



# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### COVER SHEET

**SHEET INDEX:**

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- SHEET 2 SITE PLAN
- SHEET 3 GRADING PLAN
- SHEET 4 UTILITY PLAN
- SHEET 5 BUILDING ELEVATION
- SHEET 6 LANDSCAPE PLAN
- SHEET 7 IRRIGATION PLAN

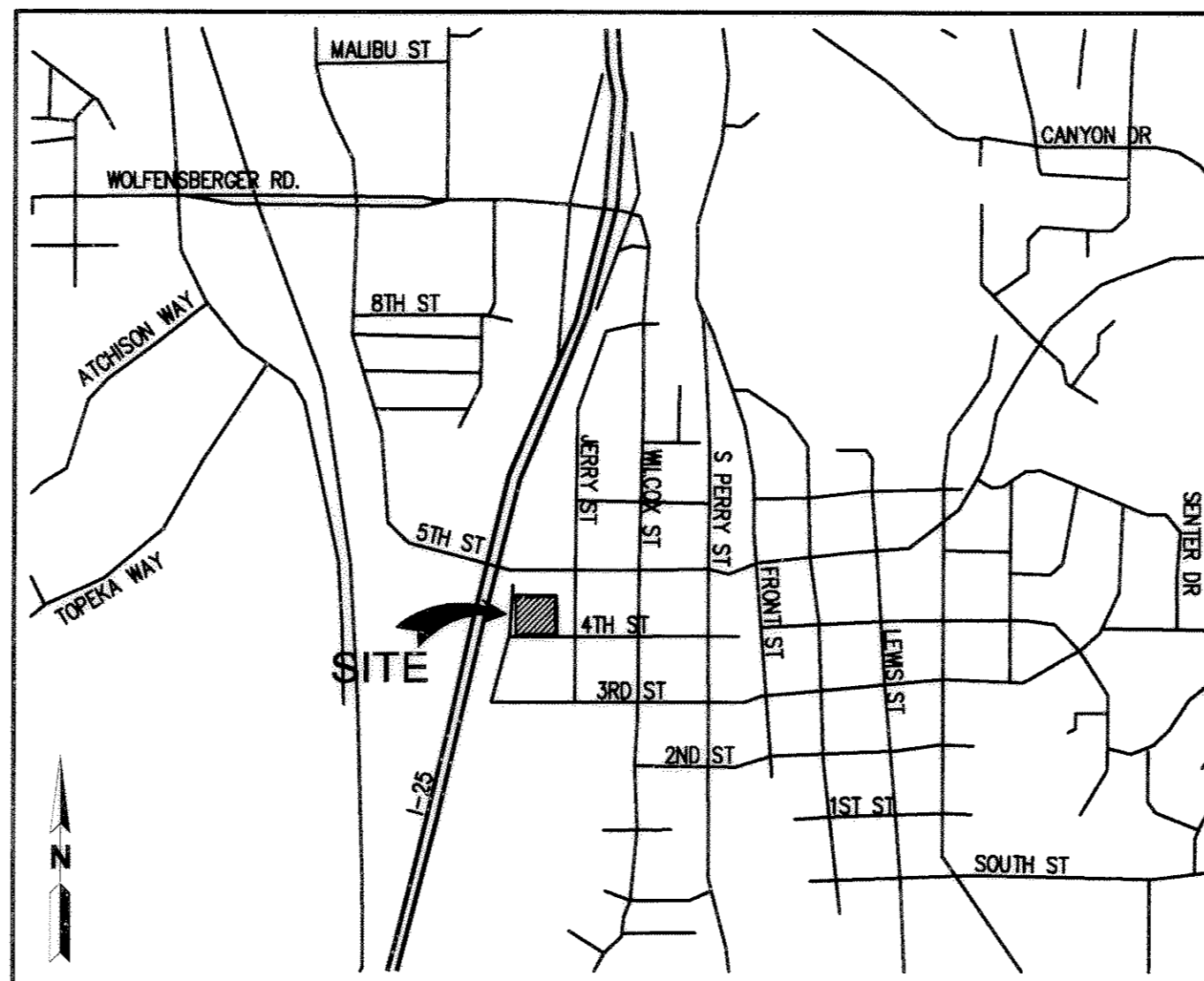
**OWNER/DEVELOPER**  
 SPIRAL CORPORATION, LLC  
 C/O PROJECT ONE  
 9785 MAROON CIRCLE, SUITE 150  
 ENGLEWOOD, CO 80112  
 (303)771-0396 x103  
 ATTN: MIKE PALUMBO

**ARCHITECT**  
 B A INTERNATIONAL, LLC  
 6425 S. PERRY PARK BLVD.  
 LARKSPUR, CO 80118  
 (303)681-9166  
 PH. (303)681-9429  
 ATTN: DAVE BIRKEY  
 PROJECT MANAGER

**SURVEYOR**  
 ARCHER & ASSOCIATES, INC.  
 105 WILCOX ST.  
 CASTLE ROCK, COLORADO 80104  
 PH. (303)688-4642  
 ATTN: DAVID E. ARCHER, PLS

**LANDSCAPE ARCHITECT**  
 HORIZON LANDSCAPE  
 2174 VALENTIA STREET  
 (303)901-4571  
 YSMITH222@MSN.COM  
 ATTN: VICKI SMITH

**ENGINEER**  
 MARTIN/MARTIN INC.  
 12499 W. COLFAX AVE.  
 LAKEWOOD, COLORADO 80215  
 (303)431-6100  
 FAX (303)431-4028  
 ATTN: ANDY KELLY P.E.  
 PROJECT MANAGER



VICINITY MAP  
 SCALE 1"=1000'

**GENERAL NOTES**

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
2. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SCRUB MUST REPLACE A SCRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE SITE DOES NOT LIE WITHIN A 100YR FLOOD PLAIN PER FEMA MAP NO. 08035C0186F REVISED SEPTEMBER 30, 2005.
4. THERE ARE NO PROPOSED PUBLIC IMPROVEMENTS TO THE ADJACENT STREET.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK 'WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY', AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THIS PLAN.

**PROPERTY DESCRIPTION:**  
 LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT AS RECORDED AT REC NO. 2007040630. SAID PARCEL CONTAINS 8500 S.F. (0.195 ACRES) MORE OR LESS

**BASIS OF BEARINGS:**  
 BEARINGS ARE BASED ON THE CENTERLINE OF WILCOX STREET AS MONUMENTED BY A #4 REBAR WITH CAP PLS #6935, AT THE CENTERLINE INTERSECTION OF FOURTH STREET, THIRD STREET AND SECOND STREET, AND BEARING NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST.

**BENCHMARK:**  
 ELEVATIONS ARE BASED ON THE DOUGLAS COUNTY CONTROL POINT DESIGNATED 3.010019, A BRASS CAP STAMPED DOUGLAS COUNTY CONTROL POINT 3.010019, LOCATED APPROX. 64' SOUTHEASTERLY OF THE CENTERLINE OF SANTA FE, AKA PRAIRIE HAWK DRIVE AND SOUTH OF ITS INTERSECTION WITH TOPEKA WAY AND BEING WEST OF I-25 AND IN THE TOWN OF CASTLE ROCK, COLORADO.

ELEVATION = 6215.91' NGS (NAVD88) DATUM.

**SURVEYOR'S CERTIFICATE:**

I, DAVID E. ARCHER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT, WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

*David E. Archer*  
 DAVID E. ARCHER, PLS# 6935  
 10/16/07  
 DATE



**LIENHOLDER SUBORDINATION CERTIFICATE:**

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK 25TH AMENDMENT, IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THIS INSTRUMENT RECORDED ON MAY 18, 2007 AT RECEPTION NO. 2007040630, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

SIGNED THIS 24 DAY OF OCTOBER, 2007.

BANKERS FIRST MORTGAGE CORPORATION  
 210 FIFTH STREET, SUITE A  
 CASTLE ROCK, COLORADO 80104

*Eric R. Wellman*  
 NAME, TITLE

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF OCTOBER, 2007.

BY *Geraldine Gambatese*  
 WITNESS MY HAND AND OFFICIAL SEAL  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 5/27/2008

**OWNERSHIP CERTIFICATION:**

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT, IN THE TOWN OF CASTLE ROCK, COLORADO, A COLORADO LIMITED LIABILITY COMPANY

*Eric R. Wellman*  
 ERIC R. WELLMAN, MANAGING PARTNER

*Harry Veruchi*  
 HARRY VERUCHI, PARTNER

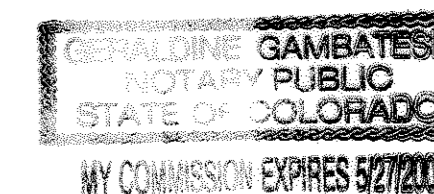
*Mike Palumbo*  
 MIKE PALUMBO, PARTNER

SIGNED THIS 24 DAY OF OCTOBER, 2007.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF OCTOBER, 2007.

BY *Geraldine Gambatese*  
 WITNESS MY HAND AND OFFICIAL SEAL  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 5/27/2008



**TITLE CERTIFICATION:**

I, BRENDA KIDD, AN AUTHORIZED REPRESENTATIVE OF STEWART TITLE, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER CONSENT CERTIFICATE.

SIGNED THIS 23rd DAY OF OCTOBER, 2007.

