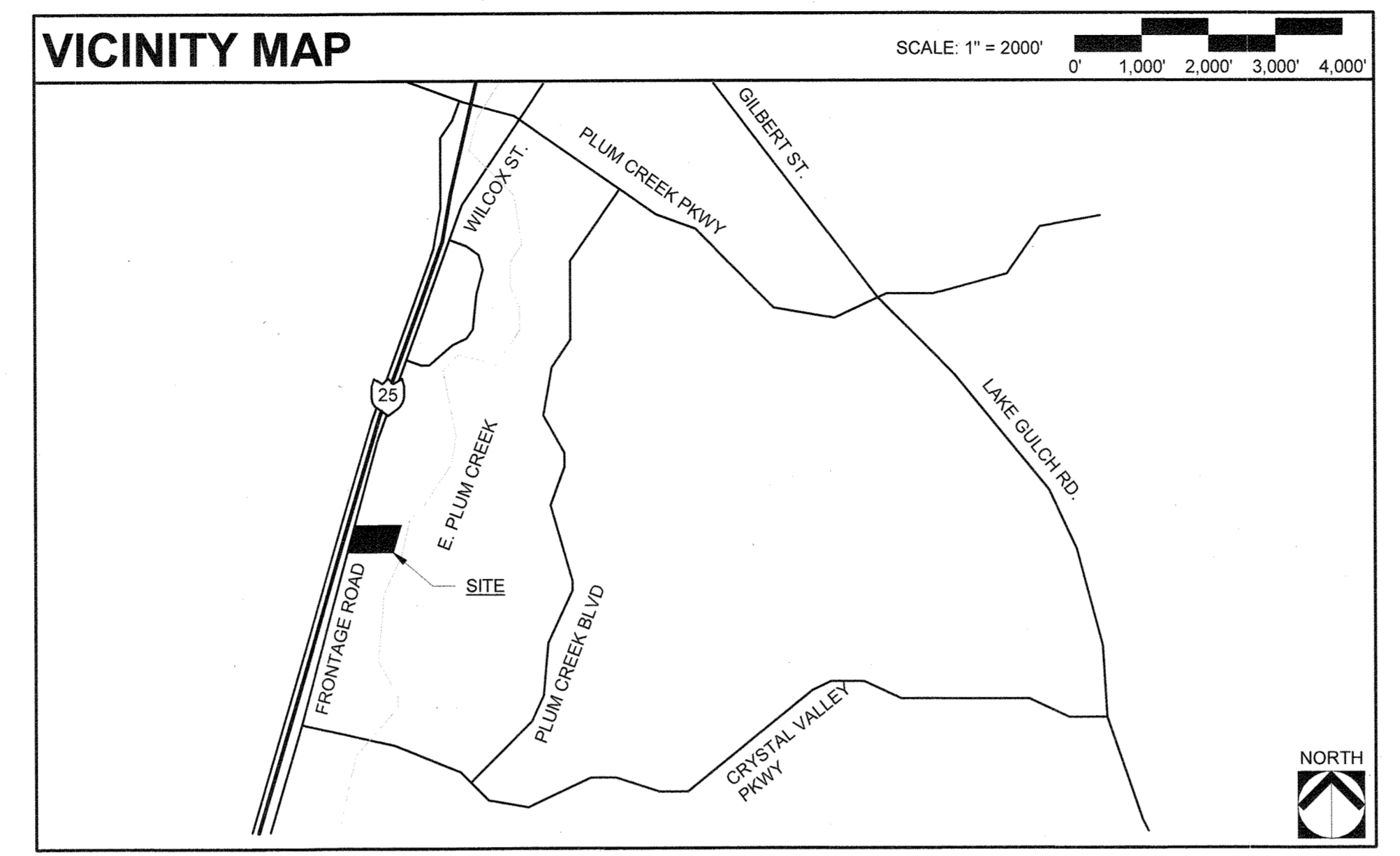


# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- GENERAL NOTES**
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
  - PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
  - THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
  - THIS PROPERTY IS LOCATED WITHIN ZONE "AE" AS PER FEMTA FIRM PANEL NO. 08035C0282G DATED MARCH 16, 2016. A PORTION OF THIS SITE LIES WITHIN FEMTA FLOOD ZONE AH AND ZONE X PER MAP NUMBER 08035C0301G DATED MARCH 16, 2016. NO STRUCTURES SHALL BE PERMITTED IN THE APPROVED 100-YEAR FLOOD PLAIN.
  - ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
  - THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
  - APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
  - NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
  - THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
  - ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
  - THIS SITE IS ZONED SANDERS BUSINESS PARK AT CASTLE ROCK PLANNED DEVELOPMENT (PD).
  - UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
  - RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
  - A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
  - IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT.
  - THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.



**PURPOSE STATEMENT:**  
THIS SITE DEVELOPMENT PLAN IS FOR THE PROPOSED DEVELOPMENT OF A NEW 20,536 SF BUILDING FOR A NEW HEADQUARTERS FOR G.T. SANDERS COMPANY.

**BENCHMARK:**  
BENCHMARK: NGS CONTROL POINT "Y 396" BEING A 1/2 INCH DIAMETER STEEL ROD IN A RANGE BOX. LOCATED 122 FEET EAST OF THE CENTERLINE OF THE EAST BOUND LANES OF SOUTH WILCOX STREET, 101 FEET EAST OF MILEPOST 180, 80.4 FEET SOUTHEAST OF THE CENTER OF A CONCRETE DRAINAGE AND 42.3 FEET EAST OF THE CENTERLINE OF A FRONTAGE ROAD. ELEVATION = 6276.49'

**BASIS OF BEARINGS:**  
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 CENTRAL ZONE (NAD 83, 2011) REFERENCED TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR NORTH 89°29'16" WEST, A DISTANCE OF 2637.67 FEET (N89°02'00"W PER WARRANTY DEED RECORDED AT RECEPTION NO. 2012030331)

**LEGAL DESCRIPTION:**  
PARCEL A:  
A TRACT OF LAND IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 22; THENCE SOUTH 0 DEGREES 13 MINUTES WEST A DISTANCE OF 315.0 FEET ALONG THE EAST LINE OF SECTION 22; THENCE NORTH 89 DEGREES 02 MINUTES WEST A DISTANCE OF 1341.0 FEET TO THE EASTERLY RIGHT-OF-WAY OF THE INTERSTATE HIGHWAY AS ESTABLISHED BY DEED RECORDED ON OCTOBER 19, 1964 IN BOOK 160 AT PAGE 48;  
THENCE NORTH 15 DEGREES 43 MINUTES EAST ALONG SAID HIGHWAY RIGHT-OF-WAY LINE A DISTANCE OF 325.5 FEET, MORE OR LESS, TO THE NORTH LINE OF SECTION 22; THENCE SOUTH 89 DEGREES 02 MINUTES EAST ALONG THE NORTH LINE OF SECTION 22, A DISTANCE OF 1254.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, COUNTY OF DOUGLAS, STATE OF COLORADO.

PARCEL B:  
A TRACT OF LAND IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 22 FROM WHICH THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST BEARS NORTH 0 DEGREES 13 MINUTES EAST A DISTANCE OF 315.0 FEET; THENCE SOUTH 0 DEGREES 13 MINUTES WEST A DISTANCE OF 300.0 FEET ALONG THE EAST LINE OF SECTION 22; THENCE NORTH 89 DEGREES 02 MINUTES WEST A DISTANCE OF 1423.3 FEET TO THE EASTERLY RIGHT-OF-WAY OF THE INTERSTATE HIGHWAY AS ESTABLISHED BY DEED RECORDED ON OCTOBER 23, 1964 IN BOOK 160 AT PAGE 111; THENCE NORTH 15 DEGREES 43 MINUTES EAST ALONG SAID HIGHWAY RIGHT-OF-WAY LINE A DISTANCE OF 310.0 FEET; THENCE SOUTH 89 DEGREES 02 MINUTES EAST A DISTANCE OF 1341.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, COUNTY OF DOUGLAS, STATE OF COLORADO, EXCEPT FOR THE 7 ACRE PUBLIC LAND DEDICATION TO THE TOWN OF CASTLE ROCK CONVEYED IN DEED RECORDED OCTOBER 23, 2020, UNDER RECEPTION NO. 2020103302, COUNTY OF DOUGLAS, STATE OF COLORADO.

WHICH PARCEL IS ALSO DESCRIBED AS FOLLOWS:  
A PARCEL OF LAND SITUATED IN THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 22, FROM WHICH THE NORTH QUARTER CORNER OF SAID SECTION 22 BEARS NORTH 89°29'16" WEST, A DISTANCE OF 2,637.67 FEET, WITH ALL BEARINGS HEREIN RELATIVE THERETO; THENCE NORTH 89°29'16" WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 375.10 FEET TO THE POINT OF BEGINNING;  
THENCE SOUTH 21°22'37" WEST, A DISTANCE OF 658.12 FEET; THENCE NORTH 89°29'16" WEST, A DISTANCE OF 806.36 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF INTERSTATE 22 FRONTAGE ROAD AS DESCRIBED IN THE DOCUMENT RECORDED IN BOOK 160 AT PAGE 111 IN SAID RECORDS; A DISTANCE OF 635.91 FEET TO A POINT ON SAID NORTH LINE OF SAID NORTHEAST QUARTER OF SECTION 22; THENCE SOUTH 89°29'16" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 878.87 FEET TO THE POINT OF BEGINNING.

SUMMARY TABLE		
ZONING	SANDERS BUSINESS PARK AT CASTLE ROCK PDP	
USE AREA	LIGHT BUSINESS	
	PDP REQUIREMENTS	PROPOSED SITE DEVELOPMENT PLAN
	AS PER SECTION IV - A OF THE PDP ZONING REGULATIONS	6,455 SF GENERAL OFFICE 14,081 SF WAREHOUSE
LOT SIZE	N/A	108,293 SF (2.486 AC)
BUILDING COVERAGE	MAX. COVERAGE: 40%	19% (20,614 SF)
SETBACKS	FRONT = 15' MIN. REAR = 5' MIN. SIDE = 5' MIN. SIDE RESIDENTIAL = 25' MIN. (BUFFER)	FRONT = 15' REAR = 10' SIDE = 25'
BUILDING HEIGHT	35' MAX	PROPOSED BUILDING - 33'
BUILDING SEPARATION	5' MIN.	N/A
PARKING	GENERAL OFFICE = 3 SPACES / 1,000 SF WAREHOUSE = 1 SPACE / 1,000 SF = 14,081 SF / 1,000 SF = 16 SPACES TOTAL = 35 SPACES (NO COMPANY VEHICLES) 26-50 SPACES = 2 ACCESSIBLE PARKING SPACE	35 SPACES (INCLUDING: (2) VAN ACCESSIBLE PARKING SPACES)
SITE COVERAGE		
BUILDING COVERAGE	19% (20,614 SF)	
LANDSCAPE/OPEN SPACE COVERAGE	25% (27,161 SF)	
PARKING COVERAGE	23% (24,555 SF)	
STREET COVERAGE	7% (7,364 SF)	
OTHER COVERAGE	26% (28,599 SF)	
TOTAL	100% (108,293 SF)	

