

SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. SDP21-0022

PURPOSE STATEMENT:

THIS SITE DEVELOPMENT PLAN IS SUBMITTED TO DEMONSTRATE COMPLIANCE WITH THE VISION 2030 COMPREHENSIVE MASTER PLAN, ZONING CODES, GENERAL DESIGN PRINCIPLES, AND TECHNICAL MANUALS.

ZONING COMPARISON AND SITE UTILIZATION TABLE

ZONING:	I-2 GENERAL INDUSTRIAL DISTRICT		
USE:	SELF-STORAGE FACILITY		
DEVELOPMENT STANDARDS			
MAXIMUM LOT COVERAGE:	AS LIMITED BY APPLICABLE STANDARDS FOR DEVELOPMENT, PARKING, LANDSCAPING AND OTHER REQUIREMENTS		
BUILDING SETBACKS:	ALLOWED:	PROPOSED:	
	FRONT REAR SIDES	15 FEET 0 FEET 0 FEET	40 FEET VARIES, SEE PLAN VARIES, SEE PLAN
MAXIMUM BUILDING HEIGHT	50 FEET ALLOWED	48 FEET PROPOSED	
NUMBER OF UNITS:	STORAGE - DRIVE UP STORAGE - CONDITIONED RV - COVERED RV - UNCOVERED PARKING - UNCOVERED	87 672 72 10 4	MAXIMUM NUMBER OF EMPLOYEES ON SITE = 2
PARKING REQUIRED MINI-WAREHOUSE	1 SPACE / 100 UNITS PLUS 1 SPACE PER EMPLOYEE = 11 SPACES		
PARKING PROVIDED	11 SPACES		
ACCESSIBLE PARKING REQUIRED	1 SPACE TOTAL / 1 VAN ACCESSIBLE SPACE		
ACCESSIBLE PARKING PROVIDED	1 SPACE TOTAL / 1 VAN ACCESSIBLE SPACE		
BICYCLE PARKING REQUIRED	11 PARKING SPACES x .05 = 1 BICYCLE SPACE REQUIRED		
BICYCLE PARKING PROVIDED	2 SPACES FOR PROPOSED, 1 INVERTED U-STYLE RACK		
LOT 1 AREA	4.931 ACRES (214,789 SQ. FT.) = 92.48%		
TRACT A AREA (DEDICATED)	0.401 ACRES (17,468 SQ. FT.) = 7.52%		
TOTAL AREA	5.332 ACRES (232,257 SQ. FT.) = 100%		
BUILDING COVERAGE PROPOSED	20,823 (4-STORY) + 52,774 (DRIVE-UPS) = 73,597 SF TOTAL (34.26%)		
HARDSCAPE (INCLUDING SIDEWALKS)	69,592 SQ. FT. = 32.40%		
OPEN SPACE / LANDSCAPED AREA	32,514 FT. = 15.14%		
DETENTION AREA	39,086 SQ. FT. = 18.20%		

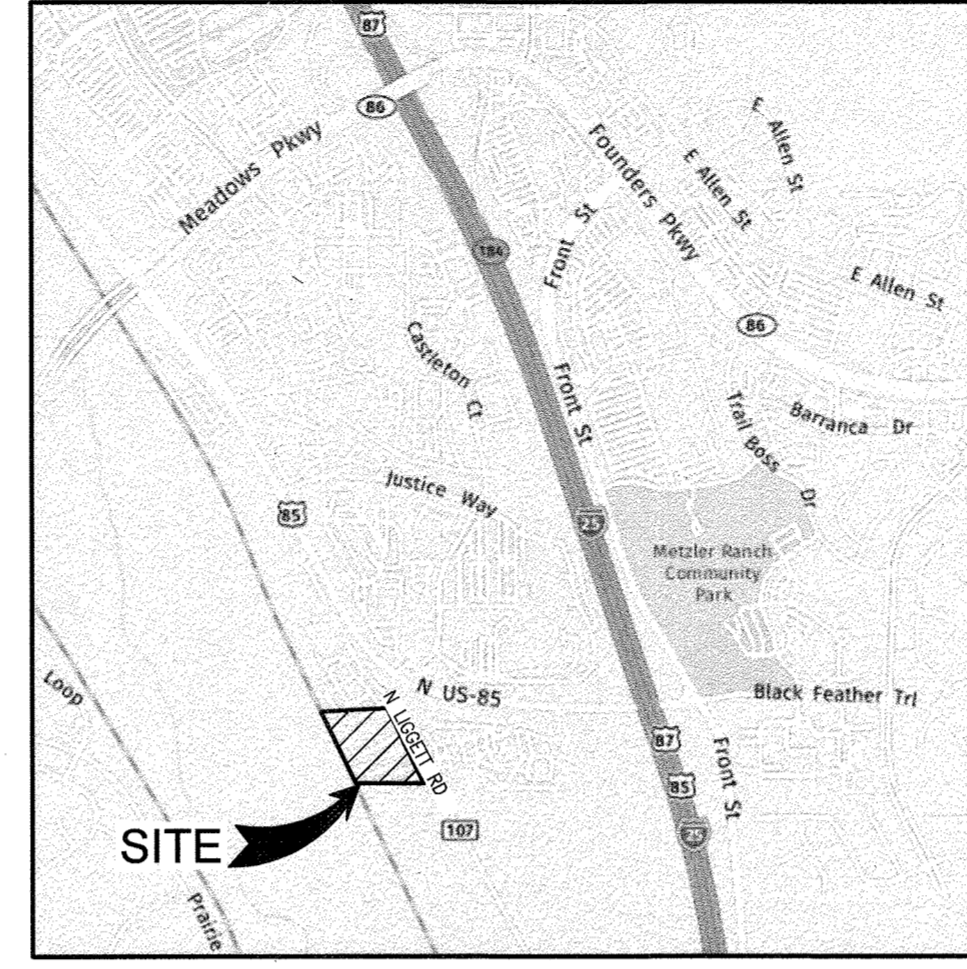
CONTACTS:

OWNER:
2633 LIGGETT SP, LLC
A DELAWARE LIMITED LIABILITY COMPANY
C/O WILLIAM WARREN PROPERTIES, INC.,
PO BOX 2034, SANTA MONICA, CA 90406

ENGINEER:
ARCHER & ASSOCIATES
105 WILCOX ST,
CASTLE ROCK, CO 80104
303.688.4642

ARCHITECT:
GALLOWAY
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
303.770.8864

SURVEYOR:
ARCHER & ASSOCIATES
105 WILCOX ST,
CASTLE ROCK, CO 80104
303.688.4642



VICINITY MAP
0 500 1000
SCALE: 1"=1000'
ALL LINEAL DIMENSIONS ARE IN U.S. SURVEY FEET

GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.7 AND 9.3.2 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 188 OF 461 DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE ZONING RECDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER. ZONING ORDINANCE RECORDED February 10, 2022 UNDER RECEPTION NUMBER 2022 010437.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR SIDE LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- PARKING OR STORING UNDER OVERHEAD POWER LINE MAY NOT EXCEED 8 FEET IN HEIGHT.

SHEET LIST TABLE

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
SITE PLAN	2
SITE PLAN	3
GENERAL GRADING PLAN	4
GENERAL UTILITIES PLAN	5
6-9	BUILDING ELEVATION PLAN
10-13	LANDSCAPE PLAN
14-15	PHOTOMETRIC PLAN

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 14 DAY OF February, 2022.

[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 9:18 AM ON THE DAY OF February, 2022 AT RECEPTION NO. 2022015360.

DOUGLAS COUNTY CLERK AND RECORDER

BY: *[Signature]*
DEPUTY

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THE SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE Annexation & Development AGREEMENT, RECORDED ON THE 10th DAY OF February, 2022 AT RECEPTION NO. 2202010398 AND ACCORDINGLY 4.33 SFE ARE DEBITED FROM THE WATER BANK.

SURVEYOR'S CERTIFICATE

I, Johnny Calvin Hicks, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

[Signature]
REGISTERED LAND SURVEYOR
JOHNNY CALVIN HICKS, PLS
PLS #03697

DATE: 2/9/22

CIVIL ENGINEER'S STATEMENT

I, Chelsy Clark-Supinski, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

[Signature]
REGISTERED PROFESSIONAL ENGINEER
CHELSY CLARK-SUPINSKI
PE #47619

DATE: 2/2/2022

TITLE CERTIFICATION

I, David W. Knapp, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

[Signature]
AUTHORIZED REPRESENTATIVE (DAVID KNAPP)

Vice President
LAND TITLE GUARANTEE COMPANY

DOMINIC DIELE
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID: 2020-010560
My Commission Expires March 13, 2024

SIGNED THIS 9th DAY OF February, 2022.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF February, 2022 BY David W. Knapp AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company.
WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES: 3/13/2024

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature]
EDWARD ZINKE 2633 LIGGETT SP, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: CRP/WWG STORAGE VENTURE IIIB, L.L.C.,
A DELAWARE LIMITED LIABILITY COMPANY
ITS SOLE MEMBER

BY: WWG-CF II, LLC,
A CALIFORNIA LIMITED LIABILITY COMPANY
ITS OPERATING MEMBER

BY: WWG-CF II MM, LLC,
A CALIFORNIA LIMITED LIABILITY COMPANY
ITS MANAGING MEMBER

SIGNED THIS 7 DAY OF February, 2022

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 7 DAY OF February, 2022 BY see attached Notary certificate AS AUTHORIZED REPRESENTATIVE OF see attached Notary certificate.
WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CONSIDERATION THAT THE SOUTH LINE OF THE NORTHWEST 1/4 OF SECTION 35 BEARS N89°03'33"W AS SHOWN HEREON BETWEEN THE MONUMENTS IDENTIFIED.

DOUGLAS COUNTY BENCHMARK

DCBM - 3020015
ELEVATION = 6255.22 (NAVD88)

SITE DEVELOPMENT PLAN

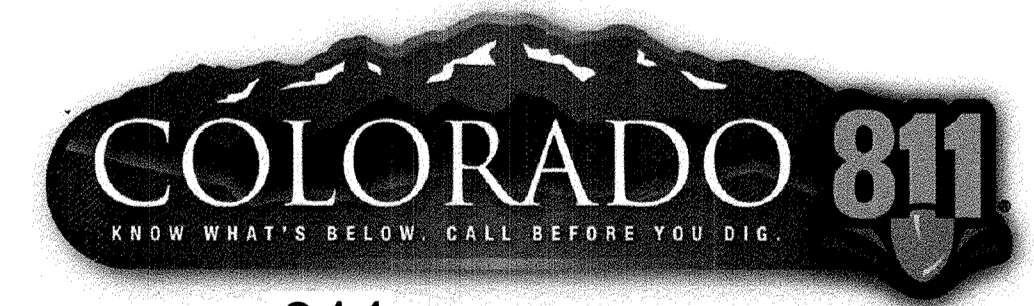
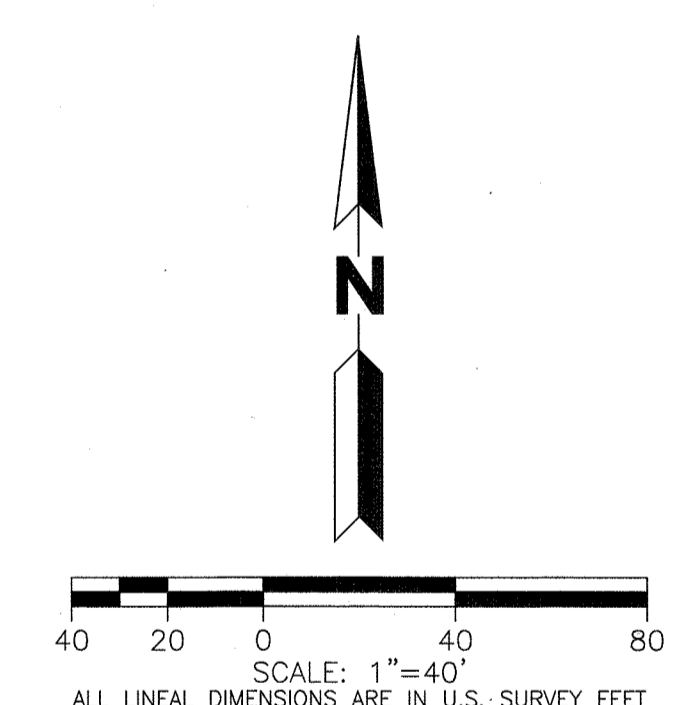
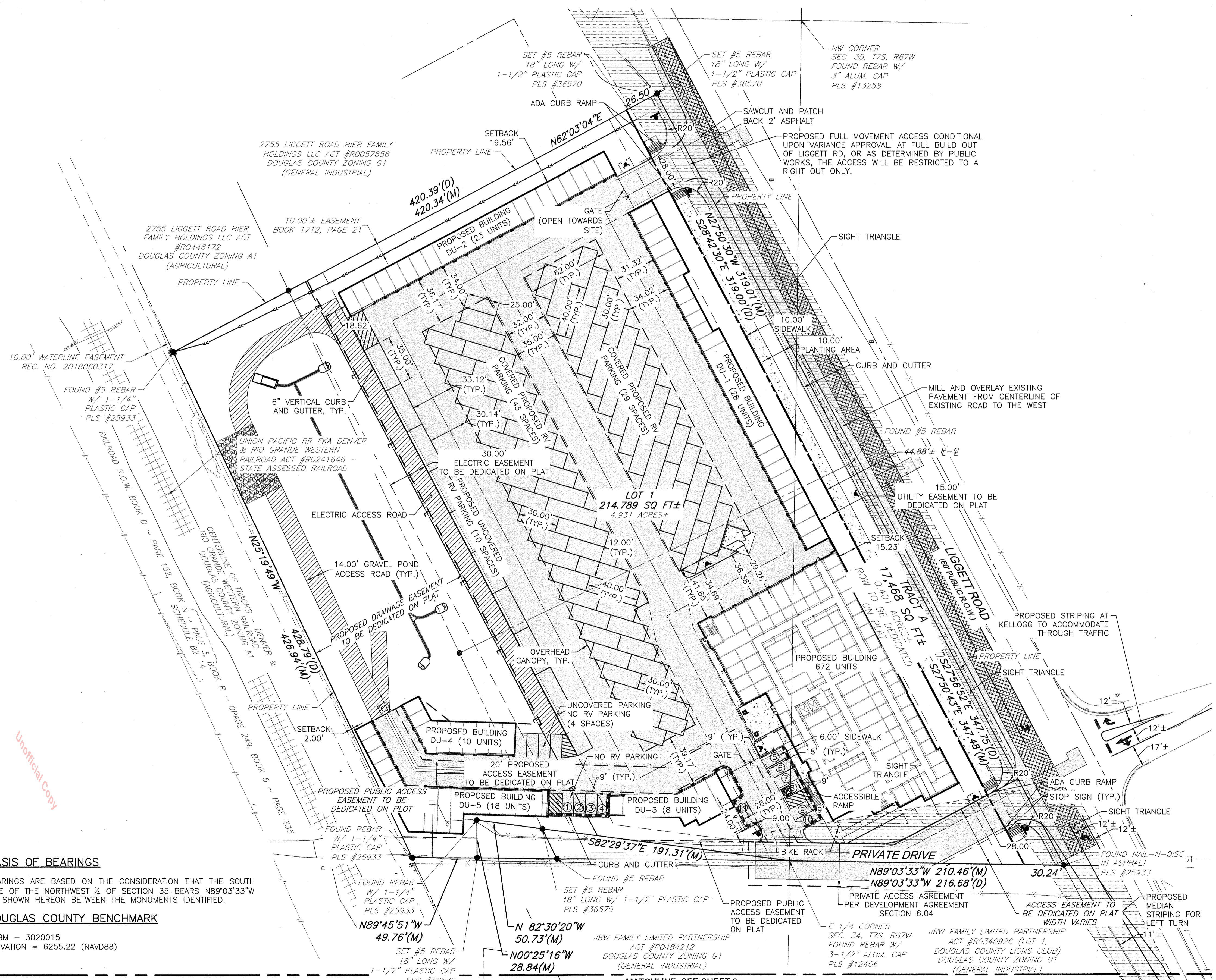
STORQUEST CASTLE ROCK
PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
SDP21-0022

LEGEND

	EXISTING		PROPOSED
	PROPERTY LINE		RIGHT-OF-WAY LINE
	SECTION LINE		EASEMENT
	CURB & GUTTER		ASPHALT PAVING
	CONCRETE/SIDEWALK		SIGHT TRIANGLE
	SIGN		DRIVE
	DRIVE		DRIVE
	DESCRIPTIONS		DRIVE
	PUBLIC PARKING SPACE		DRIVE

NOTES:

1. GATES ARE TO BE EQUIPPED WITH OPTICOM SYSTEM AND KNOX KEY ACCESS.



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. UNLESS OTHERWISE NOTED, THE UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY OTHERS AND DEPICTED AS ASCE (38) QUALITY LEVEL D. IN ACCORDANCE WITH THE PROVISIONS OF COLORADO REVISED STATUTE, TITLE 9, IT IS THE CONTRACTORS RESPONSIBILITY TO CALL COLORADO 811 UTILITY LOCATE SERVICE FOR UTILITY LOCATES BEFORE DIGGING, AND FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

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DOUGLAS COUNTY BENCHMARK
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UNOFFICIAL COPY