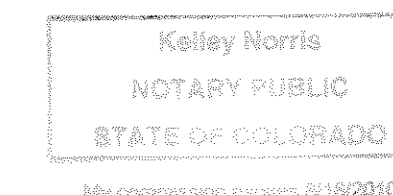
*Brenda Kidd*  
 AUTHORIZED REPRESENTATIVE

STEWART TITLE  
 TITLE INSURANCE COMPANY

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS 23rd DAY OF October, 2007.

BY *Kelley Norris*  
 WITNESS MY HAND AND OFFICIAL SEAL  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 8/18/10



**TOWN CERTIFICATION:**

THE GENERAL SITE PLAN FOR LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT, WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 19 DAY OF October, 2007.

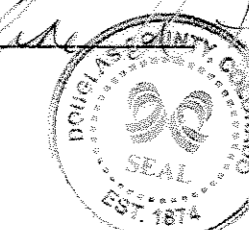
*Bill W. ...*  
 DIRECTOR OF DEVELOPMENT SERVICES  
 10/29/07  
 DATE

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:**

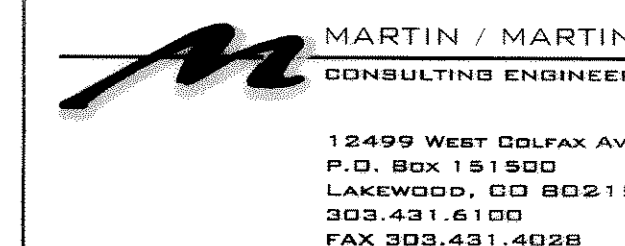
THIS GENERAL SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:58 PM ON THE 16th DAY OF NOV, 2007. AT RECEPTION NO. 2007086423

**DOUGLAS COUNTY CLERK AND RECORDER**

BY *Angela ...*  
 DEPUTY



OCTOBER 2, 2007  
 AUGUST 21, 2007  
 JUNE 22, 2007  
 GENERAL SITE PLAN PROJ. NO.: GSP-07-007

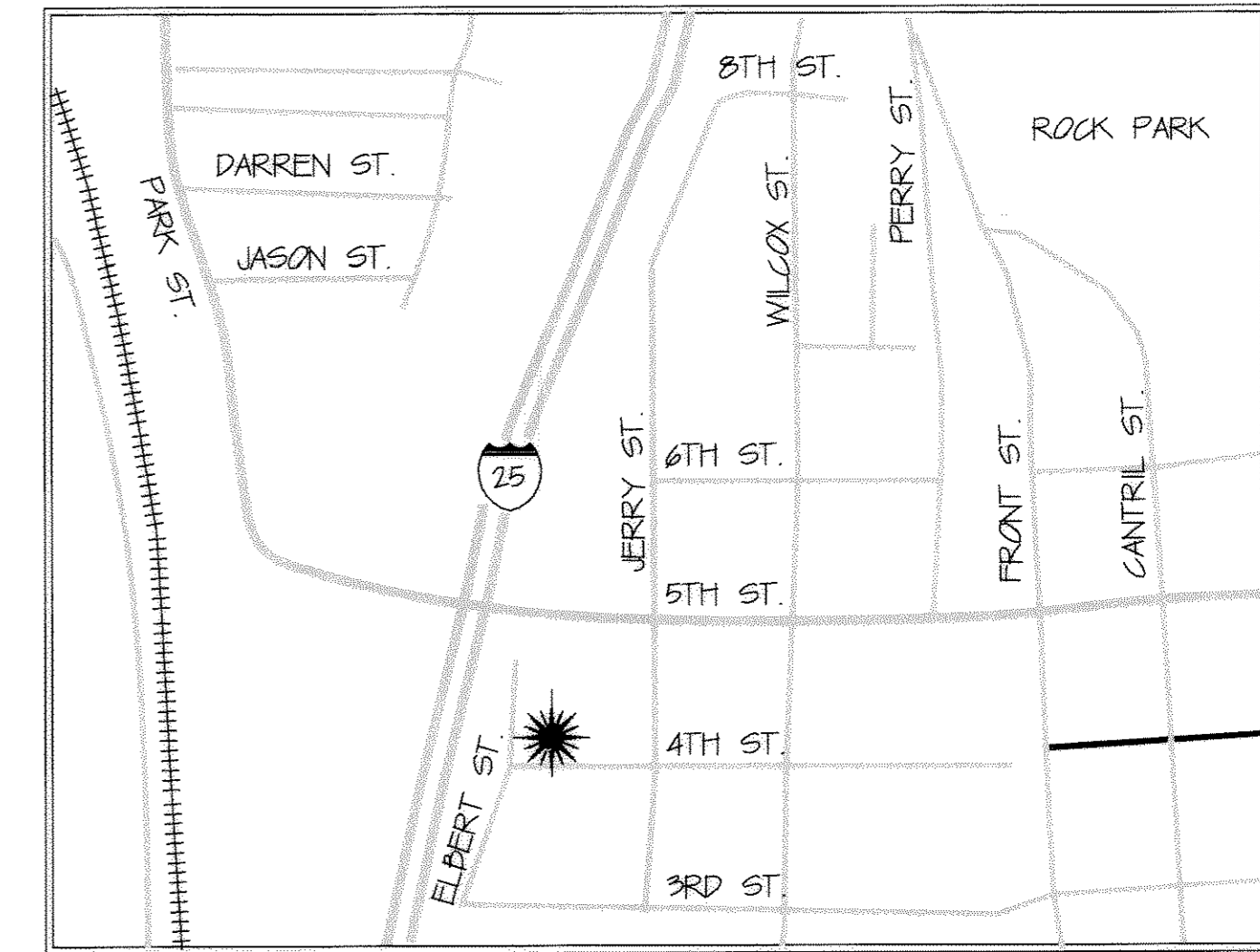


# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN  
CHARLES & RENNY JOHNSON  
412 ELBERT STREET  
LOT 9, BLOCK 14, TOWN OF CASTLE ROCK  
BOOK 243, PG 176



