

SHEET INDEX

- 1.0 COVER SHEET
- 2.0 SITE PLAN
- 3.0 LANDSCAPE PLAN
- 4.0 LANDSCAPE DETAILS
- 5.0 ARCHITECTURAL ELEVATIONS
- 6.0 CIVIL SITE PLAN
- 7.0 GENERAL GRADING PLAN
- 8.0 GENERAL UTILITY PLAN

SUMMARY TABLE

- 1. NUMBER OF DWELLING UNITS (60)
- 2. MAXIMUM GROSS FLOOR AREAS 1,510 SQUARE FEET PER UNIT
- 3. ALL SETBACKS AND SEPARATIONS ARE SHOWN ON THE SITE PLAN (VARIES THROUGH THE SITE)
- 4. PARKING SPACES
 - REQUIRED PARKING SPACES (120)
 - PROVIDED PARKING SPACES (150)
 - * 20'x19' TWO CAR GARAGES (120)
 - * 9'X20' PARKING STALL (12)
 - * 9'X20' PARKING STALL W/9' ACCESSIBLE AISLE (2)
 - * 9'X28' PARALLEL PARKING STALLS (15)
 - * 10'X22' STALL W/5' ACCESSIBLE AISLE (1)
- 5. MAXIMUM HEIGHT OF ALL BUILDINGS 38'
- 6. TOTAL SITE UTILIZATION
 - * TOTAL SITE 187,308 SQUARE FEET
 - * TOTAL LANDSCAPE 73,241 SQUARE FEET
 - * BUILDING COVERAGE 45,000 SQUARE FEET
 - * PARKING 4,770 SQUARE FEET
 - * STREETS 72,847 SQUARE FEET

PROPERTY DESCRIPTION:

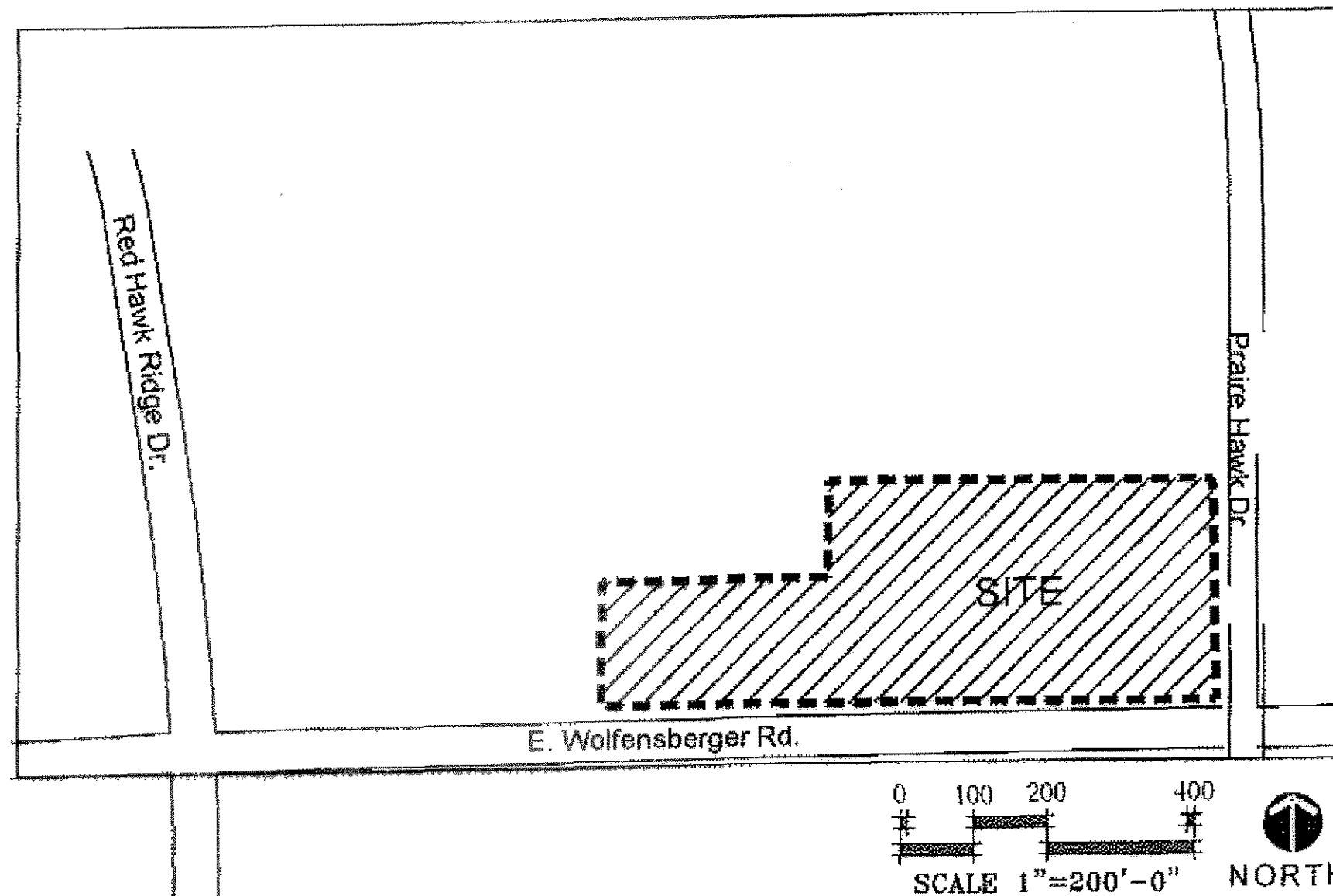
LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - 4TH AMENDMENT, ACCORDING TO THE RECORDED PLAT THEREOF

NOTES

1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
2. Pursuant to Section 4.3E and 8.2.3A of the Town of Castle Rock Landscape Regulations, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
3. Said Property is not located in a FEMA regulated flood plain or wetlands.
4. Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements. Coach lights will be installed on the garage side of the structure and porch lights will be installed at each front entry.
5. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy" as amended from time to time, for this project.
6. Approval of this conceptual Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
7. No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, trees, landscape plantings, crops, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Plan.
8. All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Preliminary Plat shall be granted to the Town of Castle Rock with the Plat.
9. This site is zoned Multi-Family Neighborhood Commercial.
10. All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements.
11. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have five-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to, electric line, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
12. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress.
13. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. The term all-weather driving capabilities have been interpreted to mean either concrete or asphalt.
14. Fire hydrant(s) are required to be installed and made serviceable prior to and during time of construction. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides or Fire Department access roadways, public or private roadways or driveways less than 28 feet wide.
15. Lighting for the site will be provided by a porch light at the front entry and a coach light at each of the garage doors.

RED HAWK CROSSINGS SITE DEVELOPMENT PLAN
LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1,
BLOCK 8 - FOURTH AMENDMENT, TOWN OF CASTLE ROCK,
STATE OF COLORADO

VICINITY MAP



TITLE CERTIFICATION

I, Scott Bennett, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE CO. A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Scott Bennett
AUTHORIZED REPRESENTATIVE
LAND TITLE GUARANTEE CO.
TITLE COMPANY
SIGNED THIS 5th DAY OF August, 2013.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF August, 2013 BY Scott Bennett AS AUTHORIZED REPRESENTATIVE OF Land Title

Linda Stafford
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 12-17-2014

FIRE PROTECTION NOTES

1. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the below requirements and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
2. Surfaced access roads capable of withstanding the imposed loads of fire apparatus and all required fire hydrants shall be installed and serviceable prior to and during all vertical construction.
3. Fire apparatus access roads shall be designed and maintained to support the imposed loads of 75,000 pounds for fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. The term all-weather driving capabilities have been interpreted to mean either concrete, asphalt or other materials may be used if approved by Castle Rock Fire and Rescue Department Life Safety Division. The temporary other materials approval is only valid until either project goes vertical or combustible construction arrives on site.
4. Right-of-way for ingress and egress for emergency vehicles is granted over, across and on all through and any and all private roads and drives.

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE RED HAWK ANNEXATION AND DEVELOPMENT AGREEMENT, RECORDED ON THE 26TH DAY OF MARCH, 1996 AT RECEPTION NO. 199615291 AND ACCORDINGLY 46.87 SFE ARE DEBITED FROM THE WATER BANK.

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:00 PM ON THE 15 DAY OF AUGUST, 2013 AT RECEPTION NO. 2013068377

Tulayee Bon
DOUGLAS COUNTY CLERK AND RECORDER
DEPUTY

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 24, 2001 IN BOOK 2116 AT PAGE 756 AND RE-RECORDED OCTOBER 10, 2011 IN BOOK 2150 AT PAGE 1959, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Charles Micale
BY WAY DEVELOPMENT CORPORATION
SIGNED THIS 5th DAY OF August, 2013.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 5th DAY OF August, 2013 BY Charles Micale AS Development Corporation OF MY WAY DEVELOPMENT CORPORATION.

Jennifer Gleason
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3/24/16

TOWN CERTIFICATION

A. PLANNING COMMISSION RECOMMENDATION:
THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF March, 2013.

Paul Donohue
CHAIR
Paul Donohue
DIRECTOR OF DEVELOPMENT SERVICES
DATE: 14 August 2013
DATE: 8/14/2013

B. TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF March, 2013.

Paul Donohue
MAYOR
Scott Bennett
TOWN CLERK
DATE: 8/15/13
DATE: 8/15/13

OWNERSHIP BLOCK

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. RED HAWK CROSSINGS, L.L.C. A COLORADO LIMITED LIABILITY COMPANY

Charles Micale
NOTARY BLOCK
SIGNED AND SWORN TO BEFORE ME THIS 5th DAY OF August, 2013 BY Charles Micale AS OF RED HAWK CROSSINGS, L.L.C.

