

SITE DEVELOPMENT PLAN

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- PER PRELIMINARY FIRM PANEL 08035C0301G, DATED JULY 11, 2014, THE 100-YEAR FLOOD PLAN DOES NOT IMPACT THE SITE.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THERE ARE NO TRACTS BEING DEDICATED WITH THIS APPLICATION.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED B: BUSINESS/COMMERCIAL, AND IS IN THE DOWNTOWN OVERLAY DISTRICT, DOWNTOWN CORE DISTRICT.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MAINTENANCE.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS OR DRIVEWAYS GREATER THAN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

OWNER:
 SU, LLC
 858 S. VALLEJO ST.
 DENVER, CO. 80223
CONTACT:
 MANNA PAN
 PHONE NO. 720-323-3828

SURVEYOR/ENGINEER
 DAVID E. ARCHER & ASSOCIATES
 105 WILCOX STREET,
 CASTLE ROCK, CO 80104
CONTACT: KEVIN ARCHER
 PHONE NO. 303-688-4642

ARCHITECT
 ARCHWEST ARCHITECTS
 2406 W. 32ND AVENUE, SUITE A
 DENVER, CO 80211
 PHONE NO. 303-455-7741

LANDSCAPE ARCHITECT:
 TERI HENSEN
 1031 SURLYN COURT
 CASTLE ROCK, CO 80109
 PHONE NO. 720-936-6949

OWNERSHIP CERTIFICATE
 THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

SU, LLC, A COLORADO LIMITED LIABILITY COMPANY
 BY Manna Pan AS OWNER
 SIGNED THIS 22ND DAY OF January, 2016

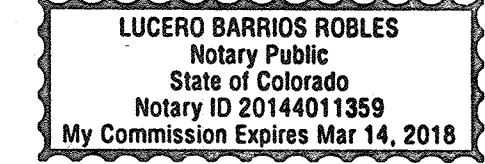
NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 22ND DAY OF January, 2016
 BY Manna Pan AS owner

OF SU, LLC, A COLORADO LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL.

Lindsay Dunston
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 3/14/18



LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE DEEDS OF TRUSTS RECORDED NOVEMBER 18, 2015 AT RECEPTION NOS. 2015083009 AND 2015083010, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

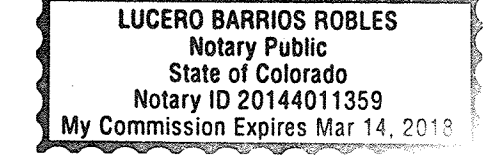
BY Martin Mahalichik
 SIGNED THIS 22ND DAY OF January, 2016

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 22ND DAY OF January, 2016
 BY Martin Mahalichik AS Bank representative

WITNESS MY HAND AND OFFICIAL SEAL.

Lindsay Dunston
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 3/14/18



TITLE CERTIFICATION

I, Brandi Bee Kar, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

BY Brandi Bee Kar
 AUTHORIZED REPRESENTATIVE

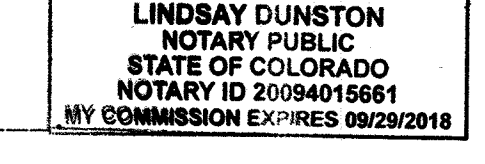
LAND TITLE GUARANTEE COMPANY
 SIGNED THIS 28TH DAY OF January, 2016

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 28TH DAY OF January, 2016
 BY Brandi Bee Kar AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company

WITNESS MY HAND AND OFFICIAL SEAL.

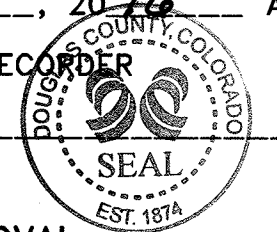
Lindsay Dunston
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/29/18



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
 THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:00 pm ON THE 22ND DAY OF February, 2016 AT RECEPTION NO. 2016010149

DOUGLAS COUNTY CLERK AND RECORDER
 BY: Jody Blausen
 DEPUTY



DESIGN REVIEW BOARD APPROVAL
 THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 18TH DAY OF NOVEMBER, 2015

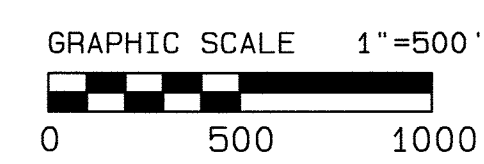
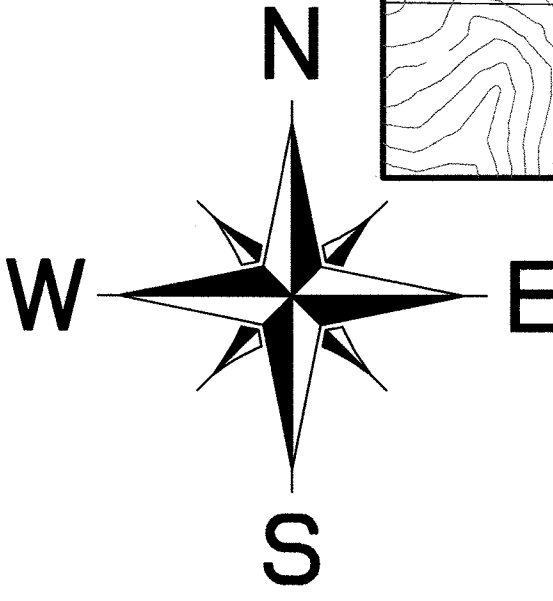
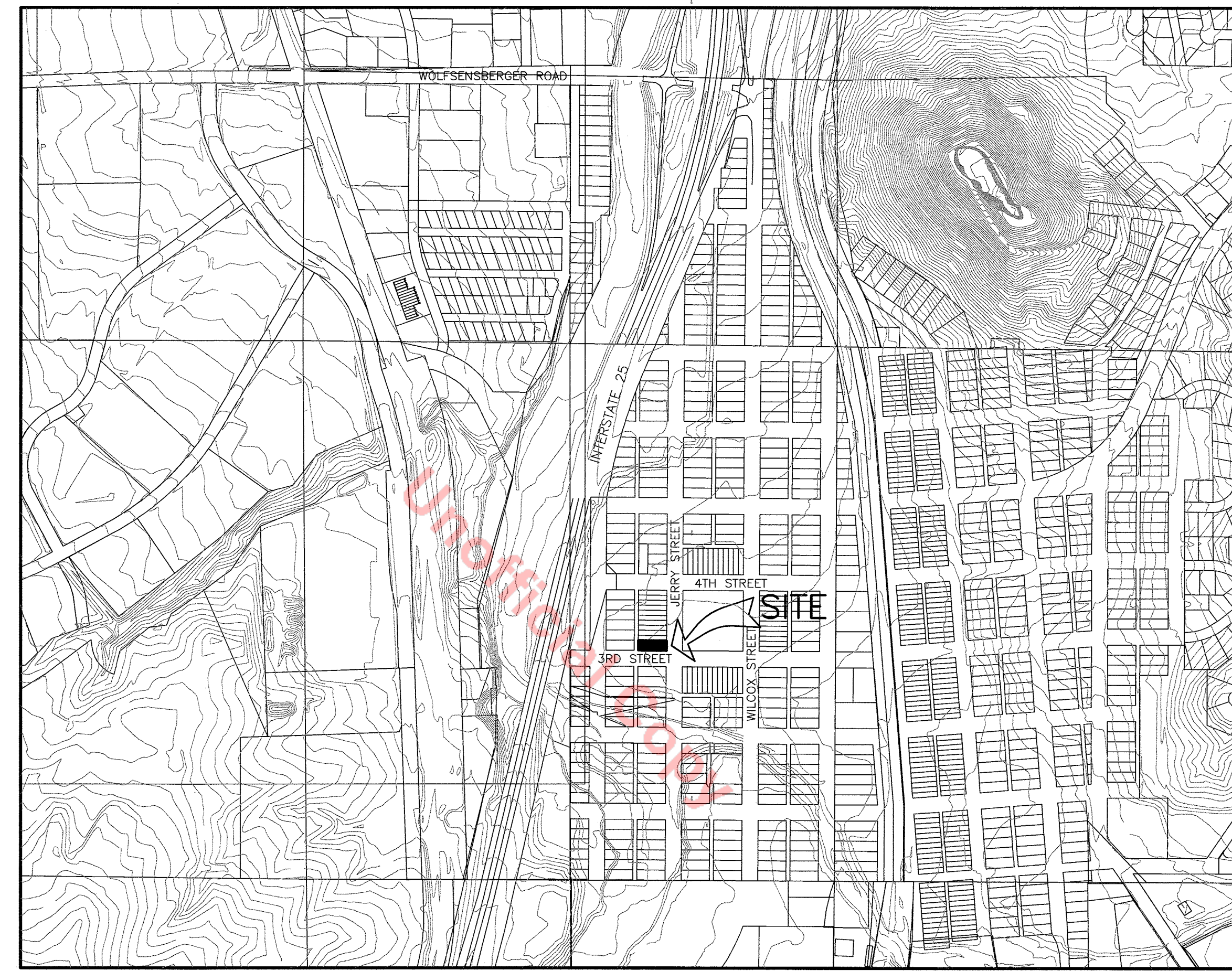
CHAIR: [Signature] DATE: 2/19/16