VICINITY MAP  
NO SCALE

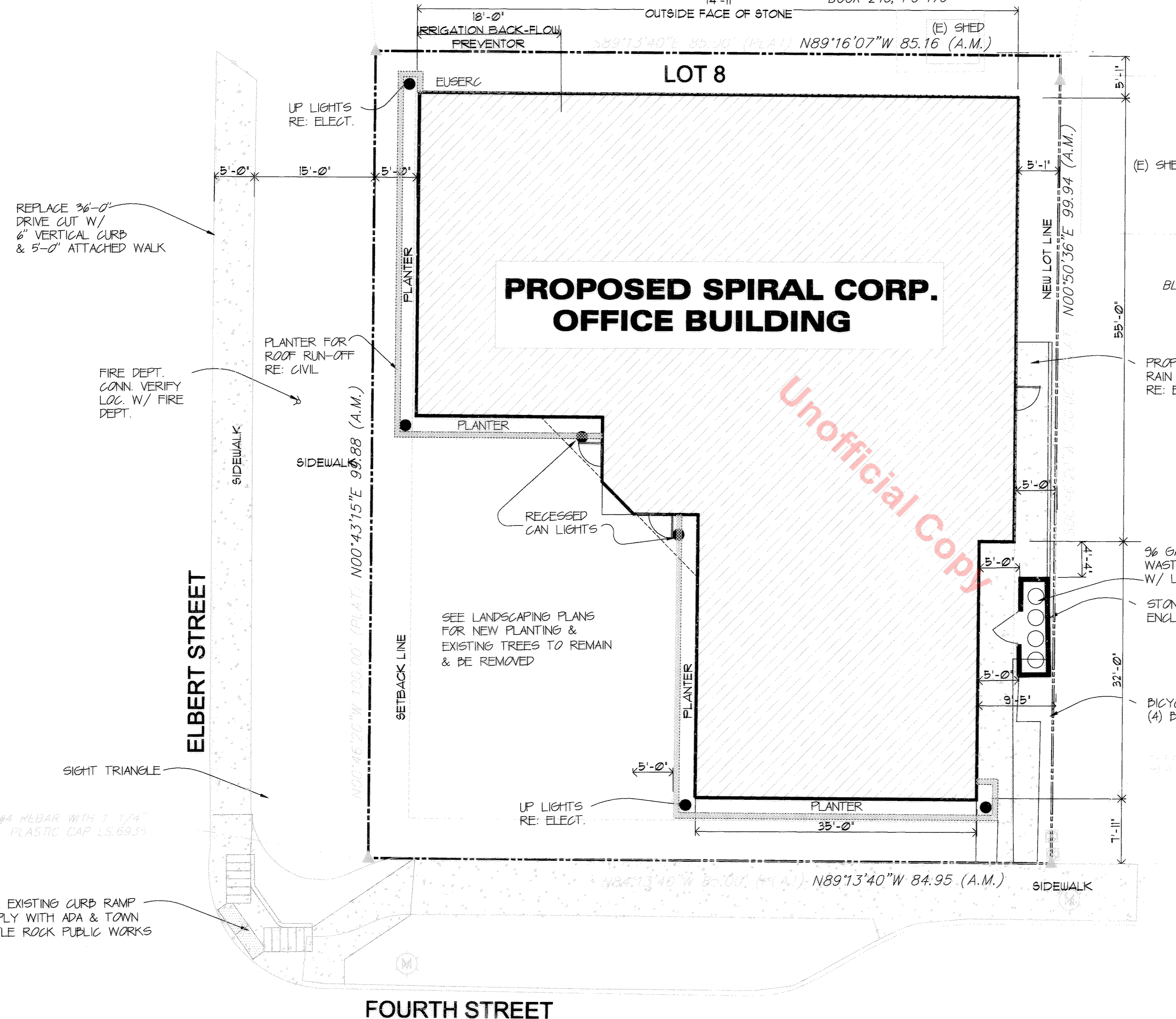
### PROJECT DATA

<b>PROJECT OWNER</b>	SPIRAL CORORATION
<b>PROJECT ADDRESS</b>	103 4TH STREET CASTLE ROCK, COLORADO 80104
<b>OCCUPANCY</b>	B OFFICE
<b>CONSTRUCTION TYPE</b>	V-B & FIRE SUPPRESSION PER NFPA 13
<b>EXISTING ZONING</b>	B-2
<b>LOT AREA</b>	.20 ACRES GROSS
<b>BUILDING AREA:</b>	
<b>PROPOSED FOOTPRINT</b>	4,826 SQ. FT.
<b>BUILDING HEIGHT:</b>	50'-0" MAXIMUM ( NOT INCLUDING TOWERS & ARCHITECTURAL FEATURES)
<b>TOTAL AREA UNDER CONSTRUCTION</b>	4,826 SQ. FT. ( 3 STORIES = 14,478 SQ. FT.)
<b>PARKING REQUIRED: ( N/A PER 17.44.040 C )</b>	
<b>PARKING PROVIDED:</b>	EXISTING ON STREET
<b>HANDICAP PARKING REQUIRED</b>	N/A
<b>HANDICAP PARKING PROVIDED</b>	N/A
<b>GOVERNING CODES</b>	<b>THIS PROJECT SHALL COMPLY WITH THE TOWN OF CASTLE ROCK ZONING (TITLE 17) &amp; THE 2006 EDITION OF THE INTERNATIONAL BUILDING CODE WITH APPENDICES (TITLE-15).</b>

PLANTER UP LIGHTS & SITE LIGHTING Re: Electrical Plans

#### SITE NOTES:

- Counter Slope. Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp or accessible route shall not be steeper than 1/20. Transitions from ramps to walks, gutters or streets shall be at the same level.
- Sides of Curb Ramps. Where pedestrians must walk across a curb ramp, the ramp shall have flared sides. Slope of flares shall not be steeper than 1/20. Where the width of the walking surface at the top of the ramp and parallel to the run of the ramp is less than 48 inches wide, the flared sides shall have a slope not steeper than 1/20. Curb ramps with returned curbs shall be permitted where pedestrians would not normally walk across the ramp. Width. Curb ramps shall be 3/4 inches wide minimum, exclusive of flared sides.
- Floor or Ground Surface. Floor or ground surfaces of curb ramps shall comply with 2003 ANSI A117.1 302.
- Location. Curb ramps and their side flares shall not protrude into vehicular traffic lanes, parking spaces, or into parking space access aisles. Obstructions. Curb ramps shall be located or protected to prevent their obstruction by parked vehicles.
- Location at Marked Crossings. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides.
- Sidewalks shall have a maximum cross slope of 1/48 or 2%



CALL UTILITY NOTIFICATION CENTER OF  
COLORADO FOR STAKING OF UTILITIES  
BEFORE DIGGING OR EXCAVATION  
1-800-922-1987

## 1 SITE PLAN

1/8" = 1'-0"



Job Number: Sheet Number:

Location:  
Drawn By:

Project Manager:  
Designed By:

X References:

Plot Date:  
Tab Name:

Model Space  
Plan view(s):  
Profile View(s):

Other View:

CAD INFORMATION  
Paper Space  
Plot view:

Dwg. Name:

# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### GRADING PLAN

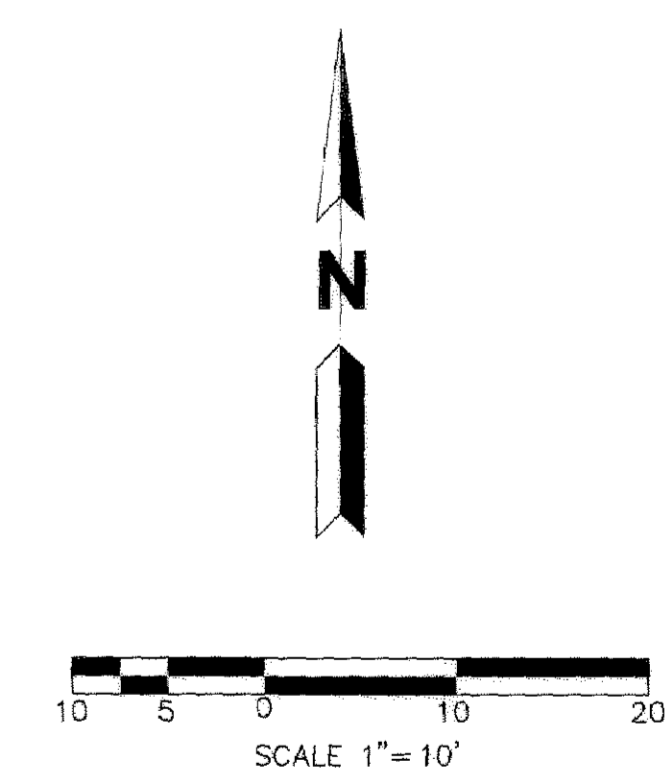
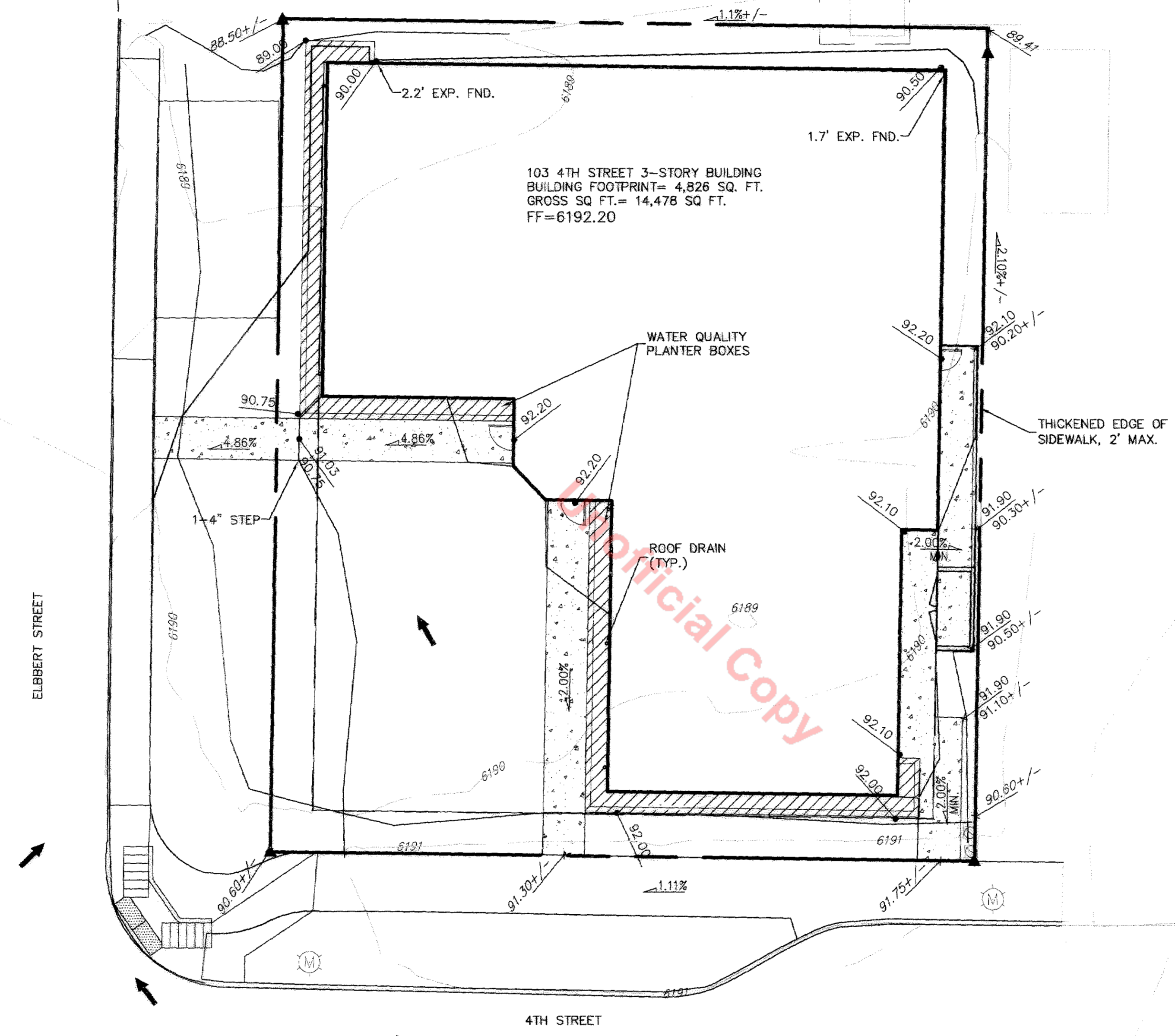
EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	RETAINING WALL	
	CURB & GUTTER	
	CONTOURS	
	ROOF DRAIN	
	INLET	
	SIGN	
	DIRECTION OF FLOW	
	DESCRIPTIONS	
	SPOT ELEVATIONS	
	WQ PLANTER BOX	

**BENCHMARK:**  
ELEVATIONS ARE BASED ON THE DOUGLAS COUNTY CONTROL POINT DESIGNATED 3.010019, A BRASS CAP STAMPED DOUGLAS COUNTY CONTROL POINT 3.010019, LOCATED APPROX. 64' SOUTHEASTERLY OF THE CENTERLINE OF SANTA FE, AKA PRAIRIE HAWK DRIVE AND SOUTH OF ITS INTERSECTION WITH TOPEKA WAY AND BEING WEST OF I-25 AND IN THE TOWN OF CASTLE ROCK, COLORADO.

