

# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**OWNER**  
TOWN OF CASTLE ROCK  
100 NORTH WILCOX STREET  
CASTLE ROCK, COLORADO 80104

**OWNER/DEVELOPER:**  
EVC-OR FOUNDERS, LLC  
5551 SUNNEXE ROAD  
FAIRWAY, KS 66205  
CONTACT: MARK MCPHERSON  
PHONE: (785) 925-1027

**LAND SURVEYOR:**  
CHARLES N. BECKSTROM, PLS NO. 33202  
FOR AND ON BEHALF OF  
ENGINEERING SERVICE COMPANY  
1300 S. POTOMAC ST. SUITE 126  
AURORA, COLORADO 80012  
PHONE: 303-537-1353

**CIVIL ENGINEER:**  
JON N. ANDRESEN JR., P.E. No. 35118  
FOR AND ON BEHALF OF  
GALLOWAY & COMPANY, INC.  
5300 DTC PARKWAY, SUITE 100  
GREENWOOD VILLAGE, COLORADO 80111  
PHONE: (303) 770-8884

**LEGAL DESCRIPTION:**  
A PORTION OF LAND BEING LOT 6, COOPER-HOOK/MAINPLACE FILING NO. 1,  
AS RECORDED AT RECEPTION NO. 2001072959, AND TRACT A, METZLER  
RANCH FILING NO. 3, AS RECORDED AT RECEPTION NO. 2001055443,  
DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE AND SITUATED IN THE  
W 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M., TOWN OF CASTLE  
ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**GENERAL NOTES:**

- THE BEARINGS USED HEREON ARE BASED UPON THE ASSUMPTION THAT THE WEST LINE OF S1/2 OF THE N1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO BARS N0272925 AS REFERENCED ON SAID RECORDED PLAT AND AS BOUND BY THE MONUMENTS SHOWN HEREON.
- THIS SITE IS NOT SITUATED IN A FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 080050 0186 C, DATED SEPTEMBER 30, 1987. HOWEVER, THIS FLOOD MAP INDICATES THAT THE LIMIT OF STUDY IS ON THE WEST SIDE OF INTERSTATE 25 AND TERMINATES AT THE WESTERY R.O.W. LINE OF INTERSTATE 25.
- BENCHMARK: TOWN OF CASTLE ROCK GPS CONTROL POINT #14 DESCRIBED AS QUARTER SECTION CORNER SECTION 27 AND 28, PUBLISHED ELEVATION: 5174.60 NAVD 1988.
- APPROVAL AND ISSUANCE OF A SEPARATE SIGN PERMIT FOR EACH SIGN WITHIN THIS PROJECT SHALL BE REQUIRED PRIOR TO INSTALLATION OF ANY SIGNAGE ON THIS SITE. ALL PERMITTED SIGNAGE SHALL BE IN CONFORMANCE WITH PD ZONING FOR THE SHOPPES ON FOUNDERS AND WITH THE TOWN OF CASTLE ROCK SIGN REGULATIONS.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY, FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN. FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- ANY DEVIATION FROM TOWN REGULATIONS OR STANDARDS DEPICTED IN THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN ARE SUBJECT TO FINAL REVIEW AND APPROVAL OF THE FINAL PLAT AND ASSOCIATED DOCUMENTS.
- NO SOLID OBJECT EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED IN A SIGHT DISTANCE EXCEPT AS SHOWN ON THIS SITE PLAN.
- RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS (CD'S). THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK'S WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- PORTIONS OF THE SITE ARE WITHIN THE TOWN OF CASTLE ROCK'S MINOR RIDGE LINE AREA AND MUST COMPLY WITH SECTION 17.14.60.

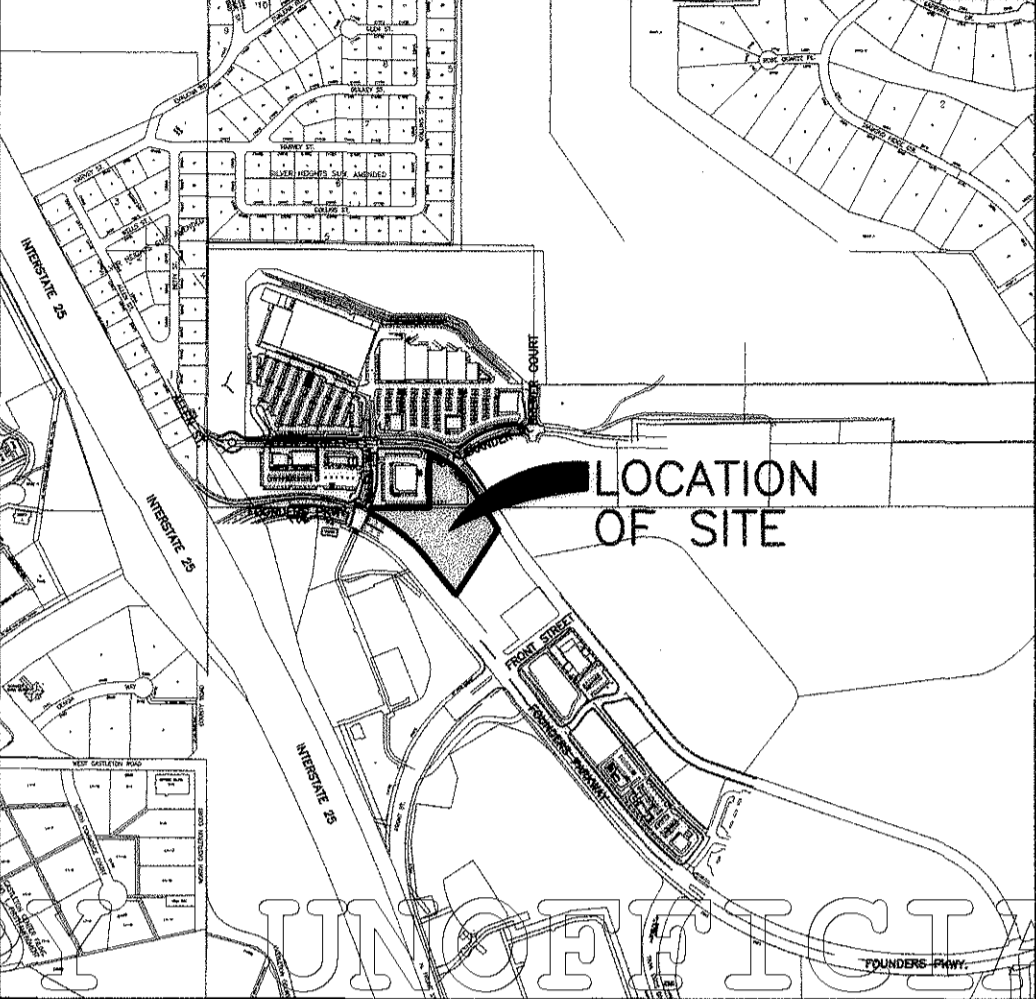
**NOTES**

- DATE OF SURVEY: JULY 15, 2009
- THE SURVEY WAS BASED ON TITLE COMMITMENT NUMBER 597-H0246455-036-G00 PREPARED BY HERITAGE TITLE COMPANY AS AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF JUNE 9, 2008 AT 8:00 A.M., AND TITLE COMMITMENT NUMBER 507-H0245371-036-G00, AMENDMENT NO. 4 PREPARED BY HERITAGE TITLE COMPANY AS AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF JUNE 1, 2009 AT 8:00 A.M., AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR OTHER EASEMENTS AND/OR EXCEPTIONS OF RECORD.
- BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTH 1/2 OF THE N 1/2 OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING 389°38'42" E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

**NOTICE**

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THE SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THE SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFEATS ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITMENT CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.



**VICINITY MAP**  
SCALE: 1"=1000'

**SITE DATA**

ZONING:	PD-COMMERCIAL AS SHOWN	% OF LOT AREA	ACRES
SETBACK:	35'		
BUILDING HEIGHT:			
<b>LAND COVERAGE:</b>			
LOT AREAS:	S.F.		
LOT 1	42,230	24.24%	0.9686
LOT 2	73,970	42.46%	1.6981
LOT 3	44,153	25.33%	1.0132
LOT TOTAL	160,353	92.03%	3.6807
AVERAGE LOT SIZE = 55,444 S.F.			
MINIMUM LOT SIZE = NONE			
MAXIMUM LOT SIZE = 160,353 S.F.			
<b>DEDICATIONS TO TOWN:</b>			
TRACT A	2,048	1.16%	0.0470
ROW DEDICATION	11,845	6.80%	0.2718
DEDICATION TOTAL	13,894		0.3189
TOTAL	174,227	100.00%	3.9997
<b>BUILDINGS:</b>			
COMMERCIAL A (LOT 1)	4,218	2.63%	0.097
COMMERCIAL B (LOT 2)	6,760	4.23%	0.150
COMMERCIAL C (LOT 2)	6,334	3.95%	0.145
COMMERCIAL D (LOT 3)	7,175	4.72%	0.174
BUILDINGS TOTAL	24,907	15.53%	0.572
LANDSCAPE AREA:	43,001	26.82%	0.987
HARDSCAPE AREA:	92,425	57.65%	2.122
PARKING LOT AREA:	58,515	36.50%	1.343

NOTE: ALL BUILDING, LANDSCAPE, HARDSCAPE AND PARKING LOT AREA PERCENTAGES BASED ON LOT TOTAL ONLY

**SIGNAGE:**  
SIGN ALLOCATIONS PURSUANT TO PD-ZONING FOR THE SHOPPES ON FOUNDERS

USER/TENANT	MAXIMUM SQUARE FOOTAGE ALLOCATION (SQUARE FEET)
COMMERCIAL A	300 SF (SINGLE TENANT)
COMMERCIAL B	400 SF (MULTI-TENANT)
COMMERCIAL C	400 SF (MULTI-TENANT)
COMMERCIAL D	300 SF (SINGLE TENANT)
JOINT ID SIGNS (2)	400 SF (200 SF EACH SIGN - 100 SF EACH FACE)

**SINGLE FAMILY EQUIVALENTS (SFE) FOR WATER TAPS:**

1" WATER TAP	3 x 2 SFE = 6 SFE
3/4" WATER TAP	1 x 1.00 SFE = 1 SFE
TOTAL SFE	7 SFE

\* ESTIMATE INCLUDES BOTH DOMESTIC WATER AND IRRIGATION DEMAND

**PARKING BASED ON PD REGULATIONS**

Use	SQ FT	Ratio	Minimum Parking Spaces	Maximum Parking Spaces
Tenant A-1 (Restaurant)	4,218	4.5 / 1,000 SF	19.0	
Tenant B-1 (Restaurant)	2,675	4.5 / 1,000 SF	12.0	
Tenant B-2 (Retail)	1,510	4.5 / 1,000 SF	6.8	
Tenant B-3 (Restaurant)	2,238	4.5 / 1,000 SF	10.1	
Tenant C-1 (Restaurant)	2,242	4.5 / 1,000 SF	10.1	
Tenant C-2 (Medical Office)	4,094	4.5 / 1,000 SF	18.4	
Tenant D-1 (Retail/Auto Service)	7,575	1.0 / Employee		
		3.0 / Bay		
		4.5 / 1,000 SF	34.1	
Less Service Bays (Estimate)	(4,545)	4.5 / 1,000 SF	(20.5)	
			<b>90.0</b>	
*Shopping Center* - Minimum	4.5 / 1,000 SF		90.0	N/A
*Shopping Center* - Maximum				

**Actual Parking Spaces Per Site Plan: 164.0**

\* Exclusions: Utility rooms, restrooms, service/parking bays, patio dining areas.  
\* Drive-Thru Stacking: 3 for financial/banking/retail; 8 for restaurant.  
\* Allowed uses are listed in PD Zoning Regulations and are not based solely on uses shown in parking table

**SHEET INDEX**

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6 of 18	LANDSCAPE PLAN AND NOTES	
7 of 18	LANDSCAPE DETAILS	
8 of 18	PRELIMINARY IRRIGATION PLAN	
9 of 18	IRRIGATION PLAN NORTH	
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11 of 18	IRRIGATION LEGEND AND NOTES	
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**TITLE CERTIFICATION:**  
I, Eric Stearns, AN AUTHORIZED REPRESENTATIVE OF Heritage Title Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 31<sup>st</sup> DAY OF August, 2011

Eric Stearns  
AUTHORIZED REPRESENTATIVE  
Heritage Title Company  
TITLE INSURANCE COMPANY

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 31<sup>st</sup> DAY OF August, 2011  
BY Eric Stearns as title officer

WITNESS MY HAND AND OFFICIAL SEAL  
Mejissa S Walker  
NOTARY PUBLIC  
STATE OF COLORADO  
My commission expires 10/25/2013

**OWNERSHIP CERTIFICATION:**  
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE SHOPPES ON FOUNDERS IN THE TOWN OF CASTLE ROCK.

EVC-OR FOUNDERS, LLC, A COLORADO LIMITED LIABILITY COMPANY  
SIGNED THIS 29<sup>th</sup> DAY OF Aug., 2011

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 29<sup>th</sup> DAY OF August, 2011  
BY MARK MCPHERSON, MANAGER

Joel Poindexter  
WITNESS MY HAND AND OFFICIAL SEAL  
NOTARY PUBLIC  
STATE OF COLORADO  
My commission expires 04/16/2014

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE SHOPPES ON FOUNDERS IN THE TOWN OF CASTLE ROCK.

TOWN OF CASTLE ROCK, A COLORADO MUNICIPAL CORPORATION  
SIGNED THIS 12<sup>th</sup> DAY OF Sept, 2011  
Paul Donahue  
MAYOR

Sally Muir  
ATTEST: TOWN CLERK

WITNESS MY HAND AND OFFICIAL SEAL  
Paul Donahue  
MAYOR  
Sally Muir  
TOWN CLERK

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 12<sup>th</sup> DAY OF September, 2011  
BY Paul Donahue

WITNESS MY HAND AND OFFICIAL SEAL  
Paul Donahue  
NOTARY PUBLIC  
STATE OF COLORADO  
My Commission Expires 09/06/2012

**TOWN CERTIFICATION**  
A. PLANNING COMMISSION RECOMMENDATION:  
THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR THE SHOPPES ON FOUNDERS WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 26<sup>th</sup> DAY OF MAY, 2011

CHAIR Jesse Lee 9/2/11  
DATE  
Paul Donahue 9/11/11  
DIRECTOR OF DEVELOPMENT SERVICES  
DATE

B. TOWN COUNCIL APPROVAL:  
THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR THE SHOPPES ON FOUNDERS WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 21<sup>st</sup> DAY OF JUNE, 2011

Paul Donahue 9/12/11  
MAYOR  
Sally Muir 9/12/11  
TOWN CLERK

WITNESS MY HAND AND OFFICIAL SEAL  
Paul Donahue  
MAYOR  
Sally Muir  
TOWN CLERK

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 30<sup>th</sup> DAY OF August, 2011  
BY Edward J. Brady

WITNESS MY HAND AND OFFICIAL SEAL  
Joyce L. White  
NOTARY PUBLIC  
STATE OF COLORADO  
My Commission Expires 09/06/2012

**LIENHOLDER SUBORDINATION CERTIFICATE**  
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE SHOPPES ON FOUNDERS IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON AUGUST 8, 2011 AT RECEPTION NO. 2011042778 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

Edward J. Brady  
FIRSTBANK  
SIGNED THIS 30<sup>th</sup> DAY OF August, 2011

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 30<sup>th</sup> DAY OF August, 2011  
BY Edward J. Brady

WITNESS MY HAND AND OFFICIAL SEAL  
Joyce L. White  
NOTARY PUBLIC  
STATE OF COLORADO  
My Commission Expires 09/06/2012

**LIENHOLDER SUBORDINATION CERTIFICATE**  
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Edward J. Brady  
FIRSTBANK  
SIGNED THIS 30<sup>th</sup> DAY OF August, 2011

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 30<sup>th</sup> DAY OF August, 2011  
BY Edward J. Brady

WITNESS MY HAND AND OFFICIAL SEAL  
Joyce L. White  
NOTARY PUBLIC  
STATE OF COLORADO  
My Commission Expires 09/06/2012

**CIVIL ENGINEER'S STATEMENT:**  
I, JON N. ANDRESEN JR., BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Jon N. Andresen Jr.  
PROFESSIONAL ENGINEER NO. 35118  
08-31-11

**SURVEYOR'S CERTIFICATE:**  
I, CHARLES N. BECKSTROM, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE (NAME OF PROJECT) WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Charles N. Beckstrom 8/31/11  
CHARLES N. BECKSTROM  
COLORADO P.L.S. NO. 33202

**DOUGLAS COUNTY CLERK & RECORDER'S CERTIFICATE:**  
THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:11 ON THE 3<sup>rd</sup> DAY OF October, 2011

AT RECEPTION NO. 2011091205  
DOUGLAS COUNTY CLERK AND RECORDER  
Christine Davis  
DEPUTY

REVISION	No.	DESCRIPTION	DATE
1	1	Revisions per town comments to 1st submittal	04/07/11
2	2	REVISIONS FOR PLANNING COMMISSION	05/15/11
3	3	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	06/08/11
4	4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL - MTLARS	07/28/11
5	5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - MTLARS	08/25/11

**Galloway**  
Planning, Architecture, Engineering  
5300 DTC Parkway, Suite 100  
Greenwood Village, CO 80111  
303.770.8888  
www.gallowayus.com

**EQUITY VENTURES**  
COMMERCIAL DEVELOPMENT

**JOHN N. ANDRESEN JR.**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 35118  
08-31-11

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHOPPES ON FOUNDERS  
PROJECT No. PPP 11-001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No: EQV000001  
Sheet Scale: AS SHOWN  
Designed By: JNA  
Drawn By: JNA  
Date: FEBRUARY 2011  
Disk File: EQV01\_P-01-Cover\_Sheet

**COVER SHEET**



# PRELIMINARY PLAT/FINAL PD SITE PLAN

## THE SHOPPES ON FOUNDERS

A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
AND TRACT A, METZLER RANCH FILING NO. 3  
SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### SITE LEGEND

	PROPERTY BOUNDARY LINE
	INTERNAL LOT LINES
	ADJACENT PROPERTY BOUNDARY LINE
	EASEMENT BOUNDARY LINE
	TRAFFIC DIRECTION
	PARKING COUNT
	SITE LIGHTING
	WALL PACK LIGHT
	EXISTING LIGHT POLE
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING MANHOLE COVER
	PROPOSED MANHOLE COVER
	UTILITY PESTEDAL
	EXISTING INLET
	PROPOSED INLET
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	PROPOSED NEW
	PROPOSED RETAINING WALL

### SCHEDULE

1	PROPOSED COMMERCIAL BUILDING (SIZED AS NOTED)
2	PROPOSED PATIO AREA
3	PROPOSED AWNING
4	PROPOSED TRASH ENCLOSURE WITH CONCRETE FRONT APRON
5	PROPOSED 9'X18' PARKING SPACE
6	PROPOSED 9'X18' PARKING SPACE
7	PROPOSED 9'X18' HANDICAPPED SPACE WITH ACCESSIBLE AISLE AND SIGNAGE
8	PROPOSED HANDICAPPED RAMP
9	PROPOSED CONCRETE WHEEL STOPS
10	PROPOSED CONCRETE WALKS
11	PROPOSED CONCRETE STAIRS WITH RAILING TO CONNECT TO EXISTING SIDEWALK ON FOUNDERS
12	PROPOSED ADA ACCESSIBLE ROUTE (5% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS SLOPE)
13	PROPOSED ASPHALT PAVING
14	PROPOSED TIE IN TO EXISTING WALGREEN'S DRIVES
15	PROPOSED CONCRETE CURB AND GUTTER
16	PROPOSED RETAINING WALL
17	PROPOSED RECTANGULAR CONCRETE TRICKLE CHANNEL ABOVE RETAINING WALL (3' WIDE X 6" DEEP)
18	PROPOSED SITE LIGHT
19	PROPOSED MONUMENT SIGN
20	PROPOSED LANDSCAPING
21	PROPOSED MENU BOARD
22	EXISTING BUILDINGS TO REMAIN
23	EXISTING PAVING TO REMAIN
24	EXISTING CONCRETE SIDEWALK TO REMAIN
25	EXISTING HANDICAPPED RAMP TO REMAIN
26	EXISTING STREET TO REMAIN
27	EXISTING CONCRETE CROSSSPAN TO REMAIN
28	EXISTING MONUMENT SIGN TO REMAIN
29	EXISTING LIGHT POLE TO REMAIN
30	EXISTING UTILITY EASEMENT (RECEPTION NO. 0204-429) TO BE ABANDONED WITH FINAL PLAT. EXISTING EASEMENT MUST REMAIN INTACT UNTIL NEW WATER MAINS ARE CONSTRUCTED AND OPERATIONAL.
31	EXISTING STREET LIGHT TO REMAIN
32	EXISTING STREET SIGN TO REMAIN
33	EXISTING 10' UTILITY EASEMENT (REC. NO. 01072259) TO REMAIN
34	EXISTING 10' UTILITY EASEMENT (REC. NO. 2001055443) TO REMAIN
35	EXISTING SIGHT EASEMENT (BK.2361-PG.563) TO REMAIN
36	EXISTING 23' RESERVE (REC. NO. 2001055443) TO BE DEDICATED TO TOWN OF CASTLE ROCK WITH FINAL PLAT
37	PROPOSED UTILITY AND DRAINAGE EASEMENT
38	EXISTING 10' NATURAL GAS EASEMENT (BK.179-PG.145 & 146) TO REMAIN
39	20' TRAFFIC SIGNAL EASEMENT (BK.1396-PG.1682)
40	EXISTING 8.5' RESERVATION (REC. NO. 2001055443) TO BE DEDICATED TO TOWN OF CASTLE ROCK WITH FINAL PLAT.
41	PROPOSED DETECTABLE WARNING PAD TO BE CUT INTO EXISTING HANDICAPPED RAMP.
42	ALLOWABLE AREA FOR TOWN SIGN
43	PROPOSED HANDICAPPED RAMP PER TOWN OF CASTLE ROCK STANDARDS

NO.	REVISION	DATE
1	Revisions per Town comments to 1st Submittal	04/07/11
2	REVISIONS FOR PLANNING COMMISSION	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	08/26/11

**Galloway**  
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Greenwood Village, CO 80111  
303.770.8884  
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**EQUITY VENTURES**  
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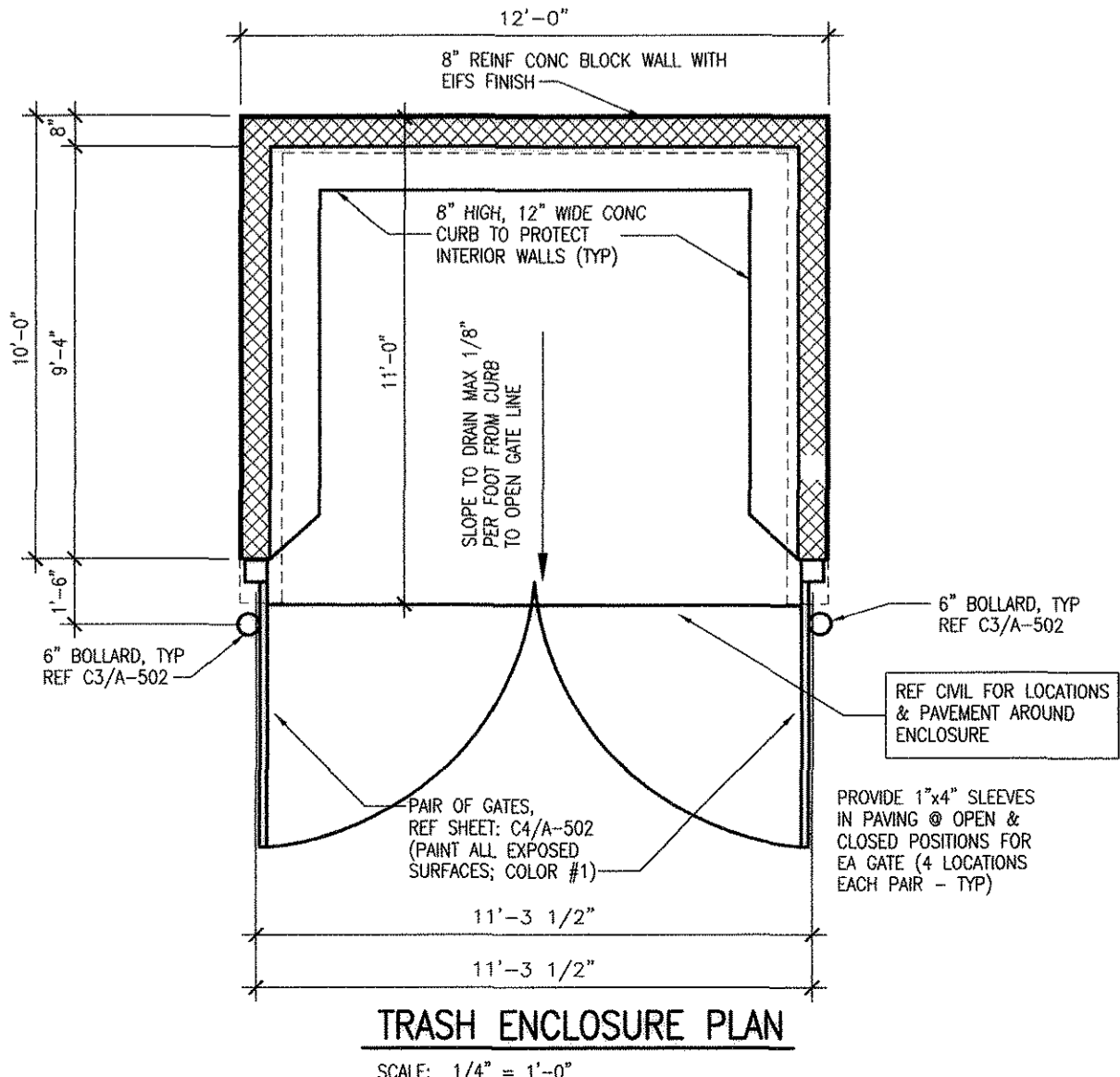
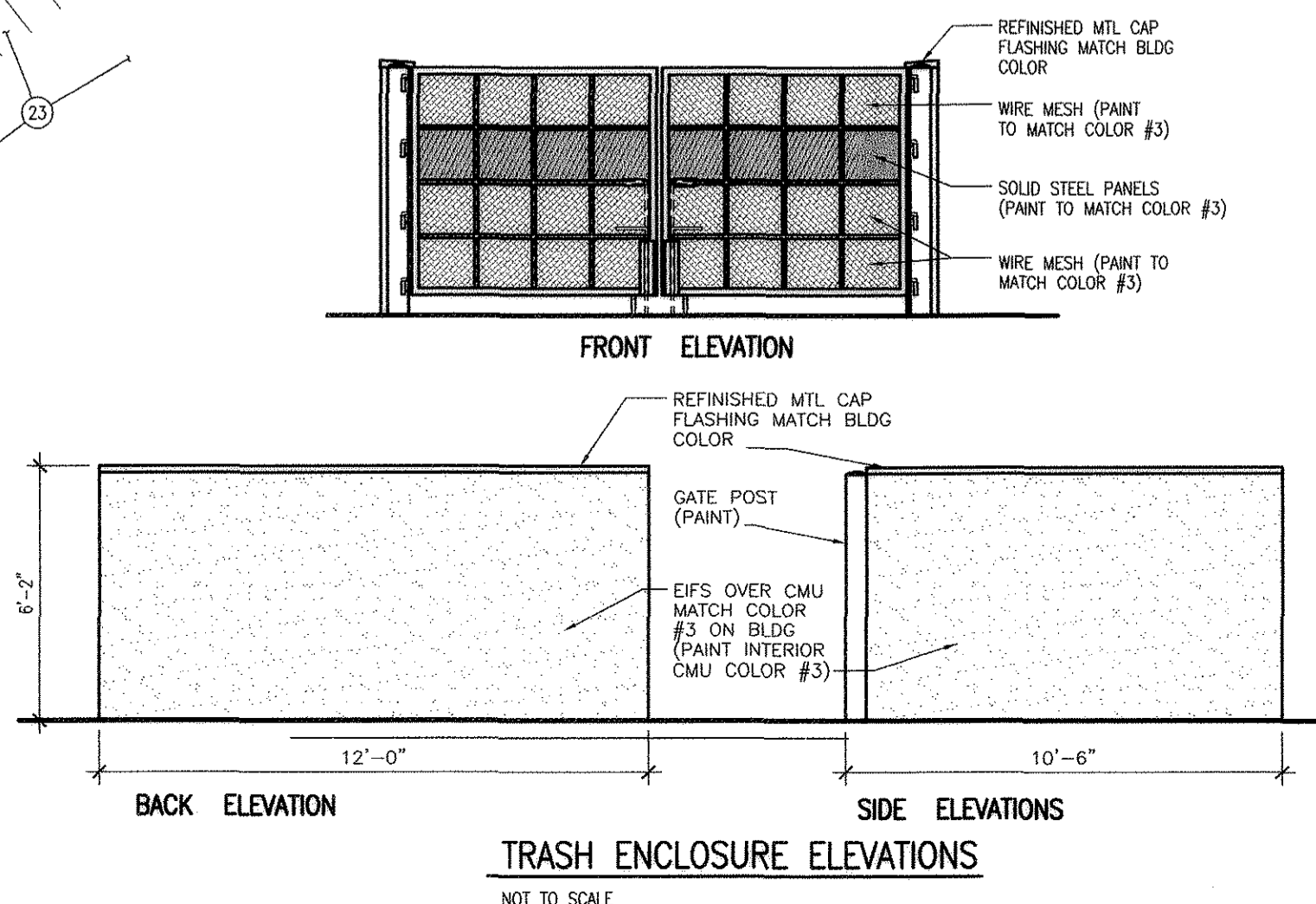
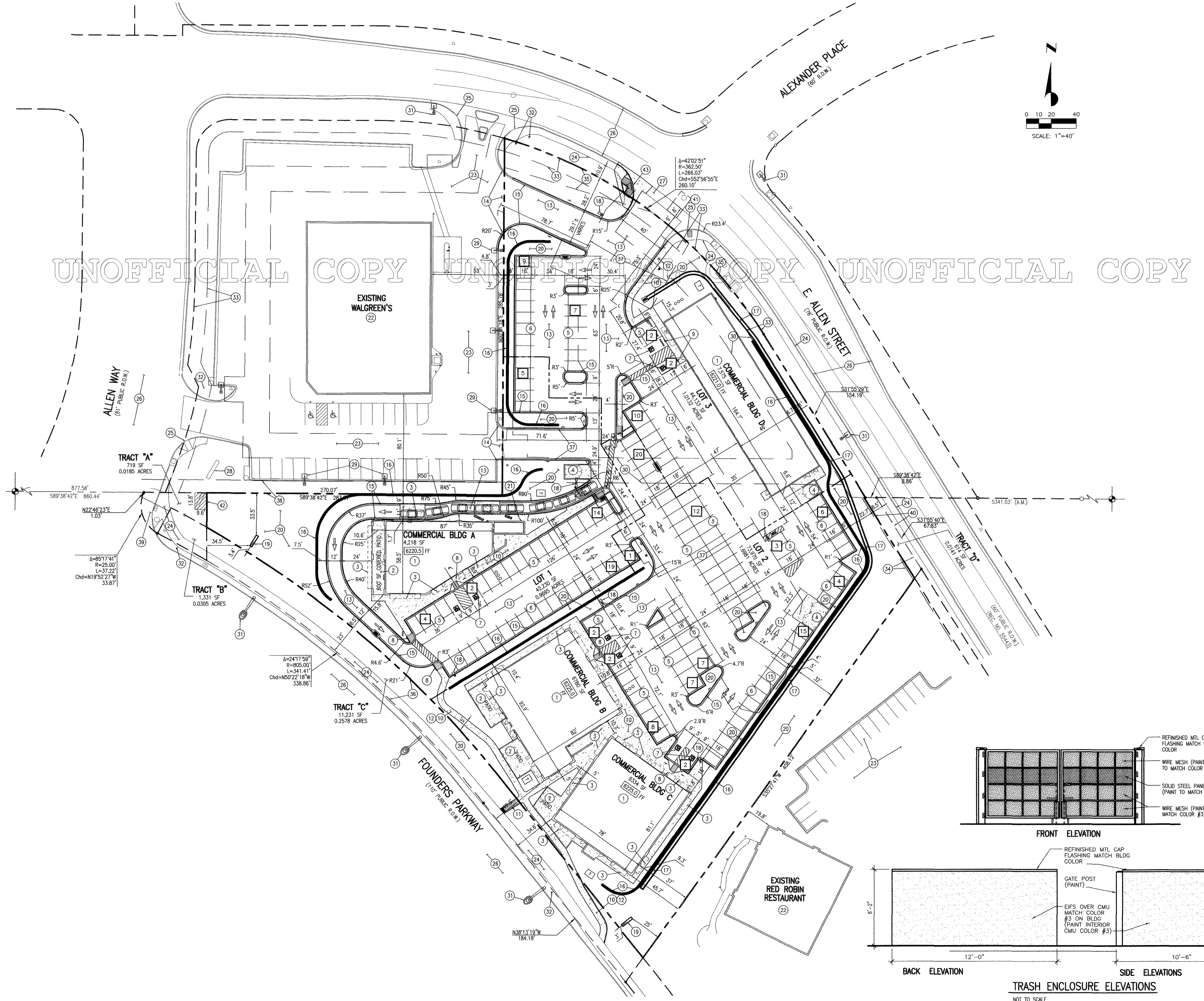
COLORADO REGISTERED  
PLANNING ARCHITECTURE ENGINEERING  
JANUARY 11, 2011  
#6-31-11