ATTEST: [Signature] DATE: 2/19/16

DEVELOPMENT SERVICES DIRECTOR

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK SITE DEVELOPMENT PLAN

PROJECT NO. SDP15-0019



VICINITY MAP
 1"=500'

CONTACTS:
 TOWN OF CASTLE ROCK
 UTILITIES DEPT.
 PHONE: (720)733-6000

GAS:
 BLACK HILLS ENERGY
 PHONE: (800) 890-5554

ELECTRIC:
 IREA
 PHONE: 303-688-3100

TELEPHONE:
 CENTURY LINK COMMUNICATIONS
 PHONE: 720-578-5142

SUMMARY TABLE

LOT AREA	0.16 AC (7,000 SF)
EXISTING BUILDINGS TO REMAIN	817
PROPOSED BUILDING FOOTPRINT	3,329 SF
EX. CONC. & WOOD STEPS TO REMAIN	313 SF
PROPOSED CONCRETE	1142 SF
OPEN/LANDSCAPE	1,400 SF
MAXIMUM FLOOR AREA RATIO	0.59 FAR
SETBACKS	FRONT: 0', REAR: 0', SIDES: 0'
MAX BUILDING HEIGHT ALLOWED	60 FEET
MAX BUILDING HEIGHT PROPOSED	28.0 FEET
SINGLE FAMILY EQUIVILANT UNITS (SFE)	2

PARKING REQUIRED

EXISTING RETAIL 4 SPACES/1000 GFA	4 x 1 = 4 SPACES
PROPOSED RESTAURANT 12 SPACES PER/100 GFA	12 x 4 = 48 SPACES
TOTAL PARKING REQUIRED	52 SPACES
PARKING PROVIDED	PARKING PROVIDED BY ADJACENT OFFSITE PARKING LOTS

LEGAL DESCRIPTION
 LOTS 11 & 12, BLOCK 17
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

PROJECT BENCHMARK:

THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCGM 3020015 ELEVATION 6255.22 AND IS ON NAVD88 DATUM.

SURVEYOR'S CERTIFICATE

I, DEE ALLEN BIRD, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THEM.
Dee Allen Bird
 DEE ALLEN BIRD DATE: 1-15-16

CIVIL ENGINEER'S STATEMENT

I, KEVIN E. ARCHER, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWNSHIP OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
Kevin E. Archer
 KEVIN E. ARCHER DATE: 1-15-16

SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 6	COVER SHEET
2 OF 6	SITE PLAN & GENERAL GRADING & UTILITIES PLAN
3 OF 6	CONCEPTUAL LANDSCAPE PLAN
4 OF 6	BUILDING ELEVATIONS
5 OF 6	BUILDING ELEVATIONS & GENERAL LIGHTING SPECIFICATIONS
6 OF 6	GENERAL LIGHTING PLAN

REVISIONS	COMMENTS
	10-15-15

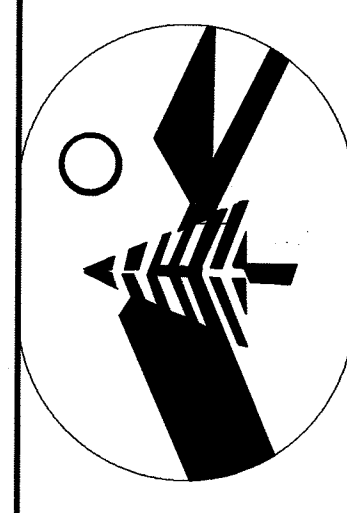
DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING SURVEYING & ENGINEERING
 PHONE (303) 688-4642
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

SITE DEVELOPMENT PLAN
 LOT 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK IN SEC. 11, T8S, R67E DOUGLAS COUNTY, COLORADO.
 CLIENT: ARCHWEST ARCHITECTS
 SHEET: 1 OF 6
 JOB NUMBER: 14-1120

SITE DEVELOPMENT PLAN

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO



DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING
 ARCHITECTURE & ENGINEERING
 105 WILCOX ST. CASTLE ROCK, COLORADO 80104

REVISIONS
 COMMENTS 10-15-15

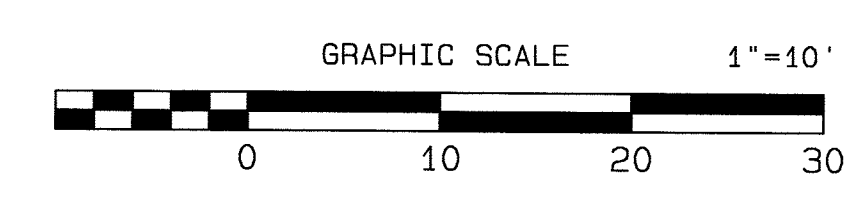
LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
 IN SEC. 11 T8S. R67W. TOWN OF CASTLE ROCK
 DOUGLAS COUNTY, COLORADO