Matchline: SEE SHEET 3

Private Access Agreement - PER DEVELOPMENT AGREEMENT SECTION 6.04

Access Easement to be Dedicated on Plot Width Varies

Proposed Public Access Easement to be Dedicated on Plot

Proposed Median Striping for Left Turn

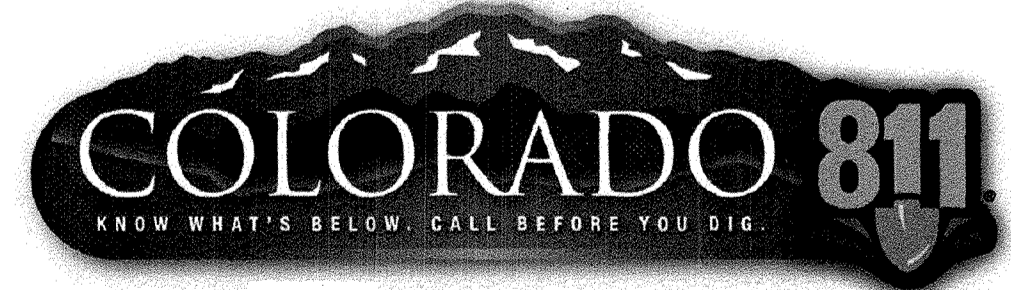
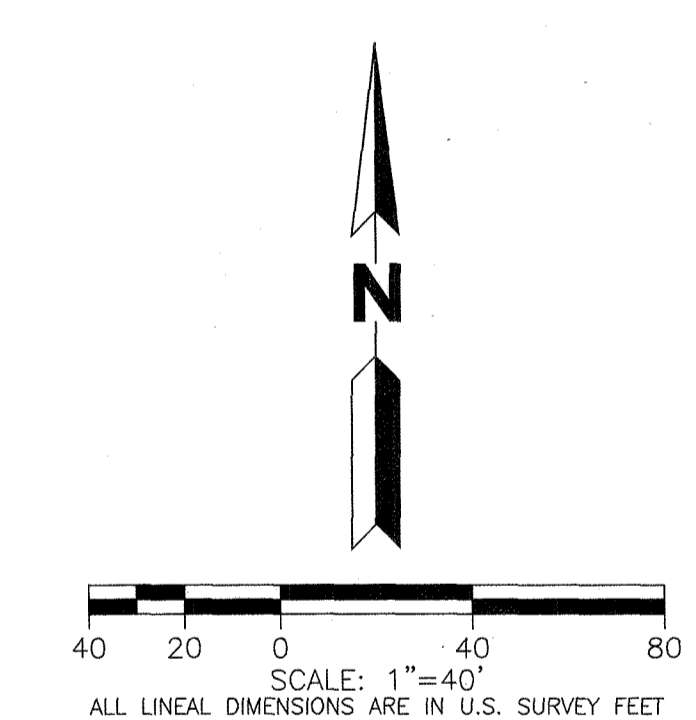
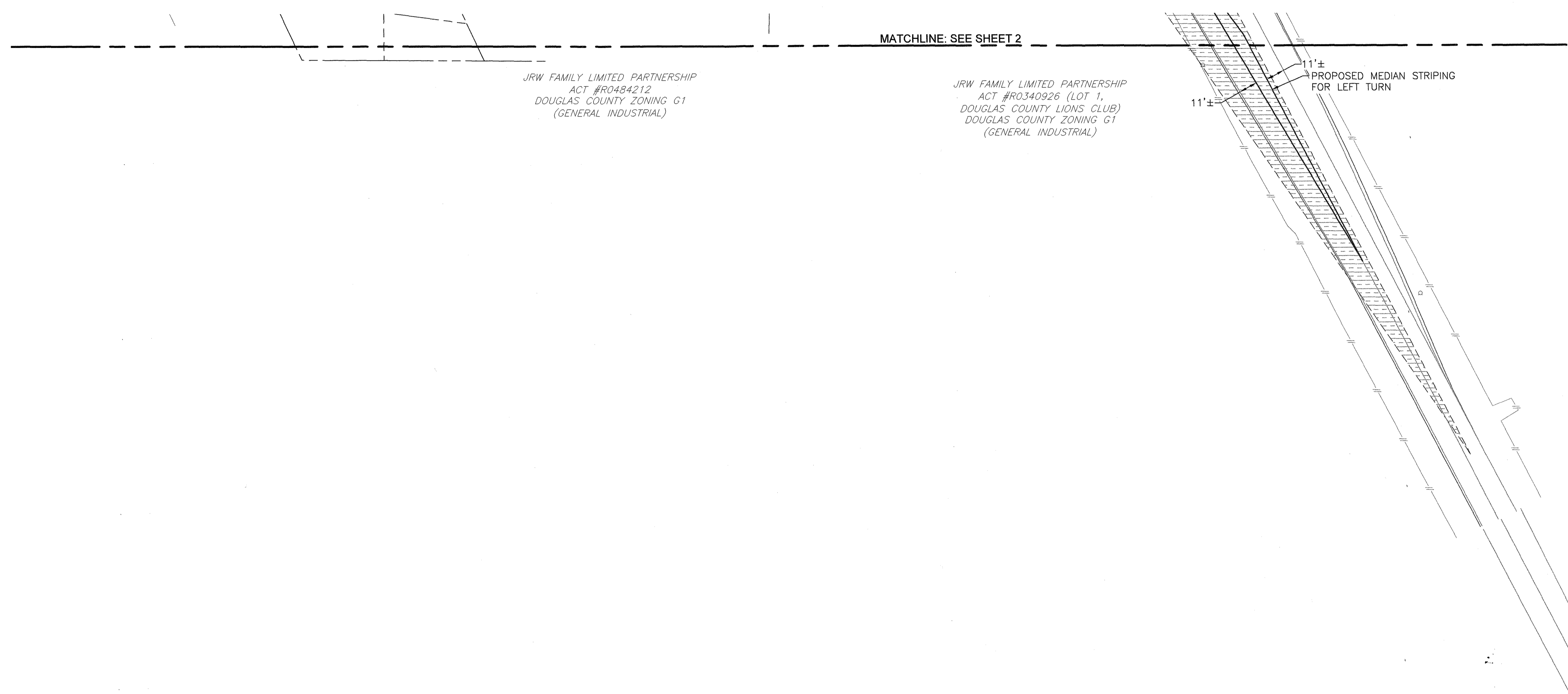
SITE PLAN
DATE: 24 JANUARY 2022
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SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
SDP21-0022

LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SECTION LINE
	EASEMENT
	CURB & GUTTER
	ASPHALT PAVING
	CONCRETE/SIDEWALK
	SIGHT TRIANGLE
	DRIVE
	SIGN
	PUBLIC PARKING SPACE



811 2-BUSINESS DAYS IN ADVANCE
CALL YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

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Unofficial Copy

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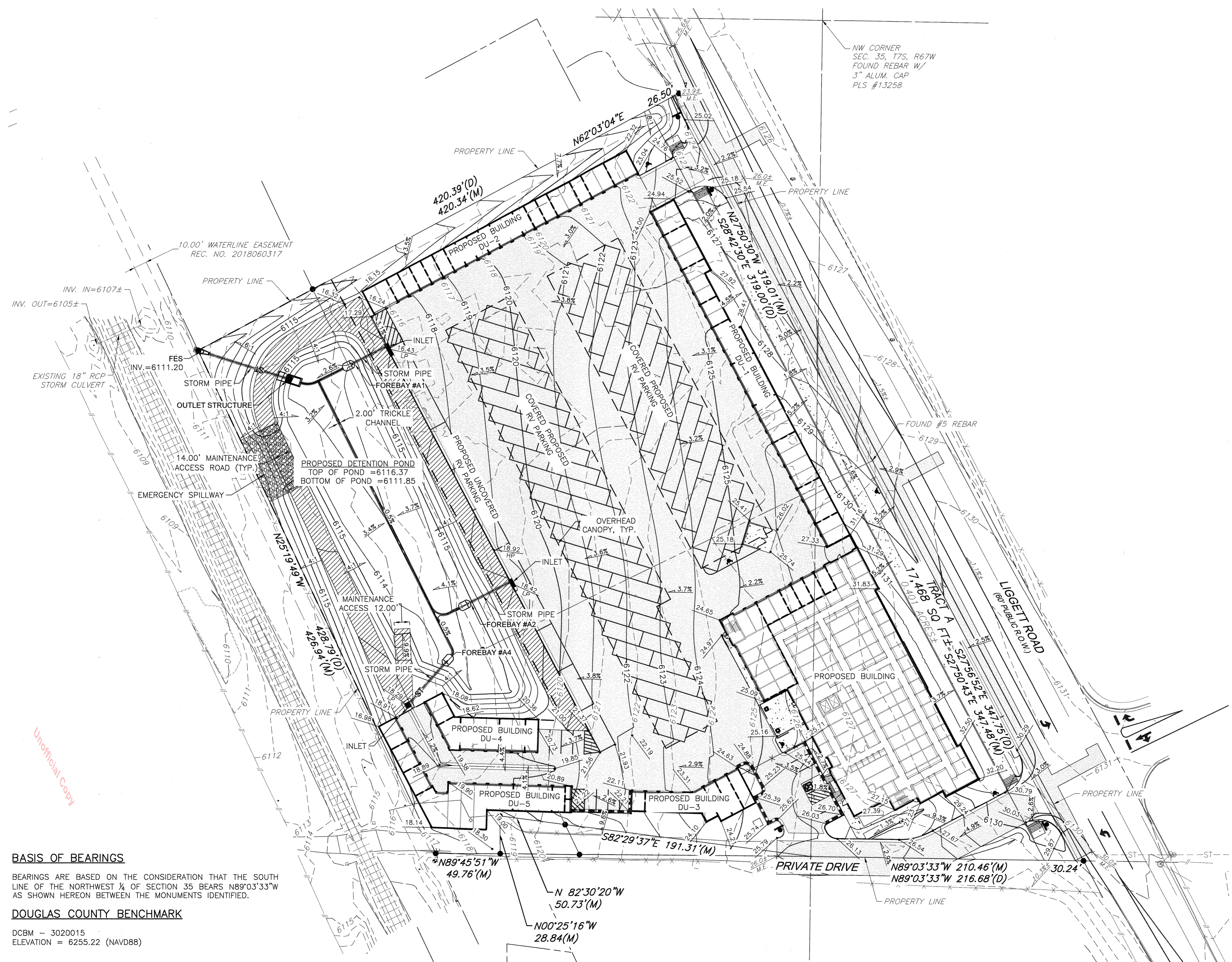
DOUGLAS COUNTY BENCHMARK
DCBM - 3020015
ELEVATION = 6255.22 (NAVD88)

SITE DEVELOPMENT PLAN

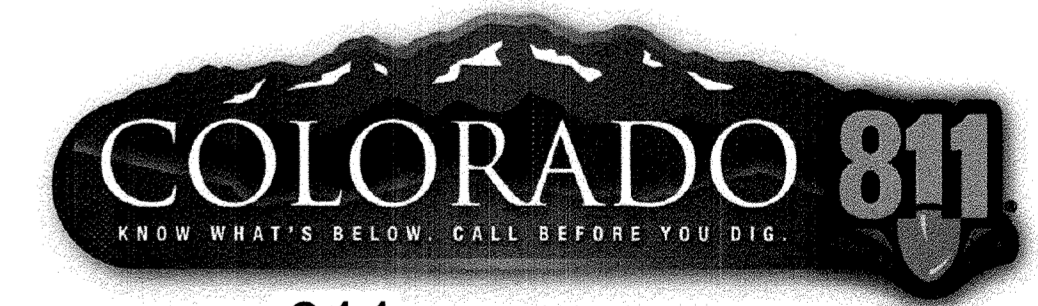
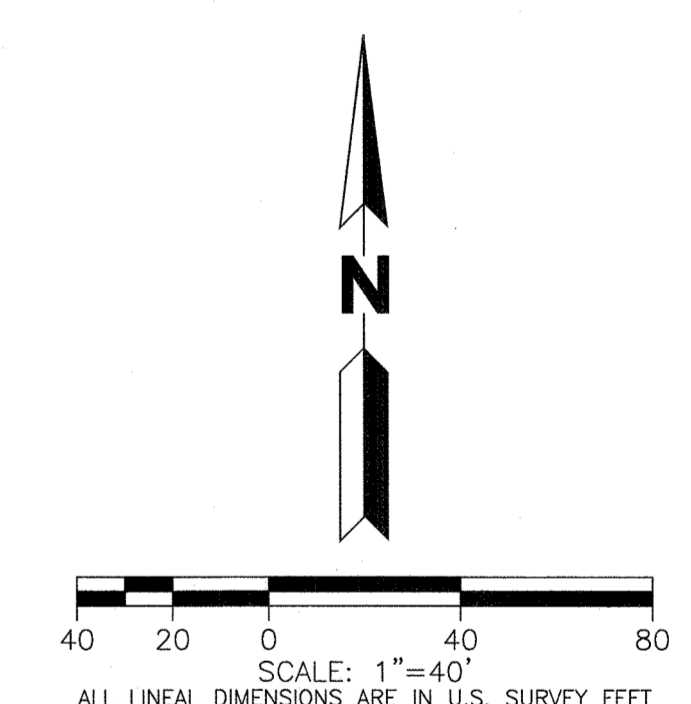
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LEGEND

EXISTING		PROPOSED
—————	PROPERTY LINE	—————
- - - - -	RIGHT-OF-WAY LINE	- - - - -
—————	SECTION LINE	—————
—————	EASEMENT	—————
=====	RETAINING WALL	=====
=====	CURB & GUTTER	=====
- - - - -	CONTOURS	—————
- - - - -	STORM SEWER	—————
⊙	STORM MANHOLE	○
- - - - -	ROOF DRAIN	—————
□	INLET	■
<	FLARED END SECTION	▽
— —	SIGN	— —
→	GRADING ARROW	→
○	DECIDUOUS TREE	○
⊙	EVERGREEN TREE	⊙
⊙	BUSH/SHRUB	⊙
—	DRIVE	—
—	SPOT ELEVATIONS	—



NW CORNER
 SEC. 35, T7S, R67W
 FOUND REBAR W/
 3" ALUM. CAP
 PLS #13258



CALL 811 2-BUSINESS DAYS IN ADVANCE
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 MARKING OF UNDERGROUND MEMBER UTILITIES

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GENERAL GRADING PLAN
 DATE: 24 JANUARY 2022
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SITE DEVELOPMENT PLAN

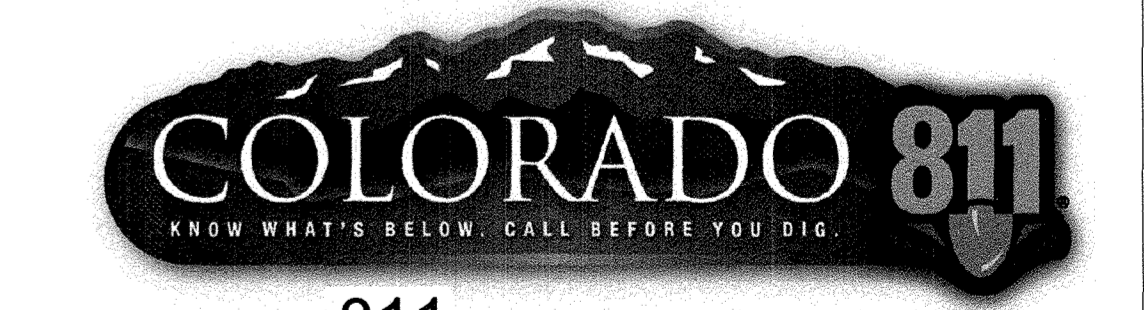
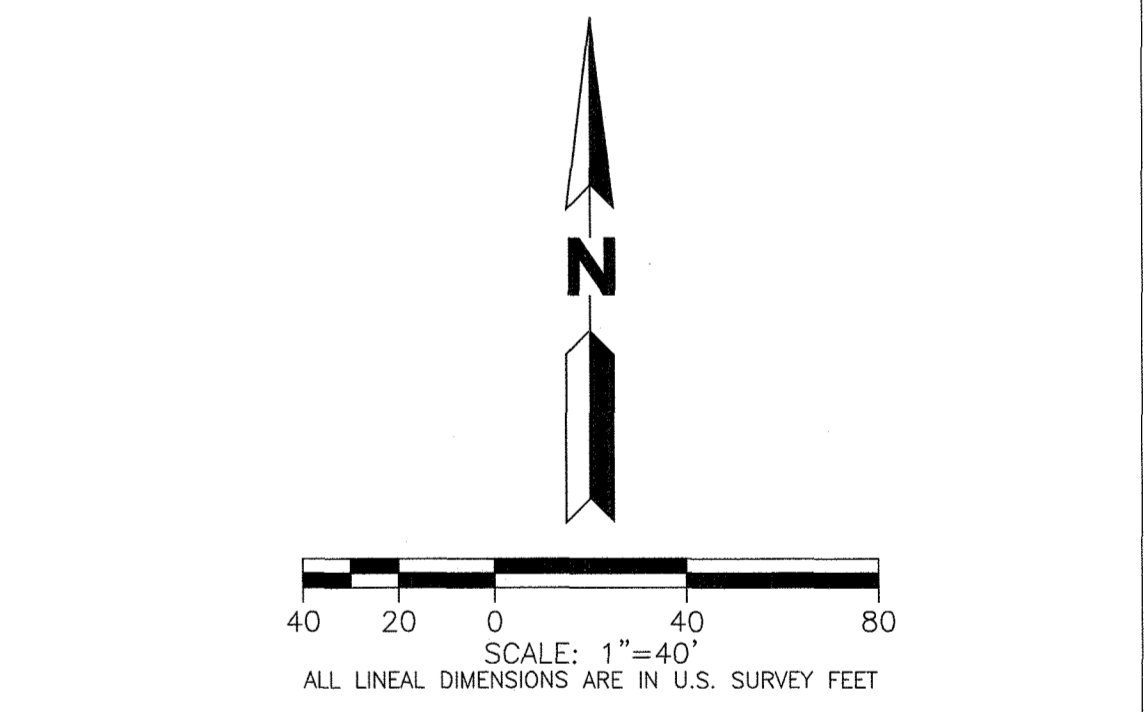
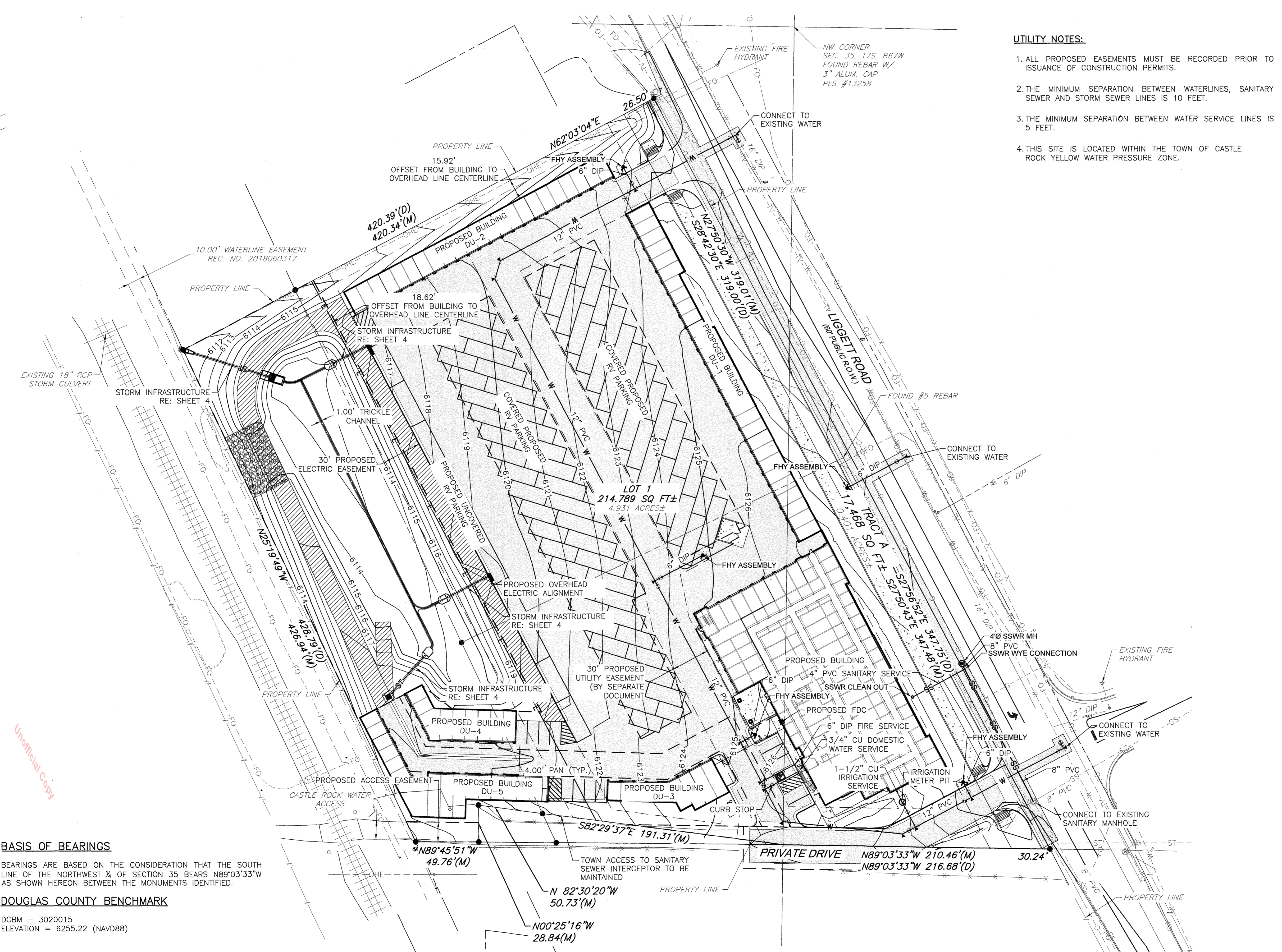
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SDP21-0022

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SECTION LINE
	EASEMENT
	RETAINING WALL
	CURB & GUTTER
	UTILITY CROSSING
	STORM SEWER
	STORM MANHOLE
	ROOF DRAIN
	STORM INLET
	SANITARY SEWER
	SANITARY MANHOLE
	CLEAN OUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	IRRIGATION LINE
	IRRIGATION CONTROL
	OVERHEAD ELECTRIC
	ELECTRIC LINE
	LIGHT POLE
	POWER POLE
	ELECTRIC METER
	TELEPHONE LINE
	TELEPHONE PEDESTAL
	CABLE TV
	GAS LINE
	SIGN
	MONITOR WELL
	DRIVE
	DRIVE

UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

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GENERAL UTILITIES PLAN
DATE: 24 JANUARY 2022
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SITE DEVELOPMENT PLAN