**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**THE SHOPPES ON FOUNDERS**  
**PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No:	EQV000001
Sheet Scale:	1"=40'
Designed By:	JNA
Drawn By:	RDG
Date:	JANUARY 2011
Disk File:	EQV01_P_02-Site Plan

**SITE PLAN**



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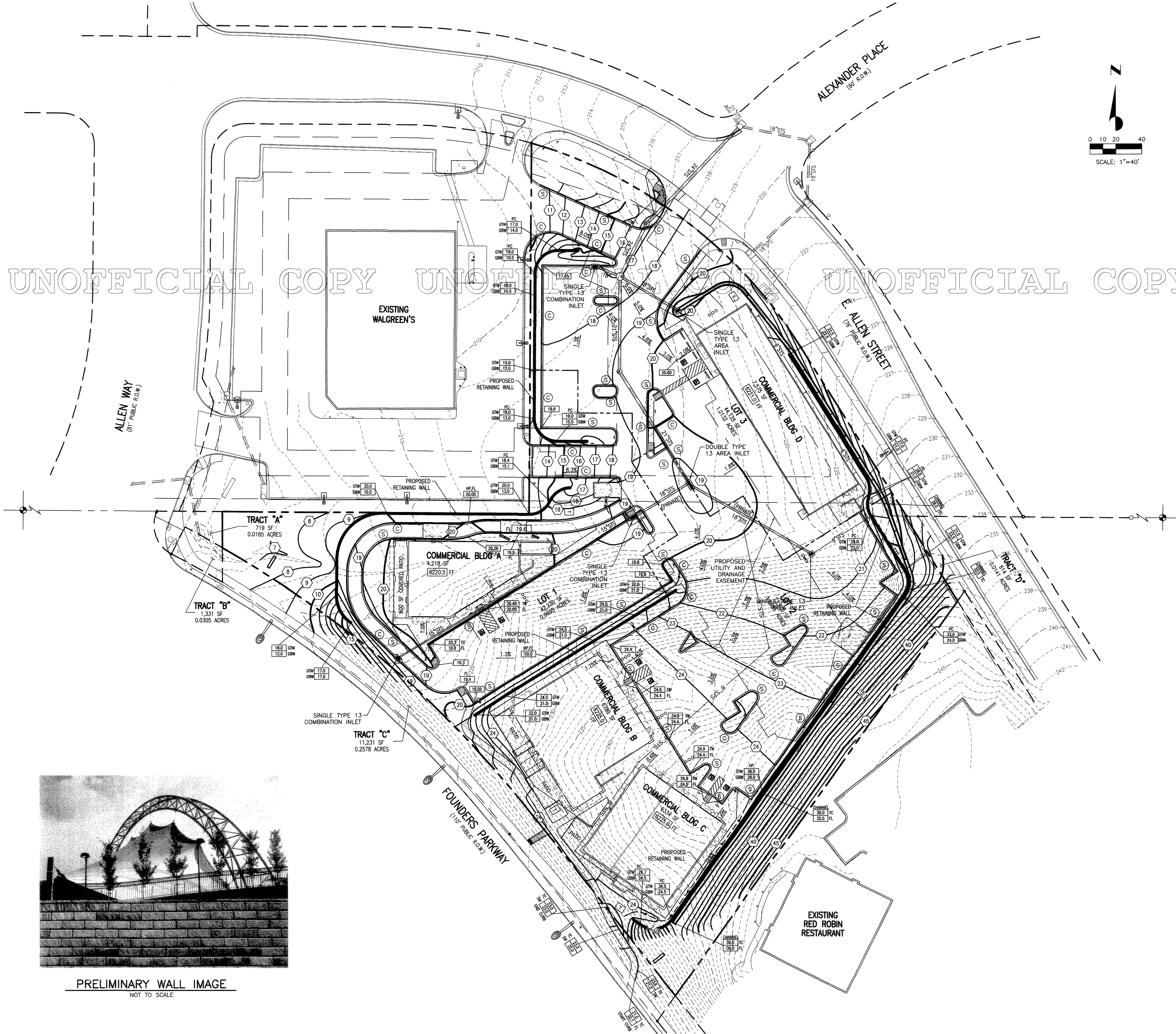
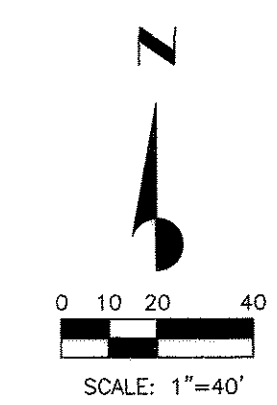
# PRELIMINARY PLAT/FINAL PD SITE PLAN

## THE SHOPPES ON FOUNDERS

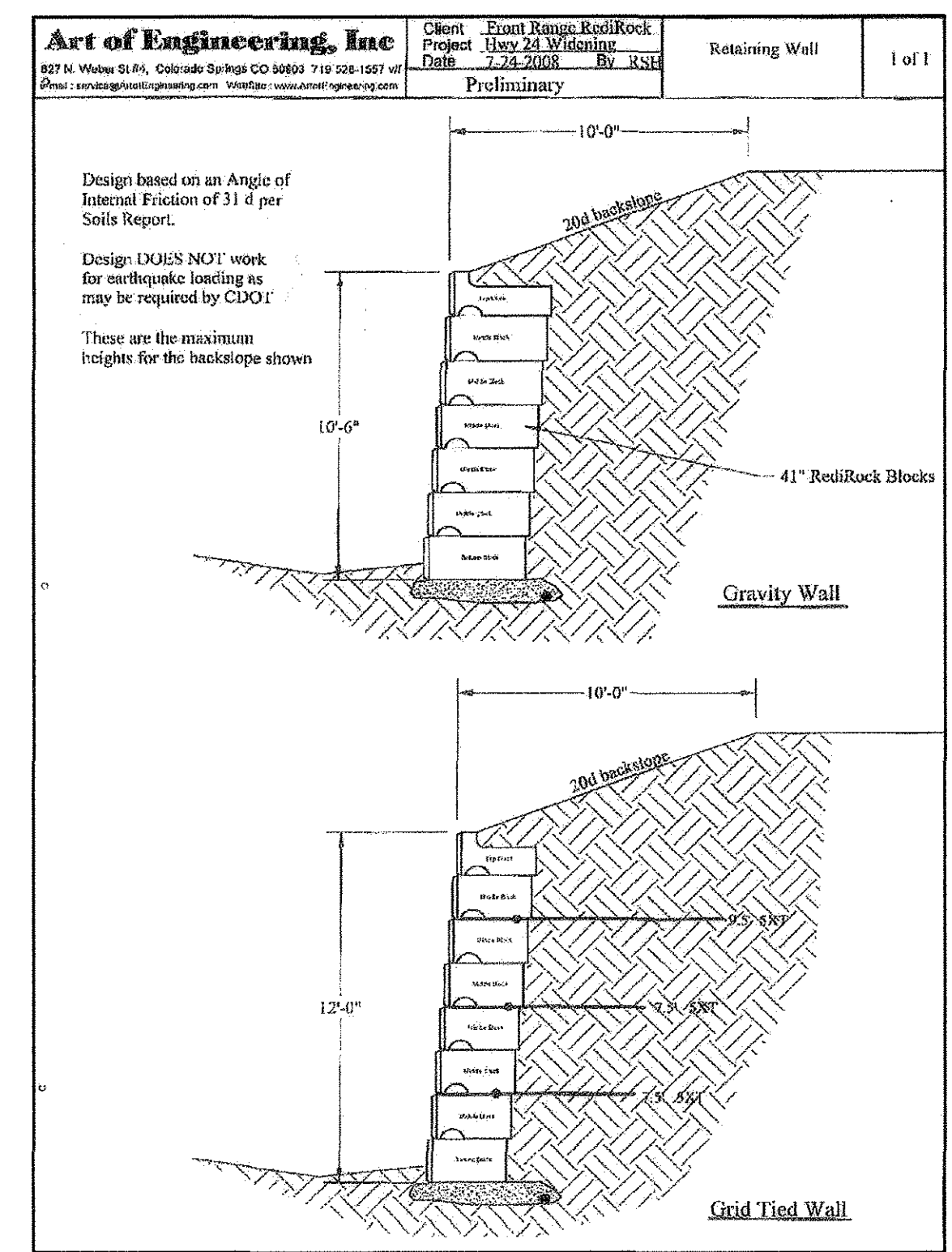
A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
AND TRACT A, METZLER RANCH FILING NO. 3  
SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### GRADING LEGEND

---	PROPERTY BOUNDARY LINE
---	INTERNAL LOT LINES
---	ADJACENT PROPERTY BOUNDARY LINE
---	EASEMENT BOUNDARY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
25.00	EXISTING SPOT ELEVATION
25.0	PROPOSED SPOT ELEVATION
25.5	PROPOSED TOP OF CURB ELEVATION
25.0	PROPOSED FLOWLINE ELEVATION
FF	FINISHED FLOOR
TOG	TOP OF GRATE
TC	TOP OF CURB
TOS	TOP OF SIDEWALK
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
GB	GRADE BREAK
GTW	GRADE AT TOP OF WALL
GBW	GRADE AT BOTTOM OF WALL
TOB	TOP OF BERM
CO	CURB OPENING
PC	POINT OF CURVE
FL INT	FLOWLINE INTERSECTION
PCR	POINT OF CURB RETURN
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED CATCH CURB
S	PROPOSED SPILL CURB
---	PROPOSED RETAINING WALL



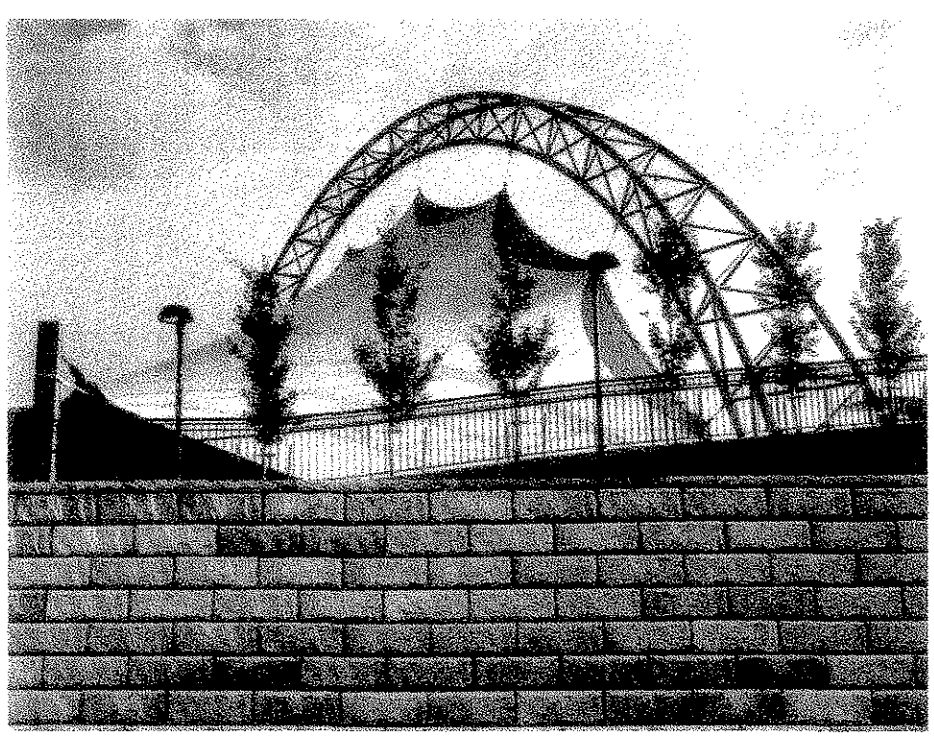
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**PRELIMINARY WALL SECTION**  
NOT TO SCALE

### PRELIMINARY SEGMENTAL RETAINING WALL NOTES

- ENGINEERING REQUIREMENTS
  - THE SEGMENTAL RETAINING WALL (SRW) SHOWN HEREIN HAS NOT BEEN ENGINEERED AND ANY DETAILS PRESENTED HEREIN ARE PRELIMINARY. PRIOR TO THE START OF CONSTRUCTION THE OWNER MUST OBTAIN AN ENGINEERED DESIGN FOR THE WALL WITH ACCOMPANYING CONSTRUCTION DOCUMENTS. THIS DESIGN MUST BE CERTIFIED BY AN ENGINEER LICENSED IN THIS STATE.
  - FINAL ENGINEERING FOR THE SRW SHALL CONSIDER THE FOLLOWING DESIGN CONSTRAINTS. NOTE THAT THE SCOPE OF THIS DESIGN SHALL NOT BE LIMITED TO THESE ITEMS:
    - > THE DESIGN SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SUCH AS NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) OR AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO).
    - > THE DESIGN SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE.
    - > THE DESIGN SHALL CONSIDER ALL STABILITY ASPECTS OF THE WALL INCLUDING INTERNAL, EXTERNAL, LOCAL AND GLOBAL.
    - > THE DESIGN MUST ADEQUATELY ADDRESS THE FOLLOWING ITEMS FOR BOTH ONSITE AND OFFSITE CONDITIONS: DRAINAGE, LOADING, UTILITIES, FENCING, LANDSCAPING, ETC.
- SUBMITTALS
  - PRIOR TO CONSTRUCTION OF THE WALL, SEALED CONSTRUCTION DOCUMENTS AND DESIGN CALCULATIONS FOR THE SRW SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE TO REVIEW FOR CONFORMANCE TO THE SITE CONSTRUCTION DOCUMENTS.
- QUALITY ASSURANCE REQUIREMENT
  - SRW CONSTRUCTION DOCUMENTS AS REFERENCED ABOVE, MUST INCLUDE A SCHEDULE FOR CONSTRUCTION OBSERVATION. THIS SCHEDULE MUST INCLUDE A DETAILED OUTLINE OF TASKS TO BE PERFORMED BY QUALIFIED INSPECTORS INCLUDING, BUT NOT LIMITED TO, EVALUATION AND PLACEMENT OF THE FOLLOWING ITEMS: RETAINING WALL UNITS, GEOSYNTHETIC REINFORCEMENT, DRAINAGE SYSTEMS, BACKFILL MATERIAL, FOUNDATIONS.



**PRELIMINARY WALL IMAGE**  
NOT TO SCALE

NO.	REVISION	DATE
1	Revisions per town comments to 1st submittal	04/07/11
2	REVISIONS FOR PLANNING COMMISSION TO 2nd SUBMITTAL	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - WP-CARS	08/26/11

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**EQUITY VENTURES**  
COMMERCIAL DEVELOPMENT



**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**THE SHOPPES ON FOUNDERS**  
**PROJECT No. PPP 11-0001**

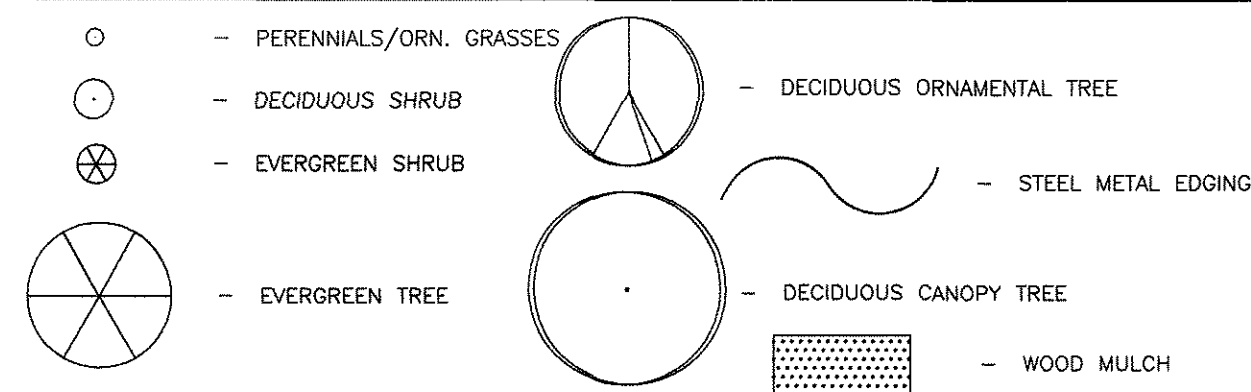
NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No:	EQV000001
Sheet Scale:	1"=40'
Designed By:	JNA
Drawn By:	RDC
Date:	JANUARY 2011
Disk File:	EQV01_P_03--Grading Plan

### GRADING PLAN



LANDSCAPE LEGEND



LANDSCAPE GUARANTEE AND MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE... 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS... 3. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS THAT DIE... 4. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES...

MULCH NOTES

ROCK MULCH: AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL LANDSCAPE FABRIC AND A MINIMUM 4" THICK LAYER OF 1-1/2" DIA. "MULTI-COBBLE ROCK MULCH" OR APPROVED EQUAL IN ALL LANDSCAPE AREAS... WOOD MULCH: AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF DOUBLE SHREDDED BARK MULCH OR APPROVED EQUAL IN ALL PERENNIAL/ORNAMENTAL GRASS PLANNING AREAS...

SITE ANALYSIS

THE SITE IS LOT 6, COOPER HOOK/MAINPLACE FILING NO. 1/TRACT A METZLER RANCH FILING NO. 3 AND IS LOCATED ALONG FOUNDERS PARKWAY BETWEEN ALLEN WAY AND ALLEN STREET IN THE TOWN OF CASTLE ROCK... THE PHYSICAL CHARACTERISTICS OF THE SITE ARE SUCH THAT IT IS ROUGHLY AT GRADE ALONG ALLEN STREET AND FOUNDERS PARKWAY... THERE IS EXISTING NATIVE GRASS VEGETATION ON-SITE. ALL STORM WATER RUNOFF FROM THE SITE WILL BE PICKED UP ON SITE BY STORM SEWERS AND TRANSPORTED TO THE EXISTING REGIONAL BASIN.

PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE USE/NARRATIVE

THE PROPOSED DEVELOPMENT AREA WITH FOUR MULTI TENANT BUILDINGS TOTALING 24,550 SQ. FT. WILL CREATE APPROXIMATELY 98,826 SQ. FT. OR 33.3% OF VISUALLY PLEASING, WATER CONSERVING LANDSCAPING... THE SITE HAS BEEN DESIGNED TO PULL THE BUILDING UP TO THE STREET EDGE ALONG FOUNDERS PARKWAY AND ALLEN STREET WHILE ORIENTING THE PARKING AREAS, DRIVE TRU AND TRASH ENCLOSURES, INTERNAL TO THE SITE... THE PHYSICAL CHARACTERISTICS OF THE SITE AS MENTIONED ON THE SITE ANALYSIS TOGETHER WITH THE PROPOSED BUILDING ORIENTATION ARE SUCH THAT THE ACTIVITY AREAS WILL EFFECTIVELY BE SCREENED FROM FOUNDERS PARKWAY AND ALLEN STREET.

SOD NOTES:

- 1) ALL SOD IS AVAILABLE THROUGH: GREENS VALLEY TURF COMPANY 13159 N. US HIGHWAY 85 TITLTON, CO 80129 PHONE: (303) 798-8764 FAX: (303) 798-4057 2) INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3) LEGACY BUFFALO GRASS SOD HAS BEEN APPROVED BY TOWN OF CASTLE ROCK AS A LOW TURFGRASS HYDROZONE PLANT MATERIAL.

OFFSITE LANDSCAPE AREA (NOT INCLUDED IN SITE CALCULATIONS):

Table with 2 columns: Category and Area. Includes Legacy Buffalo Grass Area (4,311 S.F.), Landscape Rock Mulch Planting Bed (3,028 S.F.), R.O.W. Reserved Total Legacy Buffalo Grass Area (2,655 S.F.), and Total Offsite Parcel Landscape Area (15,825 S.F.).

LANDSCAPE DATA:

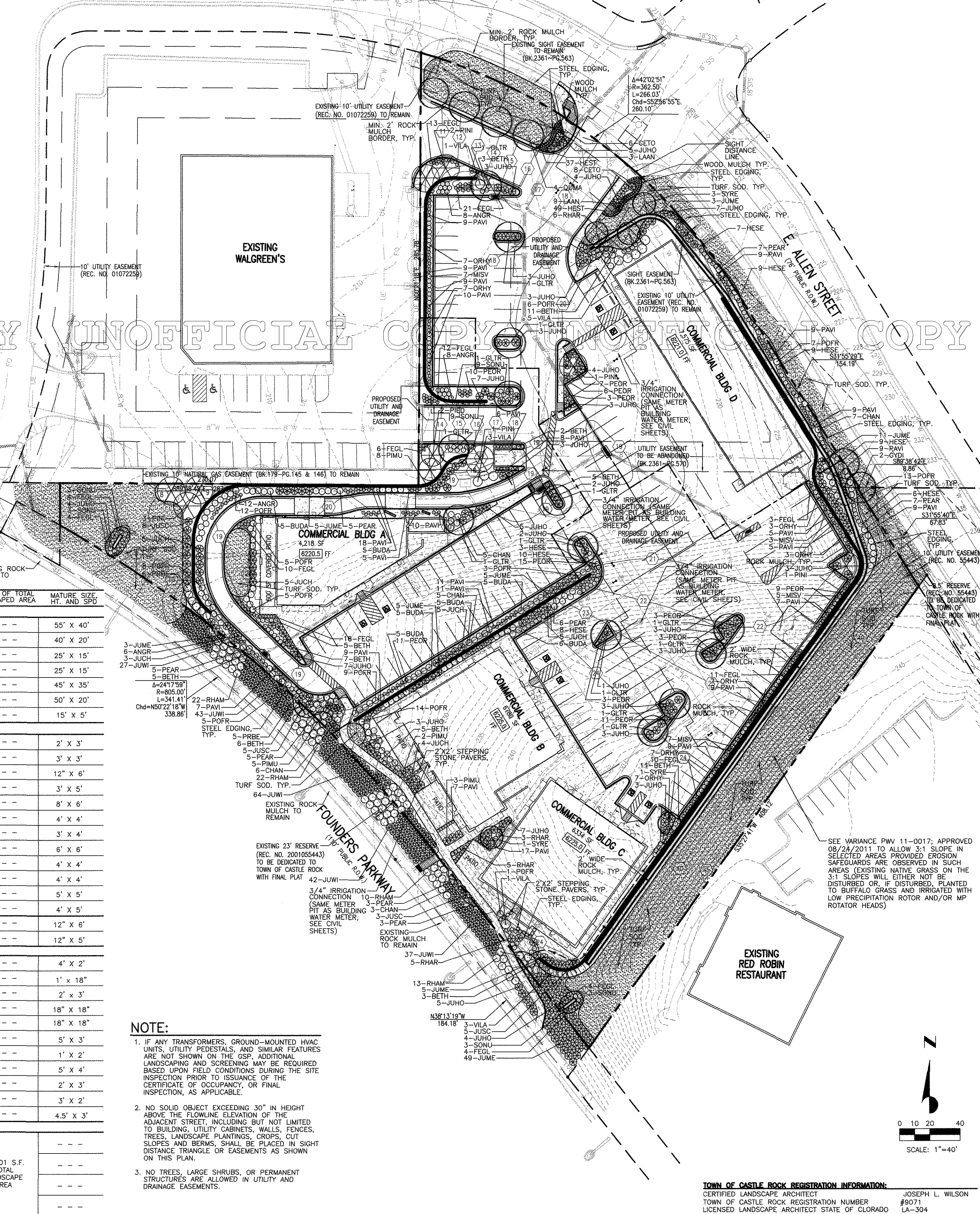
Table with 2 columns: Description and Area. Includes Total Area (100.0%), Total Landscape Minimum (160,333 S.F.), Provided Landscape (26.8%), Maximum Irrigated Turf Allowed (43,001 S.F.), and Provided Landscape (43,001 S.F.).

MINIMUM LANDSCAPE REQUIREMENTS:

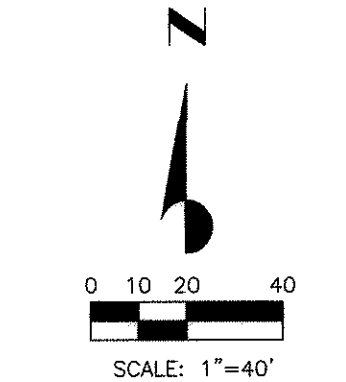
A MINIMUM OF (2) TWO TREES AND (4) FOUR SHRUBS FOR EACH 1000 S.F. OF LANDSCAPE AREA. (1) ONE ADDITIONAL TREE MAY BE SUBSTITUTED IN LIEU OF EACH (4) FOUR SHRUBS REQUIRED... PROVIDED: PERENNIALS/GRASSES 743, SHRUBS (61.7% DECIDUOUS, 38.3% EVERGREEN) 816, TREES (43.6% DECIDUOUS, 56.4% EVERGREEN) 85.

IRRIGATION LEGEND

Large table with columns: Irrigation Zone, Plant Name (Scientific), Plant Name (Common), Legend Abbrev., Size, Quantity, Application Rate, Water Use, Sq. Ft. of Zone, Percentage of Total Area, Sq. Ft. of Total Landscaped Area, Mature Size. Lists various plants like Quercus macrocarpa, Pinus edulis, Juniperus scopulorum, etc.



NOTE: 1. IF ANY TRANSFORMERS, GRADE-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE GSP... 2. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET... 3. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.



TOWN OF CASTLE ROCK REGISTRATION INFORMATION: CERTIFIED LANDSCAPE ARCHITECT JOSEPH L. WILSON, LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO #9071 LA-304

Vertical sidebar containing project information: Date (04/07/11), Revisions (5), Galloway logo, Equity Ventures logo, Professional seal for Joseph L. Wilson, and Project No. PPP 11-001.

# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS

## A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3

### SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

#### PLANTING NOTES

##### GENERAL

- CALL UNCC AT (303) 232-1991 PRIOR TO ANY EXCAVATION.
- ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES
- PLANT QUANTITIES SHOWN ON LEGENDS ARE FOR GENERAL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TARGETS AND QUANTITY CALCULATIONS.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS TO REMAIN. ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- ALL LANDSCAPING SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.

