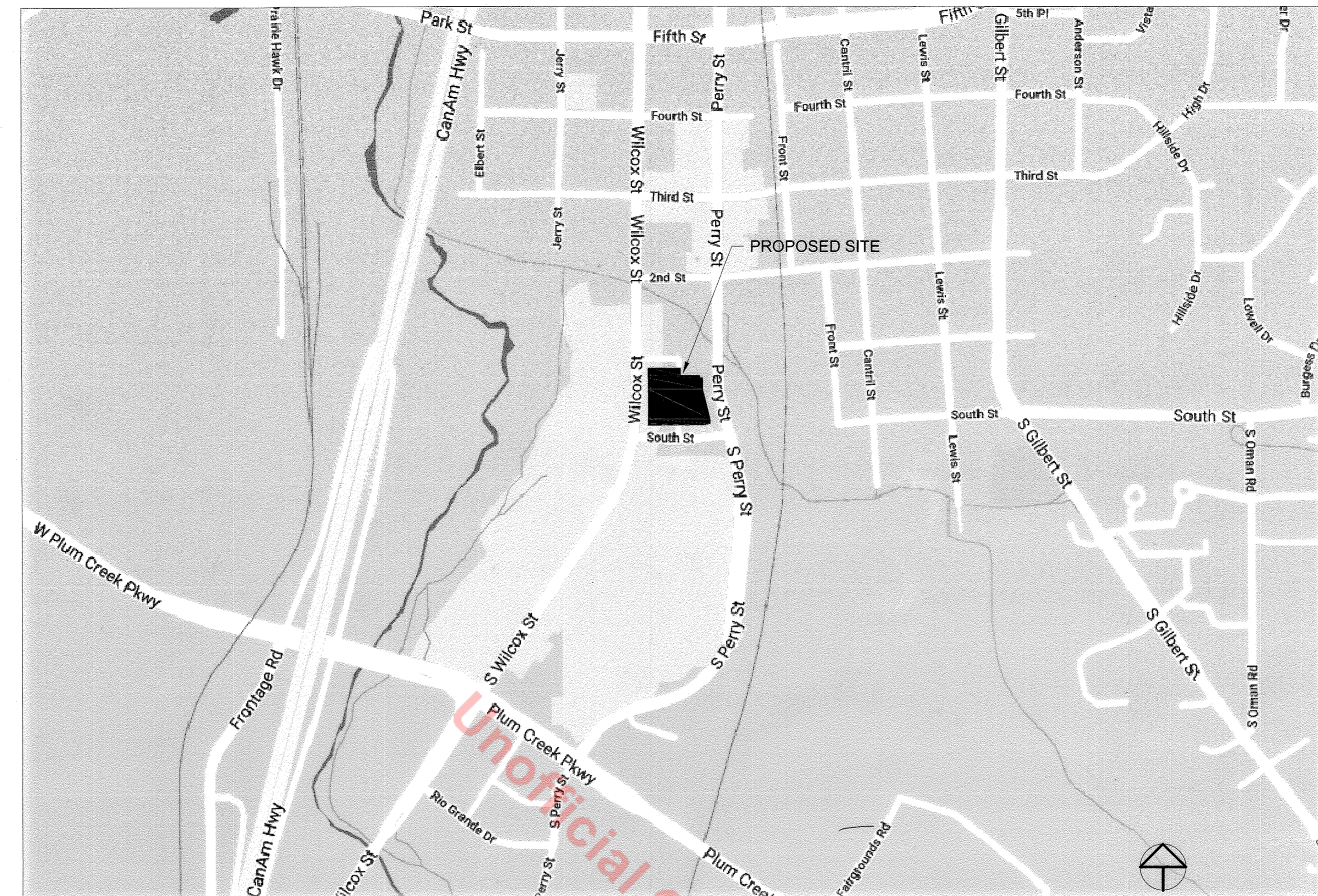


LEGAL DEVELOPMENT PLAN: LOTS 1 THRU 12, INCLUSIVE, BLOCK 32, MAP OF CASTLE ROCK AS RECORDED UNDER RECEPTION NO. 1874010001, IN THE RECORDS OF THE DOUGLAS COUNTY, COLORADO CLERK AND RECORDER'S OFFICE...

SITE DEVELOPMENT PLAN LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SURVEYOR'S CERTIFICATION: ANTHONY K. PEALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE REPRESENTED ACCURATELY REPRESENTS THE SURVEY.

CIVIL ENGINEER'S STATEMENT: I, TODD WEST, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

TITLE CERTIFICATION: I, Scott Damuth, AN AUTHORIZED REPRESENTATIVE OF LAND TIME GUARANTEES CO. AUTHORIZED REPRESENTATIVE TITLE COMPANY SIGNED THIS 10th DAY OF October, 2019.

DESIGN REVIEW BOARD APPROVAL: THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 14th DAY OF August, 2019.

LIENHOLDER CERTIFICATE: THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

PROJECT TEAM OWNER: Festival Commons, LLC 430 Indiana Street, #200 Golden, CO 80401 303.643.5799 Mr. Tony De Simone GENERAL CONTRACTOR: Confluence Builders, LLC 430 Indiana Street, #200 Golden, CO 80401 303.643.5799 Mr. Matt McBride ARCHITECT: Pivotal Architecture, PC 771 Santa Fe Dr. #204 Lakewood, CO 80204 720.473.6320 Mr. Kody Cronan CIVIL ENGINEER: 2N Civil, LLC 6 Inverness Ct East, #125 Lakewood, CO 80112 303.925.0544 Mr. Todd West MEP ENGINEER: Given & Associates, Inc. 735 S. Xenon Ct, #201 Lakewood, CO 80227 303.986.1400 Mr. Jonathan Price LANDSCAPE ENGINEER: StudioInsite 3457 Ringsby Court, Unit 223 Denver, CO 80216 303.433.7100 Mr. Gary Worthley SURVEYOR: Aztec Consultants, Inc., 2200 Ave, Suite 1 Littleton, CO 80122 303.713.1898 Mr. Anthony K. Peall

SITE DEVELOPMENT PLAN GENERAL NOTES: 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULICS STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY...

Summary Table with columns: GENERAL ZONE LOT INFORMATION, SQUARE FEET, ACRES. Rows include Lot Area, Building Ground Coverage, Building Height, Parking, and Setbacks.

FIRE NOTES: 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION. 2. FIRE HYDRANTS ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.

SHEET LIST: 1 COVER SHEET, 2 EXISTING CONDITIONS PLAN, 3 GENERAL SITE PLAN, 4 GENERAL GRADING PLAN, 5 GENERAL UTILITIES PLAN, 6 BUILDING ELEVATION - NORTH, 7 BUILDING ELEVATION - WEST, 8 BUILDING ELEVATION - COURTYARD NORTH, 9 BUILDING ELEVATION - COURTYARD SOUTH, 10 BUILDING ELEVATION - SOUTH, 11 BUILDING ELEVATION - EAST, 12 STREET PERSPECTIVES, 13 STREET SECTIONS, 14 STREET SECTIONS, 15 OVERALL LANDSCAPE PLAN, 16 MATERIAL AND LAYOUT PLAN, 17 MATERIAL AND LAYOUT PLAN, 18 MATERIAL AND LAYOUT PLAN, 19 MATERIAL AND LAYOUT PLAN, 20 MATERIAL AND LAYOUT PLAN, 21 MATERIAL AND LAYOUT PLAN, 22 MATERIAL AND LAYOUT PLAN, 23 PLANTING PLAN, 24 PLANTING PLAN, 25 PLANTING PLAN, 26 PLANTING PLAN, 27 PLANTING PLAN, 28 PLANTING PLAN, 29 PLANTING PLAN, 30 SITE DETAILS, 31 PHOTOMETRIC DETAILS, 32 PHOTOMETRIC DETAILS, 33 PHOTOMETRIC DETAILS, 34 PHOTOMETRIC DETAILS, 35 PHOTOMETRIC DETAILS

OWNERSHIP CERTIFICATION: THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

OWNERSHIP CERTIFICATION: THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

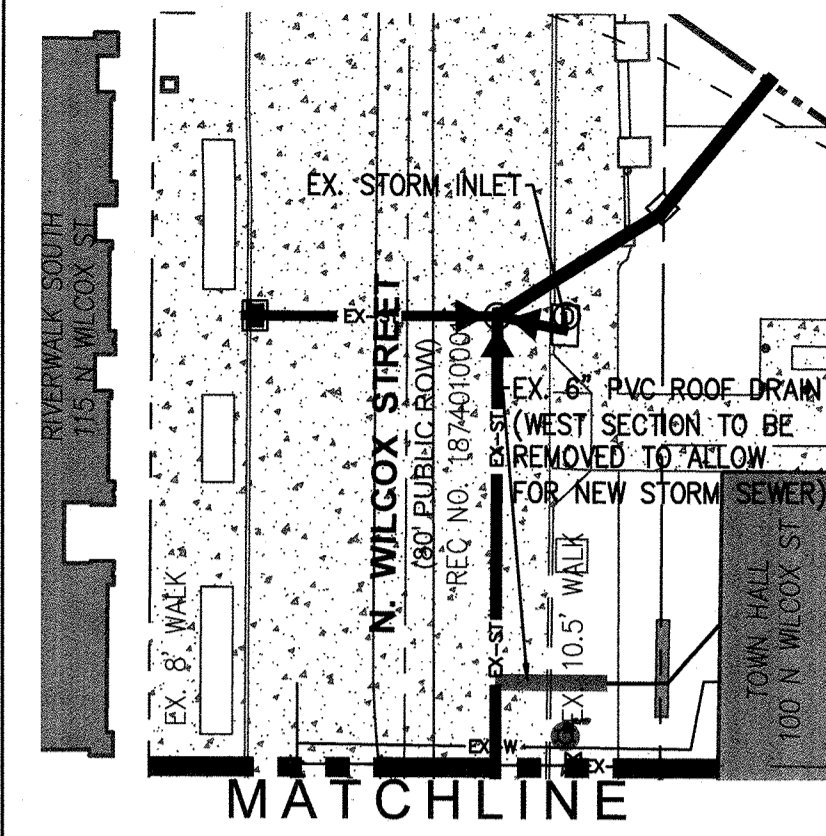
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE: THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:15 PM ON THE 18th DAY OF December, 2019.

PIVOTAL ARCHITECTURE, PC 771 Santa Fe Drive #204 Denver, CO 80204 ph. (720) 473-6320

COVER SHEET SHEET 1 SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET;
TOWN OF CASTLE ROCK PLAT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS,
STATE OF COLORADO



MATCHLINE

EX. STORM INLET

EX. 6" PVC ROOF DRAIN (WEST SECTION TO BE REMOVED TO ALLOW FOR NEW STORM SEWER)

EX. 6" WALK

EX. 10.5" WALK

EX. 10.5" WALK

EX. 10.5" WALK

EX. 10.5" WALK

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EX. 10.5" WALK

EX. 10.5" WALK

EX. 10.5" WALK

DAVID E ARCHER & LAREEN E ARCHER
100 N WILCOX ST
CASTLE ROCK, CO 80104

EX. MONITORING WELL (TO BE REMOVED)
4'X4' TRANSFORMER ELECTRIC EASEMENT BK 960 PG 652 (TO BE VACATED)
18"X18" PEDESTAL ELECTRIC EASEMENT BK 960 PG 652 (TO BE VACATED)
EX. PEDESTALS (TO BE REMOVED)
EX. STORM INLET AND SECTION OF 18" RCP (TO BE REMOVED)
EX. LIGHT POLE (TYP.)

G.P.G. LLC
21 N WILCOX ST
CASTLE ROCK, CO 80104

A AND K ENTERPRISES LLC
19 N WILCOX ST
CASTLE ROCK, CO 80104

VW HOLDINGS LLC
11 N WILCOX ST
CASTLE ROCK, CO 80104

CHAFFARI ENTERPRISES LLC
11 N WILCOX ST
CASTLE ROCK, CO 80104

UNION CASTLE LLC
5 N WILCOX ST
CASTLE ROCK, CO 80104

EX. CURB CUT

ST. LINE NW 1/4 SEC. 11, T8S, R67W, 6TH P.M. (BASIS OF BEARINGS)

W 1/4 CORNER SECTION 11, T8S, R67W, 6TH P.M. FOUND 2" ALUMINUM CAP STAMPED "LS 6935" IN RANGE BOX

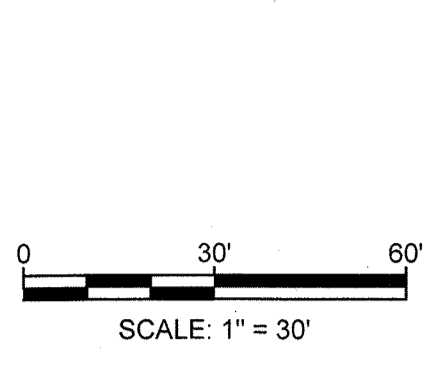
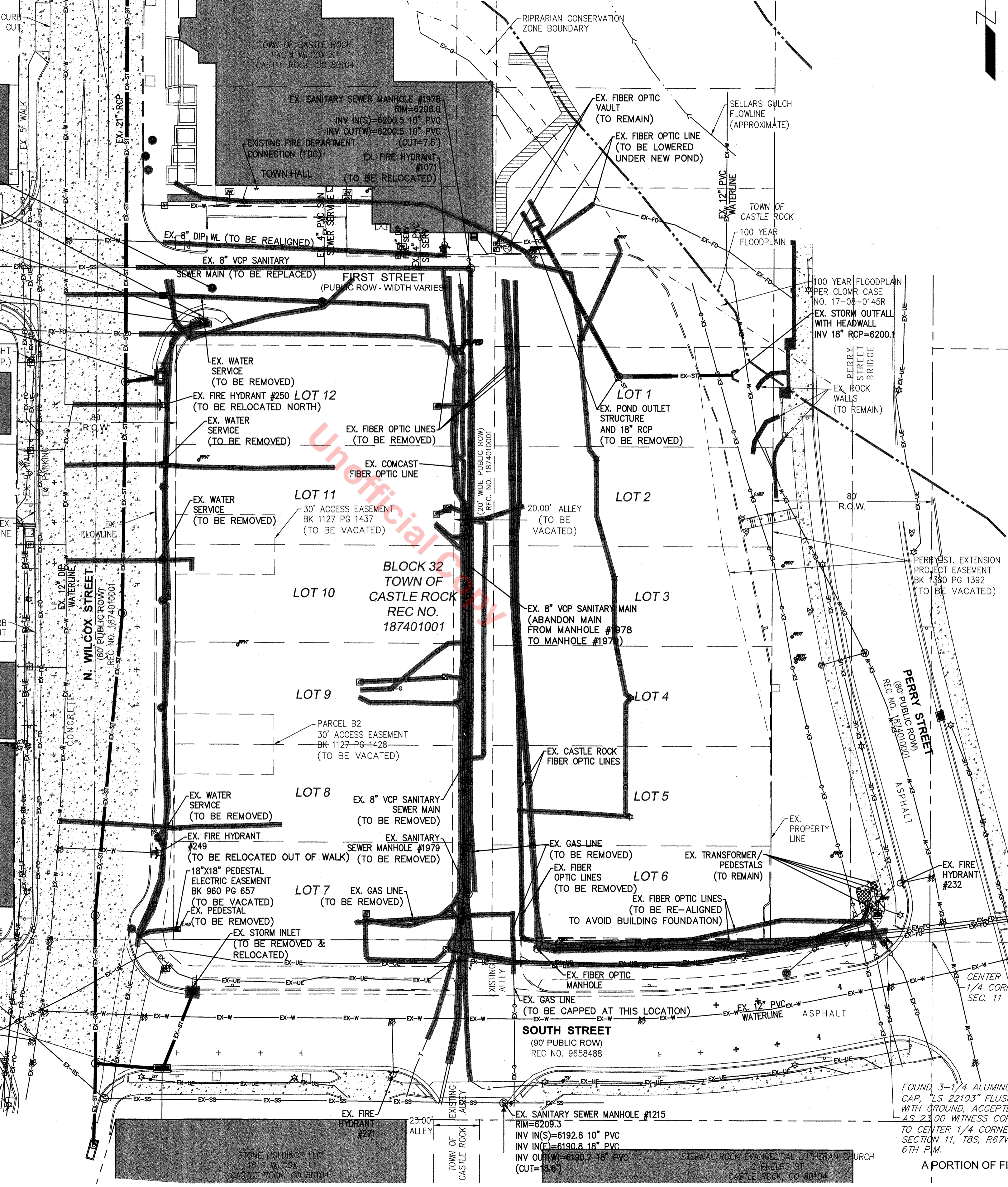
EX. CURB CUT

EX. CURB CUT

EX. CURB CUT

EX. CURB CUT

EX. CURB CUT



LEGEND	
EX-SM	EXISTING SANITARY SEWER MAIN & MANHOLE
EX-ST	EXISTING STORM SEWER MAIN & MANHOLE
EX-SWI	EXISTING STORM SEWER INLET
EX-W	EXISTING WATERLINE & MANHOLE
EX-WV	EXISTING WATER VALVE
EX-WM	EXISTING WATER METER
EX-FH	EXISTING FIRE HYDRANT
EX-FL	EXISTING FIRE LINE
EX-UE	EXISTING UNDERGROUND ELECTRIC LINE
EX-EB	EXISTING ELECTRIC BREAKER BOX
EX-EM	EXISTING ELECTRIC METER
EX-EP	EXISTING ELECTRIC PEDESTAL
EX-ET	EXISTING ELECTRIC TRANSFORMER
EX-EV	EXISTING ELECTRIC VAULT
EX-LP	EXISTING LIGHT POLE
EX-UT	EXISTING UNDERGROUND TELEPHONE POLE
EX-VP	EXISTING VENT PIPE
EX-G	EXISTING GAS LINE
EX-GM	EXISTING GAS METER
EX-GMP	EXISTING GAS MARKER POST
EX-C	EXISTING CLEANOUT
EX-MW	EXISTING MONITORING WELL
EX-TCV	EXISTING TRAFFIC CONTROL VAULT
EX-FOL	EXISTING FIBER OPTIC LINE & MANHOLE
EX-FV	EXISTING FIBER OPTIC VAULT
EX-FOM	EXISTING FIBER OPTIC MARKER
EX-FIB	EXISTING FIBER OPTIC INLET
EX-FIBB	EXISTING FIBER OPTIC BREAKER BOX
EX-FIV	EXISTING IRRIGATION VAULT
EX-FIM	EXISTING IRRIGATION MARKER
EX-FIP	EXISTING 100-YR FLOODPLAIN

LEGEND

LINE REPRESENTS EXISTING UTILITY LINE TO BE REMOVED AND/OR RELOCATED IN ACCORDANCE WITH THE RESPECTIVE UTILITY PROVIDERS RULES & REGULATIONS

NOTE:

- EXISTING SURFACE FEATURES IDENTIFIED ON THE ALTA SURVEY BY AZTEC SURVEYING, INC. DATED 12-06-2017 SUCH AS BUILDINGS, CURBS, PAVEMENT, LANDSCAPING, ETC. TO BE DEMOLISHED HAVE BEEN OMITTED FROM THIS PLAN FOR CLARITY.

BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "LS 6935" IN RANGE BOX AND AT THE CENTER QUARTER CORNER BY A 23.00" WITNESS CORNER BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 22103" FLUSH WITH GROUND, ASSUMED TO BEAR SOUTH 89°46'35" EAST.

BENCHMARK

DOUGLAS COUNTY GIS MONUMENT NUMBER 3.020010 BEING A 3 1/4" ALUMINUM ALLOY CAP LOCATED IN CASTLE ROCK AT THE FAIRGROUNDS AND REGIONAL PARK APPROXIMATELY 400 FEET SOUTHEAST OF THE PARKING LOT, 28.0 FEET NORTH OF A SIDEWALK, AND 7 FEET SOUTHEAST OF THE WALK THAT RUNS ALONG THE OUTFIELD FENCE OF THE BASEBALL FIELDS.
ELEVATION = 6260.65' (NAVD88)

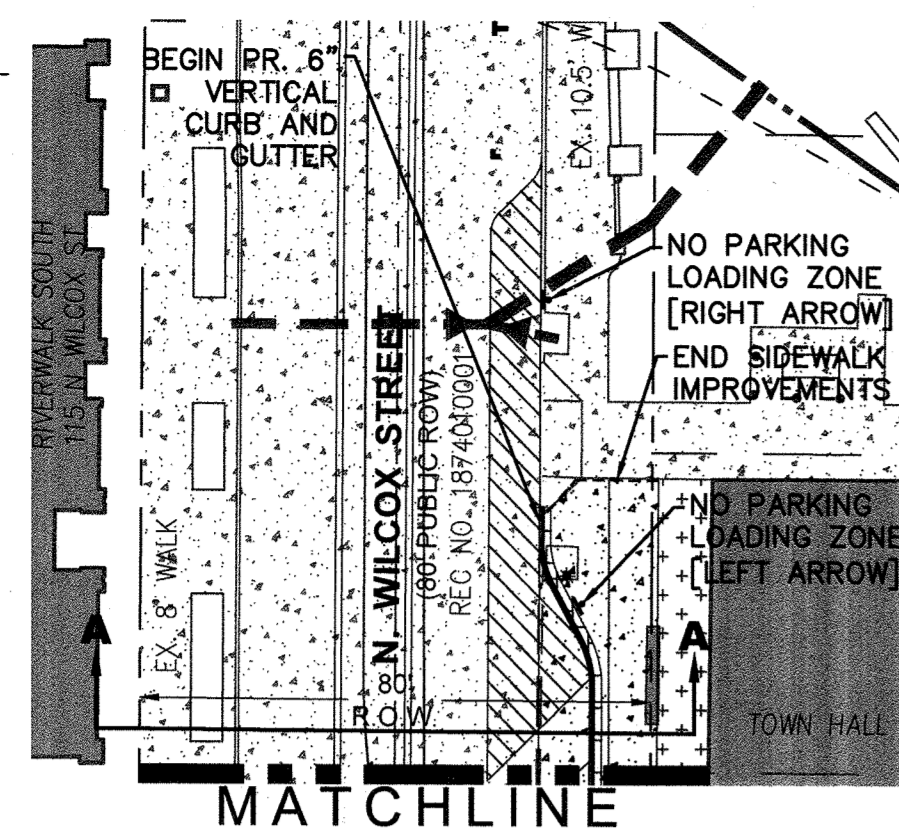
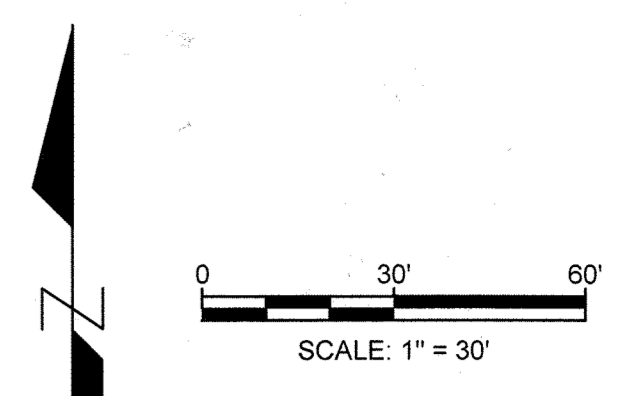
PIVOTAL
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771 Santa Fe Drive, #204
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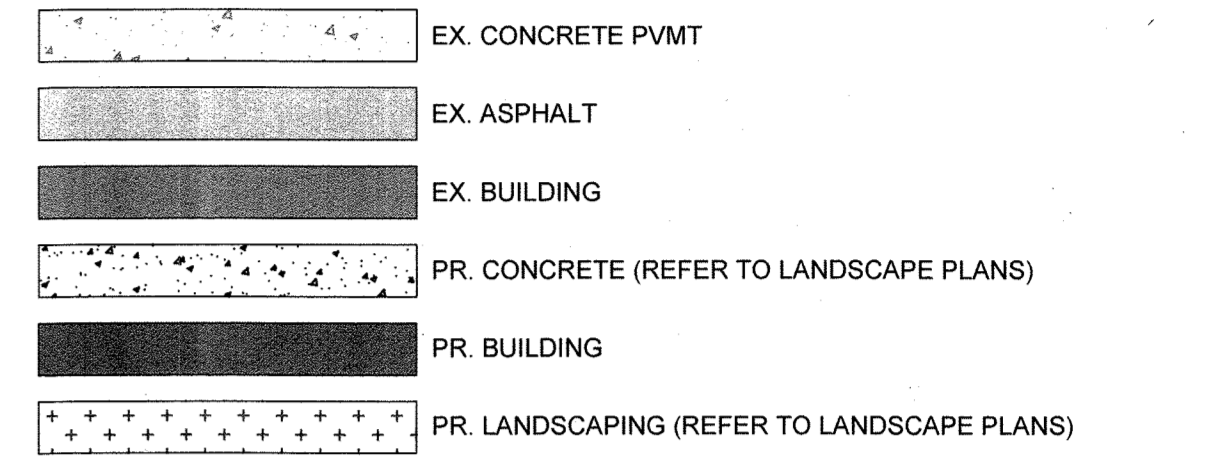
EXISTING CONDITIONS PLAN SHEET 2
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0004
08/05/19

SITE DEVELOPMENT PLAN

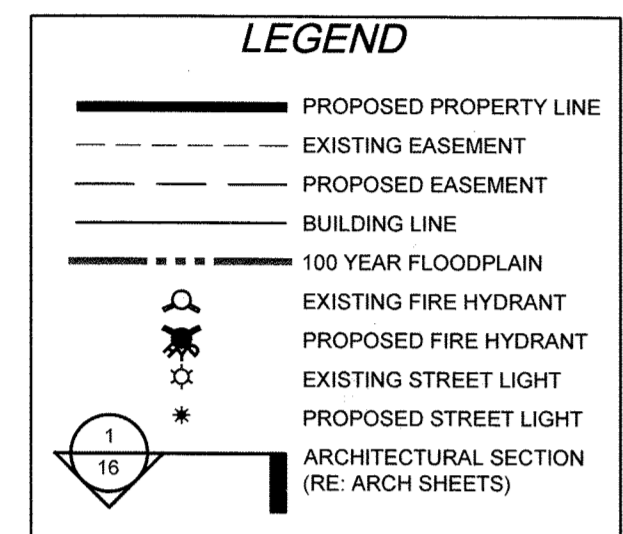
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TOWN OF CASTLE ROCK PLAT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
MATCHLINE
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS,
STATE OF COLORADO



MATERIAL LEGEND



SIGHT TRIANGLES		
TYPE	SIZE	RESTRICTIONS
INTERSECTION SAFETY	15' LEG x 15' LEG	WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE STREET ELEVATION
AASHTO ROADWAY (PRIVATE DRIVE)	335' LEG x 10' BEHIND FLOWLINE 25 MPH	NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET
AASHTO ROADWAY (PUBLIC DRIVE)	335' LEG x 14.5' BEHIND FLOWLINE PERRY ST. POSTED AT 25 MPH	NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET

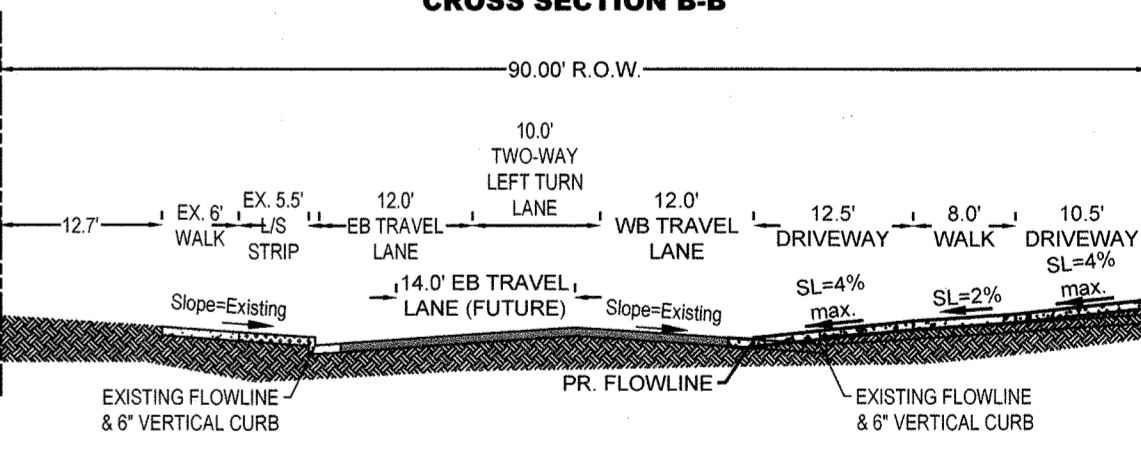
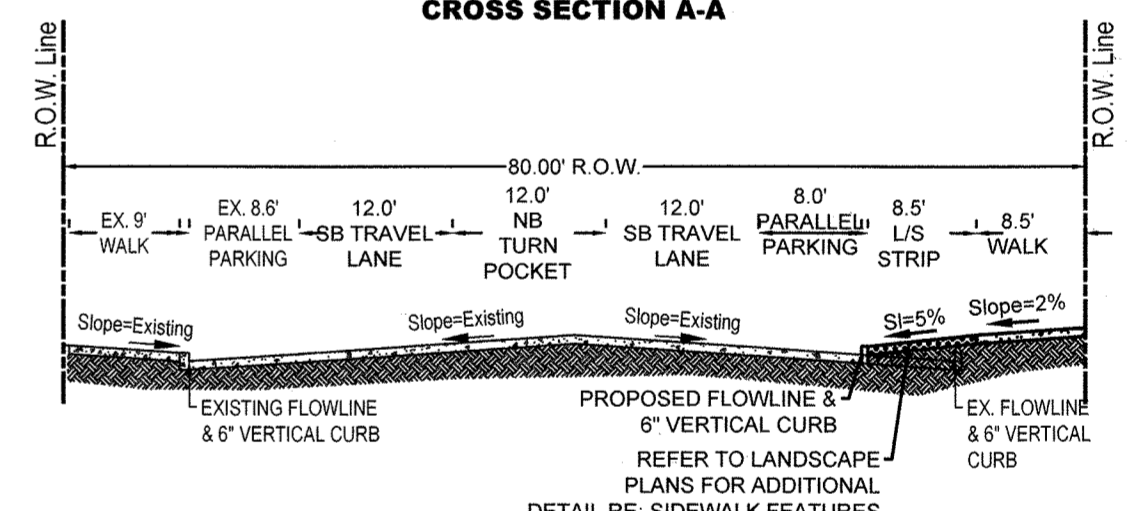
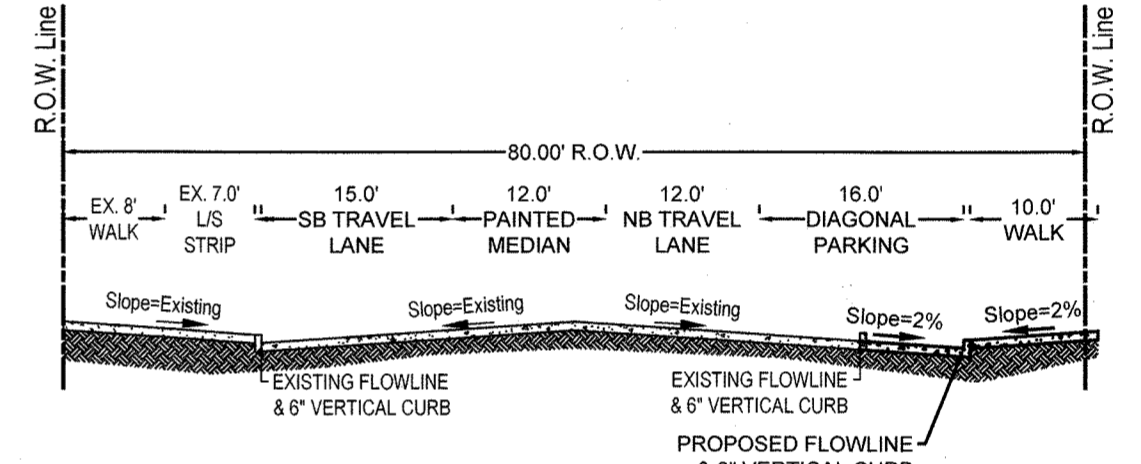
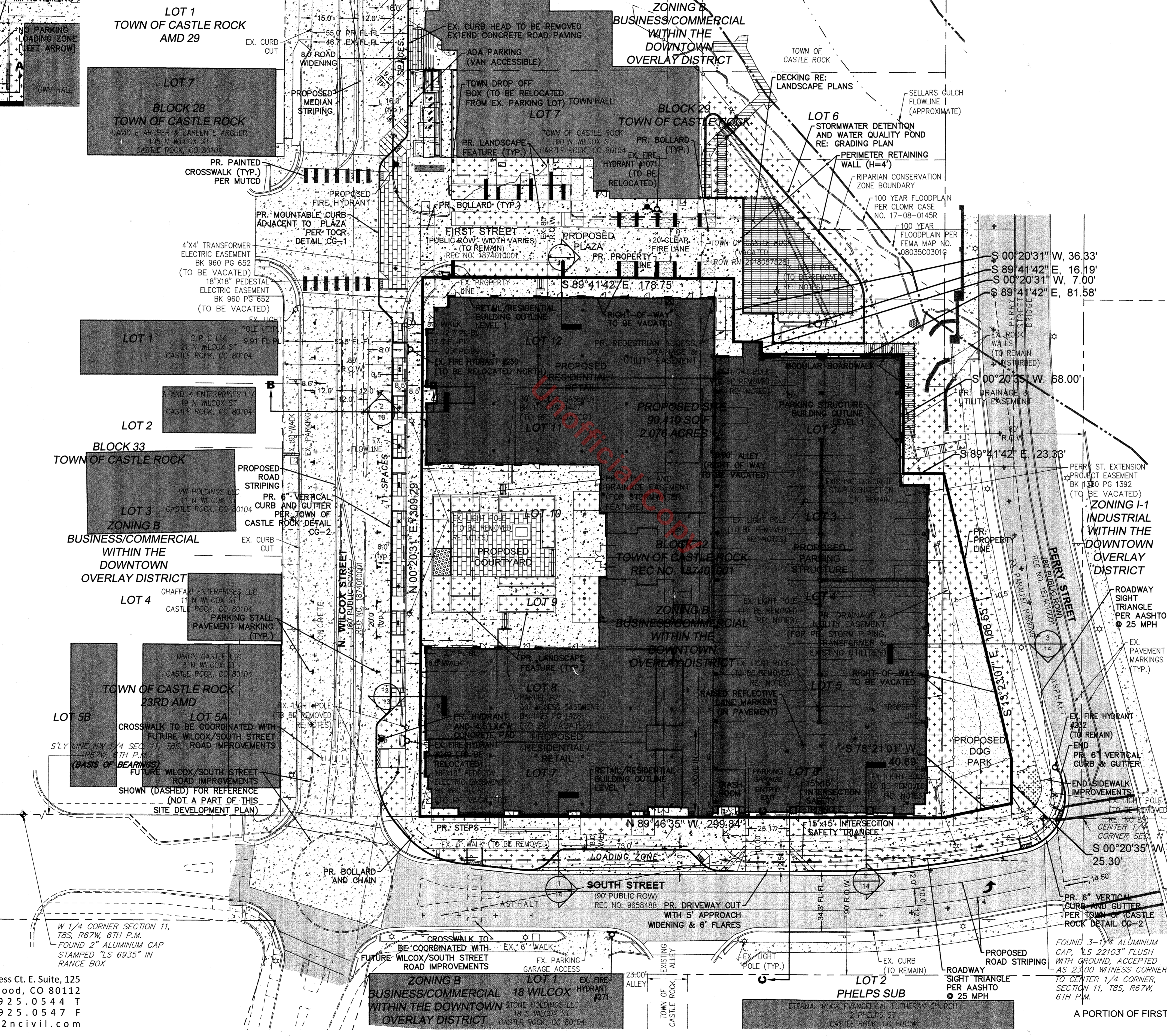


NOTE:
EXISTING SITE IMPROVEMENTS SUCH AS BUILDINGS, PAVEMENT, LANDSCAPING, ETC. TO BE DEMOLISHED HAVE BEEN OMITTED FROM THIS PLAN FOR CLARITY.

EXISTING STREET LIGHTS ARE TO BE CAREFULLY REMOVED AND RETURNED TO THE TOWN. COORDINATE WITH PUBLIC WORKS INSPECTOR FOR INSTRUCTIONS. CONFIRM THAT PROPOSED STREET LIGHTS WILL NOT BE LOCATED IN THE SIDEWALK.

PIVOTAL
ARCHITECTURE, PC
771 Santa Fe Drive, #204
Denver, CO 80204
ph. (720) 473-6320

2N CIVIL
6 Inverness Ct. E. Suite, 125
Englewood, CO 80112
303.925.0544 T
303.925.0547 F
www.2ncivil.com



BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "LS 6935" IN RANGE BOX AND AT THE CENTER QUARTER CORNER BY A 23.00" WITNESS CORNER BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 22103" FLUSH WITH GROUND, ASSUMED TO BEAR SOUTH 89°48'35" EAST.

BENCHMARK

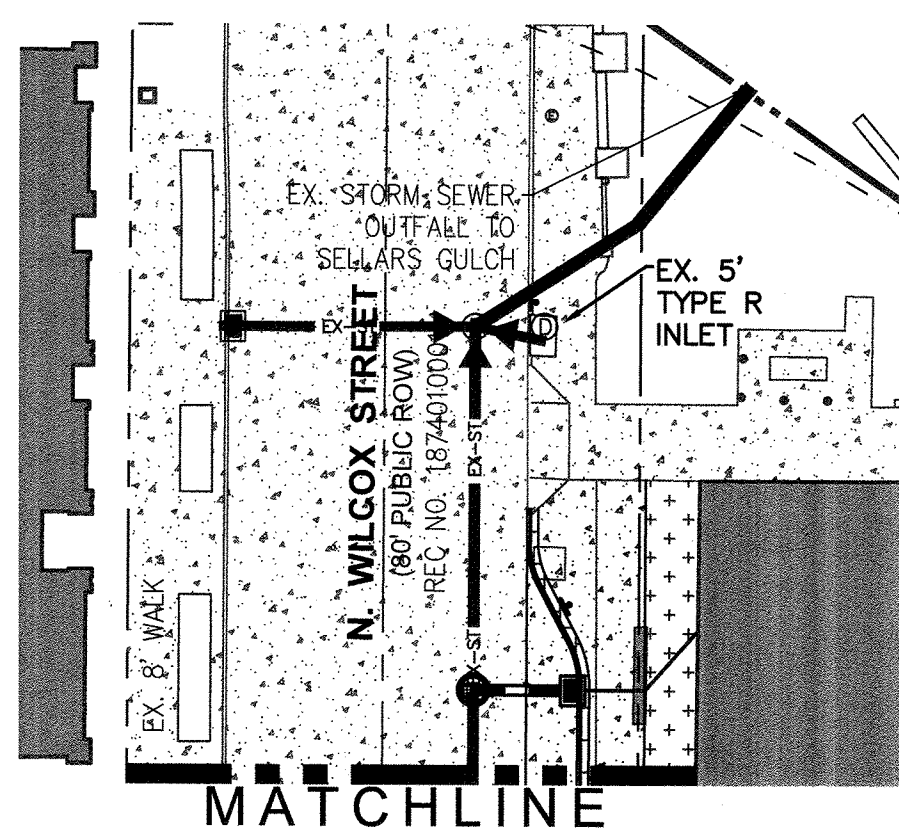
DOUGLAS COUNTY GIS MONUMENT NUMBER 3.020010 BEING A 3 1/4" ALUMINUM ALLOY CAP LOCATED IN CASTLE ROCK AT THE FAIRGROUNDS AND REGIONAL PARK APPROXIMATELY 400 FEET SOUTHEAST OF THE PARKING LOT, 28.0 FEET NORTH OF A SIDEWALK, AND 7 FEET SOUTHEAST OF THE WALK THAT RUNS ALONG THE OUTFIELD FENCE OF THE BASEBALL FIELDS.

ELEVATION = 6260.65' (NAVD88)

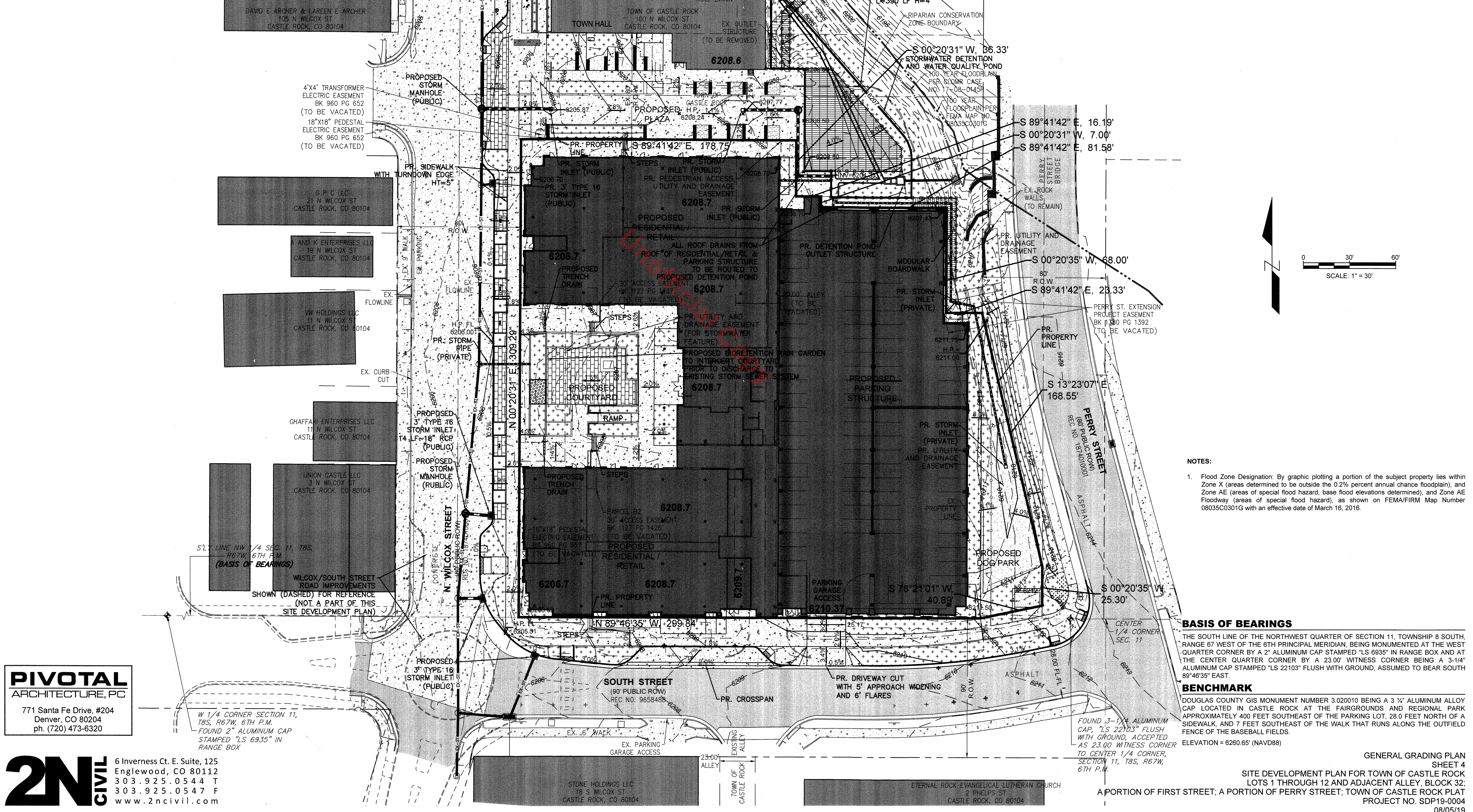
GENERAL SITE PLAN SHEET 3
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0004
08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET;
TOWN OF CASTLE ROCK PLAT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS,
STATE OF COLORADO



EXISTING		PROPOSED	
EX-ST	STORM SEWER MAIN	PROPOSED PROPERTY LINE	PROPOSED PROPERTY LINE
⊙	STORM SEWER INLET	BUILDING LINE	BUILDING LINE
⊙	STORM SEWER MANHOLE	STORM SEWER PIPE (CONCRETE)	STORM SEWER PIPE (CONCRETE)
---	STORM CLEAN OUT	STORM SEWER INLET (CONCRETE)	STORM SEWER INLET (CONCRETE)
-5225-	MAJOR CONTOUR	STORM SEWER PIPE (PVC)	STORM SEWER PIPE (PVC)
5227	MINOR CONTOUR	STORM SEWER INLET (PVC)	STORM SEWER INLET (PVC)
4.5.1%	EXISTING SLOPE	MAJOR CONTOUR	MAJOR CONTOUR
---	100-YEAR FLOODPLAIN	MINOR CONTOUR	MINOR CONTOUR
6208.6	EXISTING FINISH FLOOR	5227	SPOT ELEVATION
		2.0%	SLOPE
		6208.7	FINISH FLOOR



PIVOTAL
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303.925.0547 F
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NOTES:

- Flood Zone Designation: By graphic plotting a portion of the subject property lies within Zone X (areas determined to be outside the 0.2% percent annual chance floodplain), and Zone AE (areas of special flood hazard, base flood elevations determined), and Zone AE Floodway (areas of special flood hazard), as shown on FEMA/FIRM Map Number 08035C0301G with an effective date of March 16, 2016.

BASIS OF BEARINGS
THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "LS 6935" IN RANGE BOX AND AT THE CENTER QUARTER CORNER BY A 23.00" WITNESS CORNER BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 22103" FLUSH WITH GROUND, ASSUMED TO BEAR SOUTH 89°46'35" EAST.

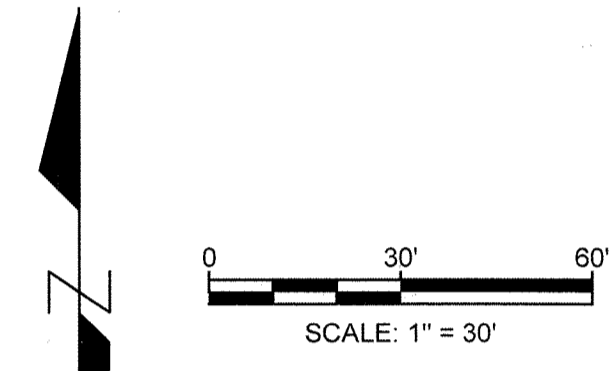
BENCHMARK
DOUGLAS COUNTY GIS MONUMENT NUMBER 3.020010 BEING A 3 1/2" ALUMINUM ALLOY CAP LOCATED IN CASTLE ROCK AT THE FAIRGROUNDS AND REGIONAL PARK APPROXIMATELY 400 FEET SOUTHEAST OF THE PARKING LOT, 28.0 FEET NORTH OF A SIDEWALK, AND 7 FEET SOUTHEAST OF THE WALK THAT RUNS ALONG THE OUTFIELD FENCE OF THE BASEBALL FIELDS.
ELEVATION = 6280.65' (NAVD88)

GENERAL GRADING PLAN
SHEET 4
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0014
08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET;
TOWN OF CASTLE ROCK PLAT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS,
STATE OF COLORADO

EXISTING		PROPOSED	
EX-SS	SANITARY SEWER MAIN & MANHOLE	PROPOSED	PROPOSED PROPERTY LINE
EX-ST	STORM SEWER MAIN & MANHOLE	---	PROPOSED EASEMENT
EX-W	WATERLINE & MANHOLE	---	SANITARY SEWER SERVICE
EX-V	VALVE	---	WATER SERVICE
EX-M	METER	---	STORM SEWER
EX-FH	FIRE HYDRANT	---	STORM SEWER MANHOLE
EX-UE	UNDERGROUND ELECTRIC LINE	---	STORM SEWER INLET
EX-EB	ELECTRIC BREAKER BOX	---	STORM SEWER TYPE C INLET
EX-EM	ELECTRIC METER	---	FIRE HYDRANT
EX-EP	ELECTRIC PEDESTAL	X X X X X	EX. UTILITY TO BE REMOVED
EX-ET	ELECTRIC TRANSFORMER	---	FIBER OPTIC LINE
EX-EV	ELECTRIC VALVE	---	GAS LINE
EX-LP	LIGHT POLE	---	ELECTRIC LINE
EX-UT	UNDERGROUND TELEPHONE	---	COAXIAL CABLE
EX-VP	VENT PIPE	---	LIGHT POLE
EX-GM	GAS METER	---	TRANSFORMER
EX-GMP	GAS MARKER POST	---	
EX-C	CLEANOUT	---	
EX-MW	MONITORING WELL	---	
EX-TCV	TRAFFIC CONTROL VAULT	---	
EX-FOLM	FIBER OPTIC LINE & MANHOLE	---	
EX-FOV	FIBER OPTIC VALVE	---	
EX-FOM	FIBER OPTIC MARKER	---	
EX-ICB	IRRIGATION CONTROL BOX	---	
EX-IV	IRRIGATION VALVE	---	
EX-IR	IRRIGATION WELL	---	
EX-100YF	100-YR FLOODPLAIN	---	



UTILITY NOTES

- All proposed easements must be recorded prior to issuance of construction permits.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- This site is located within the Town of Castle Rock YELLOW water pressure zone.

DRY UTILITY NOTE:

- Dry utility design including, but not limited to, electric, gas, and communication lines shall be by their respective utility provider and are shown hereon for reference only.

FIRE FLOW DATA:

TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS: 1,500 GPM
 THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT
 FIRE FLOW CALCULATION AREA, CONSTRUCTION TYPE I-B: 62.514 SF
 THIS BUILDING IS FULLY SPRINKLERED

BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE WEST QUARTER CORNER BY A 2" ALUMINUM CAP STAMPED "LS 6935" IN RANGE BOX AND AT THE CENTER QUARTER CORNER BY A 23.00" WITNESS CORNER BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 22103" FLUSH WITH GROUND, ASSUMED TO BEAR SOUTH 89°46'35" EAST.

BENCHMARK

DOUGLAS COUNTY GIS MONUMENT NUMBER 3.020010 BEING A 3 1/2" ALUMINUM ALLOY CAP LOCATED IN CASTLE ROCK AT THE FAIRGROUNDS AND REGIONAL PARK APPROXIMATELY 400 FEET SOUTHEAST OF THE PARKING LOT, 28.0 FEET NORTH OF A SIDEWALK, AND 7 FEET SOUTHEAST OF THE WALK THAT RUNS ALONG THE OUTFIELD FENCE OF THE BASEBALL FIELDS.
 ELEVATION = 6260.65' (NAVD88)

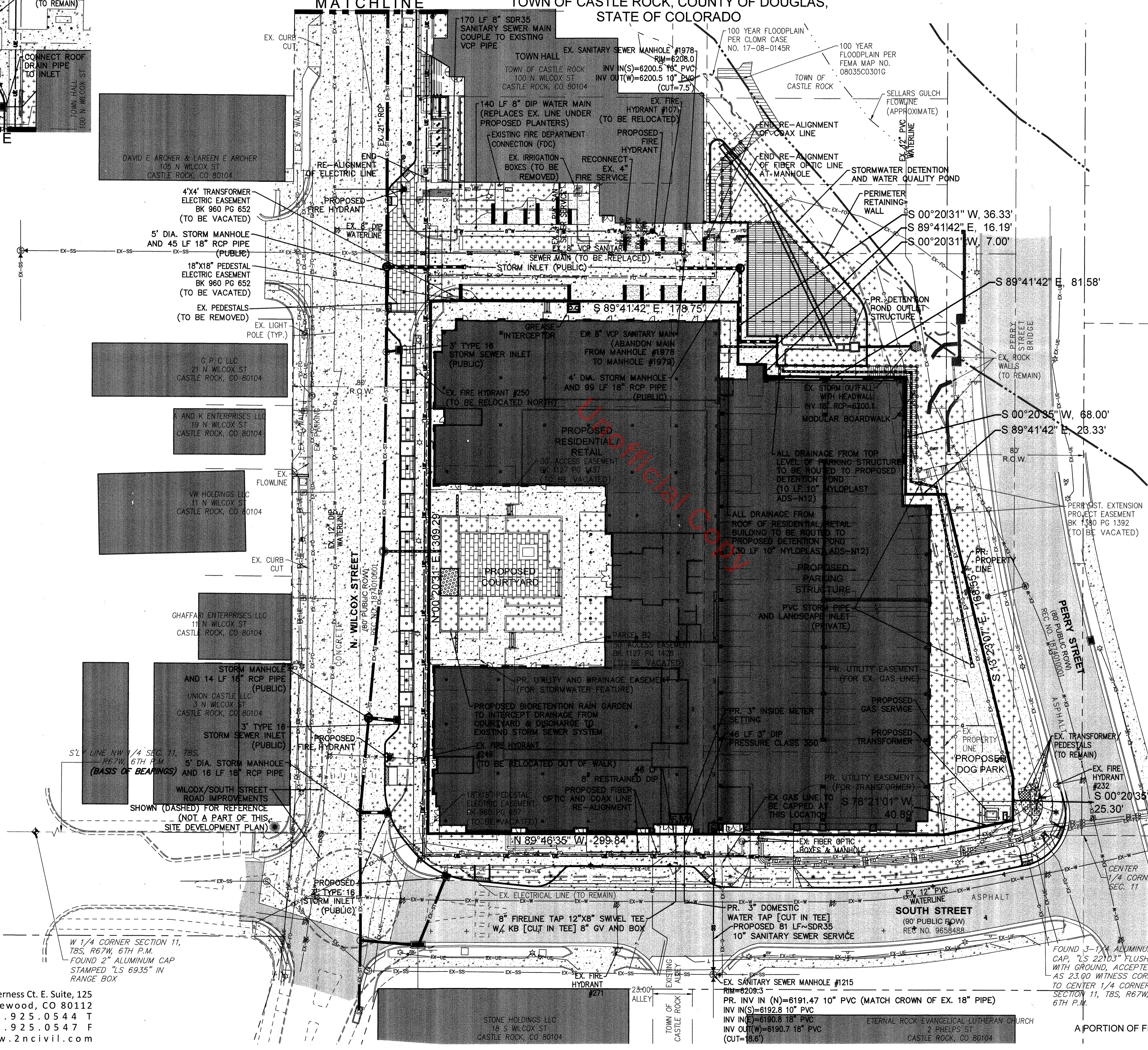
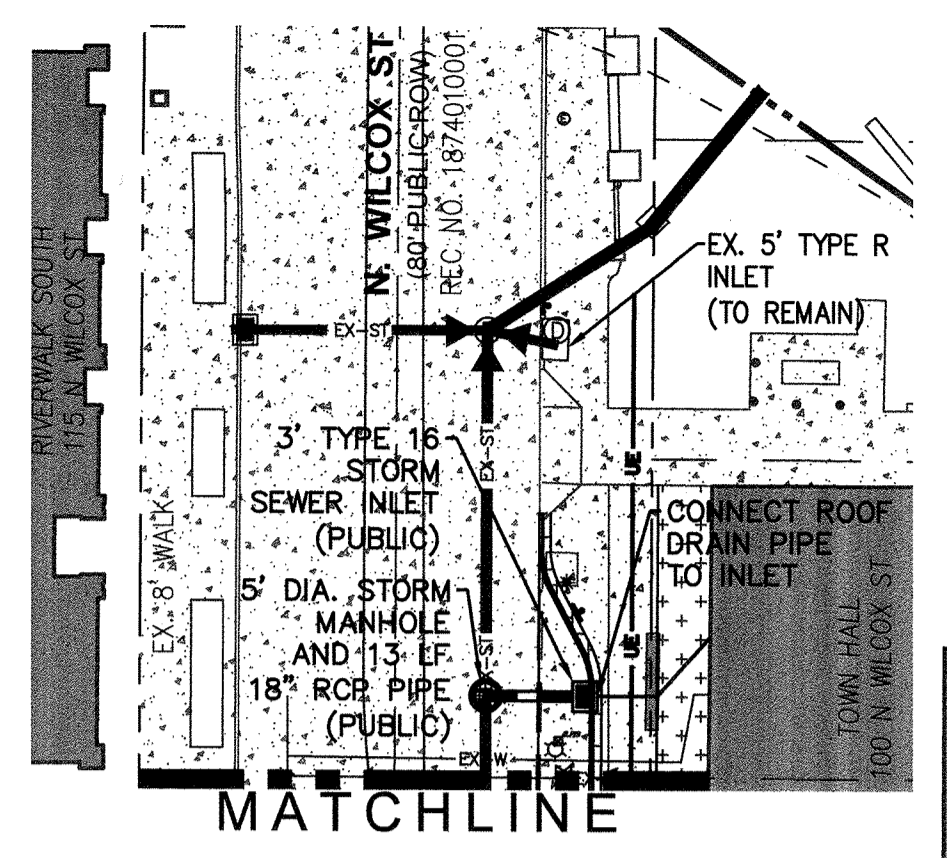
GENERAL UTILITY PLAN

SHEET 5

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT

PROJECT NO. SDP19-0014

08/05/19



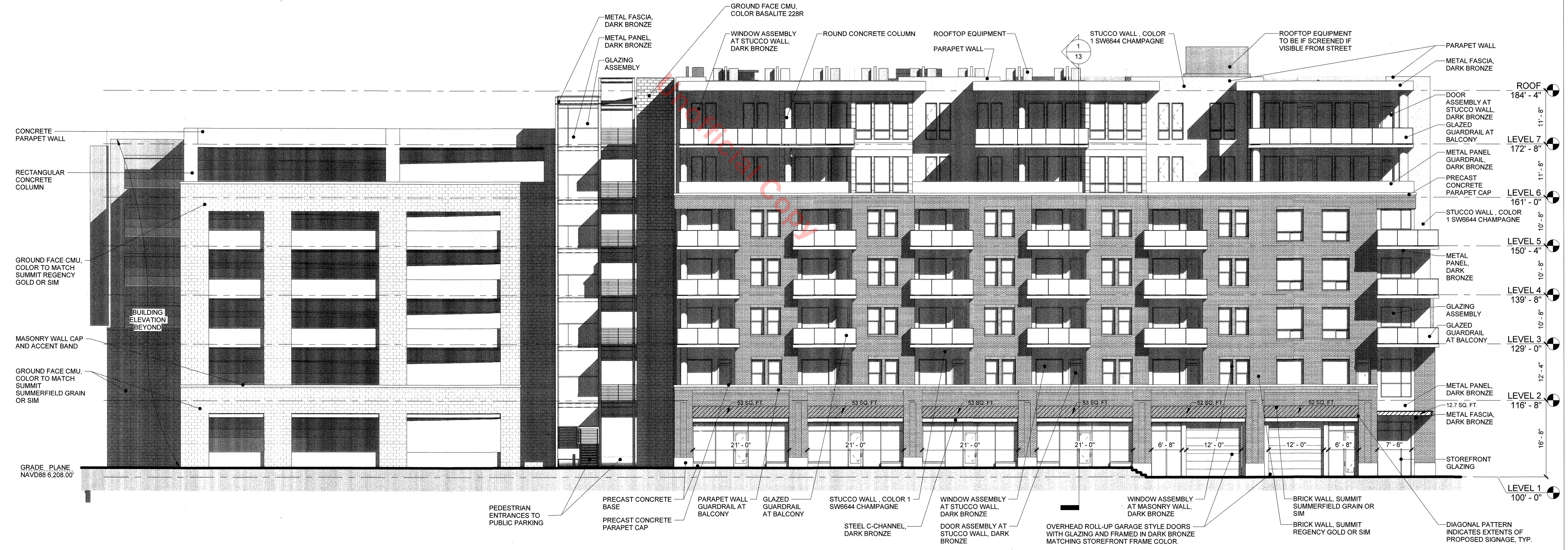
PIVOTAL
 ARCHITECTURE, PC
 771 Santa Fe Drive, #204
 Denver, CO 80204
 ph. (720) 473-6320

2N CIVIL
 6 Inverness Ct. E. Suite, 125
 Englewood, CO 80112
 303.925.0544 T
 303.925.0544 F
 www.2ncivil.com

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SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