SITE & GENERAL GRADING & UTILITIES PLAN

CONTACT: ARDMEST ARCHITECTS
 PHONE: 303-455-7741

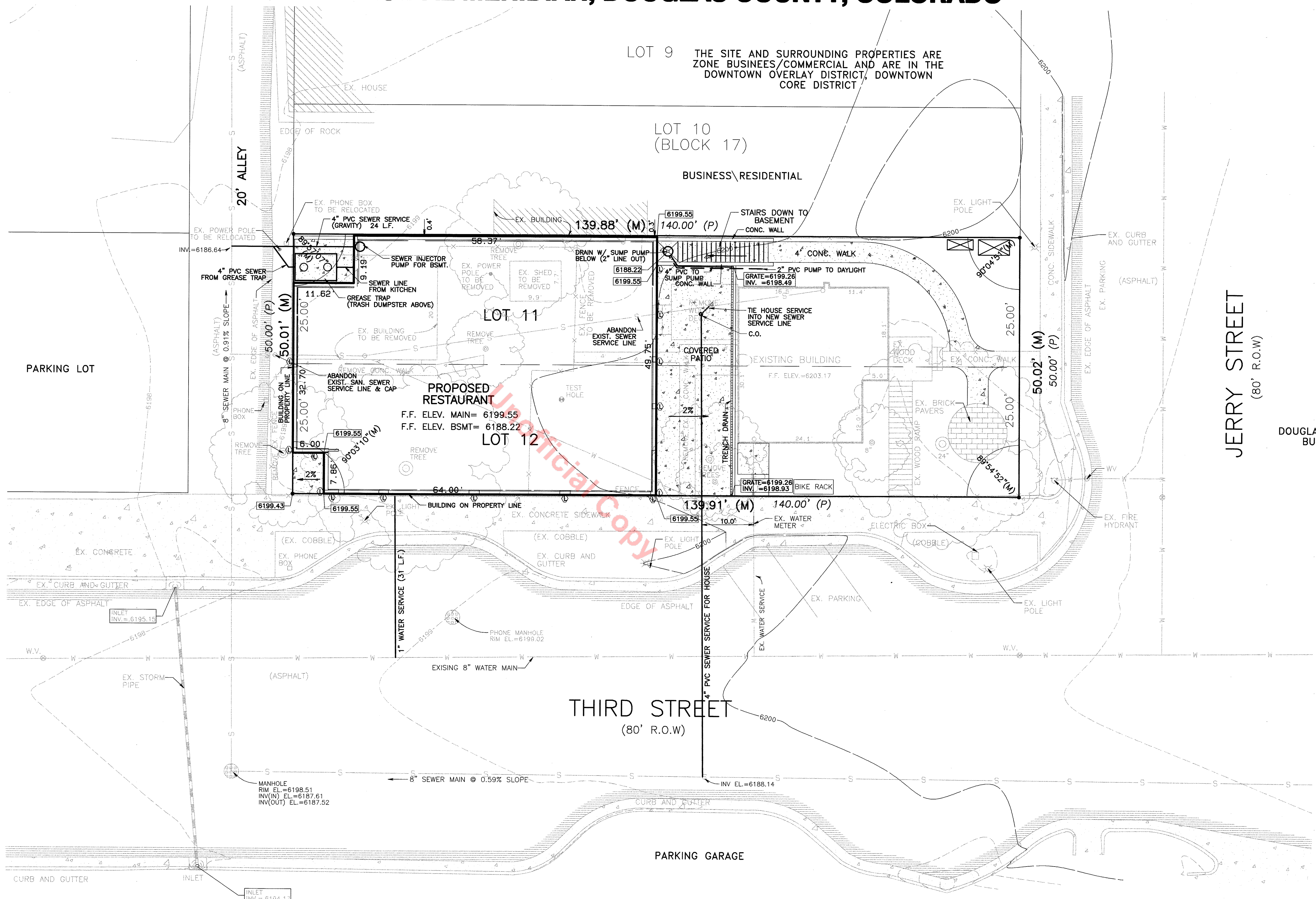
SCALE 1"=10'
 DATE 6-09-15
 DRN DMH CKD KEA
 APPVD KEA
 JOB NUMBER 14-1120
 Sheet 2 of 6

Mon Dec 14 10:18:32 2015
 G:\Drawings\2014\14-1120\CIVIL\SDP\2-SITE PLAN.ppt



PROJECT BENCHMARK:
 THE PROJECT BENCHMARK IS DOUGLAS COUNTY BENCHMARK DCBM 3020015 ELEVATION 6255.22 AND IS ON NAVD88 DATUM.

- LEGEND**
- PROPOSED CONCRETE SPILL CURB & GUTTER
 - PROPOSED CONCRETE CATCH CURB & GUTTER
 - EXISTING CURB & GUTTER
 - PROP CULVERT W/ FES
 - EX CULVERT W/ FES
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - EXISTING FENCE
 - PROP FENCE LINE
 - EXISTING WALL LINE
 - PROPOSED WALL LINE
 - PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - BUILDING SETBACK
 - PROPOSED WALL PACK LIGHT W/ FLOOR LEVEL # SEE SHEET 6 FOR LIGHT SPECS.
 - EXISTING LIGHT POLE
 - EXISTING FIRE HYDRANT
 - PROPOSED HANDICAP PARKING
 - EX WATER LINE
 - EX SEWER LINE W/ MH
 - EXISTING WATER VALVE
 - WALL MOUNTED LIGHT (SEE SHEET 5 FOR SPECS)



UTILITY NOTES

- All proposed easements must be recorded prior to issuance of construction permits.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- This site is located within the Town of Castle Rock Yellow water pressure zone.