##### FINISH GRADING AND SOIL PREPARATION

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS BELOW (INCORPORATED INTO THE TOP 6-8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING):  
 ORGANIC MATTER: APPLY 2-3" PLANT-BASED COMPOST, OR 1" ANIMAL-BASED COMPOST, AND INCORPORATE INTO THE TOP 6-8" OF THE SOIL BEFORE PLANTING/SODDING. 3 CU. YD. (67 BU) COVERS 1000 SQ.FT. APPROX. 1 INCH DEEP. FOR NEW TREE OR SHRUB PLANTINGS, MIX 1 PART COMPOST TO 6 PARTS BACKFILL SOIL. NOTE: SOME XERIC PLANTS PREFER LOW O.M.; DO NOT APPLY COMPOST TO PLANTS THAT PREFER LOW-O.M. SOIL.  
 NITRATE-NITROGEN: FOR BUFFALO GRASS AND XERIC PLANTINGS, 1 LB N/1000 SQ FT TO THE SOIL. INCORPORATE INTO THE TOP 6-8" OF THE SOIL BEFORE PLANTING/SODDING.  
 AVAILABLE PHOSPHORUS: APPLY 1 LBS. P205/1000 SQ.FT. INCORPORATE INTO THE TOP 6-8" OF THE SOIL BEFORE PLANTING/SODDING.  
 NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

##### PLANTING

- PLANT QUANTITIES SHOWN ON LEGENDS ARE FOR GENERAL INFORMATION. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE EQUIVALENT TO "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE AND AS PER THE ROOT BARRIER DETAIL ON THESE PLANS. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

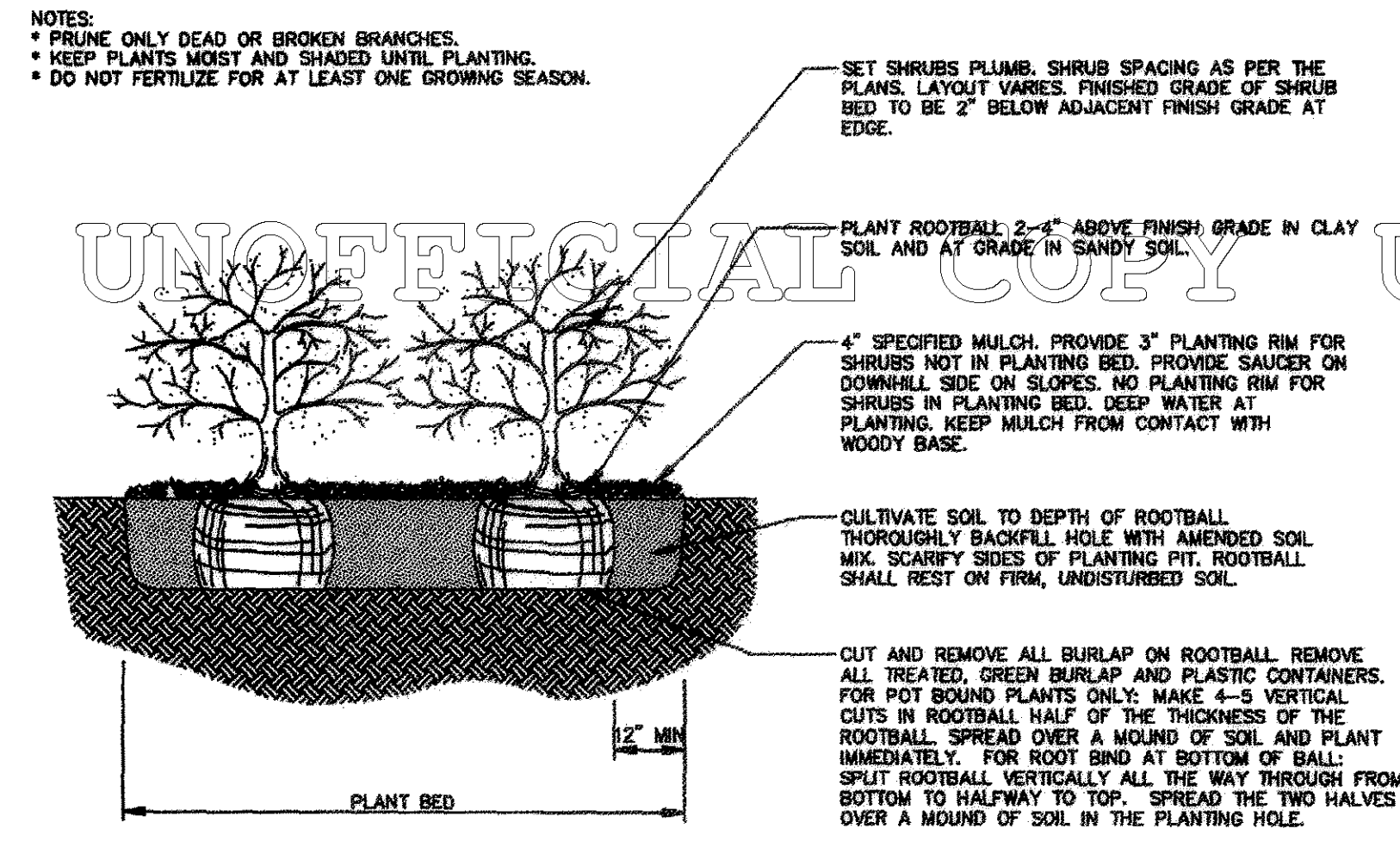
##### MULCHING

- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

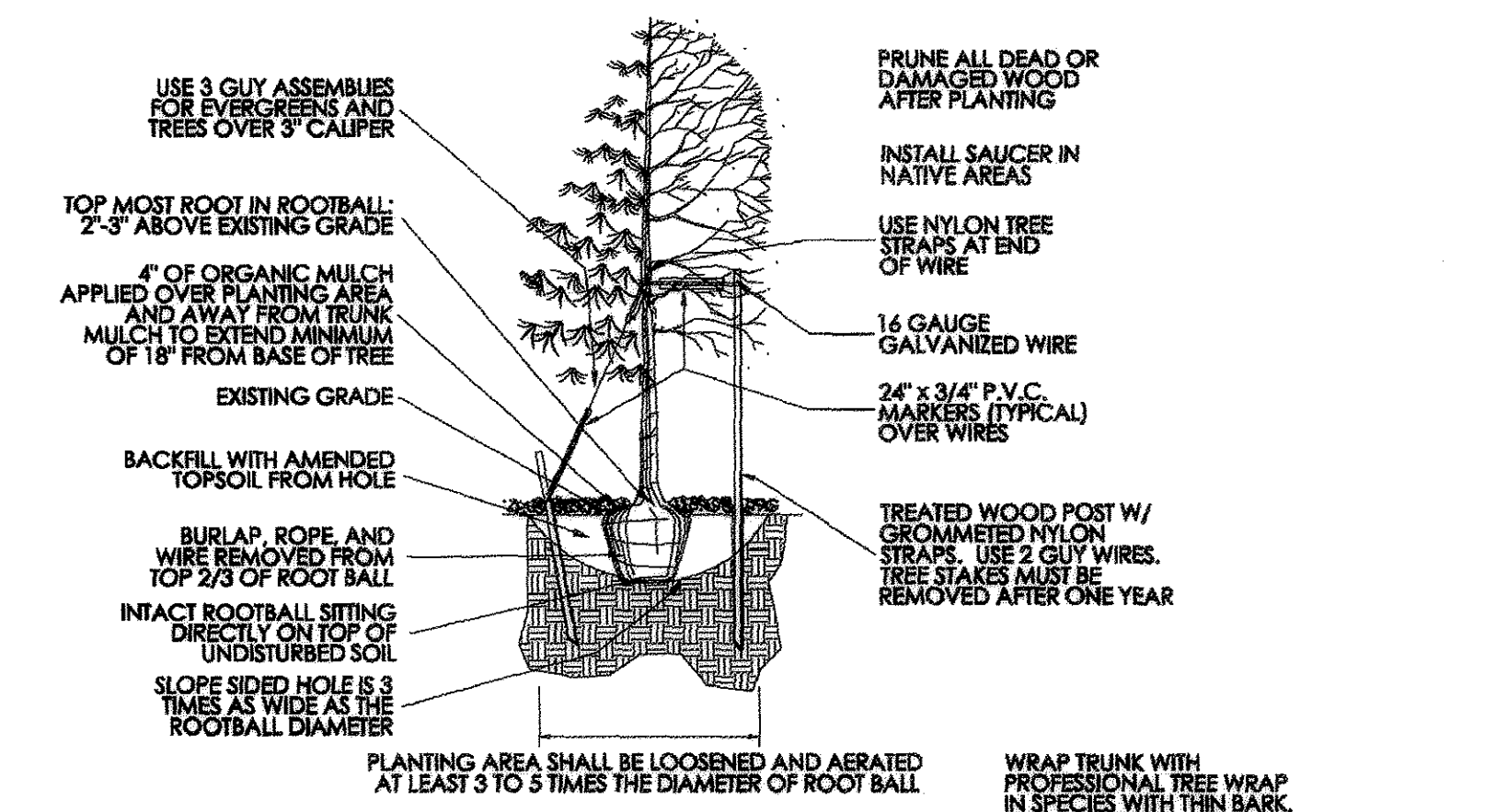
#### SITE SOILS DESCRIPTION

THE SITE SOILS CAN BE CHARACTERIZED AS A SANDY CLAY LOAM WITH 2.5% ORGANIC MATTER, A 7.51 PH DESIGNATION THAT ALLOWS FOR ADEQUATE PLANT GROWTH WITH PLANTS ADAPTED TO THIS PH LEVEL. SINCE SOIL LIME IS 1%-2% IN THE SOIL, PLANTS WILL GROW QUITE WELL IN THIS SOIL. THE SITE SOIL RATES LOW IN THE FOLLOWING CATEGORIES: ORGANIC MATTER, NITROGEN, AND PHOSPHORUS. ALL OTHER CATEGORIES ARE WITHIN ADEQUATE LEVELS. THE SOIL DRAINS AT A LOW TO VERY LOW RATE. WATER SCHEDULES MAY HAVE TO BE INCREASED TO ALLOW FOR BETTER WATER INFILTRATION IN THE SOIL PROFILE. PLEASE REFER TO THE LANDSCAPE NOTES FOR SOIL AMENDMENT AND FERTILIZER APPLICATION RATES.

THE SOIL TEST WAS PERFORMED ON OR ABOUT 5/19/2011 BY COLORADO STATE UNIVERSITY, SOIL WATER AND PLANT TESTING LABORATORY. THE FULL TEST IS ON FILE AS PART OF THIS PROJECT.



1 SHRUB AND PERENNIAL PLANTING  
SCALE: NTS



2 TREE PLANTING  
SCALE: NTS

#### COMMERCIAL LANDSCAPE SITE INVENTORY

GROSS SITE AREA	LANDSCAPE AREA IN SQ.FT.	TURFGRASS LIST SPECIES (AREA IN SQ. FT.)	NONLIVING ORNAMENTAL (AREA IN SQ. FT.)	# OF TREES REQUIRED	# OF TREES PROVIDED	# OF SHRUBS REQUIRED	# OF SHRUBS PROVIDED	SOIL PREP AMOUNTS (IN CU. YDS. PER 1000 SQ. FT.)	SEPARATE IRRIGATION SERVICES CONNECTIONS
174,227 SF	43,001 SF	19,300 SF <small>(PROVIDED LANDSCAPE LESS REDUCED F.O.W. RESERVE)</small>	6,050 SF	86	55 <small>SEE VARIANCE PWV 11-0017; APPROVED 08/24/2011 TO ALLOW REDUCED TREE COUNT</small>	172	816	164 <small>(SEE SITE SOIL DESCRIPTION)</small>	NO. ONE TAP FOR EACH BUILDING: A, B, & D. SEPARATE IRRIGATION METER. SEE VARIANCE PWV 11-0010; APPROVED 09/11/2011
PARKING LOT (AREA IN SQ.FT.)	PARKING LOT LANDSCAPE AREA (SQ. FT.)	# OF PARKING SPACES	NONLIVING ORNAMENTAL (AREA IN SQ. FT.)	# OF INTERIOR LANDSCAPE ISLAND	MIN. WIDTH OF INTERIOR LANDSCAPE ISLANDS	# OF TREES REQUIRED	# OF TREES PROVIDED	# OF SHRUBS REQUIRED	# OF SHRUBS PROVIDED
57,894 SF	5,967 SF <small>SEE VARIANCE PWV 11-0021; APPROVED 08/03/2011</small>	163	598 SF	7	6.0'	12	12	28	63

#### CLWUR / WATER USE CHART

IRRIGATION ZONE	PLANT NAME (COMMON)	APP. RATE (INCHES/MONTH)	ZONE (V. LOW, LOW, MODERATE, HIGH)	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ. FT. FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TA (TOTAL AREA OF ALL LANDSCAPE ZONES)	CLWUR (LWUR X IA / TA)
TURF	LEGACY BUFFALO GRASS	1.43 IN/MONTH	LOW	44.9%	19,300	1.43	43,001	0.64
DRIP	SHRUB BED (IRRIGATION, FABRIC, ROCK MULCH & EDGER)	1.43 IN/MONTH	LOW	54.4%	23,401	1.43	43,001	0.78
DRIP	PERENNIAL/ ORNAMENTAL GRASS BED (IRRIGATION, BARK MULCH & EDGER)	1.43 IN/MONTH	LOW	0.7%	300	1.43	43,001	0.01
TOTAL OF THE CLWUR:		1.43 IN/MONTH	LOW	100.0%	43,001	1.43	43,001	1.43

NO.	REVISION	DES. BY	DRAWN BY	DATE
1	Revisions per Town comments to 1st submittal	JNA	JNA	04/07/11
2	REVISIONS FOR PLANNING COMMISSION TO 2ND SUBMITTAL	JNA	RDS	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 3RD SUBMITTAL	JNA	RDS	06/09/11
4	REVISIONS PER TOWN COMMENTS TO 3RD SUBMITTAL	JNA	RDS	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4TH SUBMITTAL - MFLARS	JNA	RDS	08/26/11

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**EQUITY VENTURES**  
 COMMERCIAL DEVELOPMENT

JOSEPH L. WILSON IV  
 LA-304  
 11/25/2008  
 Original Date of Licensure  
 STATE OF COLORADO  
 LICENSED LANDSCAPE ARCHITECT

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHOPPES ON FOUNDERS  
PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No: EOV000001  
 Sheet Scale: 1"=40'  
 Designed By: JNA  
 Drawn By: JLW  
 Date: JANUARY 2011  
 Disk File: EOV01\_P\_05-Landscape Plan

**LANDSCAPE DETAILS**

IRRIGATION SYSTEM HYDRAULIC WORKSHEET 'A'

Table with project details for Worksheet A: Project Name, Location, Prepared by, Tap Size, Static Water Pressure, Hydraulic Grade, Service Line details, Pressure Required, Lateral Allowance, Control Valve Allowance, Mainline Allowances, Elevation, Total System requirements (PSI) 78.02, Available System Pressure (PSI) 107.00.

IRRIGATION SYSTEM HYDRAULIC WORKSHEET 'B' & 'C'

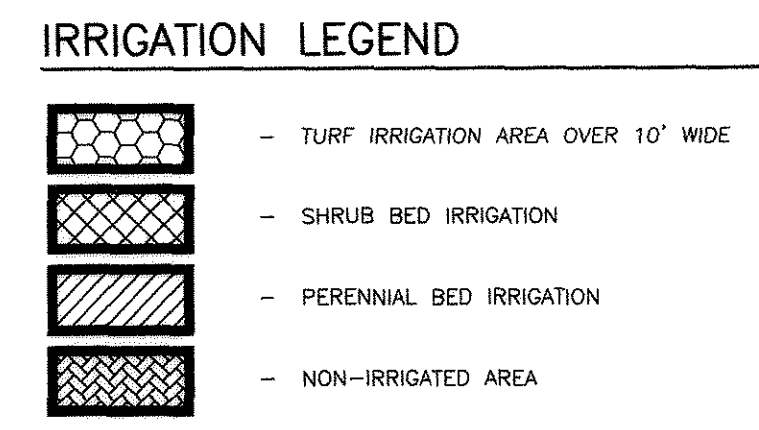
Table with project details for Worksheets B & C: Project Name, Location, Prepared by, Tap Size, Static Water Pressure, Hydraulic Grade, Service Line details, Pressure Required, Lateral Allowance, Control Valve Allowance, Mainline Allowances, Elevation, Total System requirements (PSI) 88.29, Available System Pressure (PSI) 105.00.

IRRIGATION SYSTEM HYDRAULIC WORKSHEET 'D'

Table with project details for Worksheet D: Project Name, Location, Prepared by, Tap Size, Static Water Pressure, Hydraulic Grade, Service Line details, Pressure Required, Lateral Allowance, Control Valve Allowance, Mainline Allowances, Elevation, Total System requirements (PSI) 89.73, Available System Pressure (PSI) 107.00.

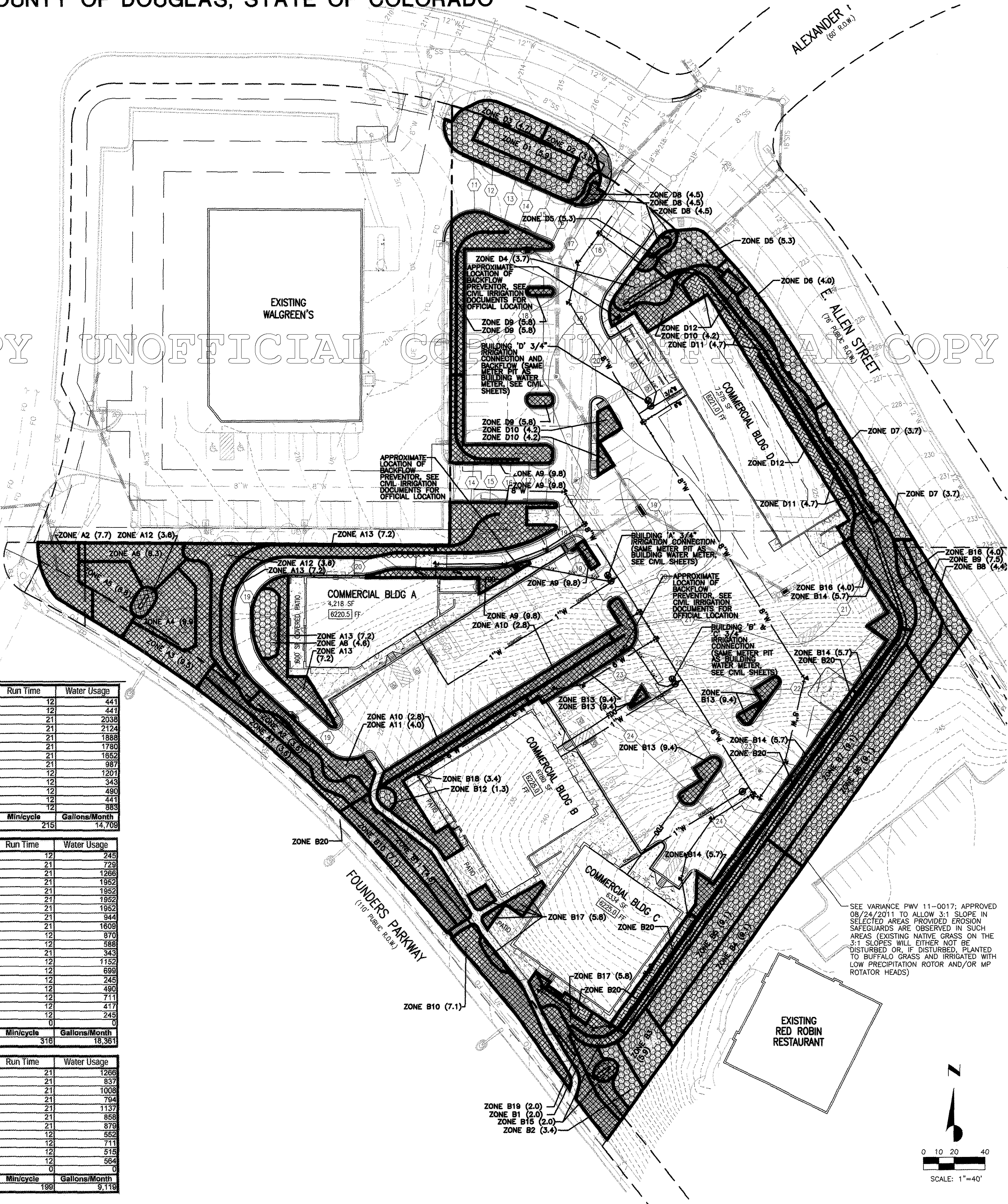
NOTES: 1. THE STATIC WATER PRESSURE AT THE HYDRANT AT THE NORTH ENTRANCE TO THE WALGREENS NORTH OF THE SITE IS 117.18 PSI... 2. IRRIGATION DESIGN MUST ACCOMMODATE TOWN OF CASTLE ROCK THREE DAY WATERING SCHEDULE... 3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION ASSEMBLY... 4. THE IRRIGATION METER, SERVICE LINE, AND BACKFLOW PREVENTION ASSEMBLY MUST BE THE SAME SIZE FROM THE METER TO 10 PIPE DIAMETERS PAST THE BACKFLOW PREVENTION ASSEMBLY... 5. SEE VARIANCE PWV11-0010; APPROVED 08/11/2011 FOR IRRIGATION WATER METER TO BE IN THE SAME PIT AS BUILDING METER.

PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



IRRIGATION ZONE CHART: Table mapping Hydrozone, Application Rate, and Method of Irrigation for zones A1 through D12.

IRRIGATION CHARTS: Three tables providing detailed irrigation data for zones B1-B12, B13-B18, and D1-D12, including plant type, head type, nozzle, application rate, GPM, inches/month, run time, and water usage.



Revision Log Table: Columns for No., Revision, Date, and Description of changes to the plan.

Galloway logo and contact information: Planning, Architecture, Engineering, 6500 DTC Parkway, Suite 100, Denver, CO 80211.

Equity Ventures logo and contact information: Commercial Development, Joseph L. Wilson, Inc., Licensed Landscape Architect, State of Colorado.

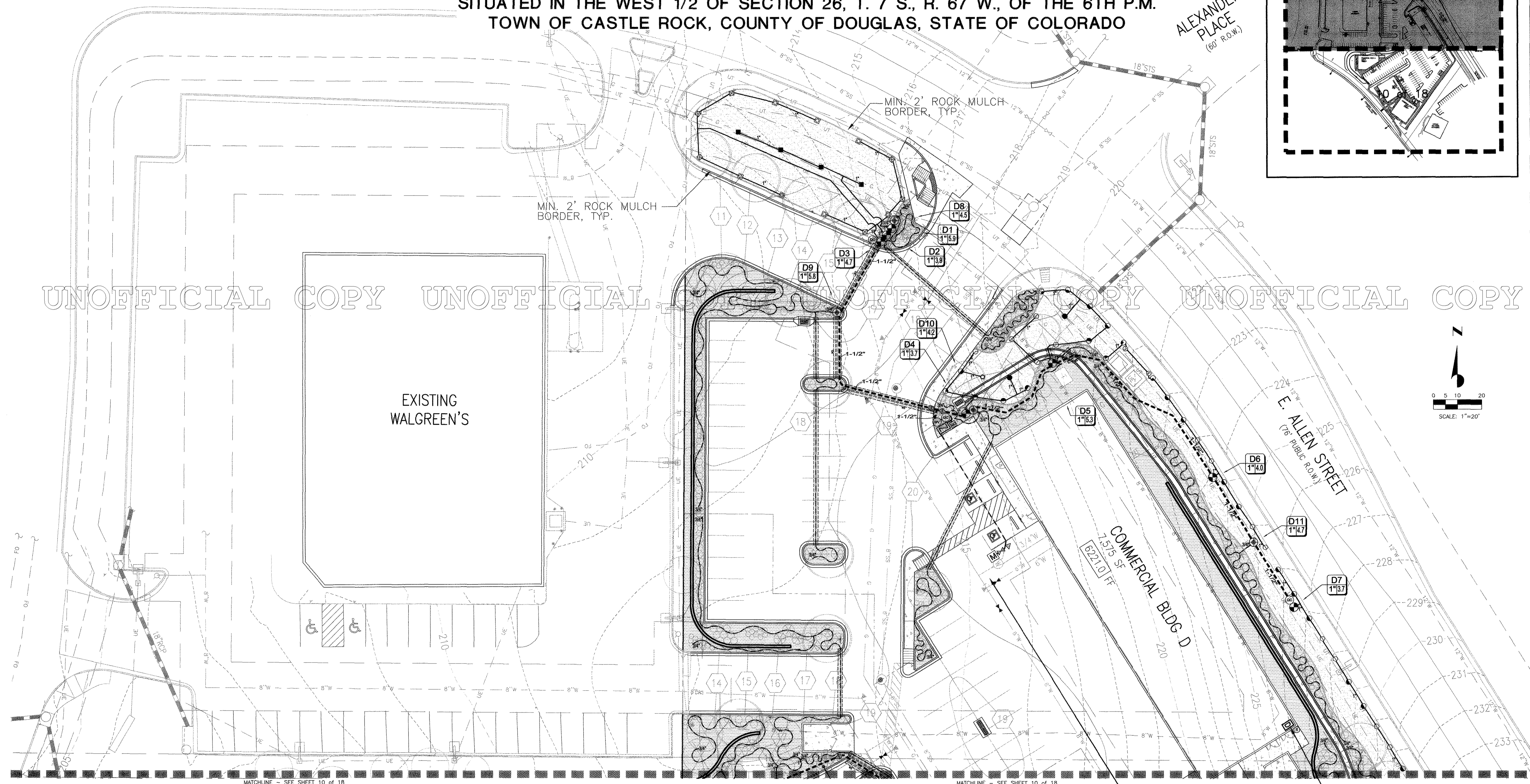
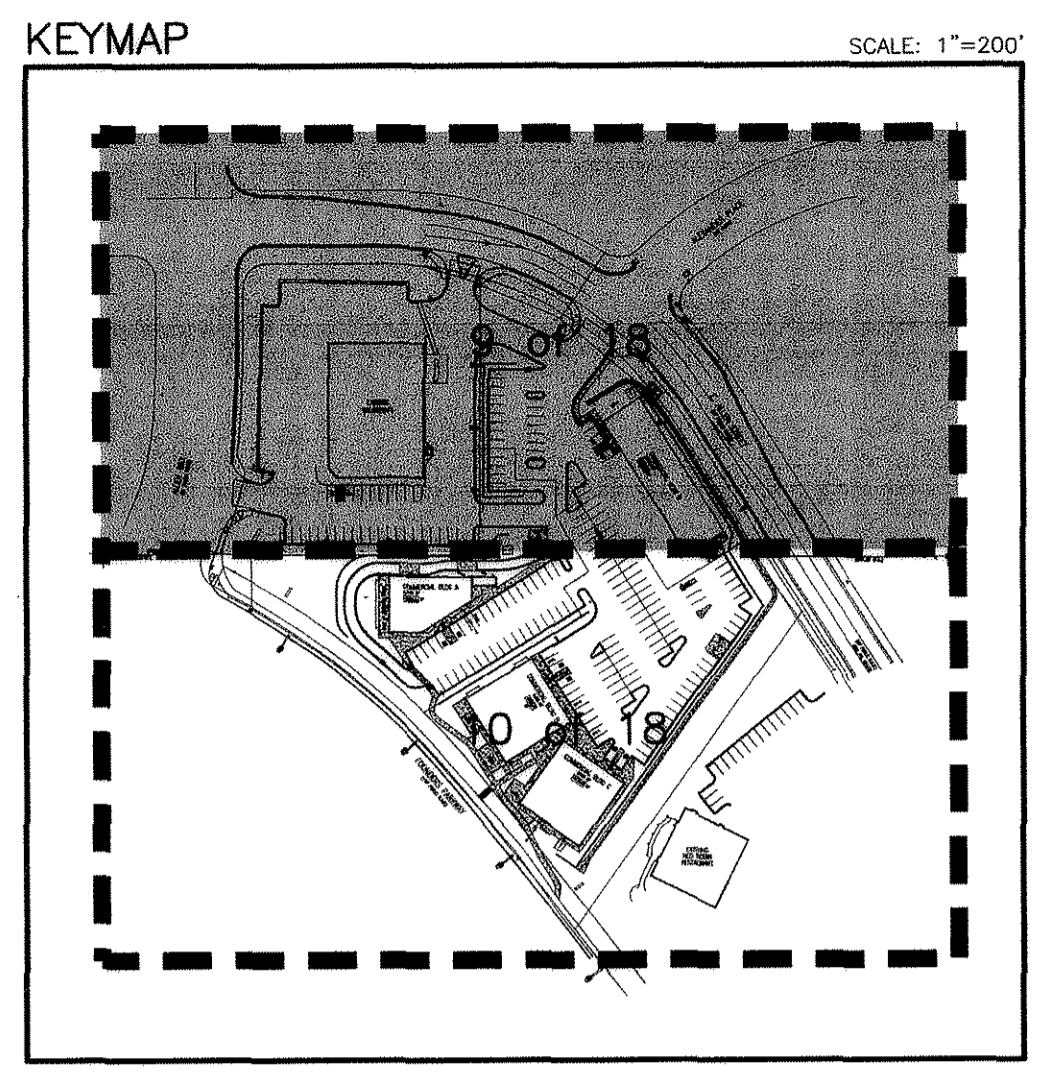
PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS PROJECT No. PPP 11-0001 NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY CASTLE ROCK, COLORADO

Project Information: Project No. EQV000001, Scale: 1"=40', Designed By: JNA, Drawn By: JNW, Date: JANUARY 2011, Disk File: EQV01\_P\_05-Landscape Plan, PRELIMINARY IRRIGATION PLAN.

