

PLAT IDENTIFICATION SHEET

RECEPTION #: DC01002892

DATE: 1-12-01

TIME 11:24

FEE: \$ 70⁰⁰ (7 P)

GRANTOR: My Way Development Corp.
(OWNER/SIGNER)

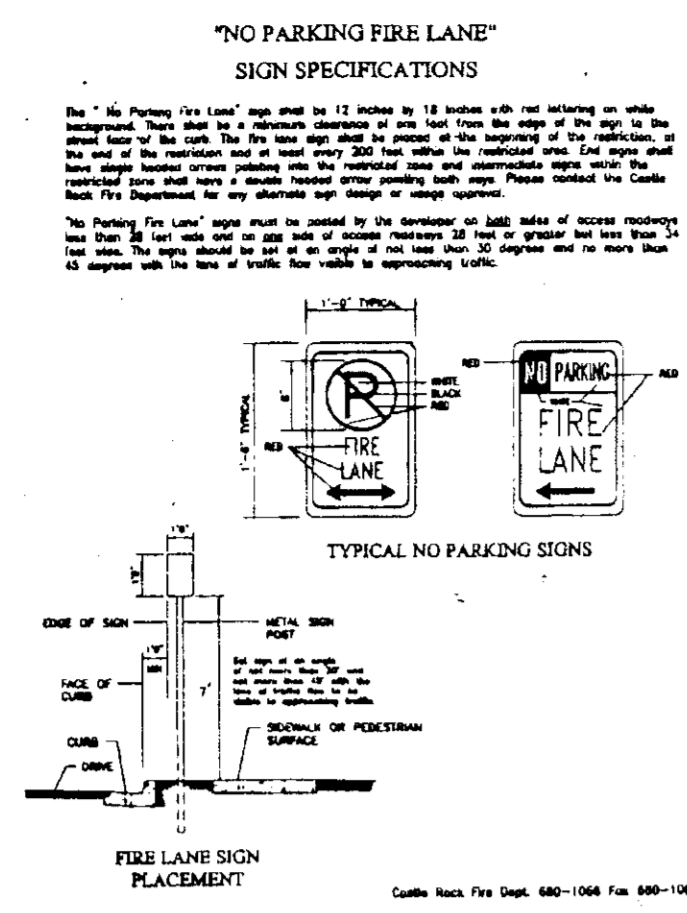
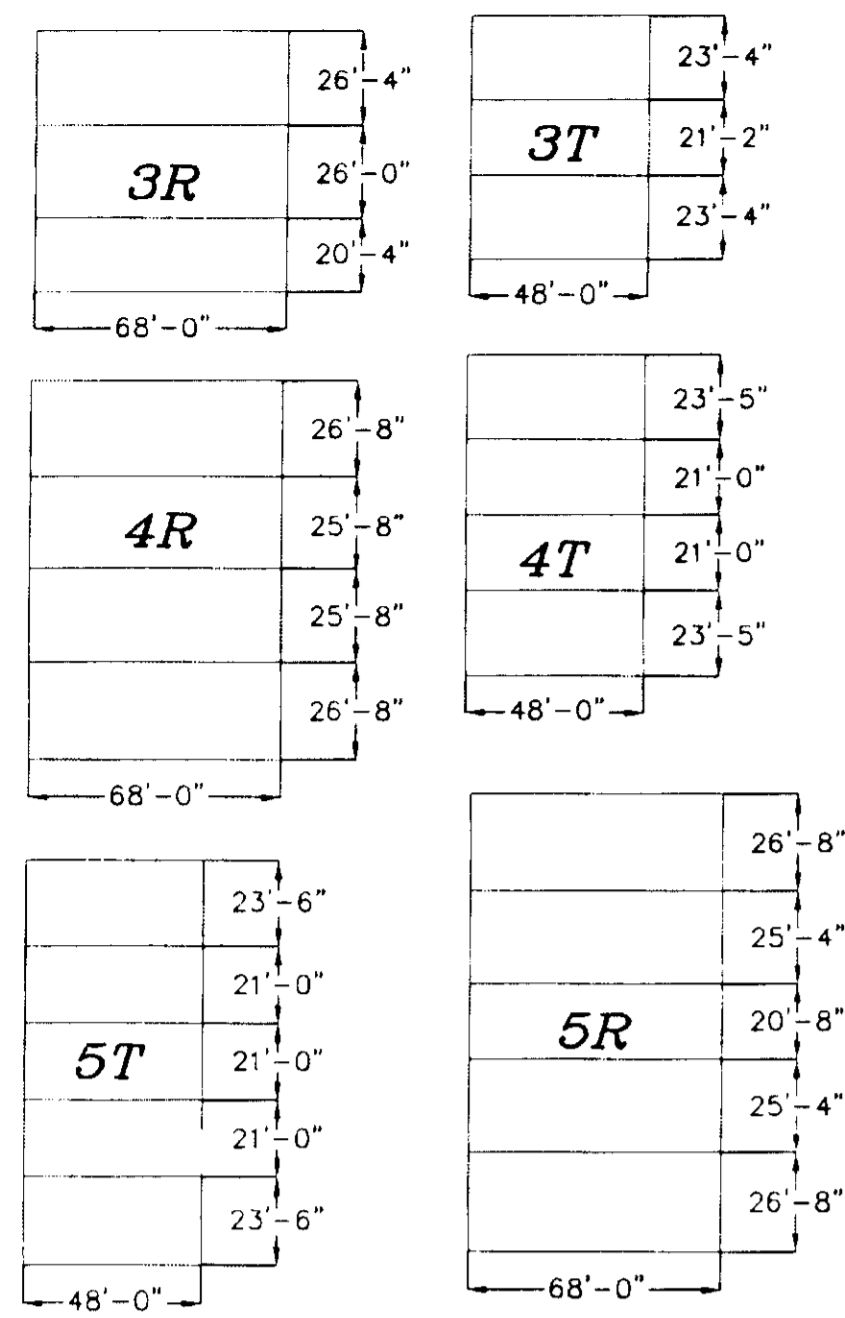
GRANTEE: Red Hawk #1
(SUBDIVISION NAME OR NAME OF PLAT)
Preliminary Plat/Final
PD Site Plan for Lot 1
Block 8
3, 8, 67