Jennifer Gleason
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 3/24/16

OWNER/DEVELOPER
RED HAWK CROSSINGS, LLC.
Chuck Micale
14 Inverness Drive, SUITE G-136
Englewood, CO 80112
PHONE: 303-799-0728
FAX: 303-799-0670

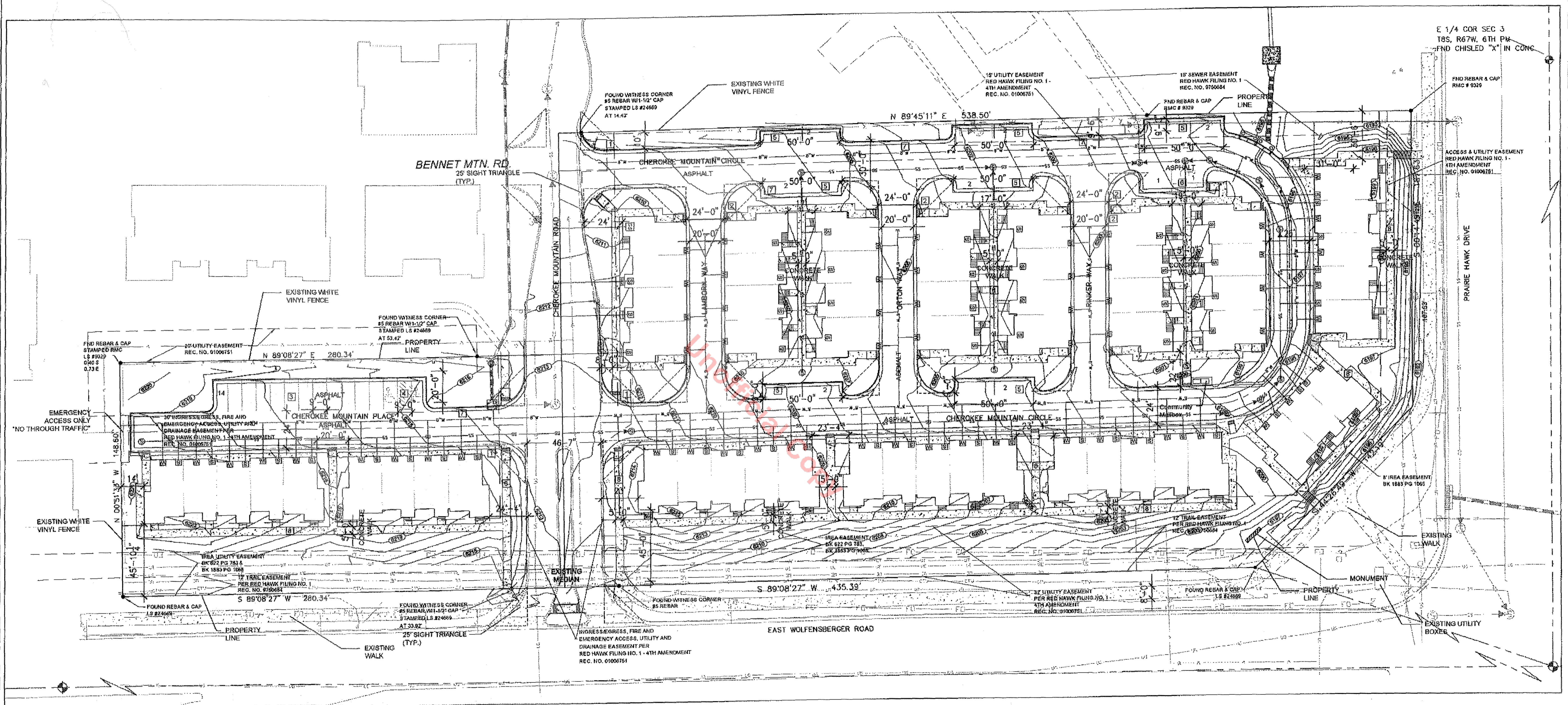
ARCHITECT
IRELAND DEAN DESIGNS, LLC
6912 Welford Place
Castle Pines, CO 80218
PHONE: 303-660-8870

LANDSCAPE ARCHITECT
DHM Design
1390 Lawrence Street
Denver, CO 80204
PHONE: 303-992-5566

COVER SHEET
SHEET 1 OF 8
RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1 LOT 1,
BLOCK 8 - 4TH AMENDMENT

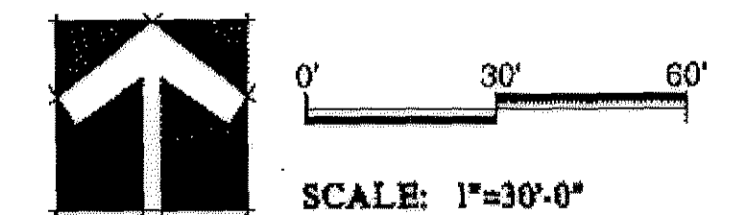
RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - FOURTH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO



NOTE KEYS

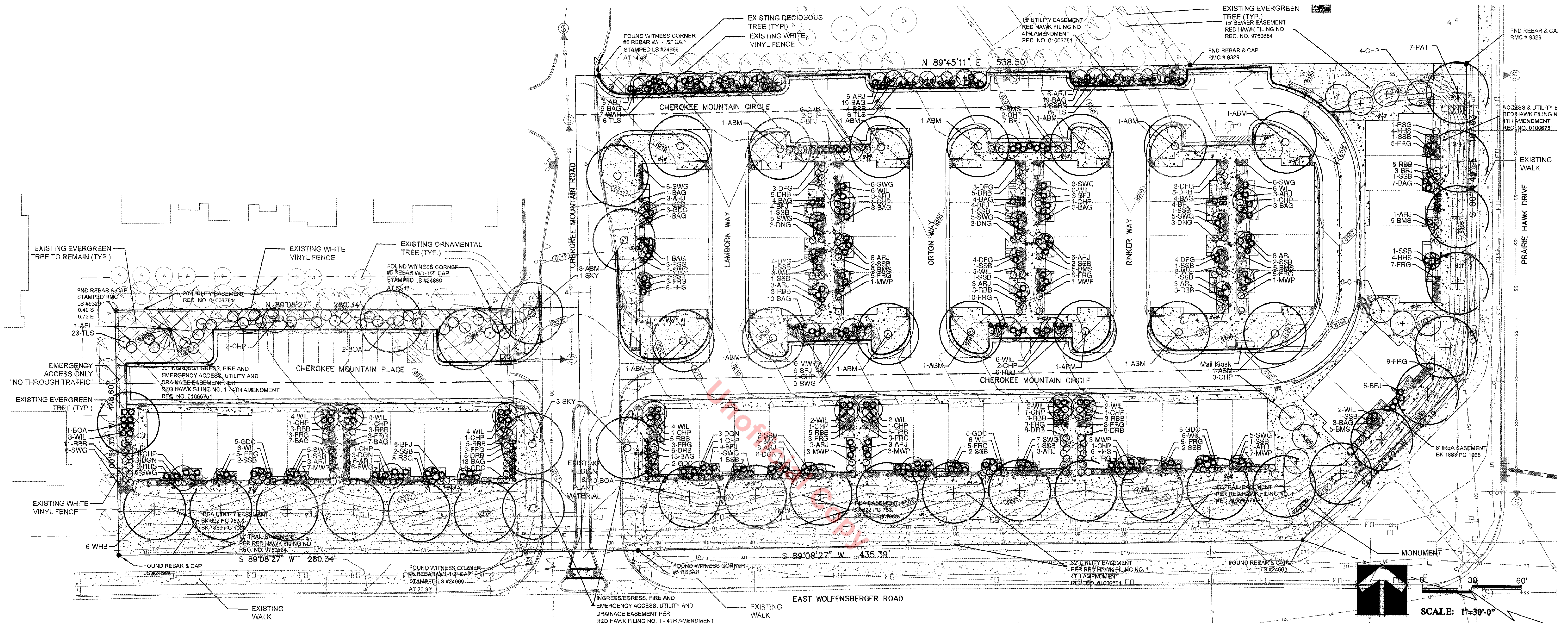
1. NEW STOP SIGN
2. NEW YIELD SIGN
3. (12) 9'X20' STANDARD STALLS
4. (2) 9'X20' ACCESSIBLE STALL w/ 9' ACCESSIBLE AISLE
5. (15) 9'X20' PARALLEL STALLS
6. (1) 10'X22' ACCESSIBLE STALL W/5' ACCESSIBLE AISLE
7. NEW CONCRETE CURB & GUTTER
8. NEW CONCRETE WALK



SITE PLAN
SHEET 2 OF 8
RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1 LOT 1,
BLOCK 8 - 4TH AMENDMENT

RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - FOURTH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO



NOTES:

- Landscaping shall be planted and maintained in a neat, clean and healthy condition by the owner. This shall include proper pruning, mowing of lawns, weeds, removal of litter and the regular watering of all plantings. Should any plant material die, the owner, successor, or assigns shall be responsible for the replacement of the plants (s) within 45 days. Replacement of plant material shall occur at the following rate:

TYPE	PLANT REPLACEMENT WITHIN		
	1 YEAR	2-5 YEARS	6+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"	Increase caliper by 1.5" plus, increase qty. by 2 (original size)
Tree - Deciduous	Increase height by 2'	Increase height by 2' plus, increase qty. by 1 (original size)	Increase height by 2' plus, increase qty. by 2 (original size)
Shrub	Increase qty. by 2 (original size)	Increase qty. by 4 (original size)	Increase qty. by 12 (original size)