LOTS 11 & 12, BLOCK 17,
 TOWN OF CASTLE ROCK
 PROJECT NO. SDP15-0019

SITE DEVELOPMENT PLAN

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO



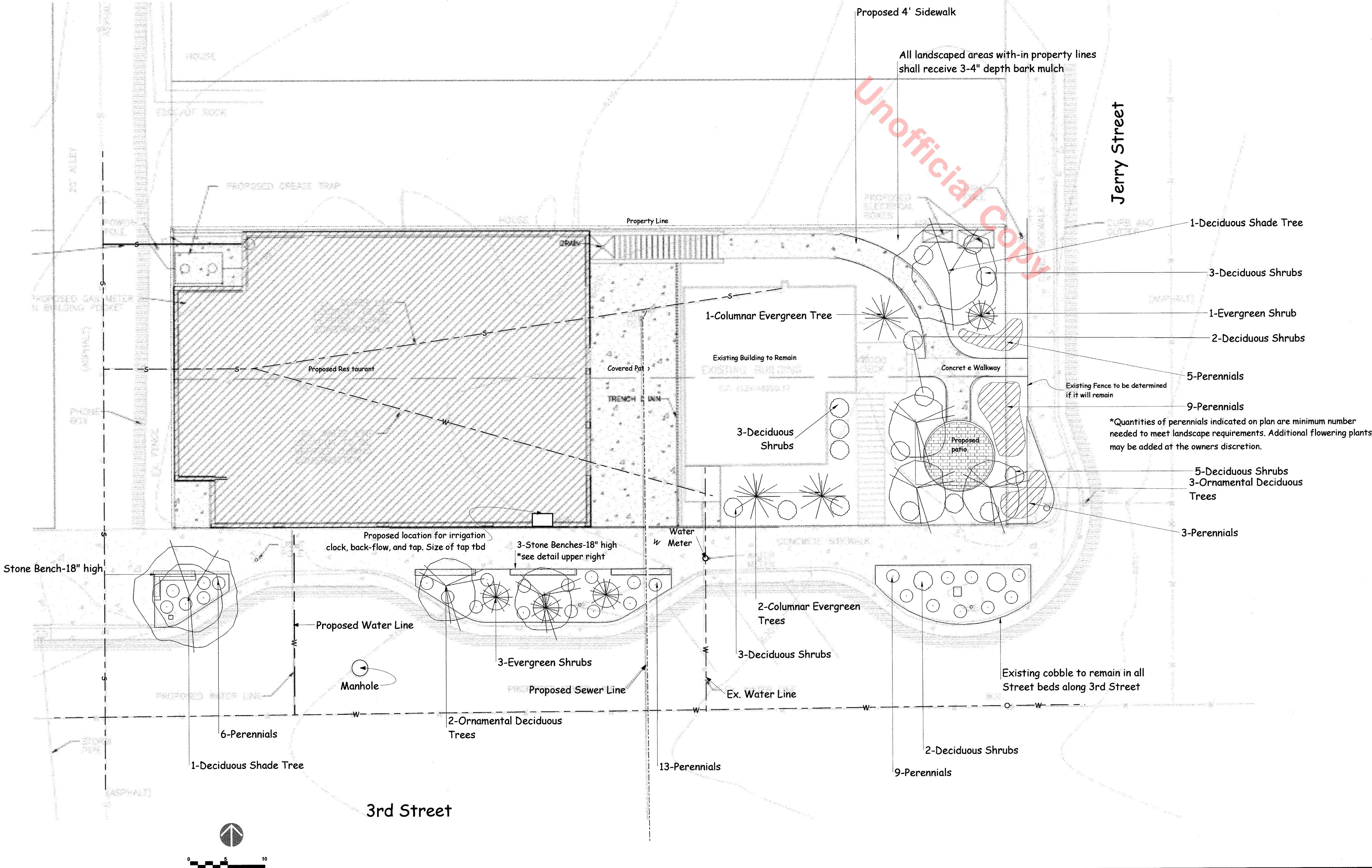
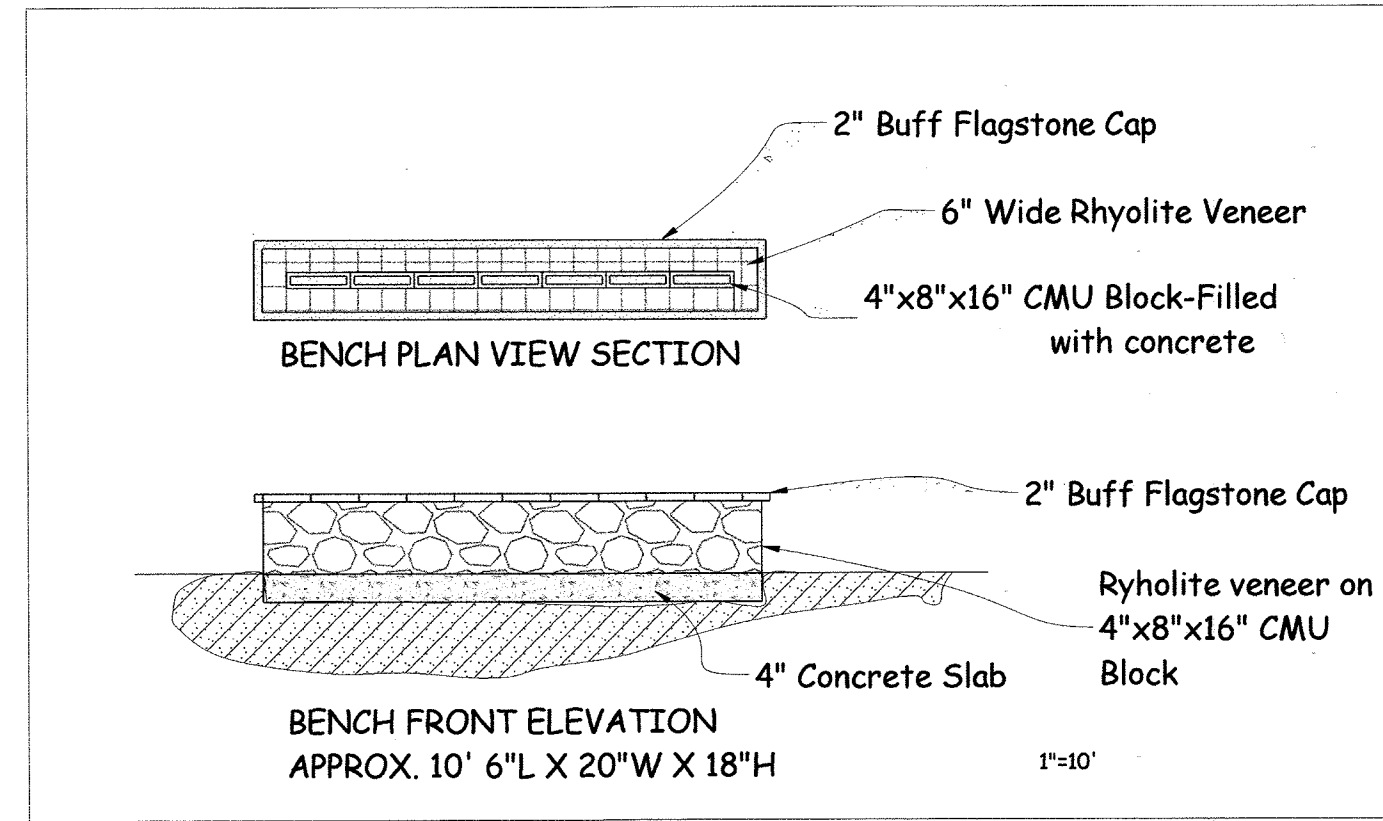
Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Teri Hensen
 Town of Castle Rock Registration # 455 State of Colorado License Landscape Architect # 790
 Company Name Teri Hensen Design Address 1031 Surlyn Ct., Castle Rock, CO 80109
 Phone 720.936.6949 Email thensen@msn.com Date May 15, 2015
 PROJECT NAME Sushi Restaurant, 301 Jerry Street, Castle Rock, CO 80104

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
7,000sq.ft.	1,400 sq.ft.			10	10	22 Perennials 45	22 Perennials 45	4 cu yds	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscaped Islands	Median Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
N/A									

- Coverage represented in this drawing and shall conform to subsequent submittal requirements.
- Quantities and locations of plant materials are approximated. Final quantities and locations will be reflected on construction documents.
- Refer to The Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for all submittal requirements for landscape and irrigation plans.
- This property is part of the Downtown Castle Rock Overlay District (DOD). Refer to Design Standards per Chapter 17.51 of the Municipal Code.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to utility lines should be a minimum of 10 feet. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type of the property.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the water restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
- Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
- Contact the Town of Castle Rock utilities department at 720.722.6045 for an on-site pre-construction meeting before beginning installation of the landscaping.
- Town of Castle Rock is not responsible for replacing landscape removed in utility easements due to utility line maintenance or repair. (PWR 14.3.13)
- Proposed benches on plan are conceptual only and should be considered as an alternate pending pricing and owner approval.

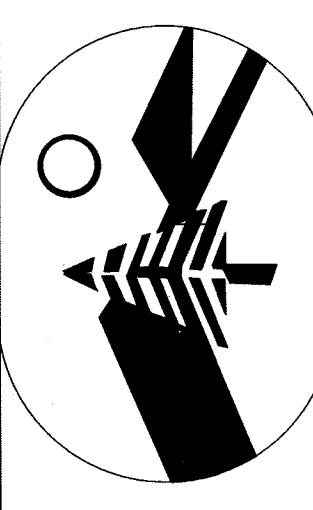
301 JERRY STREET, CASTLE ROCK, CO 80104				
DOWNTOWN OVERLAY DISTRICT (DOD)				
STREET FRONTAGE	REQUIRED LARGE CANOPY TREES	PROVIDED LARGE CANOPY TREES	REQUIRED SMALL CANOPY TREES	PROVIDED SMALL CANOPY TREES
190'	1/22=9	2	1/15=13	8
(75%=7) *SEE VARIANCE TREES MAY BE A COMBINATION OF LARGE CANOPY AND SMALL CANOPY				
**A VARIANCE FROM THE DESIGN REVIEW BOARD HAS BEEN REQUESTED TO ALLOW SMALL CANOPY TREES TO BE COUNTED TOWARDS THE LARGE CANOPY TREE REQUIREMENT.				
STREET FRONTAGE	REQUIRED SHRUBS	PROVIDED SHRUBS	REQUIRED PERENNIALS	PROVIDED PERENNIALS
190'	5/REQUIRED TREE 40	22	7/REQUIRED TREE 70	45
** OR COMBINATION OF SHRUBS/PERENNIALS/TREE TO MEET DOD REQUIREMENTS				



terihensendesign

Teri Hensen
 1031 Surlyn Ct.
 Castle Rock, CO 80109
 thensen@msn.com

Colorado Registration #790
 TOCR Registration #455



DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DESIGN CONSULTING
 SURVEYING & ENGINEERING
 PHONE: (303) 688-6642
 105 WILCOX ST., CASTLE ROCK, COLORADO 80104

REVISIONS
 COMMENTS 10-15-15

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
 IN SEC. 11, T8S, R67W, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.