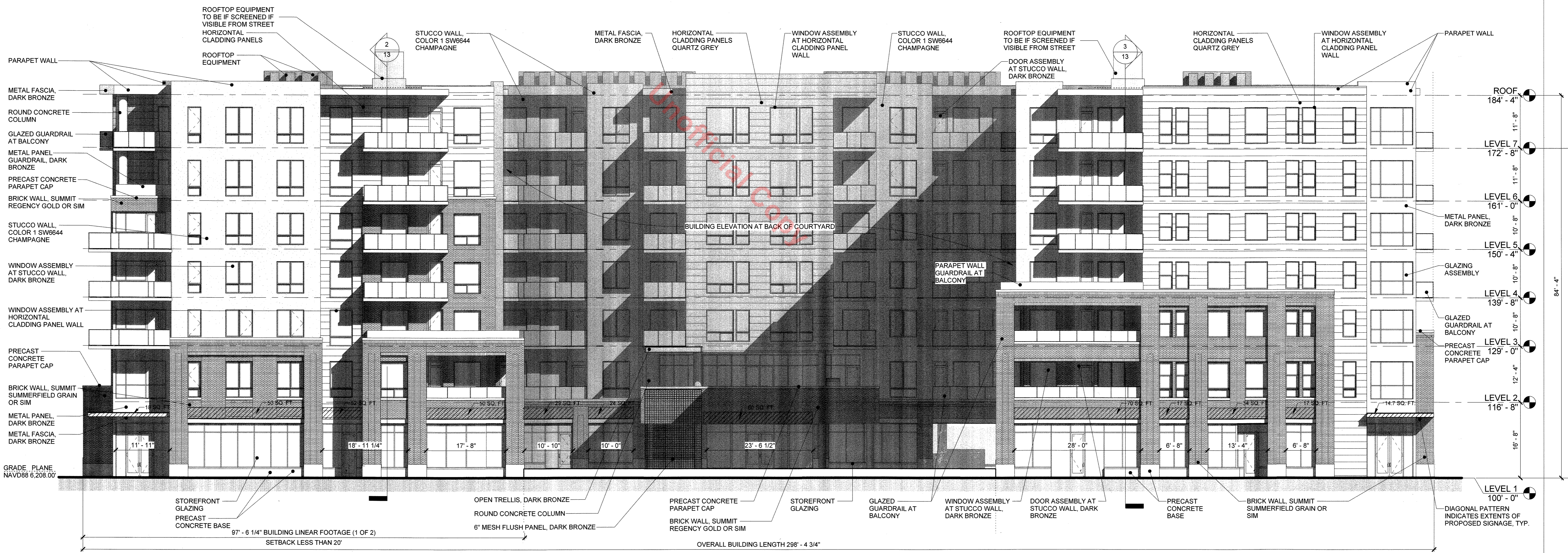


1 BUILDING ELEVATION - NORTH
 3/32" = 1'-0"

TRANSPARENCY CALCULATION - SIDE ELEVATION (NORTH)	
BUILDING LENGTH:	288' - 11 5/8"
REQ. MIN. 30% TRANSPARENCY LENGTH:	86' - 8 1/4"
PROVIDED:	
TRANSPARENCY LENGTH:	128' - 10"
TRANSPARENCY PERCENTAGE:	44%

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

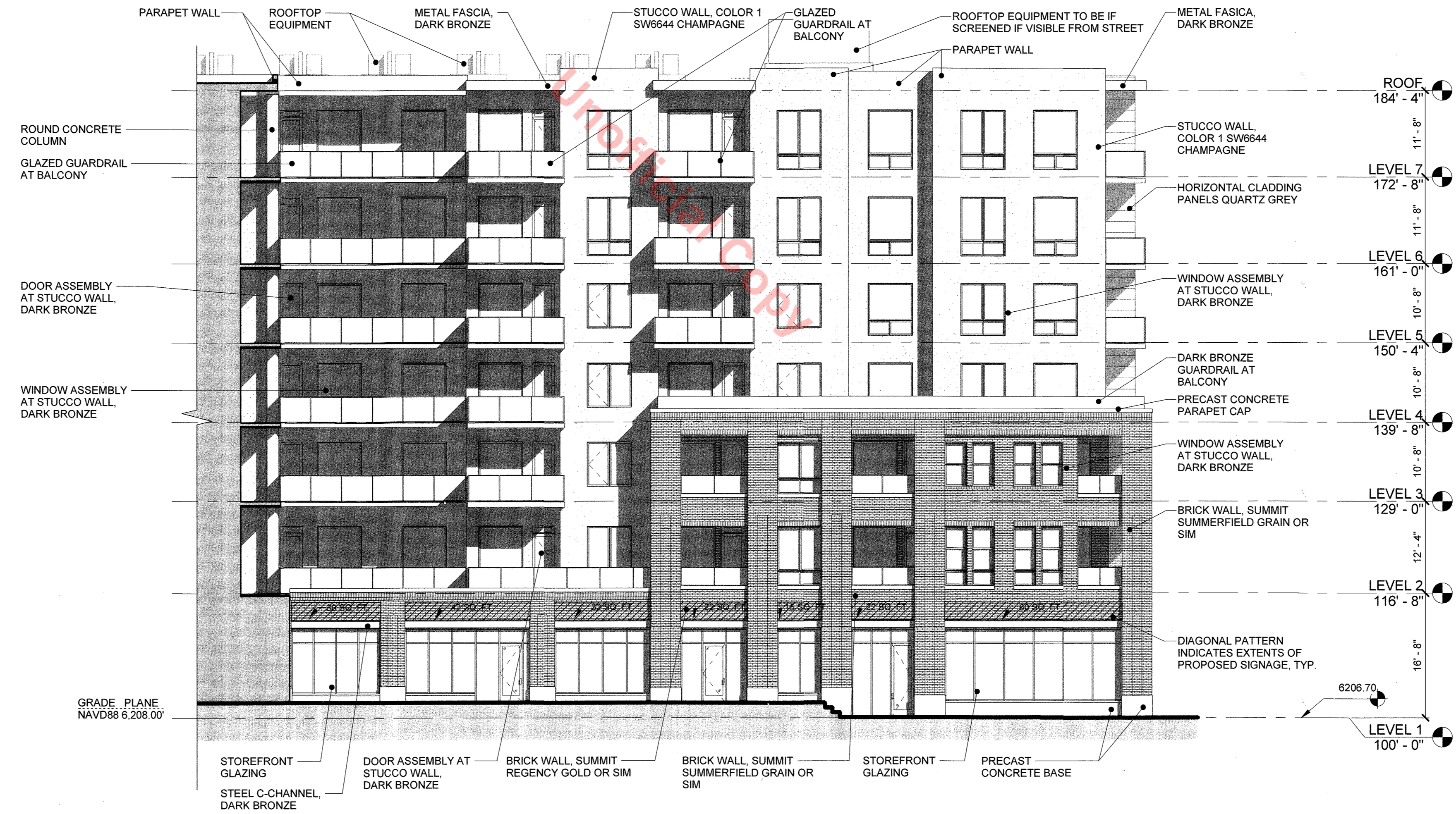


1 BUILDING ELEVATION - WEST
 3/32" = 1'-0"

TRANSPARENCY CALCULATION - FRONT ELEVATION	
BUILDING LENGTH:	298' - 2 3/4"
REQ. MIN. 35% TRANSPARENCY LENGTH:	104' - 4 5/8"
PROVIDED:	
TRANSPARENCY LENGTH:	208' - 9 1/2"
TRANSPARENCY PERCENTAGE:	70%

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 BUILDING ELEVATION - COURTYARD NORTH
 3/32" = 1'-0"

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SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



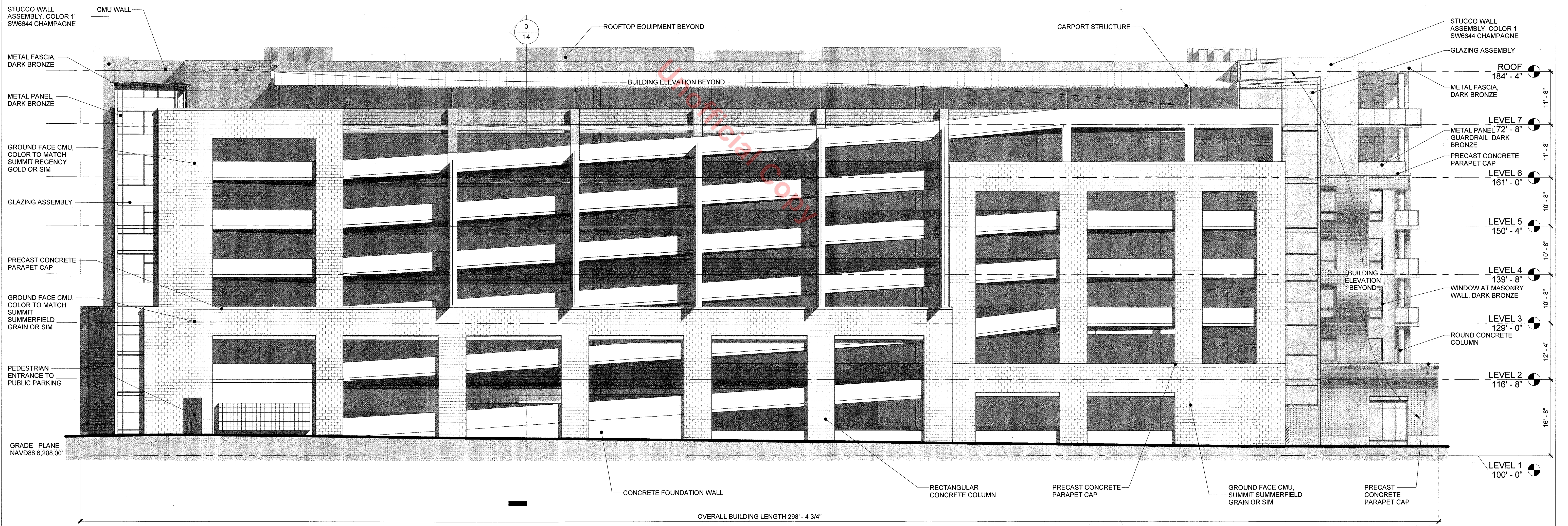
P:2019086952, Pages: 10 of 35

1 BUILDING ELEVATION - SOUTH
3/32" = 1'-0"

TRANSPARENCY CALCULATION - SIDE ELEVATION (SOUTH)	
BUILDING LENGTH:	288' - 11 5/8"
REQ. MIN. 30% TRANSPARENCY LENGTH:	86' - 5 1/4"
PROVIDED:	
TRANSPARENCY LENGTH:	102' - 7 3/4"
TRANSPARENCY PERCENTAGE:	35%

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



① BUILDING ELEVATION - EAST
3/32" = 1'-0"

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

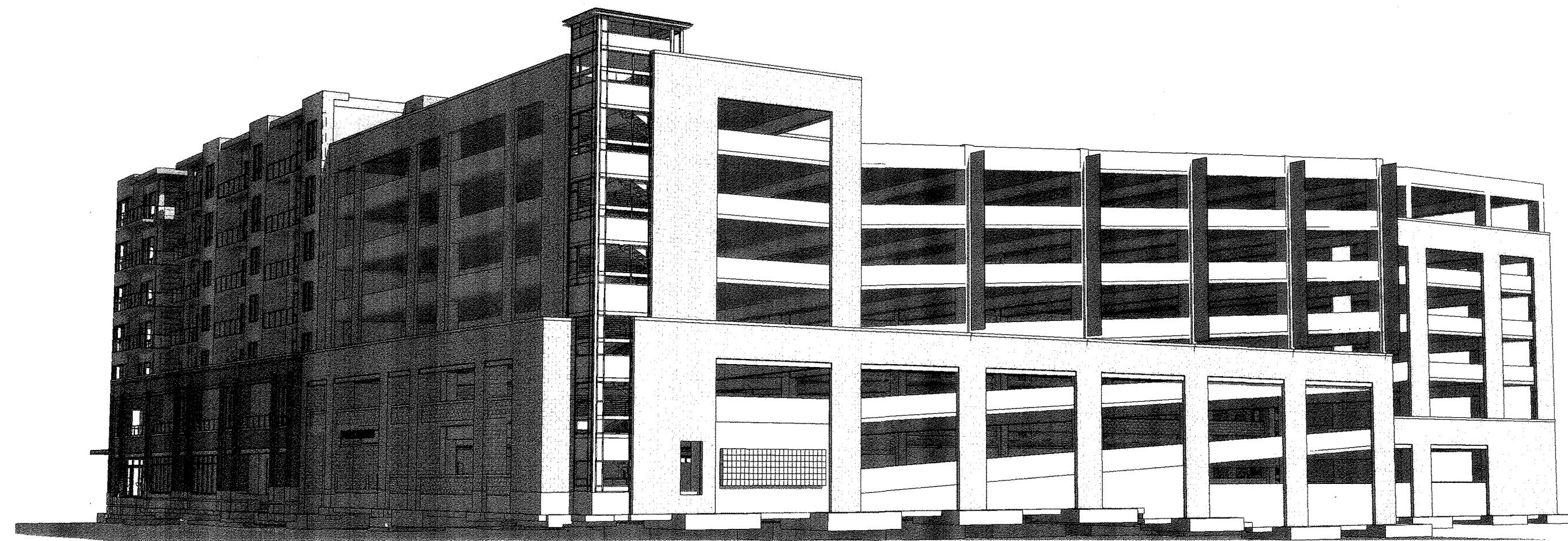


1 STREET PERSPECTIVE - NORTHWEST



2 STREET PERSPECTIVE - SOUTHWEST

Official Copy

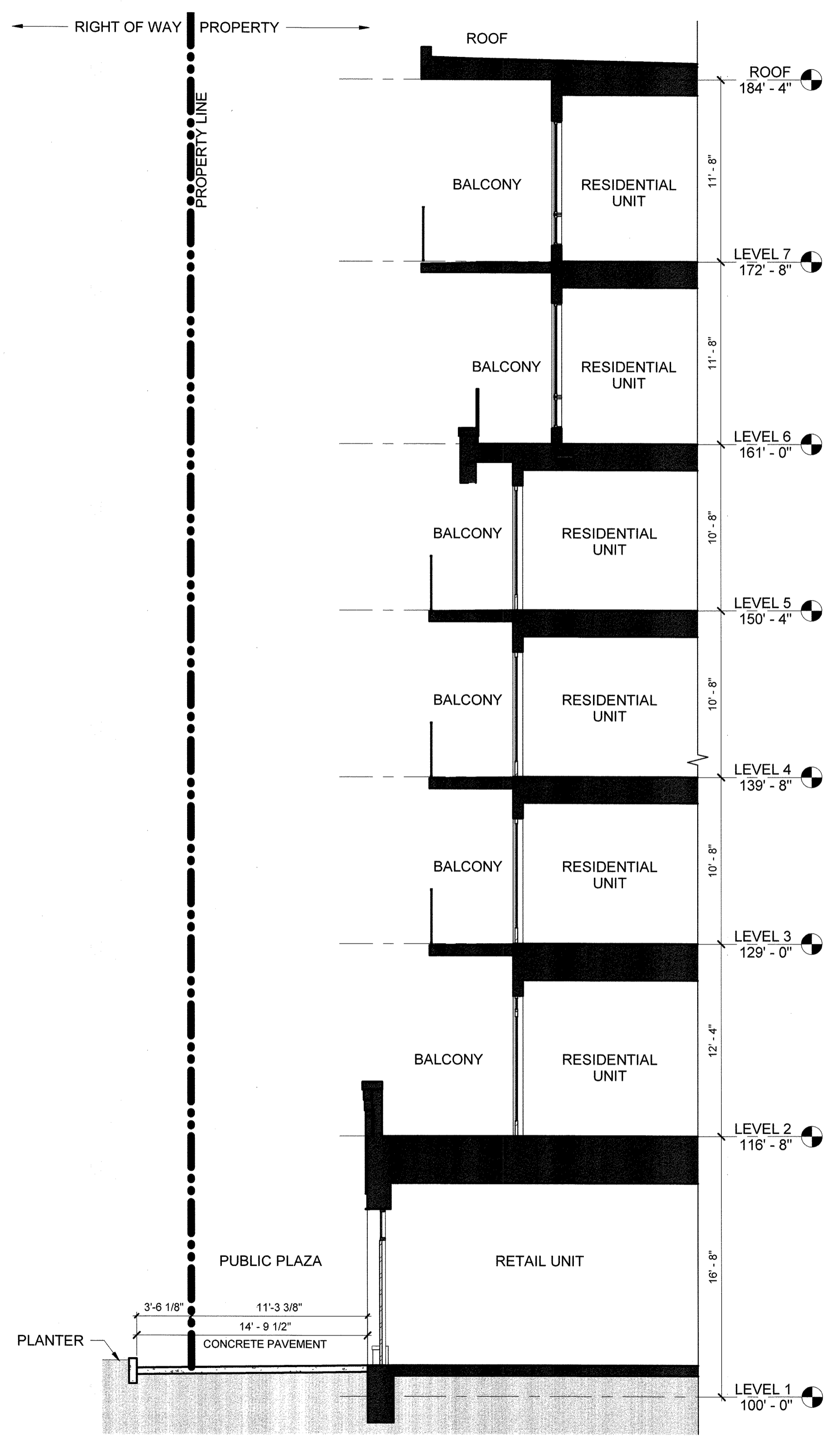


3 STREET PERSPECTIVE - SOUTHEAST

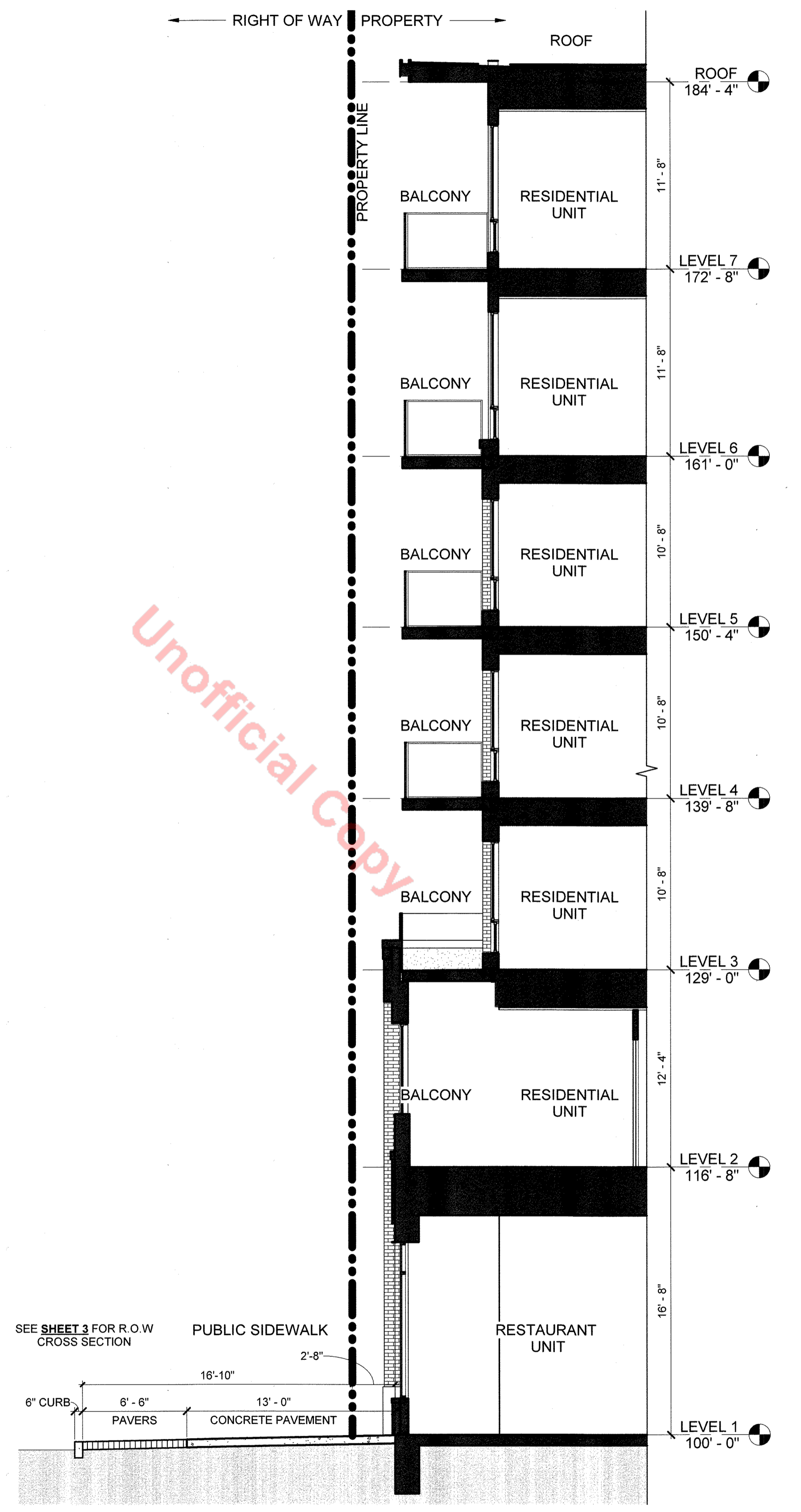
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SITE DEVELOPMENT PLAN

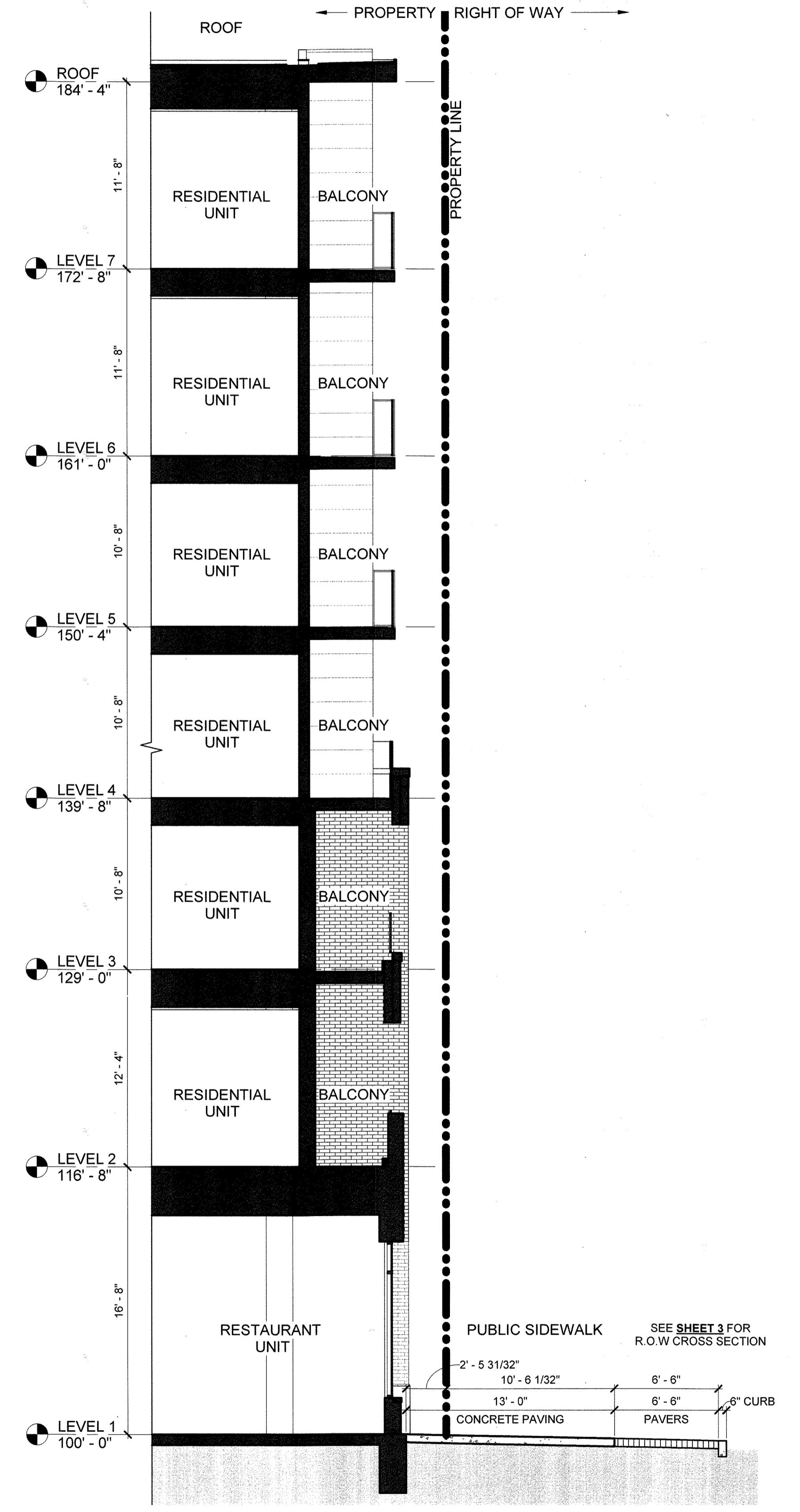
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SECTION - NORTH PLAZA
3/16" = 1'-0"