# PRELIMINARY PLAT/FINAL PD SITE PLAN

## THE SHOPPES ON FOUNDERS

A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
AND TRACT A, METZLER RANCH FILING NO. 3  
SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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**IRRIGATION DISCLAIMER**

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- CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE AND VISIBLE IRRIGATION EQUIPMENT (CONTROLLERS, BACKFLOW PREVENTERS, METER PITS, ETC.) WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE INSTALLATION OF THESE ITEMS SHALL BE INTEGRATED WITHIN DESIGNATED LANDSCAPE AREAS. FAILURE TO LOCATE THIS EQUIPMENT IN AN APPROVED LOCATION MAY RESULT IN THE IRRIGATION CONTRACTOR BEING REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- REFER TO SHEET 11 OF 18 FOR IRRIGATION NOTES AND LEGEND.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION OF ANY COMPONENT OF THE IRRIGATION SYSTEM. AFTER FIELD VERIFICATION, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE OWNER, OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, & IRRIGATION DESIGNER OF THE PRESSURE READING FOR THE TAP.
- ALL PRESSURIZED MAINLINES, VALVES, AND ROTOR AND SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 5' AWAY FROM ANY BUILDING FOUNDATION. IF THIS EQUIPMENT IS SHOWN WITHIN THE 5' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.

**POINT OF CONNECTION 'D' (BUILDING 'D')**

STATIC PRESSURE: **±107 PSI** SIZE OF TAP: **3/4"**

- POTABLE WATER SERVICE FOR THE IRRIGATION SYSTEM (SAME PIT AS BUILDING METER. SEE CIVIL SHEETS. SEE VARIANCE PW11-0010, APPROVED 08/11/2011).
- 3/4" TAP INTO THE DOMESTIC LINE - VARIANCE UT 2008-01 REVISED 6/09 (3/4" DOMESTIC METER AND 3/4" IRRIGATION METER) SEE DETAIL 18, SHEET 12
- 3/4" TYPE K COPPER SERVICE FROM THE TAP TO MASTER VALVE.
- 3/4" METER AND BACKFLOW DEVICE FOR IRRIGATION USE.
- CONTRACTOR SHALL VERIFY LOCATION OF THE BACKFLOW DEVICE IN FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT.
- SEE POINT OF CONNECTION DIAGRAM SHEET 11 OF 18.
- STATIC PRESSURE INFORMATION WAS BASED ON CIVIL INFORMATION PROVIDED BY TOWN OF CASTLE ROCK ON MAY 16, 2011. SEE GENERAL IRRIGATION NOTES -11 OF 18/NOTE #8- ABOUT STATIC PRESSURE REQUIREMENTS.
- THE IRRIGATION CONTRACTOR SHALL VERIFY IF A PRESSURE REGULATOR IS REQUIRED FOR THE SYSTEM TO PREVENT POSSIBLE WATER HAMMER PROBLEMS.

**CONTROLLER NOTE 'D'**

CONTROLLER 'D'

- ONE (1) 12 STATION HUNTER I-CORE CONTROLLER
- ONE (1) OPEN STATION FOR FUTURE EXPANSION
- LOCATE CONTROLLER WITHIN BUILDING'S MAINTENANCE ROOM. VERIFY LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE.
- 120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

**CALL UTILITY NOTIFICATION**  
CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

No.	REVISION	DES. BY	DATE
1	Revisions per Town comments to 1st. submittal	JNA	04/07/11
2	REVISIONS FOR PLANNING COMMISSION	JNA	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	JNA	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - MWLARS	JNA	08/26/11

**Galloway**  
Planning, Architecture, Engineering,  
6300 DTC Parkway, Suite 100  
Denver, CO 80211  
303.770.8884  
www.gallowayus.com

**EQUITY VENTURES**  
COMMERCIAL DEVELOPMENT

**JOSEPH L. WILSON**  
LA-304  
11/28/2008  
Original Date of License  
LICENSED LANDSCAPE ARCHITECT

**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**THE SHOPPES ON FOUNDERS**  
**PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No: EQV000001  
Sheet Scale: 1"=20'  
Designed By: JLW  
Drawn By: JLW  
Date: JUNE 2011  
Disk File: EQV01\_P\_9-12-Irrigation\_Plan

**IRRIGATION PLAN**  
**NORTH**

Equity Ventures/CO, Castle Rock - EQV000001.01 - The Shoppes on Founders/Plan/Plat/PP11-0001\_P\_9-12-Irrigation\_Plan.dwg 8/26/2011 7:54:47 AM rcb\_gordon

### CONTROLLER NOTE 'A'

- CONTROLLER 'A'
- ONE (1) 18 STATION HUNTER I-CORE CONTROLLER
  - FIVE (5) OPEN STATIONS FOR FUTURE EXPANSION
  - LOCATE AND MOUNT CONTROLLER ON BUILDING 'A' AS DIRECTED ON THE PLANS. VERIFY LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE.
  - 120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

# PRELIMINARY PLAT/FINAL PD SITE PLAN

## THE SHoppES ON FOUNDERS

### A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3

#### SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### POINT OF CONNECTION 'A' (BUILDING 'A')

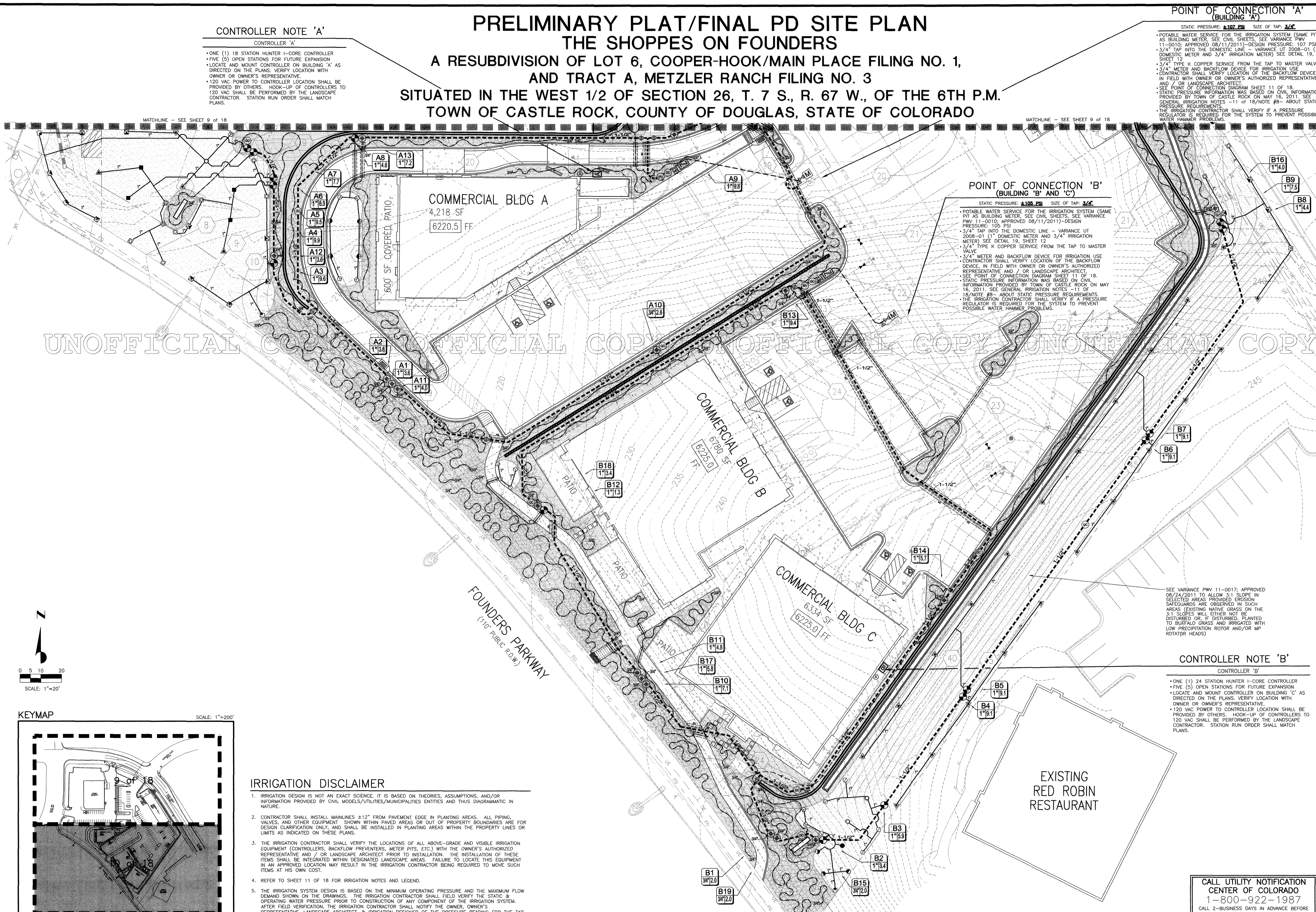
- STATIC PRESSURE:  $\pm 107$  PSI SIZE OF TAP:  $3/4"$
- POTABLE WATER SERVICE FOR THE IRRIGATION SYSTEM (SAME PIT AS BUILDING METER; SEE CIVIL SHEETS. SEE VARIANCE PW 11-0010; APPROVED 08/11/2011) - DESIGN PRESSURE: 107 PSI
  - 3/4" TAP INTO THE DOMESTIC LINE - VARIANCE UT 2008-01 (1" DOMESTIC METER AND 3/4" IRRIGATION METER) SEE DETAIL 19, SHEET 12
  - 3/4" TYPE K COPPER SERVICE FROM THE TAP TO MASTER VALVE
  - 3/4" METER AND BACKFLOW DEVICE FOR IRRIGATION USE
  - CONTRACTOR SHALL VERIFY LOCATION OF THE BACKFLOW DEVICE IN FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT.
  - SEE POINT OF CONNECTION DIAGRAM SHEET 11 OF 18
  - STATIC PRESSURE INFORMATION WAS BASED ON CIVIL INFORMATION PROVIDED BY TOWN OF CASTLE ROCK ON MAY 16, 2011. SEE GENERAL IRRIGATION NOTES - 11 OF 18/NOTE #8 - ABOUT STATIC PRESSURE REQUIREMENTS
  - THE IRRIGATION CONTRACTOR SHALL VERIFY IF A PRESSURE REGULATOR IS REQUIRED FOR THE SYSTEM TO PREVENT POSSIBLE WATER HAMMER PROBLEMS.

### POINT OF CONNECTION 'B' (BUILDING 'B' AND 'C')

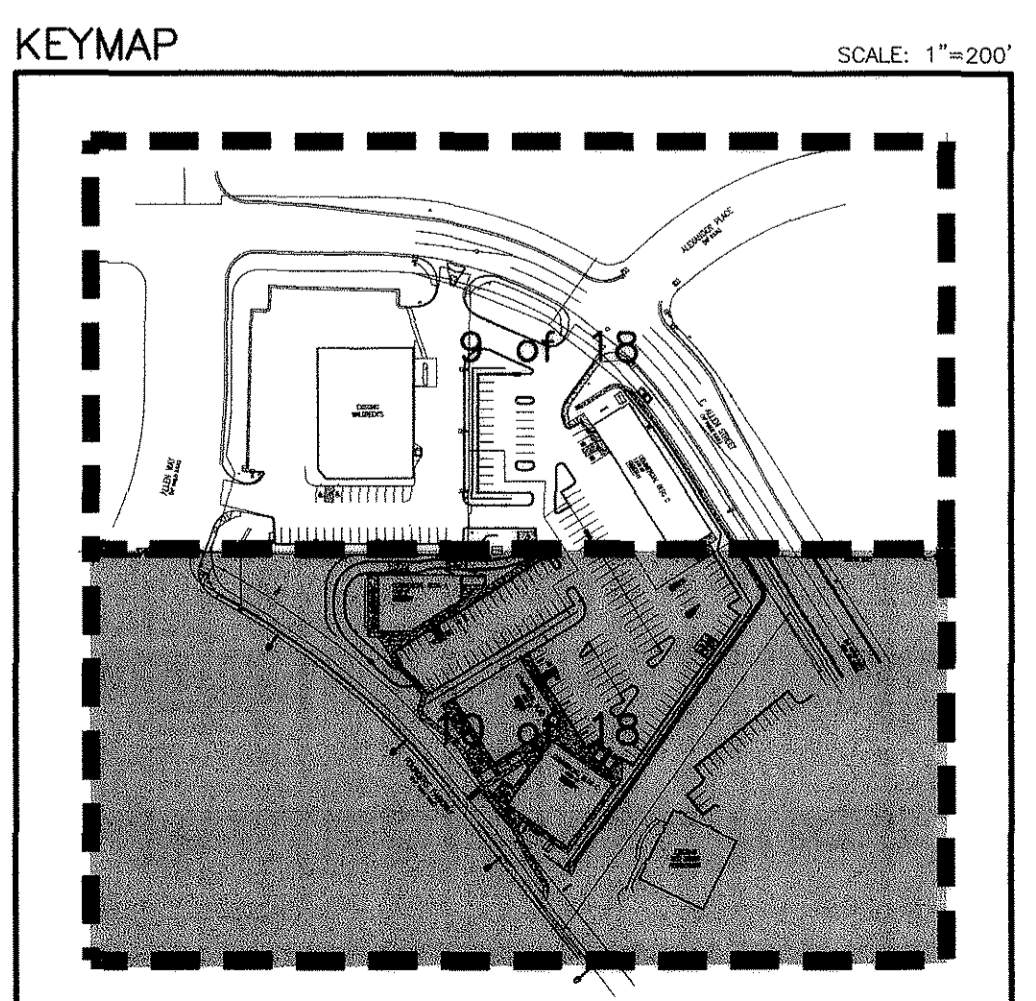
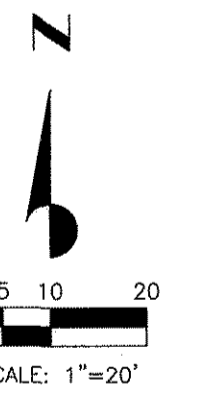
- STATIC PRESSURE:  $\pm 106$  PSI SIZE OF TAP:  $3/4"$
- POTABLE WATER SERVICE FOR THE IRRIGATION SYSTEM (SAME PIT AS BUILDING METER; SEE CIVIL SHEETS. SEE VARIANCE PW 11-0010; APPROVED 09/11/2011) - DESIGN PRESSURE: 106 PSI
  - 3/4" TAP INTO THE DOMESTIC LINE - VARIANCE UT 2008-01 (1" DOMESTIC METER AND 3/4" IRRIGATION METER) SEE DETAIL 19, SHEET 12
  - 3/4" TYPE K COPPER SERVICE FROM THE TAP TO MASTER VALVE
  - 3/4" METER AND BACKFLOW DEVICE FOR IRRIGATION USE
  - CONTRACTOR SHALL VERIFY LOCATION OF THE BACKFLOW DEVICE IN FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT.
  - SEE POINT OF CONNECTION DIAGRAM SHEET 11 OF 18
  - STATIC PRESSURE INFORMATION WAS BASED ON CIVIL INFORMATION PROVIDED BY TOWN OF CASTLE ROCK ON MAY 16, 2011. SEE GENERAL IRRIGATION NOTES - 11 OF 18/NOTE #8 - ABOUT STATIC PRESSURE REQUIREMENTS
  - THE IRRIGATION CONTRACTOR SHALL VERIFY IF A PRESSURE REGULATOR IS REQUIRED FOR THE SYSTEM TO PREVENT POSSIBLE WATER HAMMER PROBLEMS.

### CONTROLLER NOTE 'B'

- CONTROLLER 'B'
- ONE (1) 24 STATION HUNTER I-CORE CONTROLLER
  - FIVE (5) OPEN STATIONS FOR FUTURE EXPANSION
  - LOCATE AND MOUNT CONTROLLER ON BUILDING 'C' AS DIRECTED ON THE PLANS. VERIFY LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE.
  - 120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.



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CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

NO.	REVISION	DATE
1	Revisions per Town comments to 1st submittal	04/07/11
2	REVISIONS FOR PLANNING COMMISSION TO 2nd SUBMITTAL	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	06/06/11
4	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - MTRAKS	08/26/11

**Galloway**  
 Planning, Architecture, Engineering, Inc.  
 1500 10th St., Suite 100  
 Greenwood Village, CO 80111  
 303.770.8884 F  
 www.gallowayus.com

**EQUITY VENTURES**  
 COMMERCIAL DEVELOPMENT

**JOSEPH L. WILSON, INC.**  
 LICENSED LANDSCAPE ARCHITECT

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHoppES ON FOUNDERS  
PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No: EOV000001  
 Sheet Scale: 1" = 20'  
 Designed By: JLW  
 Drawn By: JLW  
 Date: JUNE 2011  
 Disk File: P\_9-12-Irrigation Plan

**IRRIGATION PLAN  
SOUTH**

GENERAL IRRIGATION NOTES

- 1. IRRIGATION DESIGN IS NOT AN EXACT SCIENCE... 2. REFER TO SPECIFICATIONS... 3. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE... 4. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS... 5. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR... 6. SEE CIVIL ENGINEER'S DRAWINGS... 7. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES... 8. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE... 9. NO MORE THAN 90% OF AVAILABLE MINIMUM STATIC WATER PRESSURE... 10. INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN... 11. WHEN INSTALLING IRRIGATION PIPE AND EQUIPMENT... 12. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER... 13. THE RAIN SENSOR SHALL BE LOCATED NEAR THE IRRIGATION CONTROLLER... 14. ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF... 15. CONTRACTOR SHALL PROVIDE #10 COMMON WIRE... 16. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3MS 'DBY-DIRECT BURIAL SPLICE KIT'... 17. PROVIDE ADDITIONAL IRRIGATION CONTROL WIRES... 18. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES... 19. TRENCH BACKFILL MATERIAL SHALL BE FREE OF ROCKS, GLASS... 20. WHERE VALVES ARE LOCATED IN CLOSE PROXIMITY TO EACH OTHER... 21. MANUAL DRAIN VALVE, FOR FREEZE PROTECTION... 22. USE TEFLON TAPE ON ALL PVC MALE PIPE THREADS... 23. ALL IRRIGATION HEADS, INCLUDING FIXED-SPRAY AND DRIP DEVICES... 24. ALL PRESSURIZED MAINLINES, VALVES, AND ROTATOR AND SPRAY HEADS... 25. EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE... 26. ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED... 27. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE... 28. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS... 29. UPON COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM... 30. ACCURATE AND COMPLETE 'AS BUILT' PLANS... 31. UNLESS OTHERWISE SPECIFIED... 32. CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE...

PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

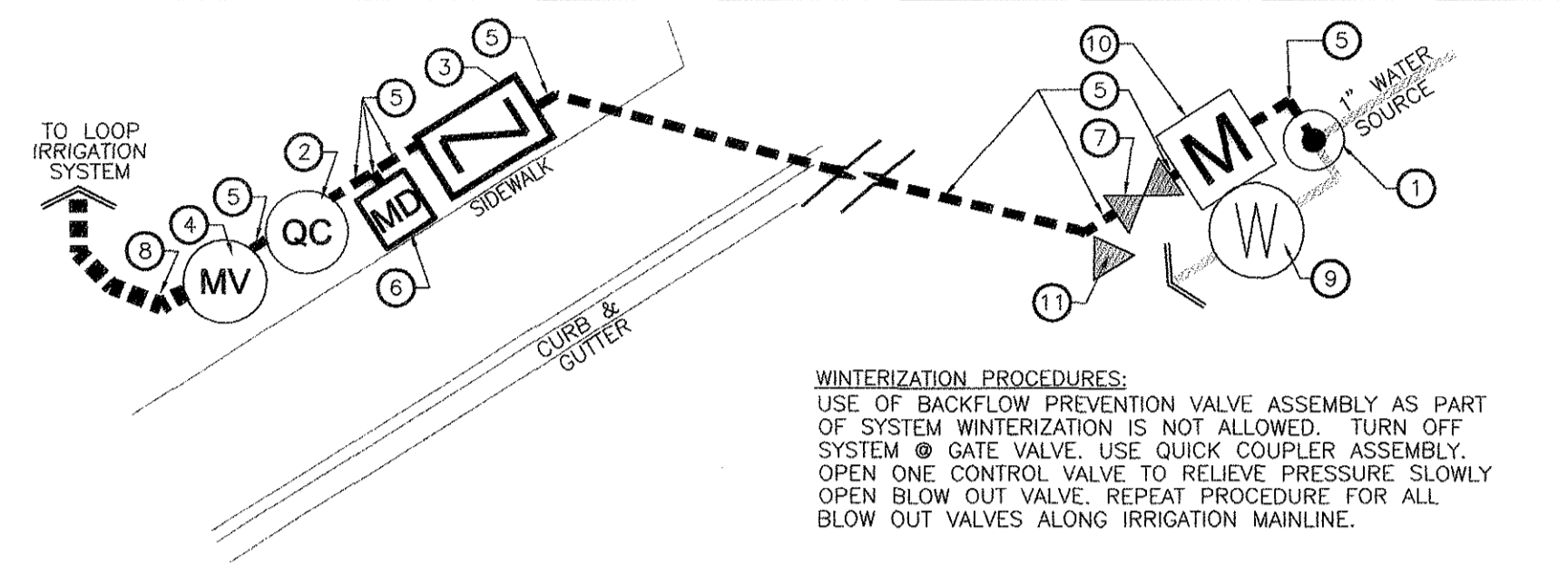
TOWN OF CASTLE ROCK IRRIGATION NOTES:

- 1. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION... 2. IRRIGATION DESIGN MUST ACCOMMODATE TOWN OF CASTLE ROCK THREE DAY WATERING SCHEDULE... 3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION ASSEMBLY... 4. THE IRRIGATION METER, SERVICE LINE, AND BACKFLOW PREVENTION ASSEMBLY MUST BE THE SAME SIZE FROM THE METER TO 10 PIPE DIAMETERS... 5. SEE VARIANCE PWV 11-0010; APPROVED 08/11/2011 FOR IRRIGATION WATER METER TO BE IN THE SAME PIT AS BUILDING METER.

IRRIGATION LEGEND

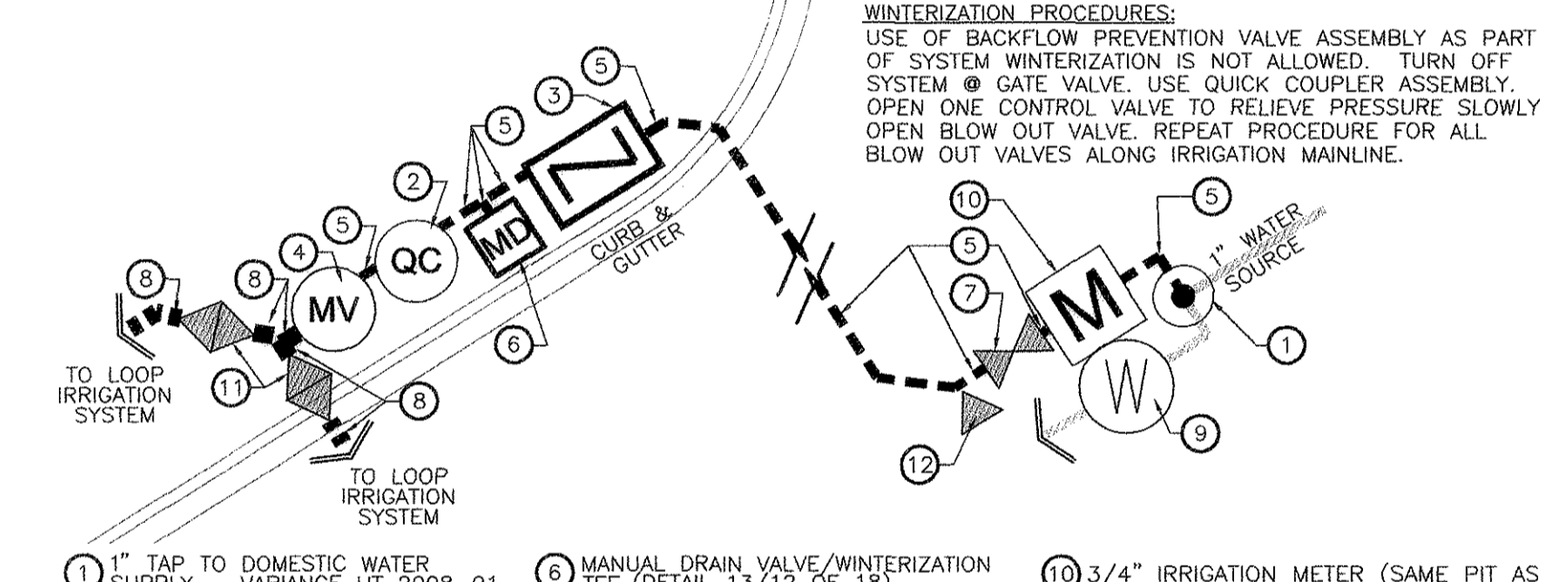
Table with columns: SYMBOL, MANUF., MODEL NO., DESCRIPTION, REMARKS/DETAIL. Includes sections for CONTROLLERS AND SENSORS, POINT OF CONNECTION, VALVES, MAIN LINE/LATERALS & SLEEVES, and ROTORS & SPRAY HEADS.

'A' POINT OF CONNECTION SCHEMATIC DIAGRAM



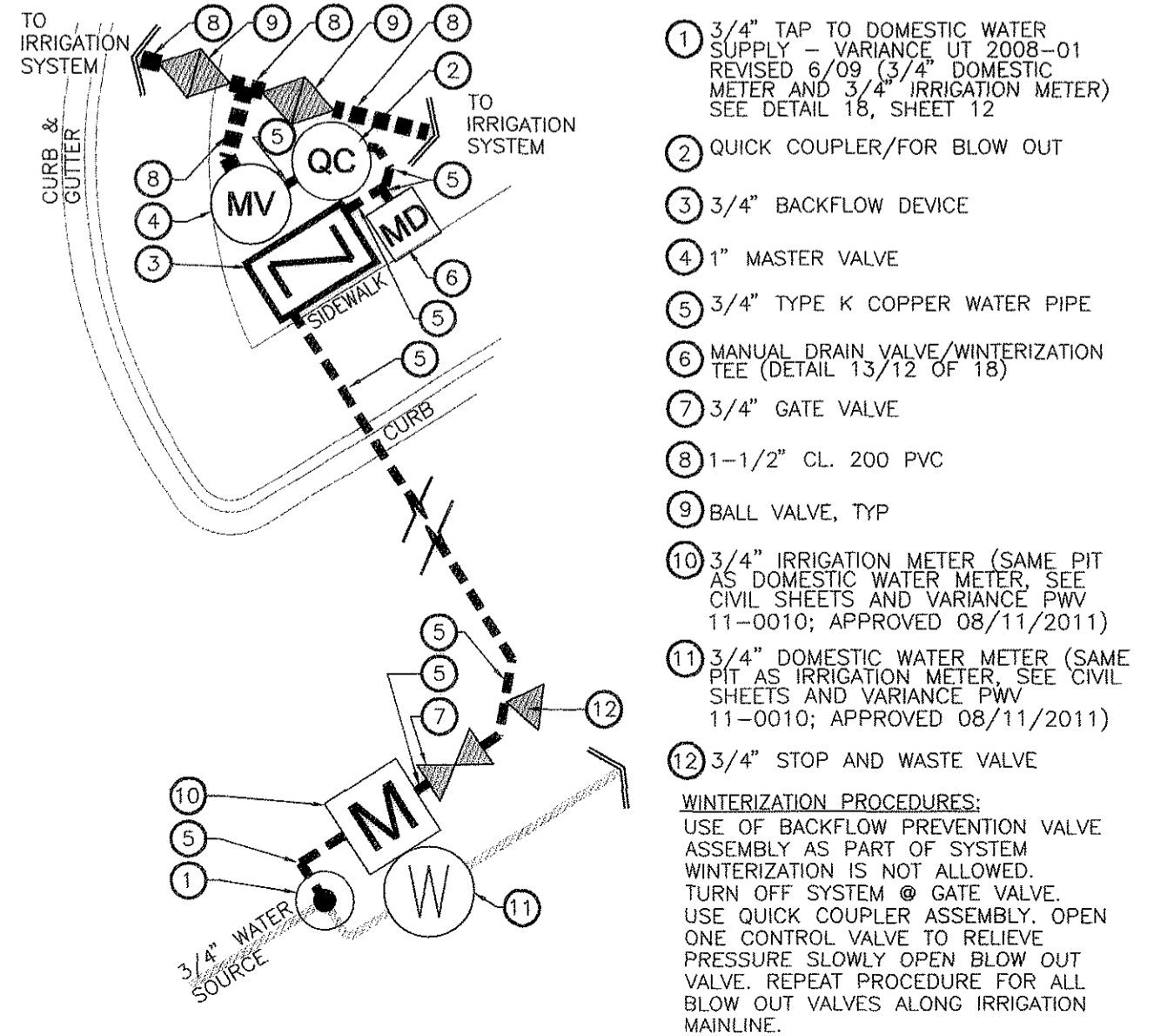
- 1 1" TAP TO DOMESTIC WATER SUPPLY - VARIANCE UT 2008-01... 2 QUICK COUPLER/FOR BLOW OUT... 3 3/4" BACKFLOW DEVICE... 4 1" MASTER VALVE... 5 3/4" TYPE K COPPER WATER PIPE... 6 MANUAL DRAIN VALVE/WINTERIZATION TEE... 7 3/4" GATE VALVE... 8 1-1/2" CL. 200 PVC... 9 1" DOMESTIC WATER METER... 10 3/4" IRRIGATION METER... 11 3/4" STOP AND WASTE VALVE

'B' POINT OF CONNECTION (BUILDING 'B' & 'C') SCHEMATIC DIAGRAM



- 1 1" TAP TO DOMESTIC WATER SUPPLY - VARIANCE UT 2008-01... 2 QUICK COUPLER/FOR BLOW OUT... 3 3/4" BACKFLOW DEVICE... 4 1" MASTER VALVE... 5 3/4" TYPE K COPPER WATER PIPE... 6 MANUAL DRAIN VALVE/WINTERIZATION TEE... 7 3/4" GATE VALVE... 8 1-1/2" CL. 200 PVC... 9 1" DOMESTIC WATER METER... 10 3/4" IRRIGATION METER... 11 BALL VALVE, TYP... 12 3/4" STOP AND WASTE VALVE

'D' POINT OF CONNECTION SCHEMATIC DIAGRAM



- 1 3/4" TAP TO DOMESTIC WATER SUPPLY - VARIANCE UT 2008-01... 2 QUICK COUPLER/FOR BLOW OUT... 3 3/4" BACKFLOW DEVICE... 4 1" MASTER VALVE... 5 3/4" TYPE K COPPER WATER PIPE... 6 MANUAL DRAIN VALVE/WINTERIZATION TEE... 7 3/4" GATE VALVE... 8 1-1/2" CL. 200 PVC... 9 BALL VALVE, TYP... 10 3/4" IRRIGATION METER... 11 3/4" DOMESTIC WATER METER... 12 3/4" STOP AND WASTE VALVE

IRRIGATION SYSTEM DATA CONTROLLER 'A'

Table with columns: VALVE NUMBER, VALVE SIZE, G.P.M., ZONE TYPE. Values for valves #1-18.