CONCEPTUAL LANDSCAPE PLAN

CONTACT: ARCHITECTS
 PHONE: 303-455-7741

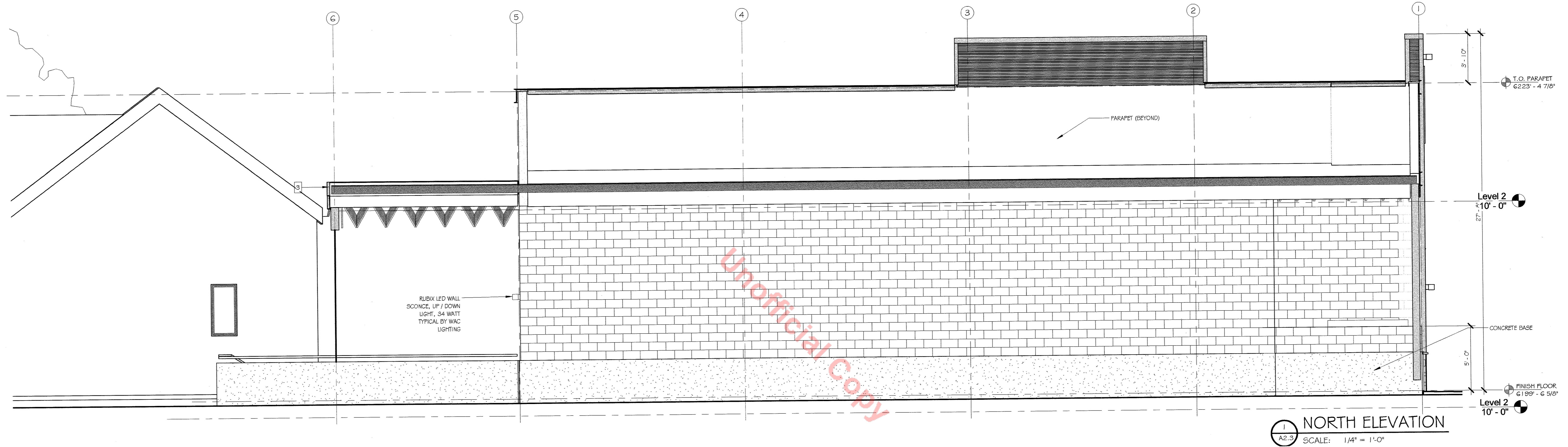
SCALE	1"=10'
DATE	6-09-15
DRN.	DMH CKD. KEA
APVD.	KEA
JOB NUMBER	14-1120
Sheet	3 of 6

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
 PROJECT NO. SDP15-0019

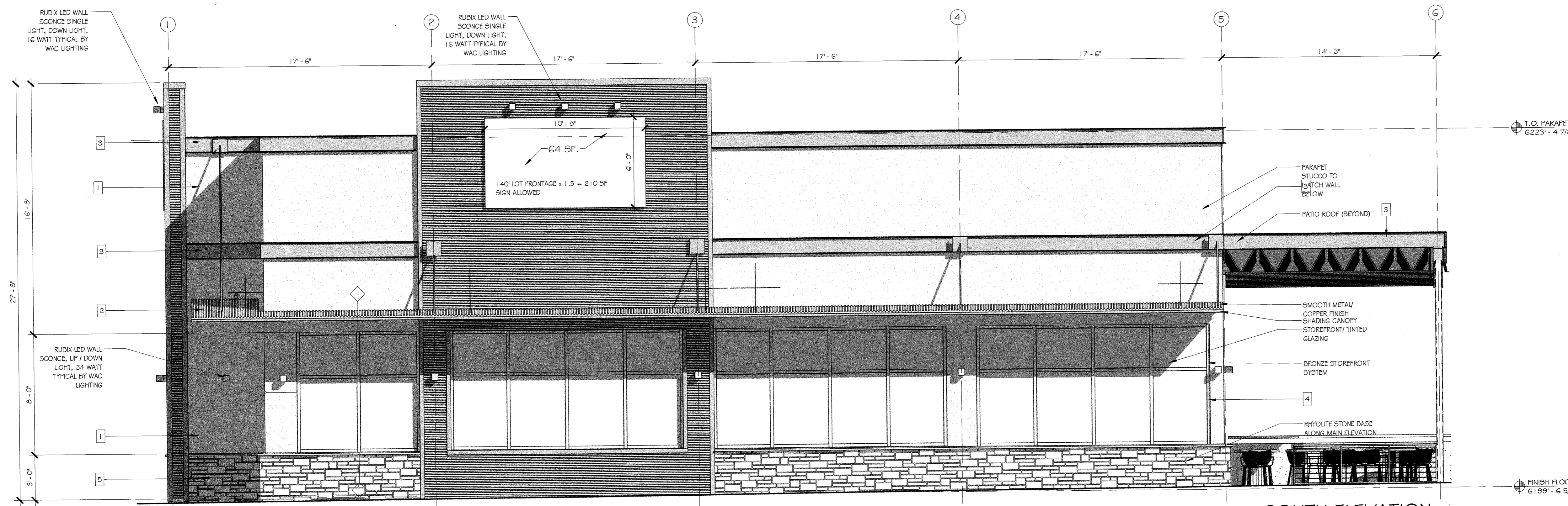
SITE DEVELOPMENT PLAN

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO

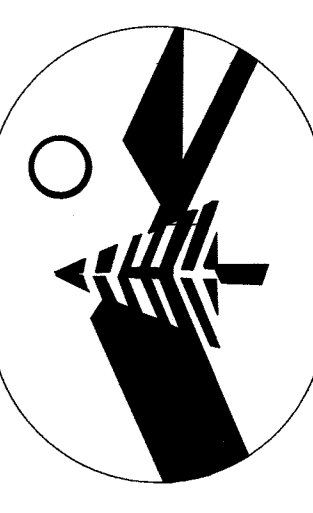
MARK	MATERIAL	MANUFACTURER	COLOR
1	STUCCO		SHERWIN WILLIAMS 2822 DOWNING SAND
2	SMOOTH METAL/COPPER	IMETCO	BRITE COPPER
3	STEEL CHANNEL OR STUCCO DETAILS		SHERWIN WILLIAMS 6990 CAVIAR
4	STOREFRONT		SHERWIN WILLIAMS 7055 ENDURING BRONZE
5	STONE BASE	RHYOLITE	NATURAL STONE



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
SURVEYING & ENGINEERING
PHONE: (303) 688-4642
105 WILCOX ST., CASTLE ROCK, COLORADO 80104

REVISIONS	COMMENTS
10-15-15	

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
IN SEC. 11, T8S, R67W, TOWN OF CASTLE ROCK
DOUGLAS COUNTY, COLORADO.
BUILDING ELEVATIONS
CONTACT: ARCWEST ARCHITECTS
PHONE: 303-465-7741