2 SECTION - WILCOX STREET AT NORTH WING
3/16" = 1'-0"



3 SECTION - WILCOX STREET AT SOUTH WING
3/16" = 1'-0"

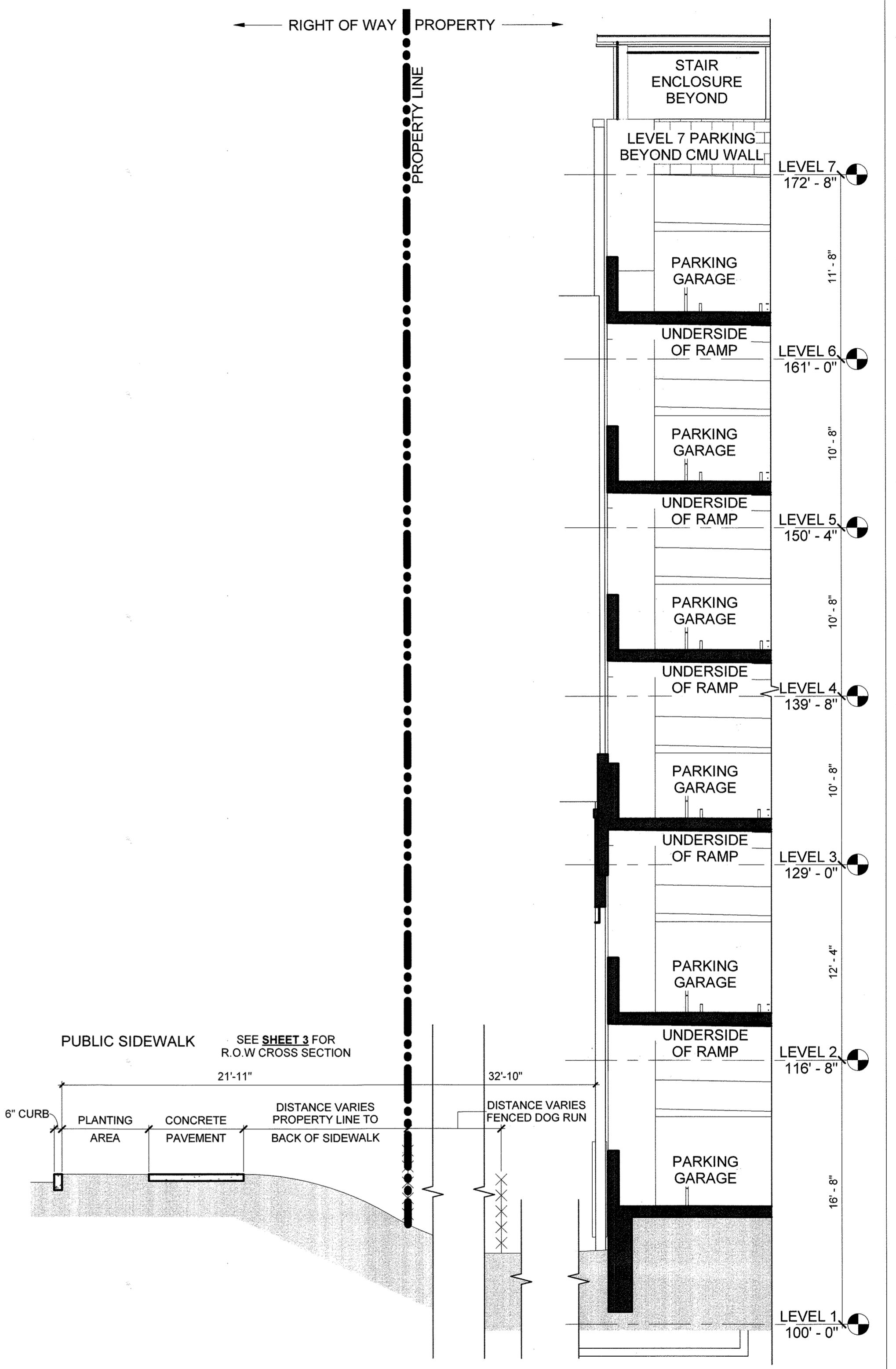
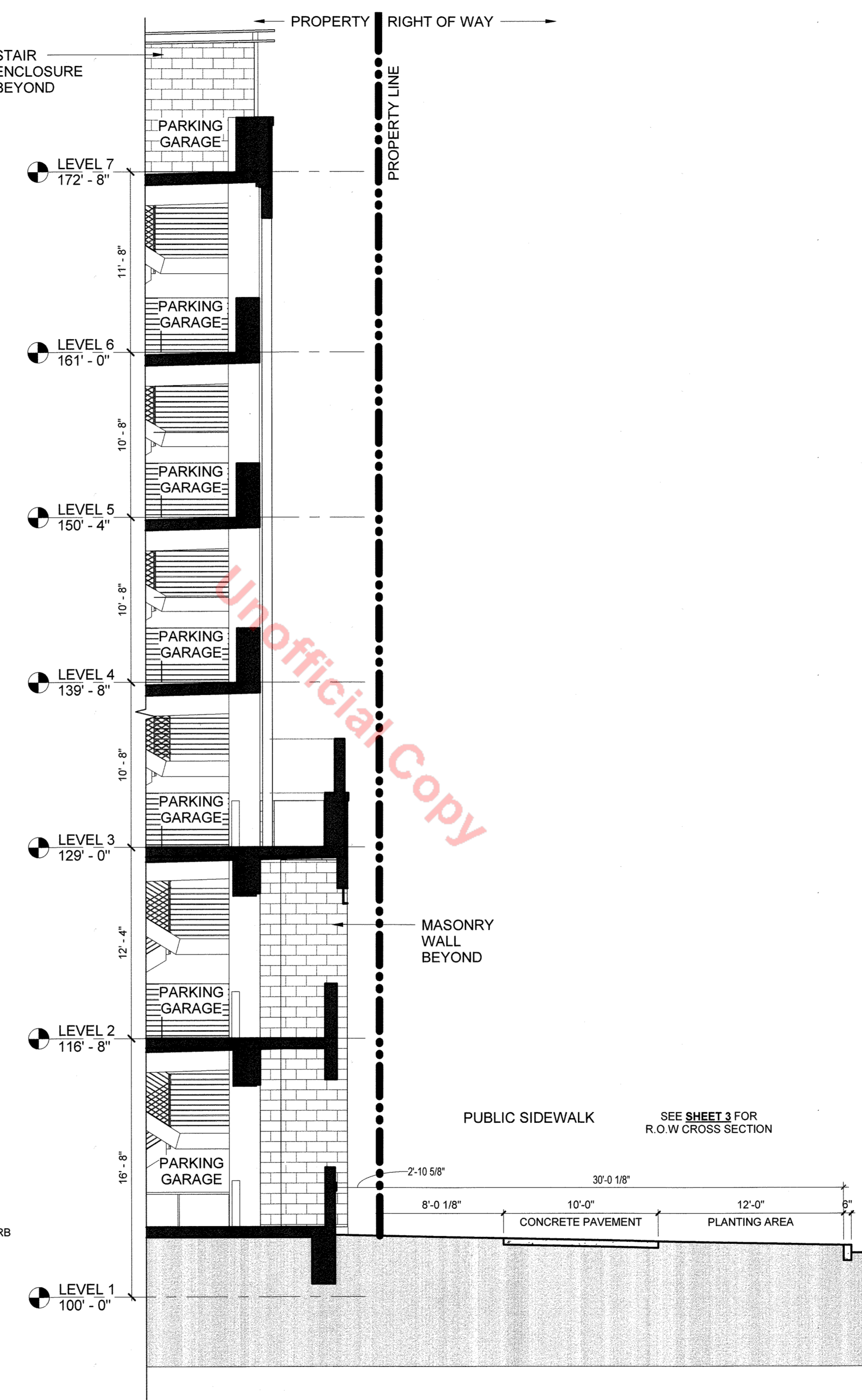
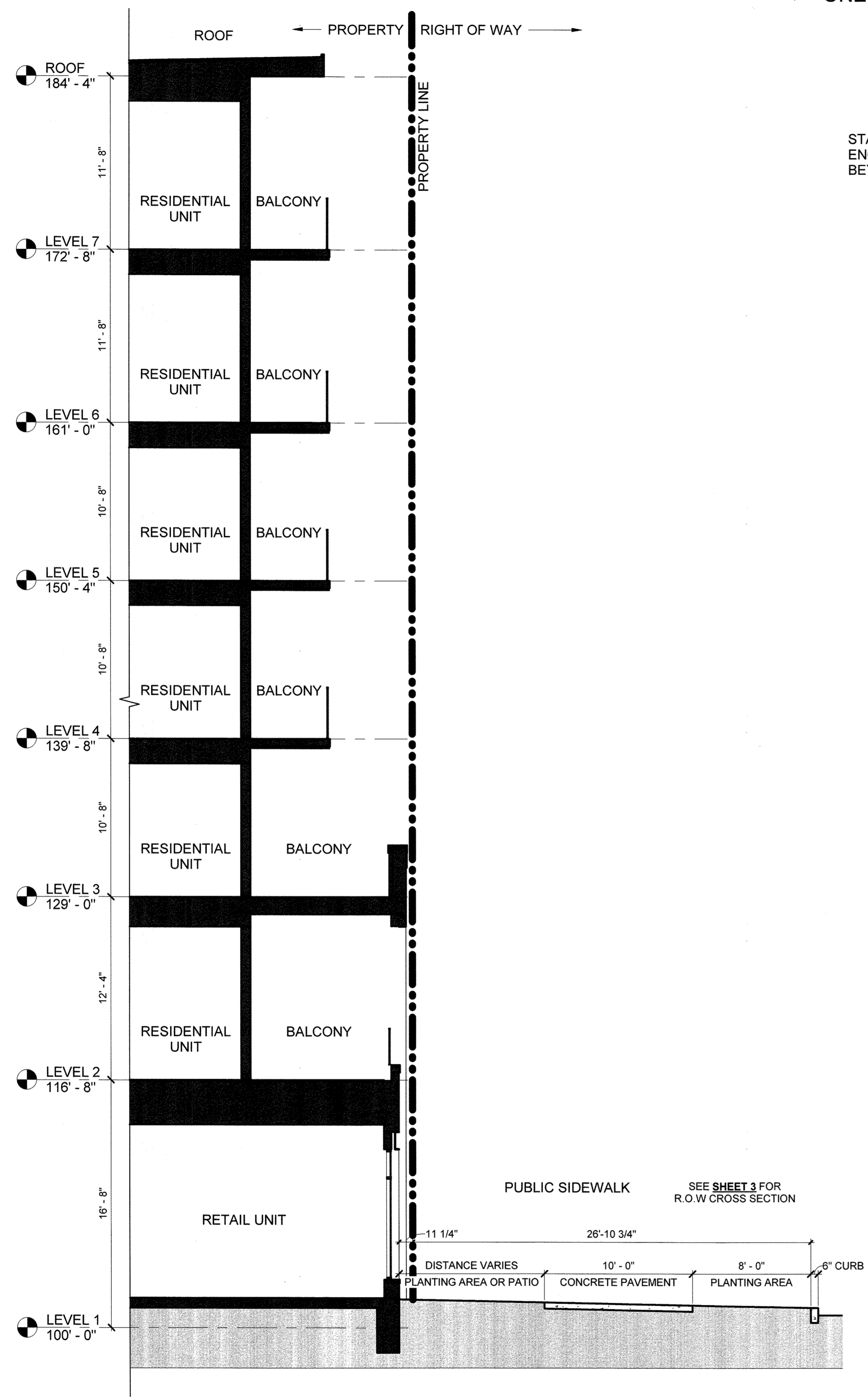
STREET SECTIONS
SHEET 13

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0004
08/05/19

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SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SECTION - SOUTH STREET AT MIXED USE
3/16" = 1'-0"

2 SECTION - SOUTH STREET AT PARKING GARAGE
3/16" = 1'-0"

3 SECTION - PERRY STREET AT PARKING GARAGE RAMP
3/16" = 1'-0"

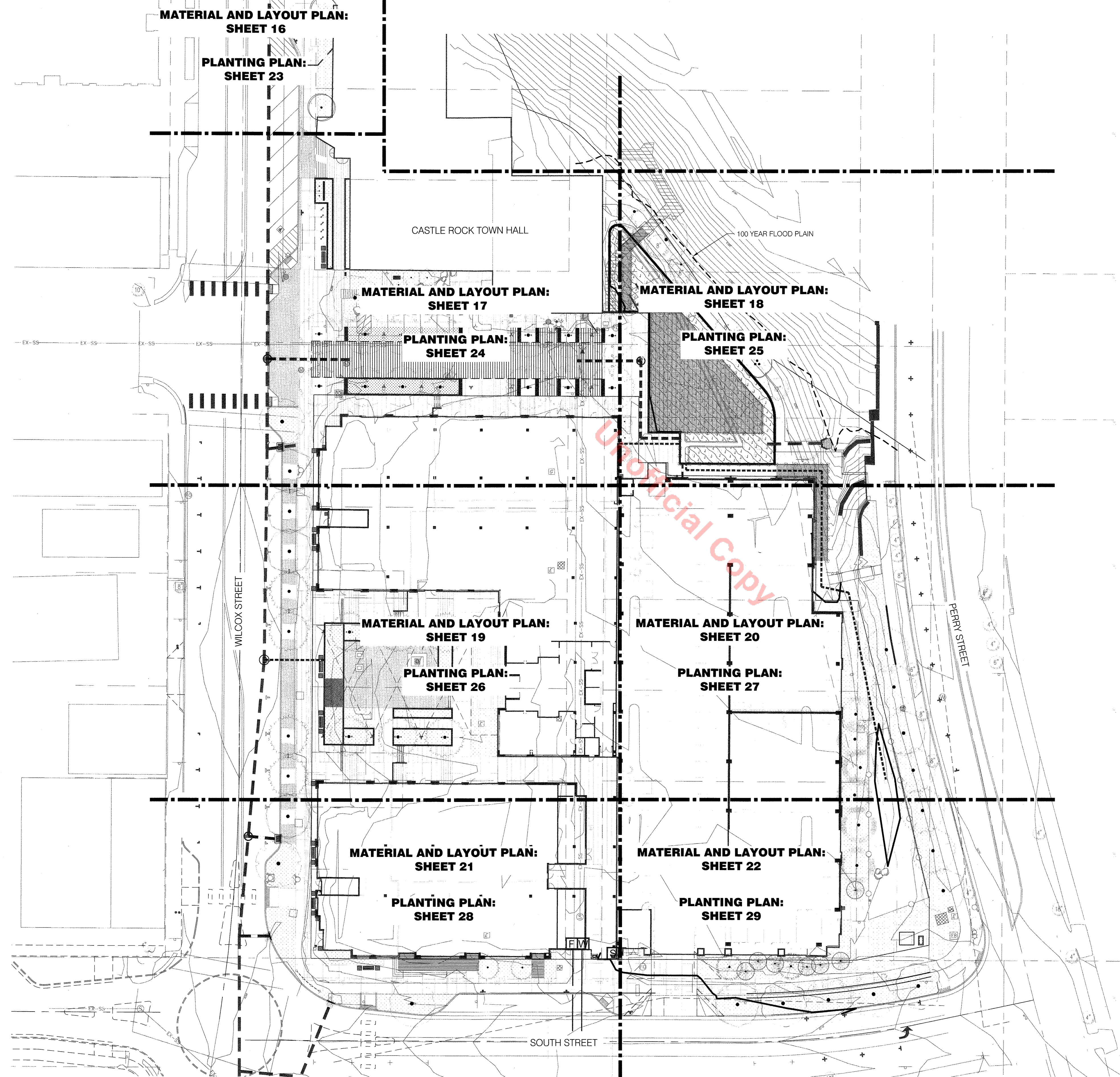
STREET SECTIONS
SHEET 14

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0004
08/05/19

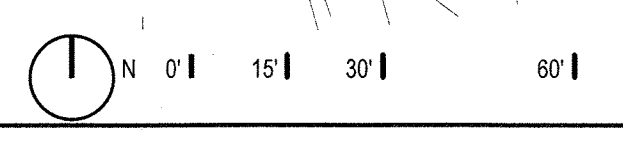
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SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 OVERALL LANDSCAPE PLAN
SCALE: 1"=30'-0"



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 tel 303.433.7100 fax 303.433.4301
 studio-insite.com

DENNIS RUBBA
 PROFESSIONAL LANDSCAPE
 ARCHITECT COLORADO: LA-230
 OVERALL LANDSCAPE PLAN
 SHEET 15

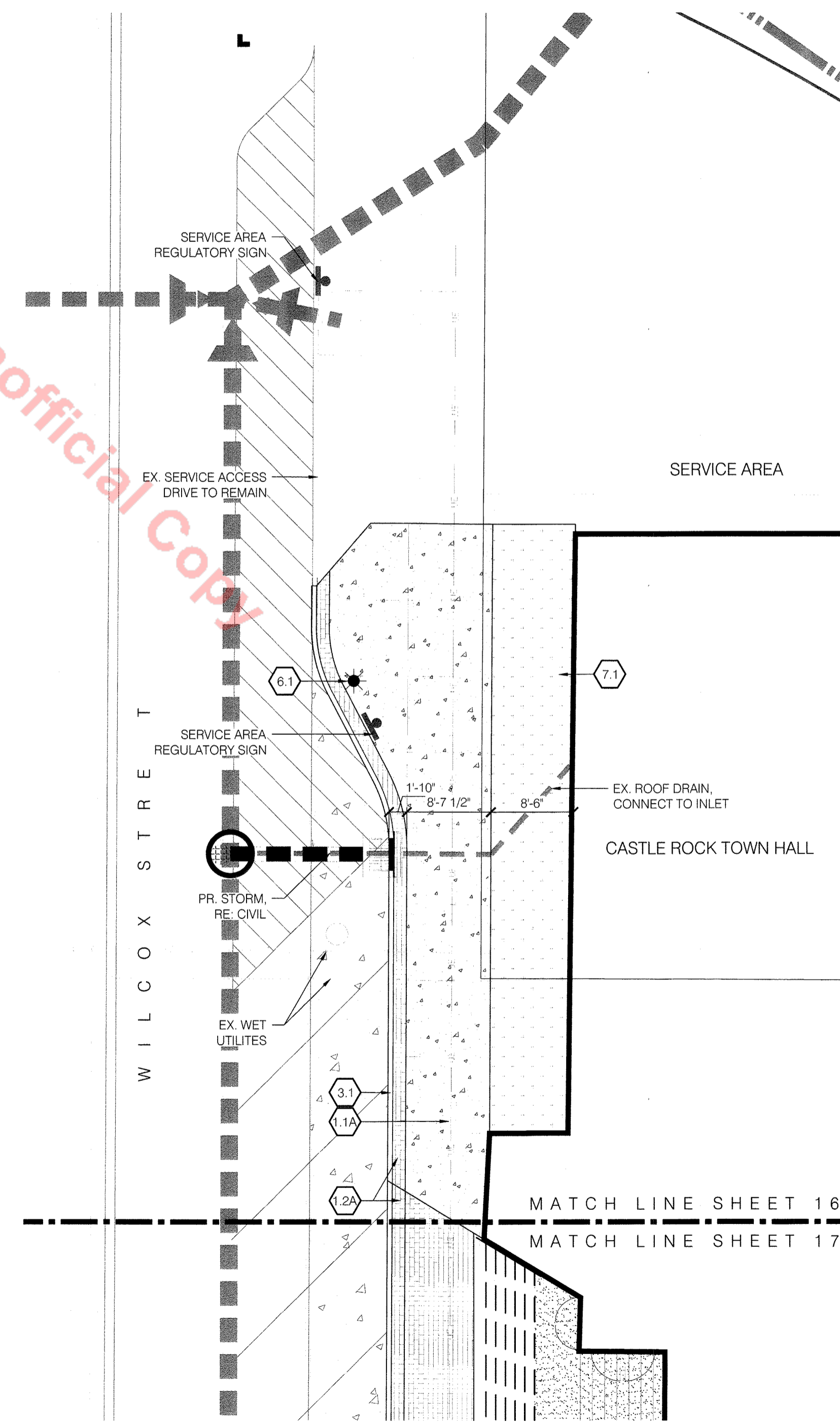
SITE DEVELOPMENT PLAN FOR
 TOWN OF CASTLE ROCK
 LOTS 1 THROUGH 12 AND ADJACENT
 ALLEY, BLOCK 32; A PORTION OF
 FIRST STREET; A PORTION OF
 PERRY STREET; TOWN OF CASTLE
 ROCK PLAT

PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Unofficial Copy



PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- 1.0 PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
 - 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
 - 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
 - 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
 - 1.2B CONCRETE UNIT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- 2.0 JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0 CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0 SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0 SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0 PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4' DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
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- 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4 DECOMPOSED GRANITE
- 5.10 BOARDWALK
- 5.17 ELEVATED METAL DECK
- 7.1 HARDWOOD MULCHED PLANTING BED (4')
- 7.2 NATIVE SEED MIX - TYPE 1
- 7.3 NATIVE SEED MIX - TYPE 2



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 tel 303.433.7100 fax 303.433.4301
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DENNIS RUBBA

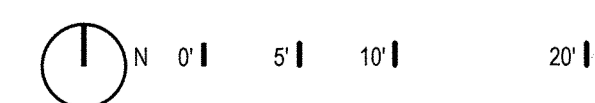
PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN SHEET 16

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT

PROJECT NO. SDP19-0004 08/05/19

1 MATERIAL AND LAYOUT PLAN

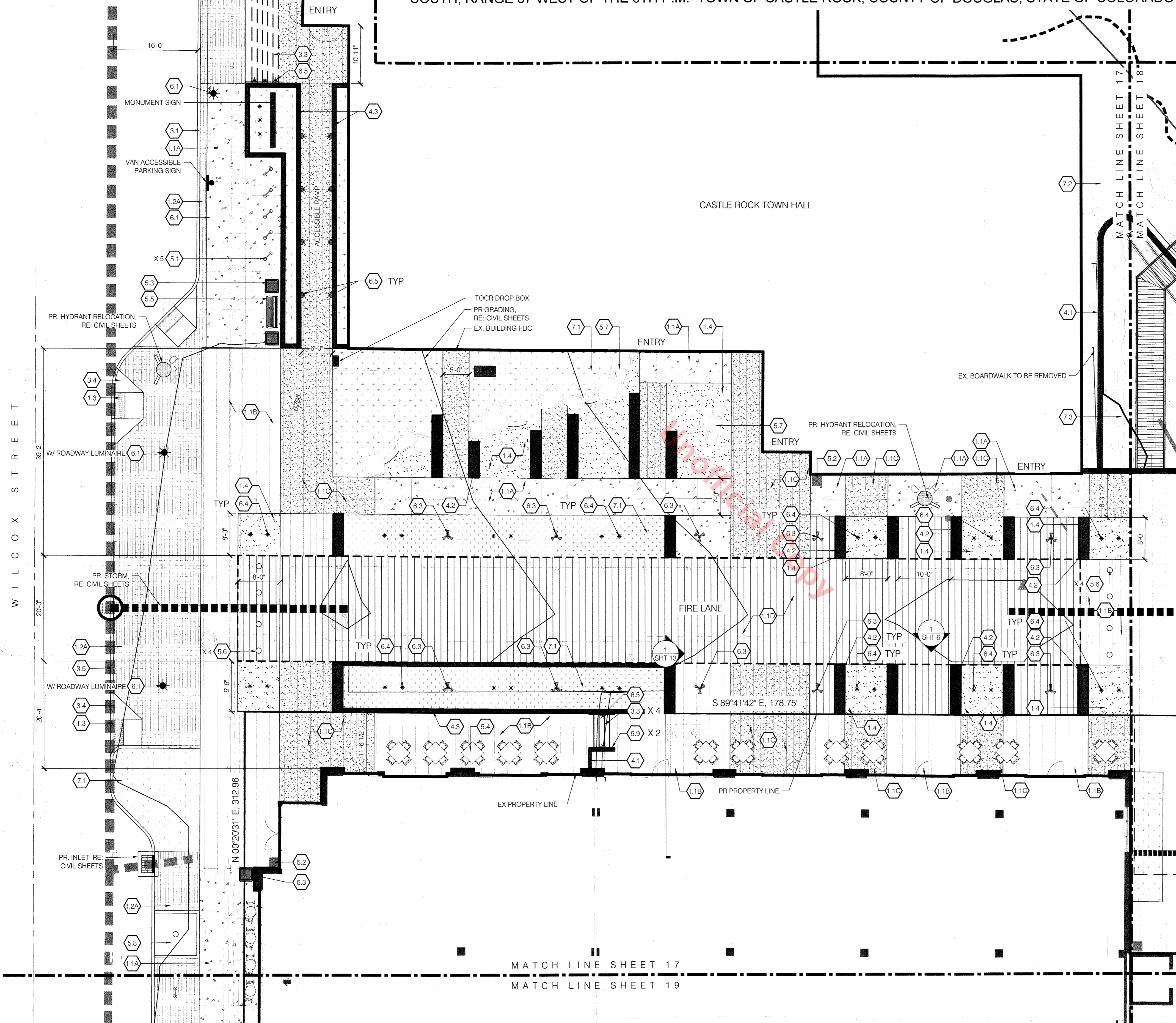
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MATCH LINE SHEET 16
MATCH LINE SHEET 17

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
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 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
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 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
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- 4.0 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0 SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 LITTER RACK
 - 5.2 BIKE/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
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 - 5.14 TRENCH DRAIN
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 - 6.5 WALL LIGHT
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 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

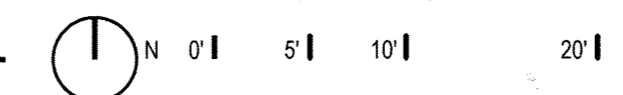
MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
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- 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4 DECOMPOSED GRANITE
- 5.10 BOARDWALK
- 5.17 ELEVATED METAL DECK
- 7.1 HARDWOOD MULCHED PLANTING BED (4")
- 7.2 NATIVE SEED MIX - TYPE 1
- 7.3 NATIVE SEED MIX - TYPE 2



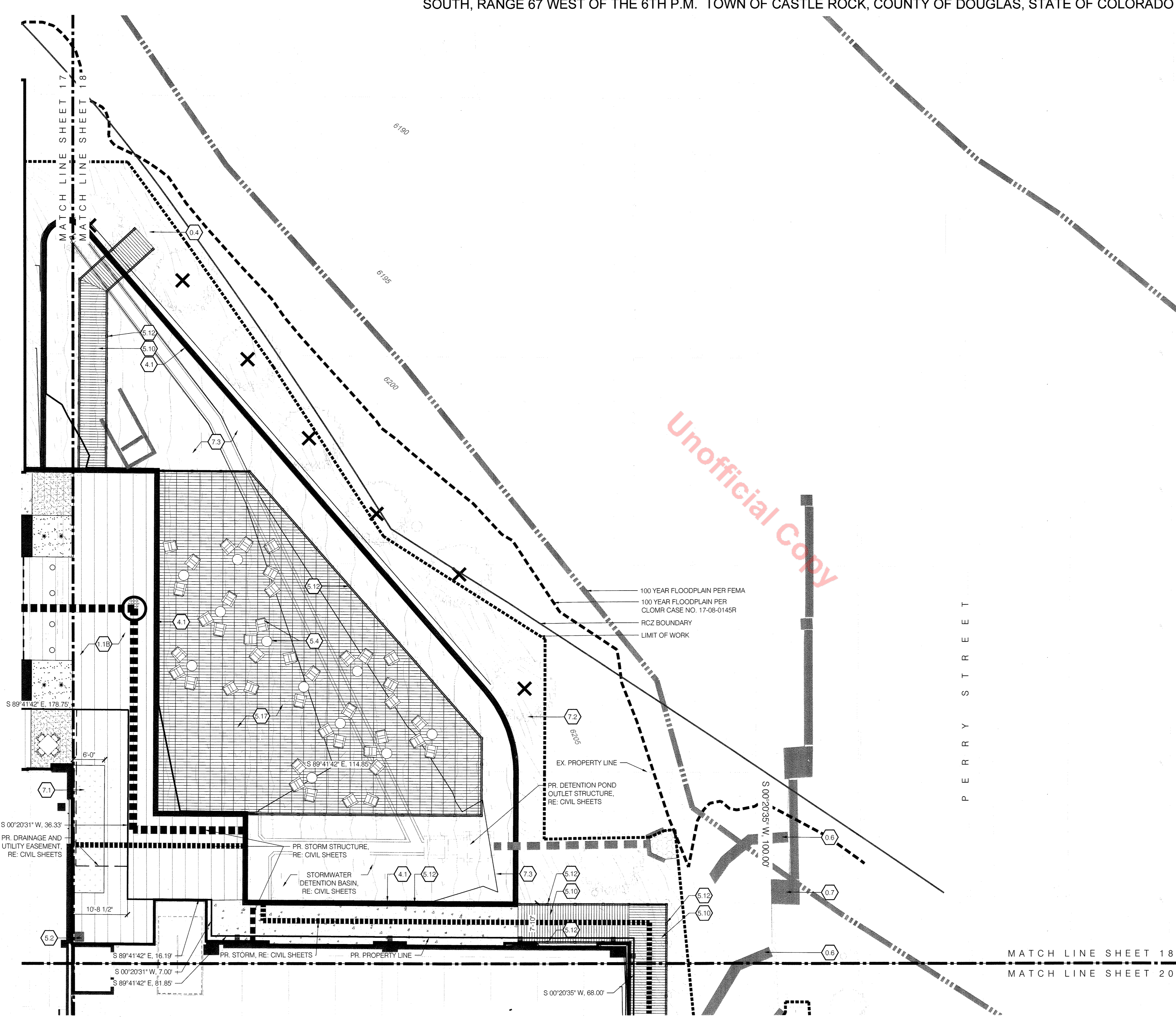
DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN SHEET 17

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK, LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0** EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- 1.0** PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
 - 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
 - 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
 - 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
 - 1.2B CONCRETE UNIT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- 2.0** JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0** CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0** WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0** SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0** SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0** PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

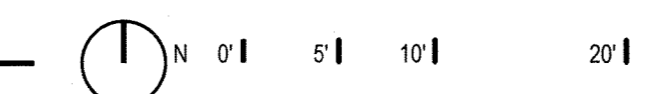
- 1.1A** CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
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- 1.4** DECOMPOSED GRANITE
- 5.10** BOARDWALK
- 5.17** ELEVATED METAL DECK
- 7.1** HARDWOOD MULCHED PLANTING BED (4")
- 7.2** NATIVE SEED MIX - TYPE 1
- 7.3** NATIVE SEED MIX - TYPE 2

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DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN SHEET 18

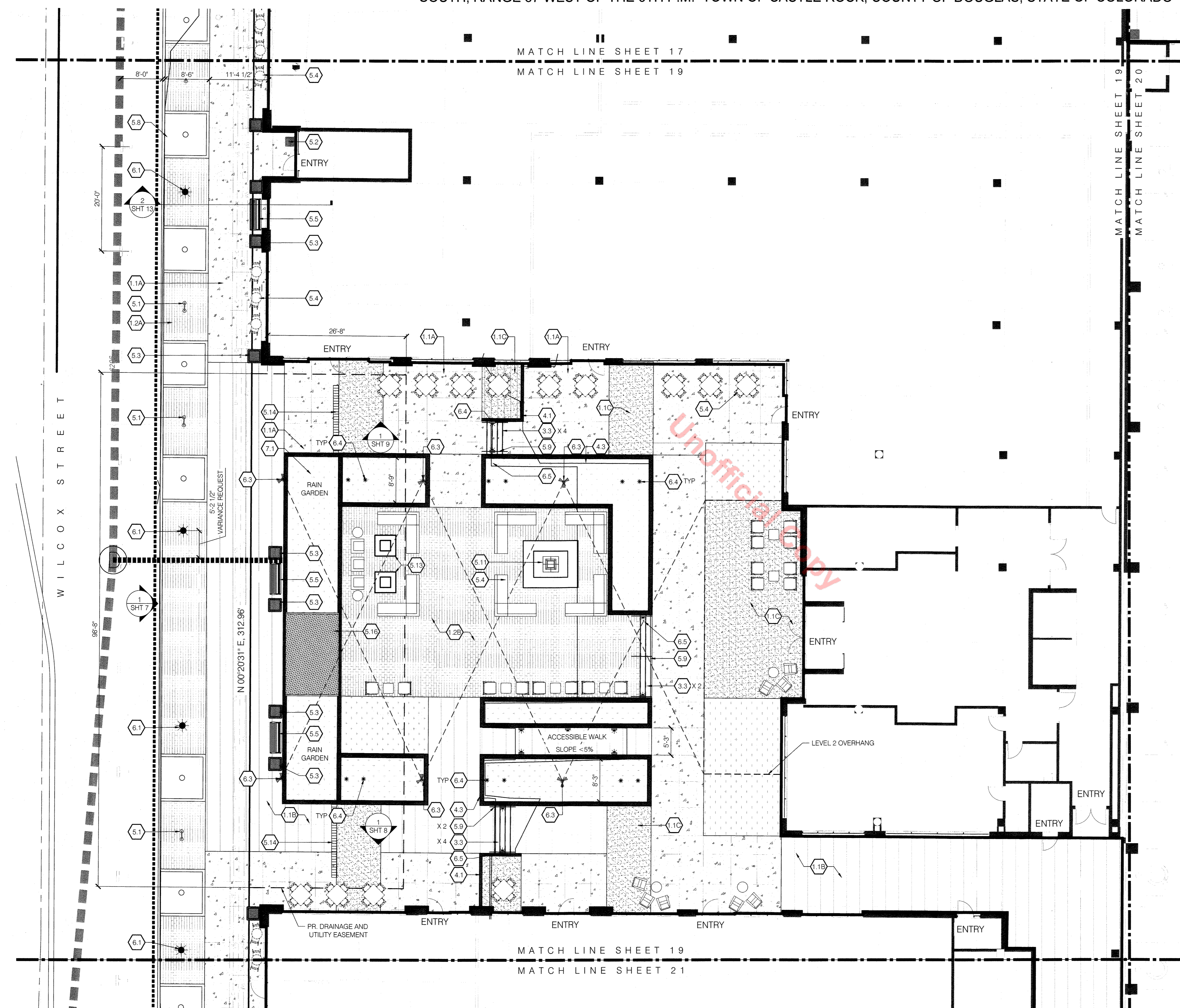
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