- Additional replacement shall be in conformance with the landscape material species requirements set forth by this plan or alternative material species acceptable to the Town of Castle Rock
- Aeration, top dressing and fertilization to be provided annually in the spring. Owner to provide monthly mowing and weeding performed through April - October. Pruning to be provided annually when trees and shrubs are dormant. Maintenance contractor to provide winter watering after two consecutive weeks of above freezing conditions throughout winter months. Irrigation system maintenance to include system initialization, annual backflow prevention testing, monthly water application adjustments and a schedule of system inspections.
 - The contractor is to contact 720-733-6045 to have the landscape and irrigation inspector attend the Pre-Construction meeting.
 - Any wall or monument over four feet in height requires a permit from the Castle Rock Building Division prior to construction. Detailed plans for any wall over four (4) feet in height will be submitted to the Castle Rock Building Division prior to the issuance of the required building permit.
 - A permit will be obtained from the Town of Castle Rock Zoning Division prior to the installation of monuments and planters outside of the public ROW, including those within the ROW of private streets. An electrical permit will be obtained from the Town of Castle Rock Zoning Division for lighting outside of the public ROW, including lighting for monuments and planters.
 - CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RESEED ALL BARE AREAS (6x6) AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION REAPPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6x6) OR GREATER) AND ON ALL SLOPES (4x4) 3:1 AND GREATER ARE NOT PERMITTED.
 - Areas under 10 ft. in width shall not contain turf.
 - Slopes greater than 3:1 must be drip irrigated.
 - Landscape and Irrigation systems shall be installed by a TOCR registered professional.
 - Native Seed in disturbed areas shall be established with temporary irrigation.
 - Square footages are estimated. Final landscape area coverages shall meet or exceed coverages represented in this drawing and shall conform to subsequent submittal requirements.
 - All plants are to be properly hydrozoned per Town of Castle Rock Plant List.
 - Distance of trees to utility lines should be a minimum of 10 feet.
 - Permanent irrigation is required for all landscaped areas greater than 500 feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
 - Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
 - Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
 - Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation Regulations Section 4.2.3 and to correlate with the use type on the property.

LANDSCAPE NOTES:

- ALL TREE LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SPECIES MAY NOT BE SUBSTITUTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT AND TOWN APPROVAL THRU A FIELD CHANGE ORDER.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH FIBER MULCH. REFER TO SPECIFICATIONS. SUBMIT SAMPLE FOR APPROVAL. TOWN MINIMUM DEPTH FOR MULCH IS 4 INCHES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALLS, OR WALKWAYS AND OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG WALKWAYS TO ACCOMMODATE SOD OR MULCH DEPTH OF 4 INCHES.
- NO TREES OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS. LANDSCAPING MAY MOVE RELATIVE TO UTILITY EASEMENTS AND LINES AND PLANT TYPES MAY CHANGE.
- IT IS NOTED THAT SOD INSTALLED ON A 3:1 SLOPE WILL NOT BE ABLE TO BE IRRIGATED WITH TRADITIONAL OVERHEAD IRRIGATION. CHANGES WILL BE MADE ON THE CONSTRUCTION DOCUMENTS TO COMPLY WITH THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS.

SOIL AMENDMENTS:

GROUND PLANE TREATMENT	CLASS II OM AMENDMENT	NITROGEN	PHOSPHORUS	OTHER	FERTILIZER 4-6 weeks during growing season	E.C., SALT OR PH TREATMENT	ROTOTILL DEPTH
TREES	4.0 cu.yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 15lb./1000sf	N/A	6"
SHRUBS	4.0 cu.yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 15lb./1000sf	N/A	6"

NOTE: AMENDMENTS ARE TO BE VERIFIED AT THE TIME OF CONSTRUCTION WITH A SOILS TEST. SOILS TEST MUST BE ANALYZED FOR XERIC TREES AND SHRUBS AND RESULTS PROVIDED TO TOWN OF CASTLE ROCK REPRESENTATIVE.

LANDSCAPE SUMMARY TABLE:

GROSS SITE AREA:	187,308 SQ.FT.
IRRIGATED LANDSCAPE (TOTAL):	73,241 SQ.FT. (39%)
IRRIGATED TURF:	49,592 SQ.FT. (26%)
LIVING GROUND COVER:	23,649 SQ.FT. (13%)
NON-IRRIGATED LANDSCAPE (TOTAL):	0 SQ.FT. (0%)
NON-LIVING GROUND COVER:	0 SQ.FT. (0%)
NON-DISTURBED AREAS:	0 SQ.FT. (0%)

Multi-Family Landscape Site Inventory

State of Colorado License Landscape Architect: **Russell M. Meinzer**

Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # **268**

Company Name: **DHM Design** Address: **1390 Lawrence Street Denver, CO 80204**

Phone: **(303)982-5566** Email: **rmeinzer@dhmdesign.com** Date: **06-05-13**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Connections
187,308	73,241	EnviroTurf 49,592	0-0	75	77	150	574	4	Yes <input type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,770	4,039	30	0-0	0-0	6	2	11	4	11

LANDSCAPE PLAN
SHEET 3 OF 8
RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1 LOT 1,
BLOCK 8 - 4TH AMENDMENT

STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT:
Russell M. Meinzer
SOC LICENSE # **268**

RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - FOURTH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO

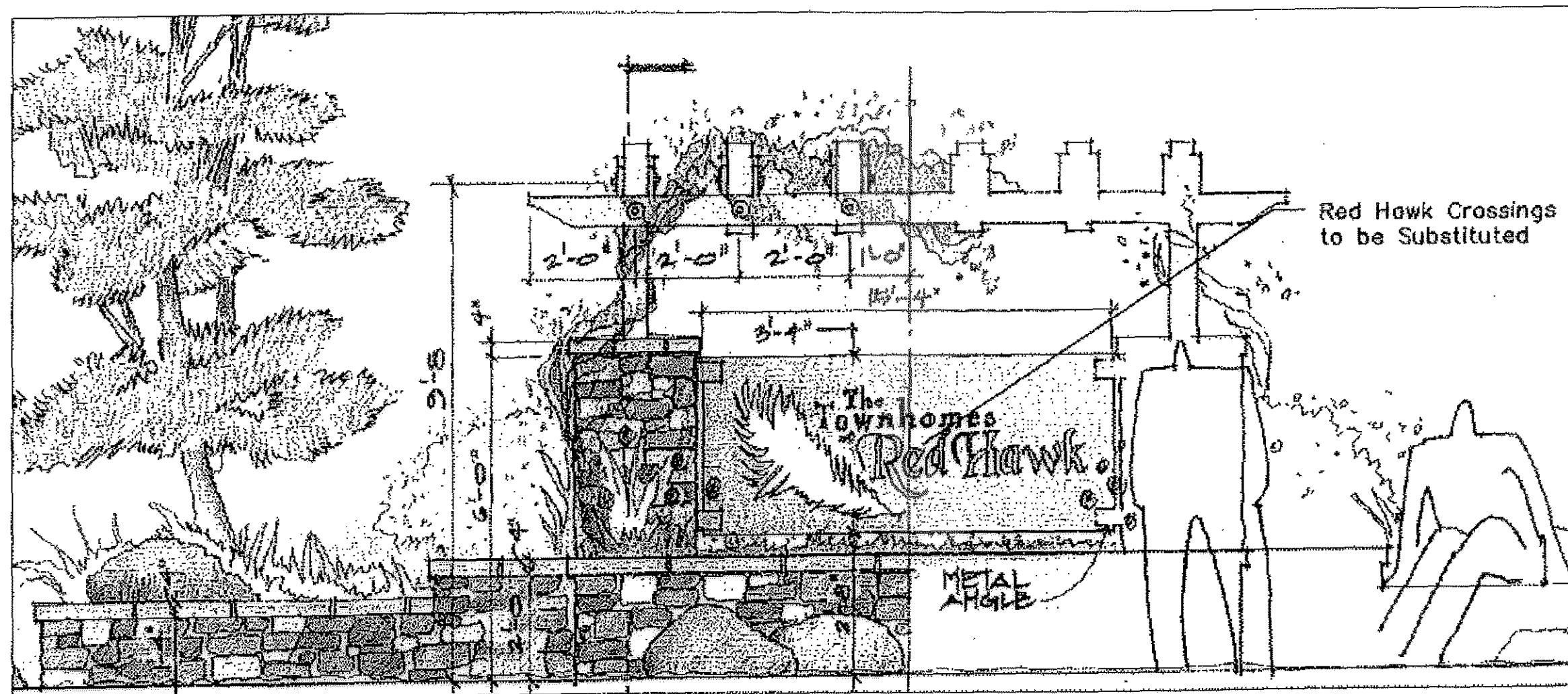
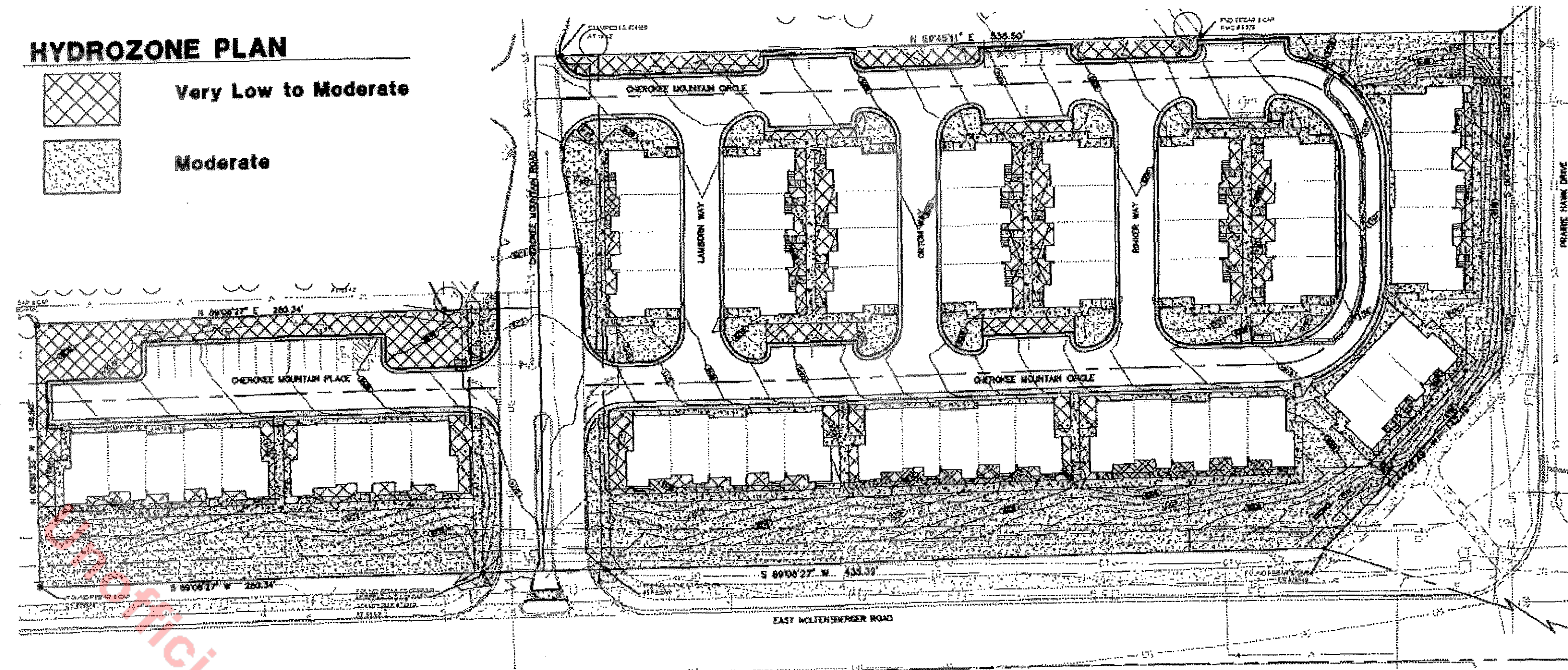
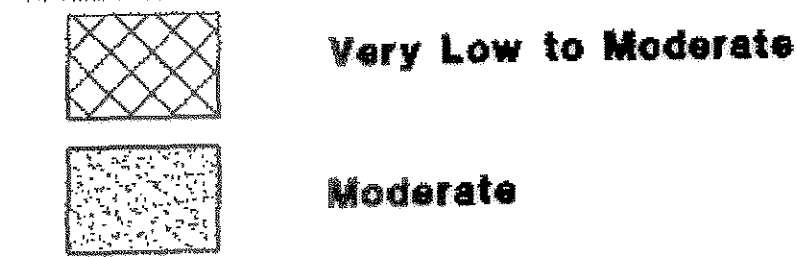