**OWNERSHIP CERTIFICATION:**  
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.  
*Michelle Sanders*  
BY: SG TRUST, MICHELLE SANDERS  
SIGNED THIS 9 DAY OF July, 2021  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF July, 2021 BY MICHELLE SANDERS

WITNESS MY HAND AND OFFICIAL SEAL.  
*Kevin O'Brien*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: JAN 13, 2025

**LIENHOLDER SUBORDINATION CERTIFICATE**  
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED DECEMBER 8th, 2020 AT RECEPTION NO. 2020120440, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

(UMB BANK, n.a.)  
SIGNED THIS 12th DAY OF July, 2021  
NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 12th DAY OF July, 2021 BY

WITNESS MY HAND AND OFFICIAL SEAL.  
*Briana Pama*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 08/30/2024

**TITLE CERTIFICATION:**  
*Brenda Becker* AN AUTHORIZED REPRESENTATIVE OF  
*Land Title Guarantees Company* A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

*Brenda Becker*  
AUTHORIZED REPRESENTATIVE  
*Land Title Guarantees Company*  
TITLE COMPANY  
SIGNED THIS 15th DAY OF July, 2021

SUBSCRIBED AND SWORN TO BEFORE ME THIS 15th DAY OF July, 2021 BY *Brenda Becker* AS AUTHORIZED REPRESENTATIVE OF *Land Title Guarantees Company*

WITNESS MY HAND AND OFFICIAL SEAL.  
*April Socolofsky*  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID: 20200407968  
My Commission Expires: November 18, 2024

**SURVEYOR'S CERTIFICATE:**  
I, JAMES E. LYNCH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACTUALLY REPRESENTS THAT SURVEY.

PLS NO. 37933  
REGISTERED LAND SURVEYOR  
DATE: 7/13/21

**CIVIL ENGINEER'S STATEMENT:**  
I, *MATHEW A ADAMS*, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.  
*Matthew Adams*  
REGISTERED PROFESSIONAL ENGINEER P.E. 42428 DATE: 7-12-2021

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:**  
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 16 DAY OF July, 2021.  
*Jan A. Vargiel*  
DIRECTOR OF DEVELOPMENT SERVICES

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:**  
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:27 AM ON THE 21st DAY OF July, 2021 AT RECEPTION NO. 2021087461  
DOUGLAS COUNTY CLERK AND RECORDER  
BY: *Dorothy R. Brulman*  
DEPUTY

**PROJECT TEAM**

<b>OWNER</b> G.T. SANDERS 10201 W. 49th AVE WHEAT RIDGE, CO 80033 CONTACT: KEVIN O'BRIEN PHONE: (303) 940-4529 kobrien@gtsanders.com	<b>CIVIL ENGINEER:</b> PROOF CIVIL ENGINEERS 600 GRANT ST., SUITE 210 DENVER, CO 80203 CONTACT: MATT ADAMS PHONE: (303) 325-5709 madams@proofcivil.com	<b>SURVEYOR:</b> AZTEC CONSULTANTS INC. 300 E. MINERAL AVE., SUITE #1 LITTLETON, CO 80122 CONTACT: JIM LYNCH PHONE: (720) 724-3870
<b>ARCHITECT:</b> INTERGROUP ARCHITECTS 2000 W. LITTLETON BLVD. LITTLETON, CO 80120 CONTACT: BILL SMITH PHONE: (303) 738-8877 bsmith@igarch.com	<b>LANDSCAPE ARCHITECT:</b> STACKLOT 5839 S. CURTIS ST. LITTLETON, CO 80120 CONTACT: STEVE WIENS PHONE: (303) 808-4523	<b>PHOTOMETRICS:</b> AE DESIGN 1900 WAZEE ST., SUITE 205 DENVER, CO 80202 CONTACT: ERIC REITAN PHONE: (303) 296-4443

**SHEET INDEX**

SHEET 1	COVER SHEET
SHEET 2	SITE PLAN
SHEET 3	GRADING PLAN
SHEET 4	UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 6	LANDSCAPE NOTES
SHEET 7	LANDSCAPE DETAILS
SHEET 8	EXTERIOR ELEVATIONS
SHEET 9	EXTERIOR ELEVATIONS
SHEET 10	PHOTOMETRIC PLAN
SHEET 11	PHOTOMETRIC DETAILS
SHEET 12	SITE DETAILS

REVISIONS

DATE	DESCRIPTION

DRAWN: CBW  
CHECKED: BS  
DESIGNED: KS  
FILENAME: BS - 10961

G.T. SANDERS AT SANDERS BUSINESS PARK  
SITE DEVELOPMENT PLAN  
COVER SHEET

architecture  
planning  
interiors

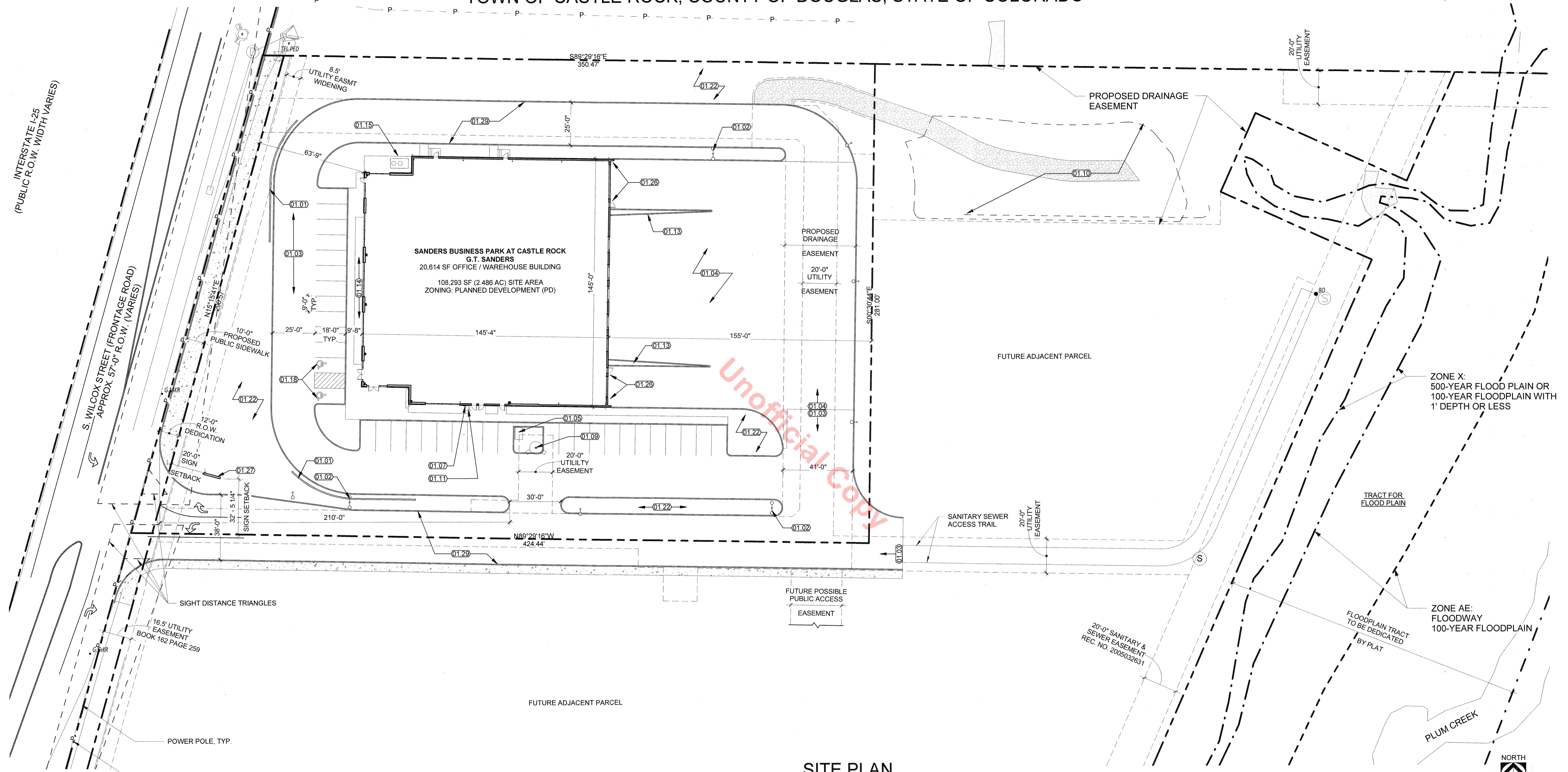
2000 West Littleton Blvd  
Littleton, Colorado 80120  
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www.igarch.com

JOB NO. BS - 10961  
SCALE AS SHOWN  
DATE 10/23/2020  
SHEETS 12 SHEET 1

PROJECT NO. SDP20-0053

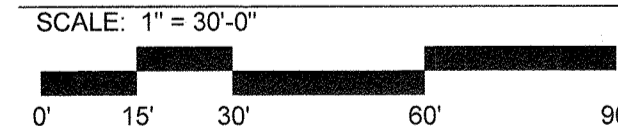
# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Unofficial Copy

### SITE PLAN



### GENERAL NOTES

1. THE TOWN MAY LIMIT THE PROPOSED FULL MOVEMENT ACCESS TO THE SITE AND RESTRICT TO A 3/4 MOVEMENT DUE TO FUTURE TRAFFIC AND SAFETY CONSIDERATIONS.

### KEYNOTES:

- 01.01 SEGMENTED BLOCK RETAINING WALL
- 01.02 20'-0" LIGHT POLE WITH SHOE BOX / FULL CUT-OFF STYLE FIXTURE
- 01.03 FULL DEPTH ASPHALT PAVING FOR DRIVE AISLES AND PARKING AREAS
- 01.04 REINFORCED CONCRETE PAVING AT TRUCK APRON AND LOADING DOCKS
- 01.05 ELECTRICAL XFMR ON CONC. PAD
- 01.07 GAS METER LOCATION, SEE CIVIL AND PLUMB DWGS
- 01.09 PROPOSED FIRE HYDRANT, SEE CIVIL DWGS
- 01.10 DETENTION POND/WATER QUALITY, SEE CIVIL DWGS
- 01.11 FIRE DEPARTMENT CONNECTION, VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION
- 01.13 TAPERED WIDTH SLOPED CONC. RETAINING WALL
- 01.14 CONCRETE SIDEWALK WITH BROOM FINISH
- 01.15 EXTERIOR HVAC EQUIPMENT ON CONC. PAD

### KEYNOTES:

- 01.18 VAN ACCESSIBLE H.C. PARKING SPACE - 9'-6" x 18'-0" WITH 8'-0" AISLE. PROVIDE CURB RAMP AND STANDARD HC PARKING SIGN WITH "VAN ACCESSIBLE" PLACARD BELOW, SEE DETAILS.
- 01.22 LANDSCAPE AREA
- 01.26 CONC. FILLED STEEL PIPE BOLLARD, PAINTED SAFETY YELLOW
- 01.27 NEW 20'H. INTERNALLY LIT FREE STANDING TENANT SIGNAGE, SEE DETAIL. SIGNAGE FACE NOT TO EXCEED 50 SF PER FACE
- 01.29 6" VERTICAL CONC. CURB AND GUTTER WITH RADIUS AT ALL OUTSIDE CORNERS, TYP. ALL LANDSCAPE AT CONC. CURBS TO BE FLUSH WITH TOP OF CURB. SEE CIVIL DWGS.