IRRIGATION SYSTEM DATA CONTROLLER 'B'

Table with columns: VALVE NUMBER, VALVE SIZE, G.P.M., ZONE TYPE. Values for valves #1-18.

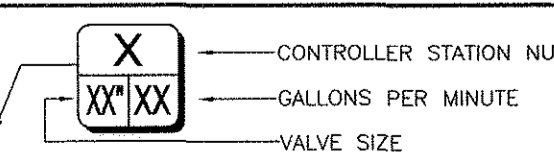
IRRIGATION SYSTEM DATA CONTROLLER 'D'

Table with columns: VALVE NUMBER, VALVE SIZE, G.P.M., ZONE TYPE. Values for valves #1-12.

SLEEVING / WIRING NOTES

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS... SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

VALVE KEY DIAGRAM



CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

TOWN OF CASTLE ROCK REGISTRATION INFORMATION: CERTIFIED LANDSCAPE ARCHITECT JOSEPH L. WILSON TOWN OF CASTLE ROCK REGISTRATION NUMBER #0071 LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO LA-304

Project information including Galloway Planning, Architecture, Engineering, and Equity Ventures Commercial Development.

Professional seal for Joseph L. Wilson, Licensed Landscape Architect, No. 304.

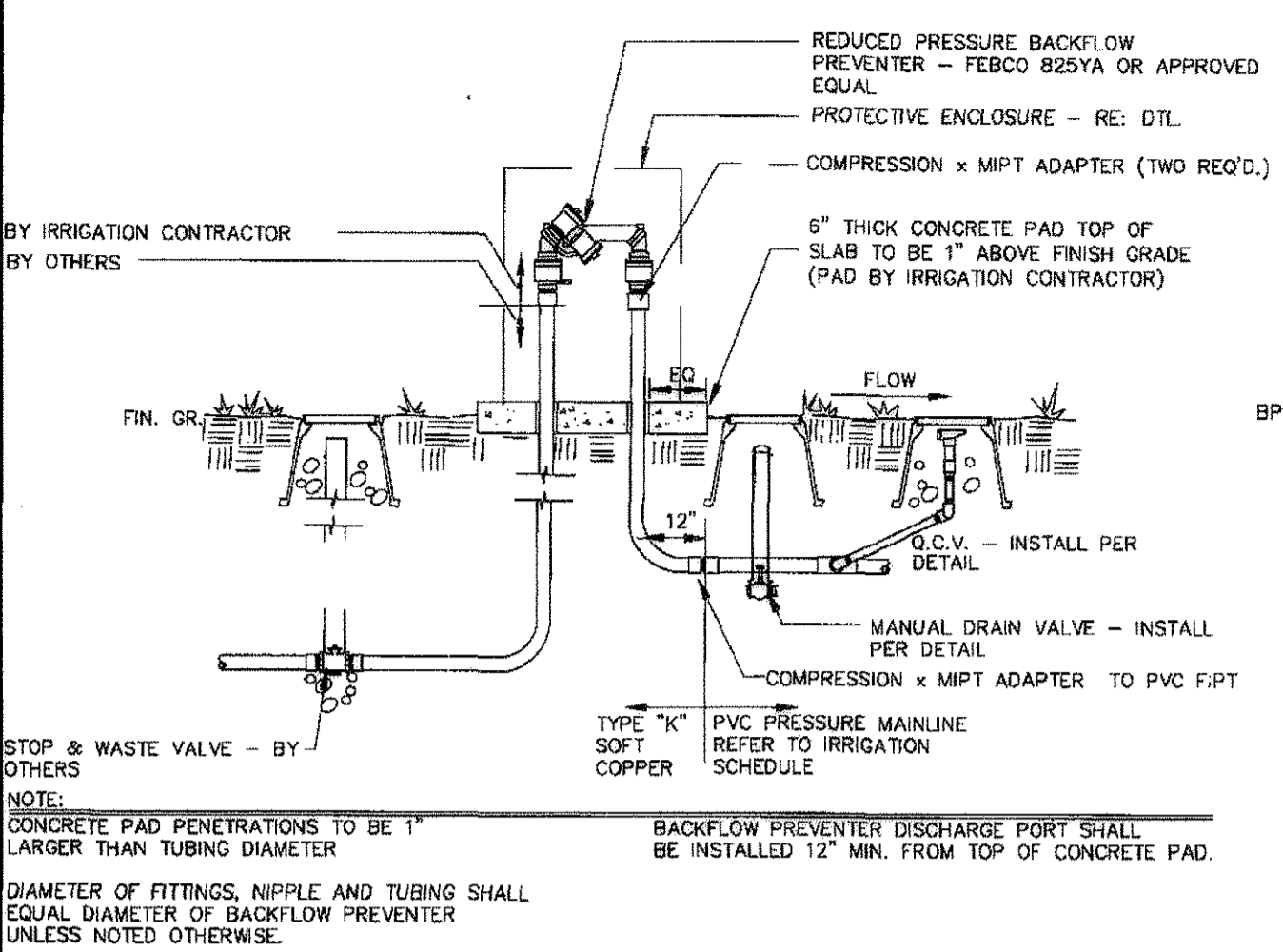
Project title: PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS PROJECT No. PPP 11-0001. Includes drawing date, designer, and sheet number 11 of 18.

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987

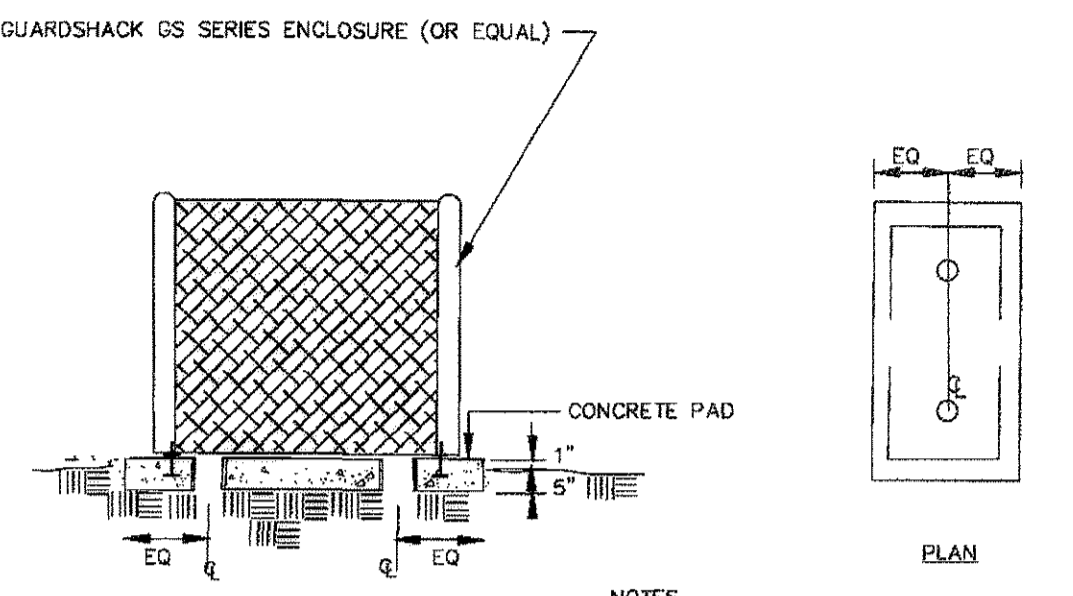
PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS

A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

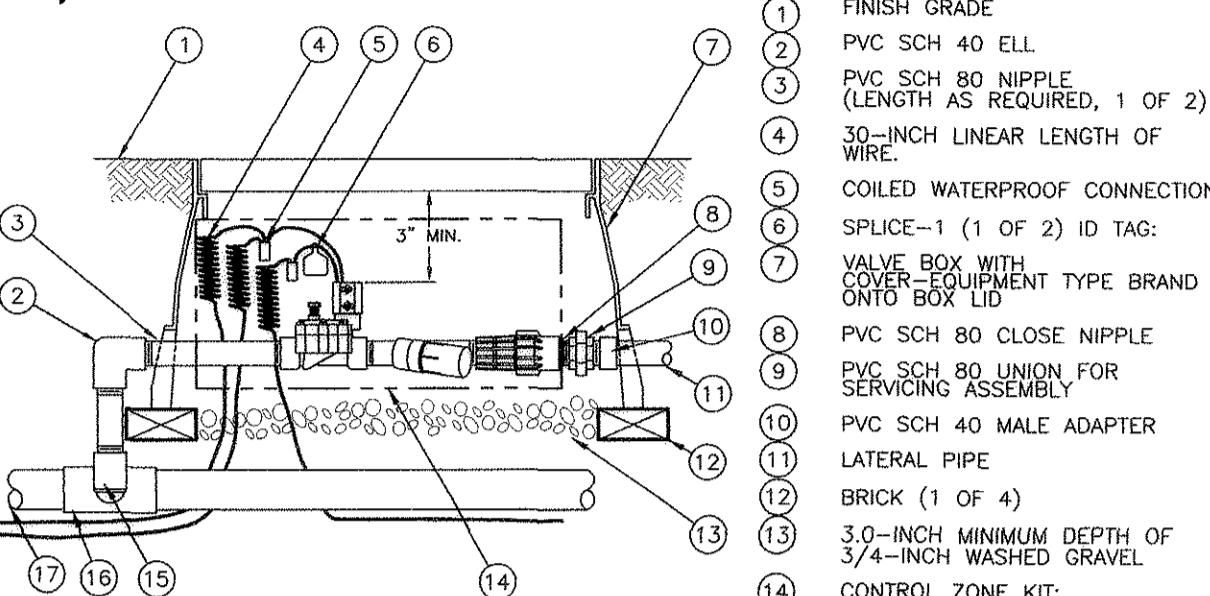
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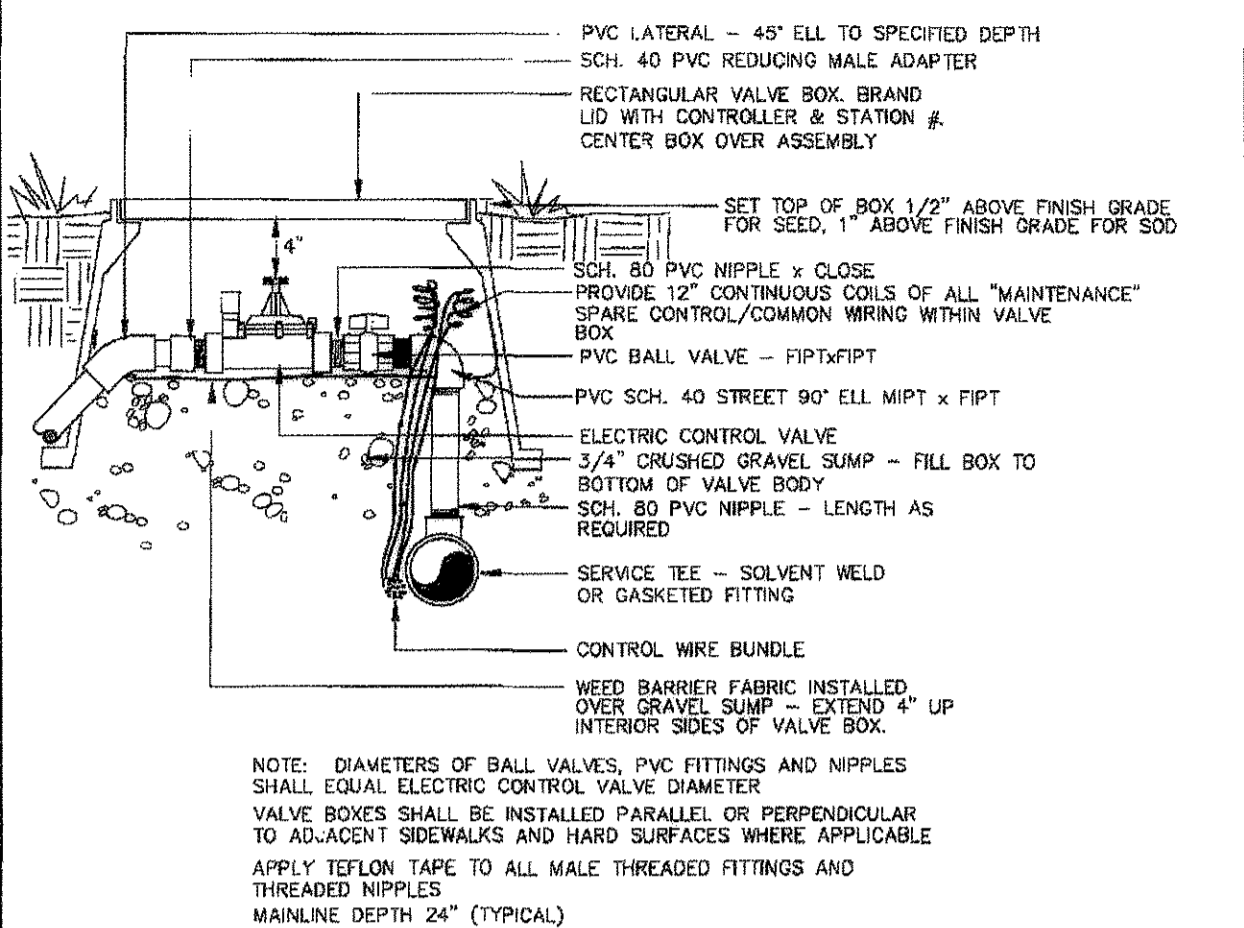
1 BACKFLOW PREVENTER, REDUCED PRESSURE SCALE: NTS



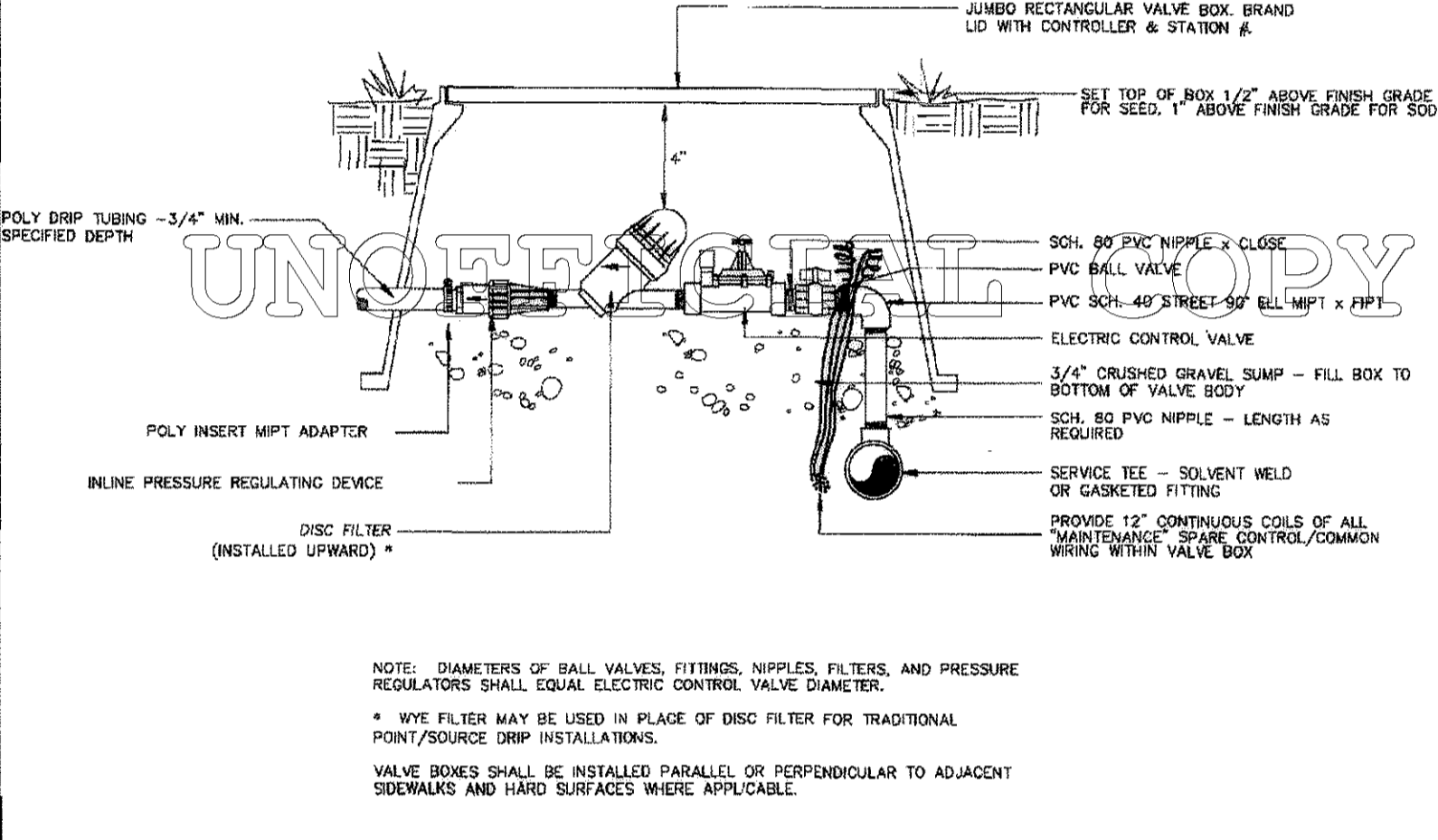
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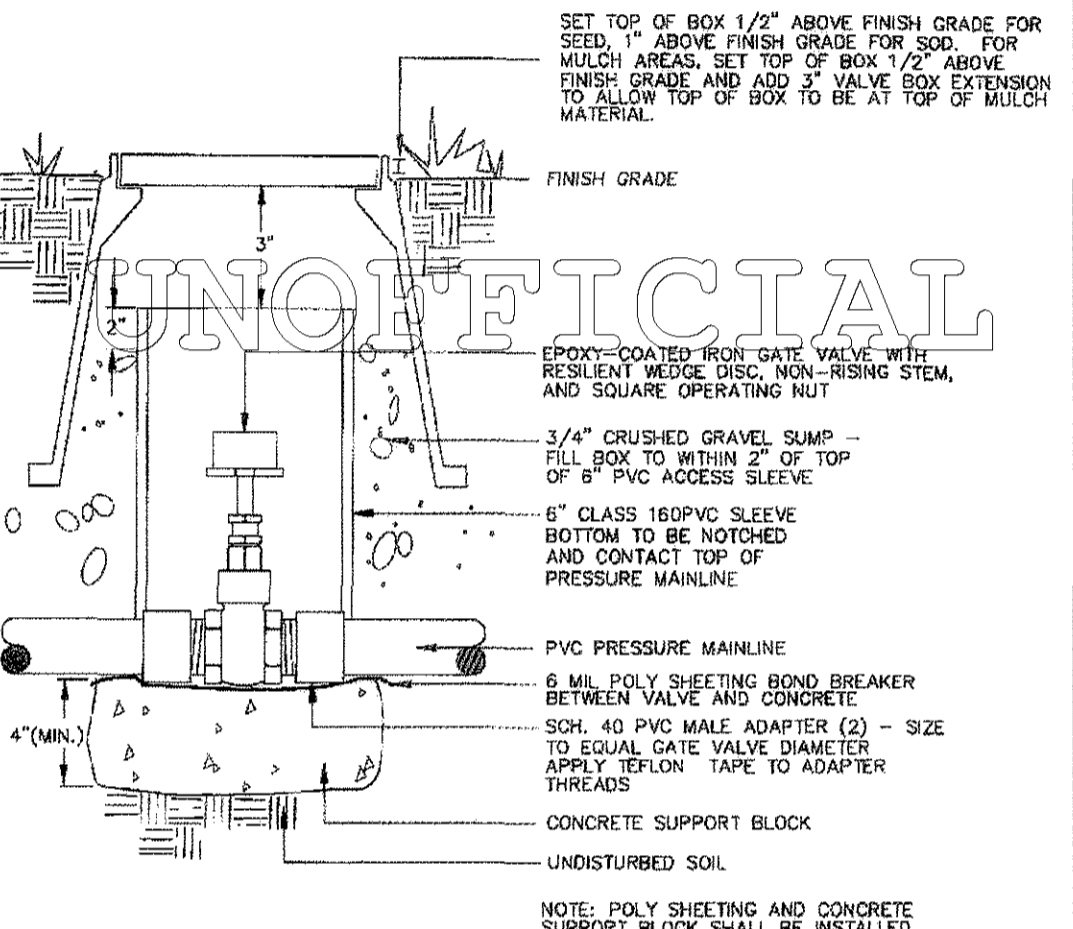
3 MEDIUM FLOW CONTROL ZONE KIT SCALE: NOT TO SCALE