PLANT LIST

Registered Professional **Rus Meinzer** State of Colorado License # 268
 Company Name **DHM Design Corp.** Address **1390 Lawrence St. Suite 100, Denver, CO 80204**
 Phone **303.892.5566** Email **rmeinzer@dhdn.com**

Irrigation Zone	Plant Name (scientific)	Plant Name (common)	Legend Abbrev.	Size	No. of Plants
DECIDUOUS TREES					
Very Low	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	ABM	2-1/2" cal.	16
Low	<i>Quercus macrocarpa</i>	Bur Oak	BOA	2-1/2" cal.	13
Low	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	WAH	2-1/2" cal.	7
Low	<i>Callis occidentalis</i>	Western Hackberry	WHB	2-1/2" cal.	6
Low	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	CHP	2-1/2" cal.	35
Low	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust	SKY	2-1/2" cal.	4
Moderate	<i>Fraxinus pennsylvanica</i> 'Patmore'	Patmore Ash	PAT	2-1/2" cal.	7
EVERGREEN TREE					
Very Low	<i>Pinus nigra</i>	Austrian Pine	API	10'-12' height	1
EVERGREEN SHRUBS					
Very Low	<i>Juniperus chinensis</i> 'Armstrong'	Armstrong Juniper	ARJ	5 gal.	79
Moderate	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	BFJ	5 gal.	58
Low	<i>Juniperus horizontalis</i> 'Wilton'	Wilton Juniper	WIL	5 gal.	81
Very Low	<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	HHS	5 gal.	26
DECIDUOUS SHRUBS					
Low	<i>Caryopteris x clandonensis</i>	Bluemist Spirea	BMS	5 gal.	37
Low	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	DGN	5 gal.	24
Low	<i>Chrysothamnus nauseosus</i> subsp. <i>nauseosus</i>	Dwarf Blue Rabbitbrush	DRB	5 gal.	45
Low	<i>Ribes aureum</i>	Golden Current	GDC	5 gal.	23
Low	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	SSB	10 gal.	44
Low	<i>Amelanchier alnifolia</i> 'Regent'	Saskatoon Serviceberry	SSBR	10 gal.	4
Low	<i>Berberis thunbergii</i> 'Rose Glow'	Red Barberry	RBB	5 gal.	57
Low	<i>Perovskia atriplicifolia</i>	Russian Sage	RSG	5 gal.	25
Very Low	<i>Rhus trilobata</i>	Threelob Sumac	TLS	5 gal.	44
Low	<i>Potentilla fruticosa</i> 'McKays White'	White Potentilla	MWP	5 gal.	31
ORNAMENTAL GRASSES					
Low	<i>Helictotrichon sempervirens</i>	Blue Avena	BAG	1 gal.	149
Moderate	<i>Pennisetum orientale</i>	Oriental Fountain Grass	DFG	1 gal.	21
Moderate	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	FRG	1 gal.	94
Low	<i>Panicum virgatum</i> 'Rehbraun'	Switch Grass	SWG	1 gal.	97