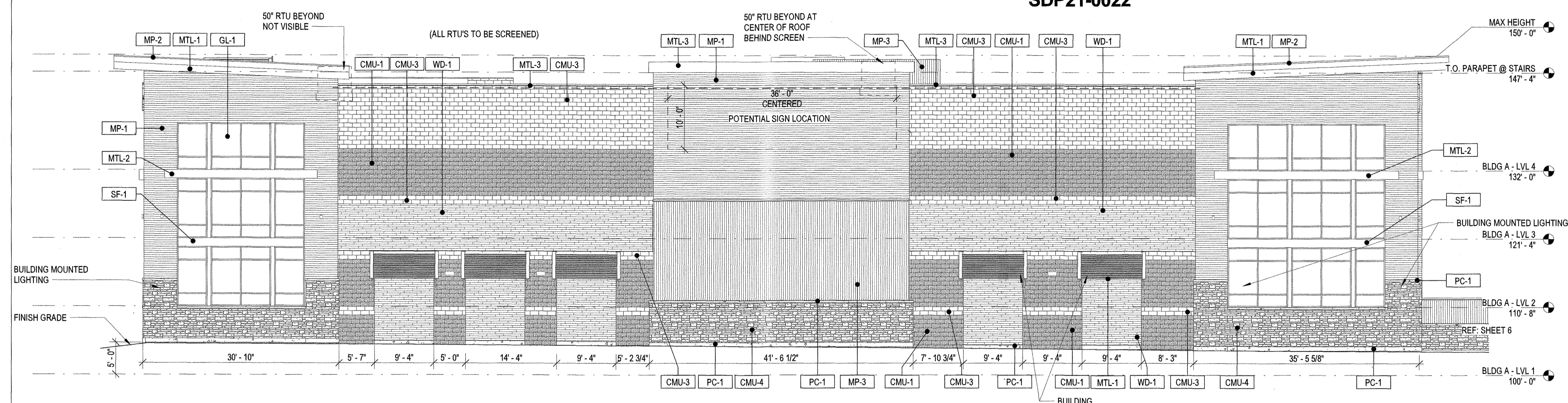
STORQUEST CASTLE ROCK

PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

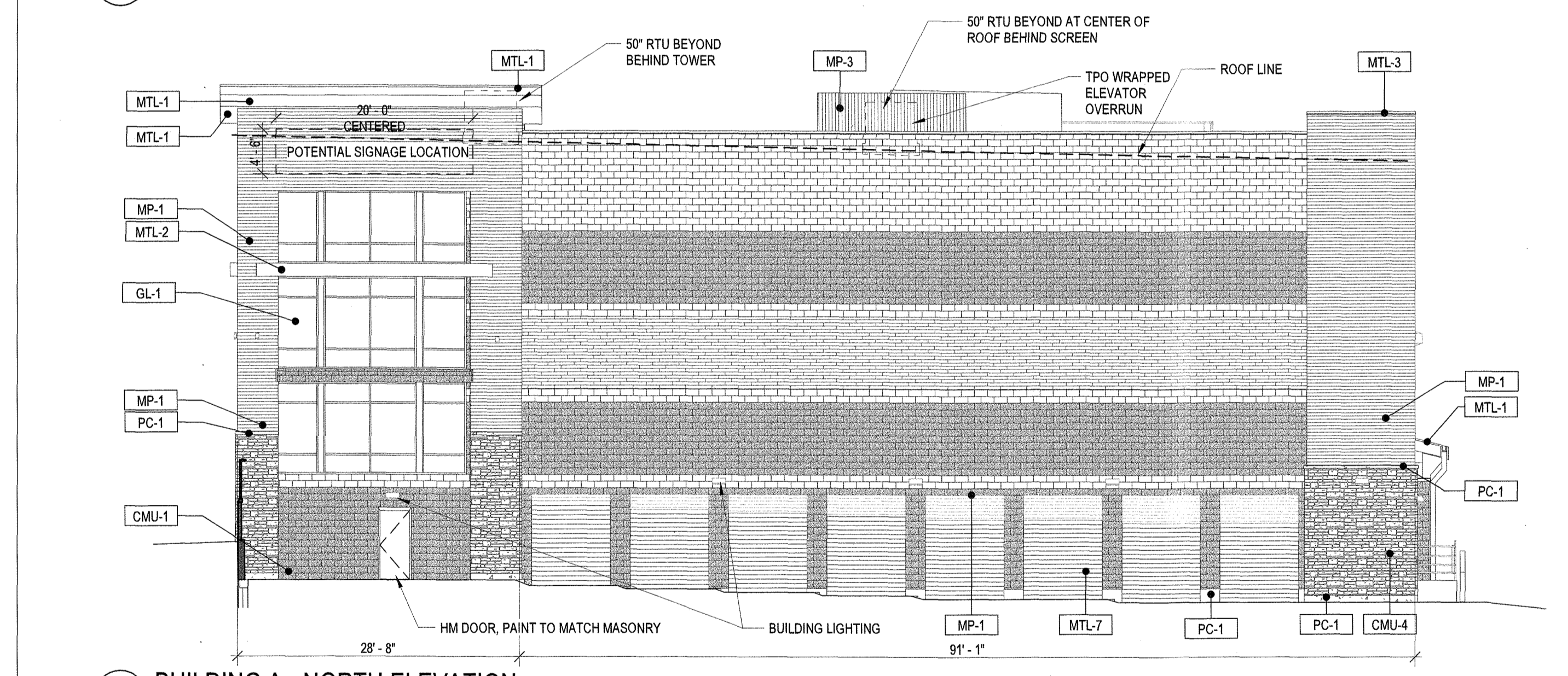
SDP21-0022

MATERIAL LEGEND			
MARK	MATERIAL	COLOR	FINISH
CMU-1	SPLIT FACE CMU BLOCK	BLOCK STANDARD GREY	COLOR TO MATCH MBCI BROWNSTONE
CMU-2	SPLIT FACE CMU BLOCK	BLOCK STANDARD GREY	PAINT - SW 6082 - COBBLE BROWN
CMU-3	SPLIT FACE CMU BLOCK	BLOCK - 2 COURSES STANDARD GREY	PAINT - SW 7035 - AESTHETIC WHITE
CMU-4	CULTURED STONE	ES - CASTAWAY	
MP-1	MBCI - MASTERLINE 16 HORIZONTAL	MEDIUM BRONZE	SIG 300
MP-2	MBCI - STANDING SEAM ROOF	CRIMSON RED	SIG 200
MP-3	MBCI - CF ARCHITECTURAL VERTICAL	SILVER METALLIC	SIG 200
MP-4	MBCI - CF ARCHITECTURAL HORIZONTAL	BROWNSTONE	SIG 200
MP-5	HORIZONTAL CORRUGATED JANUS PANEL	PATRIOT RED	SIG 200
MP-6	MBCI - STANDING SEAM ROOF	SILVER METALLIC	SIG 200
MTL-1	METAL FACIA	CRIMSON RED	SIG 300
MTL-2	CANOPY EYEBROW	CRIMSON RED	SIG 200
MTL-3	METAL PARAPET TRIM	MEDIUM BRONZE	SIG 300
MTL-4	DECORATIVE STEEL SCREEN 8x8	SW 9088 - UTAUPEA	PT-4
MTL-5	METAL PANEL AT STOREFRONT	CLEAR ANODIZED	KAWNEER #14
MTL-6	SHADE LOUVER	CRIMSON RED	SIG 200
MTL-7	PREFINISHED OVERHEAD DOOR	PATRIOT RED	
MTL-8	PREFINISHED GUTTERS AND DOWNSPOUTS	MEDIUM BRONZE	
SF-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	KAWNEER #14
GL-1	VISION GLAZING	CLEAR	
PC-1	PRECAST COPING AND BASE	MEDIUM GRAY	
PT-1	PAINT	SW6871 POSITIVE RED	REF SPEC FOR LOCATION
PT-2	PAINT	SW9088 UTAUPEA	REF SPEC FOR LOCATION
PT-3	PAINT	SW9079 DIVERSE BEIGE	REF SPEC FOR LOCATION
PT-4	PAINT	SW7055 ENDURING BRONZE	REF SPEC FOR LOCATION
PT-5	PAINT	SW7069 IRON ORE	REF SPEC FOR LOCATION
WD-1	EXTERIOR WALL TILE	FRENZE WOOD CLOVES	NATURAL

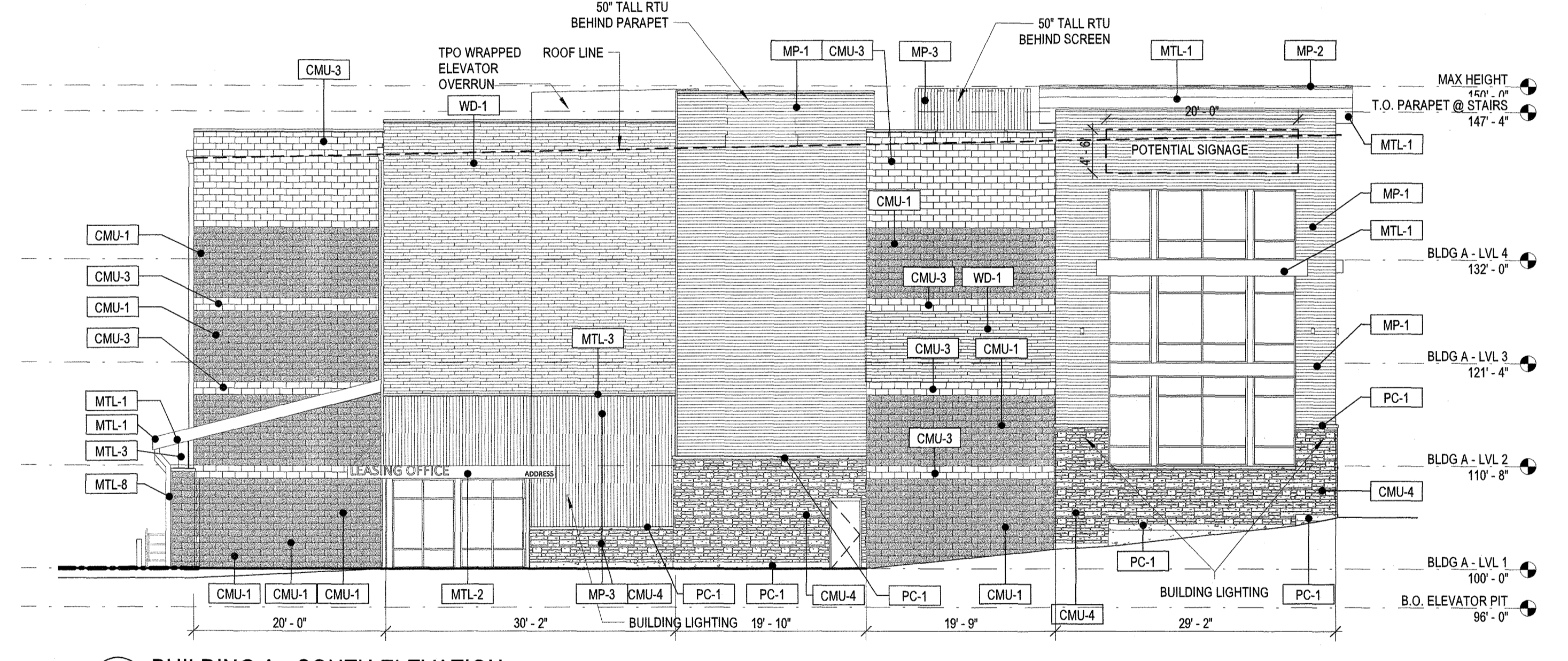
NOTE: MP AT 4-STORY BUILDING TO BE 2" INSULATED PANEL NON-INSULATED PANEL AT DRIVE-UP UNITS



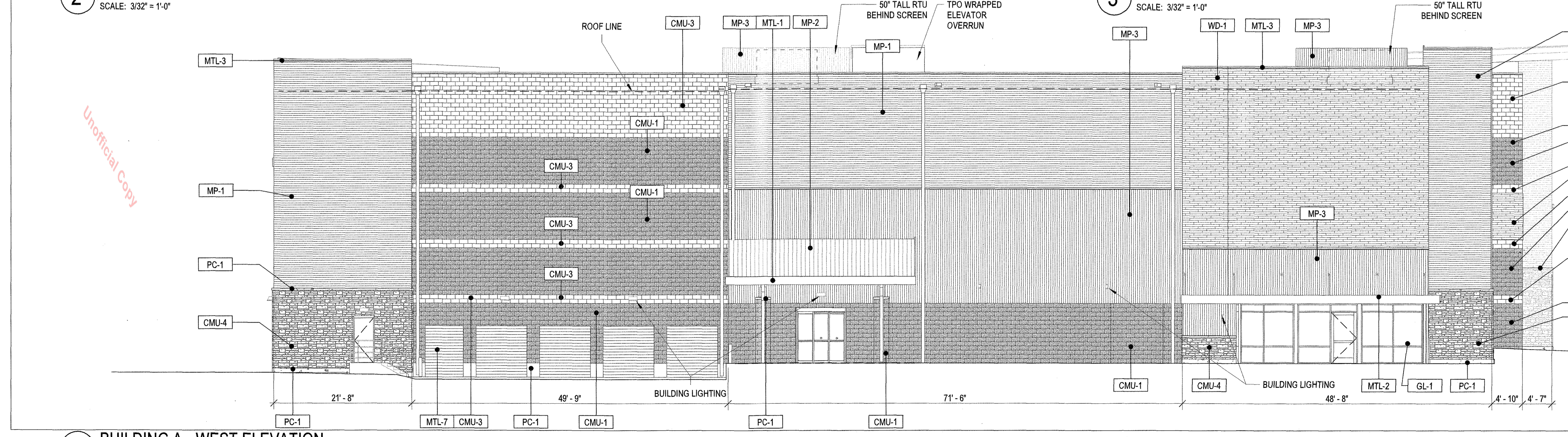
1 BUILDING A - EAST ELEVATION
SCALE: 3/32" = 1'-0"



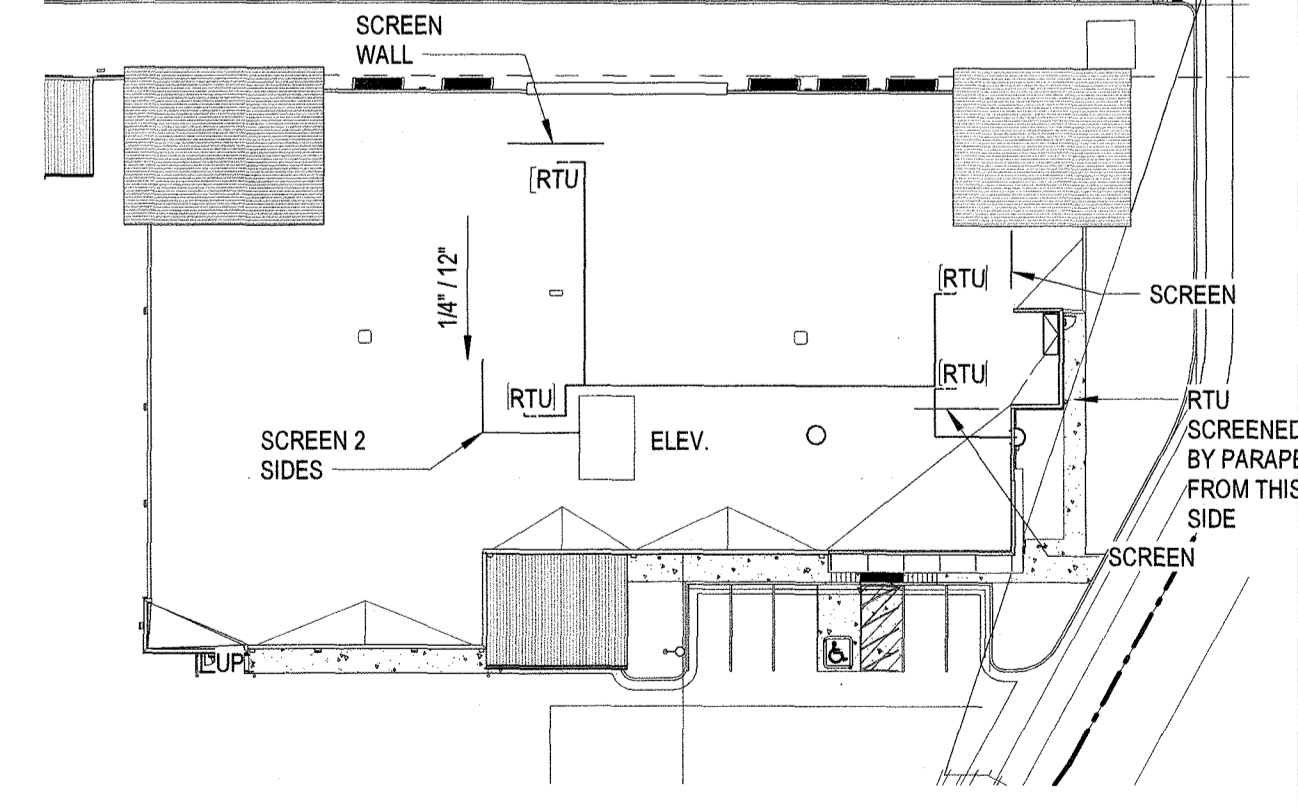
2 BUILDING A - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



3 BUILDING A - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



4 BUILDING A - WEST ELEVATION
SCALE: 3/32" = 1'-0"



5 ROOF PLAN - RTU LOCATION
SCALE: 1" = 40'-0"

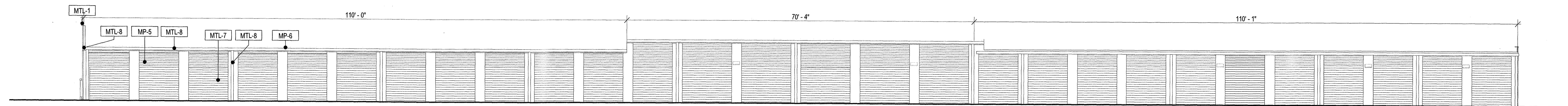
BUILDING ELEVATIONS
DATE: 24 JANUARY 2022
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Unofficial Copy

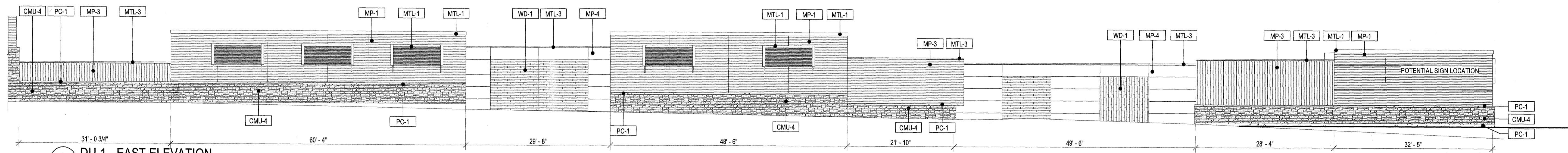
SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

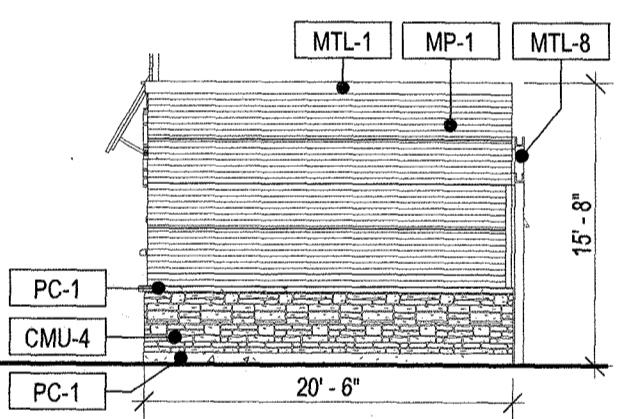
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 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE
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 SDP21-0022



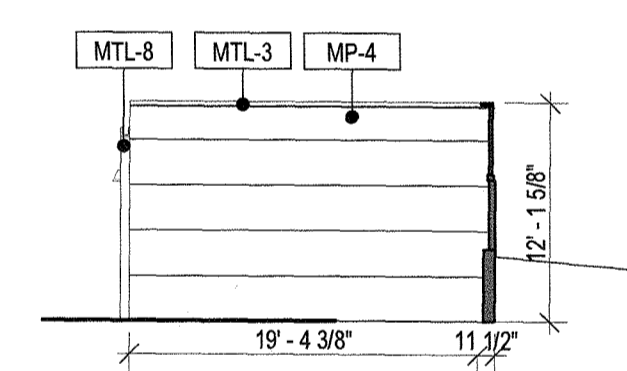
1 DU-1 - WEST ELEVATION
 SCALE: 3/32" = 1'-0"