1 MATERIAL AND LAYOUT PLAN
 SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
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 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
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 - 3.4 CURB RAMP, RE CIVIL SHEETS
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 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
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 - 6.4 UPLIGHT
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MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
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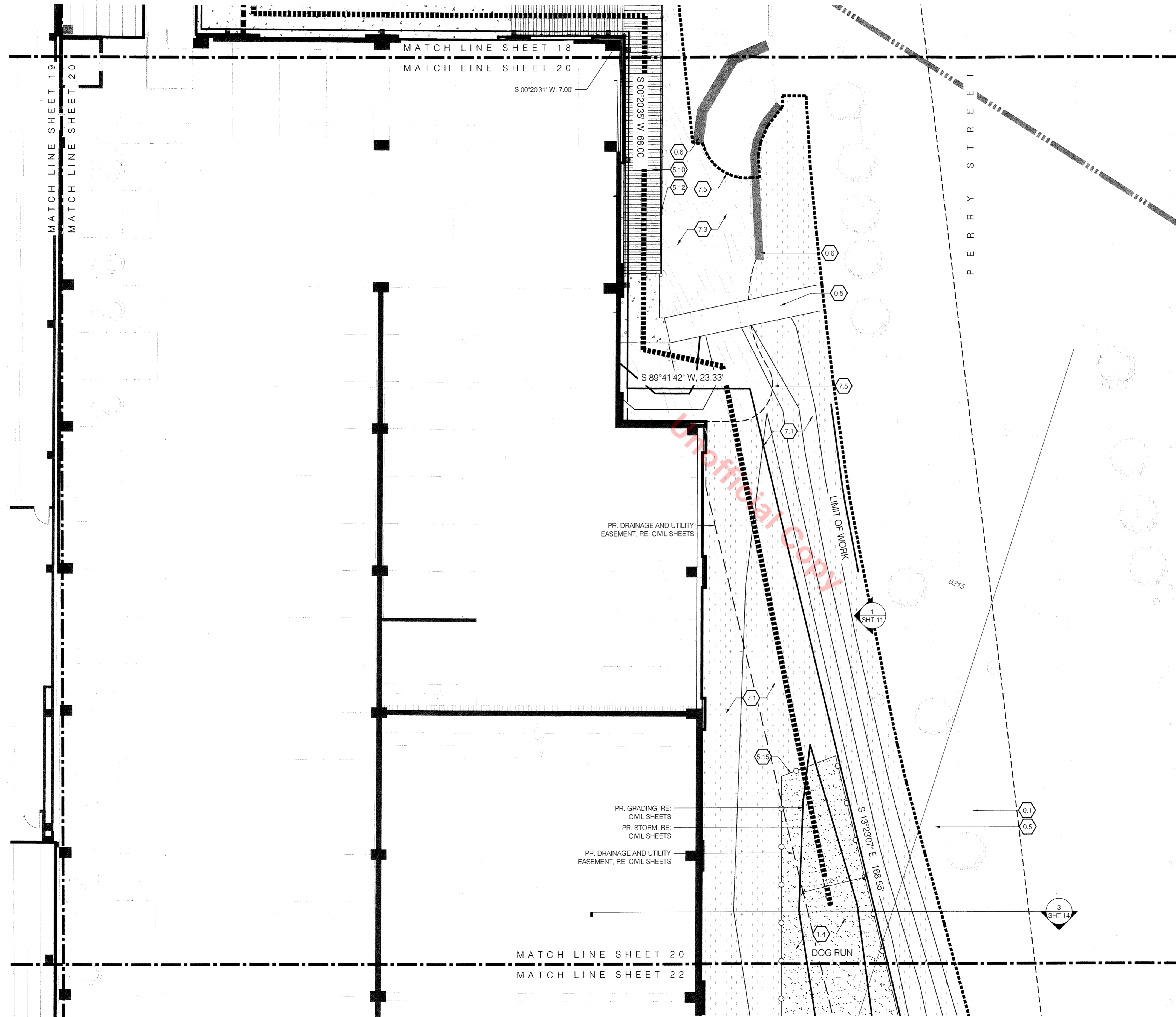


DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN SHEET 19

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

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MATERIALS LEGEND

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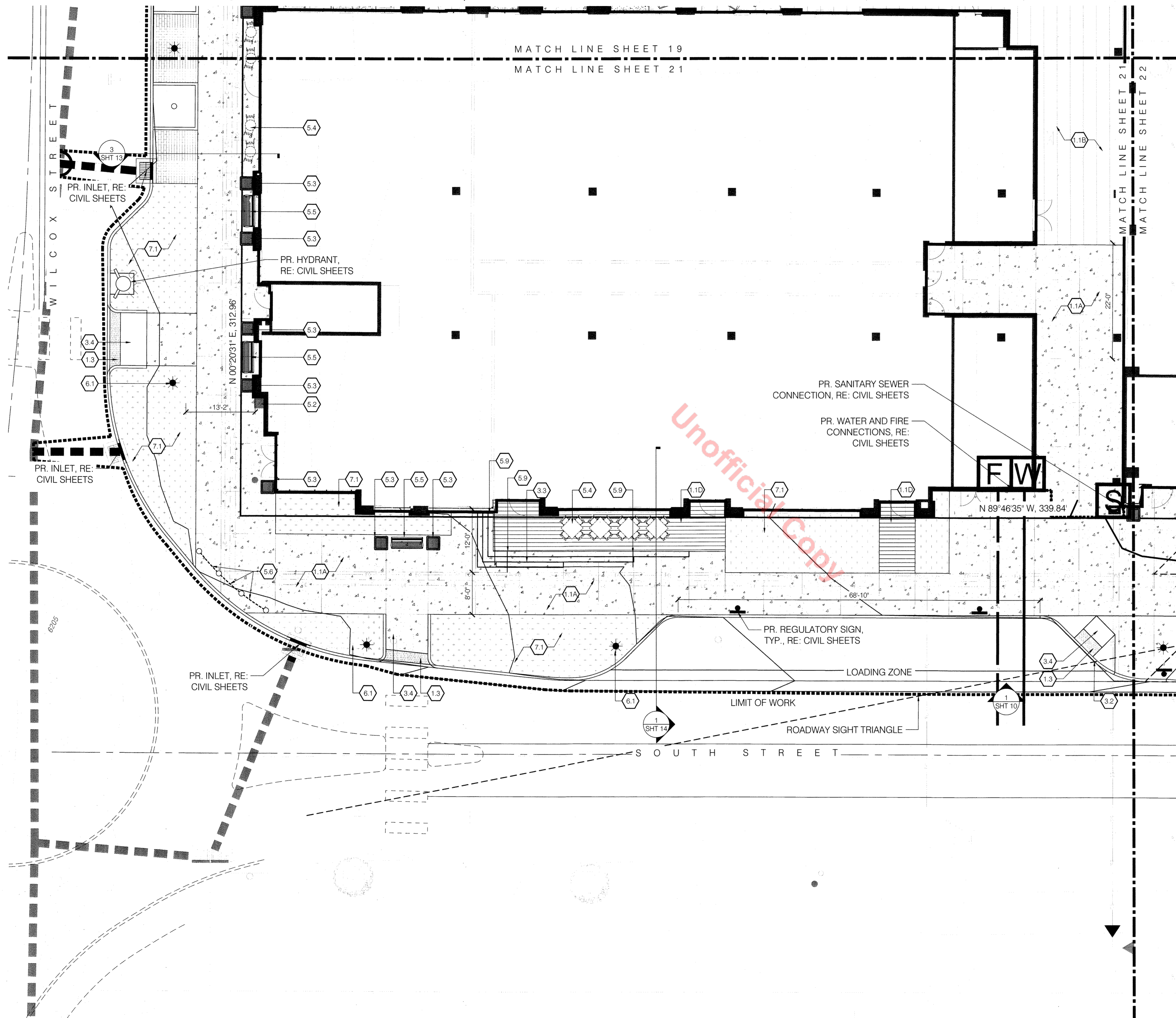


DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN
 SHEET 20

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

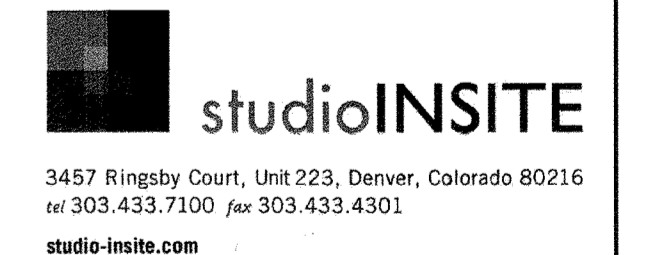


PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
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 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
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DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN SHEET 21

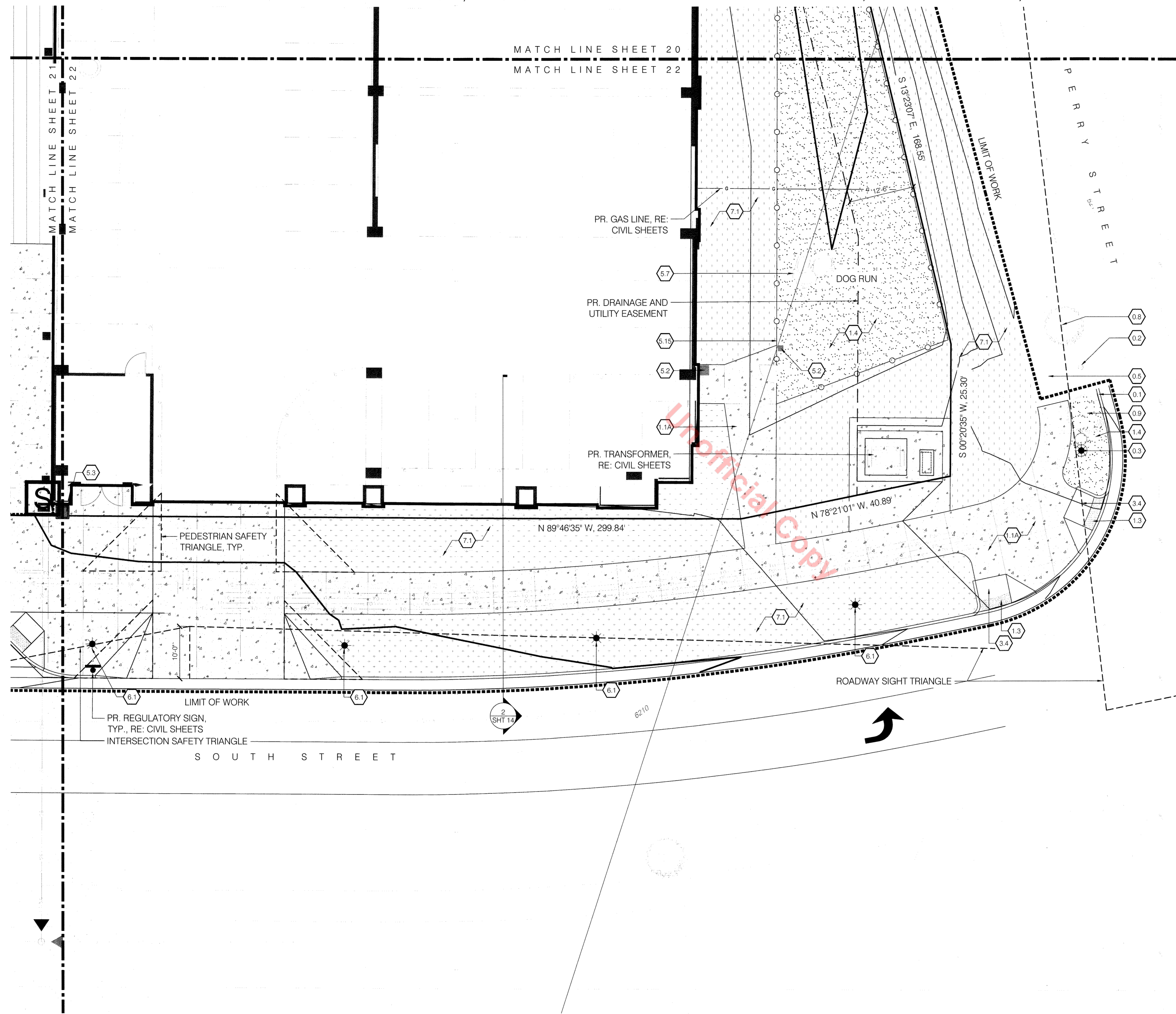
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

1 MATERIAL AND LAYOUT PLAN
 SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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- 20 JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- 30 CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
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 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
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- 40 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 50 SITE FURNISHINGS AND SITE ELEMENTS
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 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
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 - 7.5 METAL EDGER

MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
- 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
- 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
- 1.2B CONCRETE UNIT PAVERS - TYPE B
- 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4 DECOMPOSED GRANITE
- 5.10 BOARDWALK
- 5.17 ELEVATED METAL DECK
- 7.1 HARDWOOD MULCHED PLANTING BED (4")
- 7.2 NATIVE SEED MIX - TYPE 1
- 7.3 NATIVE SEED MIX - TYPE 2

studioINSITE
 3457 Ringsby Court, Unit 223, Denver, Colorado 80216
 tel: 303.433.7100 fax: 303.433.4301
 studio-insite.com

DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 MATERIAL AND LAYOUT PLAN
 SHEET 22

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

PLAN KEY NOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- 1.0 PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
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 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- 2.0 JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0 CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0 SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0 SITE LIGHTING (RE: ELEC SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0 PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOO
 - 7.5 METAL EDGER

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NATIVE SEED MIXES

TYPE 1:

Common Name and Variety	Scientific Name	PLS/Lb Acre
Blue grama, Lovington	<i>Bouteloua gracile</i>	0.8
Fringed sage, Native	<i>Artemisia frigida</i>	0.1
Little bluestem, Native	<i>Schizachyrium scoparium</i>	1
Prairie coneflower, Native	<i>Ratibida columnifera</i>	0.1
Rocky Mountain penstemon, Native	<i>Penstemon strictus</i>	0.1
Sand dropseed, Native	<i>Sporobolus cryptandrus</i>	0.01
Showy goldeneye, Native	<i>Viguiera multiflora</i>	0.1
Sideoats grama, Butte	<i>Bouteloua curtipendula</i>	3
Slender wheatgrass	<i>Elymus trachycylus</i>	2
Switchgrass, Blackwell	<i>Panicum virgatum</i>	0.6
Western wheatgrass, Arriba	<i>Pascopyrum smithii</i>	5
Total		12.81

TYPE 2:

Common Name and Variety	Scientific Name	PLS/Lb Acre
Alkali sacaton	<i>Sporobolus airoides</i>	0.2
Thickspike wheatgrass	<i>Elymus lanceolatus</i>	3
High Plains wet meadow mix	Western Native Seed Co.	14.5
Western wheatgrass	<i>Pascopyrum smithii</i>	3
Total		20.7

LANDSCAPE COVERAGE SUMMARY



Multi-Family Landscape Site Inventory

Town of Castle Rock Registered Professional: Dennis Rubba
 State of Colorado License Landscape Architect # 1A-230
 Town of Castle Rock Registration # N/A
 Company Name: studioINSITE
 Address: 3452 Binsash Court, Unit 223
 Phone: (303) 433-7100
 Email: DRUBBA@STUDIO-INSITE.COM
 Date: 07/07/2019

Gross Site Area	Landscape (Area in Sq.Ft.)	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required (1 Per 22 LF Streetscape)	No. of Trees Provided	No. of Shrubs Required (5 Shrubs per Tree)	No. of Shrubs Provided	Soil Prep Amounts (4CY per 1,000 Sq.Ft.)	Separate Irrigation Service Connections
90,424 S.F. (Total Site - Excludes Front Property and Townage)	8,266 S.F. (Excluding Nonliving Ornamental Area)	N/A, No Turf	2,191 S.F. (Decomposed Granite)	45 Trees (Refer to chart below for further detail)	(23) Shade Trees (2) Orn. Trees (8) Sign. Trees (9) Exist. Trees 42 Total Trees	230	177*	25.18 C.Y.	Yes X No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

- Notes:
 1) Refer to cover sheet for TCV request information.
 2) All quantified plant material is outside of the proposed property line and within the streetscape. Additional planting provided interior to the site.

STREET TREE REQUIREMENT SUMMARY

ITEM	LENGTH	UNITS	TREES REQUIRED (1 PER 22 LF)	TREES PROVIDED (Including Existing Trees)	EXISTING TREES TO REMAIN	SHRUBS REQUIRED (5 Per Required Tree)	SHRUBS PROVIDED	PERENNIALS REQUIRED (7 Per Required Tree)	PERENNIALS PROVIDED
WILCOX STREET	310	FEET	15	10*	0	75	7*	105	218
SOUTH STREET	341	FEET	16	16	0	80	90	112	416
PERRY STREET	306	FEET	14	16	9	70	80	98	152
TOTAL			45	32	9	225	179	315	786

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CAL	HYDROZONE
ACE	1	BOX ELDER	ACER NEGUNDO	B & B	2.5" CAL	2-3
ACG	2	ROCKY MOUNTAIN MAPLE	ACER GLABRUM	B & B	2.5" CAL	2-3
CHB	8	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B & B	2.5" CAL	2-3
KCT	4	KENTUCKY 'ESPRESSO' COFFEETREE	GYMNOCLADUS DIOICA 'ESPRESSO'	B & B	2.5" CAL	2
QBU	4	BUCKLEY OAK	QUERCUS BUCKLEYI	B & B	2.5" CAL	2-3
SHL	10	SHADEMASTER THORNLESS HONEYLOCUST	GLEDITSIA TRIACANTHOS 'INERMIS' 'SHADEMASTER'	B & B	2.5" CAL	2-3
SKY	8	SKYLINE THORNLESS HONEYLOCUST	GLEDITSIA TRIACANTHOS 'INERMIS' 'SKYLINE'	B & B	2.5" CAL	2-3
WCT	11	WESTERN CATALPA	CATALPA SPECIOSA 'WESTERN'	B & B	2.5" CAL	2-4
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CAL	HYDROZONE
CBS	6	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	B & B	8"	3-4
PAU	2	AUSTRIAN BLACK PINE	PINUS NIGRA	B & B	8"	2
PLI	7	LIMBER PINE	PINUS FLEXILIS	B & B	8"	1-2
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CAL	HYDROZONE
MHW	2	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	B & B	2" CAL	3
PRL	2	PURPLE ROBE LOCUST	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	B & B	2.5" CAL	1-2
ROB	1	NEW MEXICO LOCUST	ROBINIA NEOMEXICANA	B & B	6"	1-2
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	-	HYDROZONE
JAC	12	ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'ALPINE CARPET'	5 GAL		1
JAN	38	ANDORRA YOUNGSTOWN JUNIPER	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	5 GAL		2
JBU	53	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL		2
JHU	19	HUGHES JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL		2
JPF	2	PFITZER JUNIPER	JUNIPERUS X MEDIA 'PFITZERANA'	5 GAL		1-3
OHM	66	COMPACT OREGON GRAPE HOLLY	MAHONIA AQUIFOLIUM 'COMPACTA'	5 GAL		1-2
WCE	16	COLORATUS PURPLE WINTERCREEPER	EUONYMUS FORTUNEI 'COLORATUS'	1 GAL		2-3
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	-	HYDROZONE
AMG	3	RAINBOW PILLAR SERVICEBERRY	AMELANCHIER CANADENSIS 'GLENNFORM' TM	B & B	6"	2-3
LCO	5	COMMON PURPLE LIAC	SYRINGA VULGARIS	5 GAL		2-3
PRU	5	CHOKECHERRY	PRUNUS VIRGINIANA	B & B	18"-24"	1-2
RHG	7	SMOOTH SUMAC	RHUS GLABRA	5 GAL		1-2
RIB	75	WAX CURRANT	RIBES CERUEM	5 GAL		1-2
ROS	15	MOUNTAIN ROSE	ROSA WOODSII	5 GAL		1-2
SBS	3	SHADBLOW SERVICEBERRY	AMELANCHIER CANADENSIS	B & B	6"	2-3
STS	5	SASKATOON SERVICEBERRY	AMELANCHIER ALNIFOLIA	B & B	6"	2-3
SUG	64	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL		1-2
SYM	17	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS	5 GAL		2-3
VAL	3	ALLEGHANY VIBURNUM	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	5 GAL		2-3
VAR	8	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	5 GAL		2-3
VNA	2	NANNYBERRY VIBURNUM	VIBURNUM LENTAGO	5 GAL		2-3
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	-	HYDROZONE
AND	43	BIG BLUE STEM	ANDROPOGON GERARDII	1 GAL		1-2
BOC	34	SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	2 GAL		2
BOU	271	BLUE GRAMA	BOUTELOUA GRACILIS	1 GAL		1-3
FAH	143	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	2 GAL		2-3
FOO	99	ORIENTAL FOUNTAIN GRASS	PENNISETUM ORIENTALE	2 GAL		2-3
PRD	124	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	2 GAL		2-3
SCH	37	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL		1-2
SOR	96	INDIAN GRASS	SORGHASTRUM NUTANS	1 GAL		1-2
SWA	23	SWITCH GRASS	PANICUM VIRGATUM	2 GAL		2
SWB	40	BLUE SWITCH GRASS	PANICUM VIRGATUM 'PRAIRIE SKY'	2 GAL		2-3
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	-	HYDROZONE
BES	48	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	1 GAL		2-3
BLH	92	BLEEDING HEART	DICENTRA SPECTABILIS	1 GAL		2-3
COO	18	ORANGE CONEFLOWER	ECHINACEA X 'SUNDOWN'	1 GAL		2-3
COR	90	ROCKY MOUNTAIN COLUMBINE	AQUILEGIA CAERULEA	1 GAL		2-3
DGR	72	PERENNIAL FOXGLOVE	DIGITALIS GRANDIFLORA	1 GAL		2-3
ELR	15	MUNSTEAD ENGLISH LAVENDER	LAVANDULA ANGSTIFOLIA 'MUNSTEAD'	1 GAL		3
EPU	101	PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL		2-3
GRB	30	BLUE GERANIUM	GERANIUM X 'BROOKSIDE'	1 GAL		2-3
HEU	44	HYBRID CORAL BELLS	HEUCHERA X 'CHOCOLATE RUFFLES' TM	1 GAL		2-3
JBC	214	JOHNSON'S BLUE GERANIUM	GERANIUM X 'JOHNSON'S BLUE'	1 GAL		2-3
LBD	30	LITTLE BUSINESS DAYLILY	HEMEROCALLIS X 'LITTLE BUSINESS'	1 GAL		2-3
PLP	438	PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	1 GAL		2-3
RRU	12	PIKES PEAK PURPLE PENSTEMON	PENSTEMON MEXICALI 'PIKE'S PEAK PURPLE'	1 GAL		2
SAR	119	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	1 GAL		1-2
SPY	10	SUMMER PASTELS YARROW	ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	1 GAL		1-2
WCF	28	WHITE CONEFLOWER	ECHINACEA PURPUREA 'WHITE SWAN'	1 GAL		2-3
SEEDING	QTY	COMMON NAME	BOTANICAL NAME	SPACING		
NSM-1	3,394 SF	NATIVE SEED MIX - TYPE 1	N/A	N/A		
NSM-2	5,016 SF	NATIVE SEED MIX - TYPE 2	N/A	N/A		

GENERAL LANDSCAPE PLAN NOTES

- ALL PLANTED AREAS SHALL BE MULCHED WITH 4" ORGANIC SHREDDED HARDWOOD MULCH.
- ALL DISTURBED LANDSCAPED AREAS SHALL BE SEED WITH A DROUGHT TOLERANT NATIVE SEED GRASS MIX OR DROUGHT TOLERANT TURF MIX AS RECOMMENDED IN THE TOWN OF CASTLE ROCK RECOMMENDED PLANT LIST. THESE AREAS SHALL RECEIVE INITIAL SPRAY IRRIGATION TO ESTABLISH PLANT MATERIAL AND SHALL DECREASE IRRIGATION VOLUME AND FREQUENCY AS PLANTS BECOME ESTABLISHED.
- ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND TREE AREAS SHALL BE DRIP IRRIGATED UNLESS OTHERWISE SPECIFIED.
- CORNELL UNIVERSITY (CU) STRUCTURAL SOIL REQUIRED FOR ALL STREETScape PLANTING AREAS LESS THAN 8'-0" IN WIDTH.
- TOWN MINIMUM IS 4 CU YDS OF ORGANIC MATTER PER 1,000 SF OF LANDSCAPE AREA. THIS IS TO BE ROTOTILLED TO A DEPTH OF 6 INCHES. CLASS I OR II COMPOST IS REQUIRED.

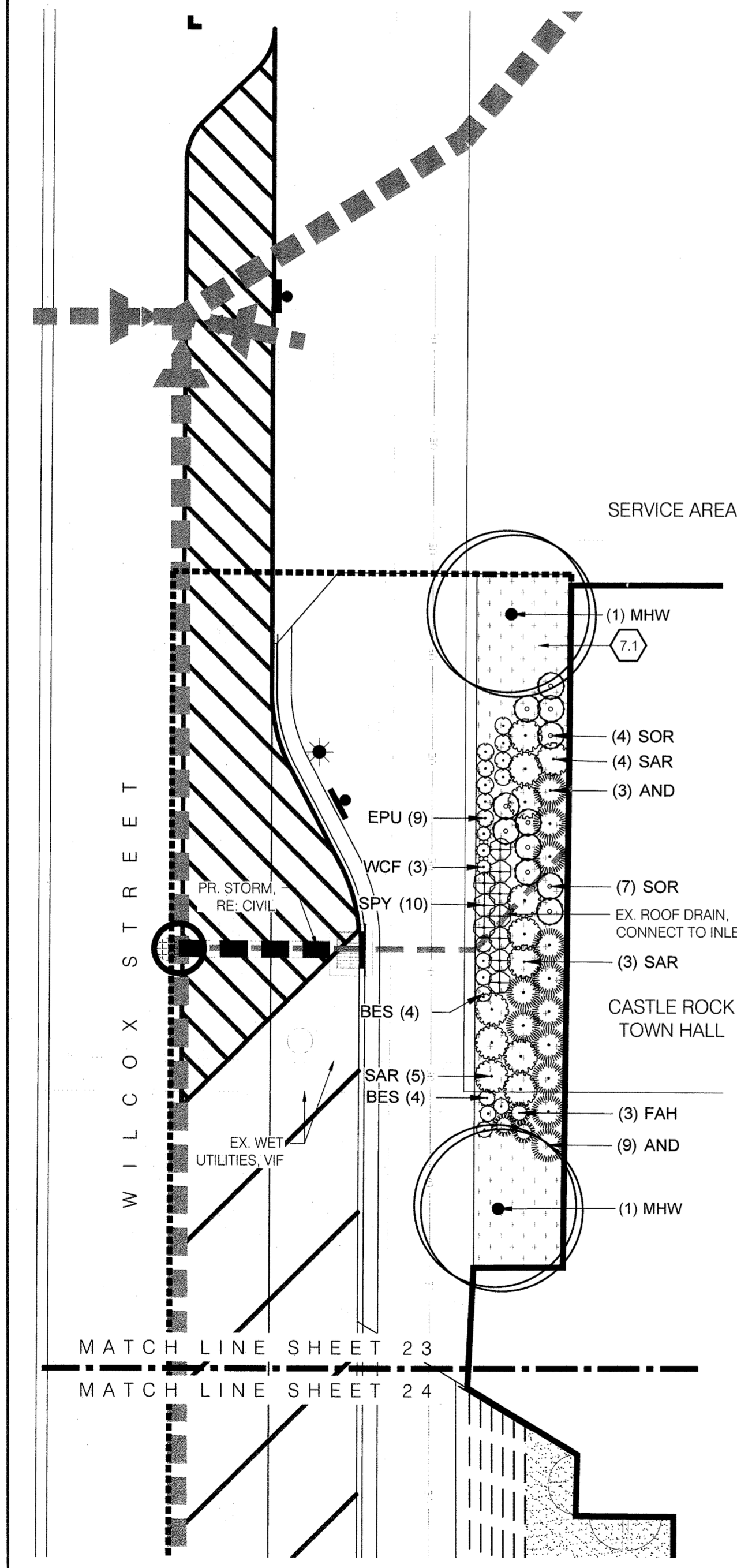


DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230

PLANTING PLAN SHEET 23

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT

PROJECT NO. SDP19-0004 08/05/19

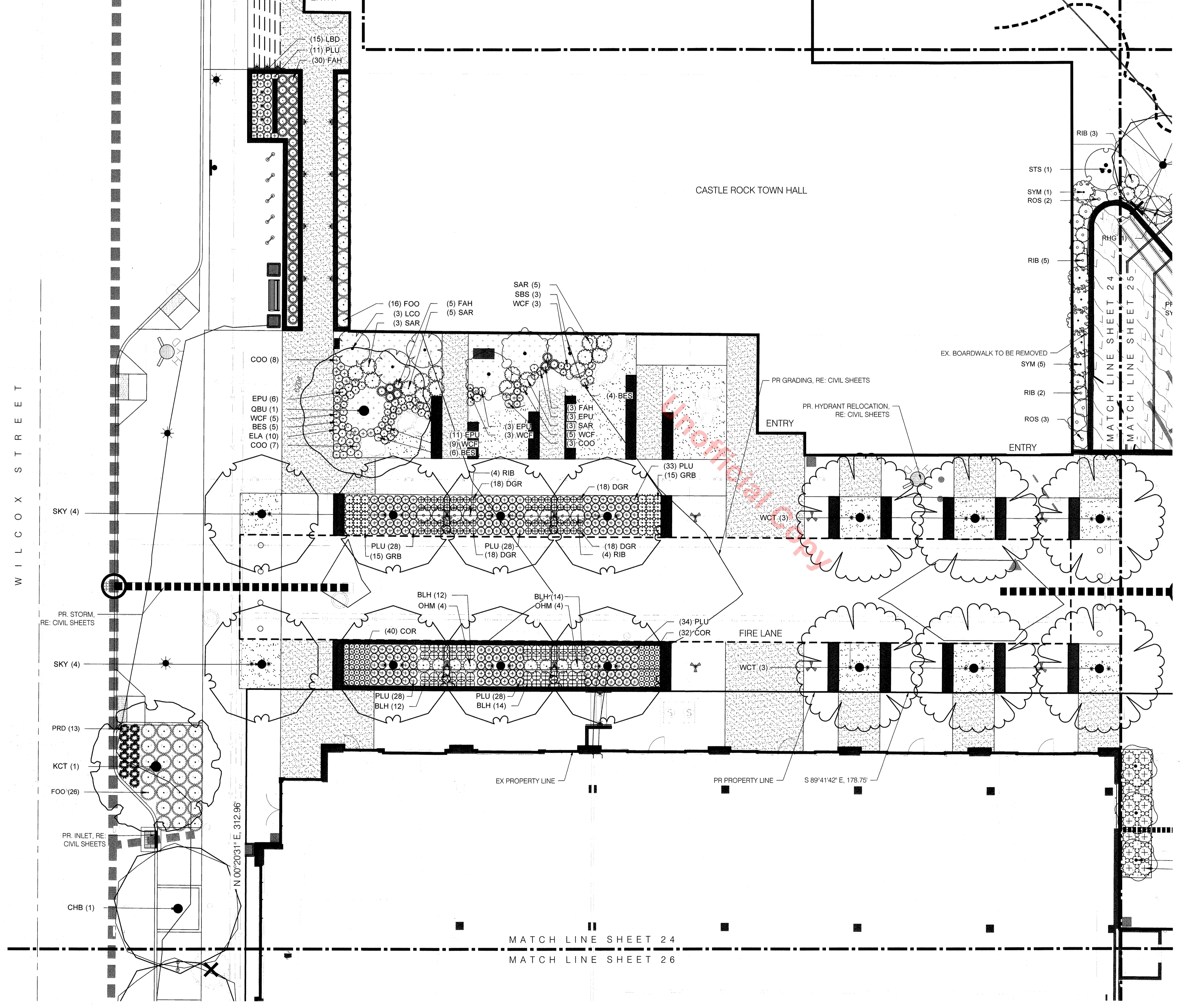


1 PLANTING PLAN
 SCALE: 1"=10'-0"

MATCH LINE SHEET 23
MATCH LINE SHEET 24

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

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 - 7.5 METAL EDGER

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- 7.2 NATIVE SEED MIX - TYPE 1
- 7.3 NATIVE SEED MIX - TYPE 2