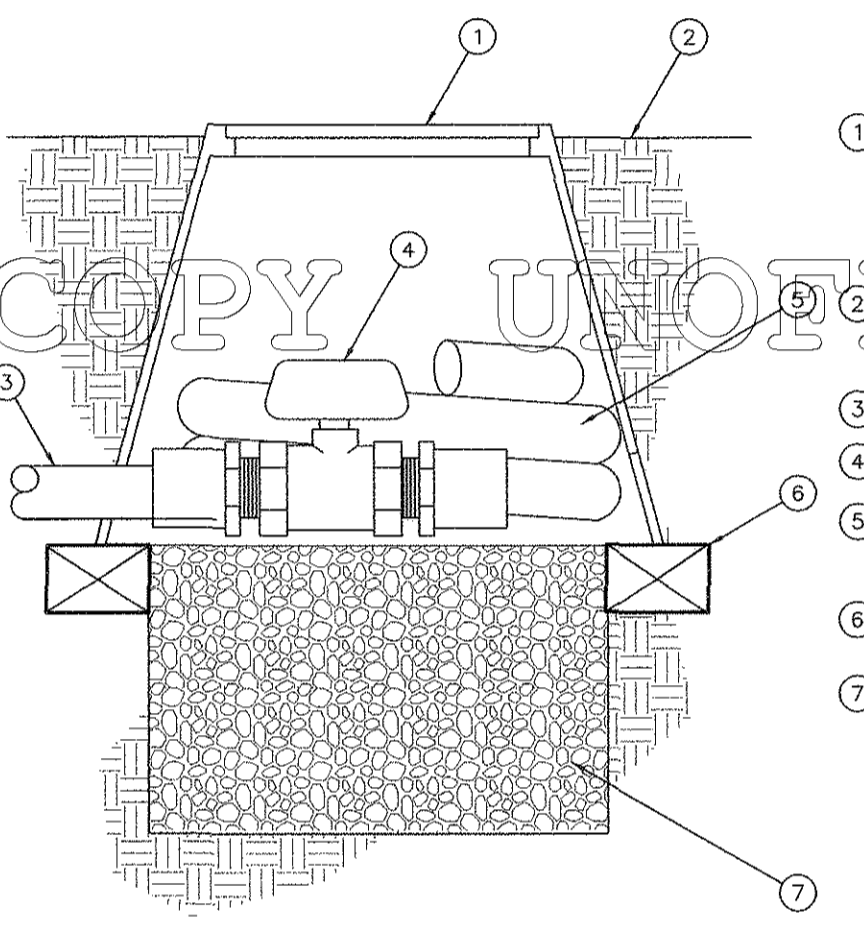
4 REMOTE CONTROL VALVE SCALE: NTS



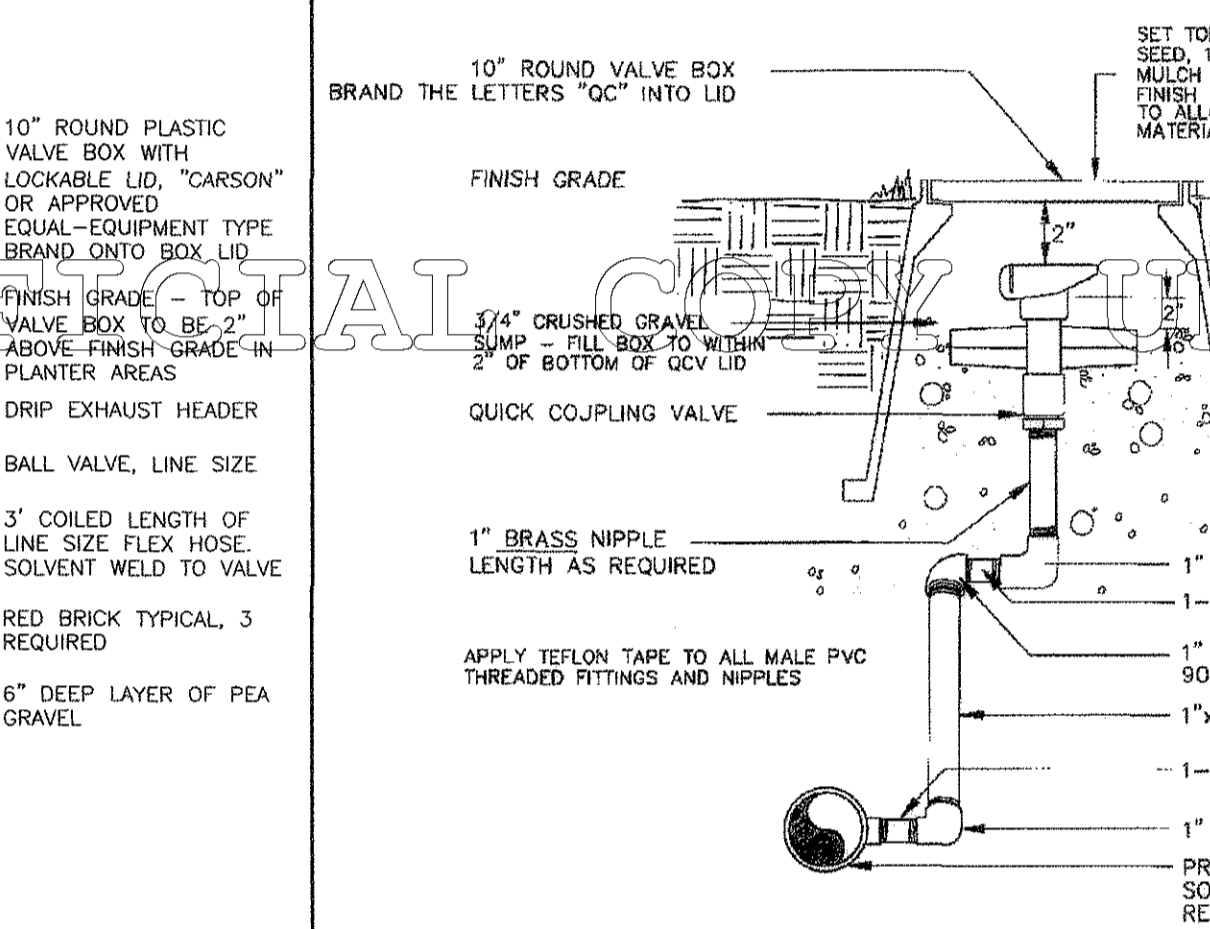
5 LOW VOLUME CONTROL ZONE ASSEMBLY-LOW FLOW SCALE: NTS



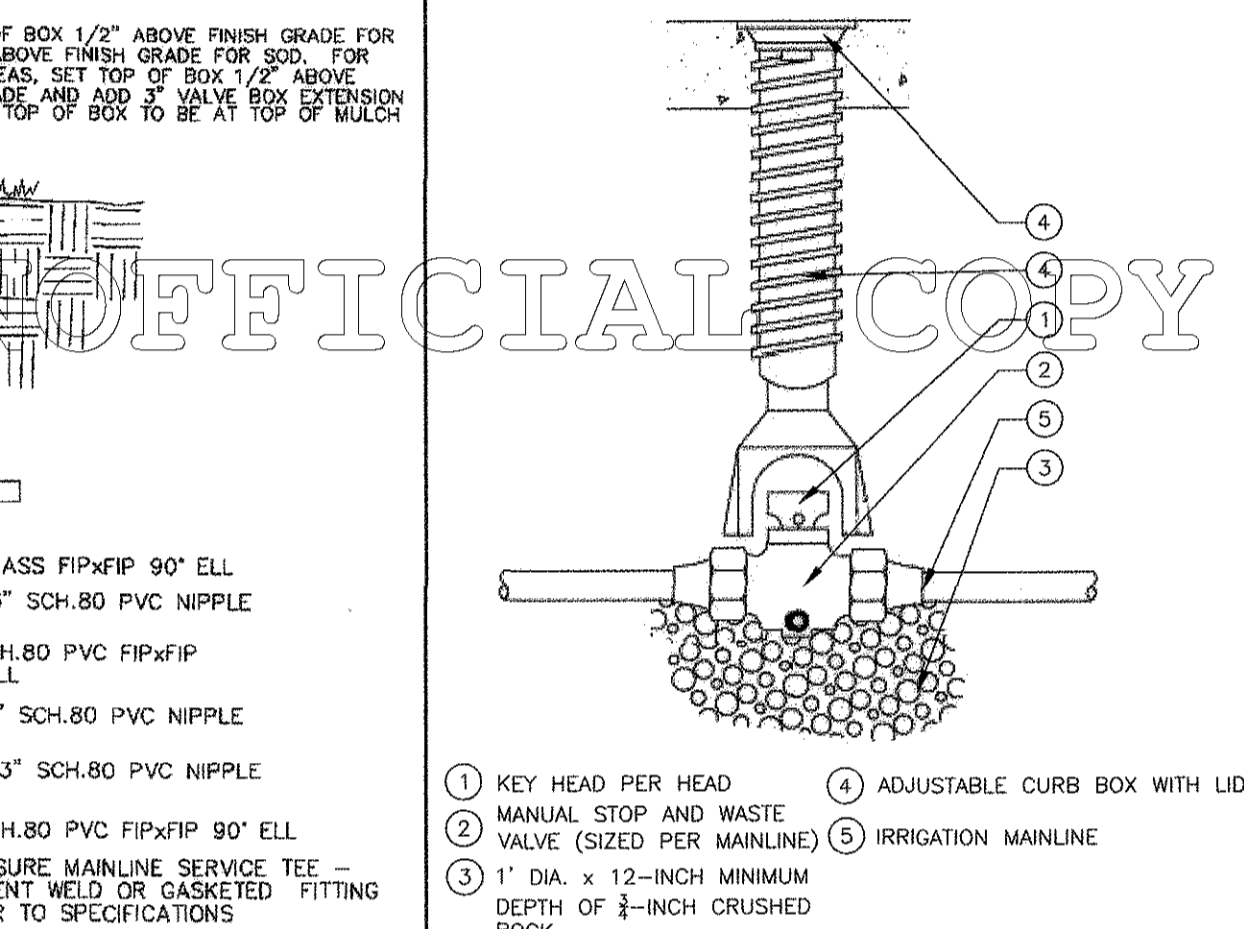
6 GATE VALVE SCALE: NTS



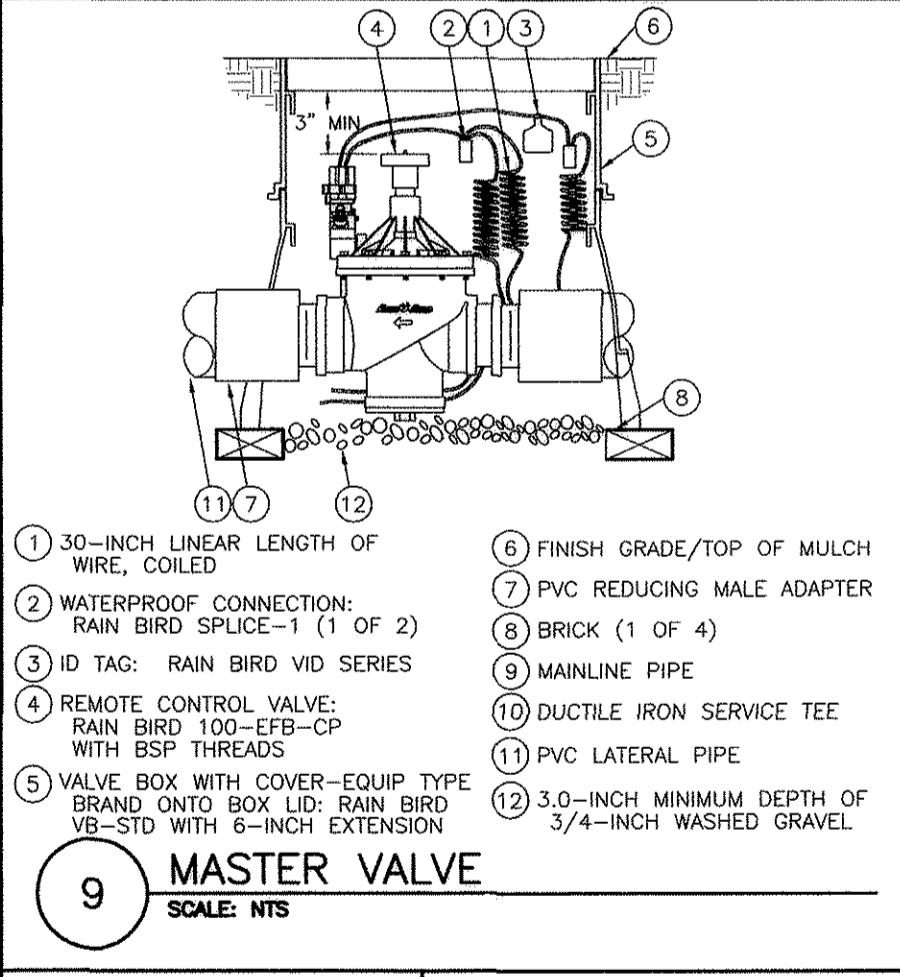
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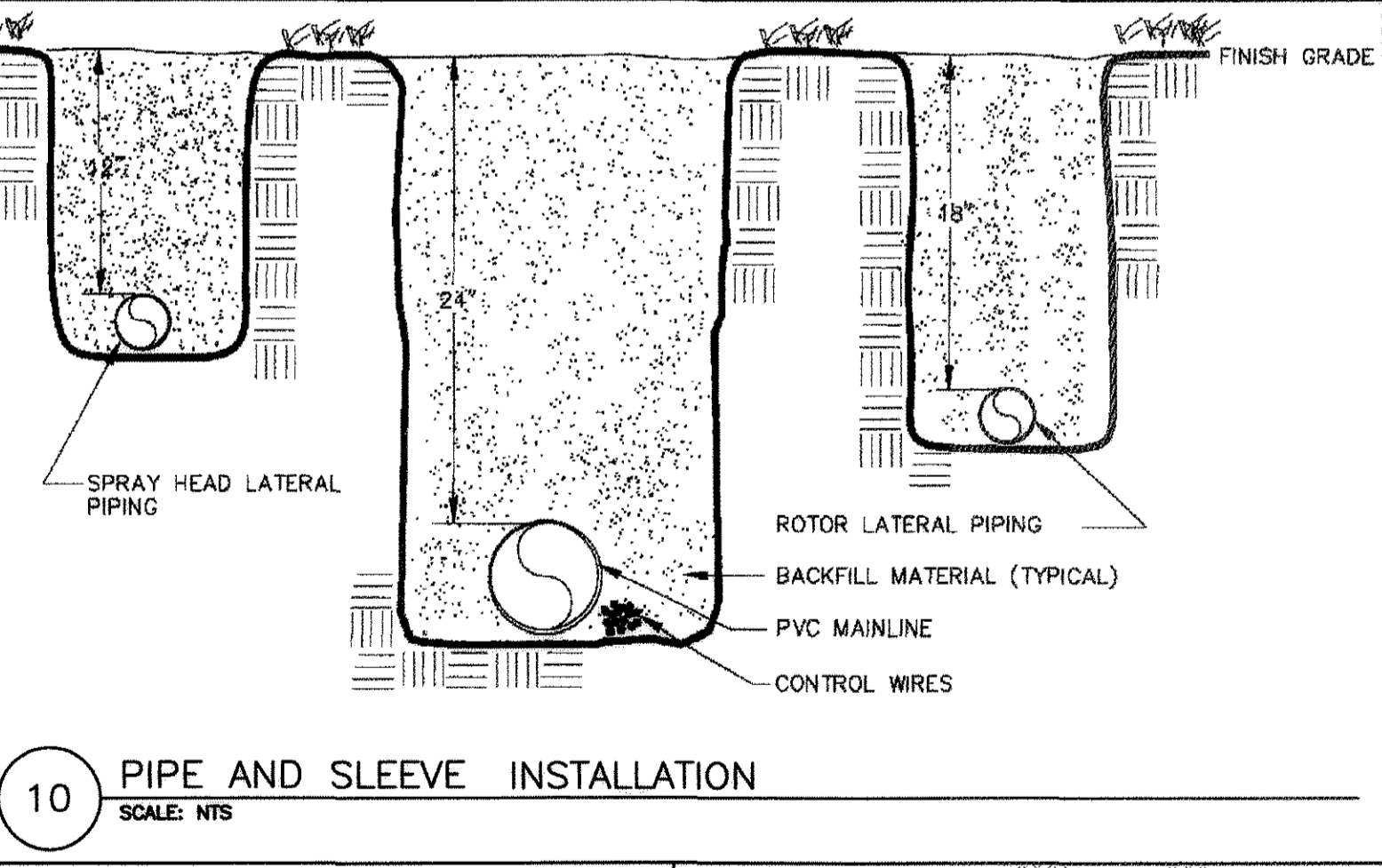
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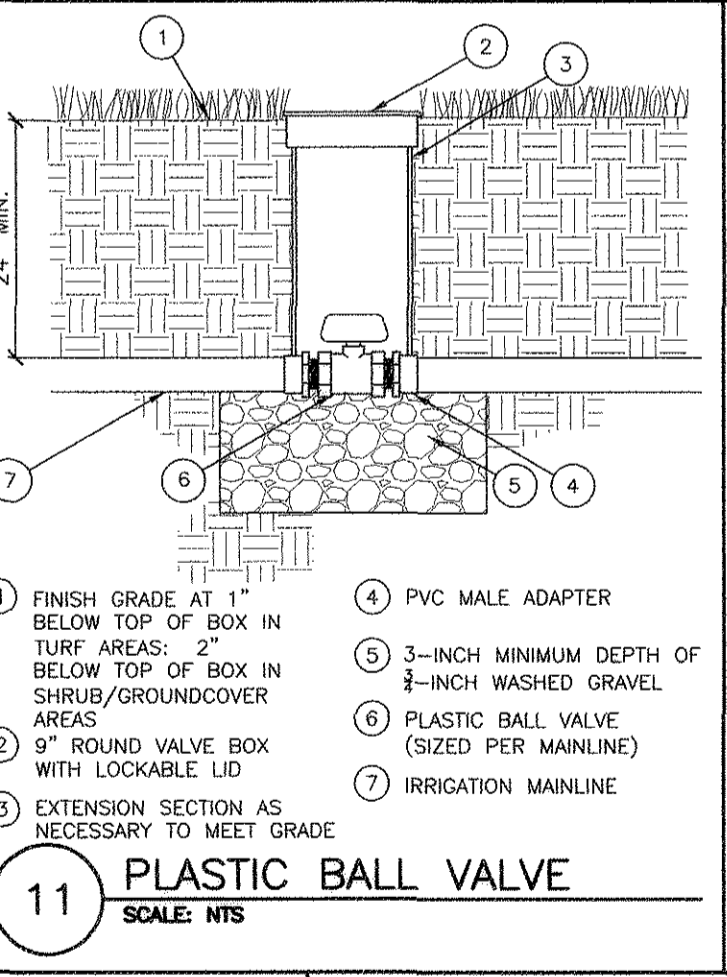
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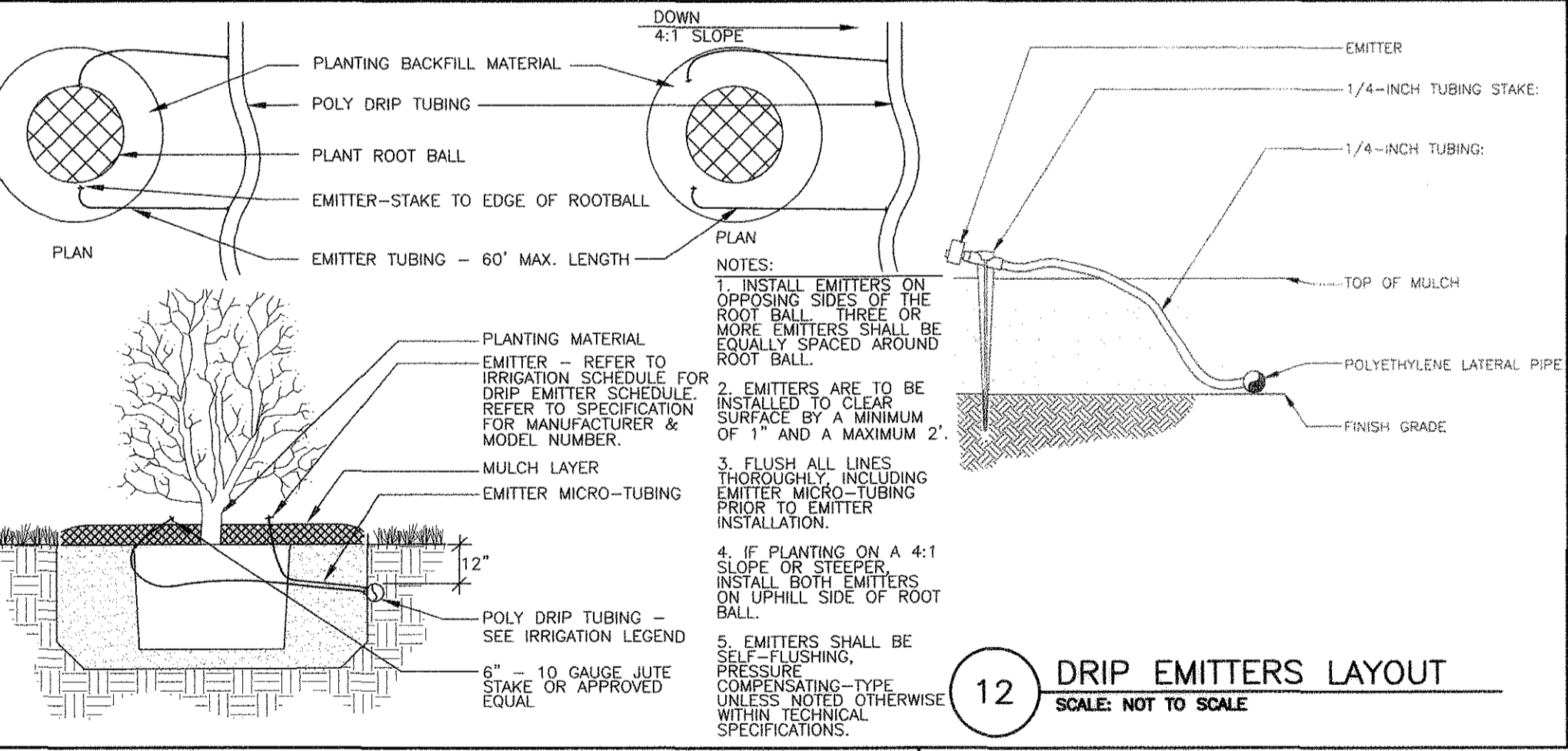
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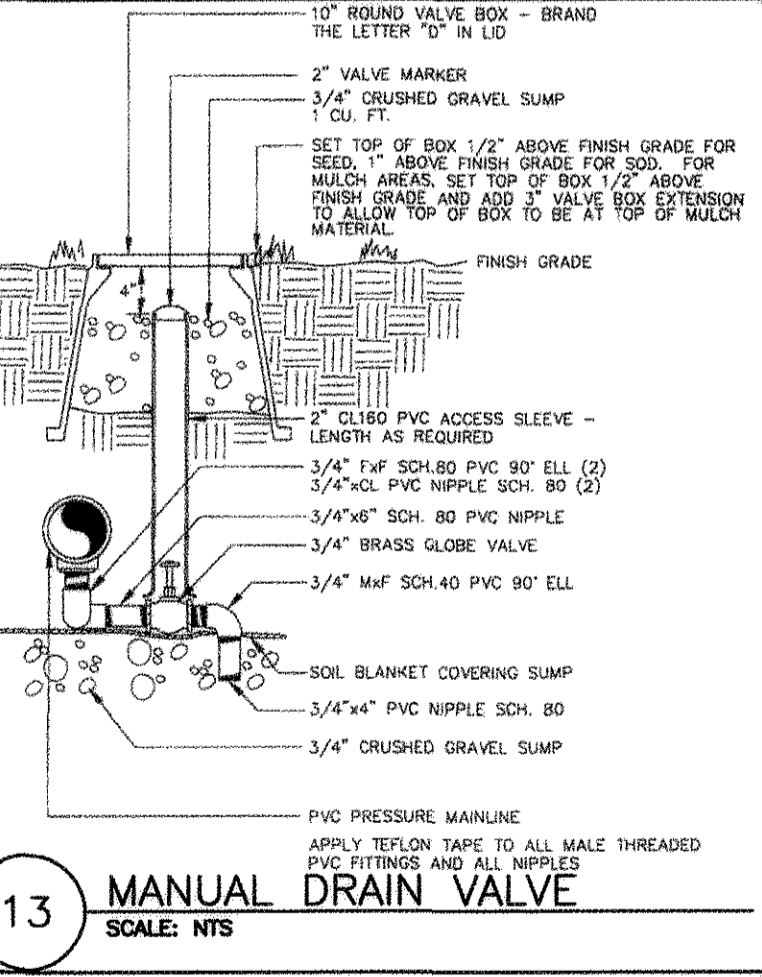
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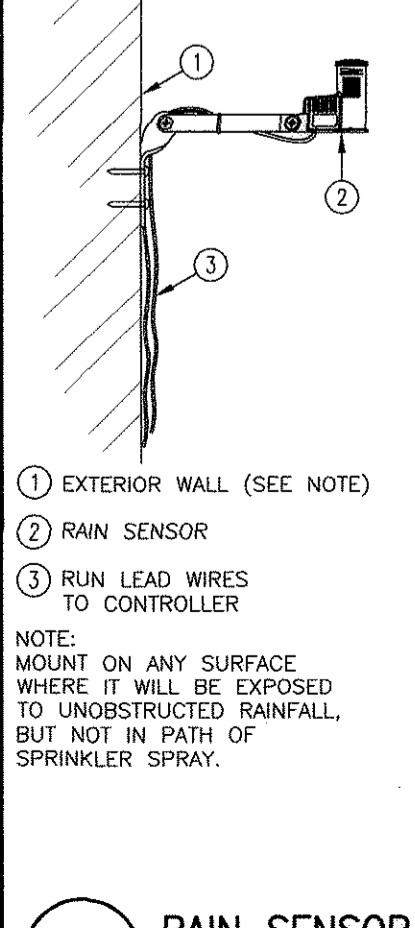
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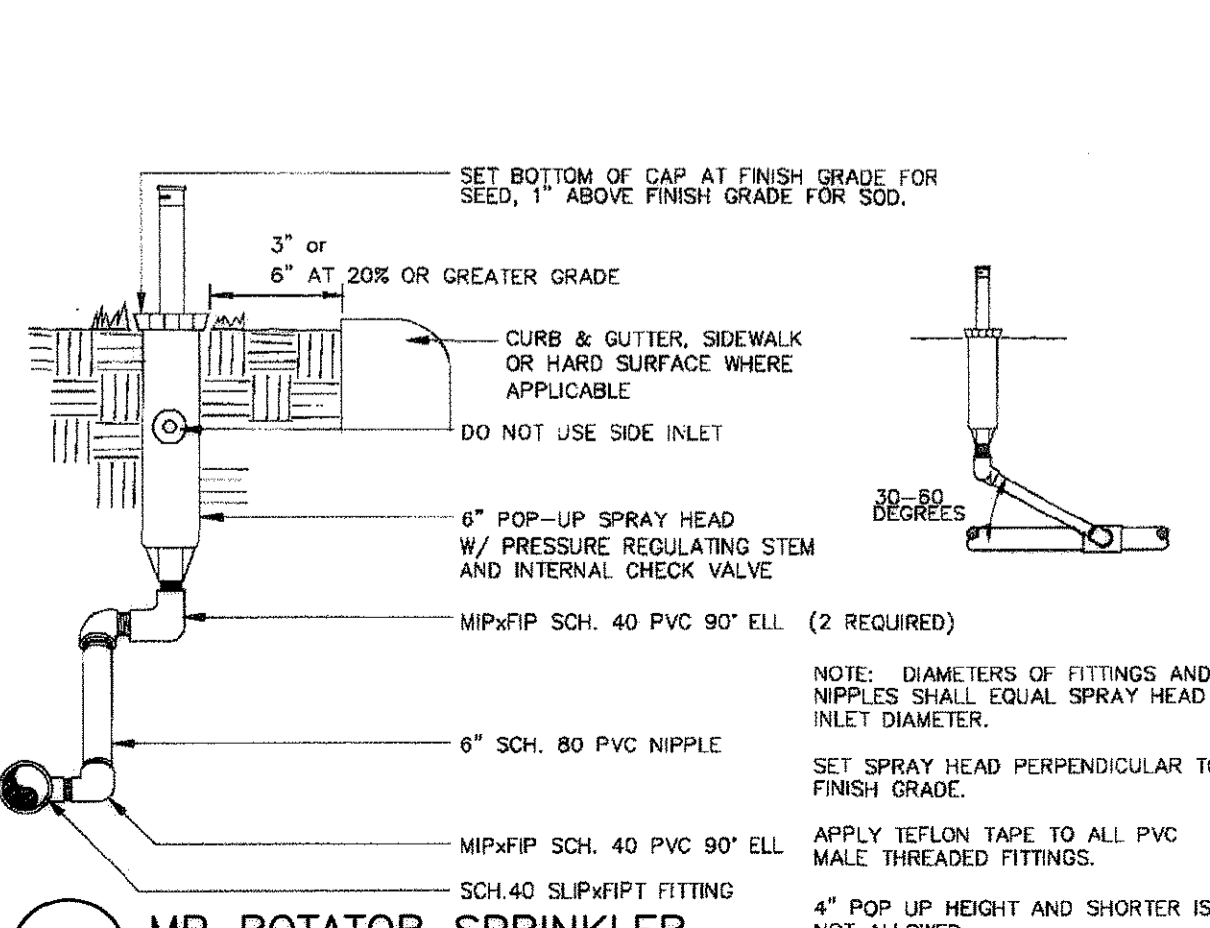
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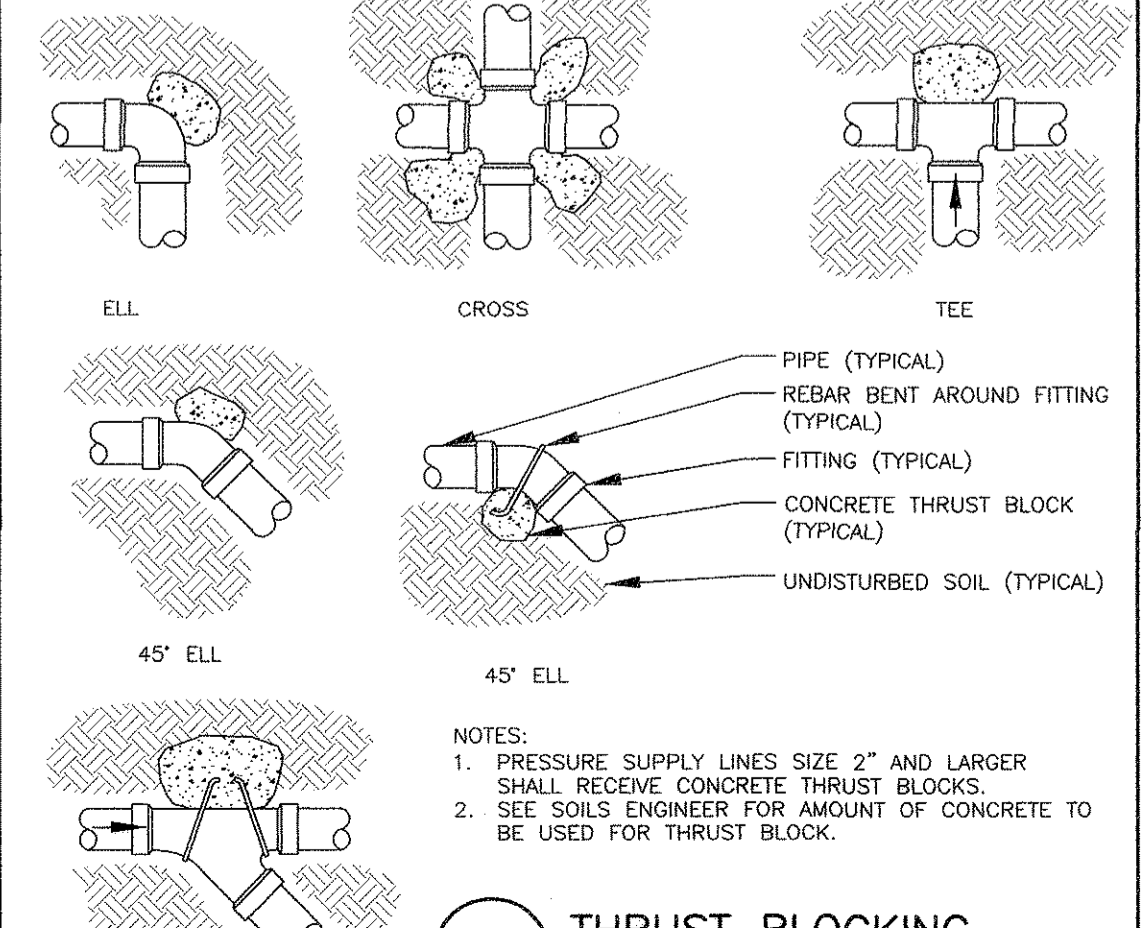
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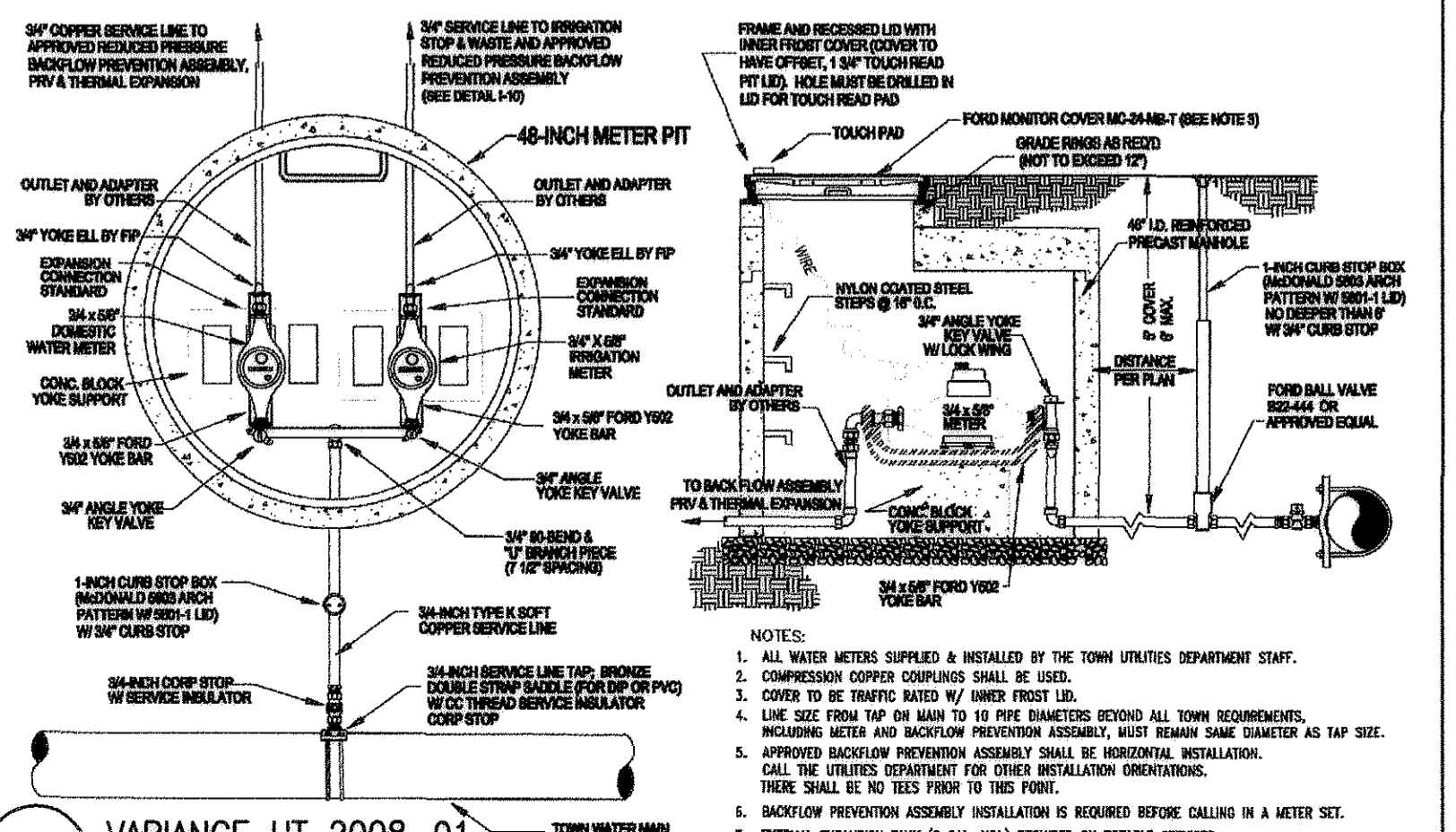
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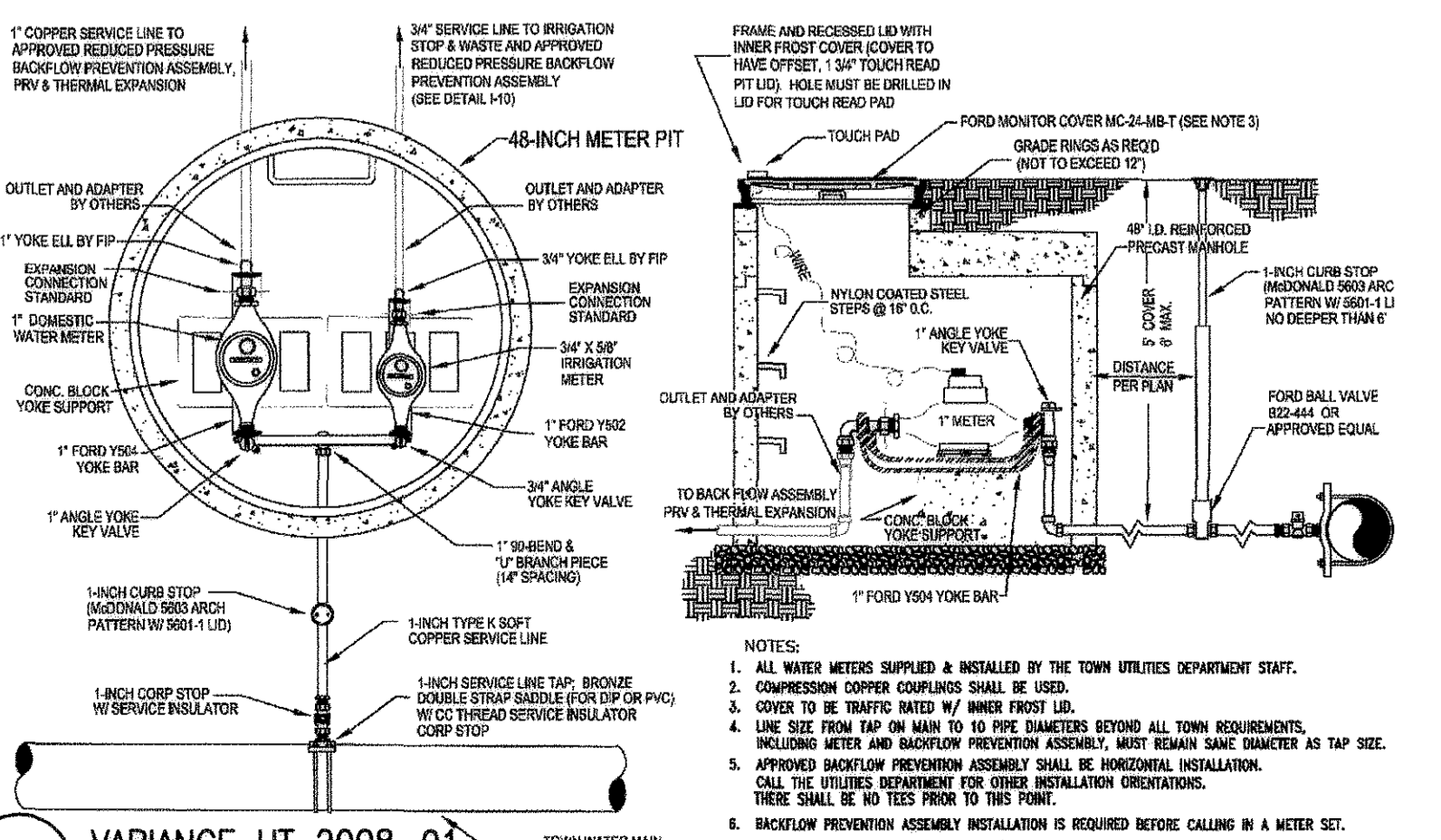
15 MP ROTATOR SPRINKLER SCALE: NTS



16 THRUST BLOCKING SCALE: NTS



18 VARIANCE UT 2008-01 DOMESTIC METER AND 3/4\"/>



19 VARIANCE UT 2008-01 1\"/>

Table with columns: No., REVISION, DES. BY, DATE, COMMENTS. Contains revision history for the project.