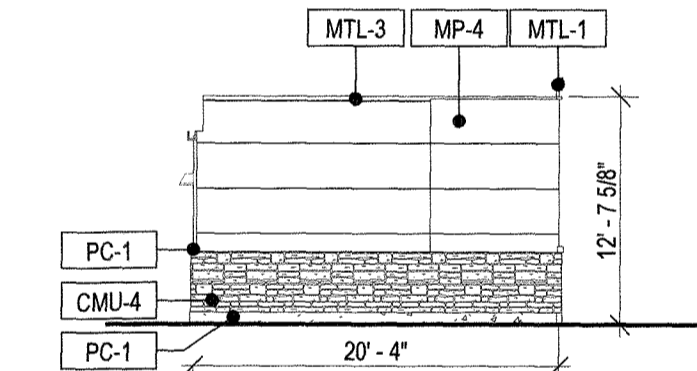
2 DU-1 - EAST ELEVATION
 SCALE: 3/32" = 1'-0"



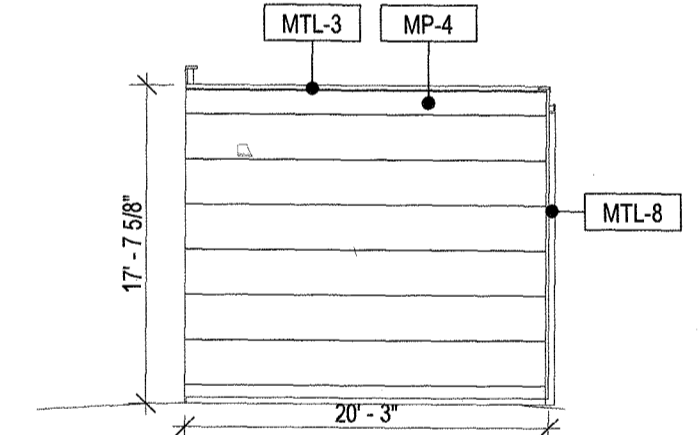
3 DU-1 - NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



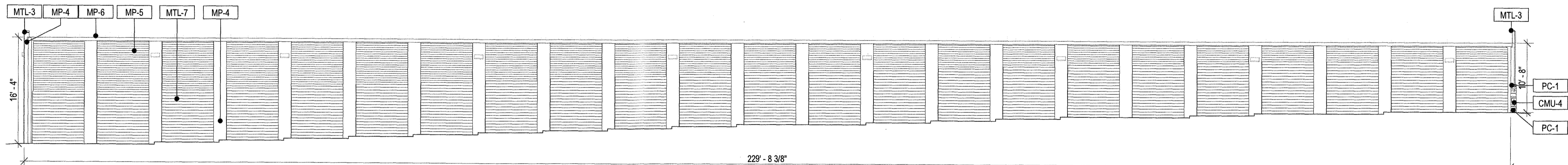
4 DU-1 - SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



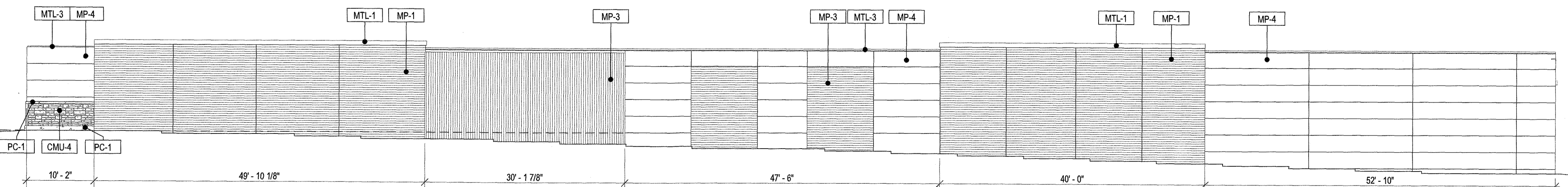
5 DU-2 - EAST ELEVATION
 SCALE: 3/32" = 1'-0"



6 DU-2 - WEST ELEVATION
 SCALE: 3/32" = 1'-0"



7 DU-2 - SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



8 DU-2 - NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

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CMU-1	SPLIT FACE CMU BLOCK	BLOCK STANDARD GREY	COLOR TO MATCH MCCI BROWNSTONE
CMU-2	SPLIT FACE CMU BLOCK	BLOCK STANDARD GREY	PAINT - SW 6082 - COBBLE BROWN
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PT-5	PAINT	SW7089 IRON ORE	REF SPEC FOR LOCATION
WD-1	EXTERIOR WALL TILE	FIRENZE WOOD CLOVES	NATURAL