ELEVATION = 6215.91' NGS (NAVD88) DATUM.

**NOTES:**  
1. OFF SITE CONTOURS ARE 2' INTERVALS TAKEN FROM THE TOWN GIS. ON SITE CONTOURS ARE 1' INTERVALS FROM GROUND SURVEY BY BOHANNAN HUSTON, INC., JUNE 2007.

STORM WATER DRAINS  
NORTH IN ELBERT STREET  
TO TYPE C INLET SOUTH  
OF THE 5TH STREET OVERPASS



MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

OCTOBER 2, 200  
AUGUST 21, 200  
JUNE 22, 200  
GENERAL SITE PLAN PROJ. NO.: GSP 07-00

**MARTIN / MARTIN**  
CONSULTING ENGINEERS

13499 WEST COLFAX AVE.  
P.O. BOX 191500  
LAKEWOOD, CO 80215  
303.431.6100  
FAX 303.431.4028

Job Number: 18639.C.01 Sheet Number: 1

Location: G. HARRIS, SPIRAL DISPLAY  
Drawn By: HAMMACK

Project Manager: SEP  
Designed By: SEP

X References:

Model Space  
Paper Space  
Plot view:  
PLAN

Plot Date: 01/24/07  
Tab Name: PD-2

Other View:

3D GRADING.dwg

# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

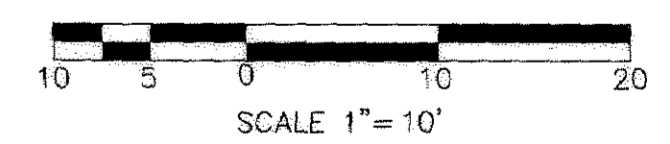
### UTILITY PLAN

#### LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	RETAINING WALL	---
---	CURB & GUTTER	---
---	HANDICAP RAMPS	---
---	CONTOURS	---
---	STORM SEWER	---
---	STORM MANHOLE	---
---	UNDER DRAIN	---
---	ROOF DRAIN	---
---	STORM INLET	---
---	STORM AREA INLET	---
---	FLARED END SECTION	---
---	SANITARY SEWER	---
---	SANITARY MANHOLE	---
---	CLEAN OUT	---
---	WATER LINE	---
---	GATE VALVE	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	FIRE DEPARTMENT CONNECTION	---
---	LIGHT POLE	---
---	SIGN	---
---	FIBER OPTIC	---
---	ELECTRIC	---
---	OVER HEAD ELECTRIC	---
---	GAS	---
---	DRIVE	---
---	DESCRIPTIONS	---
---	CURB STOP	---

#### NOTES:

- PROPERTY IS SERVED BY WATER IN THE YELLOW PRESSURE ZONE, STATIC HGL= 6345 +/-
- A MINIMUM OF 10' IS REQUIRED BETWEEN ELECTRIC, CABLE, AND SANITARY SEWER.
- A MINIMUM OF 10' IS REQUIRED BETWEEN ELECTRIC, CABLE AND WATER MAIN.



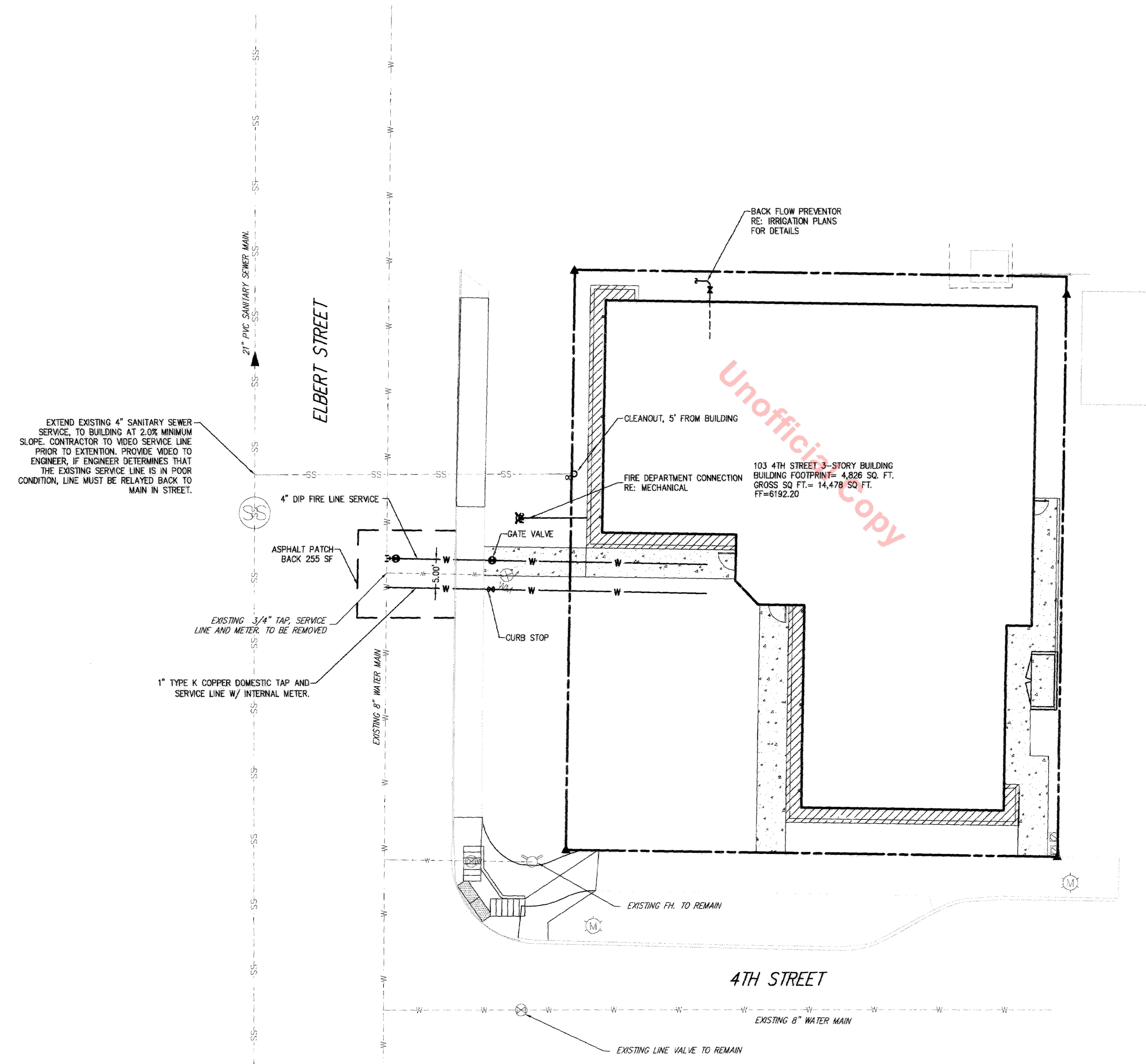
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OCTOBER 23, 2007  
OCTOBER 2, 2007  
AUGUST 21, 2007  
JUNE 22, 2007