ARCWEST ARCHITECTS

2406 W. 32nd Avenue Suite A Denver, CO 80211
ARCWESTARCHITECTS.COM 303-465-7741

LOTS 11 & 12, BLOCK 17,
TOWN OF CASTLE ROCK
PROJECT NO. SDP15-0019

SCALE	1" = 10'
DATE	6-09-15
DR'N	DMH
CHKD	KEA
AP'VD	KEA
JOB NUMBER	14-1120
Sheet	4 of 6

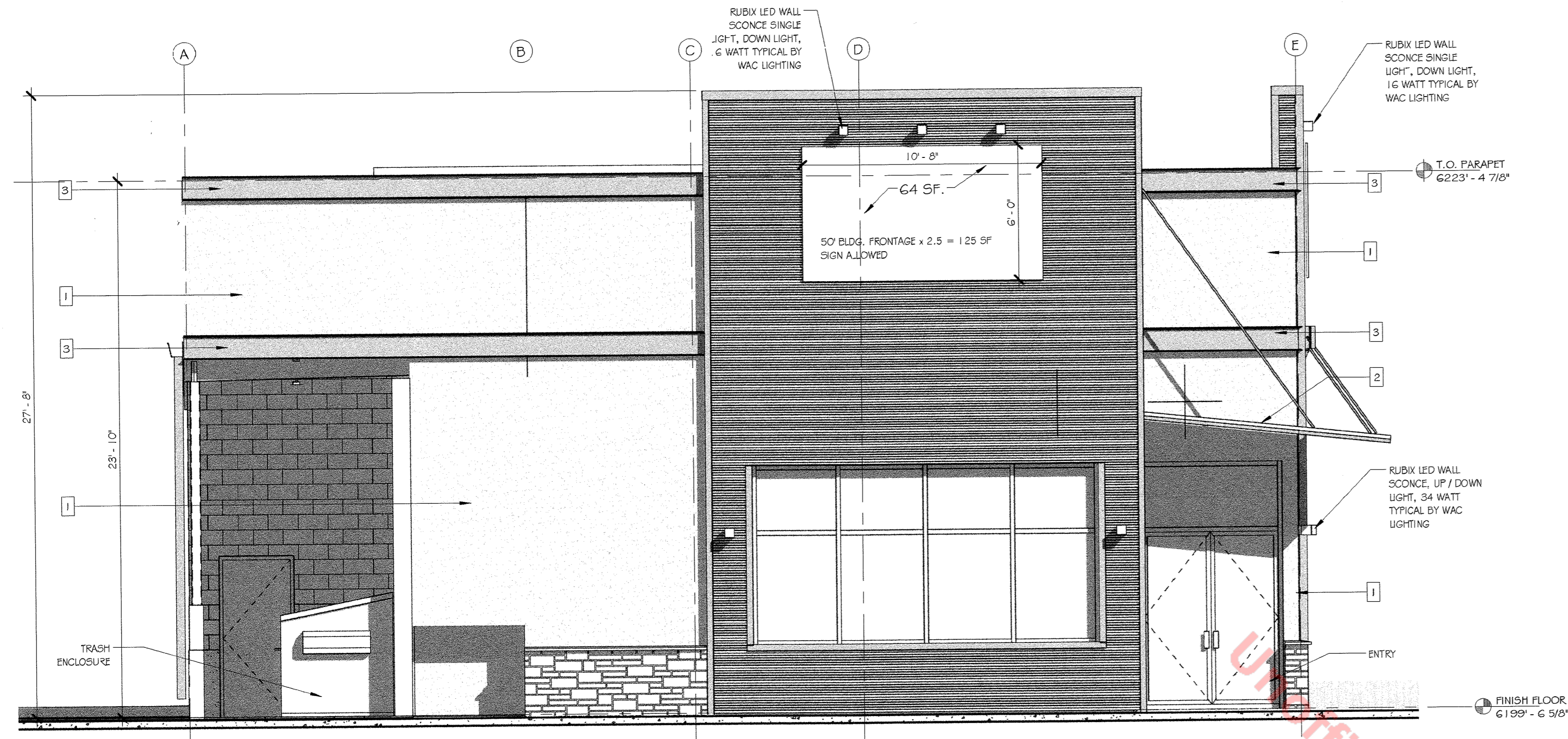
SITE DEVELOPMENT PLAN

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK

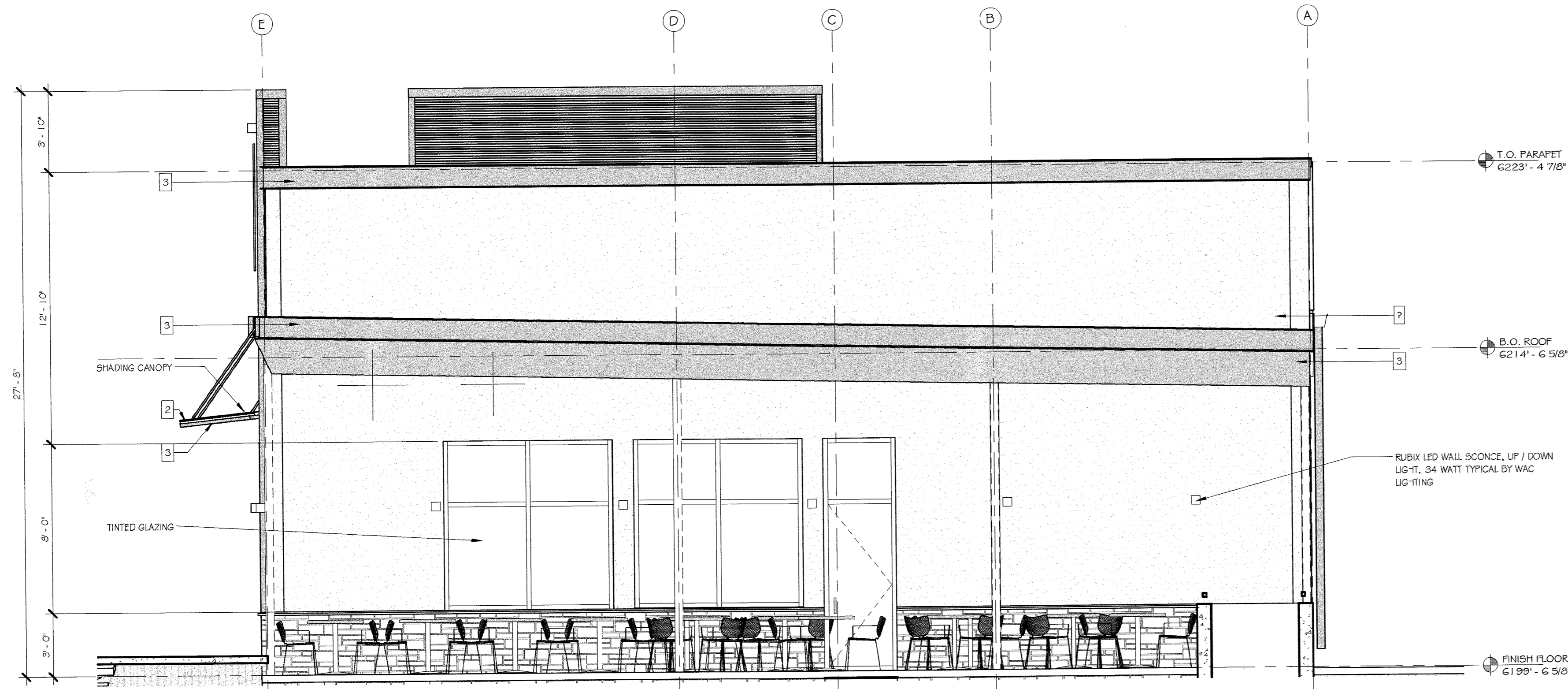
LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO

MATERIALS LEGEND

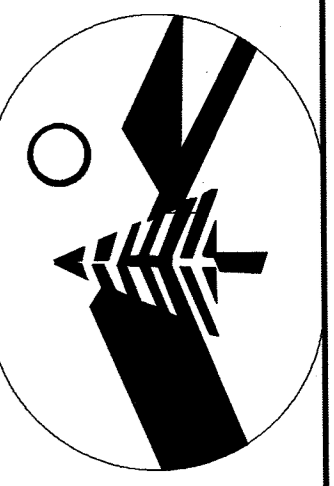
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1	STUCCO		SHERWIN WILLIAMS 2822 DOWNING SAND
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4	STOREFRONT		SHERWIN WILLIAMS 7055 ENDURING BRONZE
5	STONE BASE	RHYOLITE	NATURAL STONE



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



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 105 WILCOX ST., CASTLE ROCK, COLORADO 80104

REVISIONS COMMENTS 10-15-15

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
 IN SEC. 11, T8S, R67W, TOWNSHIP 8 SOUTH, RANGE 67 WEST, DOUGLAS COUNTY, COLORADO.
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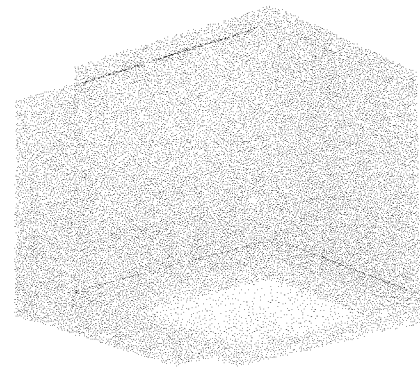
ARCWEST
ARCHITECTS