NOTE: MP AT 4-STORY BUILDING TO BE 2" INSULATED PANEL NON-INSULATED PANEL AT DRIVE-UP UNITS

BUILDING ELEVATIONS
 DATE: 24 JANUARY 2022
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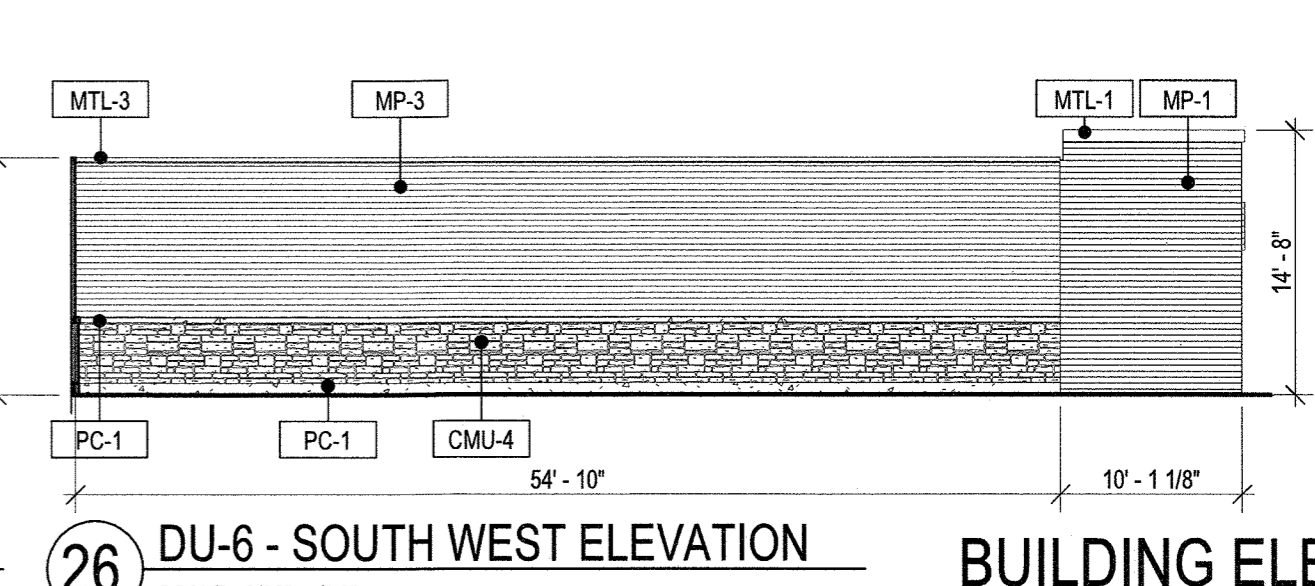
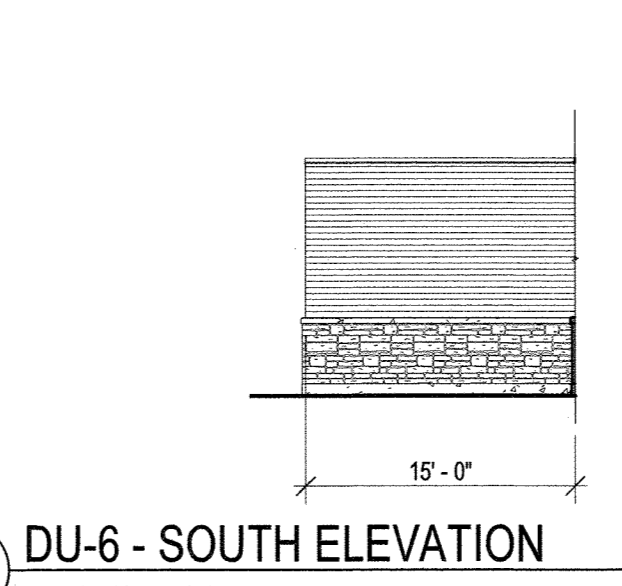
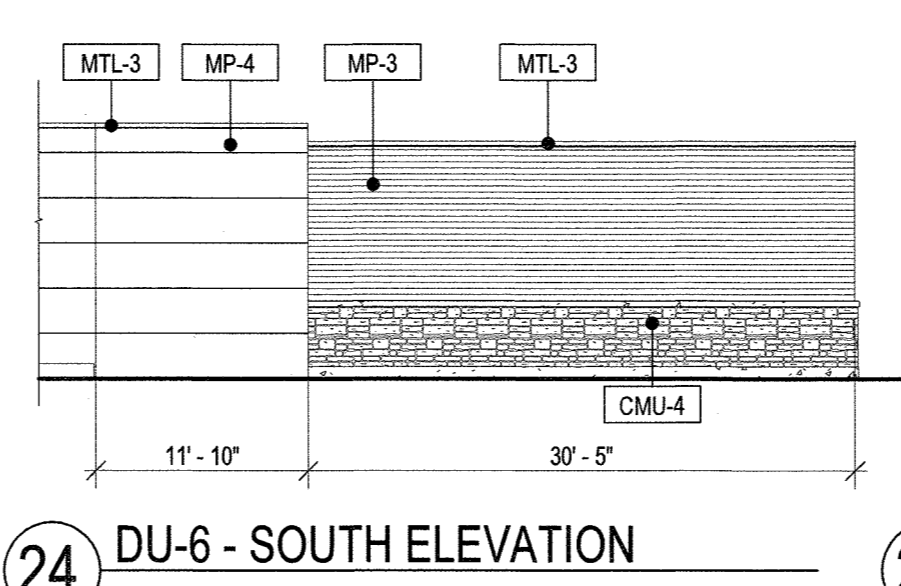
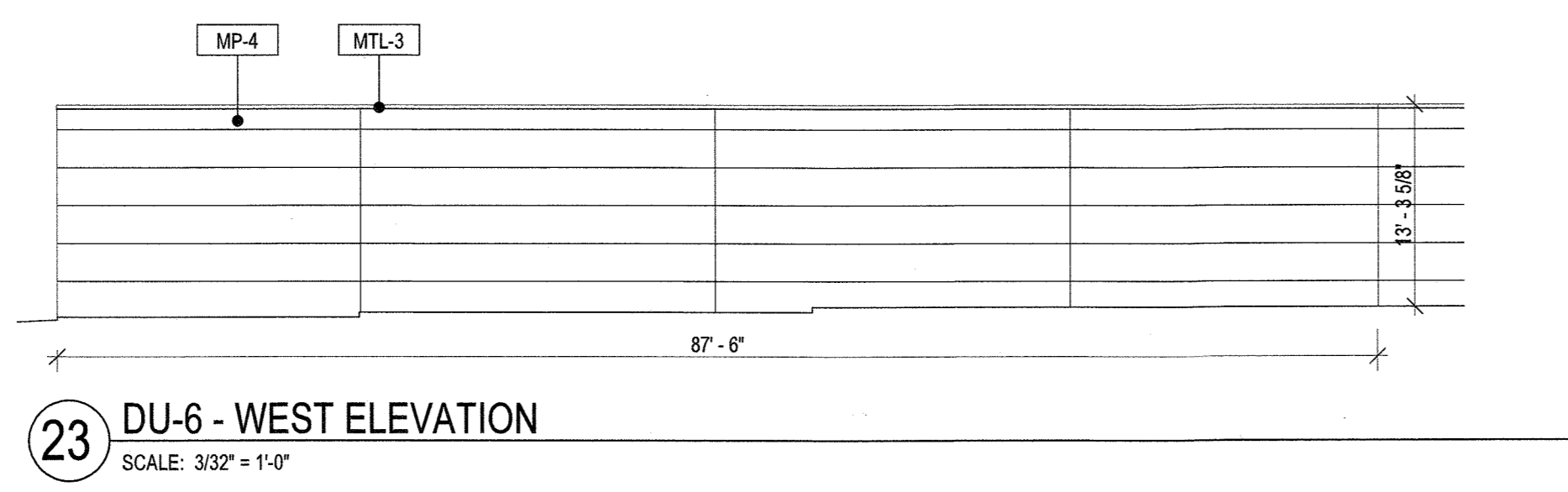
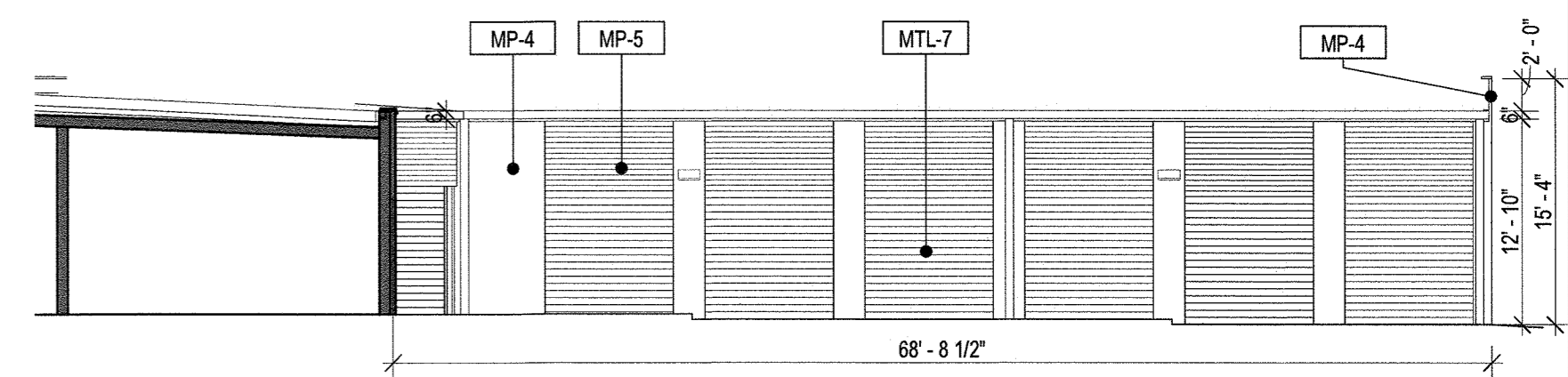
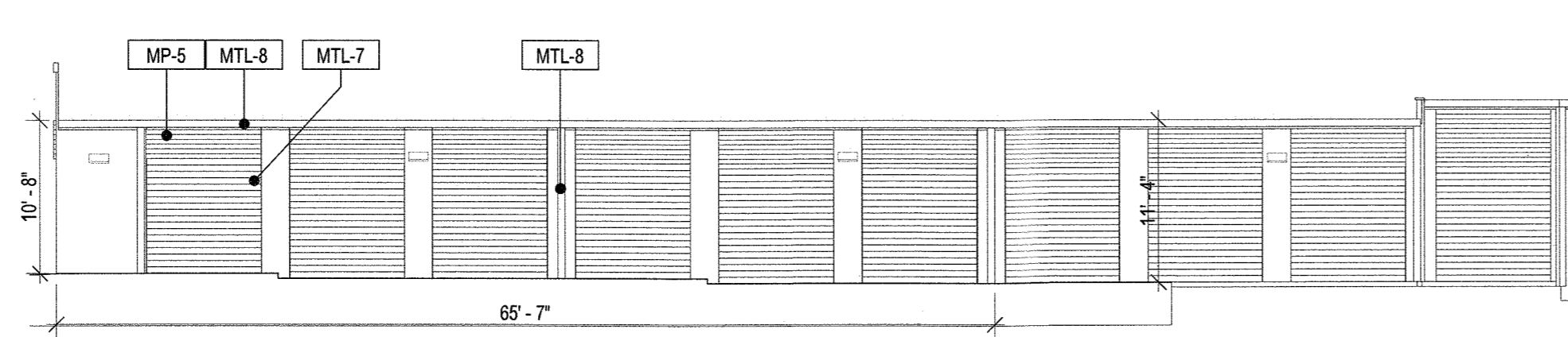
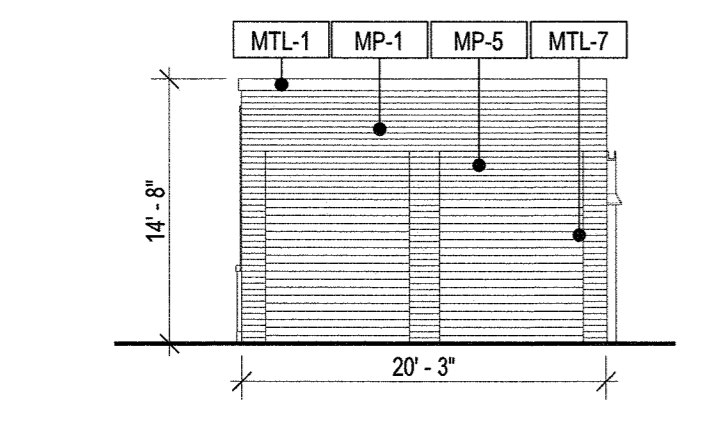
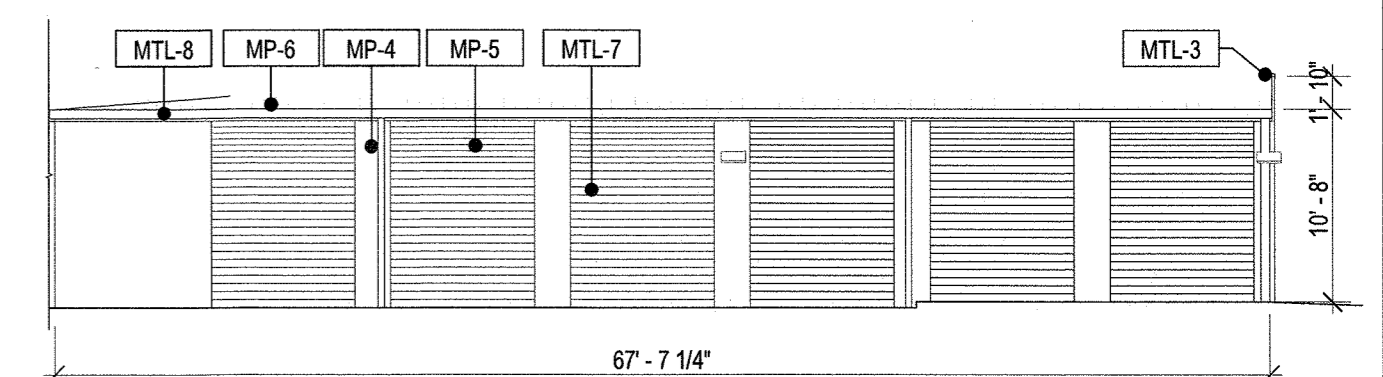
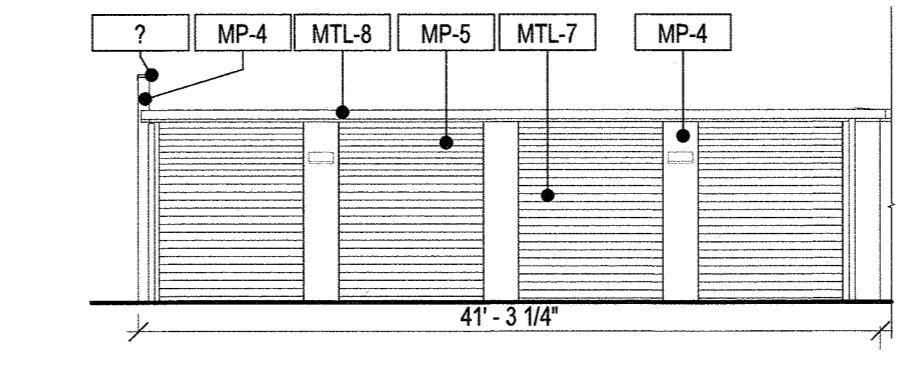
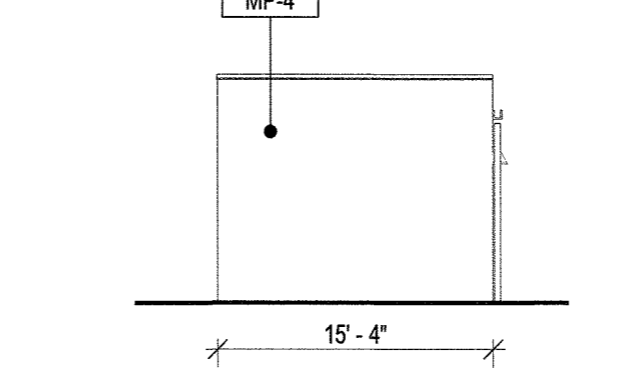
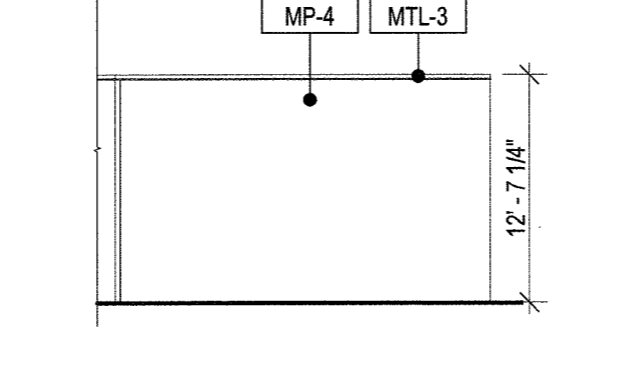
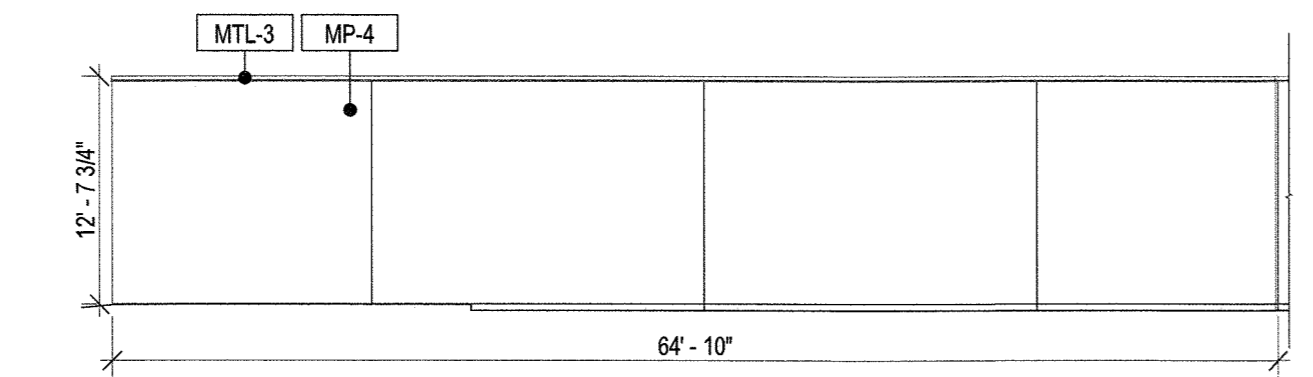
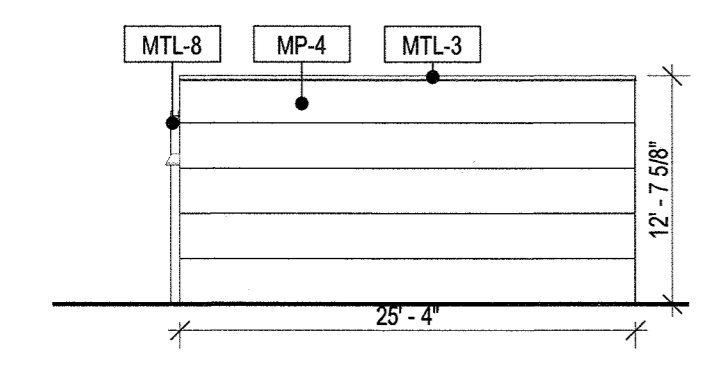
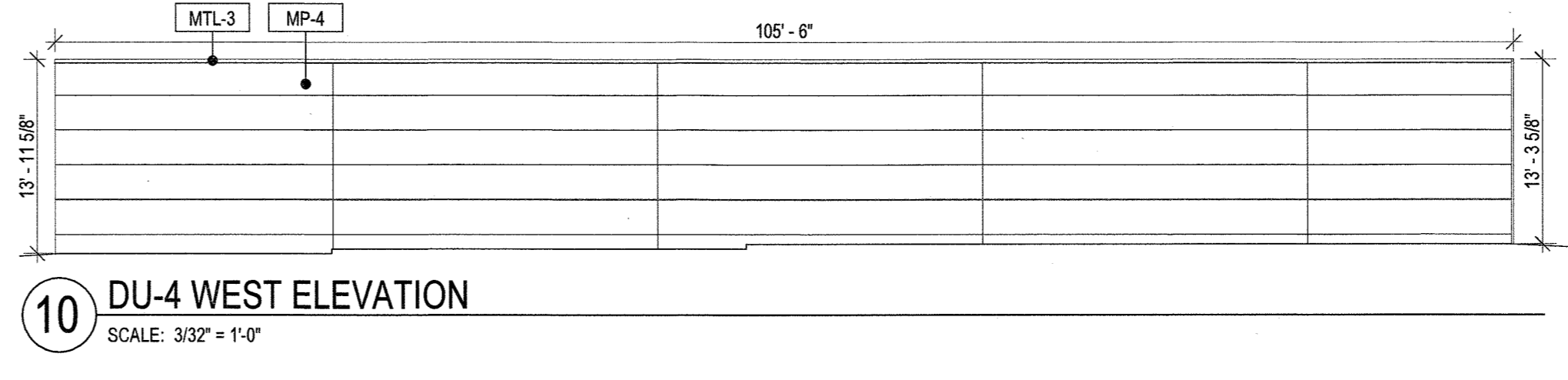
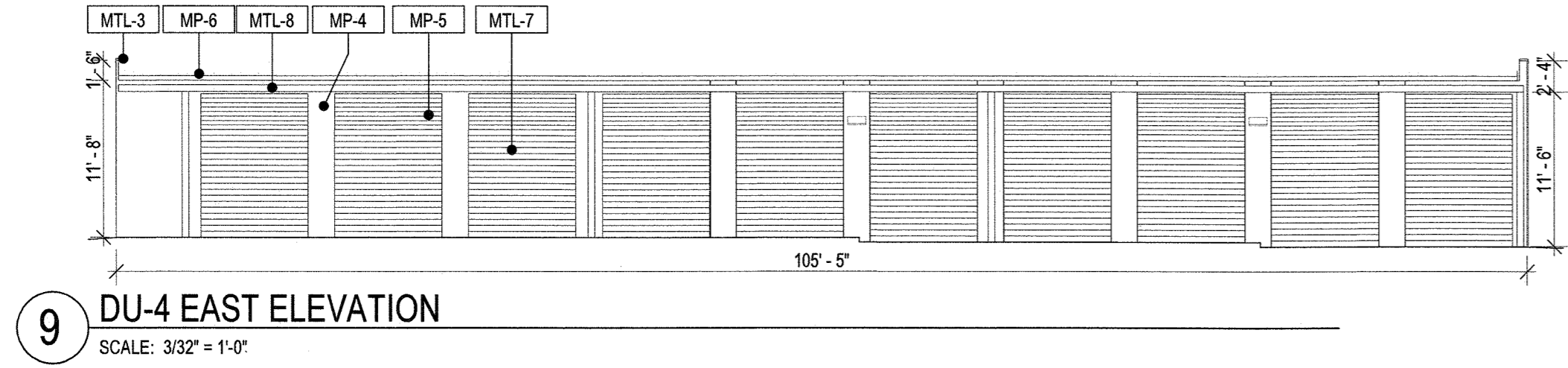
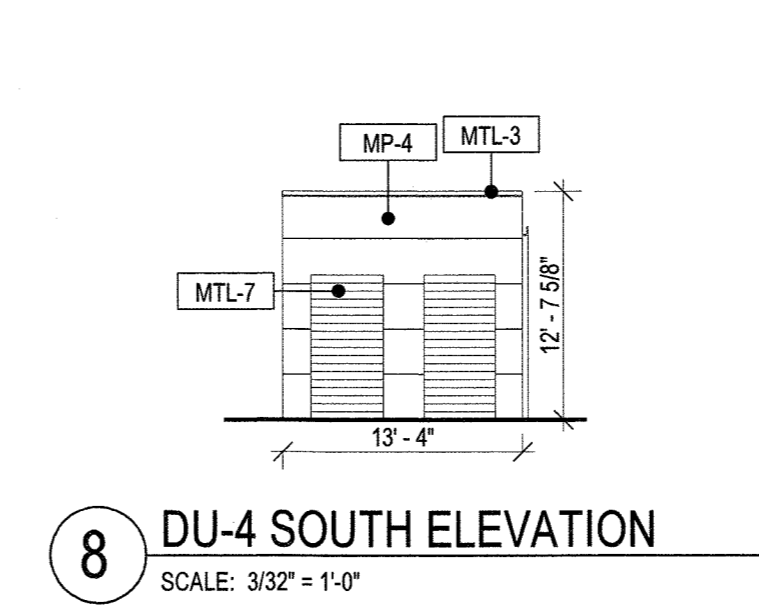
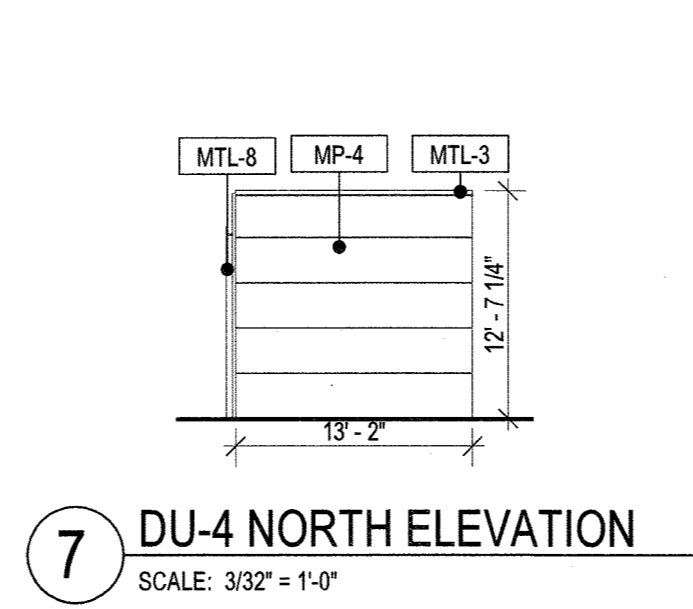
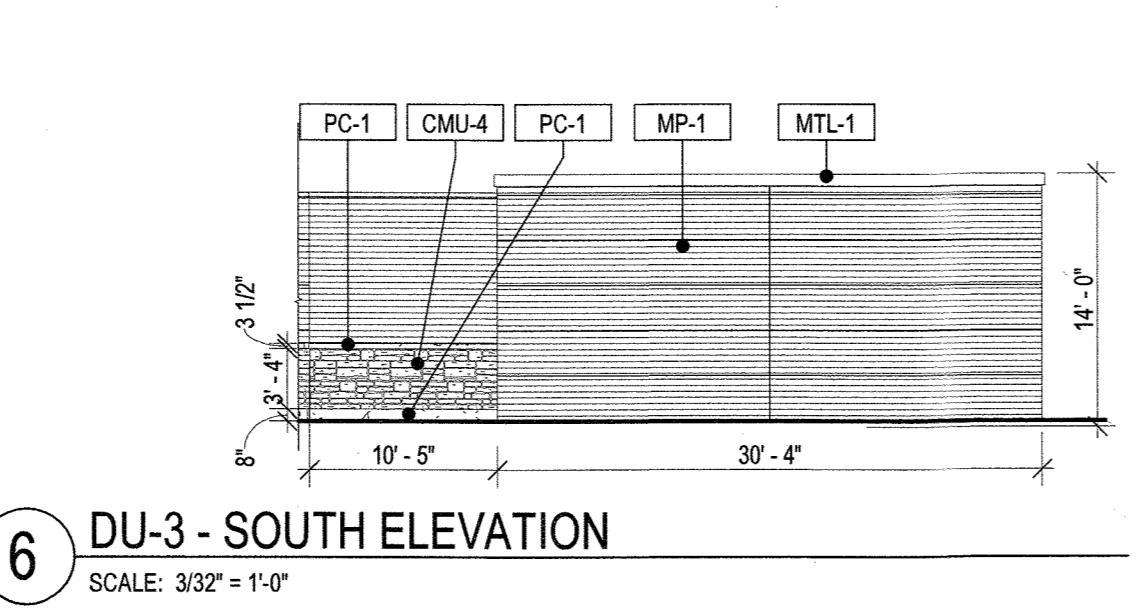
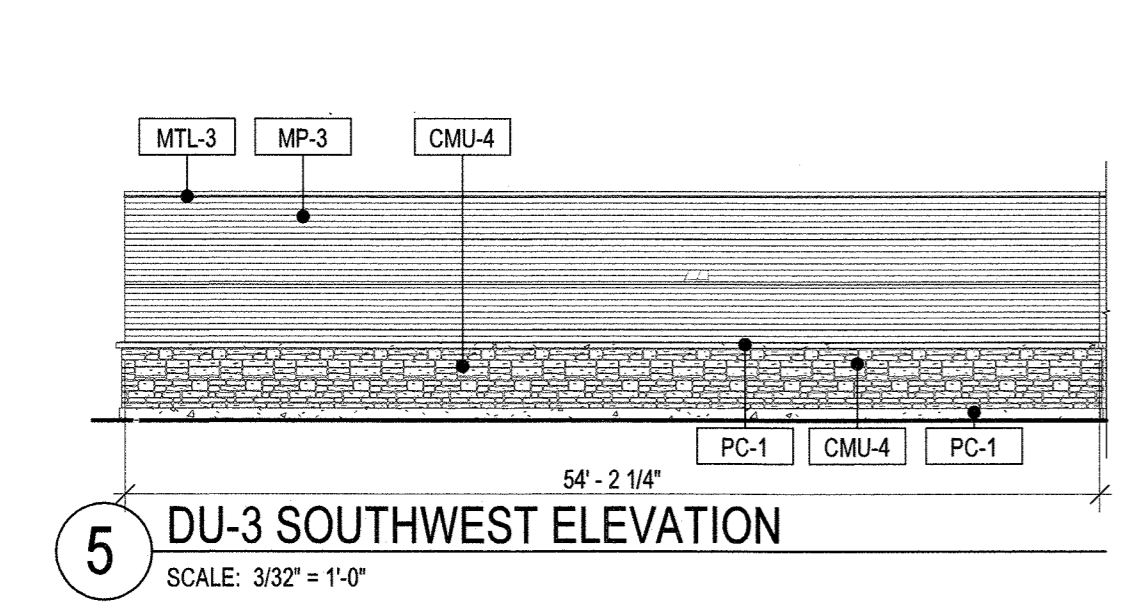
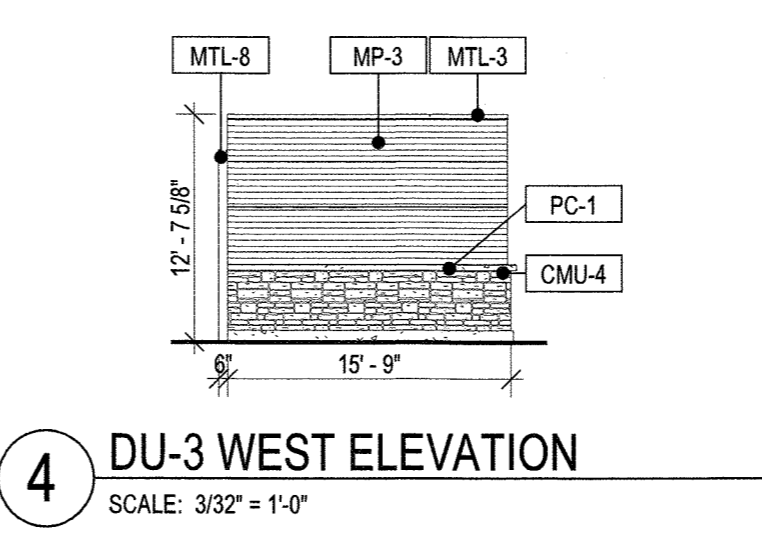
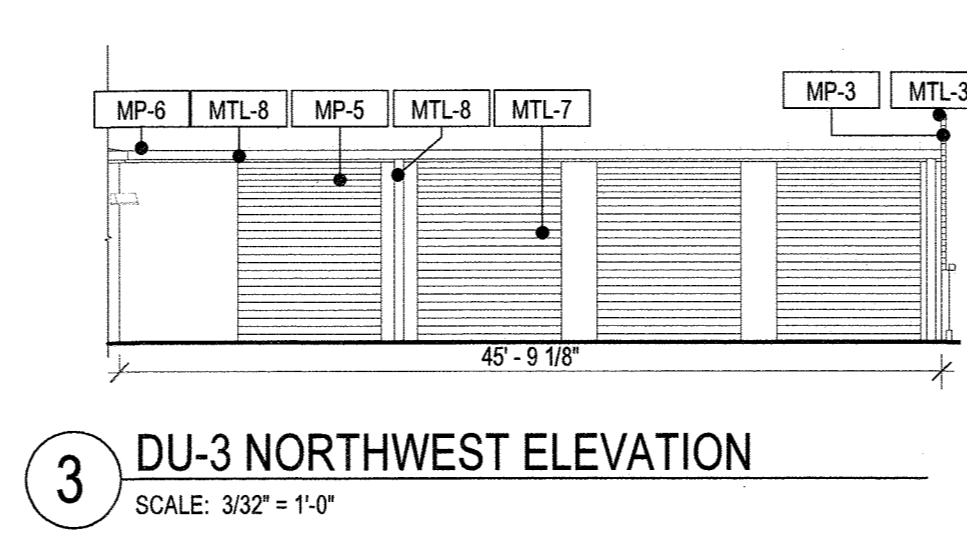
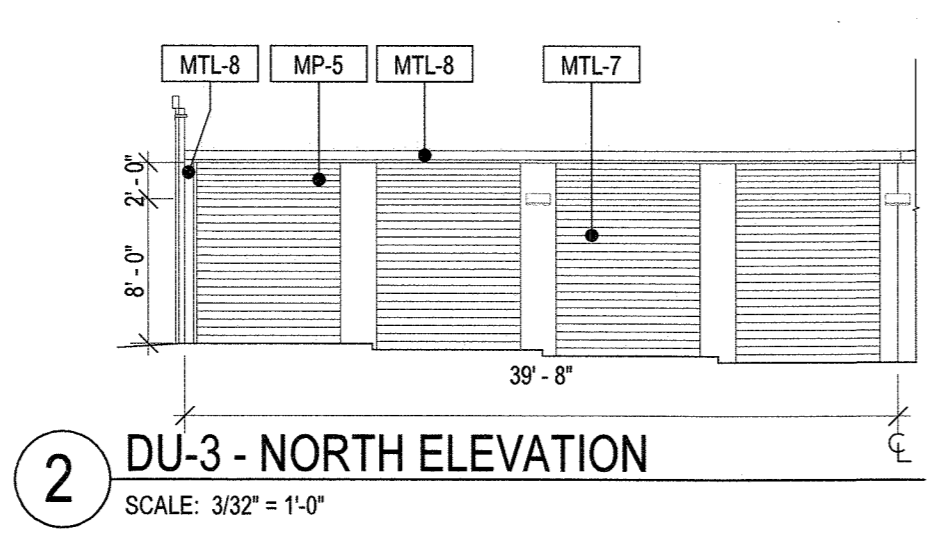
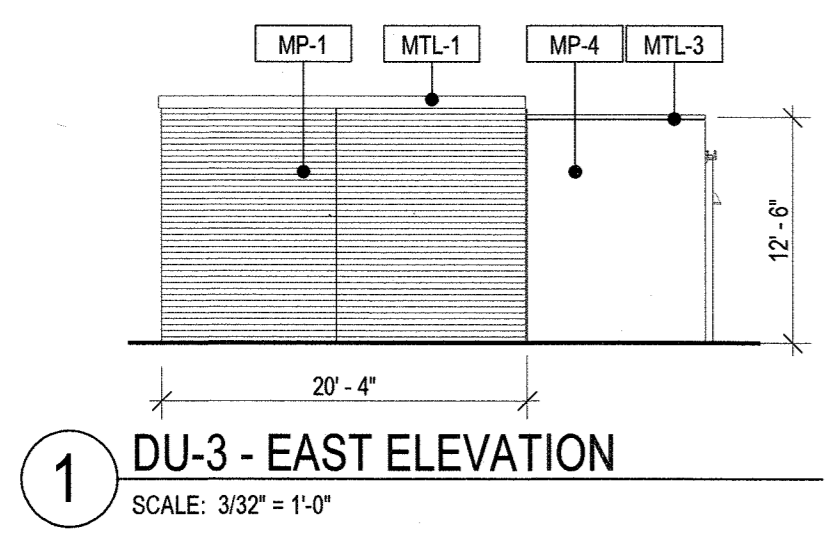
SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWNSHIP OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
SDP21-0022

MATERIAL LEGEND			
MARK	MATERIAL	COLOR	FINISH
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NOTE: MP AT 4-STORY BUILDING TO BE 2" INSULATED PANEL. NON-INSULATED PANEL AT DRIVE-UP UNITS.

