAEL L. STAHL, INC.
LANDSCAPE ARCHITECT
8427 Brambleridge Dr., Castle Pines, CO 80108
Ph.: 303-779-6601
E-mail: mlstahl1@aol.com



IRRIGATION CHARTS, SPECS & NOTES
ACME WATER TOWER CENTER LLC
367 SANDY HOLLOW TRAIL
FRANKTOWN, CO 80116
303-803-6326

ACME WATER TOWER CENTER
SITE DEVELOPMENT PLAN
LOT 1A, BLOCK 10
TOWN OF CASTLE ROCK
PROJECT NO. SDP 14-0004

REVISIONS table with columns for date, description, and comments.

TOWN OF CASTLE ROCK APPROVAL
PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM DATE OF DEVELOPMENT SERVICES APPROVAL
RECOMMEND APPROVAL BY:
ENGINEERING DIVISION DATE
APPROVED BY:
DEVELOPMENT SERVICES DATE

TOWN OF CASTLE ROCK
Registration of Landscape Professional
Michael L. Stahl - Landscape Architect
Town of Castle Rock Landscape Professional - Design
Certification No.: 4187
Issued: February 21, 2014
Expiration: March 1, 2015

Table with columns for File Name, Date, Drawn, Checked, Job No., Sheet, and Page number.

SITE DEVELOPMENT PLAN

LOT 1A, BLOCK 10, TOWN OF CASTLE ROCK
 LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH,
 RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF DOUGLAS, STATE OF COLORADO

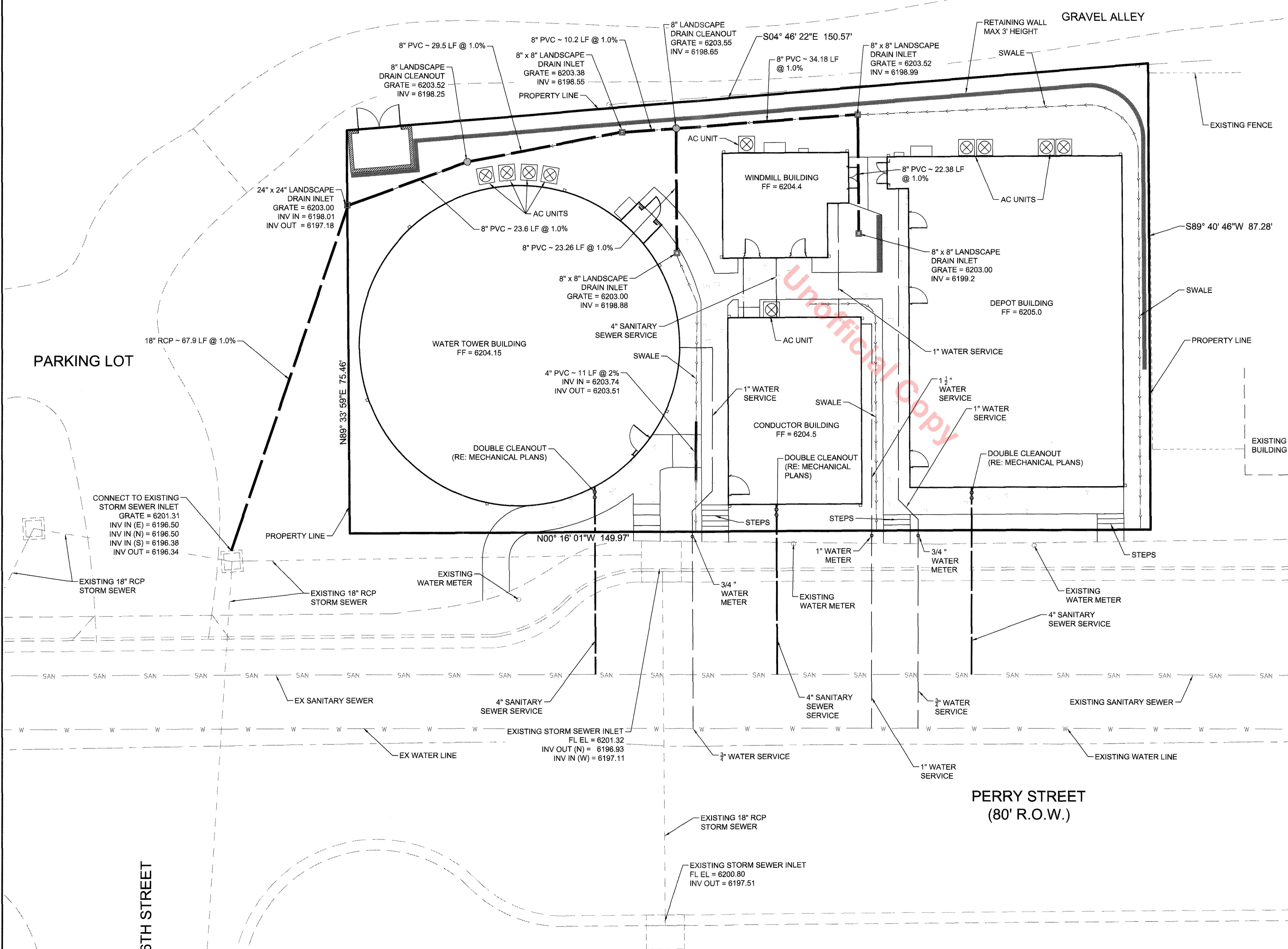
PROPOSED	LEGEND:	EXISTING
	PROPERTY BOUNDARY	
	RIGHT-OF-WAY-LINE	
	CONTOUR - MAJOR	
	CONTOUR - MINOR	
	UNDERGROUND ELECTRIC	
	FENCE	
	SANITARY SEWER	
	WATERLINE	
	STORM SEWER	
	CENTERLINE SWALE	
	AC UNIT	
	CLEANOUT (STORM)	
	CLEANOUT (SANITARY)	
	DUMPSTER	
	STORM INLET	
	SIDEWALK	