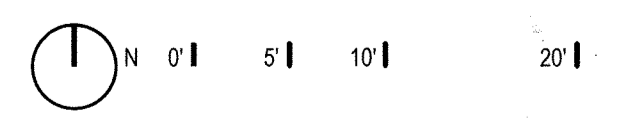
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DENNIS RUBBA
PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
PLANTING PLAN SHEET 24

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET, A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT

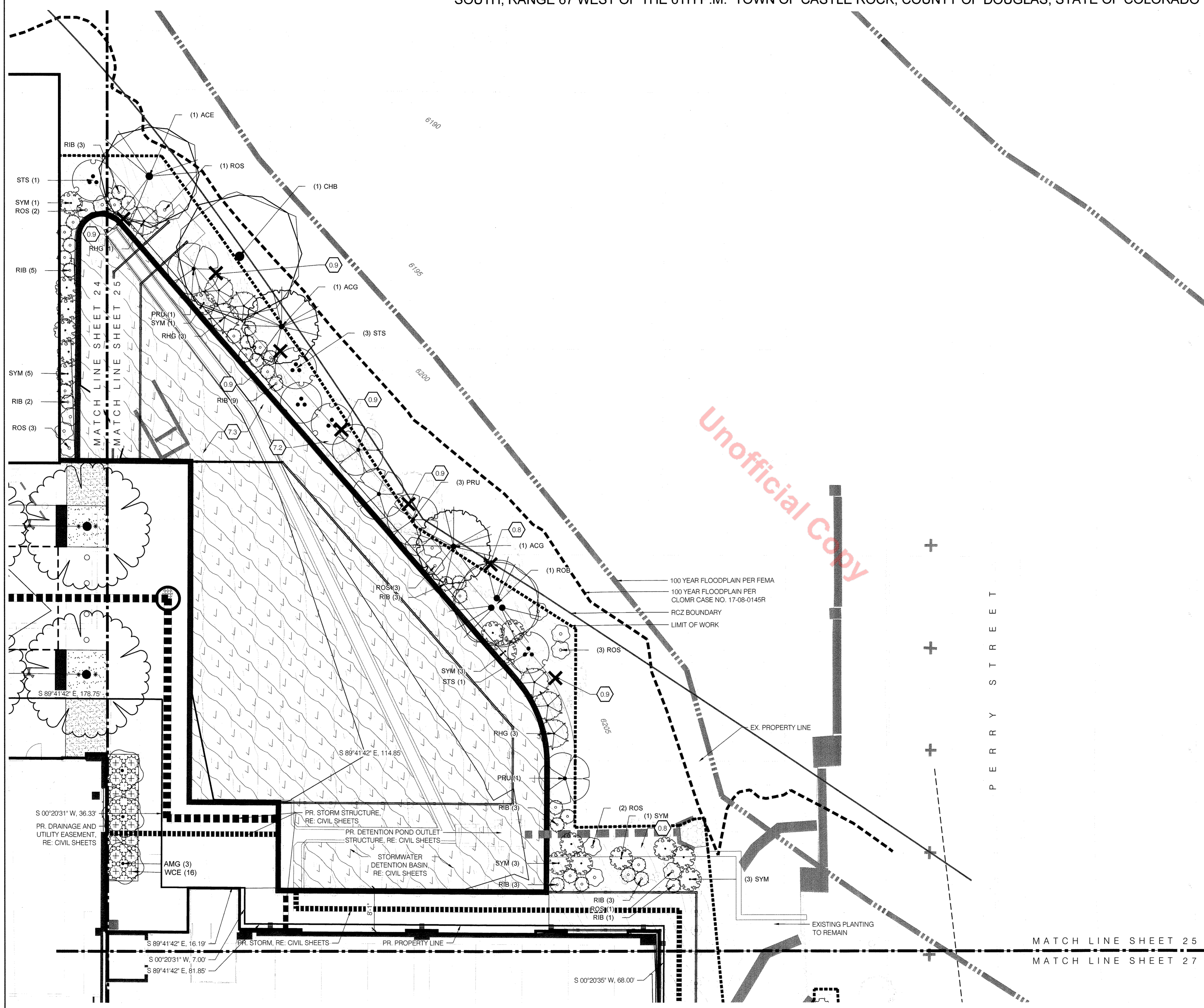
PROJECT NO. SDP19-0004 08/05/19

1 PLANTING PLAN
SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0** EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- 1.0** PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
 - 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
 - 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
 - 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
 - 1.2B CONCRETE UNIT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- 2.0** JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0** CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0** WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0** SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96' SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42' HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48' HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0** SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0** PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4' DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

- 1.1A** CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B** CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C** CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
- 1.1D** CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
- 1.2A** CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
- 1.2B** CONCRETE UNIT PAVERS - TYPE B
- 1.3** DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4** DECOMPOSED GRANITE
- 5.10** BOARDWALK
- 5.17** ELEVATED METAL DECK
- 7.1** HARDWOOD MULCHED PLANTING BED (4')
- 7.2** NATIVE SEED MIX - TYPE 1
- 7.3** NATIVE SEED MIX - TYPE 2

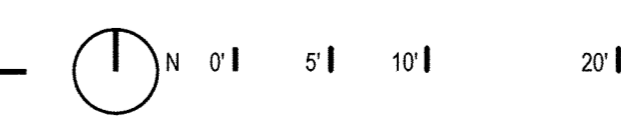
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DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 PLANTING PLAN SHEET 25

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
 LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT

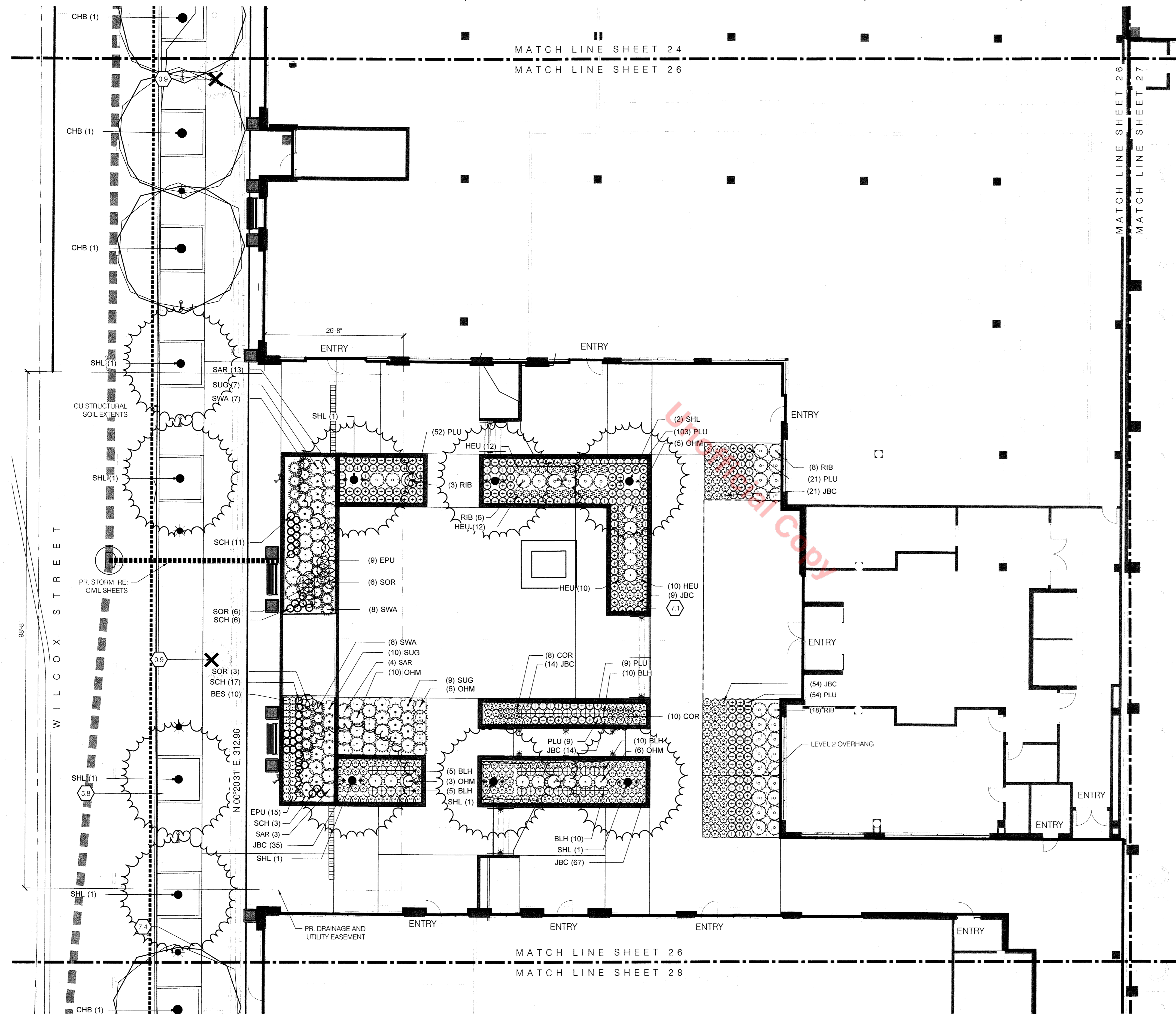
PROJECT NO. SDP19-0004 08/05/19

1 PLANTING PLAN
 SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- (00) EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- (10) PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
 - 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
 - 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
 - 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
 - 1.2B CONCRETE UNIT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- (20) JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- (30) CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- (40) WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- (50) SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96' SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42' HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48' HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- (60) SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- (70) PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4' DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

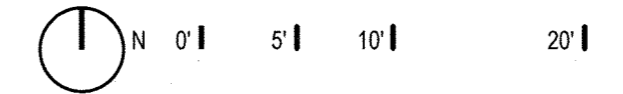
- (1.1A) CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- (1.1B) CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- (1.1C) CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
- (1.1D) CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
- (1.2A) CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
- (1.2B) CONCRETE UNIT PAVERS - TYPE B
- (1.3) DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- (1.4) DECOMPOSED GRANITE
- (5.10) BOARDWALK
- (5.17) ELEVATED METAL DECK
- (7.1) HARDWOOD MULCHED PLANTING BED (4')
- (7.2) NATIVE SEED MIX - TYPE 1
- (7.3) NATIVE SEED MIX - TYPE 2

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DENNIS RUBBA
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 PLANTING PLAN SHEET 26

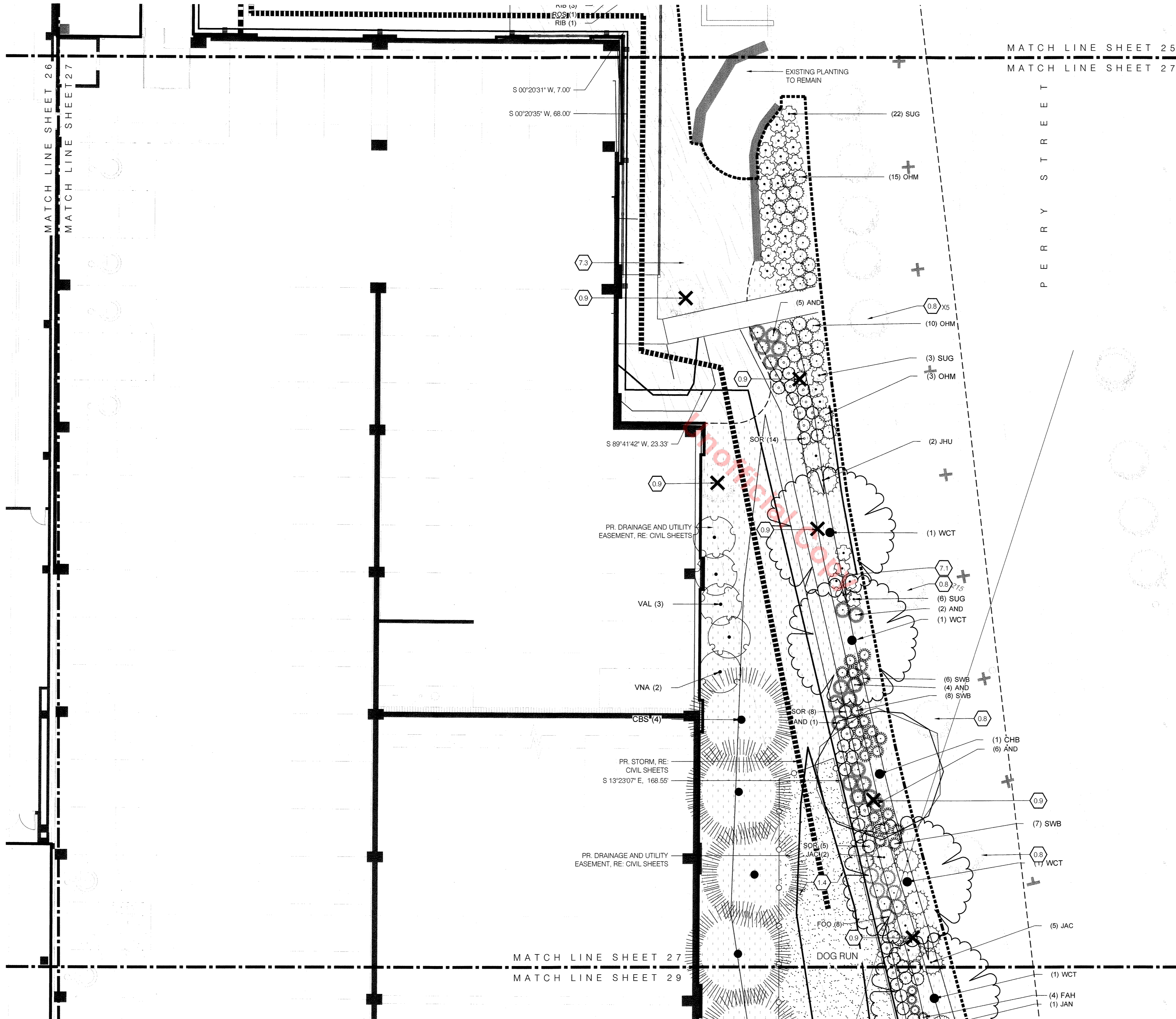
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

1 PLANTING PLAN
 SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
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- 1.0 PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
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 - 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
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 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
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 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0 CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0 SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
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 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0 SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0 PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
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- 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4 DECOMPOSED GRANITE
- 5.10 BOARDWALK
- 5.17 ELEVATED METAL DECK
- 7.1 HARDWOOD MULCHED PLANTING BED (4")
- 7.2 NATIVE SEED MIX - TYPE 1
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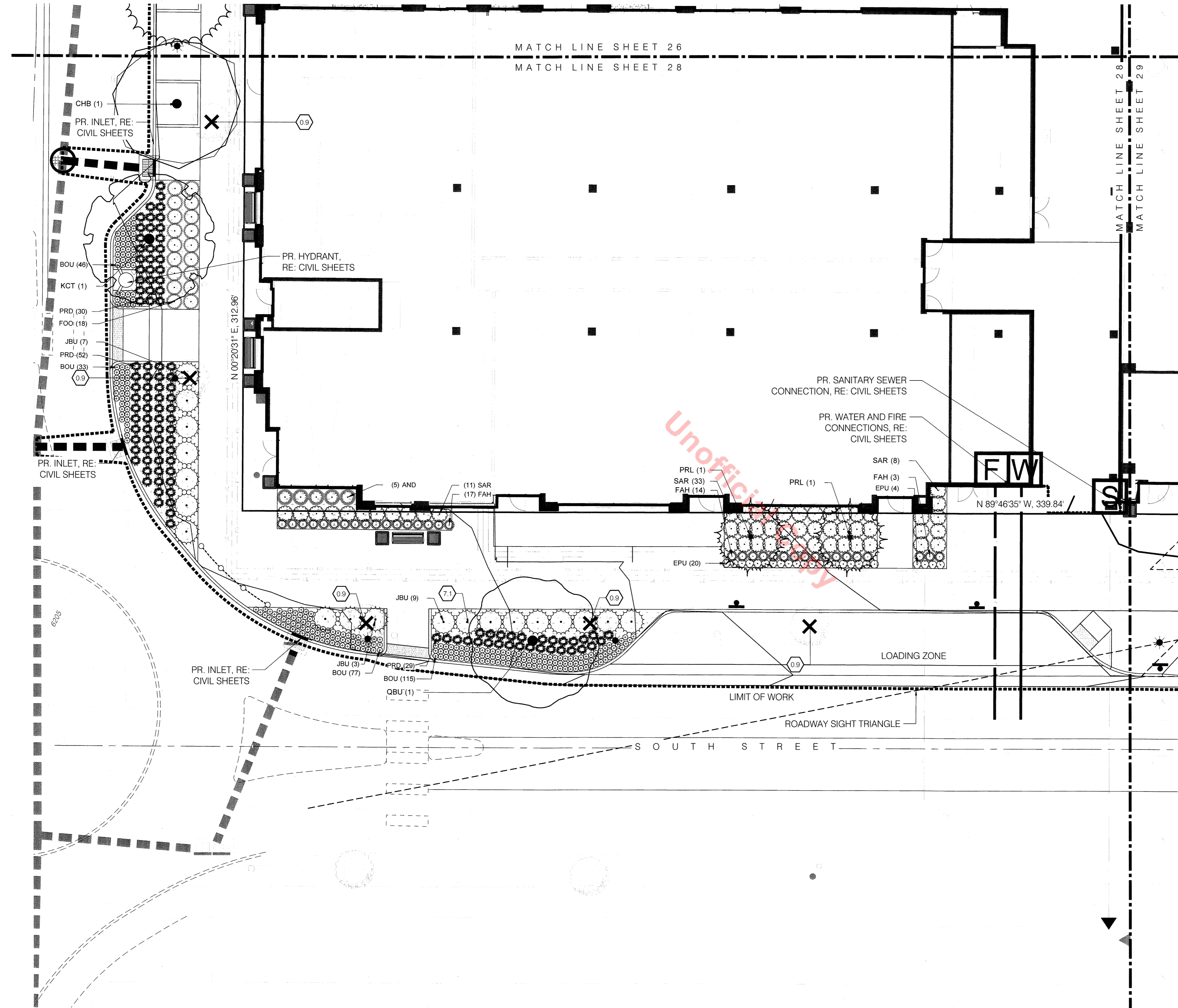


DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 PLANTING PLAN SHEET 27

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK, LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- (0.0) EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
 - 0.5 EXISTING SIDEWALK TO REMAIN
 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
 - 0.9 EXISTING TREE TO BE REMOVED
- (1.0) PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
 - 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
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 - 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
 - 1.2B CONCRETE UNIT PAVERS - TYPE B
 - 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
 - 1.4 DECOMPOSED GRANITE
- (2.0) JOINTING
 - 2.1 CONTROL/EXPANSION JOINTS
- (3.0) CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- (4.0) WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- (5.0) SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
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 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- (6.0) SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- (7.0) PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

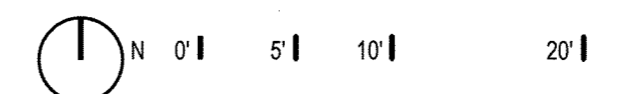
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- (1.1B) CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
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- (1.2A) CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
- (1.2B) CONCRETE UNIT PAVERS - TYPE B
- (1.3) DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- (1.4) DECOMPOSED GRANITE
- (5.10) BOARDWALK
- (5.17) ELEVATED METAL DECK
- (7.1) HARDWOOD MULCHED PLANTING BED (4")
- (7.2) NATIVE SEED MIX - TYPE 1
- (7.3) NATIVE SEED MIX - TYPE 2



DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 PLANTING PLAN SHEET 28

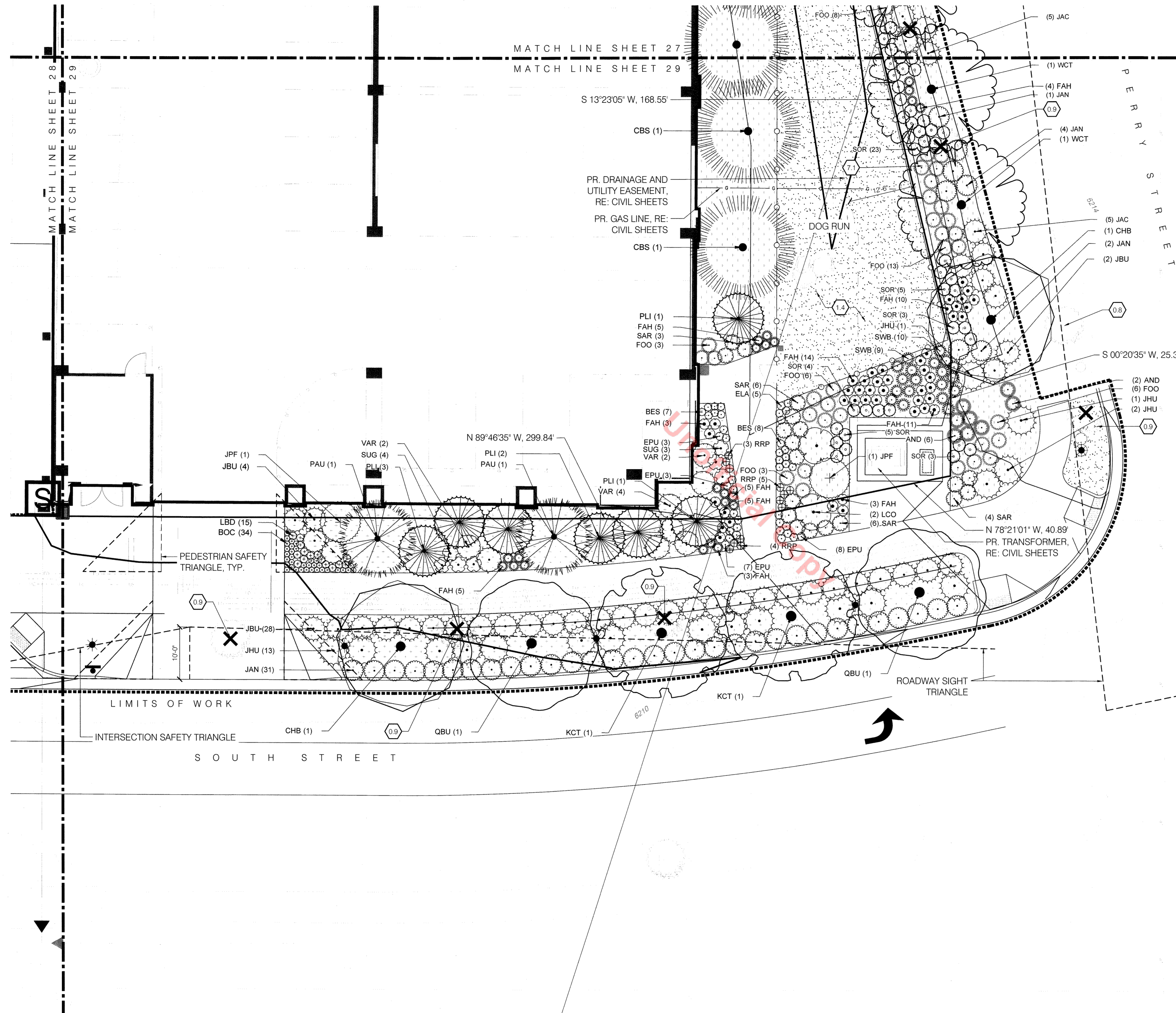
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

1 PLANTING PLAN
 SCALE: 1"=10'-0"



SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PLAN KEYNOTES

- 0.0 EXISTING CONDITIONS
 - 0.1 EXISTING CURB TO REMAIN
 - 0.2 EXISTING FIRE HYDRANT TO REMAIN
 - 0.3 EXISTING LIGHT POLE TO BE REFURBISHED AND RESET
 - 0.4 EXISTING BOARDWALK TO REMAIN
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 - 0.6 EXISTING RETAINING WALL TO REMAIN
 - 0.7 EXISTING BRIDGE COLUMN TO REMAIN
 - 0.8 EXISTING TREE TO REMAIN
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- 1.0 PAVING
 - 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
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 - 2.1 CONTROL/EXPANSION JOINTS
- 3.0 CURBS, EDGES, STEPS
 - 3.1 PROPOSED CURB, RE CIVIL SHEETS
 - 3.2 CONCRETE CURB CUT, RE CIVIL SHEETS
 - 3.3 CIP CONCRETE STAIRS
 - 3.4 CURB RAMP, RE CIVIL SHEETS
 - 3.5 MOUNTABLE CURB, RE CIVIL SHEETS
 - 3.6 STONE ACCESS PATH
 - 3.7 ELEVATED BOARDWALK STAIRS
- 4.0 WALLS
 - 4.1 CONCRETE RETAINING WALL WITH SMOOTH FORM FINISH
 - 4.2 STONE SLAB SEAT WALL
 - 4.3 CONCRETE PLANTER WALL WITH SMOOTH FORM FINISH
- 5.0 SITE FURNISHINGS AND SITE ELEMENTS
 - 5.1 BIKE RACK
 - 5.2 LITTER/RECYCLING RECEPTACLE (SCALE REFERENCE ONLY)
 - 5.3 FREESTANDING PLANTER (SCALE REFERENCE ONLY)
 - 5.4 OUTDOOR SEATING (SCALE REFERENCE ONLY)
 - 5.5 BENCH (SCALE REFERENCE ONLY)
 - 5.6 REMOVABLE BOLLARD
 - 5.7 DECORATIVE BOULDER
 - 5.8 CASTLE ROCK STANDARD TREE GRATE (96" SQ.)
 - 5.9 HANDRAIL
 - 5.10 BOARDWALK/ELEVATED DECK
 - 5.11 ART ELEMENT PER OWNER
 - 5.12 GUARDRAIL (42" HT.)
 - 5.13 FIRE FEATURE
 - 5.14 TRENCH DRAIN
 - 5.15 DECORATIVE FENCE (48" HT.)
 - 5.16 RAIN GARDEN BRIDGE
 - 5.17 ELEVATED METAL DECK
- 6.0 SITE LIGHTING (RE: ELECT SHEETS)
 - 6.1 PEDESTRIAN STREET LIGHT
 - 6.2 FESTOON LIGHTING
 - 6.3 DECORATIVE LIGHT POLE W/ MULTI-DIRECTIONAL DOWN LIGHTS
 - 6.4 UPLIGHT
 - 6.5 WALL LIGHT
- 7.0 PLANTING
 - 7.1 HARDWOOD MULCHED PLANTING BED (4" DEPTH)
 - 7.2 NATIVE SEED MIX - TYPE 1
 - 7.3 NATIVE SEED MIX - TYPE 2
 - 7.4 TURFGRASS SOD
 - 7.5 METAL EDGER

MATERIALS LEGEND

- 1.1A CIP CONC PAVING, NATURAL COLOR, MED. BROOM FINISH
- 1.1B CIP CONC PAVING, DAVIS OMAHA TAN (5084), MED. BROOM FINISH
- 1.1C CIP CONC PAVING, DAVIS KAILUA (677), MED. BROOM FINISH
- 1.1D CIP CONC PAVING, DAVIS MESA BUFF (5447), MED. BROOM FINISH
- 1.2A CONCRETE UNIT PAVERS - TYPE A (MATCH RIVERWALK)
- 1.2B CONCRETE UNIT PAVERS - TYPE B
- 1.3 DETECTABLE WARNING PAVERS (PER TOWN STANDARD)
- 1.4 DECOMPOSED GRANITE
- 5.10 BOARDWALK
- 5.17 ELEVATED METAL DECK
- 7.1 HARDWOOD MULCHED PLANTING BED (4")
- 7.2 NATIVE SEED MIX - TYPE 1
- 7.3 NATIVE SEED MIX - TYPE 2

studioINSITE
 3457 Ringby Court, Unit 223, Denver, Colorado 80216
 w/ 303.433.7100 fax 303.433.4301
 studio-insite.com