Galloway Planning, Architecture, Engineering. Logo and contact information for Galloway.

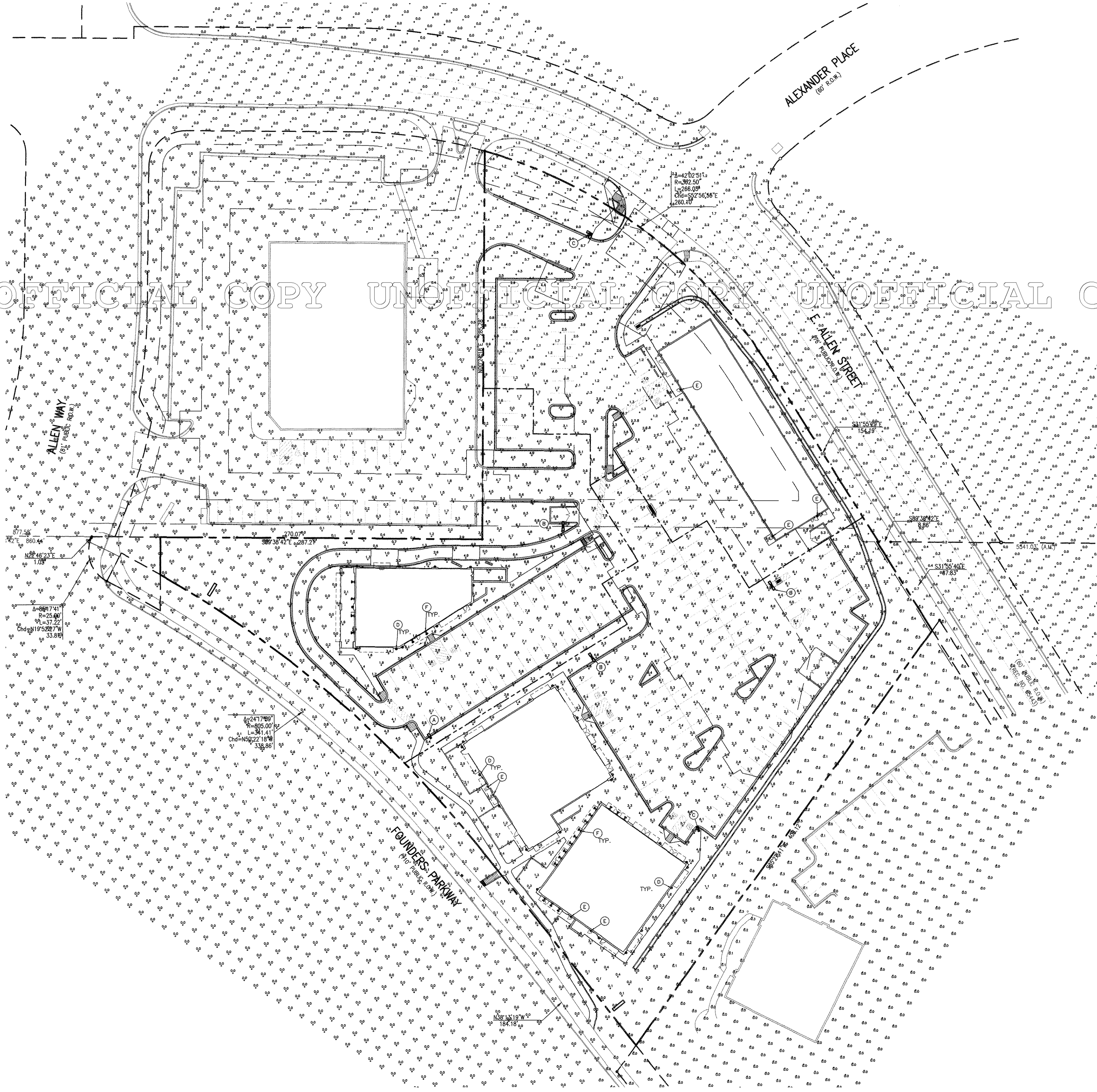
Equity Ventures Commercial Development. Logo and contact information for Equity Ventures.

Joseph L. Wilson, L.A. 304. Licensed Landscape Architect. Logo and contact information for Joseph L. Wilson.

Project No. ECV000001. Preliminary Plat/Final PD Site Plan The Shoppes on Founders. Project No. PPP 11-0001. IRRIGATION DETAILS. Scale: 1\"/>

# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHoppes ON FOUNDERS

A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
AND TRACT A, METZLER RANCH FILING NO. 3  
SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LIGHT FIXTURE SCHEDULE										
SYMBOL	ITEM	QUANTITY	MANUFACTURE	LLF	MOUNT HEIGHT	LUMENS	FINISH	LAMP	IESNA DISTRIBUTION	IESNA
ⓐ	A	2	LITHONIA, KV2 # KV2-1000M-R3FL SP09 - -LPI	1	40' FROM GRADE	107,800	DARK BRONZE	METAL HALIDE	TYPE III	FULL CUTOFF
ⓑ	B	3	LITHONIA, KV2 # KV2-1000M-SYMFL SP09 - -LPI	1	40' FROM GRADE	110,000	DARK BRONZE	METAL HALIDE	TYPE III	FULL CUTOFF
ⓒ	C	1	LITHONIA, KV2 # KV2-1000M-SYMFL SP09 - -LPI	1	40' FROM GRADE	110,000	DARK BRONZE	METAL HALIDE	TYPE III	FULL CUTOFF
ⓓ	D	33	LSI, HILTON SERIES HWSD-F1M-28-CFL -F	1	SEE ELEVATIONS	2,971	DARK BRONZE	COMPACT FLUORESCENT	TYPE III	FULL CUTOFF
ⓔ	E	7	LSI, HILTON SERIES HWSD-F1M-28-CFL -F	1	ABOVE SERVICE DOORS, SEE ELEVATIONS	2,971	DARK BRONZE	COMPACT FLUORESCENT	TYPE III	FULL CUTOFF
ⓕ	F	18	LSI, ABOLITE SERIES AD-150-100-INC-120-BRZ-LOS96WL	1	ABOVE AWNINGS	1,710	DARK BRONZE	INCANDESCENT	TYPE V	FULL CUTOFF

STATISTICAL AREA SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING/DRIVE AREA	5.16	10.0	3.1	4.66	9.09

- LIGHTING CONTROL NOTES:**
- PARKING LOT LIGHTS:** LIGHTS WILL BE BROUGHT ON WITH A PHOTOCELL AND TURNED OFF WITH A TIME CLOCK SET AT A TIME THAT IS APPROPRIATE FOR THE BUSINESSES. THE PARKING LOT LIGHTS ON ANY GIVEN LOT WILL BE CONTROLLED BY A HOUSE PANEL IN THE BUILDING ON THAT LOT.
  - BUILDING WALL MOUNTED LIGHTS (ITEM D & E):** LIGHTS WILL BE BROUGHT ON AND TURNED OFF WITH PHOTOCELL. LIGHTS ARE FOR GENERAL BUILDING SECURITY AND WILL STAY ON DURING DARK HOURS. LIGHTING CIRCUIT GOES TO HOUSE PANEL AT A GIVEN BUILDING.
  - BUILDING DECORATIVE LIGHTING (ITEM F):** THIS LIGHTING IS PRIMARILY ACCENT AND WILL BE TENANT SUPPLIED AND CIRCUITED TO TENANT ELECTRICAL PANEL. TENANT WILL HAVE CONTROL OF HOURS OF LIGHTING. NON-SECURITY LIGHTS WILL BE EXTINGUISHED WITHIN ONE (1) HOUR OF TENANT CLOSE OF BUSINESS.

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REV. NO.	REVISION	DES. BY	DATE
1	Revisions per Town comments to 1st submittal	JNA	04/07/11
2	REVISIONS FOR PLANNING COMMISSION	JNA	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	07/29/11
5	TO 4th SUBMITTAL - MTLARS	JNA	08/26/11

**Galloway**  
Planning, Architecture, Engineering  
5900 DTC Parkway, Suite 100  
Greenwood Village, CO 80111  
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www.gallowayUS.com

**EQUITY VENTURES**  
COMMERCIAL DEVELOPMENT

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHoppes ON FOUNDERS  
PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No:	EQW000001
Sheet Scale:	1"=40'
Designed By:	JNA
Drawn By:	JMG
Date:	FEBRUARY 2011
Disk File:	EQW01_P_08-Photometric Plan

**PHOTOMETRIC PLAN**

# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS

## A RESUBDIVISION OF LOT 6, COOPER ROAD MAIN PLACE FILING NO. 1, AND TRACT A, METZLER RANCH FILING NO. 3 SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

NO.	REVISION	DATE
1	Revisions per Town comments to 1st submittal	04/07/11
2	REVISIONS FOR PLANNING COMMISSION	05/18/11
3	REVISIONS PER TOWN COMMENTS	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3RD SUBMITTAL	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4TH SUBMITTAL - MTLAFS	08/26/11

**Galloway**  
Planning, Architecture, Engineering,  
5300 DTC Parkway, Suite 100  
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303.770.8868  
www.gallowayus.com

**EQUITY VENTURES**  
COMMERCIAL DEVELOPMENT  
REGISTERED PROFESSIONAL ENGINEER  
No. 1011059825  
08-31-11

**REGISTERED PROFESSIONAL ENGINEER**  
No. 1011059825  
08-31-11

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHOPPES ON FOUNDERS  
PROJECT No. PPP 11-0001**  
 NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No: EQV000001  
 Sheet Scale: AS NOTED  
 Designed By: JMG  
 Drawn By: JMG  
 Date: FEBRUARY 2011  
 Disk File: EQV01\_P\_09-Photometric Details

### LITHONIA LIGHTING

#### FEATURES & SPECIFICATIONS

**INTENDED USE:** For use in parking lots, streets and surrounding areas.

**CONSTRUCTION:** Heavy gauge die-formed aluminum housing is fabricated using robotic continuous seam-weld process for maximum light integrity. Heavy structural support plate for mounting arm and electrical components ensure rigidity and strength. Flanged aluminum door frame incorporates stainless steel hardware. Continuous electrical gasketing provides base for weather-tight seal. Optional top-hat features is available to maximize installation and maintenance ease.

**Lens:** Thermoplastic polycarbonate lens. Choice of colored or drop-in or full lens is available in standard process.

**FINISH:** Standard finish is dark bronze anodized aluminum. Electrolytically applied powder paint. Optional finish is available upon request.

**OPTICAL SYSTEM:** Flat lens configurations meet cut-off criteria (total with ANSI and ANSI options). Indirect lamp reflectors are 1/2 inch open and forward mounted aluminum. Specialized distributions available for other drop lens or flat lens. Reflectors are independently designed to optimize light output for the lens type. Horizontal lamp reflectors also available.

**ELECTRICAL SYSTEM:** All electrical components are mounted to a heavy-gauge plate to maximize heat dissipation and ensure structural integrity for optimal component life. Constant voltage autotransformer ballasts are copper wound and 100% factory tested. Super CWA. Fluorescent ballasts are required for 200, 300 and 400 watt. (Small order SCMA option).

**Socket:** Mogul-base porcelain socket with copper alloy, nickel-plated screw shell and center contact. Vertically-oriented for types BVM, ABS, and VFA distributions. Horizontal position-oriented for types FC, FS and HL. UL listed 1000V/600V, 4KV polystyrene. Reflectors are reliable and interchangeable.

**INSTALLATION:** Industrial aluminum arm with integral safety compartment. Standard arm is 17' in length. (12' arm is required for fixtures mounted at 80'). Aluminum filler for 4" to 8" CD poles. LIFTING - UL Listed to US and Canadian safety standards. (See Options) - NOM Certified (See options). U.S. listed for DFC certified and wet locations. (See Options) - NOM Certified. NOTE: Specifications subject to change without notice.

#### ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold)

Example: KVf2 400M SYMDL TB SP09 LPI

Series	Voltage	Mounting	Options	LPI Lamp
KVf2	120	TR	SP09	LPI Lamp
Wattage	240	SP	SP09	LPI Lamp
Material	277	WB	WB	LPI Lamp
200M	200M	WB	WB	LPI Lamp
300M	300M	WB	WB	LPI Lamp
400M	400M	WB	WB	LPI Lamp
500M	500M	WB	WB	LPI Lamp

**Options:**

- DA120/240 Degree arm (up/down)
- DA120/240 Degree arm (left/right)
- RMA Mount arm external filter
- KVf2B Trough-mounted ballast
- DA120/240 Degree arm (up/down)
- DA120/240 Degree arm (left/right)
- RMA Mount arm external filter
- KVf2B Trough-mounted ballast
- DA120/240 Degree arm (up/down)
- DA120/240 Degree arm (left/right)
- RMA Mount arm external filter
- KVf2B Trough-mounted ballast

**Shipping Weights - Hilo Wall Sconce**

Catalog	Cat Weight (lbs)	Length (mm)	Width (mm)	Height (mm)
HWSB-HID	11.24	616/24.26	361/15.5	343/13
HWSB-CFL	8.17	616/24.26	361/15.5	343/13
HWSU-HID	10.22	616/24.26	361/15.5	343/13
HWSU-CFL	8.17	616/24.26	361/15.5	343/13

### HILTON WALL SCONCE

(Various reflectors are protected by U.S. Patent No. 6,464,378)

**HOUSING:** The one-piece die-formed aluminum half-cylindrical housing is designed for downlight only, uplight only, and combination uplight/downlight applications. All mounting hardware is stainless steel or electro-zinc plated steel.

**WALL MOUNT:** A galvanized-steel universal wall mounting plate easily mounts directly to a 4" octagonal or square junction box. An EPDM gasket is supplied to be installed between the mounting plate and junction box, sealing the junction box from entrance of water. The galvanized-steel universal plate allows the fixture to securely attach to the mounting plate using a unique clamping design which is locked into place with two hex-head screws. The universal plate permits the fixture to be mounted in the uplighting or downlighting position. Downlight fixture used in uplight position is listed for damp (covered) locations.

**DOOR FRAME:** The aluminum pan style door frame mounts to the housing using two stainless steel, recessed and captive fasteners for easy access into the fixture. A one-piece extruded silicone gasket seals the door frame against the housing. The door swings open and is held in place by a wire retainer.

**LENS/GASKET:** A flat clear tempered glass downlight lens is sealed to the door with a one-piece EPDM gasket. The uplight lens utilizes a diffused tempered glass lens secured with multiple lens clips and a one-piece extruded silicone gasket. An optional polycarbonate downlight lens is available on most Compact Fluorescent fixtures.

**BALLAST/ELECTRICAL COMPONENTS:** Electrical components are factory-mounted in housing and provided with voltage specific leads which extend from the back of the unit through a rubber grommet. This grommet prevents the entry of insects, dust, and moisture into the fixture. The need to open the fixture to make wiring connections is eliminated, thus making installation quick and easy. UL listed HID components with high-power factor ballasts rated for 200° F starting. Compact Fluorescent ballasts are Electronic Universal Voltage (120-277V, 50/60Hz) or 347V (60/60 Hz) 0° F starting. Compact Fluorescent fixtures with UL (Universal Electronic) voltage are available with an optional dimming ballast for multiple types of controls such as building lighting controls and occupancy sensors. Battery back-up is available for 120 or 277 voltage only. Available battery back-up of 30' (30' starting temperature) and CWBB (0° starting temperature) are voltage specific for U.S. applications for use through 42 watt lamps. Consult factory for available wattages and voltages for use in Canada.

**SOCKETS:** HID lamp holders are gasket positioned, medium base for wattages up to 150 watts and mogul base for 175 watt and 250 watt - both are 4KV plate rated. The Compact Fluorescent fixture features a one-piece thermoplastic socket.

**LIGHT SOURCES:** The fixture is designed to operate with horizontal Pulse-Start Medium Base, Ceramic Metal Halide, Metal Halide, High Pressure Sodium and single or double Compact Fluorescent lamps. Lamper supplied as standard - HID (clear, shipped installed) and Compact Fluorescent (coated, 4100K).

**EMERGENCY OPERATION:** Variety of integral emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress on the building's exterior, so building occupants can exit safely. Integral Emergency Battery Back-up options are available on Compact Fluorescent units. Emergency Quartz options are offered on HID units. Options for one or two 12 volt separate circuit (SC) for use with up to 32 watt halogen lamps (4 are available on both Compact Fluorescent and HID units).

**REFLECTOR/DISTRIBUTION PATTERNS:** Multiple reflector systems are available to deliver a narrow, wide or wall wash pattern. Downlight - Forward Throw (FTM, FT), Wall Wash (WW) and Type III (3) reflectors. Uplight - Wall Wash (WW).

**UP & DOWNLIGHT COMBINATION:** Forward Throw with 10% uplight (FTM 10, FT10), Type III with 10% uplight (310), Forward Throw with wide uplight (FTW), Type III with narrow uplight (3N), and Type III with wide uplight (3W).

**FINISHES:** Each fixture is finished with LSI's Duracore polyester powder finishing process. The Duracore finish withstands extreme weather changes without cracking or peeling and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, buff, white, satin vert green, metallic silver, and graphite.

**DECAL STRIPPING:** LSI offers optional color-coordinated decals in 8 standard colors to accent the fixture. Decals are guaranteed for 5 years against peeling, cracking or fading.

**PHOTOMETRICS:** Please visit our web site at www.lsi-lighting.com for detailed photometric data.

#### SHIPPING WEIGHTS - Hilo Wall Sconce

Catalog	Cat Weight (lbs)	Length (mm)	Width (mm)	Height (mm)
HWSB-HID	11.24	616/24.26	361/15.5	343/13
HWSB-CFL	8.17	616/24.26	361/15.5	343/13
HWSU-HID	10.22	616/24.26	361/15.5	343/13
HWSU-CFL	8.17	616/24.26	361/15.5	343/13

### HILTON WALL SCONCE

#### LUMINAIRE ORDERING INFORMATION

Typical Order Example: HWSB FTM 26 CFL F UE BRZ SQ CWBB  
HWSB FTM 26 CFL F UE BRZ SQ

Luminaire Type	Light Source	Line Voltage	Mounting	Factory Installed Options	Field Installed Options
HWSB	150 - Type III, 10% Up	120	TR	SP09	LPI Lamp
HWSB	150 - Type III, 10% Up	240	SP	SP09	LPI Lamp
HWSB	150 - Type III, 10% Up	277	WB	WB	LPI Lamp
HWSB	150 - Type III, 10% Up	300	WB	WB	LPI Lamp
HWSB	150 - Type III, 10% Up	400	WB	WB	LPI Lamp
HWSB	150 - Type III, 10% Up	500	WB	WB	LPI Lamp

**FOOTNOTES:**

- 1 - Listed for wet locations (Downlight Only)
- 2 - 175 and 250 watt available with Forward Throw or Forward Throw Combo distribution only.
- 3 - Support with an IGCAPF transformer as standard. Also available with a 120/277V CWA Transformer. Consult factory.
- 4 - 90 Watt HID is not available in FT or 347V.
- 5 - 60Watt not available in FTW or FTW distribution.
- 6 - PFC lens is not available with EM options.
- 7 - PFC lens available on Downlight fixture only.
- 8 - 347 volt CFL is not available with dimming ballast (DIM) option. Consult factory.
- 9 - 11400 lamp wattages 50 and 70 are supplied with a 40 watt, 120V quartz lamp. HID lamp wattages 100 through 250 are supplied with a 100 watt, 120V quartz lamp. 120V quartz lamps are not compatible with PMA or PMAK options.
- 10 - Available on 100 watt minimum HID fixtures. HID lamp wattages 100 through 175 are supplied with two 50 watt, 120V quartz lamps. 200 watt HID fixtures are supplied with two 100 watt, 120V quartz lamps. 600 is not compatible with PMA or PMAK options.
- 11 - Ballast fixture available on single and double 120 or 277 voltage specific units with 20 through 42 watt lamps for U.S. applications. Please change Line Voltage of UE to 277 when ordering this option. On double voltage units, one lamp will be energized by battery backup (BB) option. Consult factory for specific details of Egress Job application compliance.
- 12 - 12 volt separate circuit (SC) requires. Not compatible with PMA or PMAK option or PFC ballast factory to order.

#### ACCESSORY ORDERING INFORMATION

Description	Order Number	Description	Order Number
PK120 - Single Flange	PK120	PK5 - Polycarbonate Shield	365024
PK277 - Single Flange	PK277	PK6 - Clear Polycarbonate Shield	373588/277
PK300 - Double Flange	PK300	SKD - Tempered Safety Shield	38488
PK400 - Double Flange	PK400		
PK500 - Single Flange	PK500		

### ABOLITE ANGLED REFLECTOR

**FINISH:** Available in either Architectural Textured, High Gloss, or Galvanized steel construction.

**LAMP OPTIONS:** Designed to accommodate Incandescent, Compact Fluorescent, and HID lamps. CFL and HID lamps available - order separately. Incandescent lamps by others.

**REFLECTOR:** Heavy-duty, spun Galvanized steel construction.

**SOCKETS:** Incandescent (rated 660 Watt/60 Volt) and HID fixtures (4KV pulse rated) are medium base porcelain. Compact Fluorescent sockets feature smart push-pull thermoplastic design for ease of lamping.

**BALLAST:** CFL and HID require a Wall, Ceiling, or Remote Ballast. See Accessories page.

**MOUNTING:** Fixed hub tapped for 3/4" NPT conduit. Choose from a wide variety of wall and goose-neck brackets (see accessory section).

**Dimensions:**

Fixture	Height (in)	Width (in)	Neck (in)	Weight (lbs)
AD 150	17.5	11.75	1.75	8.2
AD 200	17.5	15.75	1.75	11.7
AD 250	17.5	19.75	1.75	15.2

#### LUMINAIRE ORDERING INFORMATION

Typical Order Example: AD 150 100 INC 120 BRZ LDS96WL

Luminaire	Lamp	Light Source	Line Voltage	Mounting	Factory Installed Options	Field Installed Options
AD 150	100	INC	120	BRZ	LDS96WL	PDS - Globe 3
AD 200	200/242	CFL - Compact Fluorescent	120	BRZ	LDS96WL	PDS - Globe 3
AD 100	50	MP - Metal Halide	120	BRZ	LDS96WL	PDS - Globe 3
AD 100	70	MP - Metal Halide	120	BRZ	LDS96WL	PDS - Globe 3
AD 200	100	MP - Metal Halide	120	BRZ	LDS96WL	PDS - Globe 3
AD 200	150	MP - Metal Halide	120	BRZ	LDS96WL	PDS - Globe 3
AD 200	175	MP - Metal Halide	120	BRZ	LDS96WL	PDS - Globe 3

**FOOTNOTES:**

- 1 - Requires the use of Pulse-Start Medium Base Reduced Envelope lamp. Consult factory for other light sources available for export.
- 2 - CFL, PMA, and ballast remote ballast required (see accessory section).
- 3 - For use with AD200 only.
- 4 - Lamp location listed only.