HYDROZONE PLAN

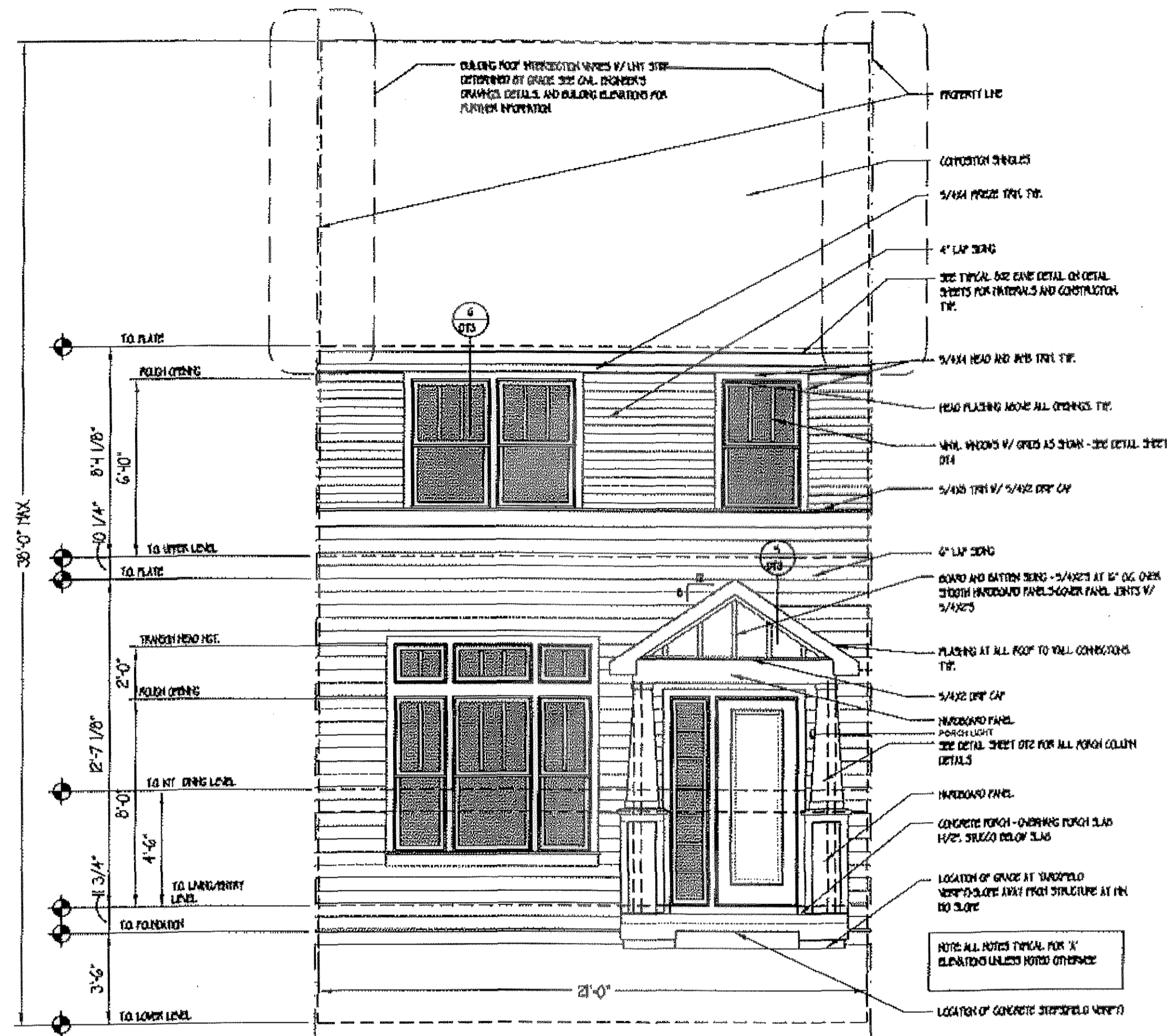


3 ENTRY MONUMENT CONCEPT
SCALE: N.T.S.

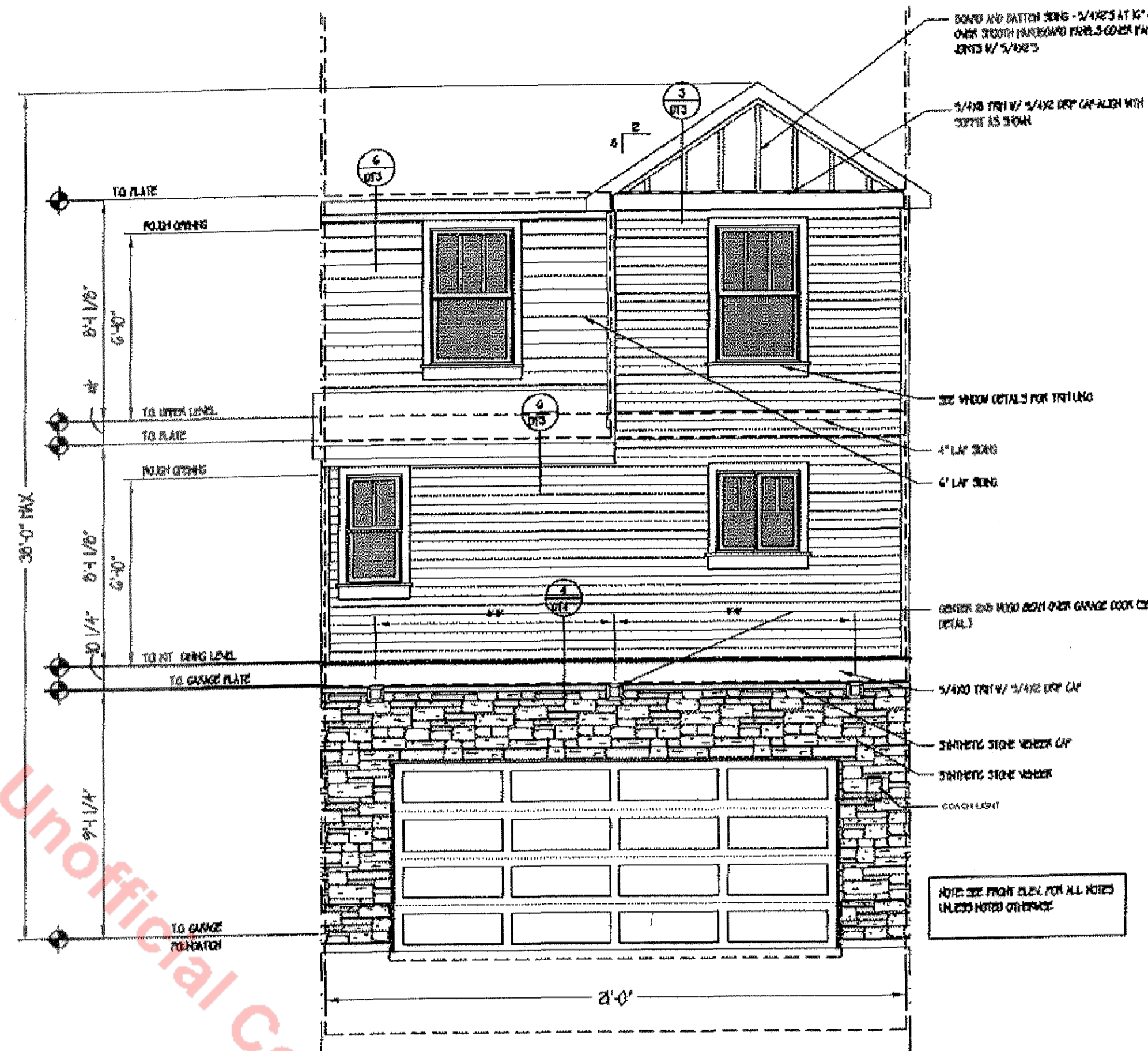
LANDSCAPE DETAILS
 SHEET 4 OF 8
 RED HAWK CROSSINGS
 SITE DEVELOPMENT PLAN
 LOTS 201 AND 202, BLOCK 1,
 RED HAWK FILING NO.1 LOT 1,
 BLOCK 8 - 4TH AMENDMENT

TOWN OF CASTLE ROCK APPROVAL
 PLANS ARE HEREBY APPROVED FROM ONE YEAR FROM DATE OF
 DEVELOPMENT SERVICES APPROVAL
 APPROVED BY: _____
 DEVELOPMENT SERVICES DATE _____

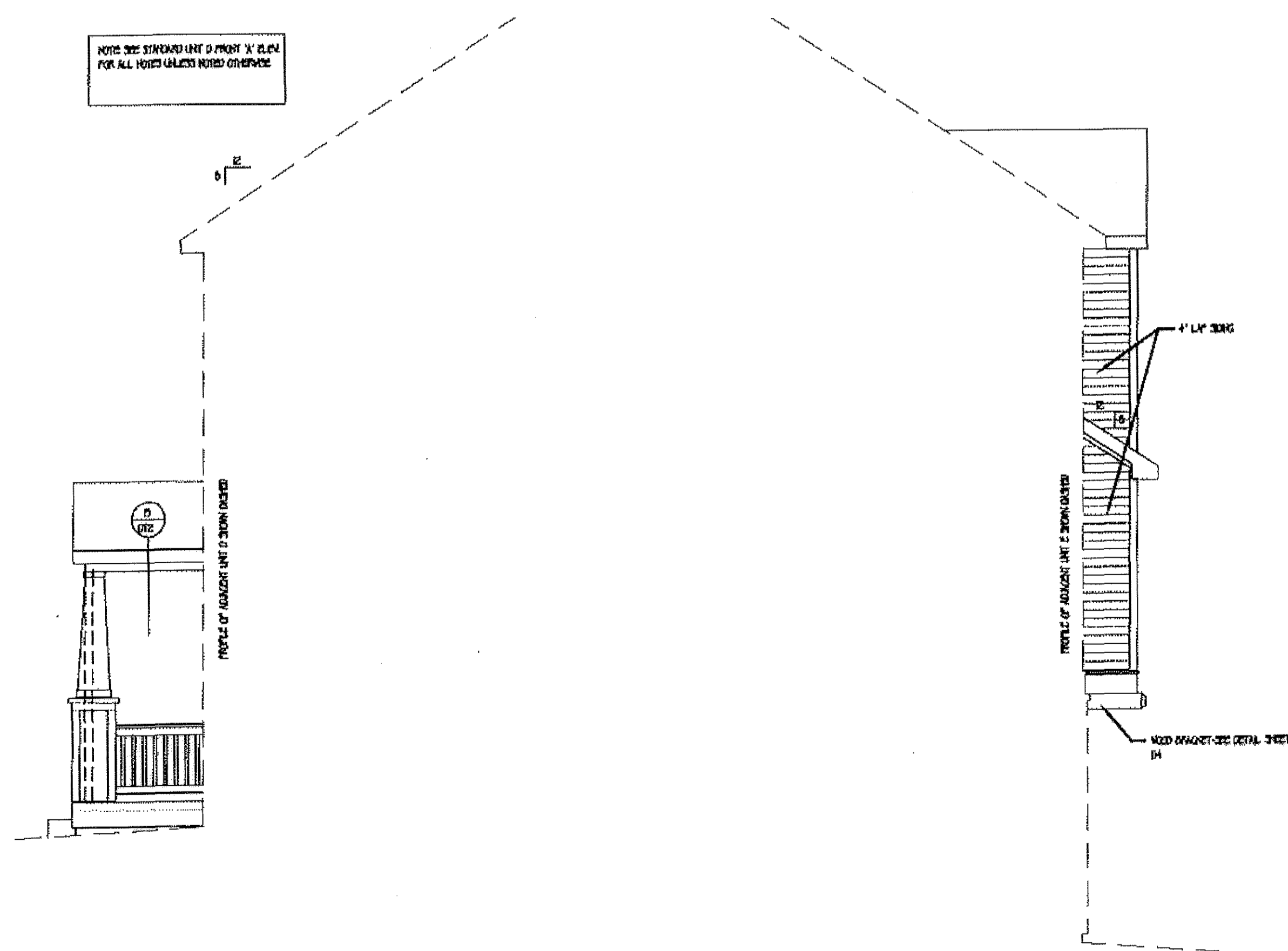
RED HAWK CROSSINGS SITE DEVELOPMENT PLAN
 LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1,
 BLOCK 8 - FOURTH AMENDMENT, TOWN OF CASTLE ROCK,
 STATE OF COLORADO