### LEGEND

---	PROPERTY LINE BOUNDARY
-.-.-	FLOODPLAIN LIMITS
- - - -	FLOODWAY
SS	SANITARY SEWER
P	OVERHEAD ELECTRIC
- - - -	EASEMENT / DEDICATION

PROJECT NO. SDP20-0053

REVISIONS	DESCRIPTION
BY	DATE

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10961

G.T. SNADERS AT SANDERS BUSINESS PARK  
SITE DEVELOPMENT PLAN  
SITE PLAN



architecture  
planning  
interiors  
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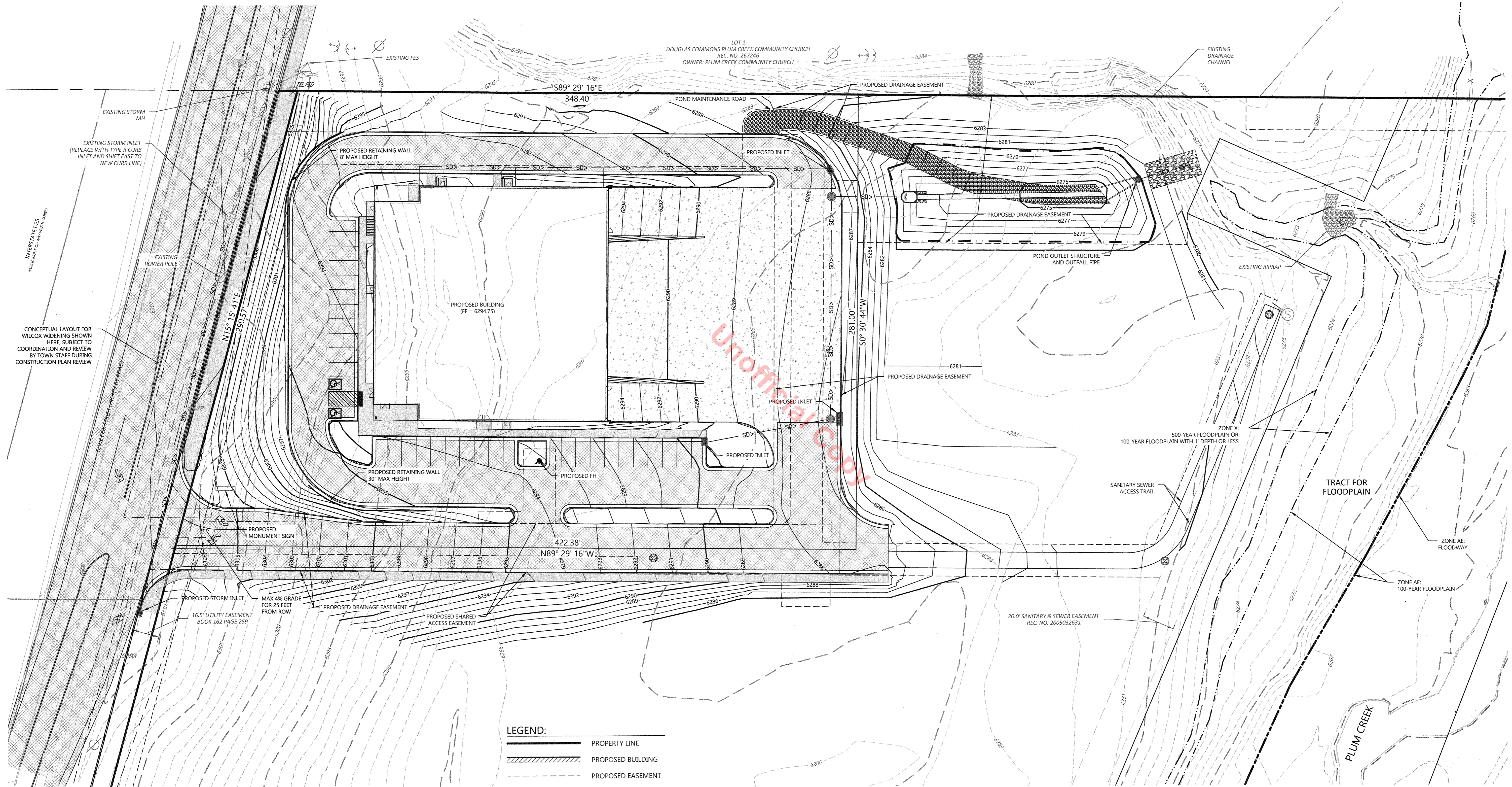
JOB NO.	BS - 10961
SCALE	AS SHOWN
DATE	10/23/2020
SHEETS	12
SHEET	2

By: Author

6/10/2021 8:51:57 AM

# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



CONCEPTUAL LAYOUT FOR WILCOX WIDENING SHOWN HERE, SUBJECT TO COORDINATION AND REVIEW BY TOWN STAFF DURING CONSTRUCTION PLAN REVIEW

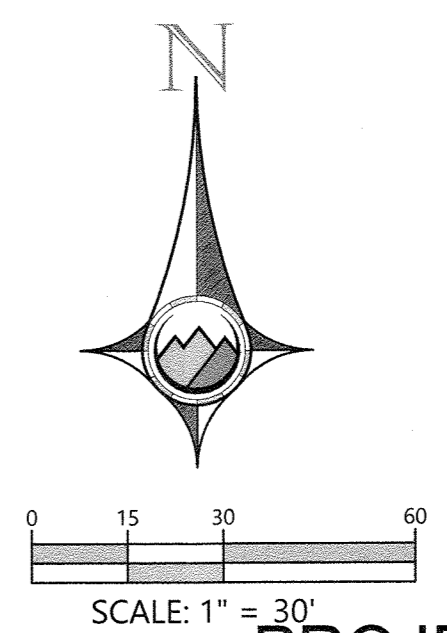
**LEGEND:**

	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPERTY SETBACK
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPOSED STORM LINE
	EXISTING STORM LINE
	PROPOSED STORM INLET
	EXISTING STORM INLET
	FLOW DIRECTION

**LEGEND CONT.:**

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED SAN SEWER MH
	EXISTING SAN SEWER MH

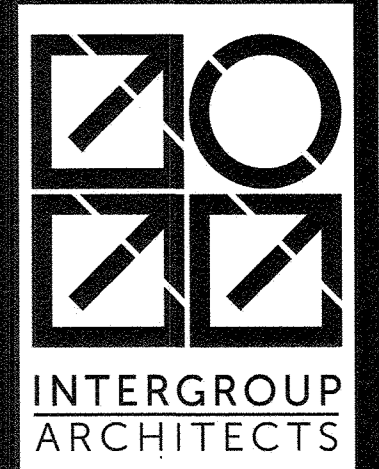
- NOTES:**
- ALL ELEVATION SPOTS ALONG CURB INDICATE FLOWLINE ELEVATION UNLESS OTHERWISE INDICATED.
  - PROPOSED ACCESSIBLE PARKING SPOTS SHALL HAVE 2.0% MAX SLOPE IN ANY DIRECTION.
  - FLOODPLAIN INFORMATION SHOWN ON THIS PLAN IS AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08035C0301G, MAP REVISED MARCH 16, 2016, REVISED TO REFLECT LETTER OF MAP REVISION (LOMR), EFFECTIVE DATE DECEMBER 6, 219.
  - PROPOSED BUILDING LOWEST FINISHED FLOOR HAS BEEN DESIGNED TO BE MINIMUM 2- FEET ABOVE FLOODPLAIN.



REVISIONS	DESCRIPTION
BY	DATE

DRAWN	MAA
CHECKED	PC
DESIGNED	MAA
FILENAME	

**G.T. SANDERS AT SANDERS BUSINESS PARK  
SITE DEVELOPMENT PLAN  
GRADING PLAN**



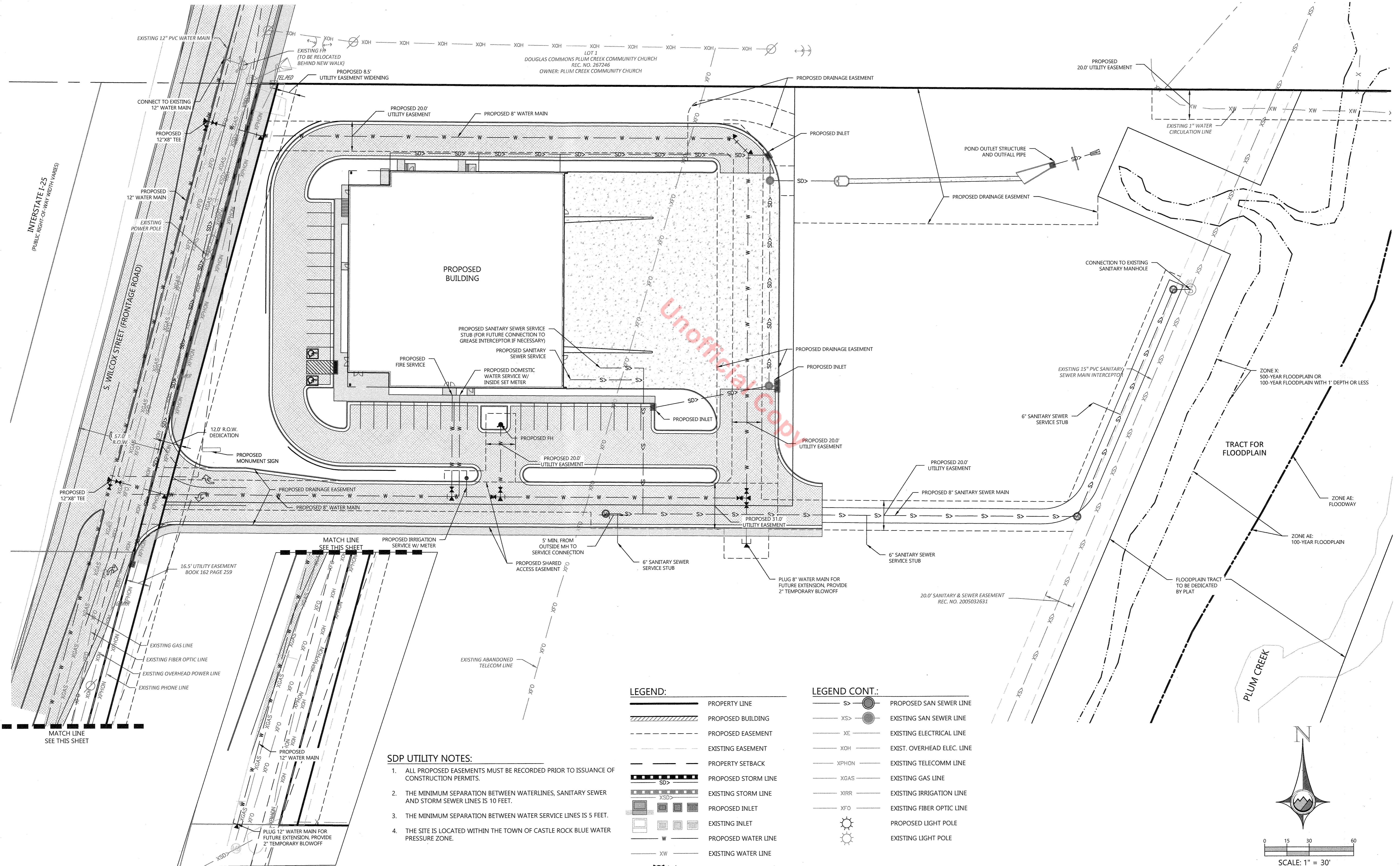
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JOB NO.	BS - 10961
SCALE	AS SHOWN
DATE	10/21/2020
SHEETS	SHEET
12	3