2406 W. 32nd Avenue Suite A Denver, CO 80211
ARCWESTARCHITECTS.COM 303-455-7741

LOTS 11 & 12, BLOCK 17,
TOWN OF CASTLE ROCK
PROJECT NO. SDP15-0019

SCALE:	1" = 10'
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APVD:	KEA
JOB NUMBER:	14-1120
Sheet	5 of 6

RUBIX - model: WS-W2504, WS-W2505 **WAC LIGHTING**
LED Wall Mount Responsible Lighting®



Fixture Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION

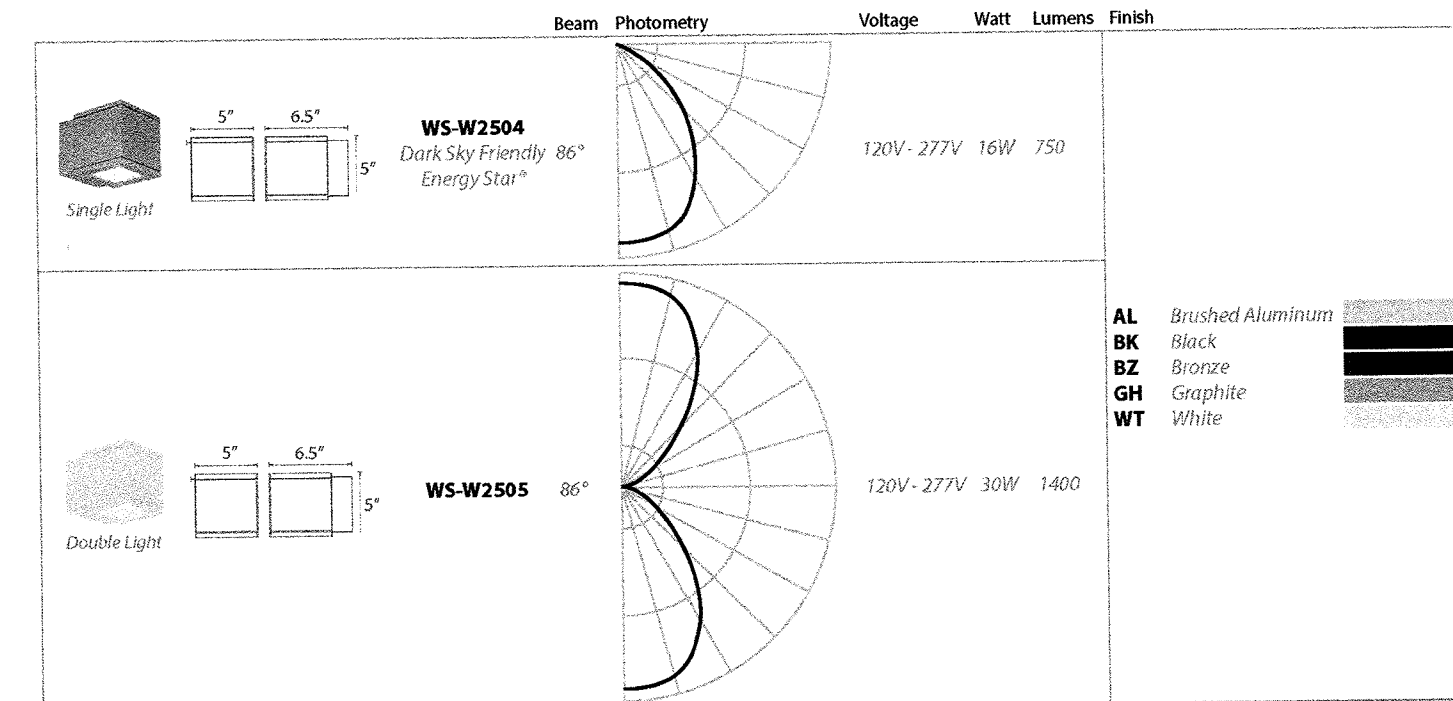
Available in single- and twin-light configurations, this die cast aluminum LED wall luminaire is wet location listed for a broad range of exterior lighting applications. Designed with a square profile, this version of Rubix mounts upwards or downwards.

SPECIFICATIONS

Construction: Aluminum with etched glass.
Power: Integral driver in luminaire. 120V - 277V Input.
Light Source: High output LED
Mounting: Mounts directly to junction box
Dimming: 0-10V Dimming: 100%-10%
ELV Dimming: 100%-19% (120V only)
Finish: Brushed Aluminum (AL), Black (BK), Bronze (BZ), Graphite (GH), White (WT)
Color Temp: 3000K
CR: 90
Rated Life: 70,000 hours
Standards: Energy Star® rated, IP65 Rated, ETL & cETL Wet Location Listed, CEC Title 24 Compliant, Dark Sky Friendly.

FEATURES

- Energy Star® rated
- CEC Title 24 Compliant
- Mounts up or down
- IP65 Rated, ETL & cETL Wet Location Listed
- Die-Cast Aluminum Construction
- Universal Voltage Input (120V - 277V)
- Dimming: ELV (120V) or 0-10V



Example: WS-W2504-GH

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

Rubix Indoor/Outdoor LED Up and Down Wall Sconce
By WAC Lighting

Lumens.com
LIGHT + LIVING
Call Us 877.445.4486

Product Options

Finish: Black, Bronze, Brushed Aluminum, Graphite, White

Details

- Aluminum shade with Etched glass diffuser
- Wall plate
- 85 degree beam angle
- Universal voltage input (120V - 277V)
- Dimmable: dimmer not included

Dimensions

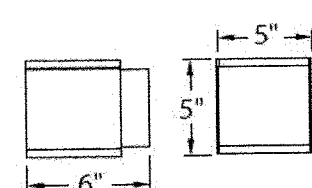
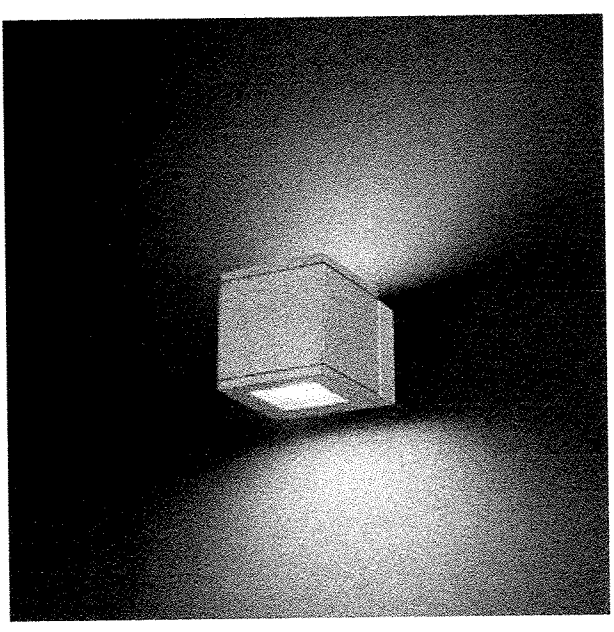
Fixture: Height 5", Width 5", Depth 6"

Lighting

- 34 Watt 120 Volt LED array (integrated)

Additional Details

Product URL:
<http://www.lumens.com/rubix-indoor/outdoor-led-up-and-down-wall-sconce-by-wac-lighting-us04704.html>
Rating: ETL Listed Wet



Notes:
Sconces to be located at 7'-0" A.F.F. centered in wall panels aligned with each column line

Product ID: uu504704

ARCWEST ARCHITECTS

Prepared by: Robin Adams
Architects
2406 West 32nd Ave
A
Denver, Colorado 80211
303 455 7741

Prepared for: Town of Castle Rock
Project: 303 Jerry St. Sushi Restaurant
Room: r19
Placement: Exterior Wall Sconces
Approval:

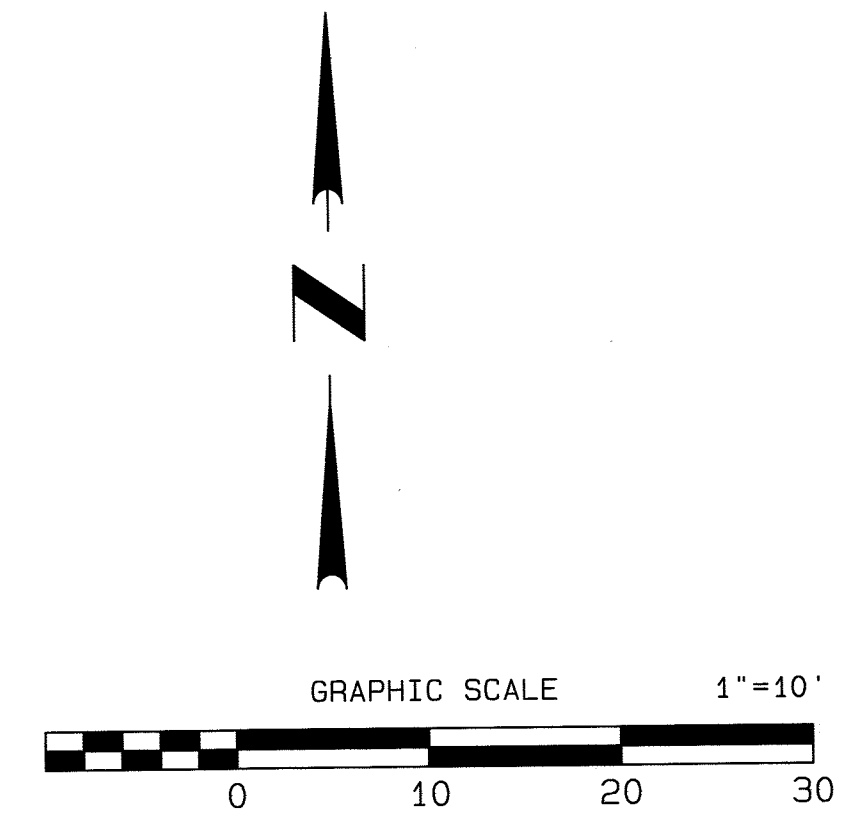
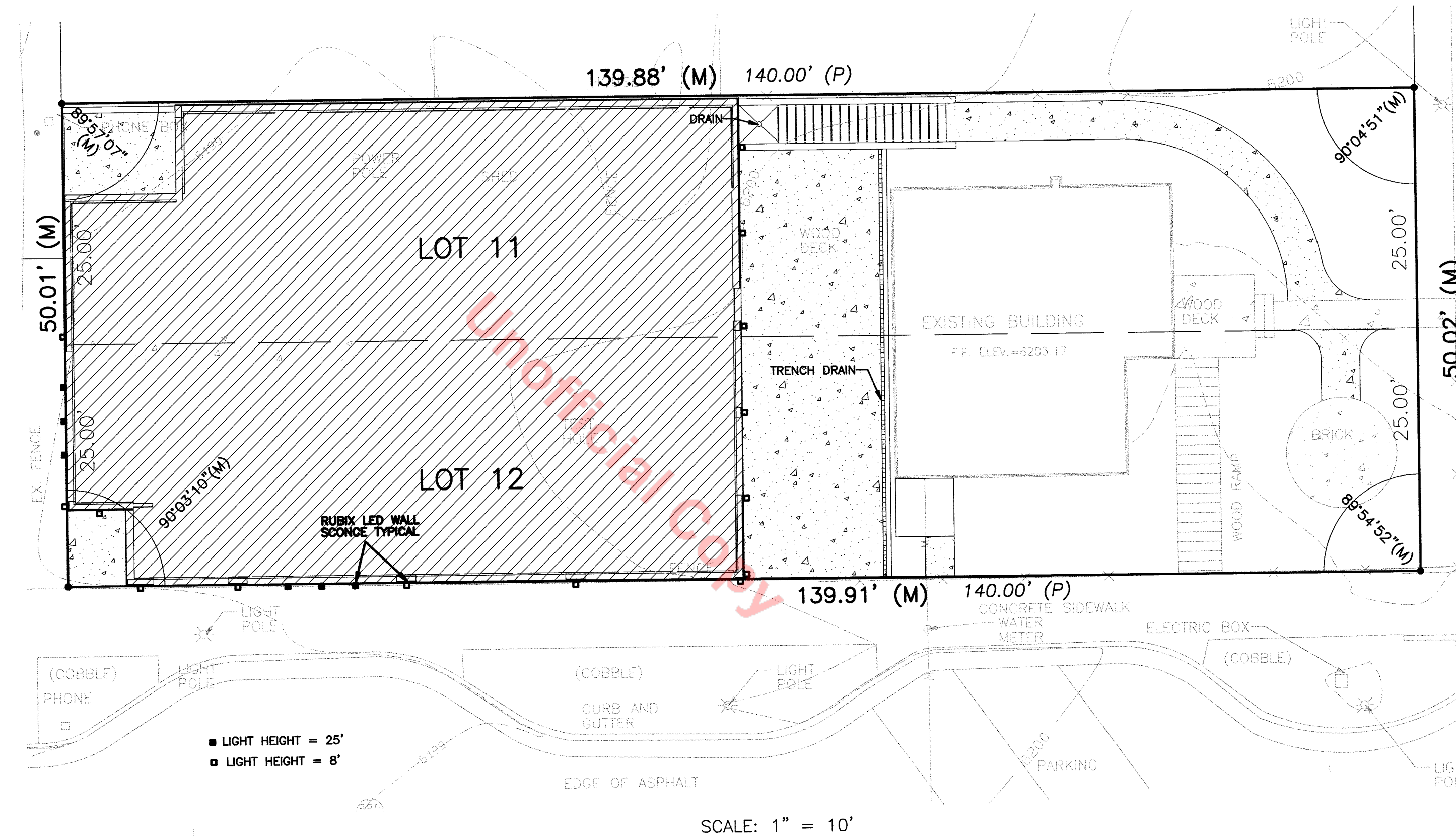


Created May 28th, 2015

SITE DEVELOPMENT PLAN

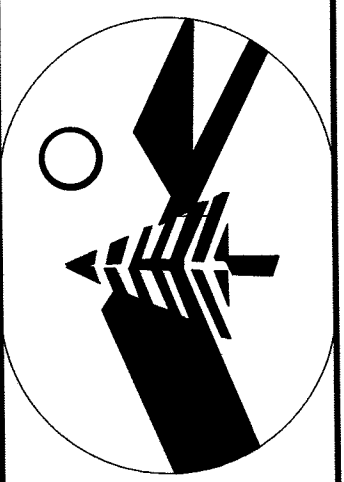
LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK

LOCATED IN SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO



SIGN LIGHTING
THE BUILDING SIGNAGE WILL BE ILLUMINATED WITH THE WALL SCONCES AND THE LIGHTS WILL BE ON FROM DUSK TO DAWN.

- GENERAL LIGHTING PLAN STANDARD NOTES:**
1. SITE LIGHTING OBJECTIVES: A COMMERCIAL SITE WITH THE BUILDING LOCATED ON THE PROPERTY LINE THE LIGHTING IS ACCENT LIGHTING AND WILL PROVIDE SIDEWALK ILLUMINATION.
 2. HOURS OF OPERATION: DUSK TIL DAWN.
 3. MITIGATION OF ADJACENT PROPERTY: THE LIGHTING WILL ONLY BE FACING ADJACENT PARKING FACILITIES ACROSS FROM THE ALLY AND 3RD STREET.
 4. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHEILDLED WALL PACKS.



DAVID E. ARCHER & ASSOCIATES INC.
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COMMENTS: 10-15-15

REVISIONS

LOTS 11 & 12, BLOCK 17, TOWN OF CASTLE ROCK
IN SEC. 11, T8S, R67W, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO.
GENERAL LIGHTING PLAN
CONTACT: ARCWEST ARCHITECTS
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SCALE: 1" = 10'
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Sheet 6 of 6