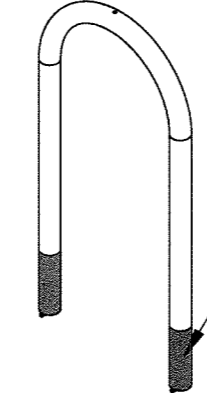
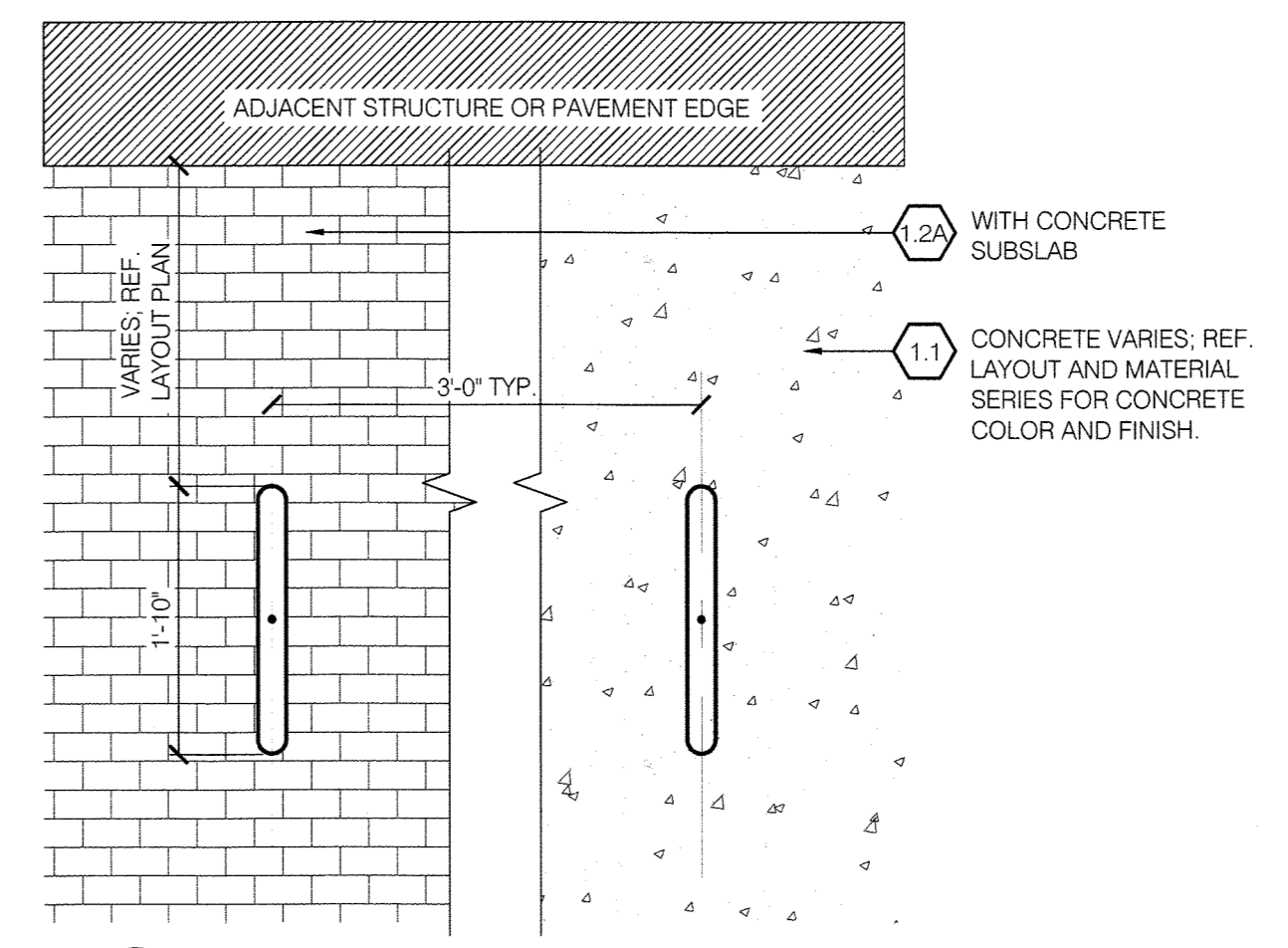
DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 PLANTING PLAN SHEET 29

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Unofficial Copy



SET POST IN CORE DRILLED HOLES. SECURE WITH NON SHRINK GROUT. REF. MANUFACTURER FOR MOUNTING DETAILS

MANUFACTURER: DERO
 MODEL: HOOP RACK HEAVY DUTY
 FINISH: BLACK PVC DIP (MATCH TOCR STD)
 MOUNT: CONCRETE EMBED/CONCRETE SUBSLAB EMBED

MANUFACTURER: DERO
 PHONE: (888) 337-6729
 WWW.DERO.COM

REFER TO SPECIFICATIONS
 PROVIDE SUBMITTAL FOR REVIEW AND APPROVAL OR APPROVED EQUAL

1 BIKE RACK
 SCALE: 3/4" = 1'-0"

studioINSITE
 3457 Ringsby Court, Unit 223, Denver, Colorado 80216
 tel 303.433.7100 fax 303.433.4301
 studio-insite.com

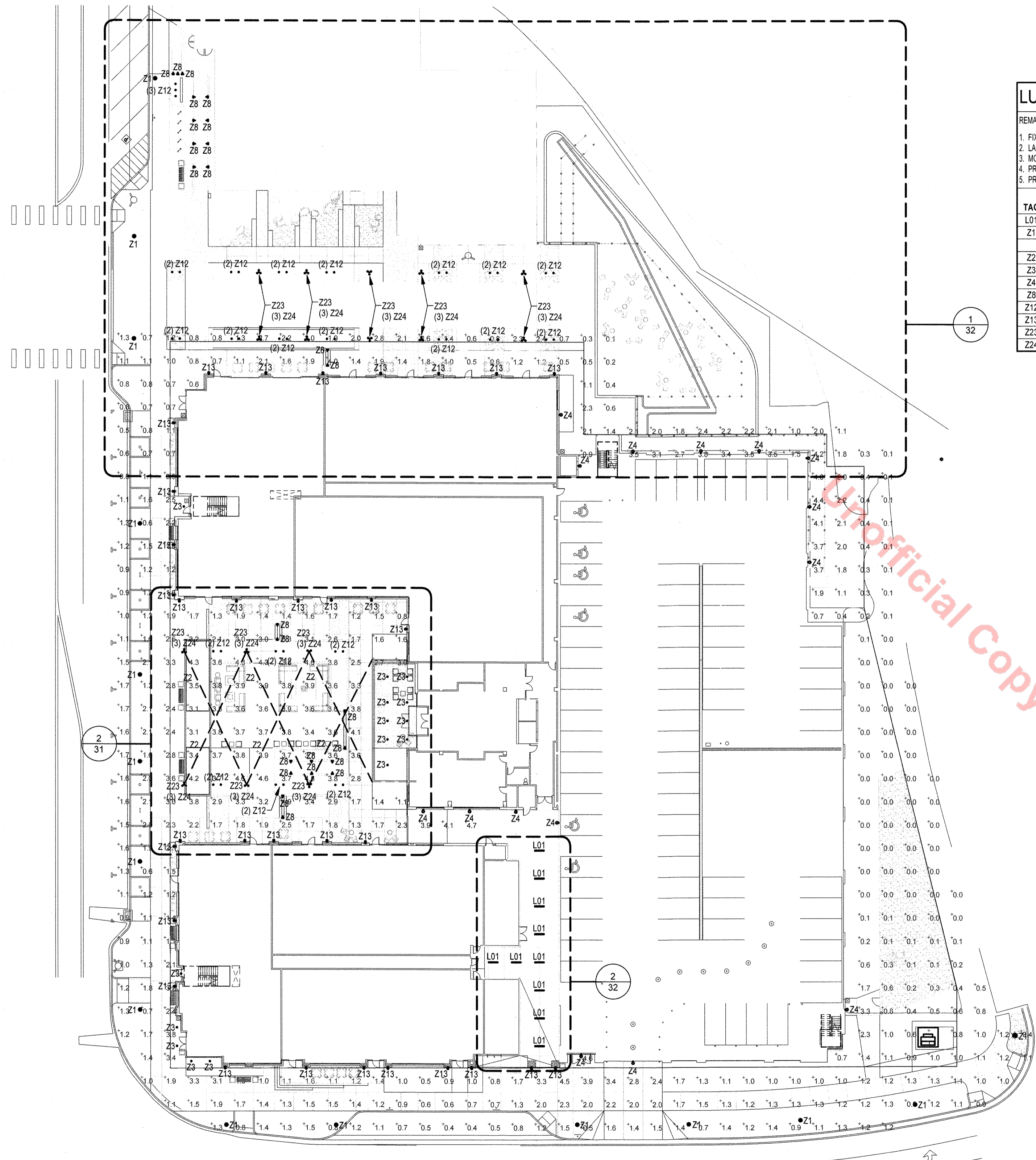
DENNIS RUBBA
 PROFESSIONAL LANDSCAPE ARCHITECT COLORADO: LA-230
 SITE DETAILS SHEET 30

SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
 LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
 PROJECT NO. SDP19-0004 08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- GENERAL NOTES:**
- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
 - EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
 - MITIGATION TO ADJACENT PROPERTIES:
 - FIXTURE TYPES Z4 & Z17 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
 - TYPE Z1 IS PER THE TOWN STANDARD.
 - TYPE Z2 FESTOON LIGHTING FROSTED, WITH A TOP-HALF CANOPY. EACH LAMP IS A LOW-OUTPUT 1W LED, AND EFFECTS OUTSIDE OF PLAZAS ARE MINIMAL.
 - NO FORWARD THROW (TYPE IV.), POLE-MOUNTED FACADE, OR UNSHIELDED WALL PACKS ARE UTILIZED HEREIN.



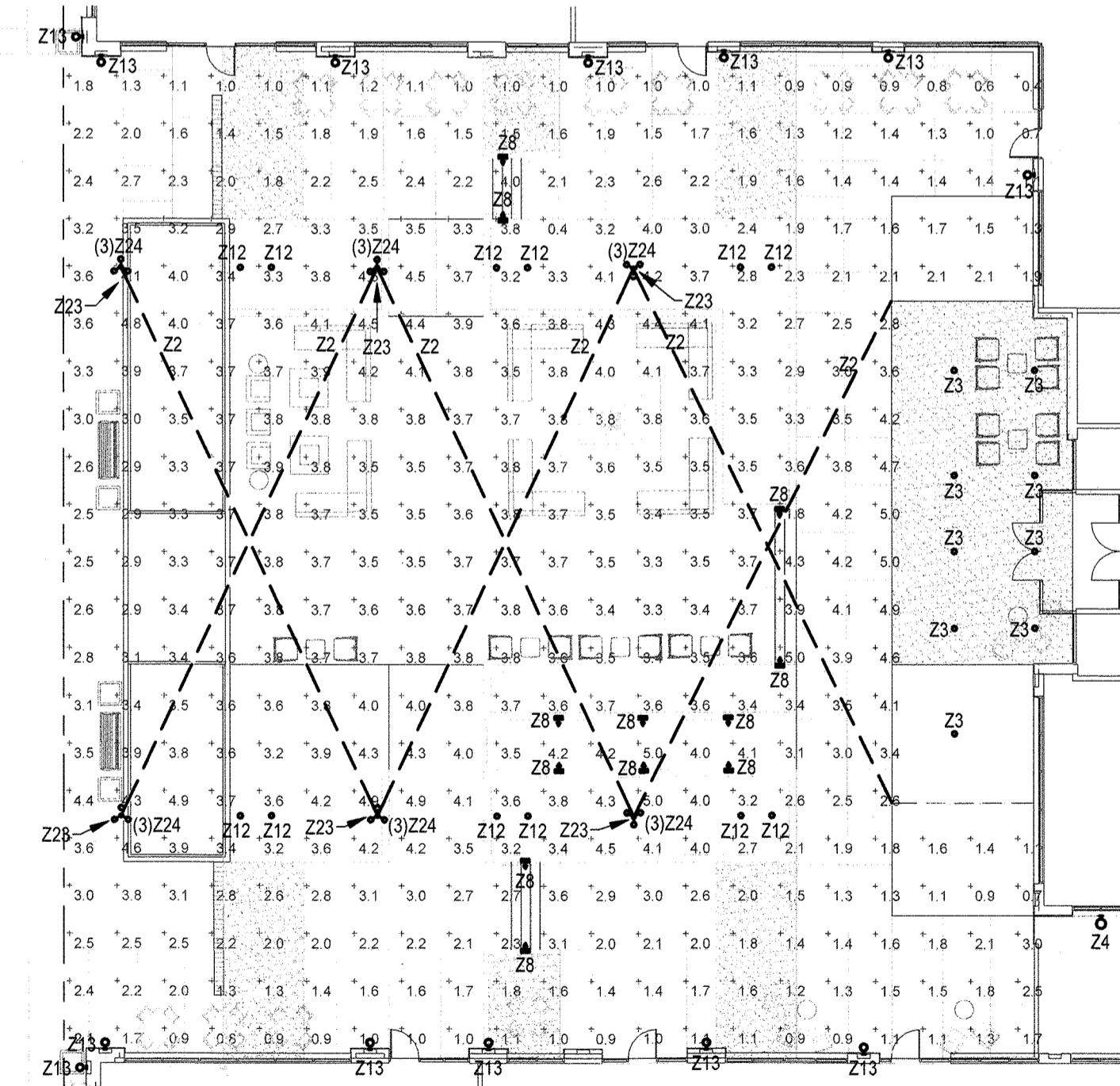
LUMINAIRE SCHEDULE

REMARKS:
 1. FIXTURE SHALL MATCH EXISTING PEDESTRIAN STOP TOP LUMINAIRE IN TOWN RIGHT OF WAY AREAS. VERIFY EXACT MODEL NUMBERS, POLE STYLE AND BASE TYPES, AND MOUNTING HEIGHT WITH TOWN OF CASTLE ROCK.
 2. LAMPS ARE 2 ON CENTER, AND FROSTED.
 3. MOUNT AT +10' UNLESS NOTED OTHERWISE.
 4. PROVIDE 12VAC TRANSFORMER AS REQUIRED.
 5. PROVIDE POLE-MOUNTED RECEPTACLE AND MOUNTING HARDWARE AS REQUIRED FOR TYPE Z2 CATENARY LIGHTING.

TAG	MOUNTING	DESCRIPTION	MANUFACTURER	MODEL	VOLT	QTY	WATTS	LAMP				LLF	USE	REMARKS
								SOURCE	TEMP	LUMENS	LF			
L01	SURFACE, CEILING/WALL	4' LED STRIP	ALEO	LLS-4HE-25840 XE G3	277 V	-	-	25W LED	4000K	3325	1.0	-	GARAGE ENTRY	(1)
Z1	POST TOP	PEDESTRIAN	STERNBERG	PT-B750 W/ 09L45T5-MDL14 SOURCE	120 V	-	44	44W LED	4500K	3,865	1.0	-	STREET-SIDE TO MATCH EXISTING	(1)
Z2	GROUND	POLE FOR Z1	STERNBERG	VERIFY W/ TOWN OF CASTLE ROCK	-	-	-	-	-	-	-	-	PART OF TYPE Z1	(1)
Z2	SUSPENDED +15'	CATENARY	CALL	ML2000-CB-48" C/C-LED-5.0K-GSF-WET	120 V	-	1	1W LED	5000K	21FT	1.0	-	PLAZA OVERHEAD	(2)
Z3	SURFACE	EXTERIOR DOWNLIGHT	CONTECH LIGHTING	SMTR530KCMVD2	277 V	-	11	11W LED	3000K	-	1.0	-	CANOPIES	(1)
Z4	WALL +10'-0"	WALL PACK	H.E. WILLIAMS	WWMV-L20730-T3-X-SDQL-PC-DIM-277	277 V	-	25	25W LED	3000K	2,022	1.0	-	EXIT DOORS	(3)
Z8	RECESSED WALL +18"	STEP LIGHT	WE-EF	ST0359 LED 815-1321	12 V	-	8	8W LED	3000K	840	1.0	-	PATHWAY	(4)
Z12	GROUND	TREE LIGHT	B-K LIGHTING	DS-LED-665-MFL-A9-BLP-12-11-A-380SL	12 V	-	7	7W LED	3000K	-	1.0	-	ACCENT	(4)
Z13	WALL +7'-6"	WALL SCONCE	MODERN FORMS	DS-LED-665-MFL-A9-BLP-12-11-A-380SL	120 V	-	15	15W LED	3000K	528	1.0	-	BUILDING FACE AT PEDESTRIAN AREAS	(5)
Z23	GROUND	16' GENERAL SITE POLE	SELUX	O-AT535-156-16-BK-RN3-REC2-0A-01-00	-	-	-	-	-	-	-	-	FIXTURE SUPPORT, TYPES Z2, Z24	(5)
Z24	POLE +14'-0"	ADJUSTABLE POLE HEAD	SELUX	OLPL-F80-SB3-L7-30-xx-z77	277 V	-	7	7W LED	3000K	1,004	1.0	-	GENERAL PLAZA AREAS	(5)

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COURTYARD	+	2.9 fc	5.0 fc	0.4 fc	12.5:1	7.3:1
PLAZA	+	1.4 fc	4.3 fc	0.0 fc	N/A	N/A
SITE	+	1.5 fc	4.9 fc	0.0 fc	N/A	N/A
SOUTH ENTRY	+	5.8 fc	9.4 fc	0.2 fc	47.0:1	29.0:1
TOWN HALL	+	1.0 fc	4.0 fc	0.2 fc	20.0:1	5.0:1



1 PHOTOMETRICS - SITE
 1" = 30'-0"

2 PHOTOMETRICS - COURTYARD
 1/16" = 1'-0"

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- GENERAL NOTES:**
- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
 - EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
 - MITIGATION TO ADJACENT PROPERTIES:
 - A. FIXTURE TYPES Z4 & Z17 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
 - B. TYPE Z1 IS PER THE TOWN STANDARD.
 - C. TYPE Z2 FESTOON LIGHTING FROSTED, WITH A TOP-HALF CANOPY. EACH LAMP IS A LOW-OUTPUT 1W LED, AND EFFECTS OUTSIDE OF PLAZAS ARE MINIMAL.
 - NO FORWARD THROW (TYPE IV), POLE-MOUNTED FACADE, OR UNSHIELDED WALL PACKS ARE UTILIZED HEREIN.

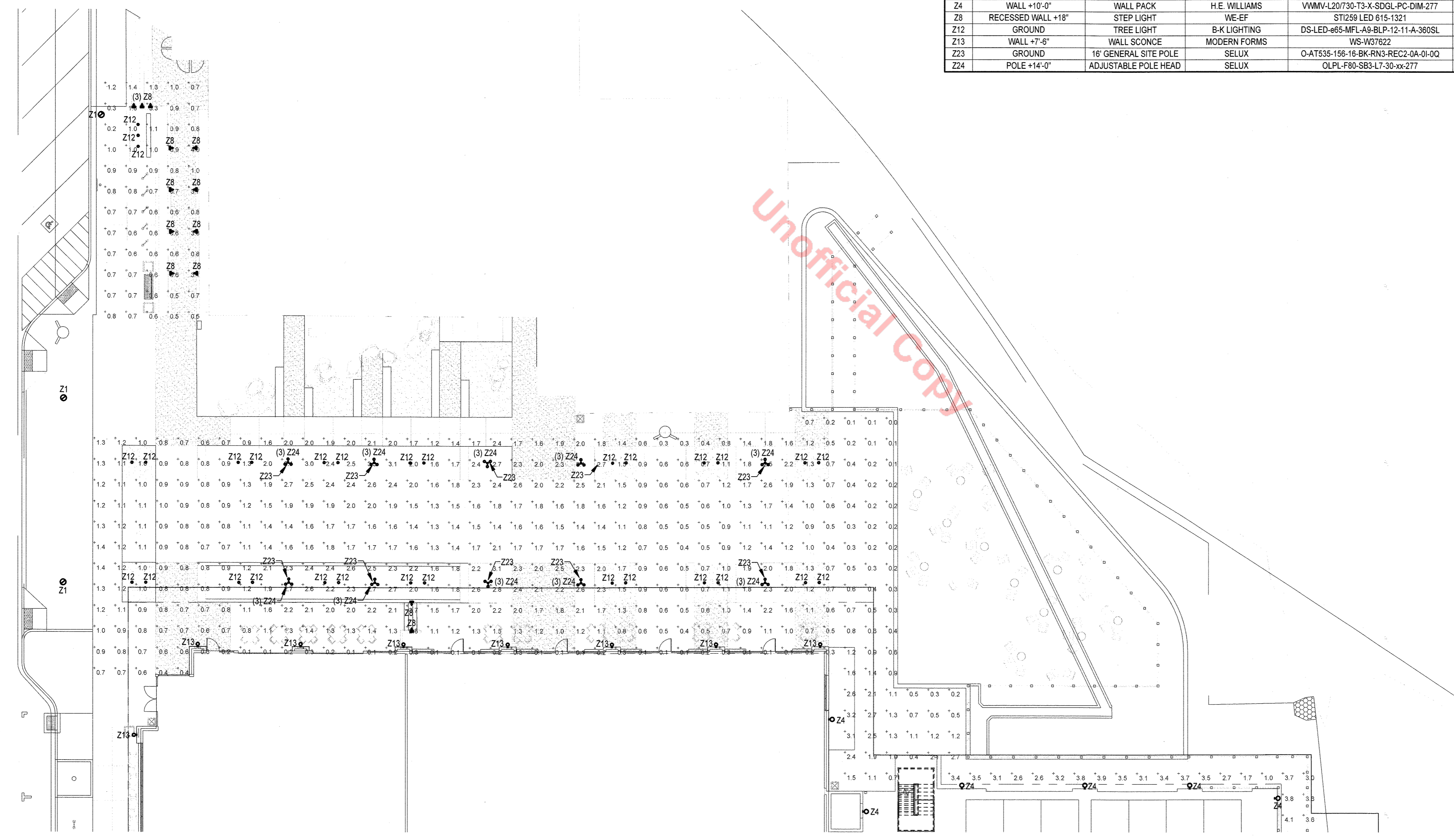
LUMINAIRE SCHEDULE

REMARKS:
 1. FIXTURE SHALL MATCH EXISTING PEDESTRIAN POST TOP LUMINAIRE IN TOWN RIGHT OF WAY AREAS. VERIFY EXACT MODEL, NUMBERS, POLE STYLE AND BASE TYPES, AND MOUNTING HEIGHT WITH TOWN OF CASTLE ROCK.
 2. LAMPS ARE 2' ON CENTER, AND FROSTED.
 3. MOUNT AT +10' UNLESS NOTED OTHERWISE.
 4. PROVIDE 12VAC TRANSFORMER AS REQUIRED.
 5. PROVIDE POLE-MOUNTED RECEPTACLE AND MOUNTING HARDWARE AS REQUIRED FOR TYPE Z2 CATENARY LIGHTING.

TAG	MOUNTING	DESCRIPTION	MANUFACTURER	MODEL	VOLT	LAMP					LLF	USE	REMARKS
						QTY	WATTS	SOURCE	TEMP	LUMENS			
L01	SURFACE, CEILING/WALL	4' LED STRIP	ALEO	LLS-4HE-25840 XE G3	277 V	--	--	25W LED	4000K	3325	1.0	GARAGE ENTRY	(1)
Z1	POST TOP	PEDESTRIAN	STERNBERG	PT-B750 W/ 09L45T5-MDL14 SOURCE	120 V	--	44	44W LED	4500K	3,865	1.0	STREET-SIDE TO MATCH EXISTING	(1)
	GROUND	POLE FOR Z1	STERNBERG	VERIFY W/ TOWN OF CASTLE ROCK								PART OF TYPE Z1	(1)
Z2	SUSPENDED +15'	CATENARY	CALI	ML2000-CB-48" OIC-LED-5.0K-GSF-WET	120 V	--	1	1W LED	5000K	21/FT	1.0	PLAZA OVERHEAD	(2)
Z3	SURFACE	EXTERIOR DOWNLIGHT	CONTECH LIGHTING	SMTR530KCMVD2	277 V	--	11	11W LED	3000K		1.0	CANOPIES	
Z4	WALL +10'-0"	WALL PACK	H.E. WILLIAMS	VMMV-L207/30-T3-X-SDGL-PC-DIM-277	277 V	--	25	25W LED	3000K	2,022	1.0	EXIT DOORS	(3)
Z8	RECESSED WALL +18"	STEP LIGHT	WE-EP	ST159 LED 815-1321	277 V	--	8	8W LED	3000K	840	1.0	PATHWAY	
Z12	GROUND	TREE LIGHT	B/K LIGHTING	DS-LED-865-MFLA9-BLP-12-11-A-360SL	12 V	--	7	7W LED	3000K		1.0	ACCENT	(4)
Z13	WALL +7'-6"	WALL SCONCE	MODERN FORMS	WS-W87622	120 V	--	15	15W LED	3000K	528	1.0	BUILDING FACE AT PEDESTRIAN AREAS	
Z23	GROUND	16' GENERAL SITE POLE	SELUX	O-AT535-156-16-BK-RN3-REC2-0A-01-0Q								FIXTURE SUPPORT, TYPES Z2, Z24	(5)
Z24	POLE +14'-0"	ADJUSTABLE POLE HEAD	SELUX	OLPL-F80-SB3-L7-30-xx-277	277 V	--	7	7W LED	3000K	1,004	1.0	GENERAL PLAZA AREAS	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COURTYARD	+	2.0 fc	5.0 fc	0.4 fc	12.5:1	7.3:1
PLAZA	+	1.4 fc	4.3 fc	0.0 fc	N/A	N/A
SITE	+	1.6 fc	4.9 fc	0.0 fc	N/A	N/A
SOUTH ENTRY	+	5.8 fc	9.4 fc	0.2 fc	47.0:1	28.0:1
TOWN HALL	+	1.0 fc	4.0 fc	0.2 fc	20.0:1	5.0:1



Unofficial Copy

1 PHOTOMETRICS - PLAZA
 1/16" = 1'-0"

2 PHOTOMETRICS - SOUTH ENTRY
 1/16" = 1'-0"

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET; A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

B750 AVENUE SERIES

71 HID

FEATURES: 1 YEAR WARRANTY, MAXIMUM OUTPUT 200W, UL LISTED

ORDERING EXAMPLE: 2A-B750-SP-100WPS120-MED-RES-A-PEC-FHS/SOPM/3412/4/BKT

Mounting Configuration: Includes table for various mounting options like 1-1A, 1-2A, 1-3A, etc.

Options: Lists various accessories like CDR Cast Decorative Ring, PFCR Polished Brass Decorative Ring, etc.

Specifications: Details fixture features, mounting, and electrical requirements.

Applications: Lists suitable locations like indoor/outdoor, lobbies, etc.

Electrical: Provides a table for series, spacing, lamp, and dimming options.

Lamp Specifications: Table with columns for lamp number and description.

Installation: Provides step-by-step instructions for mounting and wiring.

Warranty: States a 5-year warranty on the LED source.

Sternberg Lighting
ESTABLISHED 1923 • EMPLOYEE OWNED

555 Lawrence Ave., Roselle, IL 60172
Info: 800.621.3376
www.sternberglighting.com

marketLITE™ ML2000-CB

Manufactured in the U.S.A.

FEATURES: Indoor and Outdoor, LED Lamp Included, Forward Phase, Built to Order, Standard 1/2 Leads, Cable Included, etc.

Applications: Lists various uses like retail, office, etc.

Electrical: Table for series, spacing, lamp, and dimming options.

Lamp Specifications: Table with columns for lamp number and description.

Installation: Provides step-by-step instructions for mounting and wiring.

Warranty: States a 5-year warranty on the LED source.

CALI
CALIFORNIA ACCENT LIGHTING, INC.
2024 E. Lincoln Ave., #431, Anaheim, CA 92806
PH: 800.921.CALI (2254) or 714.535.7900 | www.calighting.com

VWMM VOLTAIRE MINI ARCHITECTURAL WALL PACK

4 Z4

CROSS SECTIONS: Shows front, side, and top views of the fixture.

ORDERING INFORMATION: Includes table for series, spacing, lamp, and dimming options.

Specifications: Details fixture features, mounting, and electrical requirements.

Applications: Lists suitable locations like retail, office, etc.

Electrical: Provides a table for series, spacing, lamp, and dimming options.

Lamp Specifications: Table with columns for lamp number and description.

Installation: Provides step-by-step instructions for mounting and wiring.

Warranty: States a 5-year warranty on the LED source.

H.E. Williams, Inc.
www.hew.com • 417.358.4085

XRLED-B750

POST-TOP LED CONVERSION KIT FOR B750 AVENUE ACORN

HOW TO ORDER: XRLED-B750-12LS074-MDH07

XRLED-B750	RL	45	TS	MDL14	NONE
LED LAMP KIT FOR B750 ACORN	12L	4500K K	T3	MDL14	602

Features & Specifications: Lists technical details and benefits.

Optical: Details beam spread and light distribution.

Electrical: Provides power and voltage information.

Performance: Includes a table of photometric data.

Sternberg Lighting
ESTABLISHED 1923 • EMPLOYEE OWNED

555 Lawrence Ave., Roselle, IL 60172
Info: 800.621.3376
www.sternberglighting.com

marketLITE™ ML2000-CB

Manufactured in the U.S.A.

LAMP OPTIONS: Lists various lamp configurations.

INSTALLATION RECOMMENDATIONS: Provides guidelines for mounting and wiring.

DESIGN GUIDELINES: Shows different installation styles like straight run, swept run, etc.

INSTALLATION OPTIONS: Lists various mounting methods.

WEIGHT PER FOOT: Table showing weight for different configurations.

OPTIONAL ACCESSORIES: Lists additional components like cable locks, mounting kits, etc.

HARDWARE INSTALLATION: Provides diagrams for mounting hardware.

POWER PLUG: Shows the location and use of the power plug.

CALI
CALIFORNIA ACCENT LIGHTING, INC.
2024 E. Lincoln Ave., #431, Anaheim, CA 92806
PH: 800.921.CALI (2254) or 714.535.7900 | www.calighting.com

VWMM VOLTAIRE MINI ARCHITECTURAL WALL PACK

4 Z4

DISTRIBUTION DETAILS: Shows various beam spread options.

FIXTURE PERFORMANCE DATA: Table with columns for beam spread, lumens, etc.

LUMEN MAINTENANCE: Table showing lumen output over time.

OPTIONS: Lists various customization options.

MOUNTING DETAILS: Shows bolt pattern and mounting hardware.

H.E. Williams, Inc.
www.hew.com • 417.358.4085

CONTECH LIGHTING | LEVIT company

ArchiThin SMTR SMTs

LED Surface Mount Downlights

Specifications/Features: Lists technical details and benefits.

Lamp/Electrical: Provides power and voltage information.

Warranty: States a 5-year warranty on the LED source.

Ordering Information: Includes table for series, spacing, lamp, and dimming options.