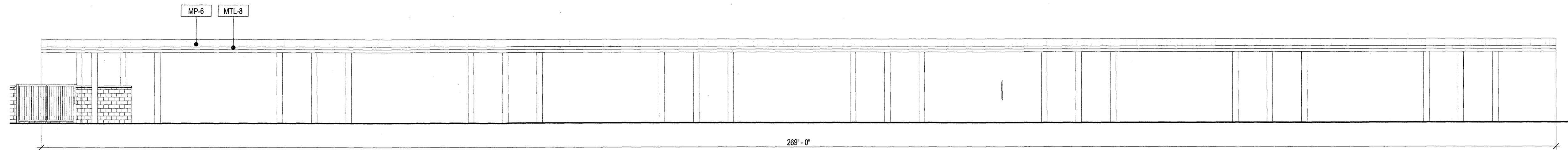


BUILDING ELEVATIONS
DATE: 24 JANUARY 2022
Sheet 8 of 15

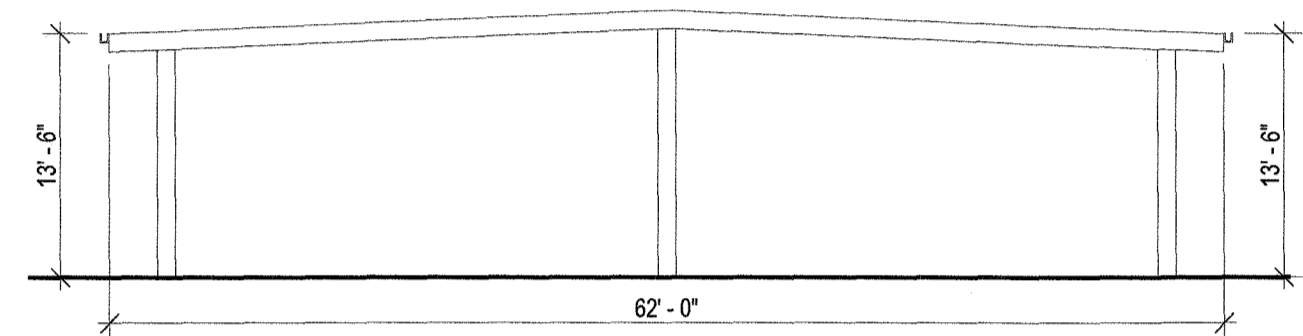
SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

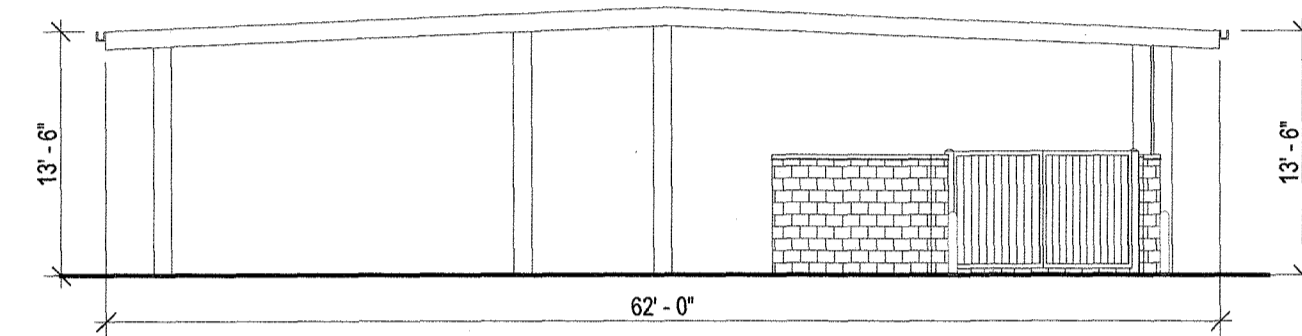
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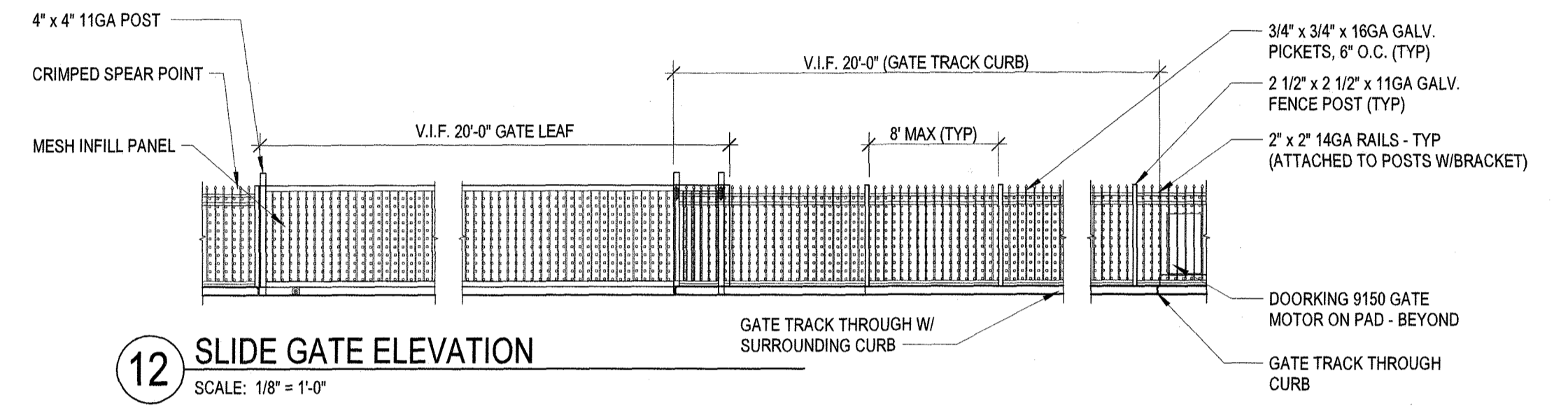
1 RV-1 - EAST ELEVATION
SCALE: 3/32" = 1'-0"



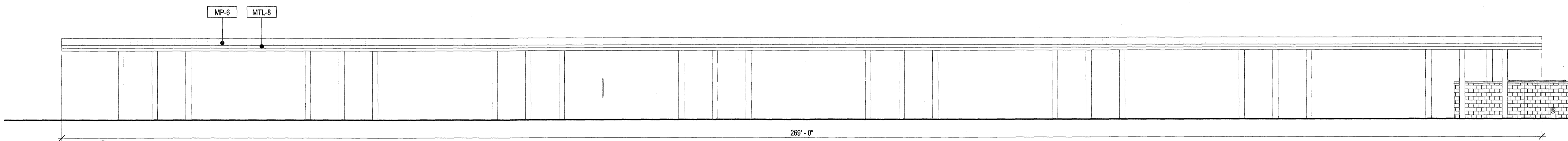
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SCALE: 3/32" = 1'-0"



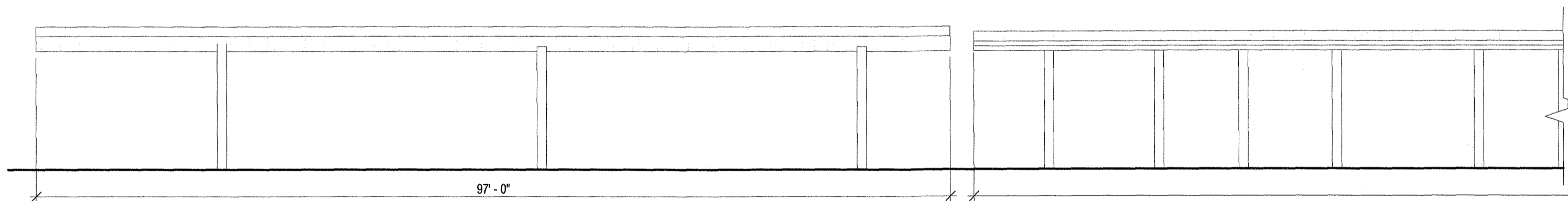
3 RV-1 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



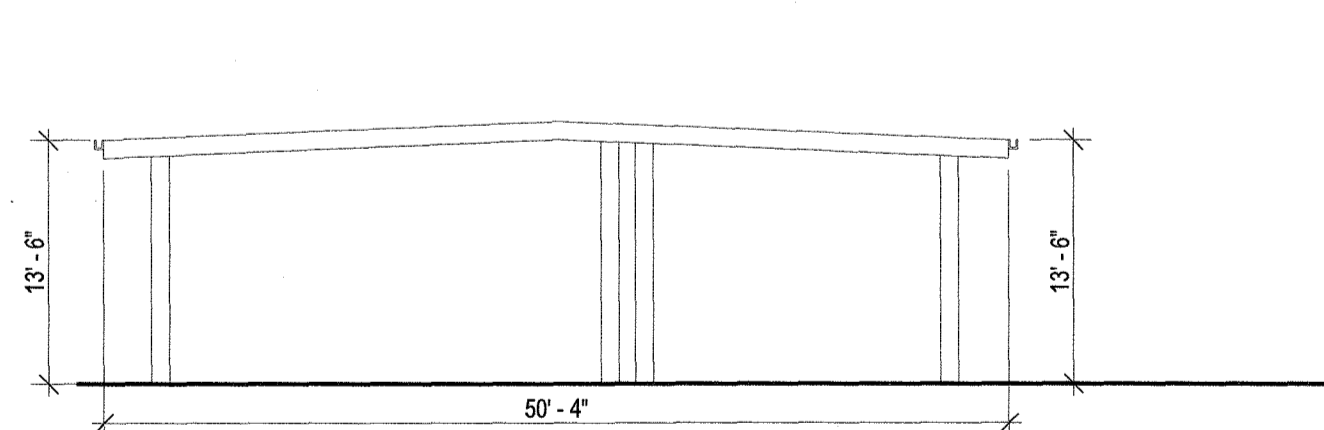
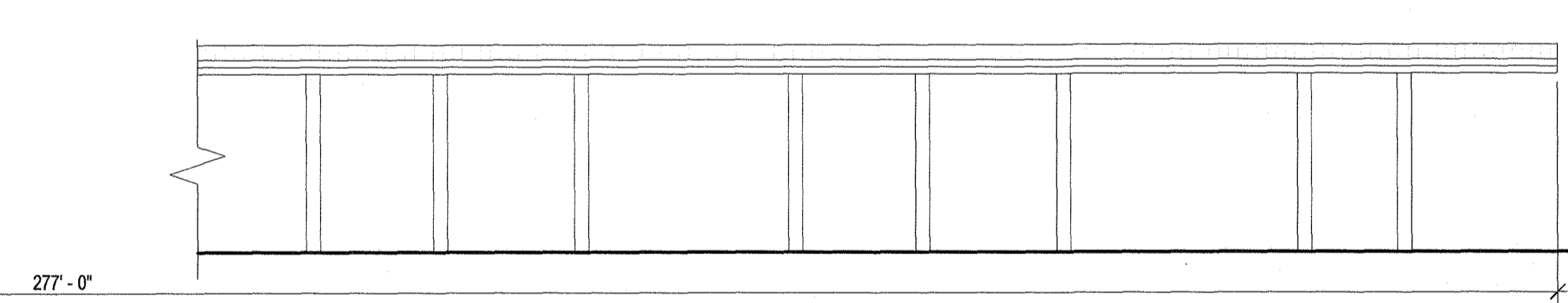
12 SLIDE GATE ELEVATION
SCALE: 1/8" = 1'-0"



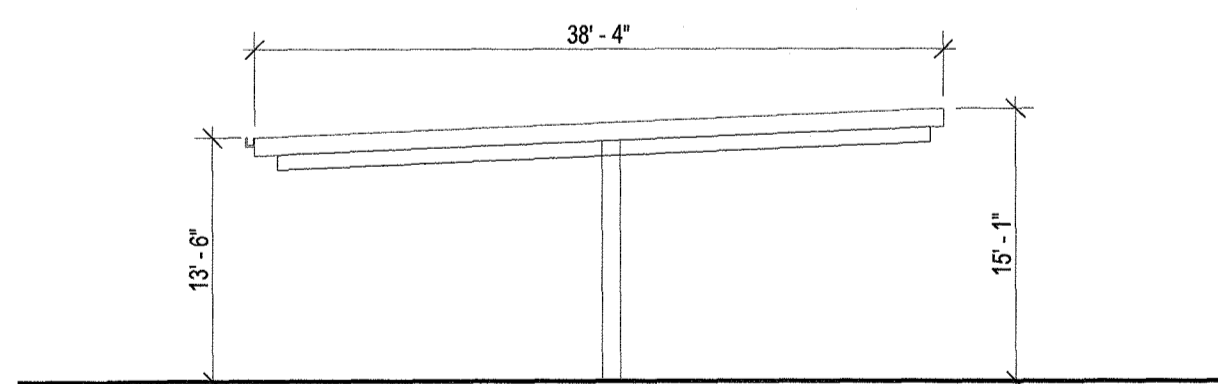
4 RV-1 - WEST ELEVATION
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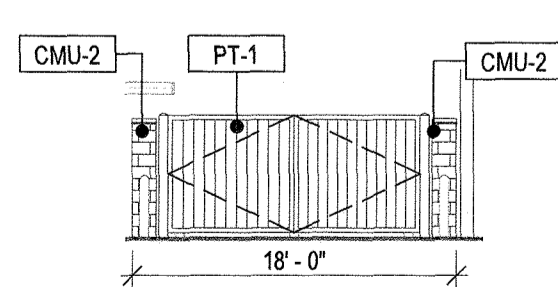
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SCALE: 3/32" = 1'-0"



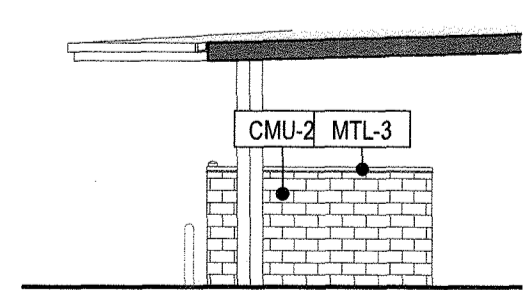
6 RV-2 - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



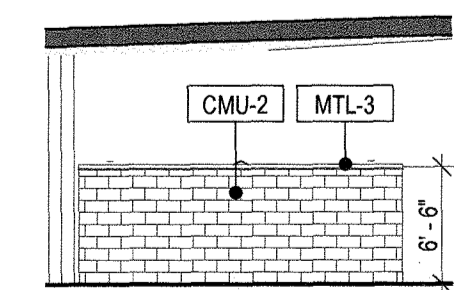
7 RV-2 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



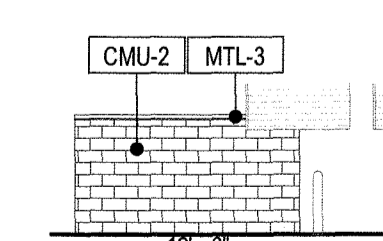
8 TRASH ENCLOSURE
SCALE: 3/32" = 1'-0"



9 TRASH ENCLOSURE 2
SCALE: 3/32" = 1'-0"



10 TRASH ENCLOSURE 3
SCALE: 3/32" = 1'-0"



11 TRASH ENCLOSURE 4
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND			
MARK	MATERIAL	COLOR	FINISH
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SF-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	KAWNEER #14
GL-1	VISION GLAZING	CLEAR	
PC-1	PRECAST COPING AND BASE	MEDIUM GRAY	
PT-1	PAINT	SW6871 POSITIVE RED	REF SPEC FOR LOCATION
PT-2	PAINT	SW9088 UTAUPEIA	REF SPEC FOR LOCATION
PT-3	PAINT	SW9079 DIVERSE BEIGE	REF SPEC FOR LOCATION
PT-4	PAINT	SW7055 ENDURING BRONZE	REF SPEC FOR LOCATION
PT-5	PAINT	SW7069 IRON ORE	REF SPEC FOR LOCATION
WD-1	EXTERIOR WALL TILE	FIRENZE WOOD CLOVES	NATURAL

NOTE: MP AT 4-STORY BUILDING TO BE 2" INSULATED PANEL
NON-INSULATED PANEL AT DRIVE-UP UNITS

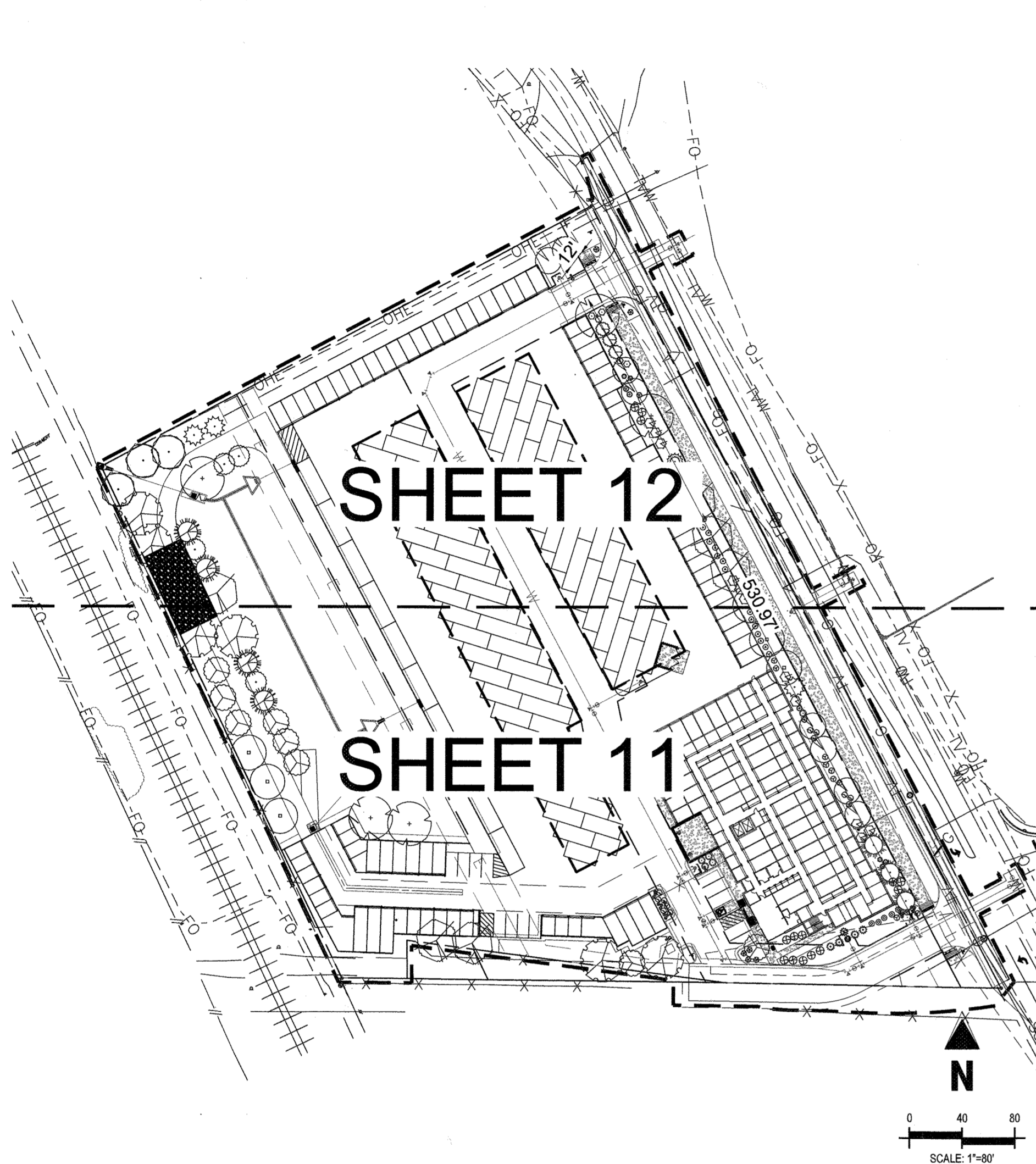
BUILDING ELEVATIONS
DATE: 24 JANUARY 2022
Sheet 9 of 15