GENERAL SITE PLAN PROJ. NO.: GSP 07-007

**MARTIN / MARTIN**  
CONSULTING ENGINEERS

12499 WEST COLFAX AVE.  
P.O. BOX 151500  
LAKEWOOD, CO 80215  
303.431.6100  
FAX 303.431.4028

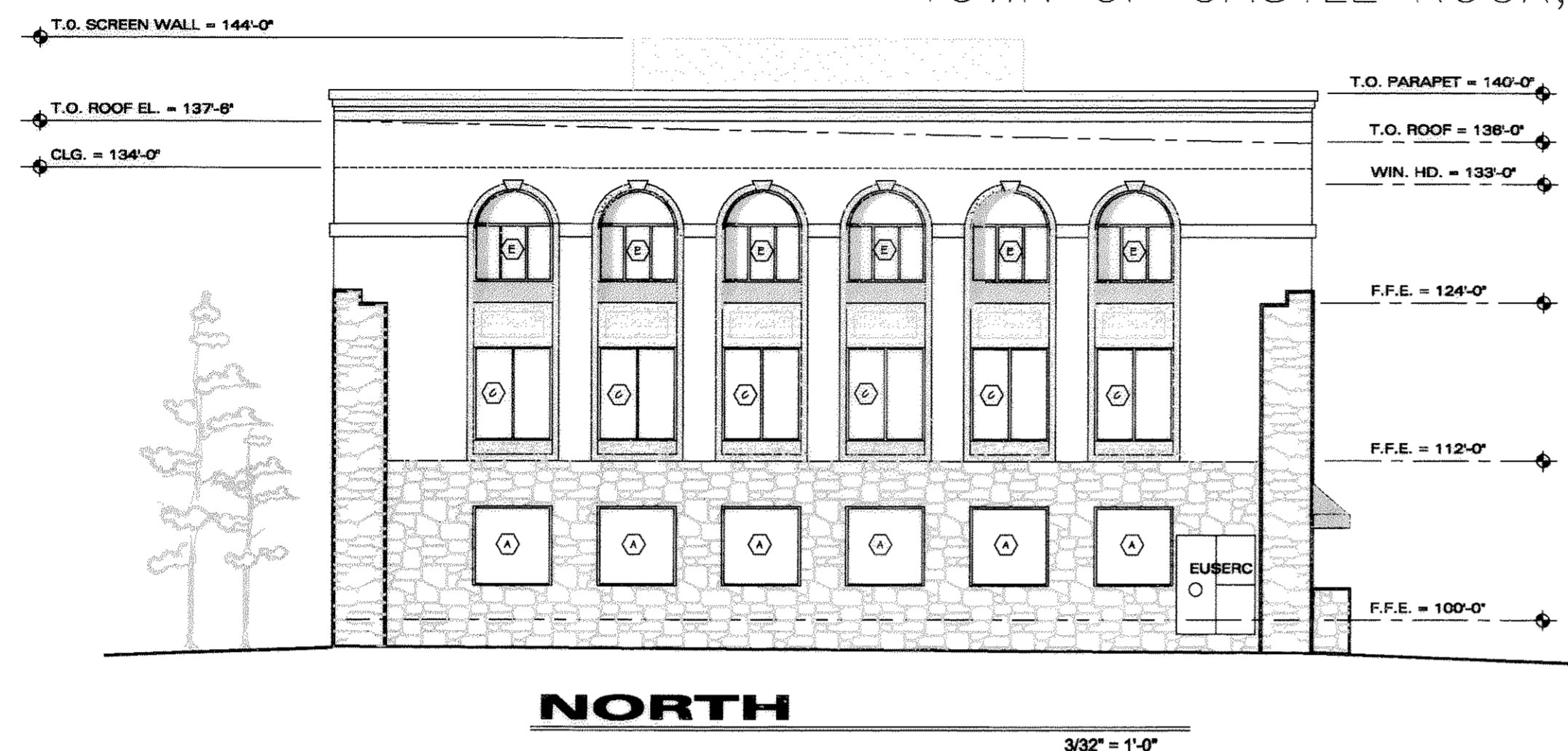


CAD INFORMATION  
 Paper Space  
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 PLOT  
 Dwg. Name:  
 PD4\_UTILITY.dwg  
 Other View:  
 Model Space  
 Plan view(s):  
 PLAN  
 Profile View(s):  
 Plot Date:  
 01/24/07  
 HAMMACK  
 Tab Name:  
 PD-4  
 X References:  
 Project Manager:  
 SEP  
 Designed By:  
 SEP  
 Location:  
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 Drawn By:  
 HAMMACK  
 Job Number:  
 18699.C.01  
 Sheet Number:  
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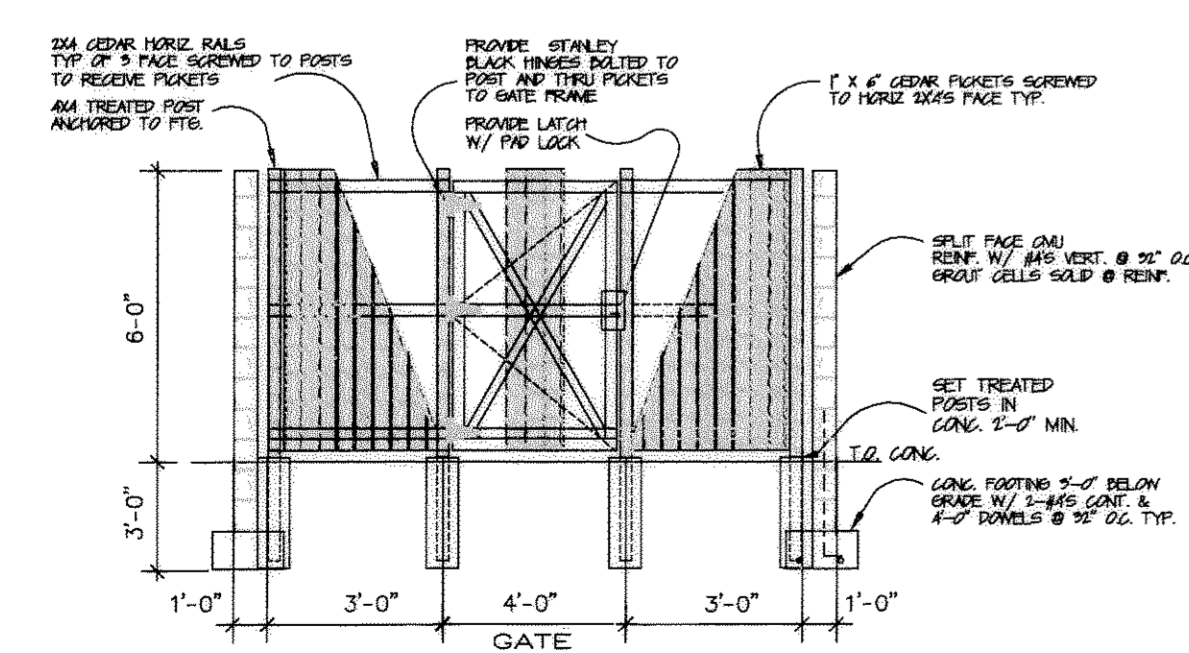
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## ELEVATIONS