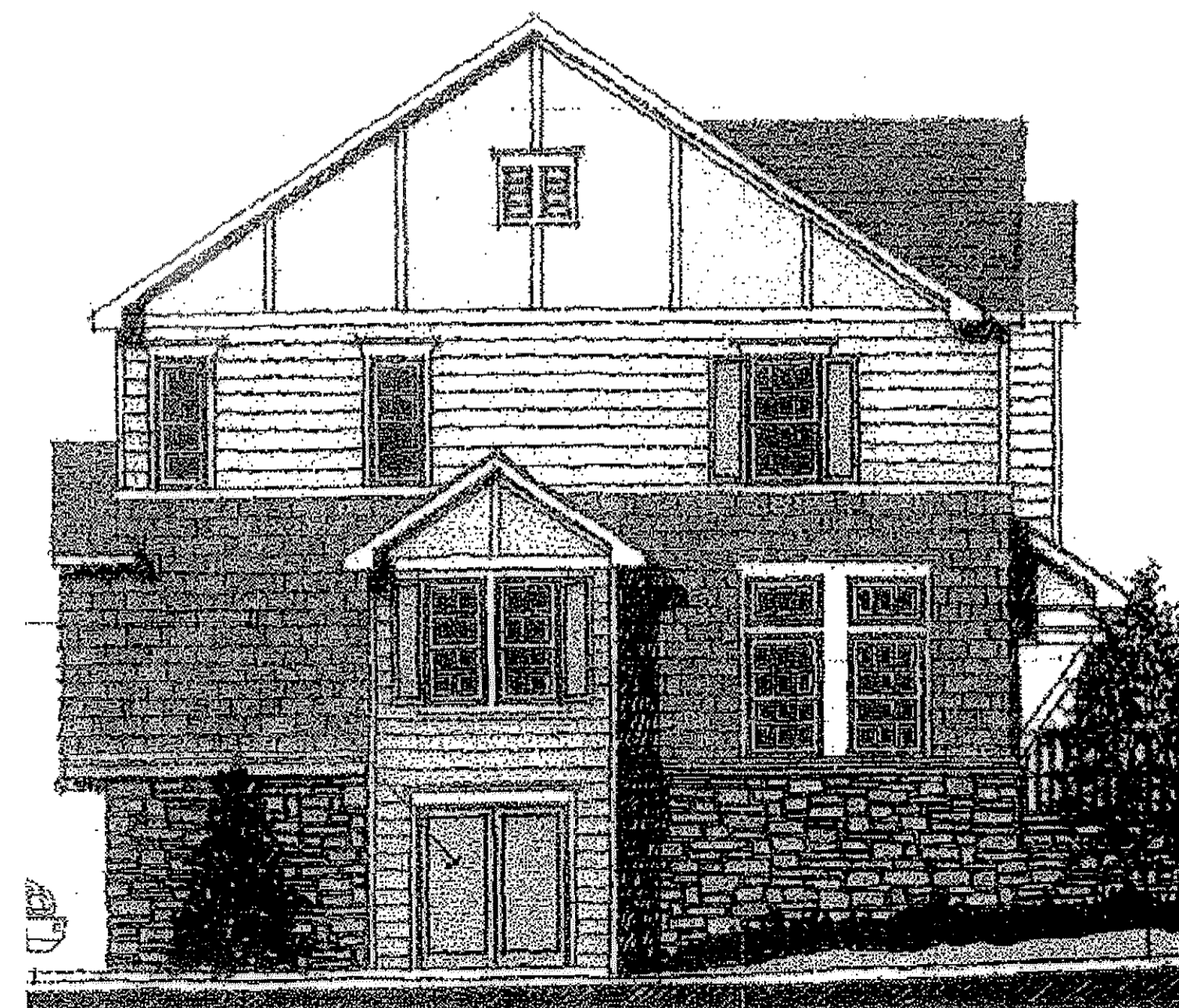
FRONT ELEVATION



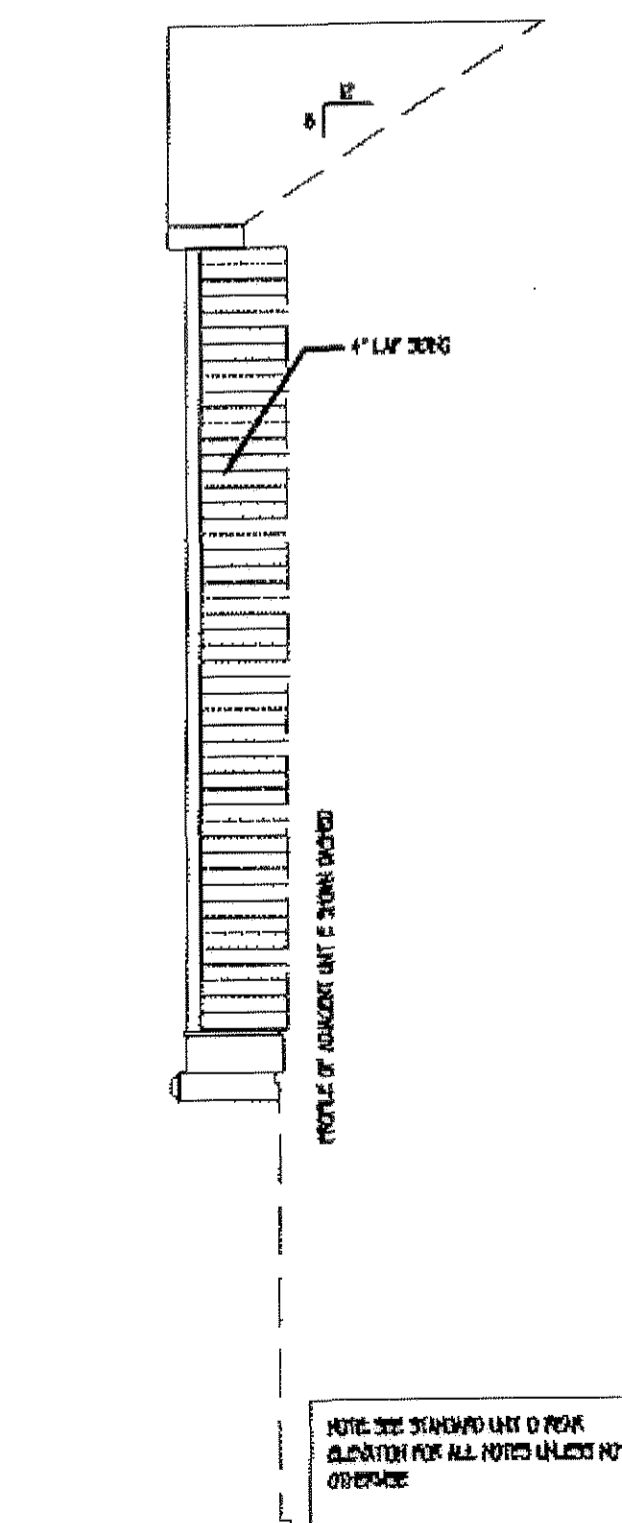
REAR ELEVATION



RIGHT STANDARD ELEVATION



STANDARD END ELEVATION



LEFT STANDARD ELEVATION

MATERIAL PALLETTE				
SYNTHETIC STONE VENEER	ENVIRONMENTAL STONEWORKS COLOR : NEW ORLEANS, LEDGESTONE			
COMPOSITE ASPHALT SHINGLE	ROOF 1 OUENS CORNING SHAKE SHINGLE PROFILE, COLOR TEAK ROOF 2 OUENS CORNING SHAKE SHINGLE PROFILE, COLOR DRIFTWOOD			
EXTERIOR SIDING	12" LAP PRESSED BOARD SIDING WITH 8" ACCENTS			
EXTERIOR WINDOWS	WHITE VINYL WITH SIMULATED GRID PATTERN BY SIERRA PACIFIC			
EXTERIOR PAINT SCHEMES	SCHEME 1		SCHEME 2	
	BODY	KUAL 8226N OCTOBER OAK	BODY	KUAL 8235D BRUSHED BOX
	TRIM 1	KUAL 8225D AUTUMN WHEAT	TRIM 1	KUAL 8236N GUMNUT
	TRIM 2	KUAL 8224M BALSAM BARK	TRIM 2	KUAL 8234M DAPLIN
	SCHEME 3		SCHEME 4	
	BODY	KUAL 8175D MOOSE POINT	BODY	KUAL 1155D TANNERY
	TRIM 1	KUAL 8176N MOCHA BROWN	TRIM 1	KUAL 1154M SAFARI TAN
	TRIM 2	KUAL 8674M MUDDY RIVER	TRIM 2	KUAL 1157W OAKBLUFF
	SCHEME 5		SCHEME 6	
	BODY	KUAL 8175D WILD GRASS	BODY	KUAL 8665D GRISTMILL
	TRIM 1	KUAL 8235D BRUSH BOX	TRIM 1	KUAL 8675D WOODEN OAR
	TRIM 2	KUAL 8174M FINLAND	TRIM 2	KUAL 8664M BACKPACK
SCHEME 7		SCHEME 8		
BODY	KUAL 8125A COACH HOUSE	BODY	KUAL 8336N BAYARIAN CHALET	
TRIM 1	KUAL 8176N MOCHA BROWN	TRIM 1	KUAL 8235D BRUSH BOX	
TRIM 2	KUAL 8174M HEADQUARTERS	TRIM 2	KUAL 8674M MUDDY RIVER	
SCHEME 9		SCHEME 10		
BODY	KUAL 8165D BEAVER CREEK	BODY	KUAL 8845D COLONY BRICK	
TRIM 1	KUAL 8174M WILD CAT	TRIM 1	KUAL 8695D THATCH ROOF	
TRIM 2	KUAL 8173W KINDLING WOOD	TRIM 2	KUAL 8174M WILDCAT	
PAINT ACCENT COLORS				
ACCENT 1	KUAL 8646N BLACKENED BEAM			
ACCENT 2	KUAL ACH4N ROBUST RED			
ACCENT 3	KUAL ACH4N MISSION BROWN			
ACCENT 4	KUAL 8556A PEKING BLUE			
ACCENT 5	KUAL 8876N SPICED FLIM			
ACCENT 6	KUAL 8116N BLACKSMITH			

ARCHITECTURAL ELEVATIONS
 SHEET 5 OF 8
 RED HAWK CROSSINGS
 SITE DEVELOPMENT PLAN
 LOTS 201 AND 202, BLOCK 1,
 RED HAWK FILING NO.1 LOT 1,
 BLOCK 8 - 4TH AMENDMENT