Unofficial Copy

SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
SDP21-0022



OVERALL PLAN

CLWUR / WATER USE CHART

IRRIGATION ZONE	PLANT NAME (COMMON)	APP. RATE (INCHES/MONTH)	ZONE (V. LOW, LOW, MODERATE, HIGH)	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ. FT. FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TA (TOTAL AREA OF ALL LANDSCAPE ZONES)	CLWUR (LWUR X IA / TA)
SEED	NATIVE SEED	1.5 IN/MONTH	LOW	69.0%	45,810 SF	1.5	66,128 SF	1.04
DRIP	SHRUB BED (IRRIGATION, FABRIC, ROCK MULCH & EDGER)	1.5 IN/MONTH	LOW	31.0%	20,318 SF	1.5	66,128 SF	0.46
TOTAL OF THE CLWUR:				100.0%	66,128 SF		66,128 SF	1.5

COMMERCIAL LANDSCAPE SITE INVENTORY

GROSS SITE AREA	LANDSCAPE AREA IN SQ. FT.	TURFGRASS SEED MIX PER TOCR (AREA IN SQ. FT.)	NONLIVING ORNAMENTAL (AREA IN SQ. FT.)	TREES REQUIRED	TREES PROVIDED	# OF SHRUBS REQUIRED	# OF SHRUBS PROVIDED	SOIL PREP AMOUNTS (4 CU. YDS / 1000 SQ. FT.)	SEPARATE IRRIGATION SERVICES CONNECTIONS
5.39 AC 234,788 SF	23,478 SF REQUIRED LANDSCAPE AREA 66,128 SF PROPOSED LANDSCAPE AREA	15,598 SF WET MEADOW SEED MIX 30,212 SF LOW-GROW SEED MIX	3,802 SF	47	47	94	94	227 CY	YES
PARKING LOT (AREA IN SQ. FT.)	PARKING LOT LANDSCAPE AREA (SQ. FT.)	# OF PARKING SPACES	NONLIVING ORNAMENTAL (AREA IN SQ. FT.)	# OF INTERIOR LANDSCAPE ISLAND	MIN. WIDTH OF INTERIOR LANDSCAPE ISLANDS	# OF TREES REQUIRED	# OF TREES PROVIDED	# OF SHRUBS REQUIRED	# OF SHRUBS PROVIDED
9,561 SF	REQUIRED: 956 SF PROVIDED: 956 SF	11	0 SF	2	11.0'	2	2	8	8

* 1 TREE PER 40' STREET FRONTAGE (500 LF); REQUIRED TREES - 13, REQUIRED SHRUBS - 52
PROPOSED TREES - 13, PROPOSED SHRUBS - 52
** DUE TO UTILITY CONFLICTS, THE TREES BETWEEN THE SIDEWALK AND CURB OF STREET HAVE BEEN LOCATED ON THE INTERIOR SIDE OF THE SIDEWALK.
VARIANCE TCV21-0059 APPROVED FOR PARKING LOT LANDSCAPING

PLANTING LEGEND

PLANTING SIZE	WATER USE
QTY (MINIMUM)	(V,L,L,M,H)
DECIDUOUS TREES	
8	2" CAL. B&B L
6	2" CAL. B&B L
8	2" CAL. B&B L
5	2" CAL. B&B L
3	2" CAL. B&B L
6	2" CAL. B&B L
6	2" CAL. B&B L
EVERGREEN TREES	
4	6' HEIGHT B&B L
3	6' HEIGHT B&B L
3	6' HEIGHT B&B L
3	6' HEIGHT B&B L
3	6' HEIGHT B&B L
4	6' HEIGHT B&B L
DECIDUOUS SHRUBS	
11	#5 CONT. 18-24" VL
10	#5 CONT. 18-24" VL
15	#5 CONT. 18-24" VL
11	#5 CONT. 18-24" VL
14	#5 CONT. 18-24" VL
11	#5 CONT. 18-24" VL
EVERGREEN SHRUBS	
6	#5 CONT. 18-24" VL
5	#5 CONT. 18-24" L
5	#5 CONT. 18-24" L
5	#5 CONT. 18-24" L
5	#5 CONT. 18-24" L
5	#5 CONT. 18-24" L
ORNAMENTAL GRASSES	
15	#1 CONT. L
SEED	
15,598 SF	WET MEADOW NATIVE GRASS SEED
28,076 SF	NATIVE GRASS SEED
MULCH	
19,502 SF	MULCH N/A
AS NEEDED	MULCH N/A
EDGING	
400 LF	EDGING N/A

LANDSCAPE DATA:

TOTAL SITE AREA	100.0%	234,782 SF
REQUIRED LANDSCAPE MINIMUM	10.0%	23,467 SF
PROVIDED LANDSCAPE	27.0%	63,709 SF
PROVIDED LANDSCAPE TURF	0.0%	0 SF

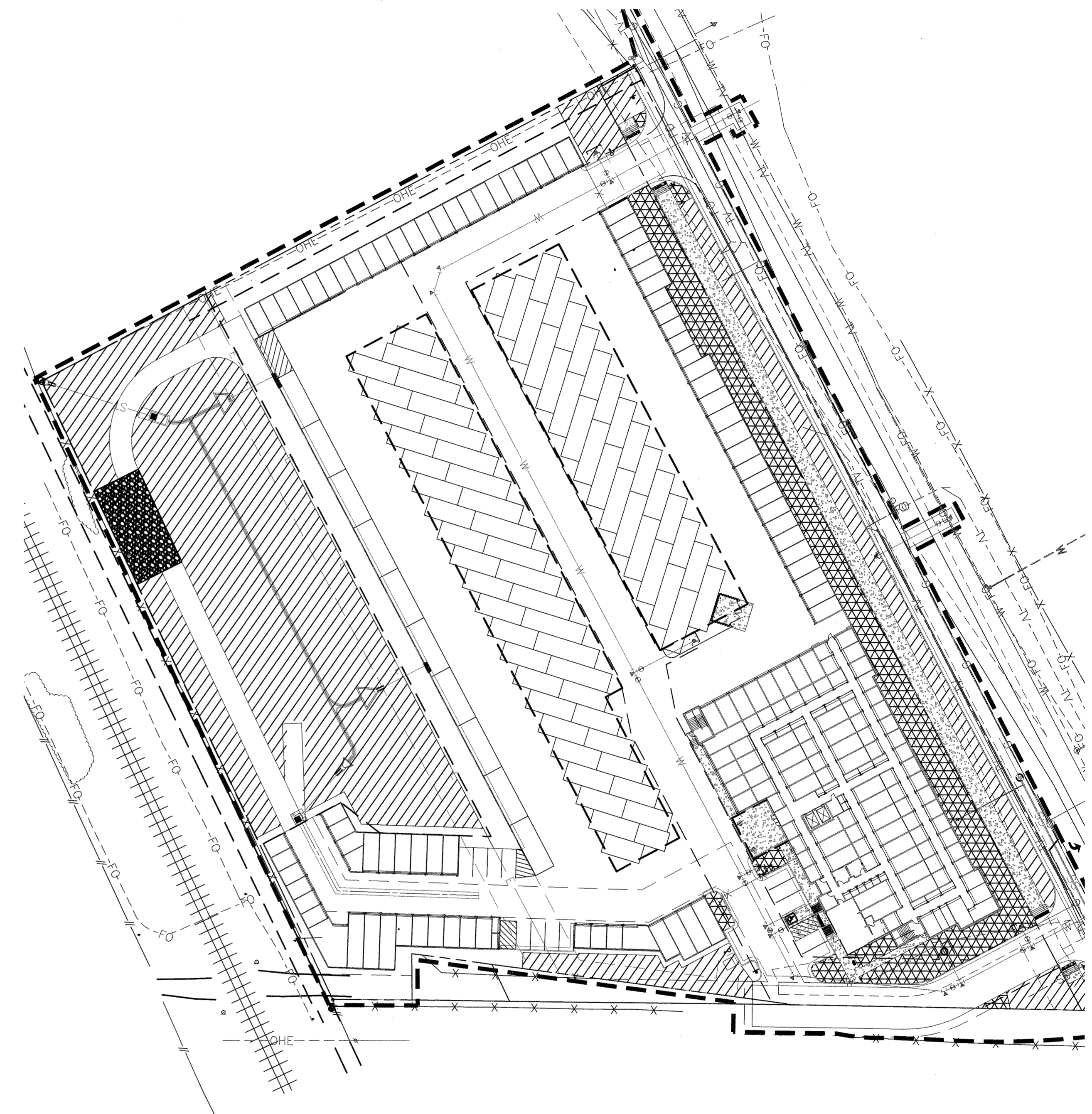
MINIMUM LANDSCAPE REQUIREMENTS:
A MINIMUM OF (2) TWO LARGE CANOPY TREES AND (4) FOUR TREES FOR EACH 1000 S.F. OF REQUIRED LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED.

REQUIRED:
23,467 SF/1000 S.F. LANDSCAPE AREA =
REQUIRED TREES: 23.5 x 2 = 47
REQUIRED SHRUBS: 23.5 x 4 = 94

PROVIDED:
TREES (68% DECIDUOUS, 32% EVERGREEN) 62
SHRUBS (72% DECIDUOUS, 28% EVERGREEN) 101
PERENNIALS/GRASSES 15

IRRIGATED SOD AREA 0 S.F. (0%)
IRRIGATED SEED AREA 44,924 S.F. (71%)
SHRUB & MULCH AREA 18,795 S.F. (29%)
LIVING GROUND COVER 56,695 S.F. (91.4%)
NON-LIVING GROUND COVER 5,307 S.F. (8.6%)

TOTAL STEEL EDGING (CASTLE ROCK REQUIRED LANDSCAPE EDGING TO BE ROLLED OR CAPPED) 400 LF



HYDROZONE MAP

HYDROZONE DATA

VERY LOW HYDROZONE: NATIVE SEED AREA	10.0%	23,467 SF
LOW HYDROZONE: SHRUB BED AREA	27.0%	63,709 SF

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

UTILITY NOTES

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TOWN OF CASTLE ROCK REGISTRATION INFORMATION:
CERTIFIED LANDSCAPE ARCHITECT
TOWN OF CASTLE ROCK REGISTRATION NUMBER
LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO

TIM NELSON
#16-1994
LA-122

OVERALL LANDSCAPE PLAN

DATE: 24 JANUARY 2022

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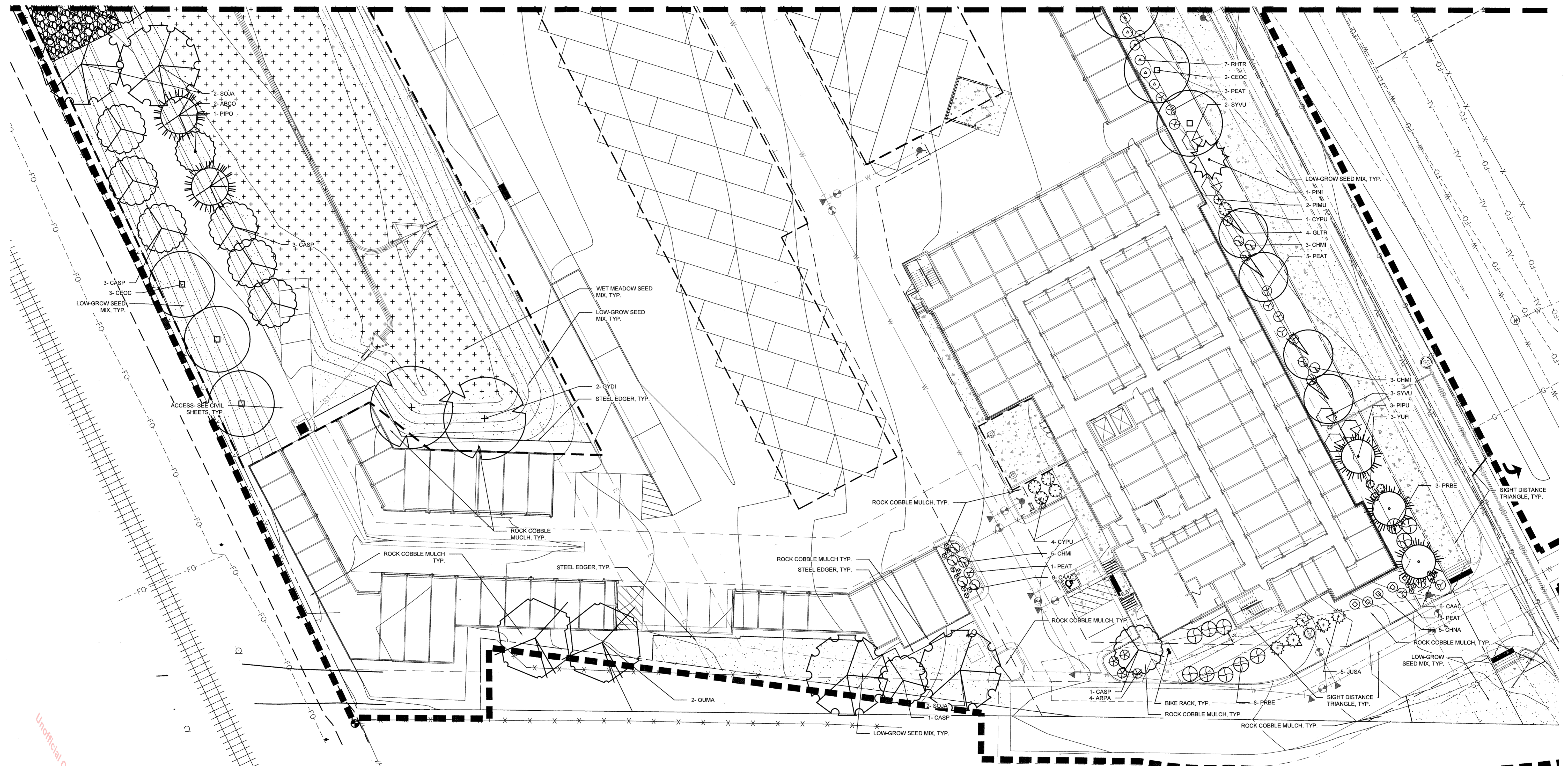
SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

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SDP21-0022

MATCHLINE: SEE SHEET 12

MATCHLINE: SEE SHEET 12

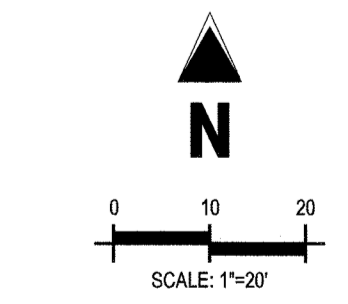


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LANDSCAPE PLAN
DATE: 24 JANUARY 2022
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#16-1994
LA-122

SITE DEVELOPMENT PLAN

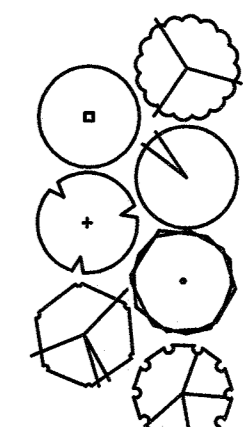
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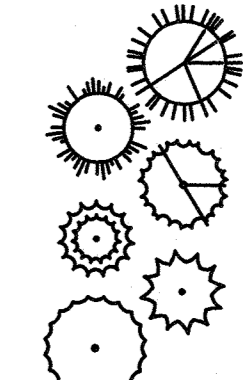
PLANTING LEGEND

QTY	PLANTING SIZE (MINIMUM)	WATER USE (V,L,L,M,H)
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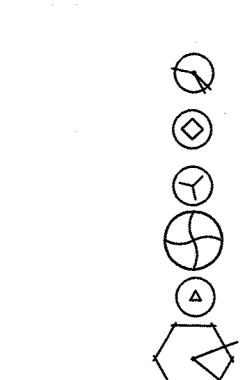
DECIDUOUS TREES		
8	2" CAL. B&B	L
6	2" CAL. B&B	L
8	2" CAL. B&B	L
5	2" CAL. B&B	L
3	2" CAL. B&B	L
6	2" CAL. B&B	L
6	2" CAL. B&B	L



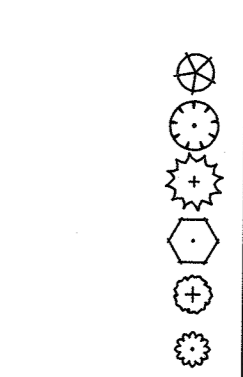
EVERGREEN TREES		
4	6" HEIGHT B&B	L
3	6" HEIGHT B&B	L
3	6" HEIGHT B&B	L
3	6" HEIGHT B&B	L
3	6" HEIGHT B&B	L
4	6" HEIGHT B&B	L



DECIDUOUS SHRUBS		
11	#5 CONT. 18-24"	VL
10	#5 CONT. 18-24"	VL
15	#5 CONT. 18-24"	VL
11	#5 CONT. 18-24"	VL
14	#5 CONT. 18-24"	VL
11	#5 CONT. 18-24"	VL



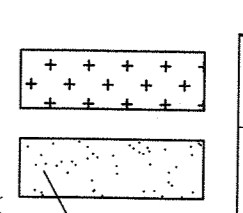
EVERGREEN SHRUBS		
6	#5 CONT. 18-24"	VL
5	#5 CONT. 18-24"	L
5	#5 CONT. 18-24"	L
5	#5 CONT. 18-24"	L
5	#5 CONT. 18-24"	L
5	#5 CONT. 18-24"	L