PROJECT NO. SDP20-0053

# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

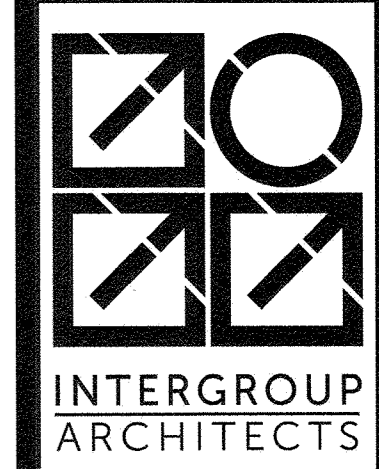
LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



REVISIONS	DESCRIPTION
BY	DATE

DRAWN	MAA
CHECKED	PC
DESIGNED	MAA
FILENAME	

**G.T. SANDERS AT SANDERS BUSINESS PARK  
SITE DEVELOPMENT PLAN  
UTILITY PLAN**



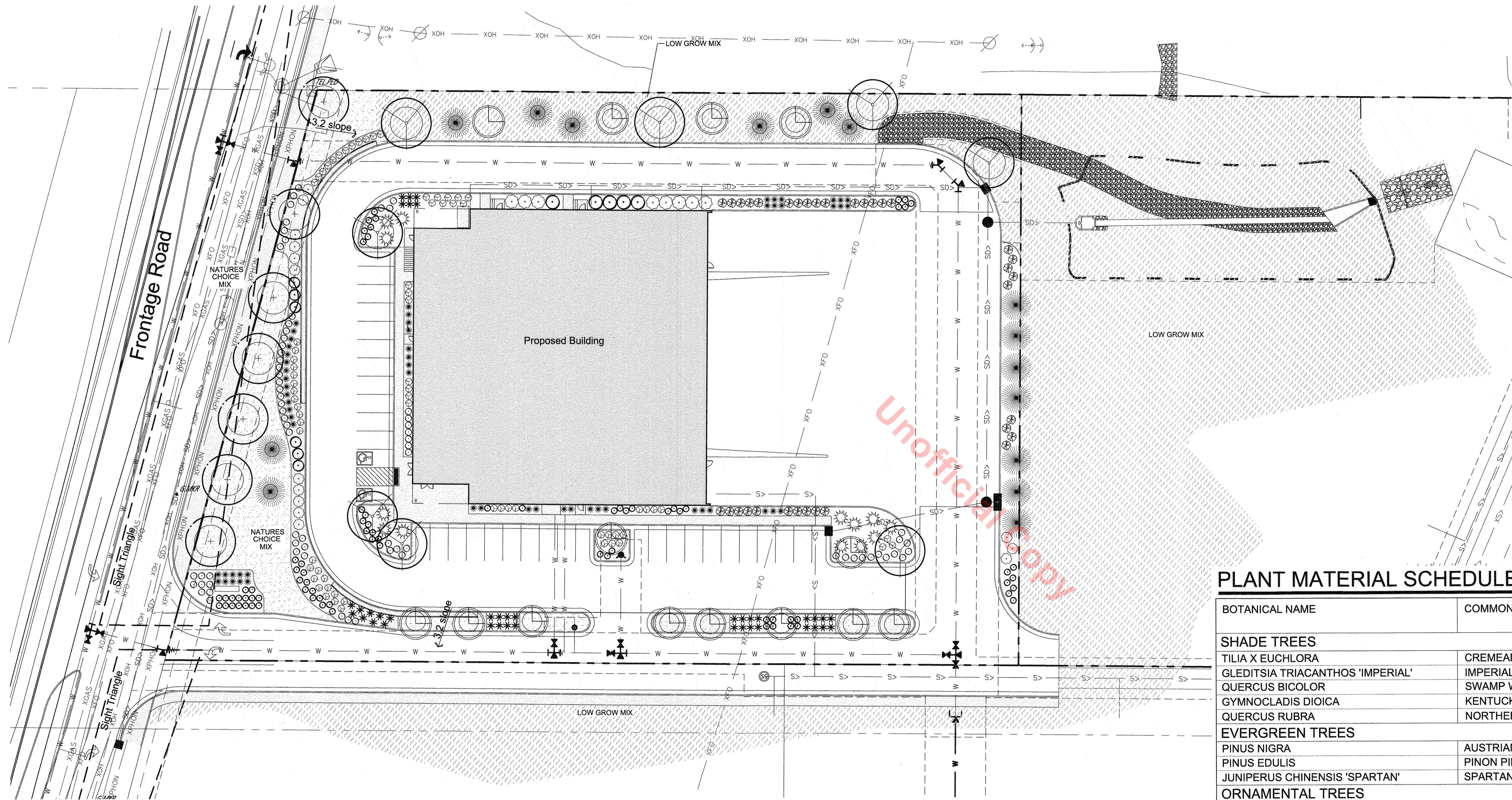
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12	4

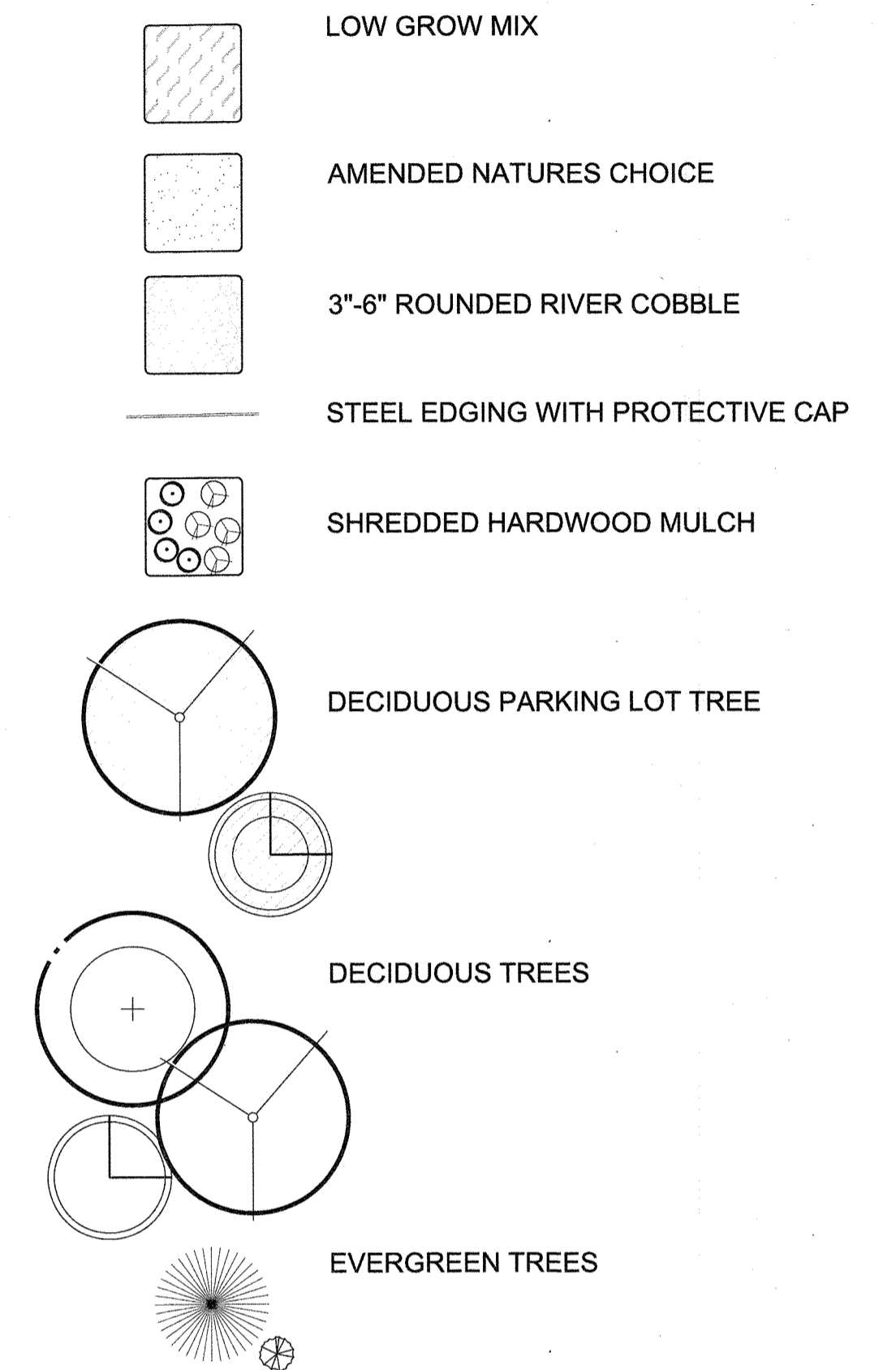
PROJECT NO. SDP20-0053

# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### LANDSCAPE LEGEND:



### PLANT MATERIAL SCHEDULE

BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COND.	HYDROZONE
<b>SHADE TREES</b>				
TILIA X EUCHLORA	CREMEAN LINDEN	2 1/2" CAL.	B & B	3
GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2 1/2" CAL.	B & B	2,3
QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2" CAL.	B & B	2,3
GYMNOCLADIS DIOICA	KENTUCKY COFFEE TREE	2 1/2" CAL.	B & B	2
QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" CAL.	B & B	3
<b>EVERGREEN TREES</b>				
PINUS NIGRA	AUSTRIAN PINE	6' HT.	B & B	2
PINUS EDULIS	PINON PINE	6' HT.	B & B	1
JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	6' HT.	B & B	1,2
<b>ORNAMENTAL TREES</b>				
PYRUS CALLERYANA	BRADFORD PEAR	1 1/2" CAL.	B & B	1,2
CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR THORNLESS HAWTHORN	1 1/2" CAL.	B & B	3
SYRINGA RETICULATA	JAPANESE TREE LILAC	1 1/2" CAL.	B & B	3
ACER TATARICUM	TATARIAN MAPLE			
<b>SHRUBS</b>				
PRUNUS BESSEYI 'WESTERN'	WESTERN SANDCHERRY	5 GAL.	CONT.	2,3
PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL.	CONT.	3
LIGUSTRUM OBTUSIFOLIUM REGELIANUM	REGEAL PRIVET	5 GAL.	CONT.	3
SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GAL.	CONT.	3
RIBES ALPINUM	ALPINE CURRANT	5 GAL.	CONT.	3
PHYSOCARPUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	5 GAL.	CONT.	3
EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	5 GAL.	CONT.	2,3
CARYOPTERIS X CLANDONENSIS	BLUEMIST SPIREA	5 GAL.	CONT.	2
PHYSOCARPUS OPULIFOLIUS 'DARTS GOLD'	NINEBARK	5 GAL.	CONT.	1,2
RHUS GLABRA 'CISMONTANA'	ROCKY MOUNTAIN SUMAC	5 GAL.	CONT.	1,2
SHEPERDIA CANADENSIS	RUSSET BUFFALOBERRY	5 GAL.	CONT.	1,2
<b>ORNAMENTAL GRASS</b>				
MISCANTHUS SINESIS 'YAKU JIMA'	DRARF MAIDEN GRASS 'YAKU JIMA'	1 GAL.	CONT.	3
CALAMAGROSTIS x ACUTIFOLIUS 'KARL FOERSTER'	KARL FOERSTER REED GRASS	1 GAL.	CONT.	2,3
ANDROPAGON GERARDII	BIG BLUESTEM GRASS	1 GAL.	CONT.	1,2
<b>PERENNIAL</b>				
HEMEROCALLIS 'STELLA DE ORO'	STELLA D'ORO DAYLILY	1 GAL.	CONT.	1,2

LANDSCAPE PLAN



0' 10' 30' 60' 90'  
SCALE 1" = 30' - 0"

REVISIONS	DATE	DESCRIPTION
BY SL	12/4/20	2nd Submission
BY SL	2/12/21	3rd Submission
BY SL	4/30/21	4th Submission
BY SL	5/19/21	5th Submission

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10961

**G.T. SANDERS AT SANDERS BUSINESS PARK**  
**SITE DEVELOPMENT PLAN**  
**LANDSCAPE PLAN**



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SHEETS	12
SHEET	5

PROJECT NO. SDP20-0053

# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP TWO-THIRD (2/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.

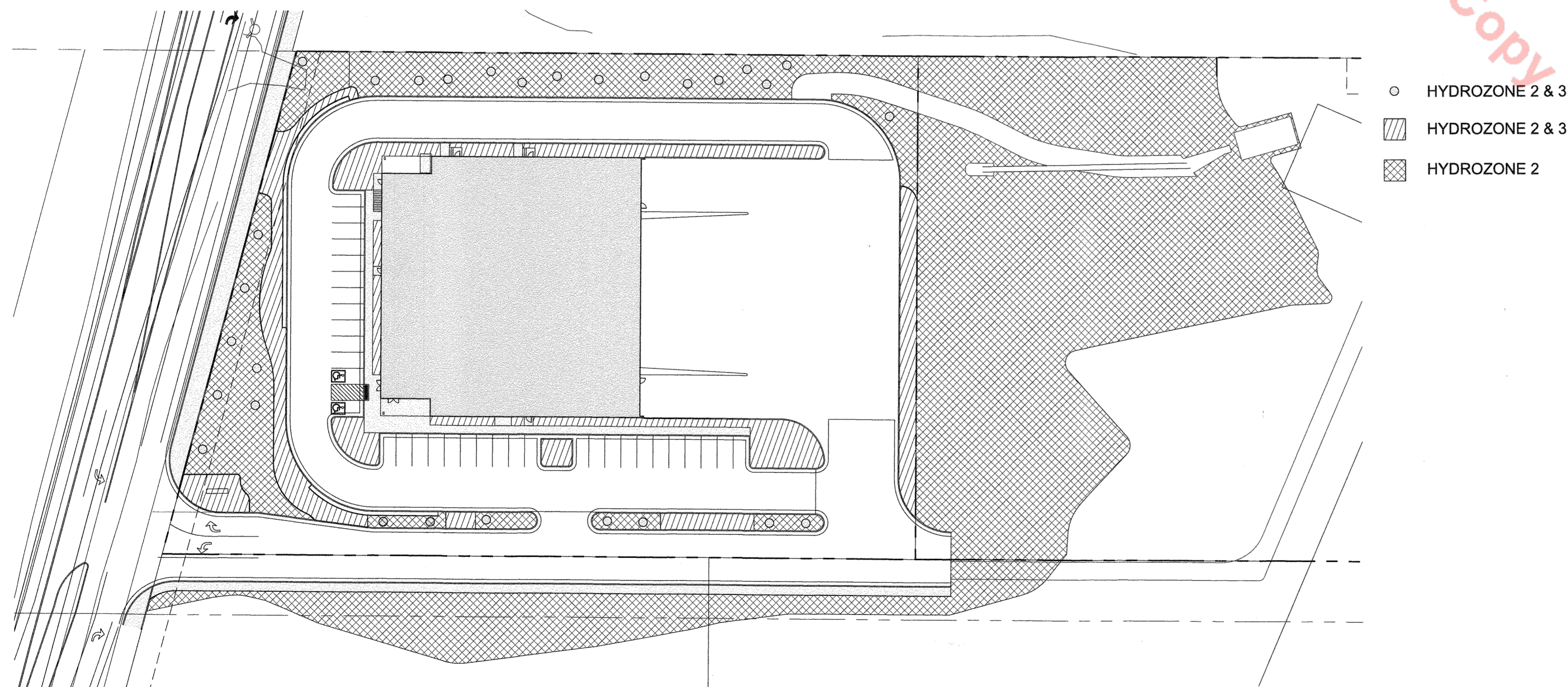
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS, EDGING TO HAVE A ROLLED TOP. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- IRRIGATION HEADS SHALL BE PLACED ABOVE THE 2-YEAR WATER SURFACE ELEVATION IN THE WATER QUALITY SWALE.

## CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

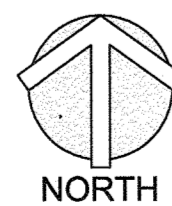
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

## PERFORMANCE GUARANTEE:

- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.



HYDROZONE MAP



0' 25' 50' 100' 200'  
SCALE 1" = 50' - 0"

## LANDSCAPE REQUIREMENTS CHART

### Composite Landscape Water Use Chart

Landscape Zone	LWU Rating Range
Very low water use	0.0 - 1.5
Low water use	1.5 - 3.0
Moderate water use	3.0 - 4.5
High Water use	4.5

### Street Trees

Street	Linear Feet	Required Trees	Provided Trees
Frontage Road	268.89	268.89 / 40 = 7 Trees	7

## CLWUR (Composite landscape water use rating) Chart



Project Name: G.T. Sanders

Site Development Plan (SDP) Number: SDP20-0053

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (VL,L,Mod,HW)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
	Rotor	0.74	L	0.8680845	7074	1.5	25184	0.42
	Pop Up	1.83	VL	0.8680845	7808	2	25184	0.62
	Drip	0.6	L, Mod	0.8680845	10302	3	25184	1.23
<b>Total of the CLWUR</b>								<b>2.27</b>

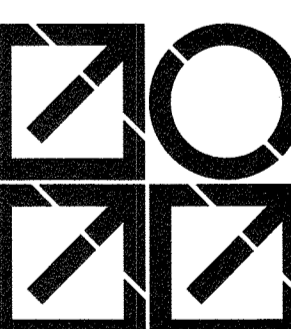
Reference Chapter 13.20 of the Castle Rock Municipal Code