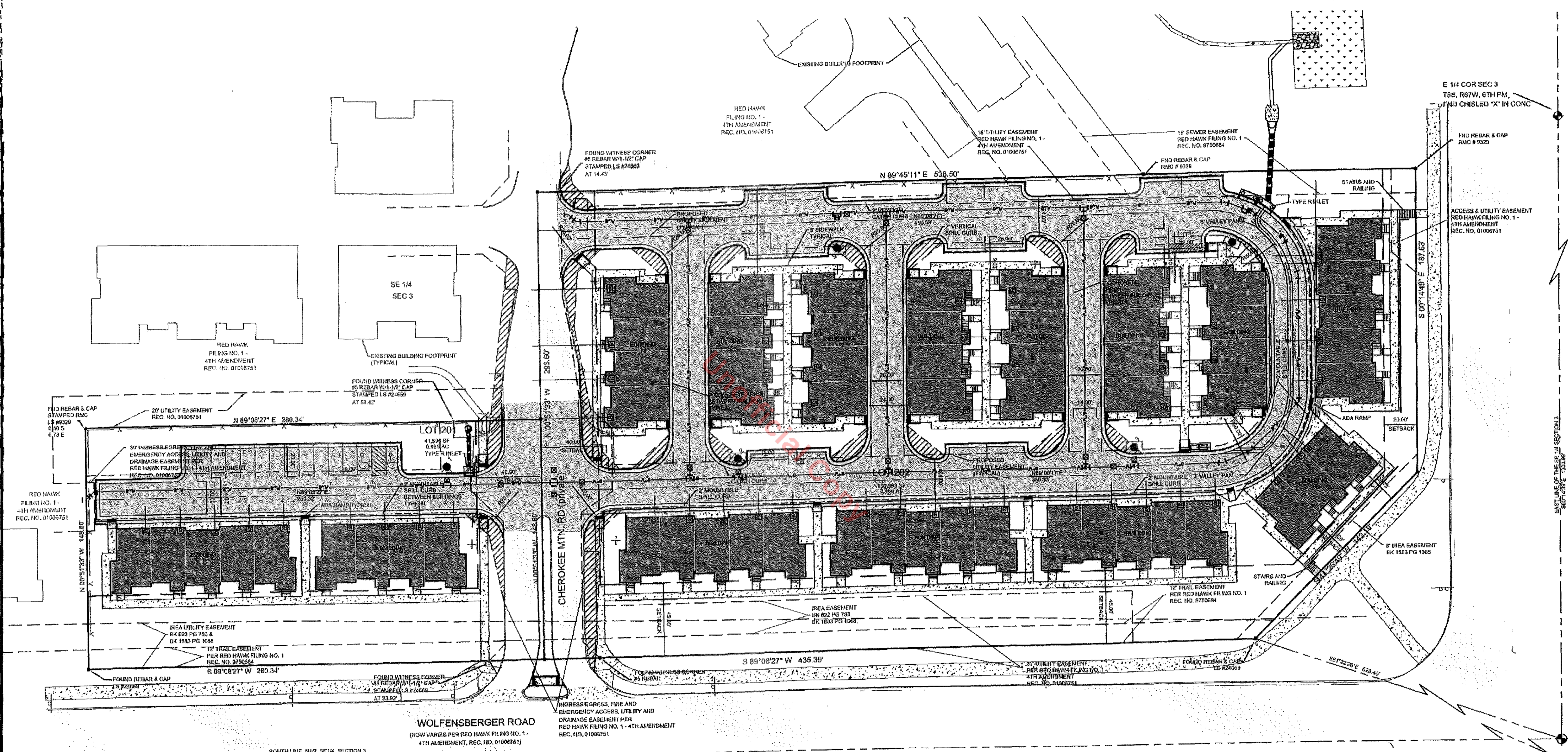
RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - 4TH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO



2N CIVIL, LLC
PO Box 630042
Littleton, CO 80163-0042
Phone 303-925-0544 Fax 303-925-0547
www.2NCivil.com

CIVIL SITE PLAN
RED HAWK CROSSINGS
RED HAWK CROSSING, LLC
TOWN OF CASTLE ROCK, COLORADO

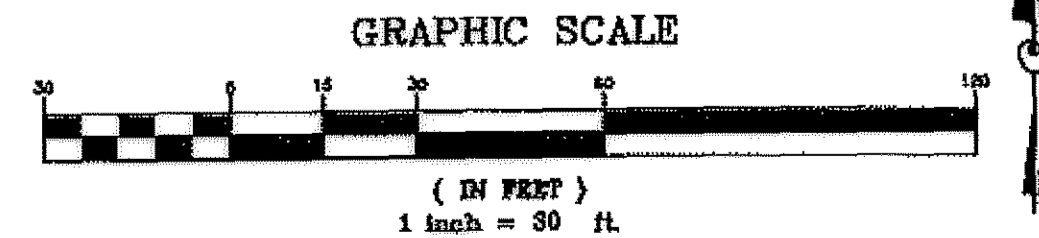


PROJECT BENCHMARK
ELEVATIONS ARE BASED ON NGS POINT D-23, ELEVATION 5964.83 FEET NAVD 88.

BASIS OF BEARINGS
BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEARING NORTH 89°45'20" EAST.

LEGEND:

- PROPERTY BOUNDARY
- - - EXISTING EASEMENT
- ▨ EXISTING CONCRETE
- ▨ EXISTING SIGN
- ▨ EXISTING FENCE & COLUMN
- ▨ EXISTING CURB & GUTTER
- ▨ EXISTING ASPHALT
- PROPOSED SETBACK
- PROPOSED ROAD CENTERLINE
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED BUILDING
- ▨ PROPOSED STORM SEWER INLETS
- ▨ PROPOSED VERTICAL CURB AND GUTTER (CATCH) 2' PAN
- ▨ PROPOSED MOUNTABLE CURB (SPILL) 2' PAN
- ▨ PROPOSED VERTICAL CURB AND GUTTER (SPILL) 2' PAN



**RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN**
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1, LOT 1,
BLOCK 8 - 4TH AMENDMENT

Prepared Under the Direction Of:

Revisions:
1. REV PER TOWER COMMENTS 4-11-13
2. REV PER TOWER COMMENTS 7-19-13

Project Number: 13403
Drawn By: em
Checked By: EFT
5-1-13

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RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - 4TH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO



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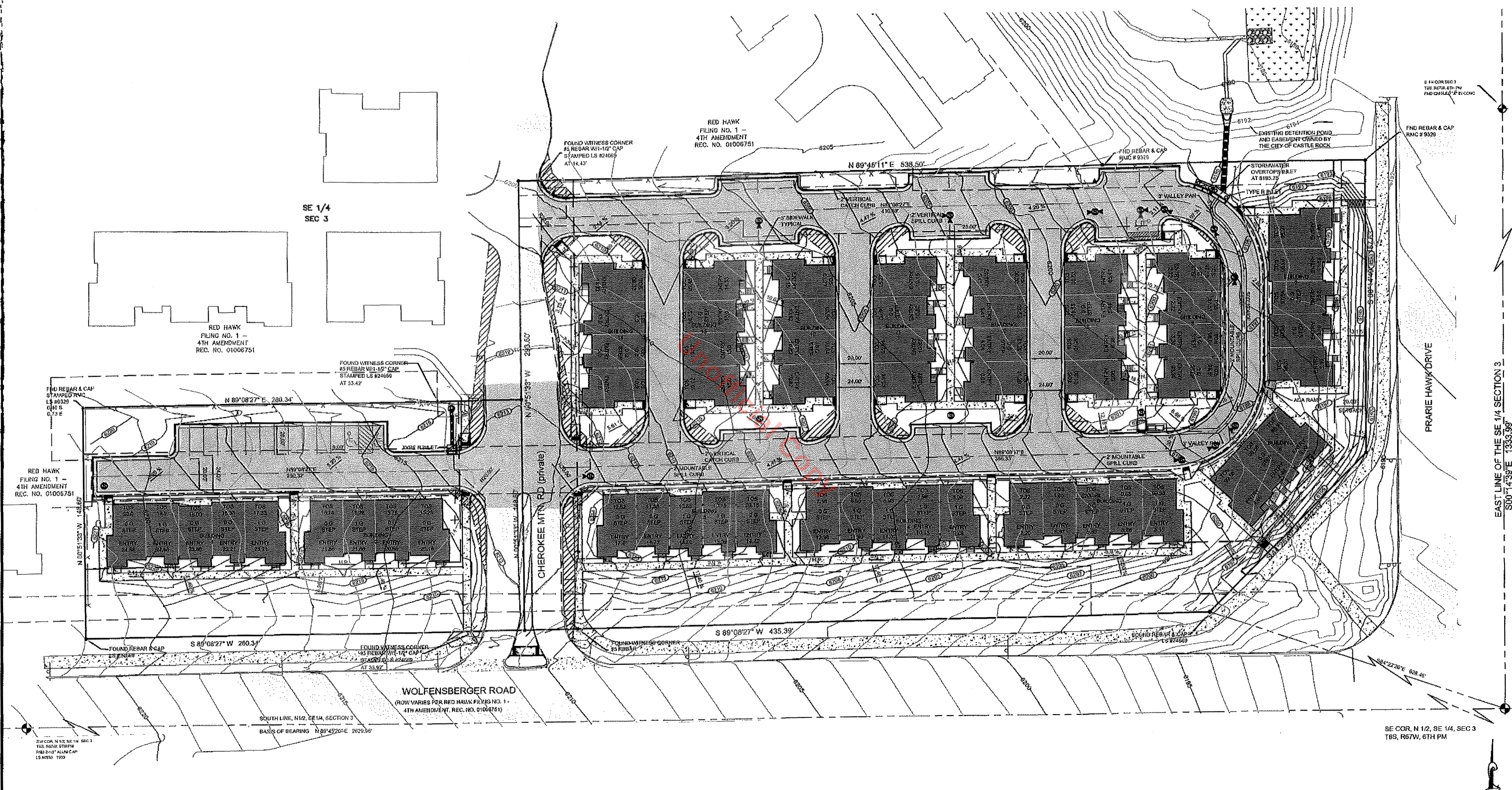
GENERAL GRADING PLAN
RED HAWK CROSSINGS
RED HAWK CROSSING, LLC
TOWN OF CASTLE ROCK, COLORADO

Prepared Under the Direction of:

Revisions:
1 REV PER COOR COMMENTS 6-1-13

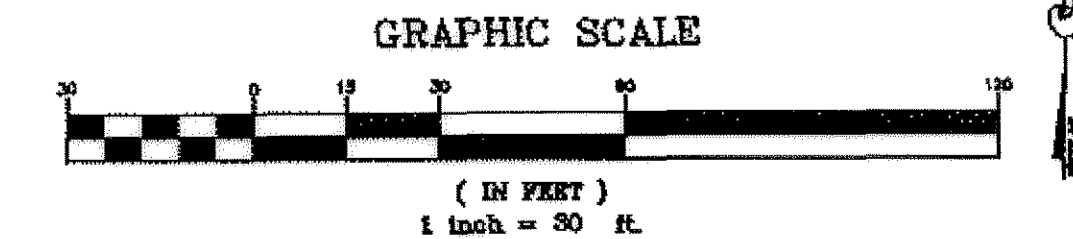
Project Number: 17003
Drawn By: epf
Checked By: EFT
5-1-13

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LEGEND:

- PROPERTY BOUNDARY
- EXISTING EASEMENT
- EXISTING CONCRETE
- EXISTING SIGN
- EXISTING FENCE & COLUMN
- EXISTING CURB & GUTTER
- EXISTING ASPHALT
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SETBACK
- PROPOSED ROAD CENTERLINE
- PROPOSED CONCRETE
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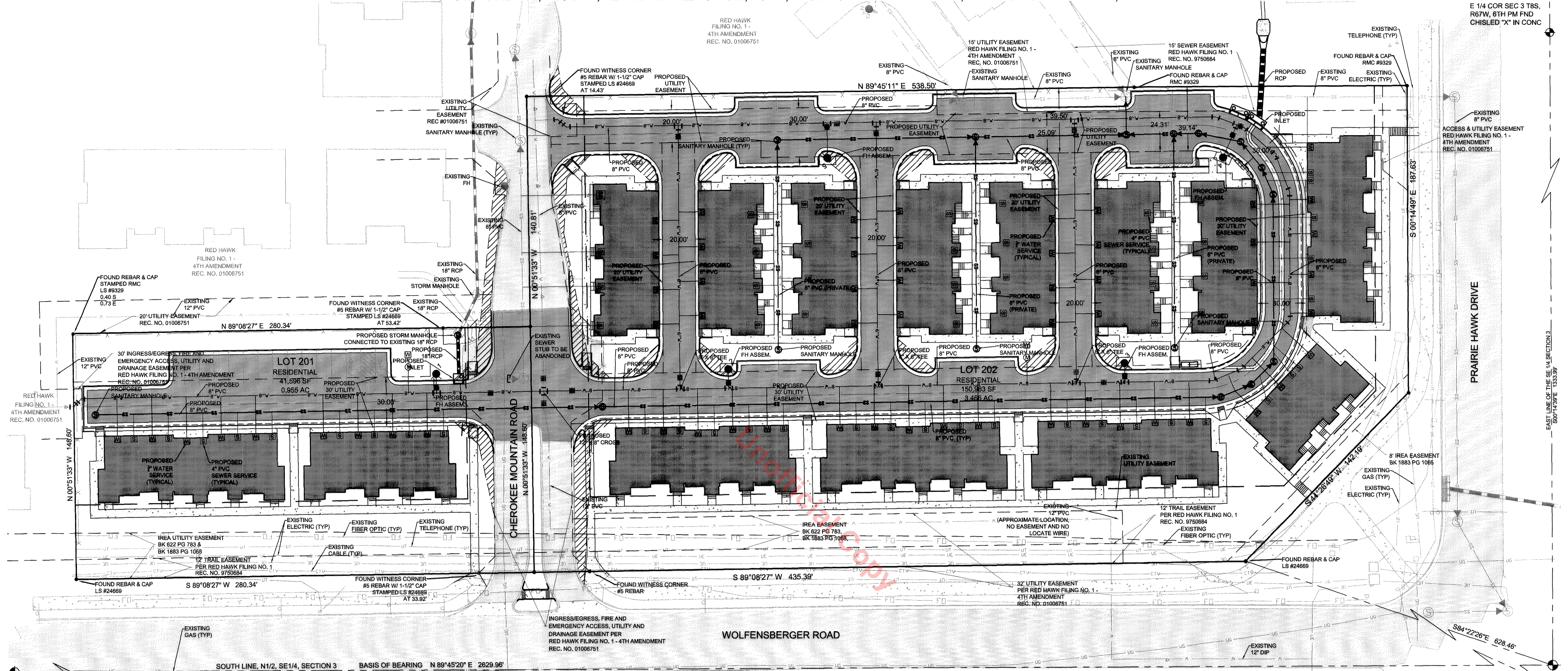


PROJECT BENCHMARK
ELEVATIONS ARE BASED ON NGS POINT D-23, ELEVATION 5984.63 FEET NAVD 88.
BASIS OF BEARINGS
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**RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN**
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1, LOT 1,
BLOCK 8 - 4TH AMENDMENT

RED HAWK CROSSINGS SITE DEVELOPMENT PLAN

LOTS 201 AND 202, BLOCK 1, RED HAWK FILING NO.1, LOT 1, BLOCK 8 - 4TH AMENDMENT, TOWN OF CASTLE ROCK, STATE OF COLORADO



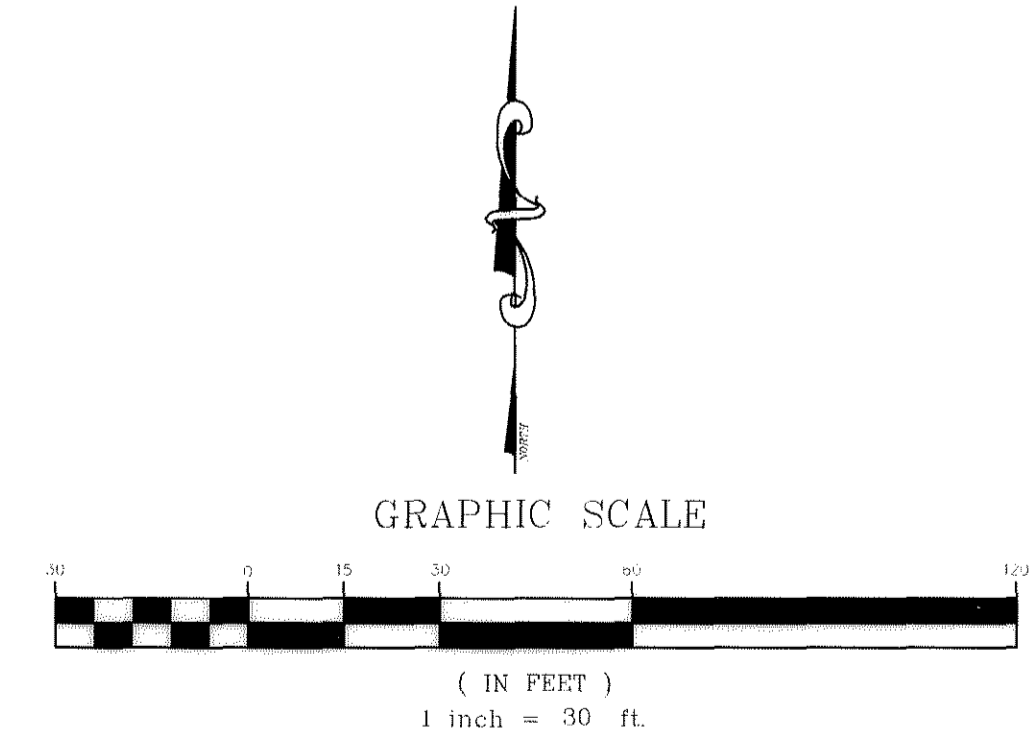
SW COR, N 1/2, SE 1/4, SEC 3
T8S, R67W, 6TH PM FND
2-1/2" ALUM CAP LS #6935
1990

LEGEND

- EXISTING PROPERTY LINE
- SS — PROPOSED 8" SANITARY SEWER LINE
- 6W — PROPOSED 8" WATER LINE
- 6W — PROPOSED 6" WATER LINE
- ⊕ — PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER LINE
- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- ⊕ — PROPOSED WATER VALVE
- ⊕ — PROPOSED FIRE HYDRANT
- ⊕ — PROPOSED STORM SEWER MANHOLE
- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- FO — EXISTING FIBER OPTIC
- UE — EXISTING UNDERGROUND ELECTRIC
- UT — EXISTING UNDERGROUND TELEPHONE
- UCTV — EXISTING UNDERGROUND CABLE
- UG — EXISTING UNDERGROUND GAS
- ⊕ — EXISTING SANITARY MANHOLE
- ⊕ — EXISTING STORM SEWER MANHOLE

Notes:

- All proposed easements must be recorded prior to construction drawing approval.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- This site is located within the Town of Castle Rock Yellow water pressure zone.
- Hydraulic modeling was not completed with the SDP submittal and utility sizes are subject to change.



PROJECT BENCHMARK
ELEVATIONS ARE BASED ON NGS POINT D-23, ELEVATION 5984.83 FEET NAVD 88.

BASIS OF BEARINGS
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**RED HAWK CROSSINGS
SITE DEVELOPMENT PLAN**
LOTS 201 AND 202, BLOCK 1,
RED HAWK FILING NO.1, LOT 1,
BLOCK 8 - 4TH AMENDMENT



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**OVERALL UTILITY PLAN
RED HAWK CROSSINGS
RED HAWK CROSSING, LLC
TOWN OF CASTLE ROCK, COLORADO**

Prepared Under the Direction Of:

Revisions:
1 REV PER TOCK COMMENTS 6-1-13
2 REV PER TOCK COMMENTS 7-9-13

Project Number: 13003
Drawn By: RCE
Checked By: EPT
5-1-13

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