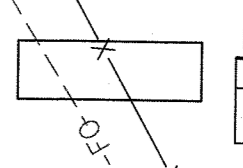
ORNAMENTAL GRASSES		
15	#1 CONT.	L



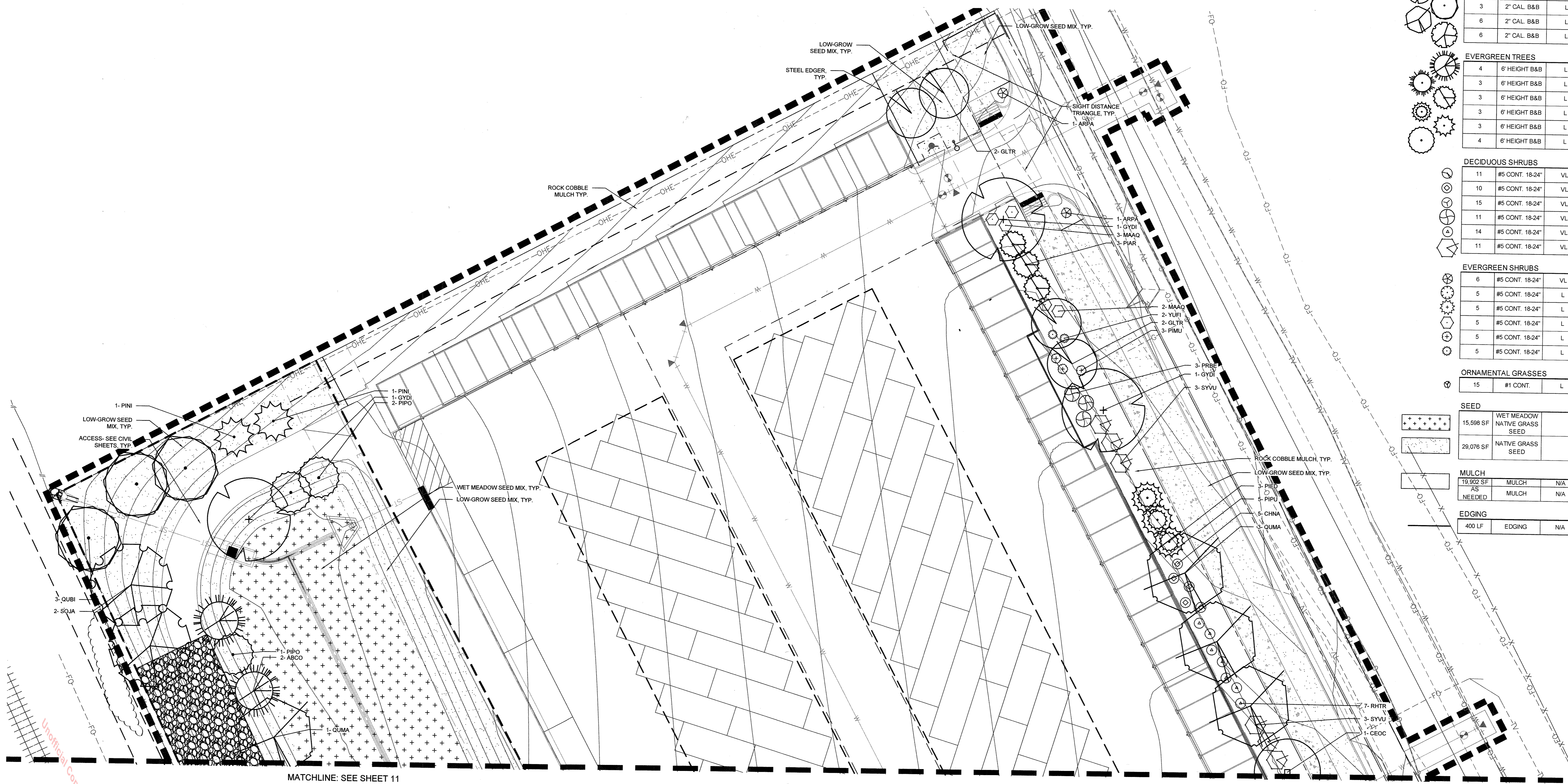
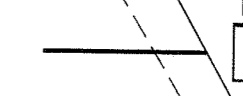
SEED	
15,598 SF	WET MEADOW NATIVE GRASS SEED
29,076 SF	NATIVE GRASS SEED



MULCH		
19,902 SF AS NEEDED	MULCH	N/A
	MULCH	N/A



EDGING		
400 LF	EDGING	N/A



MATCHLINE: SEE SHEET 11

MATCHLINE: SEE SHEET 11

CAUTION
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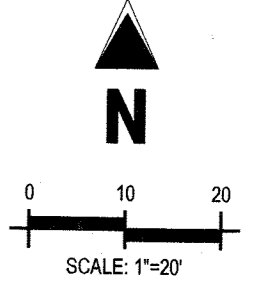
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#16-1994
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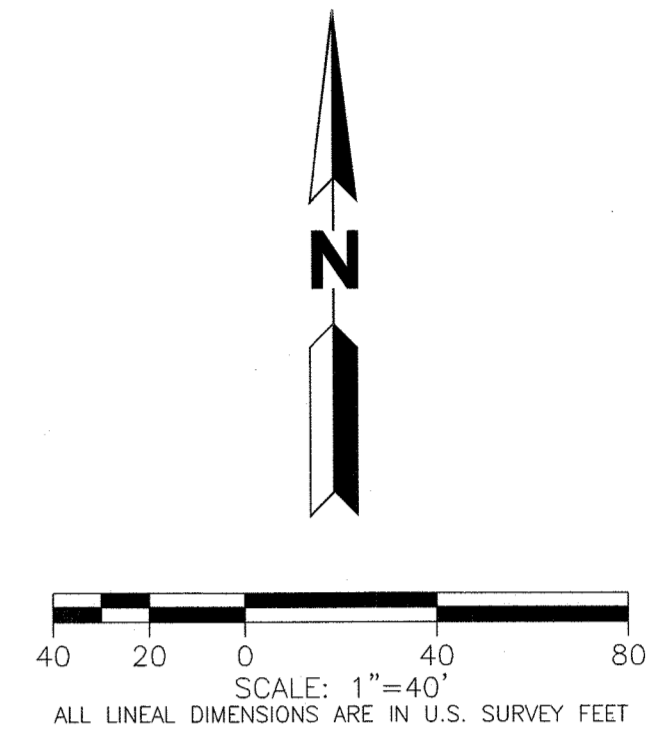
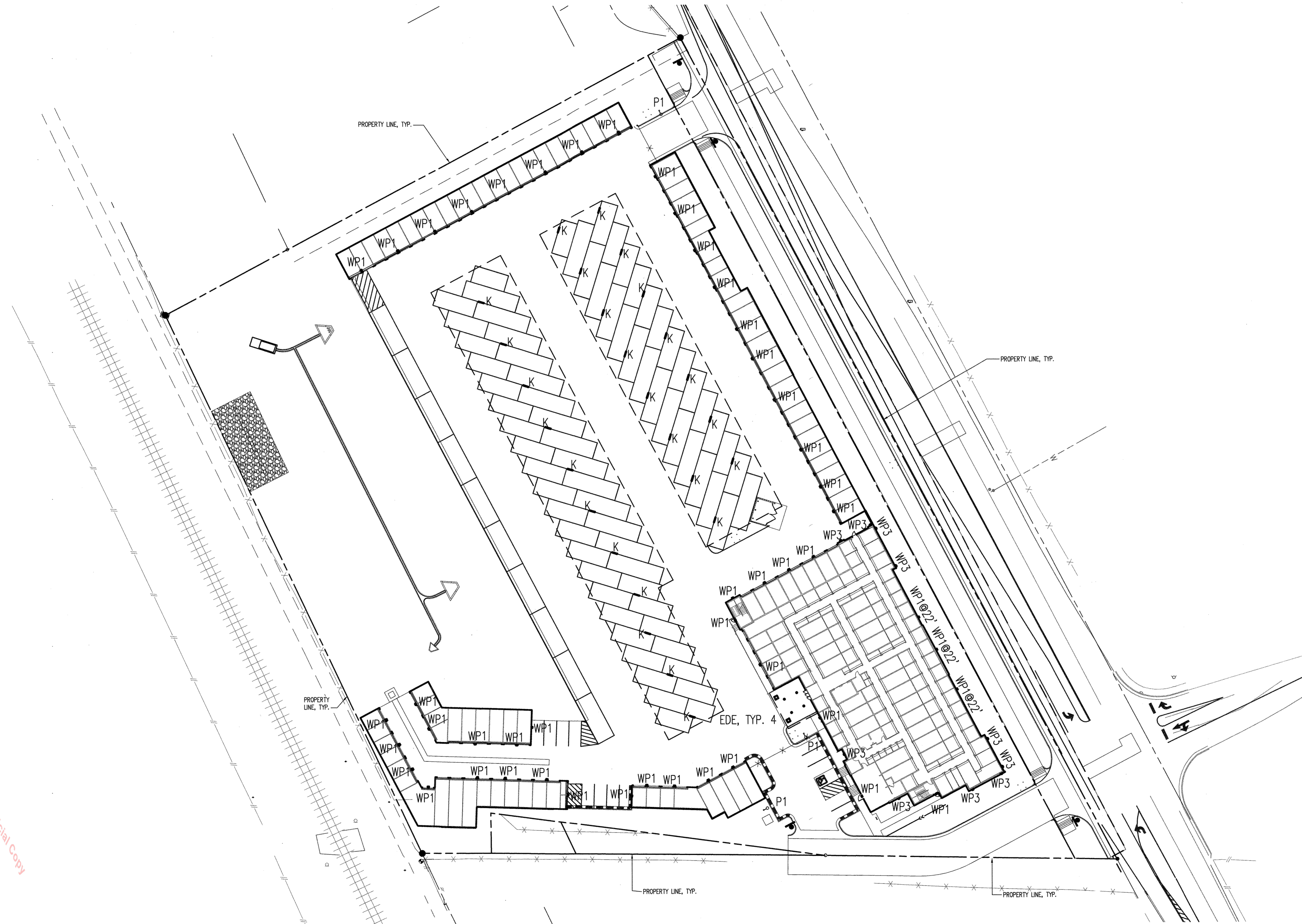
LANDSCAPE PLAN
DATE: 24 JANUARY 2022
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SITE DEVELOPMENT PLAN

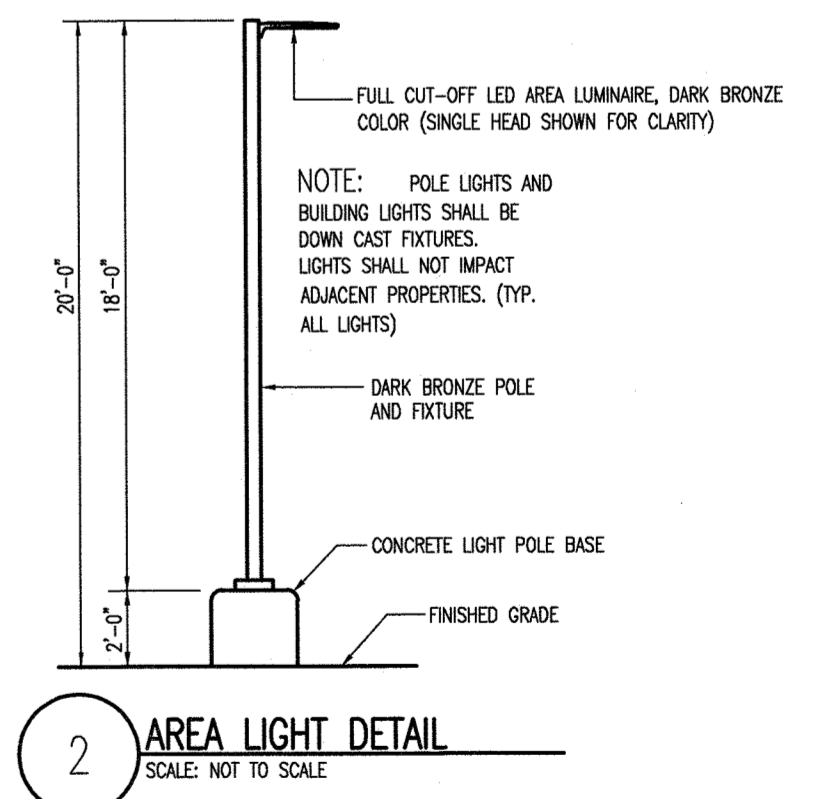
STORQUEST CASTLE ROCK

PARCEL 1, 2, AND 3 LOCATED IN SECTIONS 34 AND 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



GENERAL LIGHTING PLAN NOTES:

1. GENERAL ILLUMINATION PROVIDED TO PROTECT THE HEALTH, SAFETY AND WELFARE OF RESIDENTS OF THE TOWN BY COMPLYING WITH CHAPTER 17.58.010 OF THE MUNICIPAL CODE.
2. LIGHT TRESPASS TO ADJACENT PROPERTIES ON OUTER LIGHT FIXTURES.
3. ALL LIGHTS, EXCEPT THOSE REQUIRED FOR SECURITY PURPOSES, TO BE EXTINGUISHED BY A TIME CLOCK ONE HOUR AFTER CLOSE OF BUSINESS.
4. THE FOLLOWING TYPES OF LIGHTS ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING FACADE, AND UNSHIELDED WALL PACKS.



1 GENERAL LIGHTING PLAN
SCALE: 1"=40'-0"

MARK	SYMBOL	QTY	LAMP	HEIGHT	LLF	LUMENS	WATTS	MODEL #	DESCRIPTION
P1		3	LED	20'-0" POLE	1.0	9,520	92	DSX0 LED P4 30K 13M MVOLT PIRH DOBXD	LITHONIA LIGHTING, D-SERIES SIZE 0, LED AREA LIGHT, P4 LUMEN, 4000K COLOR TEMPERATURE, TYPE III MEDIUM DISTRIBUTION, BRONZE IN COLOR, MOUNTED ON POLE #SSS-18-4C-DM19AS-DOBXD ON 2' CONCRETE BASE
EDE		4	LED	10'-0" RECESSED	1.0	1,032	10.58	LDN4 30_10 L04AR LSS MVOLT EL W.	LITHONIA LIGHTING, 4" OPEN LED DOWNLIGHT, 3000K COLOR TEMPERATURE, 1000 LUMENS, CLEAR TRIM, SEMI-SPECULAR FINISH, EMERGENCY BATTERY PACK.
WP1		48	LED	8'-6" WALL	1.0	2,031	19.1	DSXW1 LED 10C 530 30K 13S MVOLT DOBXD	LITHONIA LIGHTING, D-SERIES SIZE 1, LED WALL LIGHT, 10 LED, 530 MA DRIVER, 3000K COLOR TEMPERATURE, TYPE III SHORT MEDIUM DISTRIBUTION, BRONZE IN COLOR
WP3		10	LED	7'-6"/14'-0" WALL	1.0	1,091	13.8	OLLWU LED P1 40K 120 DOB	LITHONIA LIGHTING, OLLWU, LED WALL CYLINDER LIGHT, P1 PERFORMANCE PACKAGE, 4000K COLOR TEMPERATURE, BRONZE IN COLOR
K		26	LED	13'-6" CANOPY	1.0	3,155	25.15	ZLIN L48 3000LM FST MVOLT 30K 80 CRI WH	LITHONIA LIGHTING, ZLIN, LED FULL CUT-OFF STRIP LIGHT, 48" LENGTH, 3000K COLOR TEMPERATURE, SYMMETRIC REFLECTOR, SNAP-ON FROSTED DIFFUSER, WHITE IN COLOR

G.C. TO DETERMINE VOLTAGE BEFORE ORDERING ANY EQUIPMENT

Unofficial Copy


SITE DEVELOPMENT PLAN

STORQUEST CASTLE ROCK

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SDP21-0022

D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.25 (40)
Length: 26" (660mm)
Width: 13" (330mm)
Height: 7" (178mm)
Weight: 16 lbs (7.3kg)

Ordering Information

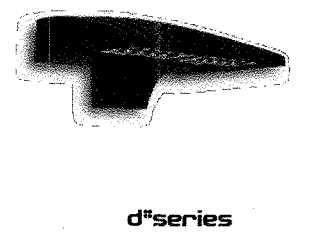
EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXX

Series	LED	Color Temperature	Beam Spread	Mounting	Finish	Notes
DSX0	LED	4000K	30°	Surface	White	

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

D-Series Size 1 LED Wall Luminaire



Specifications

Width: 13-3/4" (347mm)
Depth: 12" (305mm)
Height: 6-3/8" (162mm)

Back Box (BBW, ELCW)

Width: 13-3/4" (347mm)
Depth: 12" (305mm)
Height: 6-3/8" (162mm)

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-modern applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

LITHONIA LIGHTING®

FEATURES & SPECIFICATIONS

LDN4

4" Open and Wall/Wash LED

NEW CONSTRUCTION DOWNLIGHT

INTENDED USE - Ideal for office, conference rooms, lobbies, conference rooms and private offices.

CONSTRUCTION - Galvanized steel mounting/plaster frame, galvanized steel junction box with bottom-hinged access cover and spring hinges. Reflectors are cast in place.

OPTICS - LEDs are housed in a 3-step 500K, 90 CRI optional. LED light sources concealed with diffusing optical lens.

ELECTRICAL - Multi-watt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 7% minimum dimming level available.

LISTINGS - Certified to US and Canadian safety standards. Wet location standard (covered ceiling).

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/customer-support/terms-and-conditions

LITHONIA LIGHTING®

FEATURES & SPECIFICATIONS

OLLW LED & OLLWU

LED WALL CYLINDER LIGHT

INTENDED USE - Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION - Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS - 4000K CCT LED.

INSTALLATION - Surface mounts to universal junction box (provided by others).

LISTINGS - UL Listed to US and Canadian safety standards for wet locations.

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/customer-support/terms-and-conditions

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXX

Series	LED	Color Temperature	Beam Spread	Mounting	Finish	Notes
DSX0	LED	4000K	30°	Surface	White	

Shipped Included

DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXX

Shipped Separately

DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXX

Ordering Information

EXAMPLE: DSX1W LED 20C 1000 40K T3M MVOLT DBDXTX

Series	LED	Color Temperature	Beam Spread	Mounting	Finish	Notes
DSX1W	LED	4000K	30°	Surface	White	

Shipped Included

DSX1W LED 20C 1000 40K T3M MVOLT DBDXTX

Shipped Separately

DSX1W LED 20C 1000 40K T3M MVOLT DBDXTX

Ordering Information

EXAMPLE: LDN4 35/15 LDAR LSS MVOLT E21

Series	LED	Color Temperature	Beam Spread	Mounting	Finish	Notes
LDN4	LED	4000K	30°	Surface	White	

Shipped Included

LDN4 35/15 LDAR LSS MVOLT E21

Shipped Separately

LDN4 35/15 LDAR LSS MVOLT E21

LITHONIA LIGHTING®
One Lithonia Way • Conroy, Georgia 30012 • Phone: 1-800-765-5287 • www.lithonia.com
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LITHONIA LIGHTING®

FEATURES & SPECIFICATIONS

ZL1N

LED Striplight

INTENDED USE - Built on the compact, low-profile 2 step channel, this LED strip offers long maintenance-free life, several color temperatures, lumen output and lengths. Ideal for new construction and retrofit applications in 15 and 18 lengths. Ideal for lighting and downlight in commercial, retail, manufacturing, warehouse, and display applications. Gentle adhesive construction can diminish the integrity of acrylic and polycarbonate. Click them for Acuity Brands' AcuityBonds™ Connectors (sold separately).

CONSTRUCTION - Compact design channel and cover are formed from cast-aluminum alloy. Easy to install over a variety of surfaces. Includes adhesive backing for easy installation.

OPTICS - Standard diffuser strip on top of the LED strip. Improves uniformity and minimizes glare. LED strip is visible.

ELECTRICAL - 120V-60,000 hours. Utilizes high output LEDs integrated on a two-layer circuit board, ensuring long operating life. Optional aluminum pluggable terminal for reduced installation time in retrofit applications. Use the PLUG-IN terminal for easy installation. LED strip is visible for 15 and 18 lengths. Use the PLUG-IN terminal for easy installation. LED strip is visible for 15 and 18 lengths. Use the PLUG-IN terminal for easy installation.

INSTALLATION - Tool-free channel cover for easy installation.

LISTINGS - CSA certified to US and Canadian safety standards. For use in damp locations where ambient temperature does not exceed 80°F (27°C).

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/customer-support/terms-and-conditions

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LIGHTING CUT SHEET
DATE: 24 JANUARY 2022
PAGE 15 OF 15 PAGES

CALIFORNIA JURAT WITH AFFIANT STATEMENT

GOVERNMENT CODE § 8202

- See Attached Document (Notary to cross out lines 1-6 below)
- See Statement Below (Lines 1-6 to be completed only by document signer[s], *not* Notary)

1 _____
 2 _____
 3 _____
 4 _____
 5 _____
 6 _____

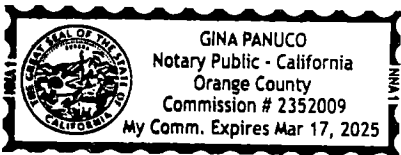
Signature of Document Signer No. 1 Signature of Document Signer No. 2 (if any)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and **not** the truthfulness, accuracy, or validity of that document.

State of California
 County of orange

Subscribed and sworn to (or affirmed) before me
 on this 7th day of February, 2022
 by Date Month Year

(1) Edward Paul Zinke
 (and (2) _____),
 Name(s) of Signer(s)



proved to me on the basis of satisfactory evidence
 to be the person(s) who appeared before me.

Signature Gina Panuco
 Signature of Notary Public

Seal
 Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document storquest Castle Rock
 Title or Type of Document: Site Development Plan Document Date: 2/7/22
 Number of Pages: _____ Signer(s) Other Than Named Above: _____