LIGHT FIXTURE A, B & C MANUFACTURER CUT SHEET

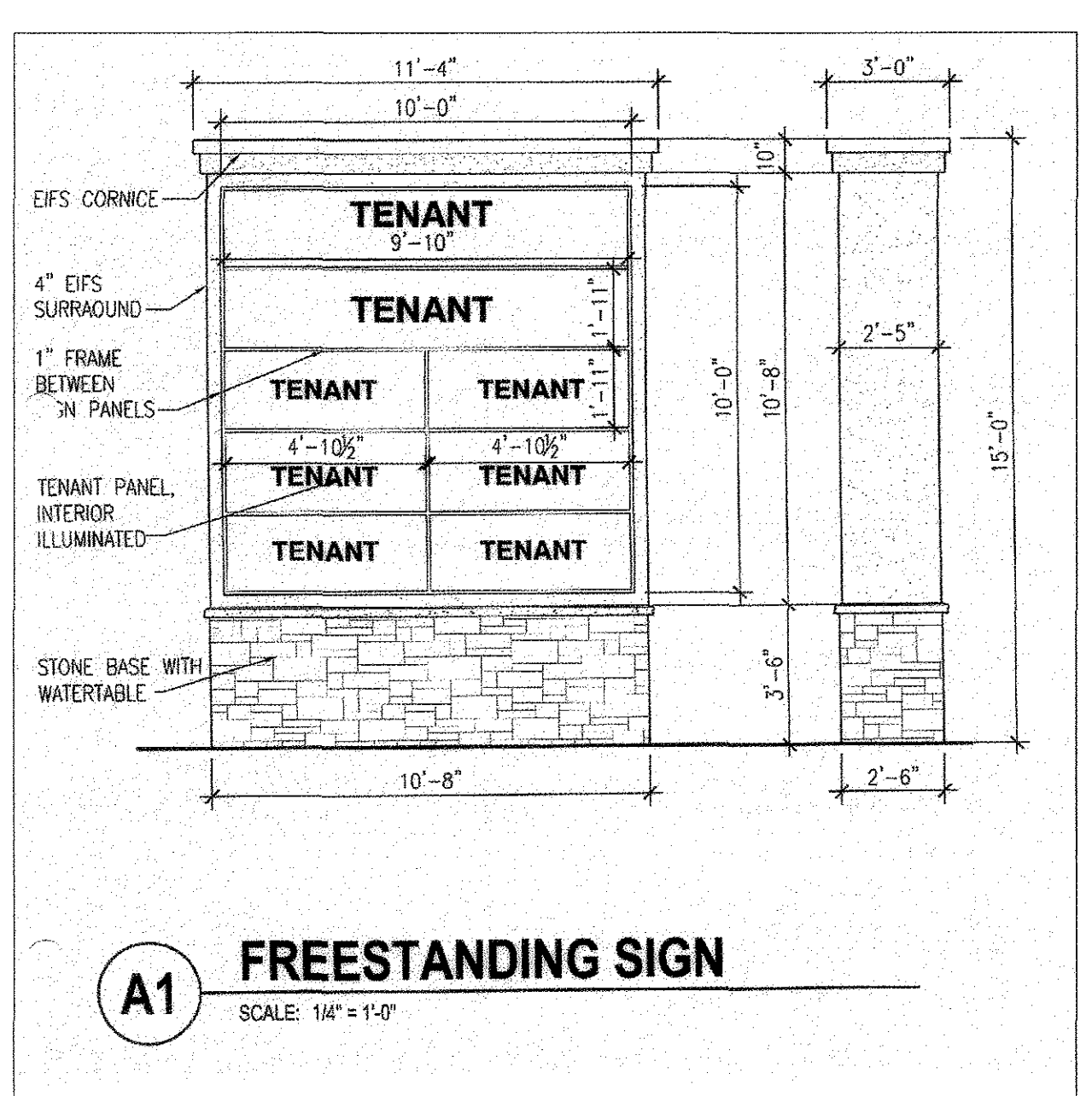
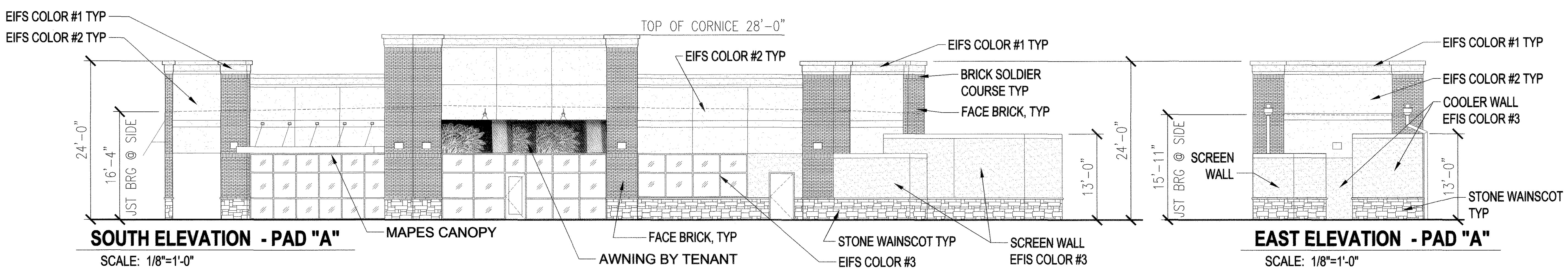
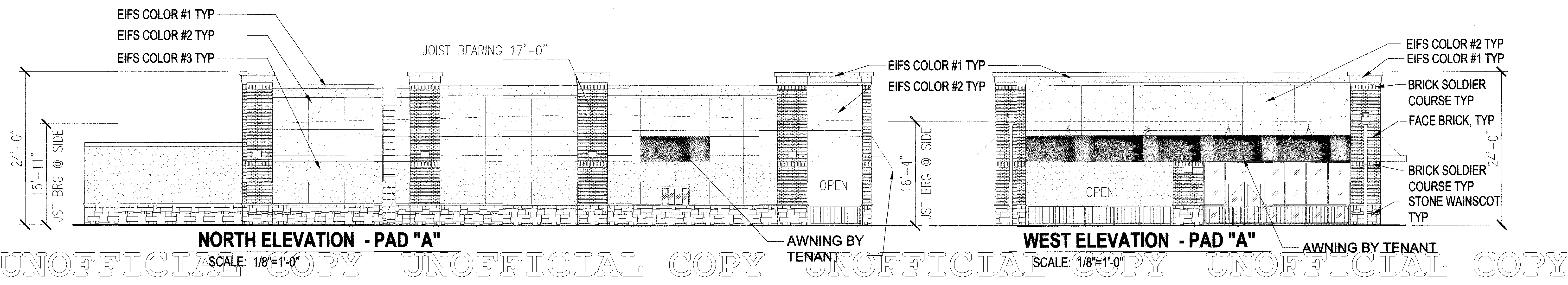
LIGHT FIXTURE D & E MANUFACTURER CUT SHEET

LIGHT FIXTURE F MANUFACTURER CUT SHEET

# PRELIMINARY PLAT/FINAL PD SITE PLAN

## THE SHOPPES ON FOUNDERS

A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
AND TRACT A, METZLER RANCH FILING NO. 3  
SITUATED IN THE WEST 1/2 OF SECTION 26, T. 7 S., R. 67 W., OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



No.	REVISION	DES. BY	DRAWN BY	DATE
1	Revisions per Town comments to 1st submittal	JNA	RDC	04/07/11
2	REVISIONS FOR PLANNING COMMISSION	JNA	RDC	05/18/11
3	REVISIONS PER TOWN COMMENTS TO 2nd SUBMITTAL	JNA	RDC	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	RDC	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - MPLARS	JNA	RDC	08/26/11

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Denver, CO 80111  
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**PRELIMINARY PLAT/FINAL PD SITE PLAN**  
**THE SHOPPES ON FOUNDERS**  
**PROJECT No. PPP 11-0001**

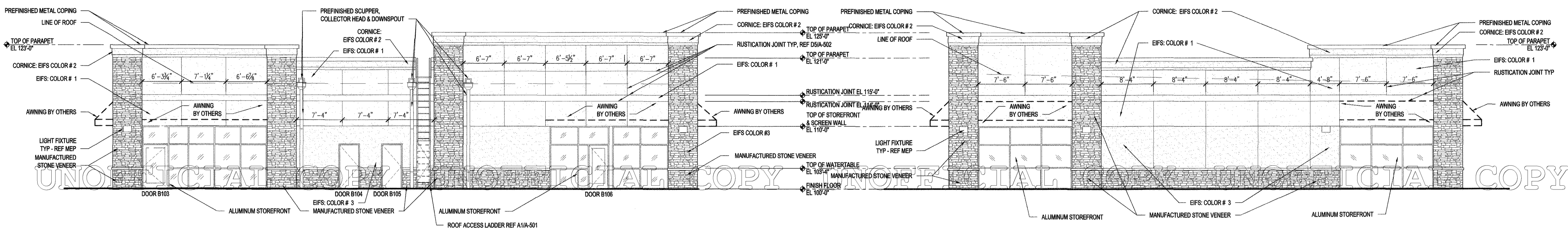
NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No:	EQV000001
Sheet Scale:	AS NOTED
Designed By:	JNA
Drawn By:	RDC
Date:	FEBRUARY 2011
Disk File:	EQV01_P 10-Bldg A Elev

**COMMERCIAL BUILDING**  
**A ELEVATIONS**

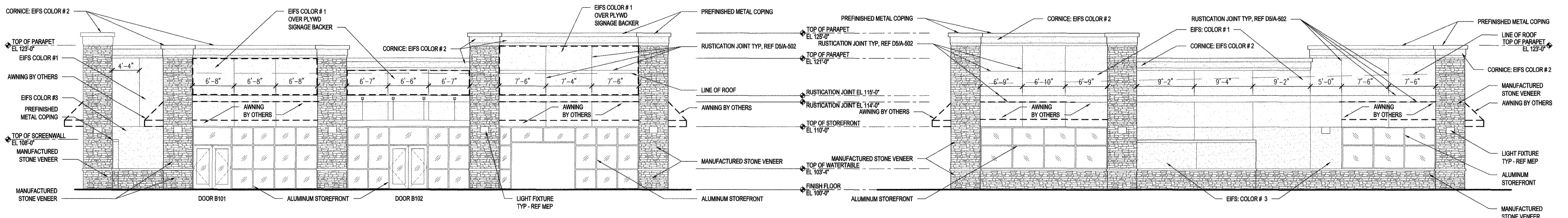
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

REVISION No.	DES. BY	DATE
1	JNA	04/07/11
2	JNA	05/18/11
3	JNA	06/06/11
4	JNA	07/29/11
5	JNA	08/26/11

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**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHOPPES ON FOUNDERS  
PROJECT No. PPP 11-0001**

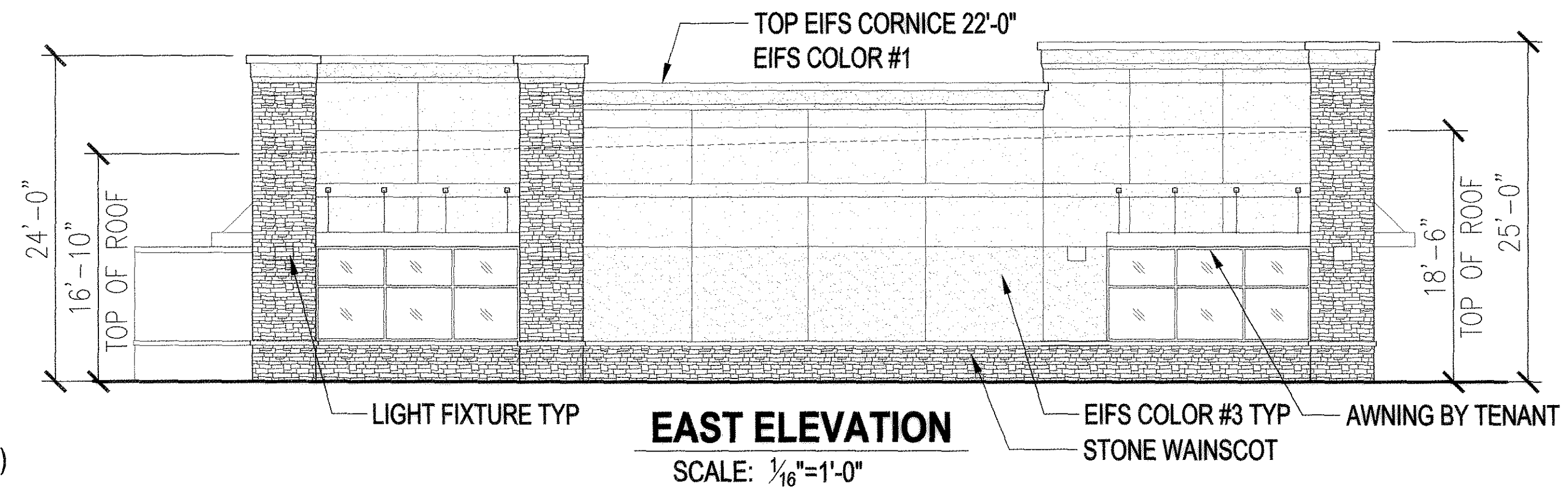
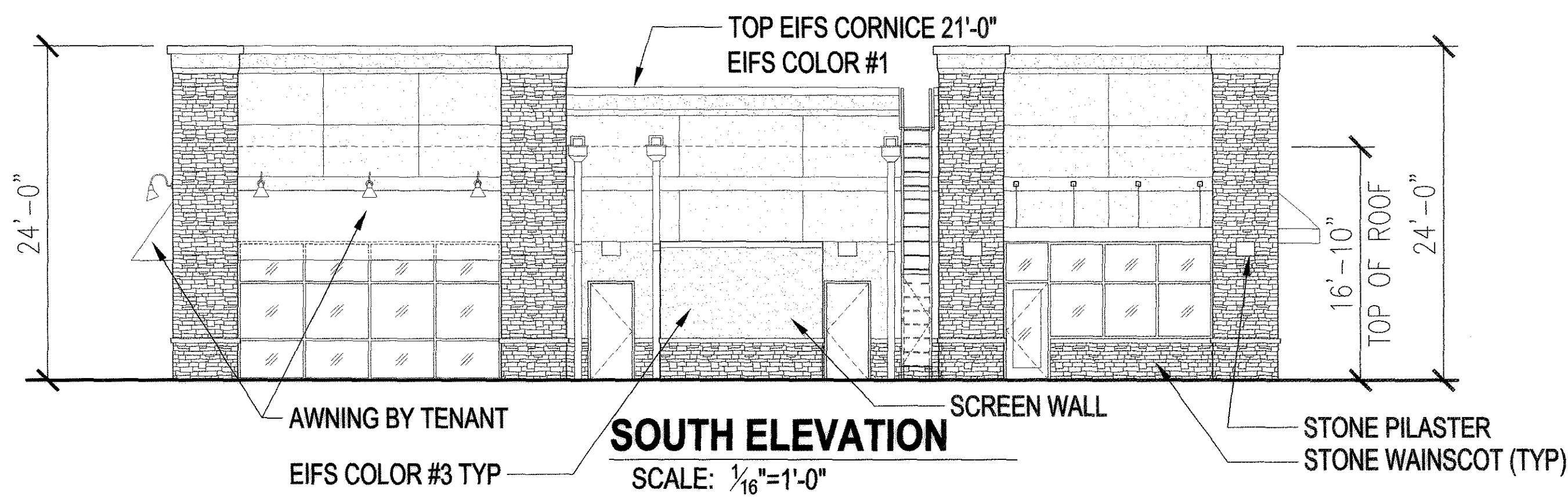
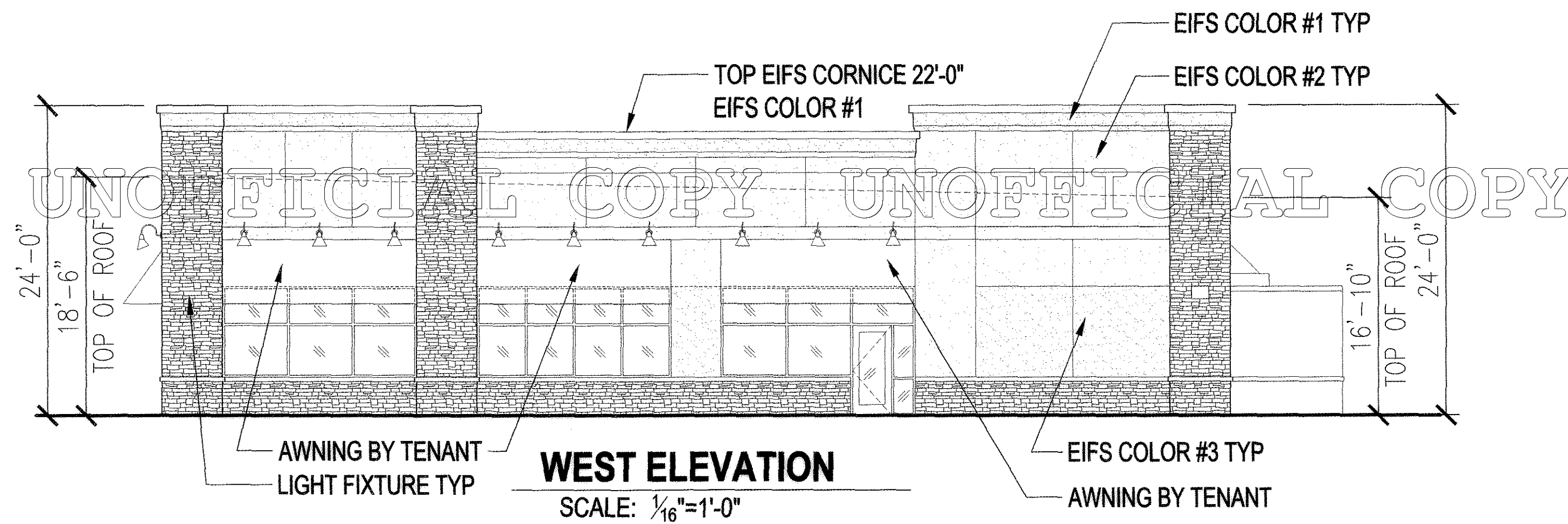
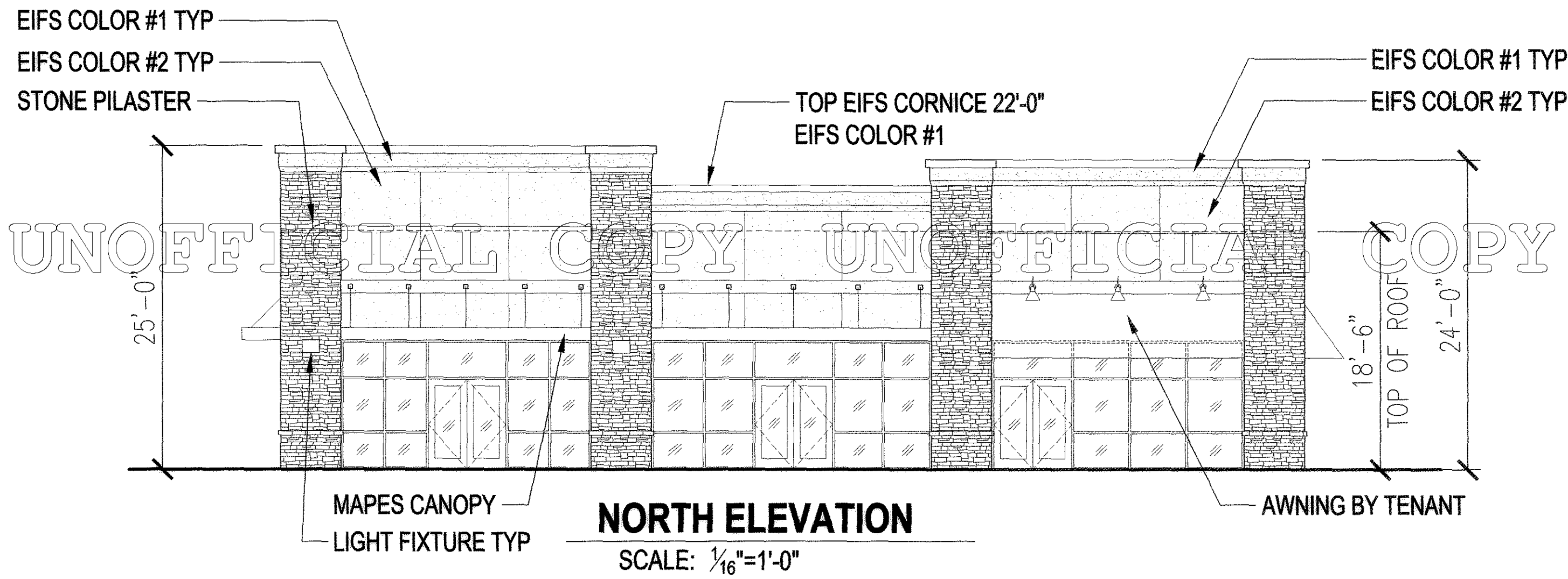
NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

Project No:	EQV000001
Sheet Scale:	AS NOTED
Designed By:	JNA
Drawn By:	RDG
Date:	FEBRUARY 2011
Disk File:	EQW01_P_11-Bldg B Elev

**COMMERCIAL BUILDING  
B ELEVATIONS**

# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS

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No.	REVISION	DES. BY	DATE
1	Revisions per Town comments to 1st submittal	JNA	04/07/11
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3	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	06/08/11
4	REVISIONS PER TOWN COMMENTS TO 3rd SUBMITTAL	JNA	07/29/11
5	REVISIONS PER TOWN COMMENTS TO 4th SUBMITTAL - MYLARS	JNA	08/26/11

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**SCHWERTZ**  
DESIGN GROUP, INC.  
1000 W. WASHINGTON, SUITE 200  
DENVER, COLORADO 80202  
303.733.7777  
www.schwertzdesign.com

**PRELIMINARY PLAT/FINAL PD SITE PLAN  
THE SHOPPES ON FOUNDERS  
PROJECT No. PPP 11-0001**

NE CORNER OF FOUNDERS PARKWAY & ALLEN WAY  
CASTLE ROCK, COLORADO

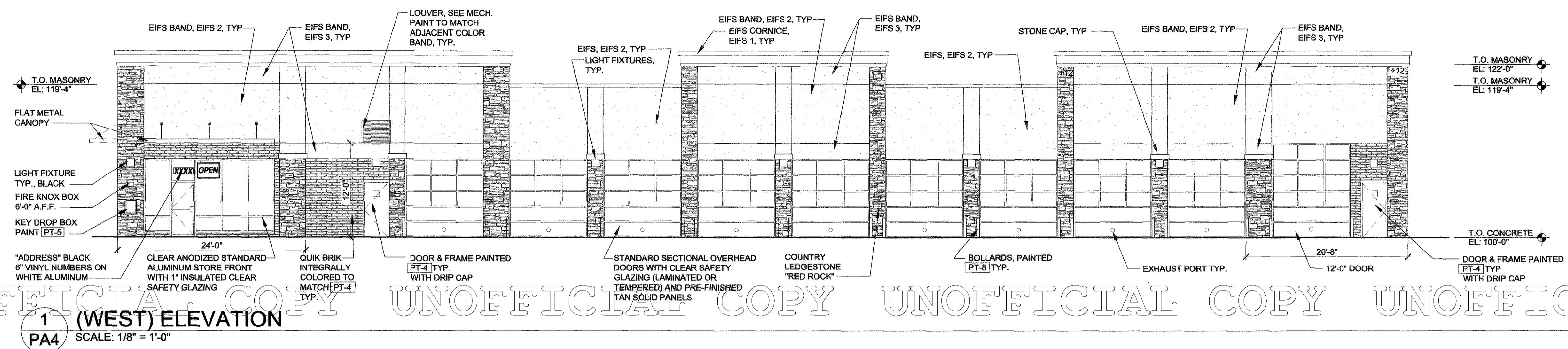
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Sheet Scale: AS NOTED  
Designed By: JNA  
Drawn By: RDG  
Date: FEBRUARY 2011  
Disk File: EQW01\_P\_12-Bldg C Elev

**COMMERCIAL BUILDING  
C ELEVATIONS**

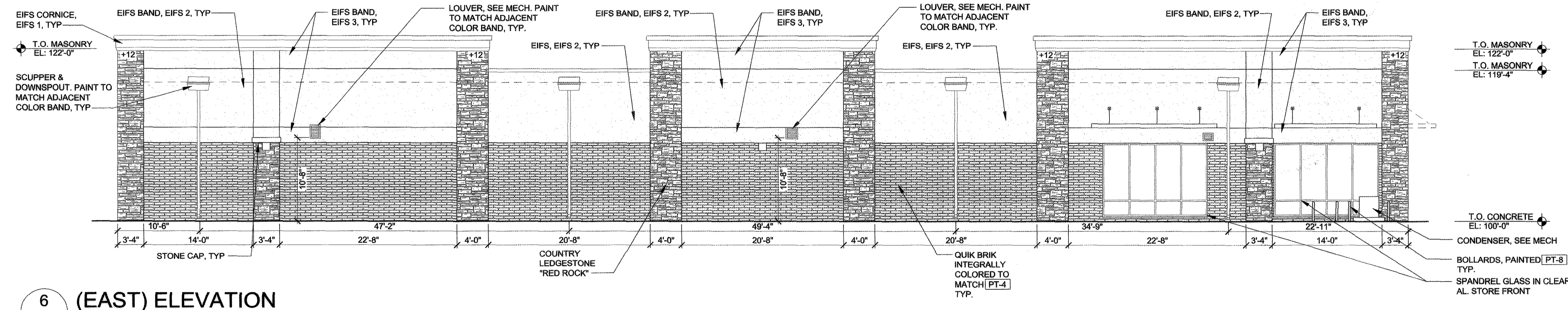
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# PRELIMINARY PLAT/FINAL PD SITE PLAN THE SHOPPES ON FOUNDERS

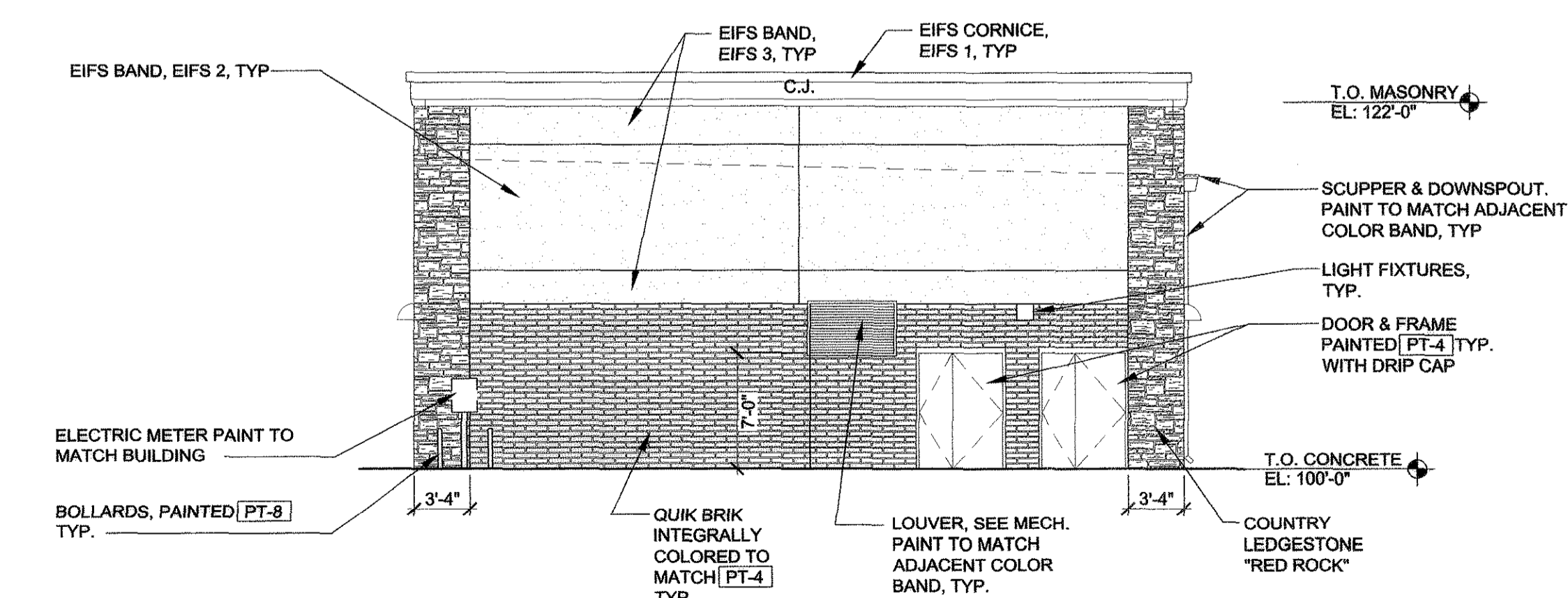
A RESUBDIVISION OF LOT 6, COOPER-HOOK/MAIN PLACE FILING NO. 1,  
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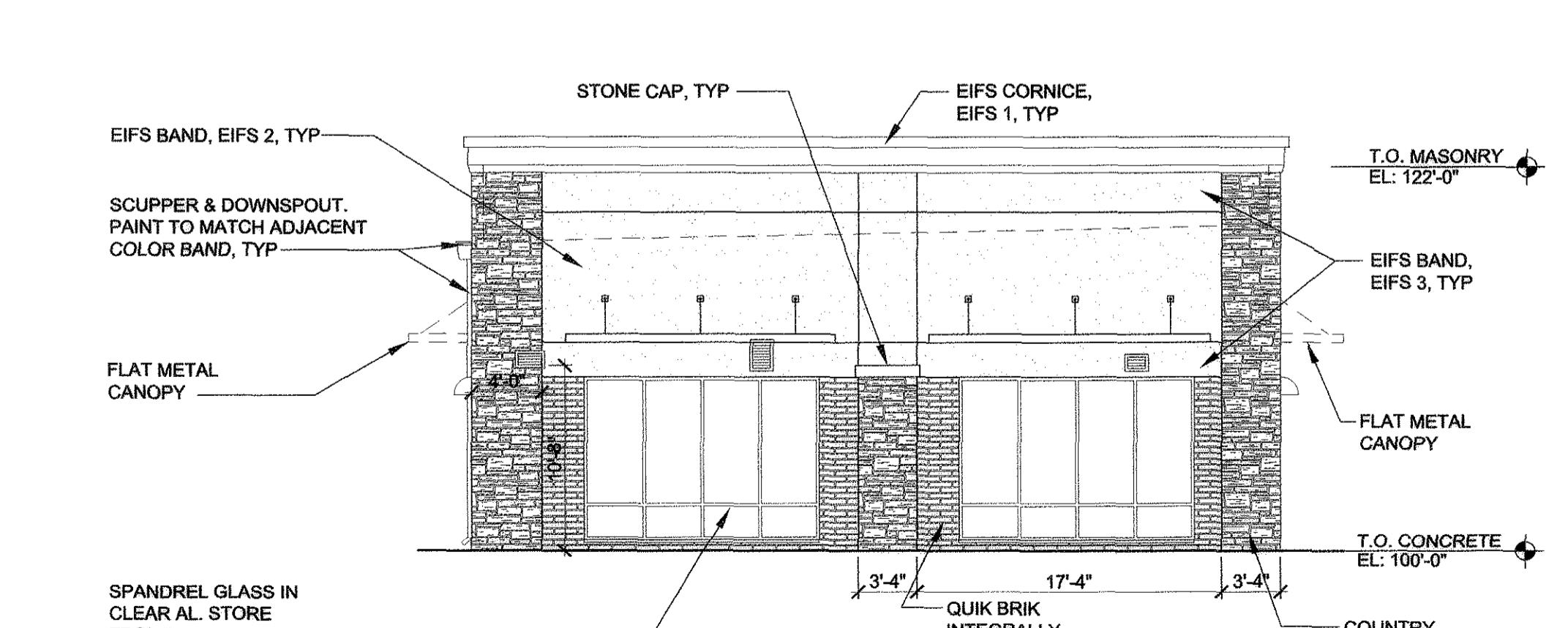
**1 (WEST) ELEVATION**  
PA4 SCALE: 1/8" = 1'-0"



**6 (EAST) ELEVATION**  
PA4 SCALE: 1/8" = 1'-0"



**11 (SOUTH) ELEVATION**  
PA4 SCALE: 1/8" = 1'-0"



**16 (NORTH) ELEVATION**  
PA4 SCALE: 1/8" = 1'-0"

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REVISION No.	DES. BY	DATE
1	JNA	04/07/11
2	JNA	05/18/11
3	JNA	06/09/11
4	JNA	07/29/11
5	JNA	08/26/11

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Project No:	EQV000001
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Drawn By:	RDC
Date:	FEBRUARY 2011
Disk File:	EQV01_P_13-Bldg D Elev

**COMMERCIAL BUILDING  
D ELEVATIONS**