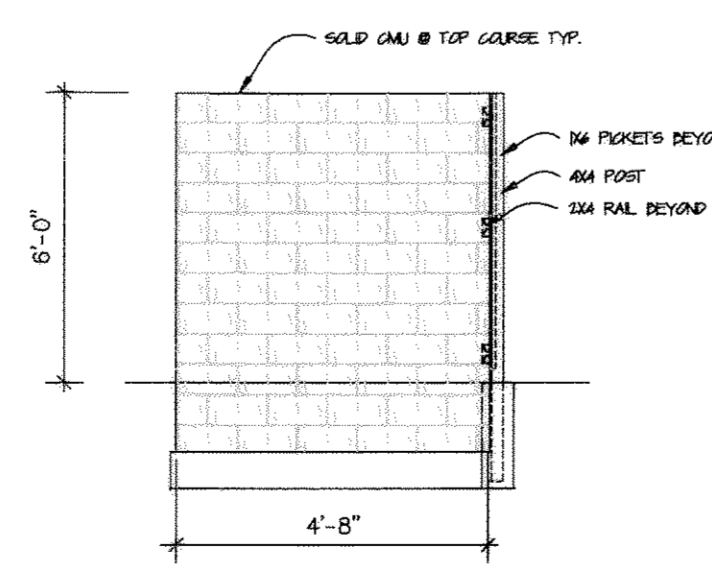


## BUILDING ELEVATIONS



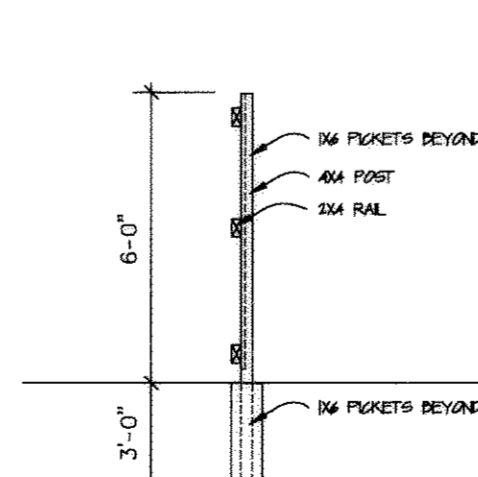
**FENCE ELEVATION**

NO SCALE



**SIDE ELEVATION**

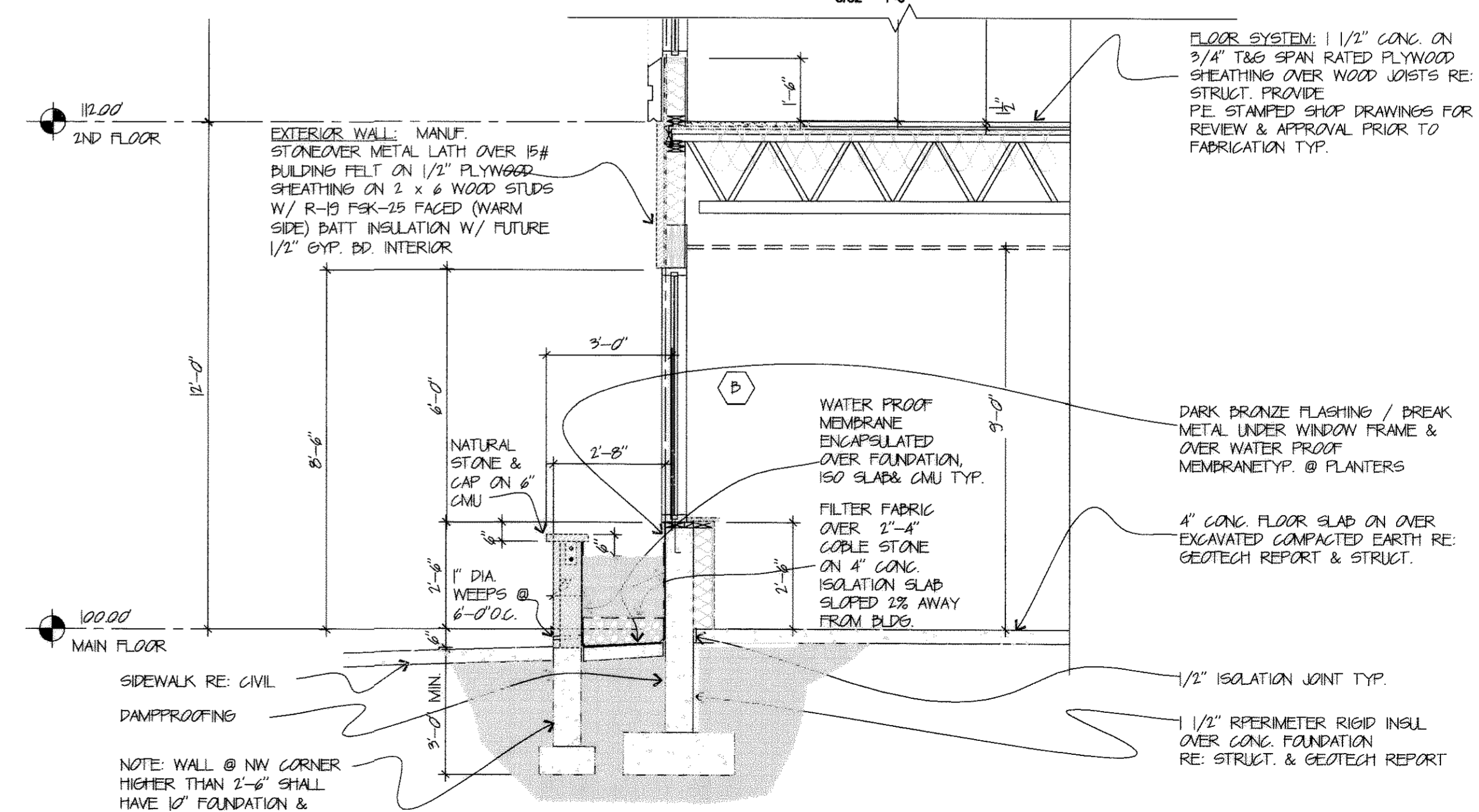
NO SCALE



**FENCE SECTION**

NO SCALE

## TRASH ENCLOSURE



**1 TYP. PLANTER SECTION**

3/8\"/>

IRRIGATION @ PLANTER TO BE DRIP TYPE ONLY.

Job Number: Sheet Number: Location: Drawn By: Project Manager: Designed By: X References: Plot Date: Tab Name: Model Space Plan view(s): Profile View(s): Other View: Dwg. Name: CAD INFORMATION Paper Space Plot view:

# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

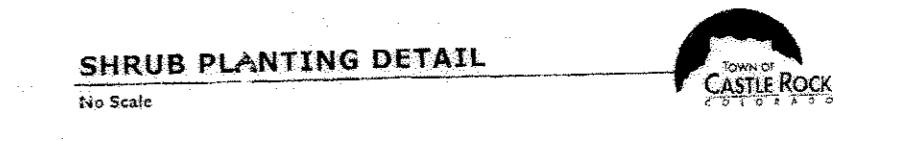
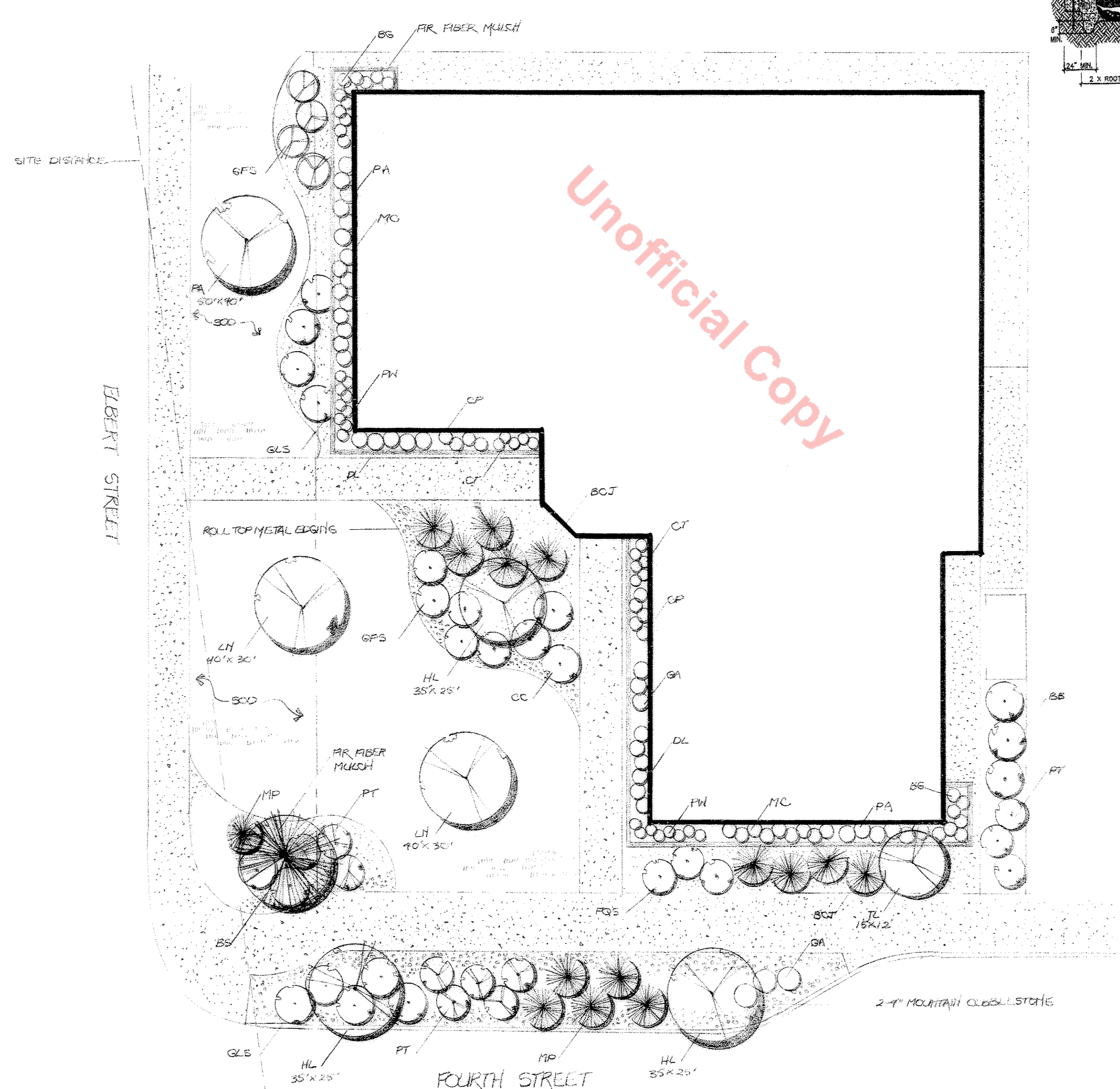
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### LANDSCAPE PLAN

CAD INFORMATION  
 Paper Space  
 Plot view:  
 PLOT  
 Dwg. Name:  
 006-7\_L.S.dwg  
 Other View:  
 Model Space  
 Plan view(s):  
 PLAN  
 Profile View(s):  
 Plot Date:  
 10/09/07  
 Tab Name:  
 PD-6  
 X References:  
 Project Manager:  
 AMI  
 Designed By:  
 AMK  
 Location:  
 G:\HARRIS\SERIAL\SP1.ANY  
 Drawn By:  
 HAMMACK  
 Job Number:  
 19667.C.01  
 Sheet Number:  
 1

SPIRAL CORPORATION  
 103 4TH ST.  
 HORIZON LANDSCAPE  
 2174 S. VALENTIA ST.  
 LANDSCAPE PLAN  
 CERTIFICATION NO. 7129-BRUCC WANDERLAGE

SPIRAL CORPORATION  
103 4TH STREET



**Notes:**

- Do not remove or cut back.
- Frame only dead or broken branches and mark or remove completely.
- Do not remove lower limbs and sprouts for at least one growing season.
- Keep plants moist and shaded until planted.
- Do not fertilize for at least one growing season.
- Water plants on exposed roots or sprouts with water.
- Water 1.

SET 3/4" RINGS. STACK UP TO 3" CALIPER TREES WITH TWO POSTS ON THE UPRIGHT AND VERTICAL SIDES. STAKE TREES OVER 3" CALIPER WITH 1 BENTY SPACED POSTS. USE NYLON STRAP WITH GROOVETS BELOW NECKPOINT OF TREE. TIGHTEN BY CRYING BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE ALLOW A SLIGHT TAG FOR SWAY. PROVIDE HANGING TAPES WITH FINISH LANT. CHANGING. SET STAKES IN MINIMUM 18" FIRM SOIL.

PLANT ROOTBALL 2" ABOVE FINISH GRADE.

4" BREWER MULCH. PROVIDE 2" PLANTING RIM FOR TREES IN SLOPING PLANTING BED. PROVIDE SLICES ON DOWNHILL SIDE ON SLOPE. NO PLANTING RIM FOR TREES ON FLAT NATIVE GRASS. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY TRUNK.

CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF PLANTING HOLE. ROOTBALL SHALL REST ON FIRM UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/4 TO 2/3 OF ROOTBALL. REMOVE ALL TREATED GREEN BURLAP AFTER TREE IS POSITIONED. REMOVE ALL TWINE, ROPE, PLASTIC AND RUBBER.

**Notes:**

- Frame only dead or broken branches.
- Do not remove lower limbs and sprouts for at least one growing season.
- Do not fertilize for at least one growing season.

SET 3/4" RINGS. SHRUB SPACING AS PER THE PLANS. LANDSCAPE FINISH GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE.

PLANT ROOTBALL 2" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL.

4" BREWER MULCH. PROVIDE 2" PLANTING RIM FOR SHRUBS IN PLANTING BED. PROVIDE SLICES ON DOWNHILL SIDE ON SLOPE. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY BASE.

CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF PLANTING HOLE. ROOTBALL SHALL REST ON FIRM UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP OR A MINIMUM TOP 2/3 OF ROOTBALL. REMOVE ALL TREATED GREEN BURLAP AND PLASTIC CONTAINERS FOR POT ROUND PLANTS ONLY. MAKE 4-6 VERTICAL NOTCHES IN ROOTBALL 1/2 DEEP. PLANT FRONTS FOR ROOT END AT BOTTOM OF BALL. SPLIT ROOTBALL VERTICALLY ALL THE WAY THROUGH FROM BOTTOM TO HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A POUND OF SOIL IN THE PLANTING HOLE.

**PLANT LIST**

COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	
<b>TREES:</b>				
PA	ASH PATMORE	FRAXINUS PENNSYLVANICA 'PATMORE'	2"	1
LH	LITTLELEAF LINDSEY	TILIA CORCATA 'BRECHTSPICE'	2"	2
HL	IMPERIAL LOCUST	GLEDTIA TRICANTHOS 'IMPERIAL'	2"	3
TL	TREE LILAC	SYRINGA RETICULATA	1.5"	1
BS	BLUE SPRUCE	PICEA PARVIFLORA (EXISTING)		1
<b>SHRUBS:</b>				
FGS	FAIRY QUEEN SPirea	SPIRAEA TRILOBATA 'FAIRY QUEEN'	#5	3
GLS	GOLD LEAF SPirea	SPirea ARGENTEA 'GOLD LEAF'	#5	9
GFS	GOLD FLAME SPirea	SPirea JAPONICA 'GOLD FLAME'	#5	8
PT	PINK DAWG POTENTILLA	POTENTILLA FRUTICOSA 'PINK DAWG'	#5	10
CC	CORNBERRY COTONEASTER	COTONEASTER ARBOREALIS	#5	3
BS	BURNING BUSH	EUCHYRIUS ALATUS	#5	3
<b>EVERGREENS:</b>				
MP	DUKE MUGHO PINE	PIKEUS MUGHO 'MUGHO'	#5	9
BCJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5	9
<b>PERENNIALS:</b>				
CT	CANDYTUFF	IBERIS SEMPERVIRENS	#1	11
CP	CALIFORNIA PUFF	ESCHSCHOLZIA CALIFORNICA	#1	9
GA	GAURA	GAURA	#1	6
DL	DRY LILY	HEMEROCALLIS	#1	11
PH	PRAIRIE WITESCULIPS	CALLIRHOE INVOLUCRATA	#1	17
MC	MOONBEAM CORDESS	CORDESSIA VERTICILLATA 'MOONBEAM'	#1	18
PA	PURPLE ASTER	ASTER NOVAE ANGLIAE	#1	12
BS	BASKET OF GOLD	ANTHEMIS MONTRICHARDII	#1	19

**NOTES**

- SOME ORGANIC COMPOST SHALL BE ROTOTILLED 6" DEEP & APPLIED AT A RATE OF 4 YARDS PER 1000 S.F.
- TERRAZZO BLUE SCOD SHALL BE INSTALLED.
- FIR FIBER MULCH SHALL BE APPLIED 4" THICK IN PLANTER BEDS.
- ROLLTOP EDGER TO SEPARATE SOIL & PLANTER BEDS.
- LANDSCAPE IRRIGATION WILL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE PROFESSIONAL.
- FRUITFULNESS SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
- TOP SOIL SHALL BE STOCK PILES REMOVED ON SITE. FINAL GRADE SHALL BE WITHIN 5/8" TOLERANCE OF PROPOSED GRADE.
- TREES & SHRUBS SHALL BE PLANTED AT GRADE & SOIL CULTIVATED TO DEPTH OF ROOTBALL. BURLAP WILL BE REMOVED. BURLAP & WIRE BASKETS WILL BE REMOVED FROM TOP HALF OF ROOTBALL. PLANTS WILL BE MULCHED TO A DEPTH OF 2" & 6".
- LANDSCAPE IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE PROFESSIONAL.

SCALE: 1"=10'

# GENERAL SITE PLAN

## LOT 7A, BLOCK 14, TOWN OF CASTLE ROCK, 25TH AMENDMENT

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### IRRIGATION PLAN

Job Number: 19967.C.01  
Sheet Number: 1

Location: G:\HARRIS\SPRINKL\PLAN  
Project Manager: AMK  
Drawn By: HAMMACK  
Designed By: AMK

X References:

Plot Date: 06/25/07 silvas  
Tab Name: PD-7

Model Space  
Plan view(s):  
Profile View(s):

Other View:  
PLAN

Dwg Name: PD-7\_13.dwg

CAD INFORMATION  
Paper Space  
PLOT  
Dwg Name: PD-7\_13.dwg

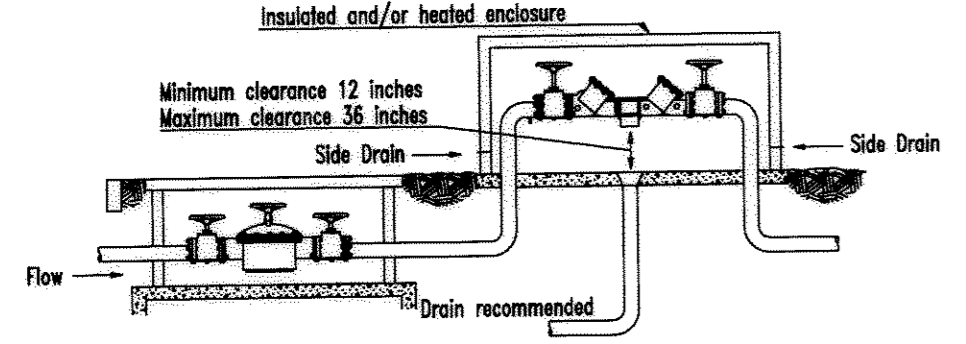
#### REDUCED PRESSURE ASSEMBLY REDUCED PRESSURE ASSEMBLY INSTALLATION REQUIREMENTS

- The reduced pressure assembly must not be installed in a place where it may be submerged under water.
  - There shall be no pit or vault installations unless there is a drain twice the diameter of the assembly to daylight. This could be a hillside vault where one side is open for drainage but would allow protection from freezing.
  - The "RP" shall not be installed in a vertical position unless there is specific approval from the Foundation for Cross-Connection Control and Hydraulic Research and the Town of Castle Rock for the particular make and model of device. As of this writing there is no such approval. Some manufacturers installation instruction indicate a vertical position is allowed. These should not be followed unless the above approval has been obtained from the Town of Castle Rock Utilities Department.
- Basement installation, although a form of pit, are allowed if the following conditions are met.
  - A drain large enough to allow the maximum flow of water the size of "RP" is capable of discharging under twice (2x) the normal static water pressure for the system to daylight.
  - Some type of high water alarm system installed to notify personnel of a problem occurring in the area. AND/OR
  - No electrical components in the same general area of the assembly.
- Only factory supplied funnels shall be used to remove the periodic discharge from the assembly and the piping system must have adequate air gap at the termination of the run.
- Freezing weather and other climatic conditions must be taken into consideration when installing any back flow preventer outside of a protective enclosure.
- Places of business that cannot be without a continuous supply of water must install a dual installation, that is two "RP" assemblies in parallel, on the main service line.
  - A soft seated single check valve installed upstream or ahead of the "RP" unit will stop or reduce this problem without affecting the operation of the assembly.
  - A pressure regulating valve placed upstream or ahead of the "RP" assembly and set at a pressure at, or less than the lowest pressure drop that occurs.
  - Either of these options will create additional flow loss for the fire system and must be considered before actual installation is done.
  - This same method may be used on installations where great main line fluctuation becomes a nuisance on assemblies installed in buildings.