CONTECH LIGHTING
www.contechlighting.com

GENERAL NOTES:

- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
- EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
- MITIGATION TO ADJACENT PROPERTIES:
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CONTECH LIGHTING
www.contechlighting.com

GIVEN & ASSOCIATES INC.
MECHANICAL & ELECTRICAL ENGINEERS

735 S. Xenon Ct. #201
Lakewood, CO 80228
Ph: 303.716.1270
www.givenandassociates.com
Given Project # 18112

PHOTOMETRIC DETAILS
SHEET 33
SITE DEVELOPMENT PLAN FOR TOWN OF CASTLE ROCK
LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32;
A PORTION OF FIRST STREET; A PORTION OF PERRY STREET; TOWN OF CASTLE ROCK PLAT
PROJECT NO. SDP19-0004
08/05/19

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
 A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
 ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

L01

aleo™
LED LIGHTING

Project: _____
 Notes: _____
 Type: _____ Date: _____
 Ckt. No.: _____

LLS™ XE Series LED Linear Strip Luminaire

DESCRIPTION
 The Aleo LLS™ XE Series Linear Strip Luminaire delivers industry-leading performance with deep energy savings and continuous dimming. Low profile design offers easy handling and storage. This versatile luminaire produces energy-efficient, comfortable illumination for a myriad of applications.

APPLICATIONS
 Excellent for general utility applications: Parking garage, warehouse, offices, restrooms, storage units, stairwells.

Specification Features

Construction
 Integral LED gear tray and reflector with driver on board allows for easy installation and handling. Luminaire features matte white durable finish. Diffuser requires no additional frame or fastener for easy installation.

Electrical
 Luminaire utilizes high-efficiency LED packages maintained at cool temperatures for long life, high efficacy. Reliable driver features continuous dimming. Universal voltage (120V-277V) for convenient installation. Comes equipped with luminaire quick-disconnect.

Optical System
 Reflector systems features highly reflective coating and delivers balanced, comfortable illumination for productive spaces. Diffuser lens reduces glare and improves occupant comfort while maintaining high efficiency emission.

Dimming
 Continuous dimming (0-10V) comes standard. Suitable for use with dimmers, sensors, daylight harvesting and other control strategies to achieve deeper energy-savings and code compliance. Sensor accessory available: occupancy sensing with daylight cut-off.

UL LISTED
 2' 20W
 4' 25W, 41W
 8' 52W, 66W, 78W

Related Life 75,000 hours
Limited Warranty 7 years
 Efficacy 16 to 170 LPW
 Continuous Dimming

Quick-Disconnect
 LLS-4HE-25840 XE G3
 LLS-4HE-25840 XE G3
 LLS-4HE-25840 XE G3
 LLS-4HE-41840 XE G3
 LLS-4HE-41840 XE G3
 LLS-4HE-52880 XE G3
 LLS-4HE-52880 XE G3
 LLS-8VHE-78360 XE G3

Ordering Information

Example: LLS-4HE-25840 XE G3

Series	Form Factor	Lumen Package	Nom. Wattage	CRI	Color Temp.	Dimming	Emergency Backup
LLS™ LED Linear Strip Luminaire	2'	HE High Lumen	20 20W (2)	8	40 4000K	Blank	EM700 700lm
	4'	VHE Very High Lumen	25 25W (4)	8	50 5000K	0-10V Continuous Dimming	EM1400 1400lm
	8'	Lumen	41 40W (4)	8	52 52W (8)		EM900 900lm
	8'		66 66W (8)	8	78 78W (8)		

Options

OS Occupancy Sensor
 OSDL Occ. Sensor w/ Daylight
 OSDLH Multi-Level Occ. Sensor w/ Wireless Config

SB Integrated Sensor Box

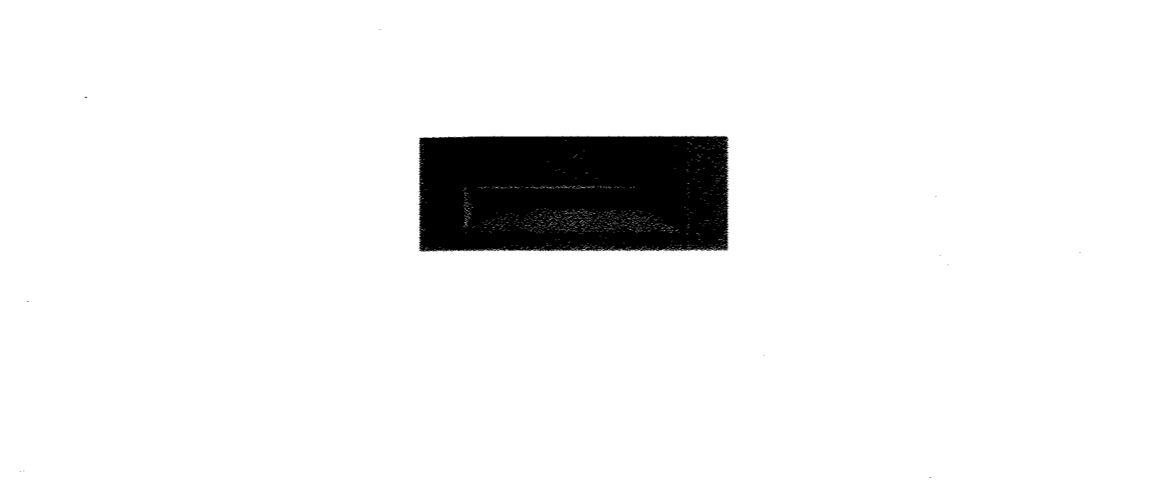
Will be supplied with auto fixture-mount sensor, unless SB is specified. Contact factory for other control options and wireless capabilities.

Specifications and Dimensions subject to change without notice.
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Z8

we-ef

STI259 LED
 615-1321
 1/8



Description
 R90, Recessed LED spotlight for orientation. Shielded light source. Suitable for installation in cavity wall construction or concrete pour construction using optional installation bracket.

Beam Type asymmetric, forward-throw

Light Source LED 40/5W -3000 K

CRI 90

Gear Type electronic gear

Nominal Luminous Flux (lm)
 LED Lumens 21 lm
 LEDs 40
 Total Lumens 840 lm
 Tj 25 °C

Rated Luminous Flux (lm)
 LED Lumens 7.4 lm
 Total Lumens 297.1 lm
 Tj 25 °C

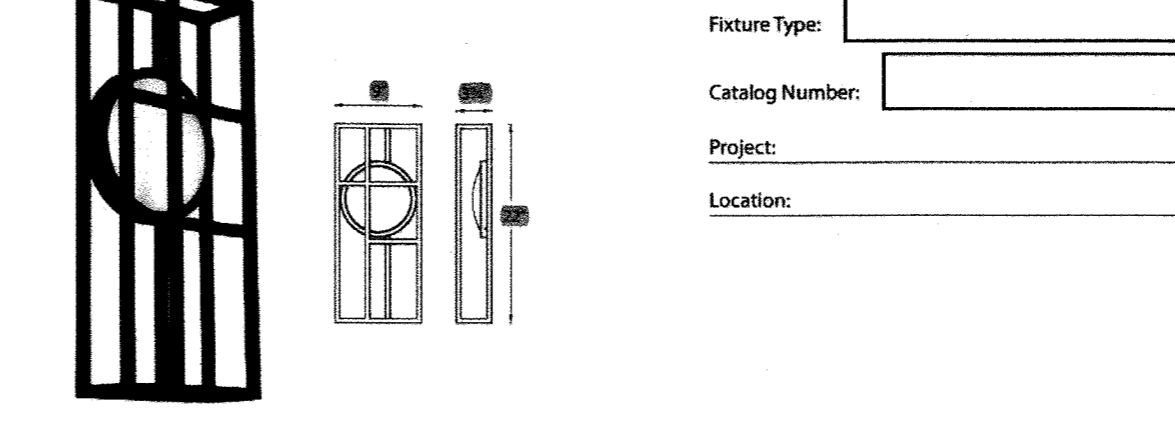
Rated Input Power 8 W

TYPE Z13

Z13

IRONY™ - model: WS-W37622
 LED Interior & Exterior Sconce

Fixure Type: _____
 Catalog Number: _____
 Project: _____
 Location: _____



PRODUCT DESCRIPTION
 Capture the room in its iconic sculpture and piece of functional wall art. Irony is both original and whimsically fitting in both transitional and eclectic settings.

FEATURES

- Available vertically or horizontally
- Recessed low profile design
- ETL & cETL listed damp location listed
- CEC Title 24 Compliant
- Aluminum construction with pressed etched opal glass
- Luminaire within the frame
- Adjustable mounting hardware for easy installation
- 50000 hour rated life
- C-Track compatible
- 3000K

SPECIFICATIONS
Construction: Aluminum construction with pressed etched opal glass.
Light Source: LED
Finish: Bronze
Standards: ETL, cETL, damp location listed, IP65 rated, ADA compliant, CEC Title 24.

ORDER NUMBER

Model	Height	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W37622	22"	3.5W	230V	993	528	BZ Bronze

Example: WS-W37622-04

modernforms.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center
 Phone 800.526.2588 44 Harbor Park Drive 1600 Distribution Ct. 1750 Arch Road Avenue
 Fax 800.526.2585 Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.

L01

LLS™ Series LED Linear Strip Luminaire

Performance Summary

Input Voltage 120V-277V
 Input Frequency 50/60 Hz
 Rated Wattage See Performance Table
 Delivered Lumens See Performance Table
 Efficacy > 130 LPW (typ.)
 CRI 94+, Ra > 0
 Available CCT 4000K, 5000K
 Color Consistency 5-step MacAdam Ellipse
 Rated Life 75,000 hours
 L70 > 72,000 hours
 Power Factor > 0.9
 THD < 20%
 Dimming 0-10V Continuous (10-100%)
 Operating Temp. -20°C to 40°C

Mounting Information

A: End Cap
 B: Suspension mount with v-hook
 C: Surface Mount
 D: T-Bar Clip Mounting hole
 E: Wiring Knockout

Box Mounting Accessory

Performance Data

Form Factor	Catalog No.	Rated Wattage (W)	Rated Lumens (lm)	4000K		5000K	
				Delivered Lumens (lm)	Efficacy (lm/W)	Delivered Lumens (lm)	Efficacy (lm/W)
2'	LLS-3HE-20 XE G3	20	185	8000	130	2600	131
	LLS-4VHE-41 XE G3	41	38	5900	130	5040	131
4'	LLS-4HE-25 XE G3	25	25	3325	133	3350	134
	LLS-3HE-52 XE G3	52	52	6916	130	6998	134
8'	LLS-8H-48 XE G3	65	65	8960	132	8640	133
	LLS-8VHE-78 XE G3	75	75	9750	130	9625	131

NOTES:
 * Quick ship, 4000K. Other CCT's may require a lead time to be special order.
 + Typical color consistency. May vary by lot.
 * L70 hours calculated based on LED package manufacturer L70 report and SDMT report of LED in luminaire. Distinct values are for select catalog numbers. Contact manufacturer for detailed information.
 Specifications and Dimensions subject to change without notice.
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Z12

DELTA STAR™

CATALOG NUMBER LOGIC

Example: DS-LED-e65-SP-A7-B7W-12-11-A-360SL

Material
 DS - Aluminum
 B - Brass
 S - Stainless Steel

Series
 DS - Delta Star™

Source
 LED - W Technology with Integral Dimming Driver (See Specifications for Dimming)
 DS - Standard Series (See Specifications for Dimming)

LED Type
 e65 - 7W/LED/7W
 e65 - 7W/LED/5K

Optics*
 WS - Narrow Spot (Red Indicator)
 SP - Spot (Green Indicator)
 MFL - Medium Flood (Yellow Indicator)
 WFL - Wide Flood (Blue Indicator)

Adjust-e-Luma™ Output Intensity (See User Manual)
 A7 Standards: A4, A1, A6, A5, A4, A3, A2, A1

Finish

Aluminum Finish	Brass Finish	Premium Finish					
Powder Coat Color	satin	brushed	BAC	BBP Antique Brass Powder	CNC Casted Aluminum Granite	MSI Acrylic Mountain Granite	
Black	BBP	Brushed	PCK	ABR Antique Brass Granite	CW Casted Brass	SBS Stainless Steel Granite	
White	WSP	WSP	MSK	AWW Antique White	CW Casted	SSS Stainless Steel Granite	
White (Gloss)	WSP	WSP	MSK	BCB Black Chrome	MSH Hunter Green	TSP Textured Forest	
Aluminum	SAP	---	BAC	BSE Bronze	MSJ Antique Desert Sandstone	WCP Weathered Copper	
Verde	---	VBR	Brushed	PCK	BRP Bronze Patina Powder	MSP Natural Brass Powder	WR Weathered Iron
				CWP Clear Anodized Powder	OSP Oil Copper	MSM Mountain Marble Granite	

Lens Type
 12 - Soft Focus Lens
 11 - Hard Focus Lens

Shielding
 A - Honeycomb Baffle

Cap Style
 A - 40°
 B - 60°
 C - 90°

Optics
 360SL - 360SL™ Rotational Adjustable Mounting System

DRIVER DATA

Input Volts	Inrush Current	Operating Current	Dimmable	Operation Ambient Temperature
120VAC Single Phase	<230mA (non-dimmed)	70mA	Magnum, Low Voltage Dimmer	12V-104F 130°C (90°C)

LM79 DATA

IK No.	CCT (lm)	Input Watts (W)	CRI	Minimum Rated Life (hrs.)	70% of Initial Lumen (L70)
e64	2700K	7.0	80	50,000	50,000
e65	3000K	7.0	80	50,000	50,000
e66	4000K	7.0	80	50,000	50,000
e74	Amber (2700m)	7.0	---	50,000	50,000

L70 DATA

Beam Type	Angle	666 CFCFP	Visual Indicator
Narrow Spot	13°	6889	Red Dot
Spot	15°	5235	Green Dot
Medium Flood	23°	1384	Yellow Dot
Wide Flood	33°	1300	Blue Dot

OPTICAL DATA

4049 Broadway Drive • Bakersfield, CA 93306 • USA
 800.526.2588 • FAX 805.438.8500
 www.modernforms.com • info@modernforms.com

SUBMITTAL DATE: 10-24-18
 DRAWING NUMBER: SLB04930

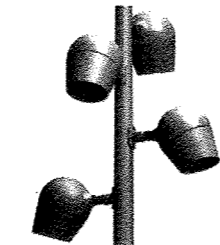
- GENERAL NOTES:**
- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
 - EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
 - MITIGATION TO ADJACENT PROPERTIES:
 A. FIXTURE TYPES Z4 & Z17 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
 B. TYPE Z1 IS PER THE TOWN STANDARD.
 C. TYPE Z2 FESTOON LIGHTING FROSTED, WITH A TOP-HALF CANOPY. EACH LAMP IS A LOW-OUTPUT 1W LED, AND EFFECTS OUTSIDE OF PLAZAS ARE MINIMAL.
 - NO FORWARD THROW (TYPE IV), POLE-MOUNTED FACADE, OR UNSHIELDED WALL PACKS ARE UTILIZED HEREIN.

SITE DEVELOPMENT PLAN

LOTS 1 THROUGH 12 AND ADJACENT ALLEY, BLOCK 32; A PORTION OF FIRST STREET;
A PORTION OF PERRY STREET, TOWN OF CASTLE ROCK PLAT LOCATED IN THE NORTHWEST
ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Date: _____ Customer: _____
Project: _____ **Z23/Z24**
Type: _____ Qty: _____ **selux**

Olvio Piccolo LED Sistema 2 Arm Mount



Order Code:	#1	OLPL								
#2	OLPL									
#3	OLPL									
#4	OLPL									
Feature #	Series	Optics	Mounting	Light Engine	CCT	Finish	Voltage	Options		

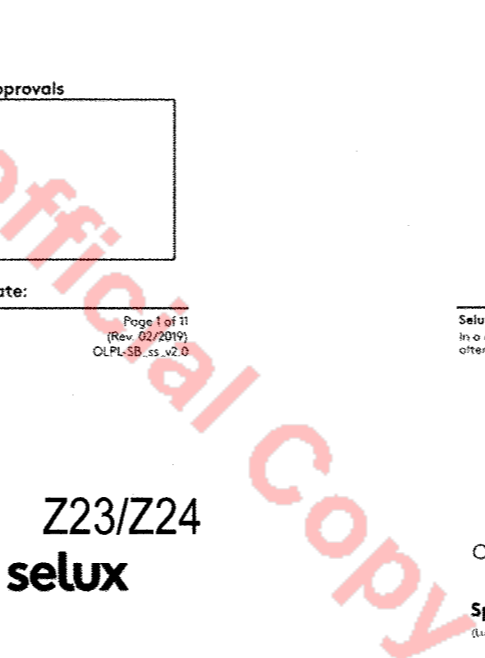
Pole Order Code:	Series	Height	Finish	Rivet	Options	*Rivet Locations
OLPL	Series	OLPL Piccolo LED				
Optics	S09	440	F80			
Mounting	S8x					
Light Engine	L14	L7				
CCT	30	40				
Finish	WH	BK	BZ	SV	SP	
Finish	120	208	240	277		
Options	DS	SLH	SLV	PC		
	CF					
	HX					

Product Modifications: _____

Approvals: _____

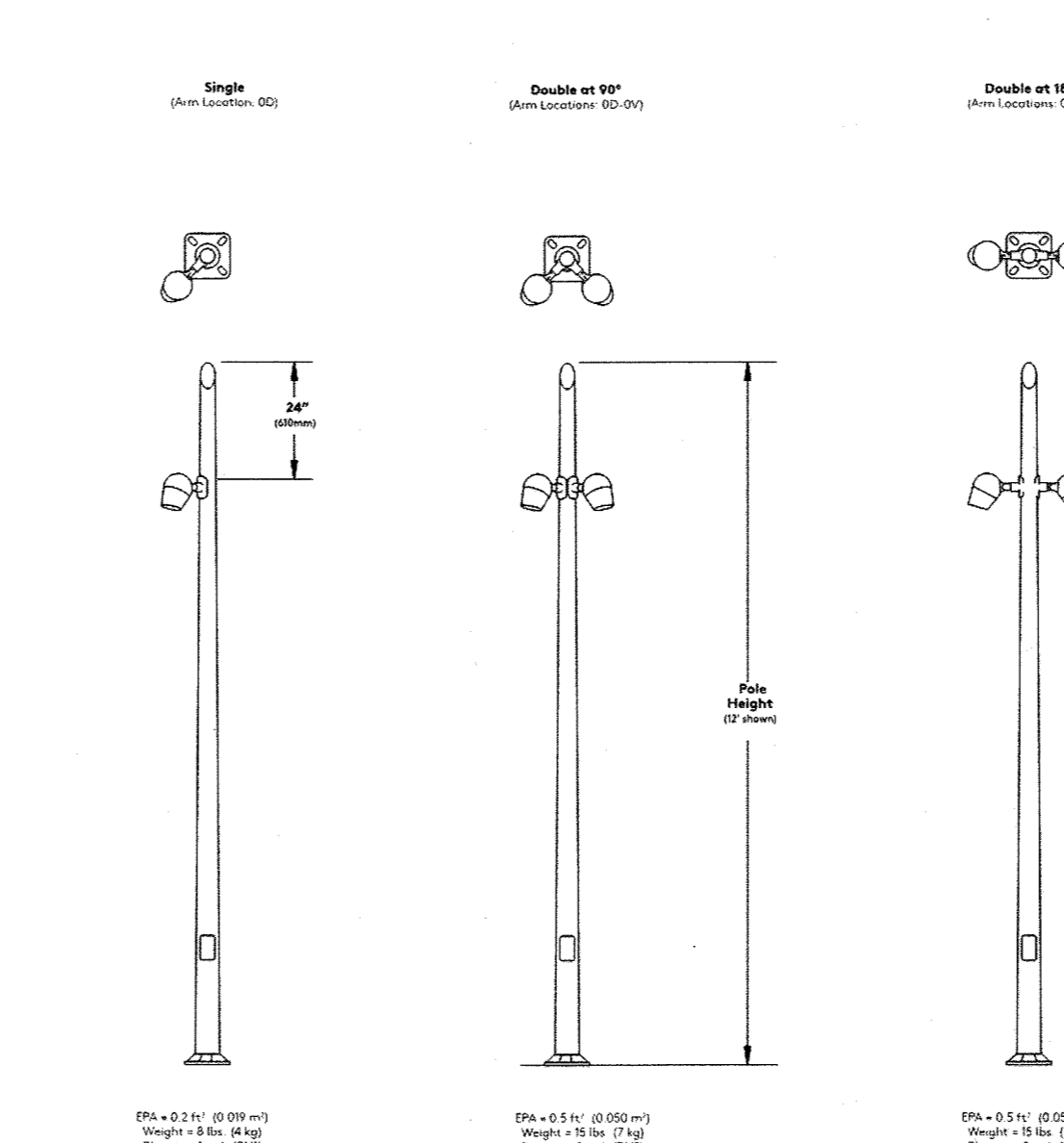
Date: _____

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Date: _____ Customer: _____
Project: _____ **Z23/Z24**
Type: _____ Qty: _____ **selux**

Olvio Piccolo LED - Sistema 2 Arm Mount

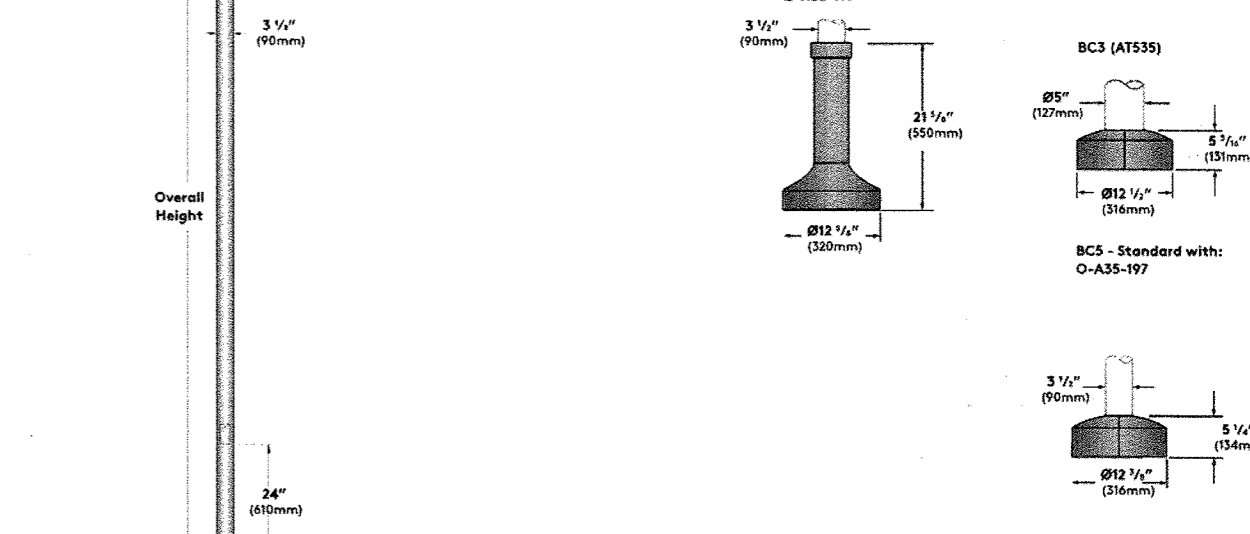


Configuration	Weight	Rivets
Single (Arm Location: 00)	Weight = 1.8 lbs (0.8 kg)	Rivets = 1 pair (R2)
Double at 90° (Arm Location: 90-00)	Weight = 1.8 lbs (0.8 kg)	Rivets = 2 pair (R2)
Double at 180° (Arm Location: 90-00)	Weight = 1.8 lbs (0.8 kg)	Rivets = 2 pair (R2)

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Date: _____ Customer: _____
Project: _____ **Z23/Z24**
Type: _____ Qty: _____ **selux**

Olvio Piccolo LED - Sistema 2 Arm Mount

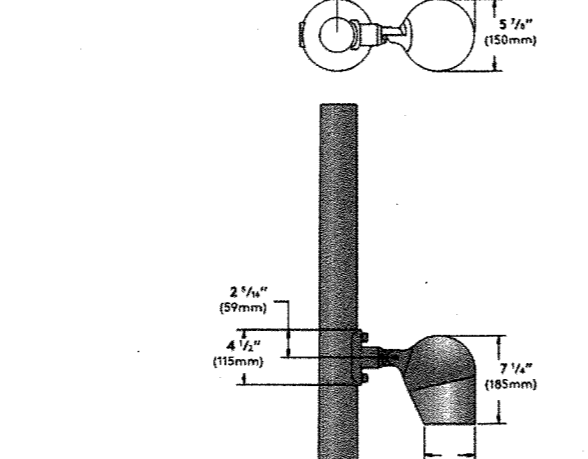


Pole Series	Wall	EPA Information				Height	Finish	Rivet Pairs	Options
		80mph	90mph	100mph	110mph				
O-ASS-197 1 1/2" Straight Alum Pole	0.107	7.3	5.4	4	3.1	12 ft 0 in	WH White	RN1 1 Pair	BC1 Decorative Cast Alum Base Cover (see base cover details for pole compatibility)
O-AT535-156 1" to 1 1/2" Round Tapered Alum Pole	0.156	14.4	10.6	8.6	6.9	14 ft 0 in	BK Black	RN2 2 Pair	BC3 Deco-Top Tee-piece Alum. Base cover (see base cover details for pole compatibility)
O-ASS-197 3.5" Round Straight Alum Pole	0.197	5.8	4.2	3.0	2.2	14 ft 0 in	BZ Bronze	RN3 3 Pair	BC5 Tee-piece Cast Alum. Base cover (see base cover details for pole compatibility)
O-AT535-156 1" to 1 1/2" Round Tapered Alum Pole	0.156	7.2	5.6	4.2	3.3	16 ft 0 in	SV Silver	RN4 4 Pair	REC Cast Alum. Base cover (see base cover details for pole compatibility)
O-AT54-155 1" to 1 1/2" Round Tapered Alum Pole	0.156	14.1	10.9	8.6	7.0	16 ft 0 in	SP Special Finish Color	RN5 5 Pair	PC Photocell (Please consult factory manual for use instructions)
O-S19756-11 1" to 1 1/2" Tapered Steel Pole	0.11	19.3	15.1	12.2	10.0			RN6 6 Pair	REC2 Cast Alum. Base cover (see base cover details for pole compatibility)

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Date: _____ Customer: _____
Project: _____ **Z23/Z24**
Type: _____ Qty: _____ **selux**

Olvio Piccolo LED - Sistema 2 Arm Mount



- #### Specifications
- Luminaire Housing** - Two piece high pressure die cast housing, made of low copper aluminum alloy. Single recessed captive screw allows easy access to light engine & gear tray components.
 - Gasketing** - (not shown) UV and ozone-resistant, silicone gasket between fixture housing and lens base provide IP67 level ingress protection. IP rated micro-membrane ensures pressure compensation.
 - Lens** - (not shown) Tempered clear glass lens.
 - LED Light Engine** - (not shown) made from high flux COB and vacuum metalized aluminum reflectors. Selux is using brand name LED manufacturers. Available in 3000K and 4000K. CRI minimum 80. Reflector made from high purity aluminum to ensure high efficiency throughout lifetime. Complete light engine can be removed easily for future upgrade. LED light engine provides a reported lumen maintenance of 82, 60%, at 60,000 hours. L70 calculated greater than 50,000 hours.
 - LED Driver** - Selux uses brand name high efficiency LED drivers. LEDs are driven by RoHS compliant high efficiency driver. Excellent for cold temperature starting and instant on. No. operating temperature -30°C/ -22°F.
 - Arm** - Cast aluminum mounting arms for flexible pole mounting. Fixture head joint provides 90° swing range from 0° to 180°, and 360° rotation. Locks down with set screws.
 - Rivets** - (not shown) (2) Two rivets required per Fixture Arm and installed by manufacturer.
 - Power Cord** - (not shown) Pre-installed at factory and fed hidden through the luminaire hinge and hinge arm. Power cords are specified to fit the length of the pole specified with the luminaire.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylok certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphated and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultraviolet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PC2 standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available, please specify from your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the Olvio Piccolo LED Solar luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED array when installed and operated according to Selux instructions. Future suitable for ambient temperature of 35°C (95°F).

Listings and Ratings: Tested to IESNA LM-79-08 and LM-80 test standards at 25°C ambient temperature. IP67.

OLVIO LED suitable for ambient temperatures of 5°C (95°F). Minimum operating temperature of luminaire at -30°C (-22°F).

NRTL listed for wet location (i.e. UL, CSA)

Visit selux.us for our LED End of Life recycling policy.

Olvio Piccolo LED	S09	F40	F80
3000K CRI-80	108 lm CSCF 1443.6cd	1024 lm CSCF 1364.8cd	2048 lm CSCF 2729.6cd
4000K CRI-80	108 lm CSCF 1443.6cd	1024 lm CSCF 1364.8cd	2048 lm CSCF 2729.6cd

LMW Multiplier	400K	1000
3000K	0.965	

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Date: _____ Customer: _____
Project: _____ **Z23/Z24**
Type: _____ Qty: _____ **selux**

Olvio Piccolo LED - Sistema 2 Arm Mount

Specify Mounting Configurations

Use checkboxes provided in chart below. Columns #0 through #5 indicate heights starting with 7 feet (80mm) below top of pole and proceeding downwards in increments of 18 inches (457mm). Rows A through X indicate angular placements around pole starting with 0° at handhole and proceeding clockwise.

NOTE: Arms mounted on same height level must be spaced apart 90° minimum. Arms mounted at adjacent height levels (90° apart) must be spaced apart at 45° minimum.

	0	1	2	3	4	5
A						
B						
C						
D						
E						
F						
G						
H						
I						
J						
K						
L						
M						
N						
O						
P						
Q						
R						
S						
T						
U						
V						
W						
X						

(*) Pair of Rivets required per arm.

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GENERAL NOTES:

- REFER TO LUMINAIRE SCHEDULE FOR LIGHTING USES/OBJECTIVES.
- EXTERIOR LIGHTING OPERATION IS DUSK TO DAWN, WITH PHOTOCELL & TIMESWITCH CONTROL.
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 - FIXTURE TYPES Z4 & Z17 ARE FULL CUT-OFF OR DOWNLIGHT ONLY.
 - TYPE Z21 IS PER THE TOWN STANDARD.
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