PROJECT NO. SDP20-0053

REVISIONS	DESCRIPTION	DATE
BY	SL	12/4/20
	SL	2/12/21
	SL	4/30/21
	SL	5/19/21

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10961

**G.T. SANDERS AT SANDERS BUSINESS PARK**  
**SITE DEVELOPMENT PLAN**  
**LANDSCAPE NOTES**



INTERGROUP ARCHITECTS

■ architecture  
 ■ planning  
 ■ interiors  
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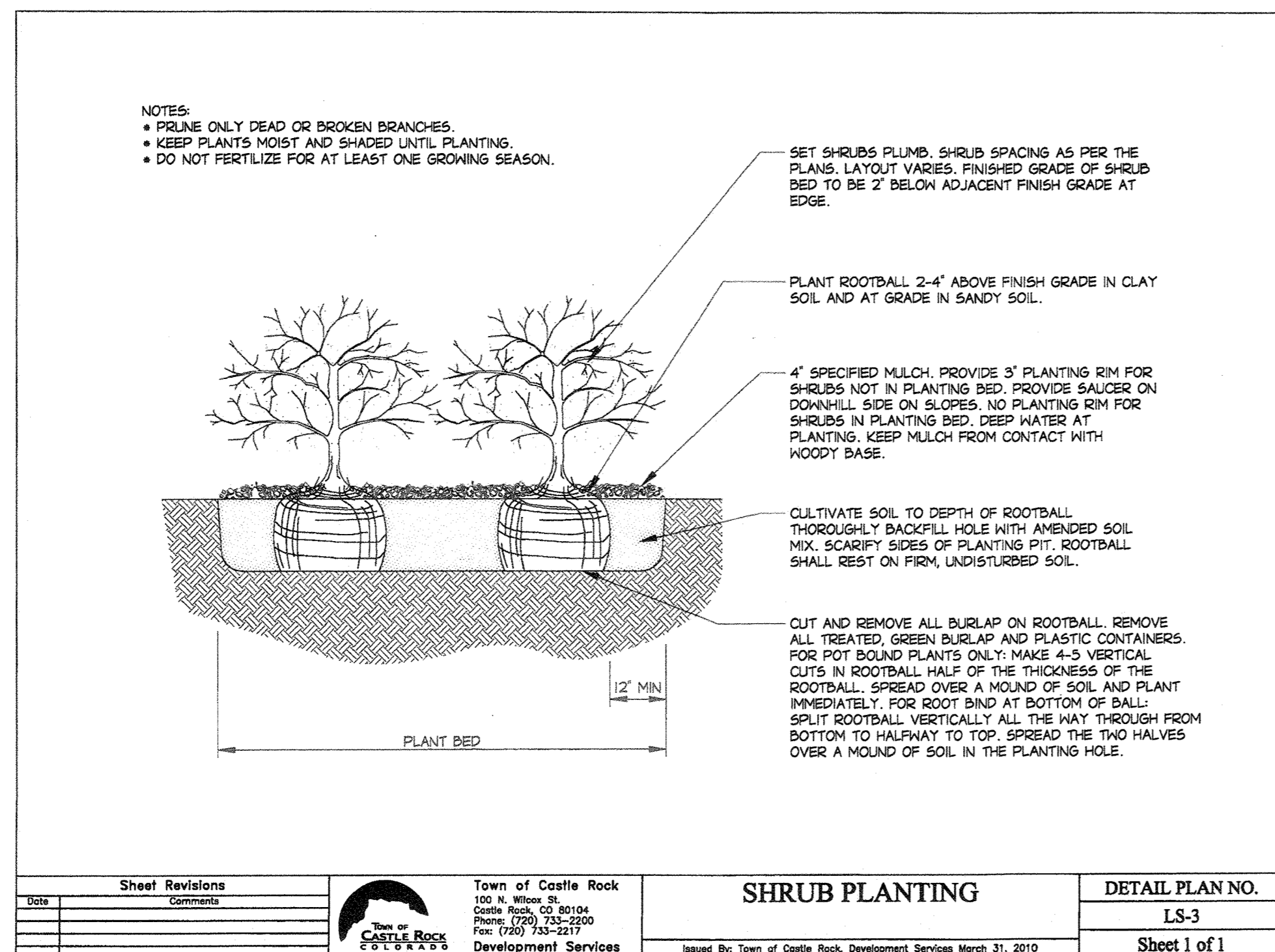
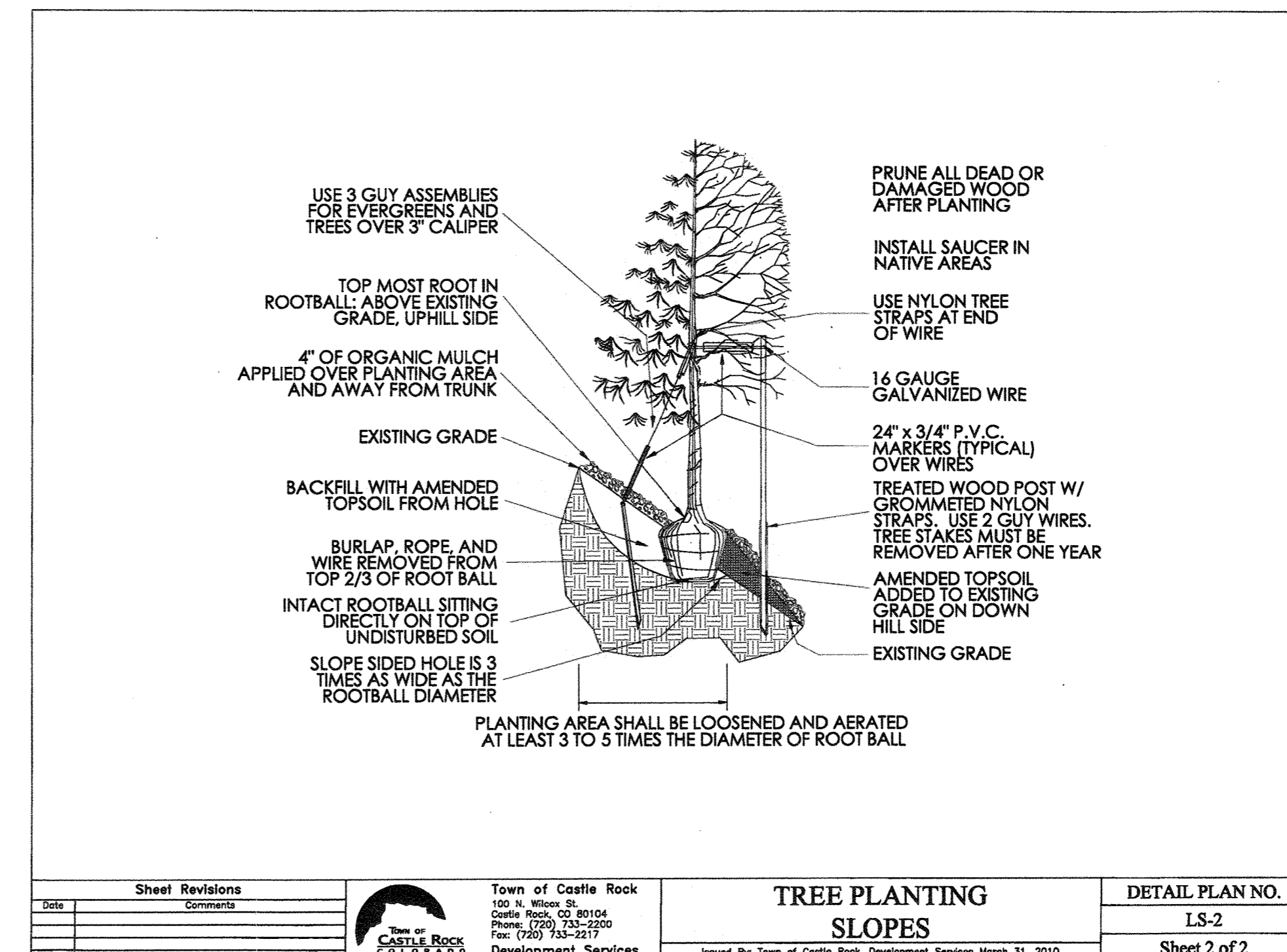
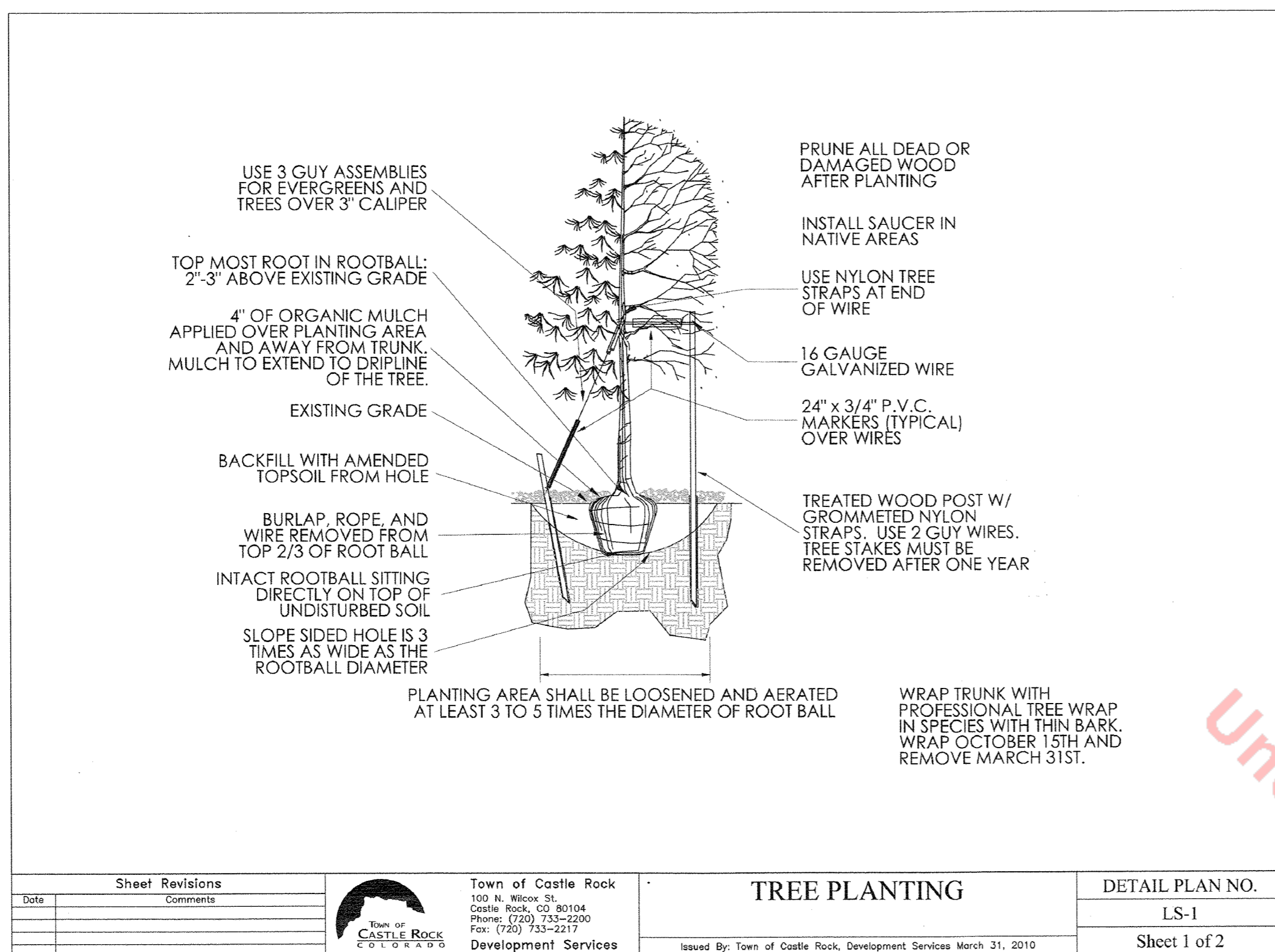
DATE 10/21/2020

SHEETS SHEET

12 6

# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## Commercial Landscape Site Inventory

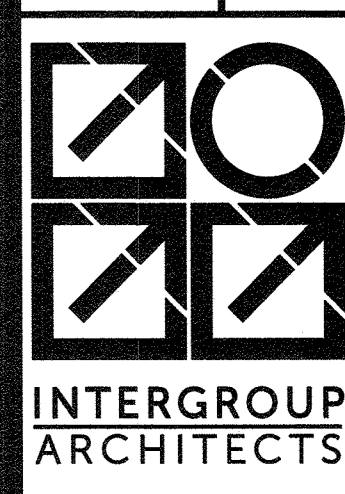
Town of Castle Rock Registered Professional **Stephen Don Wiens**  
 Town of Castle Rock Registration # \_\_\_\_\_ State of Colorado License Landscape Architect # **504**  
 Company Name **StackLot L.L.C.** Address **5639 S. Curlice Street; Littleton, CO 80120**  
 Phone **(303) 808-4523** Email **Steve@stacklot.com** Date **April 30, 2021**  
 PROJECT NAME **G.T. Sanders at Sanders Business Park**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
108,293 sf	Provided 25,341 sf (Required Is area - 10,829 sf)	Nature's Choice 7,074 sf.	2,278 sf	22	33	44	341	4	Yes <input type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
24,555 sf	Provided 3,238 sf (Required Is area - 2,455 sf)	34	495 sf	5	8 feet	6	11	10	55

REVISIONS	DESCRIPTION
BY SL	DATE 12/4/20
SL	2nd Submission
SL	2/12/21
SL	3rd Submission
SL	4/30/21
SL	4th Submission
SL	5/19/21
SL	5th Submission