ABBREVIATIONS:

AC	AIR CONDITIONING	LP	LOW POINT
BOS	BOTTOM OF STAIR	MAX	MAXIMUM
BW	BOTTOM OF WALL	ME	MATCH EXISTING
CONC	CONCRETE	NTS	NOT TO SCALE
EL	ELEVATION	PL	PROPERTY LINE
EX	EXISTING	PT	POINT OF TANGENCY
FF	FINISH FLOOR	PVC	POLYVINYL CHLORIDE
FL	FLOWLINE	RCP	REINFORCED CONCRETE PIPE
FH	FIRE HYDRANT	RE	REFER TO
FG	FINISH GRADE	ROW	RIGHT-OF-WAY
GB	GRADE BREAK	SW	SIDEWALK
HP	HIGH POINT	TOS	TOP OF STAIR
INV	INVERT	TW	TOP OF WALL
LF	LINEAR FEET	TYP	TYPICAL

- NOTES:**
- PROPOSED DEVELOPMENT IS LOCATED IN LOT 1A, BLOCK 10. THE TOTAL LOT AREA IS 12,209.5 S.F. OR 0.28 ACRES.
 - BASIS OF BEARING: NORTH LINE OF THE NW 1/4 SEC 11, T8S, R67W, BEING N00°00'00"W.
 - SITE BENCHMARK: TOP OF #5 REBAR LOCATED AT NORTHEAST CORNER OF PROPERTY, ELEVATION 6206.32, NAVD 88.

- UTILITY NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE IS 5 FEET.
 - THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK TANK FIVE YELLOW WATER PRESSURE ZONE.
 - UTILIZE EXISTING WATER AND SANITARY SERVICES WHERE POSSIBLE.
 - ANY SERVICES NOT USED WILL HAVE TO BE ABANDONED BACK TO THE MAIN.



ACME WATER TOWER CENTER
 SITE DEVELOPMENT PLAN
ACME WATER TOWER CENTER
 367 SANDY HOLLOW TR
 FRANKTOWN, CO 80116
 PREPARED FOR:

ISSUE DATE:	4/1/14
DATE	
REVISIONS	
BY	

DESIGNED BY: KJS
 DRAWN BY: KJS
 JOB NUMBER: 131203

SITE DEVELOPMENT PLAN
 LOT 1A, BLOCK 10
 TOWN OF CASTLE ROCK
 PROJECT NO. SDP 14-004

SHEET NUMBER:
13 OF 14

GENERAL UTILITY PLAN