DRAWN BY: DSL	TOWN OF CASTLE ROCK PUBLIC WORKS	REV. DATE: 10/7/98 DSL	STD. DWG NO. WU-4
APPROVED BY:	REDUCED PRESSURE ASSEMBLY		
DATE: 4/2/98			

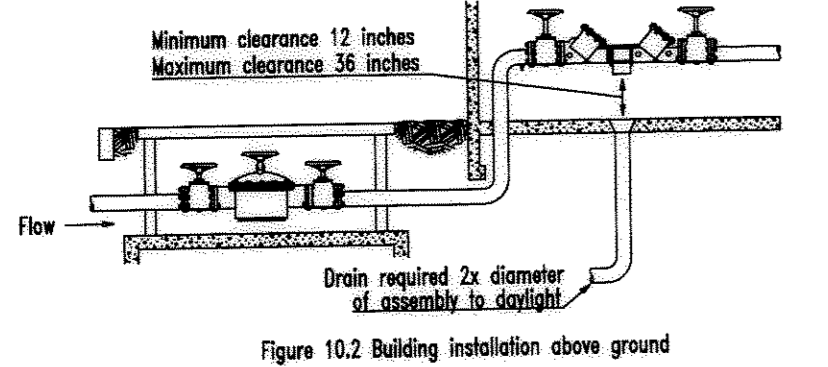
#### REDUCED PRESSURE ASSEMBLY

- All assemblies installed within a confined area should maintain the minimum spacing listed below.
    - When the test cocks are facing the wall there should be a minimum of 24 inches (24") from the assembly and the wall.
    - When the test cocks are facing away from the wall there should be a minimum of twelve inches (12") from the nearest wall.
    - Adjacent and opposing walls must allow enough room for testing and maintenance. This is generally left to the discretion of the local authority but should be no less than three feet (3') of air space in front of, and above, the assembly.
- NOTE: Contact the Town of Castle Rock Utilities Department for their regulations and requirements for variances from the standard.



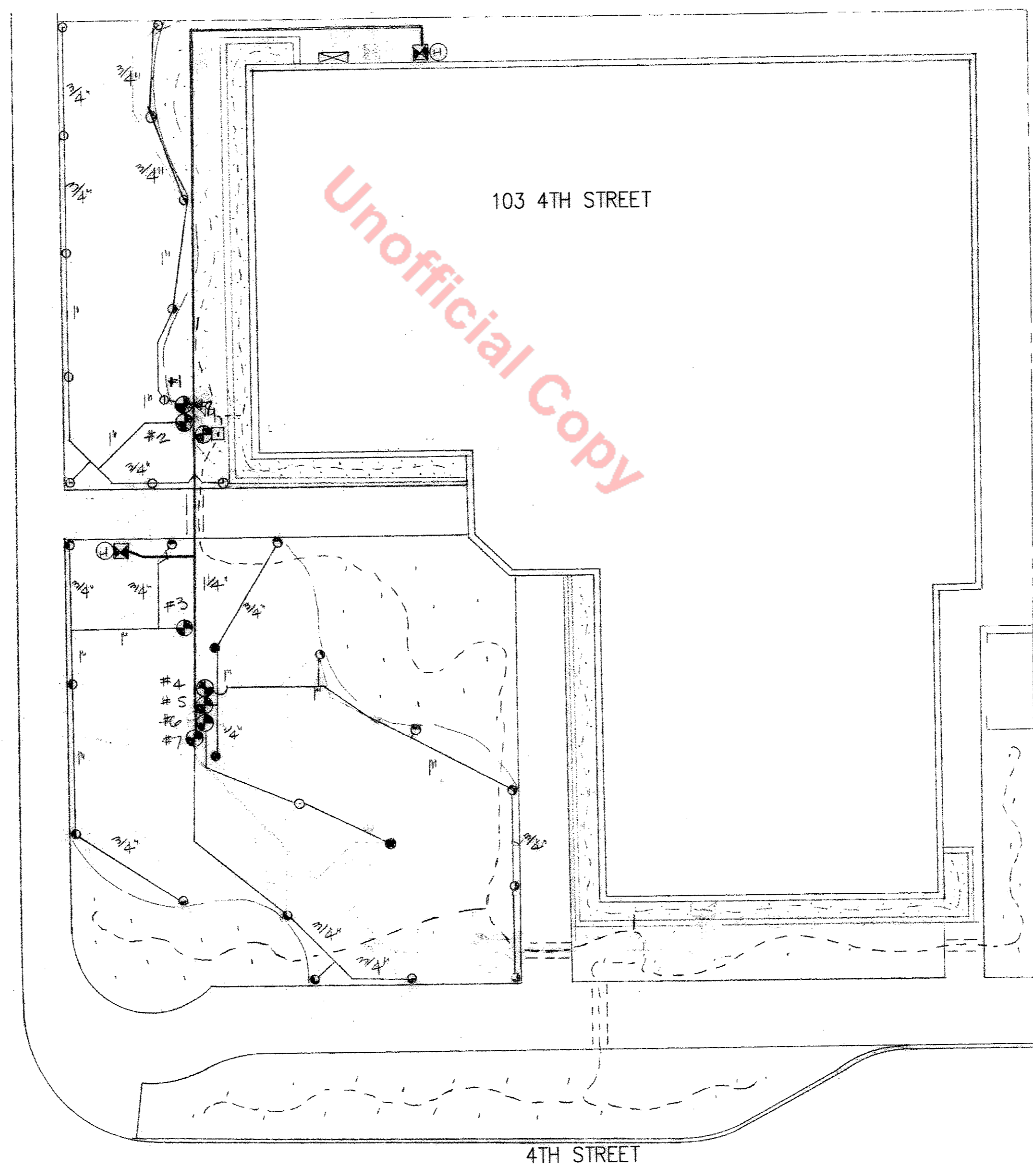
#### ILLUSTRATIONS OF APPROVED INSTALLATIONS

- In reference to Figure 10.1, some drainage should be through the side of the enclosure. This will create a drain to daylight as required for this type of installation. Bottom drainage alone is not sufficient.
- Reduced pressure assemblies installed within structures above ground must have an adequate drain and maintain the minimum of 12" from the floor. Owners and occupants should be notified and warned of the potential for large amounts of water being discharged from the relief valve. Any materials stored in this area could be damaged.

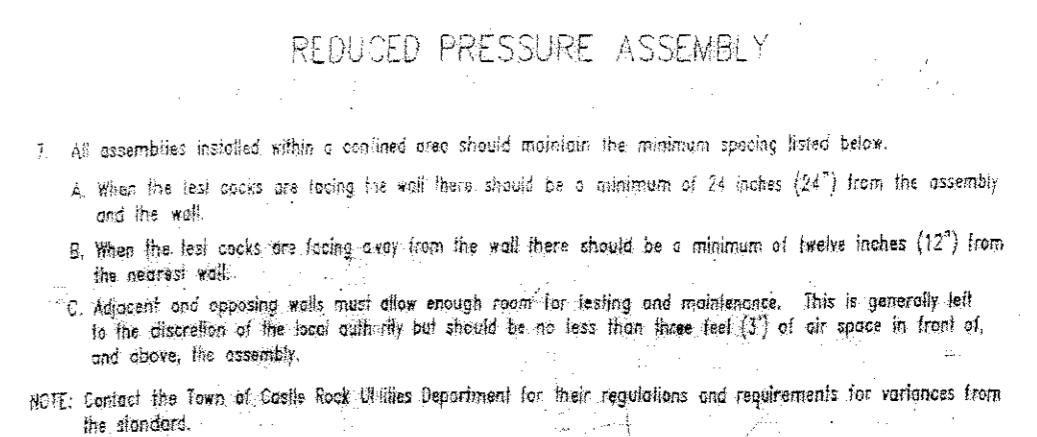


DRAWN BY: DSL	TOWN OF CASTLE ROCK PUBLIC WORKS	REV. DATE: 10/7/98 DSL	STD. DWG NO. WU-5
APPROVED BY:	REDUCED PRESSURE ASSEMBLY		
DATE: 4/2/98			

SPIRAL CORPORATION  
103 4TH STREET



SCALE 1" = 10'



#### LEGEND:

- ④ Hookup into 4" WATER SERVICE LINE - STUB OUT OF BUILDING TO BE PROVIDED BY OTHER
- ☒ 1" 90° PERCO BACKFLOW PREVENTER ALL HOOPERS & BACKFLOW PREVENTION TO MEET OR EXCEED ALL STATE & LOCAL CODES. SET ON 1" COPPER
- ☒ 1" CIVICO RAINBIRD AUTOMATIC CONTROL VALVES WITH FLOW CONTROL STEM IN PLASTIC VALVE BOX WITH LEAKING L.I.D. ALL WIRING TO BE TYPE UF 24" PVC & STENDER FOR DRIP LINES. --- 1/4" DRIP LINES. PROVIDE 1 GPM EMITTER ON #4 PLANTS, 1/2 GPM ON #1 PLANTS, 3 GPM ON TREES.
- ☒ HUNTER PRO-CO AUTOMATIC CONTROLLER (BATTERY BACKUP) INCLUDING RAIN SENSOR WITH OUTDOOR CASE. ALL WIRING TO BE IN CONDUIT. ELECTRICITY TO CONTROLLER BY OWNER. PROGRAMMED FOR EVERY 3RD DAY.
- ☒ RAINBIRD 100-4 POP-UP SPRAY HEADS INCLUDE PRESSURE REGULATING STEM & INITIAL CHECK VALVES. ☒ BALLS IN COLLARS
- ☒ 1/2" O.D. 1/2" P.V.C. LINES
- ☒ 80 PSI 1/2" P.V.C. POLYETHYLENE LATERALS. MINIMUM COVER TO BE 6". ALL CLAMPS TO BE STAINLESS STEEL.
- ☒ 4" PVC SLEEVE BY OWNER
- ☒ 1 1/4" O.D. 200 SOLVENT WELD PVC MAIN LINE. MINIMUM COVER TO BE 12". BACKFLOW ASSEMBLY SHALL BE APPROVED BY THE TOWN OF CASTLE ROCK

IRRIGATION PLAN CERTIFICATION # 7129 BRUCE VANDEBURG  
HORIZON LANDSCAPE & IRRIGATION 2174 S. VALENTIA ST.