DRAWN **CBW**  
 CHECKED **BS**  
 DESIGNED **KS**  
 FILENAME **BS - 10961**

**G.T. SANDERS AT SANDERS BUSINESS PARK**  
**SITE DEVELOPMENT PLAN**  
**LANDSCAPE DETAILS**



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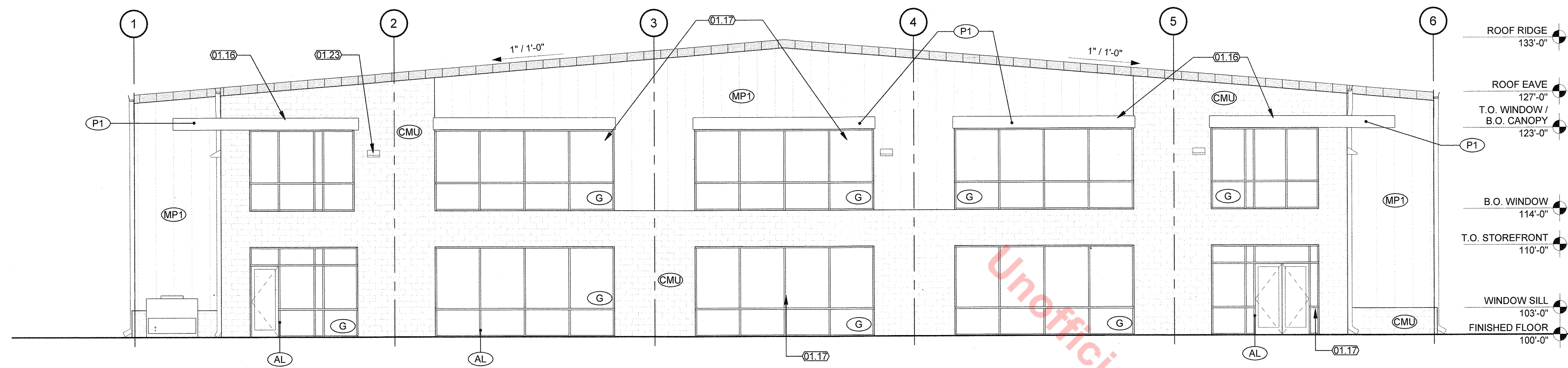
JOB NO. **BS - 10961**  
 SCALE **AS SHOWN**  
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 SHEETS **12** SHEET **7**

Revised April 2013

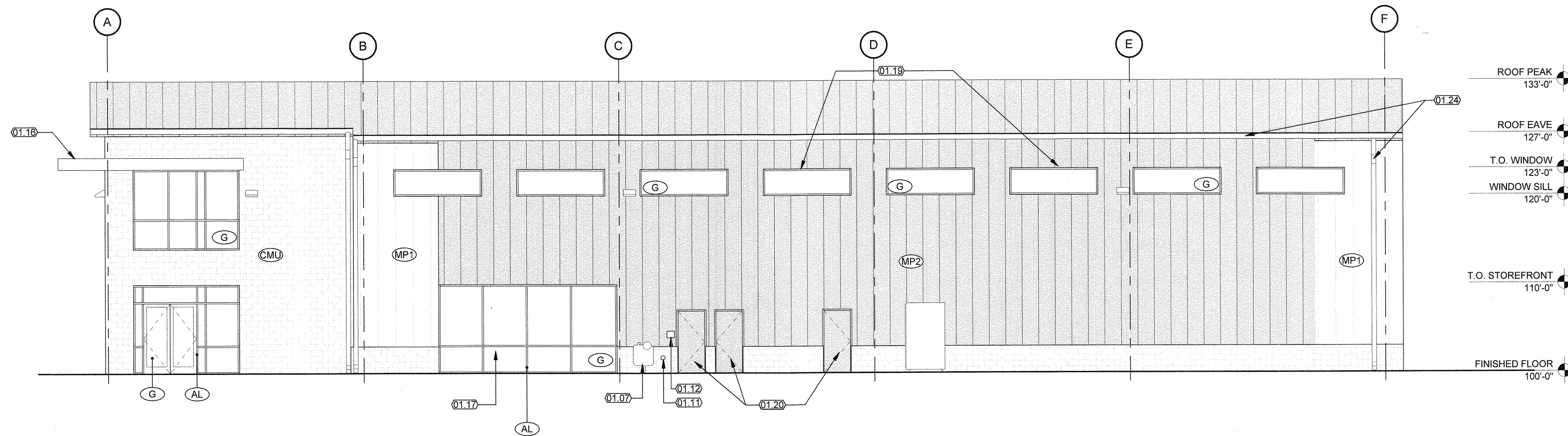
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# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEYNOTES:**

- 01.07 GAS METER LOCATION, SEE CIVIL AND PLUMB. DWGS.
- 01.11 FIRE DEPARTMENT CONNECTION, VERIFY WITH LOCAL FIRE AUTHORITY ON EXACT LOCATION.
- 01.12 KNOX BOX, COORDINATE WITH LOCAL FIRE AUTHORITY.
- 01.16 PAINTED TUBE STEEL OPEN FRAME CANOPIES.
- 01.17 INSULATED TINTED GLAZING IN ALUMINUM STOREFRONT SYSTEM, SEE FINISH LEGEND.
- 01.19 CLERESTORY INSULATED TINTED GLAZING IN ALUMINUM STOREFRONT SYSTEM, SEE FINISH LEGEND.
- 01.20 INSULATED H.M. MAN DOOR, PAINTED TO MATCH ADJACENT WALL SURFACE.
- 01.23 WALL PACK LIGHT FIXTURE.
- 01.24 PREFINISHED METAL DOWNSPOUT AND GUTTER, TYP. TO DRAIN INTO LANDSCAPING. WHEN OUTLET AT SIDEWALK PROVIDE SIDEWALK CHASE.

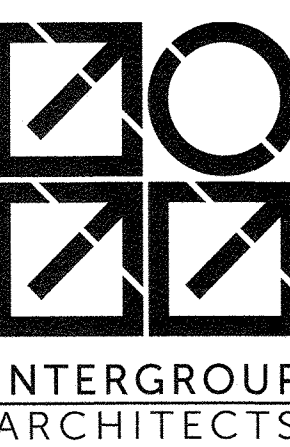
**EXTERIOR FINISH LEGEND**

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
MP1	INSULATED METAL PANEL		BERRIDGE ALMOND	
MP2	INSULATED METAL PANEL		BERRIDGE PREWEATHERED GALVALUME	COLOR IS METALIC GREY
CMU	8x16x4 CMU RUNNING BOND		BORAL BEST BLOCK SPLIT FACE CMU "BEIGE SAND #538"	
P1	STEEL CANOPIES		SHERWIN WILLIAMS - ALUMINUM BOND PLEX	MATCHES STOREFRONT FRAME COLOR
P2	O.H. DOORS		PAINT TO MATCH ADJACENT WALL COLOR	
AL	STOREFRONT FRAME		KAWNEER 2" x 4 1/2" FRAMES	CLEAR ANODIZED
G	GLAZING		PPG INSULATED GLASS	SOLARGRAY

REVISIONS	DESCRIPTION

BY	
DATE	
DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10961

**G.T. SNADERS AT SANDERS BUSINESS PARK**  
**SITE DEVELOPMENT PLAN**  
**EXTERIOR ELEVATIONS**



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SHEETS	12
SHEET	8

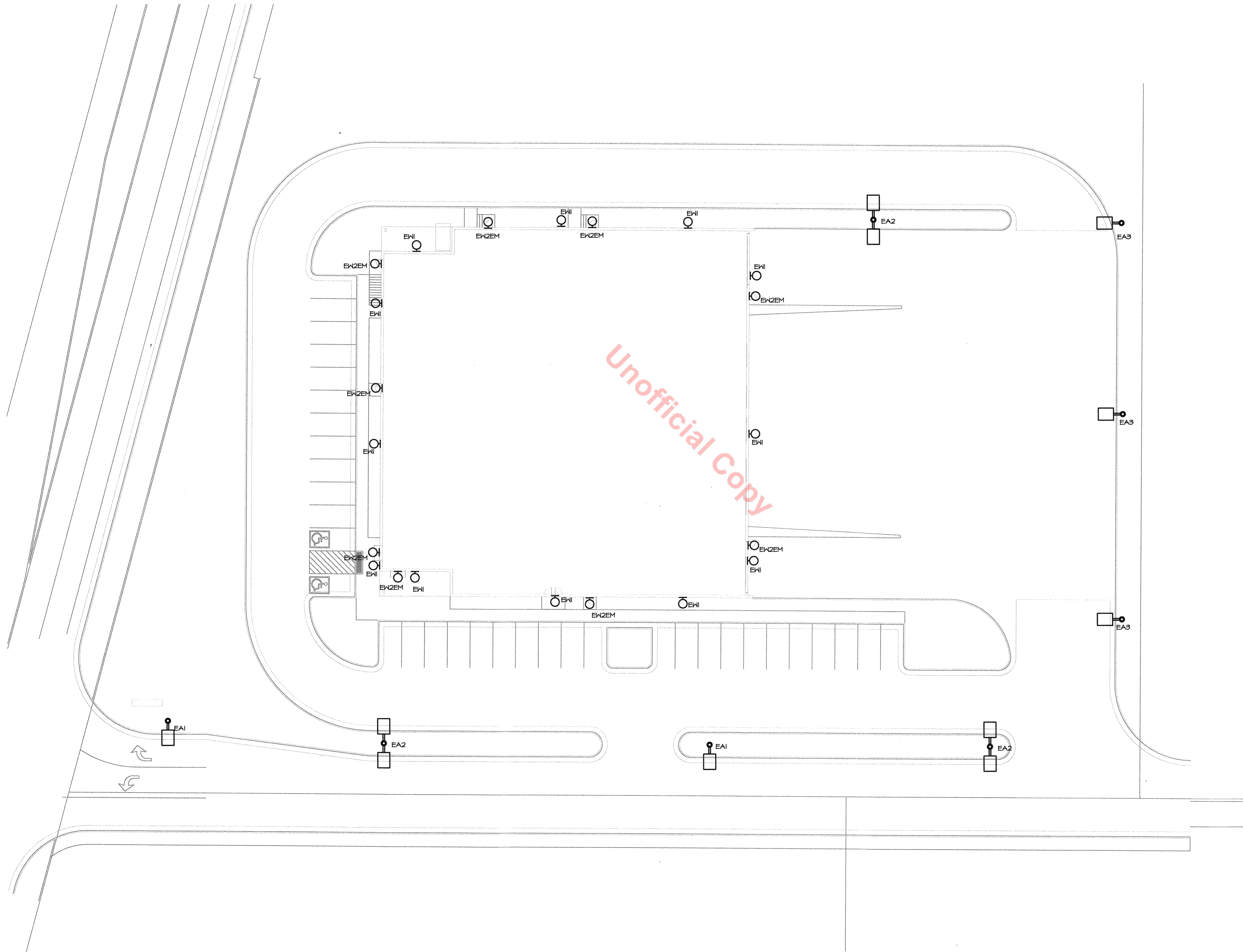
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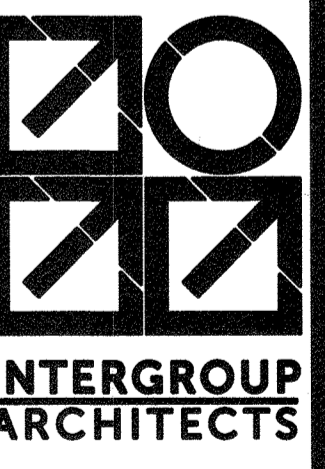
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REVISIONS	DATE	DESCRIPTION
	12/4/20	2nd Submission
	2/12/21	3rd Submission

DRAWN	CBW
CHECKED	BS
DESIGNED	KS
FILENAME	BS - 10961

**G.T. SANDERS AT SANDERS BUSINESS PARK**  
**SITE DEVELOPMENT PLAN**  
**ELECTRICAL SITE PHOTOMETRIC**



■ architecture  
 ■ planning  
 ■ interiors  
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JOB NO.	BS - 10961
SCALE	AS SHOWN
DATE	10/21/2020

SHEETS	12	SHEET	10
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1 | ELECTRICAL SITE PHOTOMETRIC  
 1 | SCALE: 1" = 20'-0"

PROJECT NO. SDP20-0053

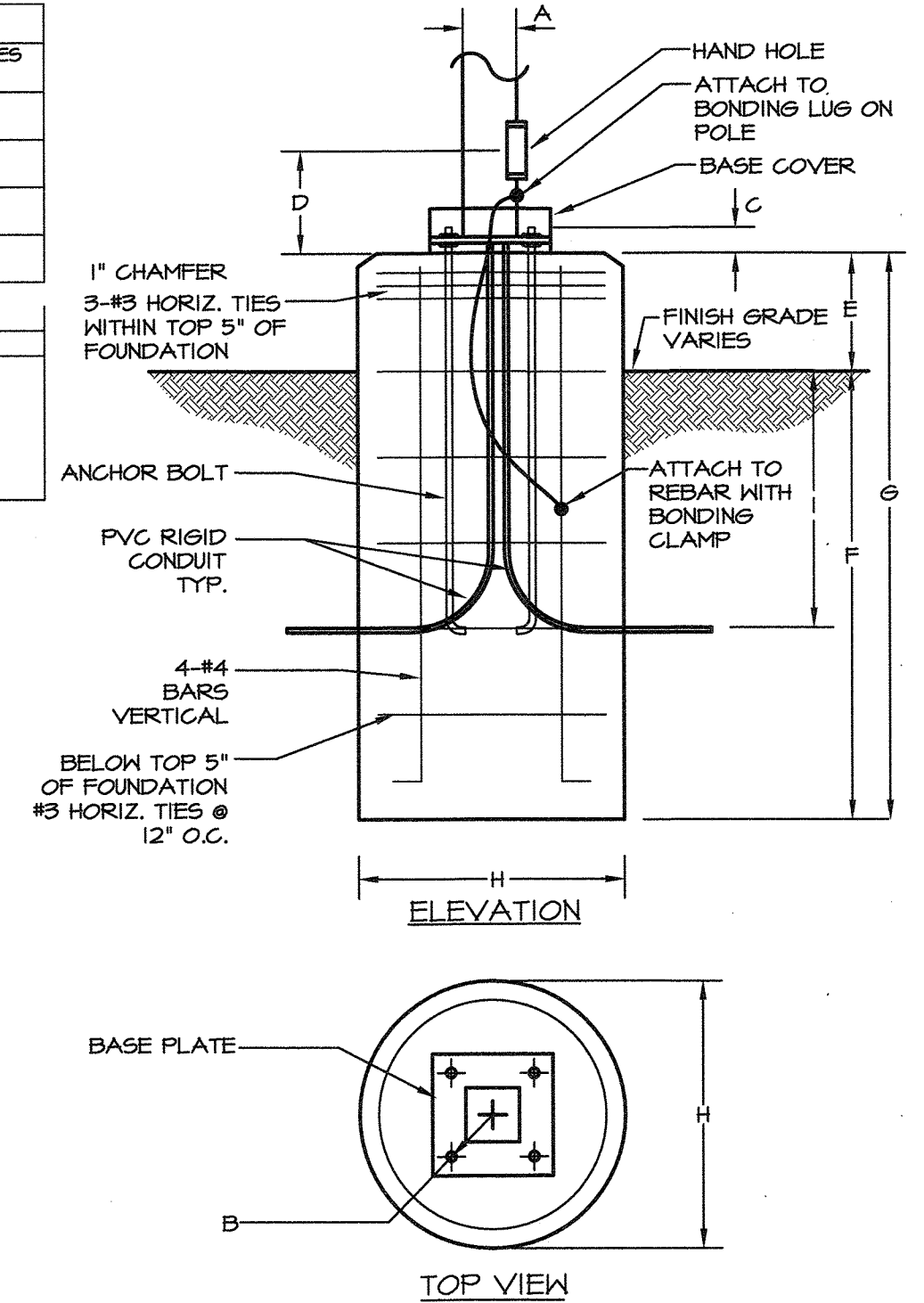
# SITE DEVELOPMENT PLAN SANDERS BUSINESS PARK



LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP	LLF	LUMEN OUTPUT	DIMMING UTILIZED	MAX WATTS	MOUNTING LOCATION	INFORMATION	NOTES
EAI	EXTERIOR POLE LIGHT LED, TYPE 3 WITH HOUSE SIDE SHIELD	CREE	XSFL6-D-HIT-3ME-12L-30KT-UL-BZ	UNIV	1 45 LED 3000K	1	11475	--	45	POLE	20' OFH	1
EAD	EXTERIOR POLE LIGHT LED, TYPE 3 WITH HOUSE SIDE SHIELD, DOUBLE	CREE	XSFL6-D-HIT-3ME-12L-30KT-UL-BZ	UNIV	2 45 LED 3000K	1	22950	--	90	POLE	20' OFH	1
EAS	EXTERIOR POLE LIGHT LED, TYPE 3 WITH HOUSE SIDE SHIELD	CREE	XSFL6-D-HIT-3ME-12L-30KT-UL-BZ	UNIV	1 45 LED 3000K	1	11475	--	45	POLE	20' OFH	1
EW1	EXTERIOR WALL PACK, TYPE 3 WITH HOUSE SIDE SHIELD	CREE	XSPW-B-1M-3ME-0L-30KT-UL-BZ	UNIV	1 77 LED 3000K	1	8475	--	77	SURFACE	20' OFH	1
EW2EM	WALL SCENCE LED OUTDOOR	GARDCO	104L-32L-650-WW-G1-3-EBPC-271-TB0-BZ	271	1 14 LED 3000K	1	1600	--	14	SURFACE	19' BOF	1

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFO) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH  
SPECIFIC NOTES:  
1. EC TO VERIFY FINISH WITH ARCHITECT.



- ### GENERAL NOTES
- OBJECTIVES FOR LIGHTING IN DIFFERENT AREAS OF THE SITE. DESIGN IS INTENDED ON PROVIDING DUSK-TILL-DAWN LIGHTING ABOVE MAIN-DOORS FOR SECURITY. ALL OTHER LIGHTING TO BE ON FROM DUSK TILL 1-HOUR AFTER CLOSE OF BUSINESS.
  - ALL SITE LIGHTING RELATED TO WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
  - ALL LIGHT FIXTURES SHALL BE FULL CUTOFF FOR MITIGATION TO NEIGHBORHOODS/ADJACENT PROPERTIES.
  - PARKING LOT LIGHT POLES SHALL NOT EXCEED A MAXIMUM HEIGHT OF GREATER THAN 20 FEET.
  - ALL LIGHT POLES SHALL BE ANODIZED OR COATED TO MINIMIZE GLARE FROM THE LIGHT SOURCE.
  - THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROWN (TYPE IV) DISTRIBUTION POLE-MOUNTED LIGHTS AIMED AT BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

- ### LIGHTING FIXTURES
- A LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH.
  - WALL MOUNTED LUMINAIRE
  - EXTERIOR AREA LIGHT

POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA	D	E	F	G	H	I
EAI	20'0"	4"	PER MANUFACTURER	2'0"	6'0"	10'0"	24"	36"	
EAD	20'0"	4"	PER MANUFACTURER	2'0"	6'0"	10'0"	24"	36"	
EAS	20'0"	4"	PER MANUFACTURER	2'0"	6'0"	10'0"	24"	36"	

1 POLE BASE DETAIL  
E2 SCALE: NONE

**GARDCO** by @ignify  
Wall Mount LED Wall Sconce

Gardco 104 LED wall sconces feature a low-profile design that provides wide flexibility in high performance exterior wall illumination. Full cutoff performance, subtle illumination patterns, and powerful wattages combine into a compact and architecturally pleasing design. 104L sconces are available in Type 2, 3, and 4 distributions, and provide output of up to 9500 lumens. Energy saving control options increase energy savings and offer California Title 24 compliance. Emergency Battery Backup option available for path of egress.

104L	Model	Power	Color	Beam	Mounting	Height	Options
104L-1	104L-1	100W	3000K	120°	2"	20'	None
104L-2	104L-2	100W	3000K	120°	2"	20'	None
104L-3	104L-3	100W	3000K	120°	2"	20'	None
104L-4	104L-4	100W	3000K	120°	2"	20'	None

**XSP Series**  
XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite™ Technology

**Product Description**  
The XSPW™ LED wall mount luminaire has a slim, low-profile design intended for outdoor wall-mounted applications. The rugged lightweight aluminum housing and mounting bracket are designed for installation on standard single gang, 2-buss and mounting single gang, 4-buss. The luminaire allows for frontward or angled entry from the top, bottom, and side view. The housing design is intended specifically for LED technology including a weatherproof LED driver compartment and thermal management. One design features industry-leading NeoStruc™ Precision Delivery Driver™ system in multiple configurations.

**Performance Summary**  
• NeoStruc™ Precision Delivery Driver™ optic  
• Assembled in the U.S.A. of U.S. and imported parts  
• CRI: Minimum 75 CRI (SDS), 80 CRI & SYSTEM: 70 CRI (SDS)  
• CCT: 2700K, 4200K, 5000K, 5700K  
• Limited Warranty: 10 years on luminaire/70 years on Colorfast DataGuard™ lens

**XSP Series**  
XSPMD LED Street Area Luminaire - Medium

**Product Description**  
Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series offers incredible efficiency without sacrificing application performance. Despite substantial energy savings and reduced maintenance, Cree Lighting achieves greater optical control with our NeoStruc™ Precision Delivery Driver™ optic when compared to traditional cubic based luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

**Performance Summary**  
• NeoStruc™ Precision Delivery Driver™ optic  
• Assembled in the U.S.A. of U.S. and imported parts  
• Initial delivered lumens up to 118,750  
• Efficacy: up to 120 LPW  
• CRI: Minimum 70 CRI  
• CCT: 2700K, 3000K, 4000K, 5000K, 5700K  
• Limited Warranty: 10 years on luminaire/70 years on Colorfast DataGuard™ lens

4 TYPE EW2EM  
E2 SCALE: N.T.S.

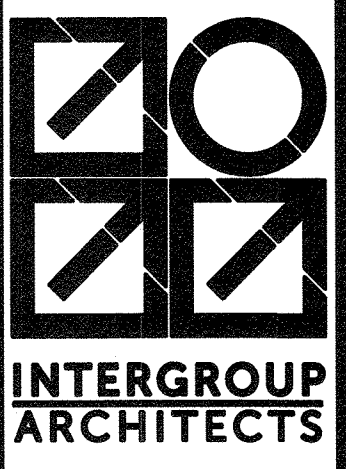
3 TYPE EW1  
E2 SCALE: N.T.S.

2 TYPE EA1, EA2, EA3  
E2 SCALE: N.T.S.

REVISIONS	DATE	DESCRIPTION
	12/4/20	2nd Submission
	2/12/21	3rd Submission

DRAWN: CBW  
CHECKED: BS  
DESIGNED: KS  
FILENAME: BS - 10961

G.T. SANDERS AT SANDERS BUSINESS PARK  
SITE DEVELOPMENT PLAN  
ELECTRICAL SCHEDULES



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