LEGAL:
(SECTION-TOWNSHIP-RANGE)

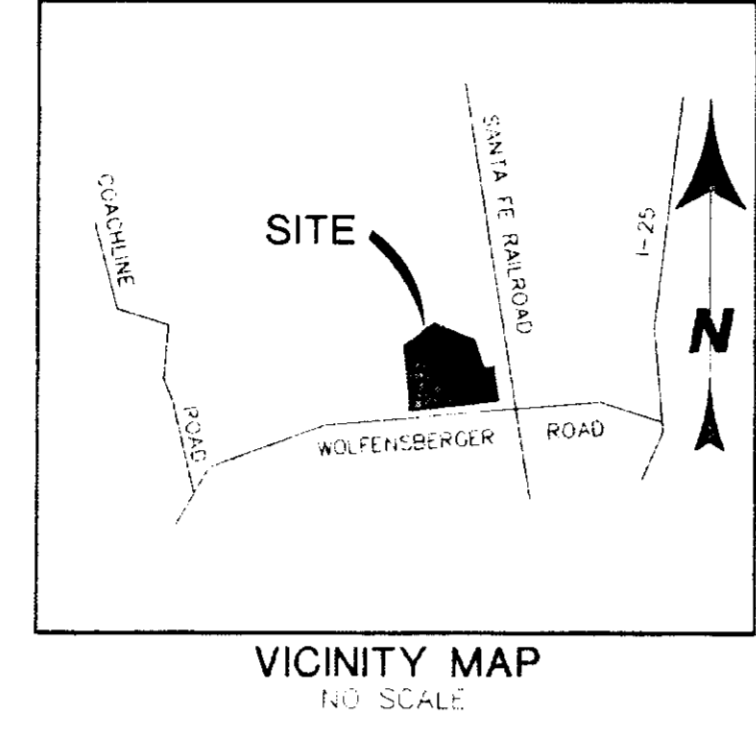
NEW SUBDIVISION ABBREV: _____

PRELIMINARY PLAT/FINAL PD SITE PLAN FOR RED HAWK FILING NO. 1, LOT 1, BLOCK 8

A PART OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



FIRE DEPARTMENT SIGN REQUIREMENTS

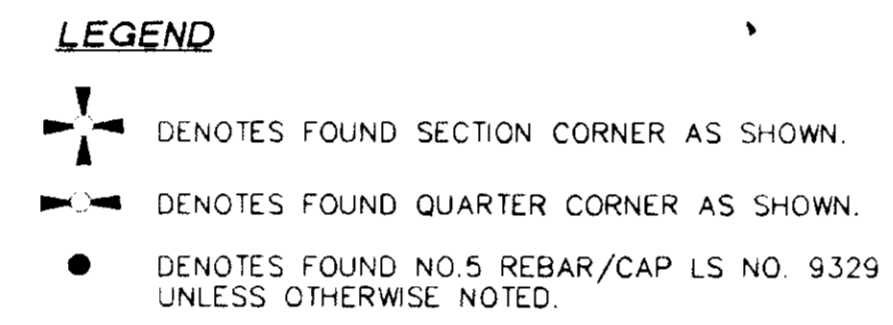


CONTACT INFORMATION
OWNER/DEVELOPER
 MY WAY DEVELOPMENT CORP.
 14 INVERNESS DRIVE EAST, SUITE G-136
 ENGLEWOOD, CO 80110
ENGINEER/SURVEYOR
 ROCKY MOUNTAIN CONSULTANTS, INC.
 8301 E. PRENTICE AVE., SUITE 101
 ENGLEWOOD, CO 80111
ARCHITECT
 ARLO BRAUN & ASSOC.
 1058 DELAWARE STREET
 DENVER, CO 80204
LANDSCAPE ARCHITECT
 BLUE SAGE
 1730 GAYLORD STREET
 DENVER, CO 80206
PLANNER
 WILLIAM L. ELKJER A.I.A.
 2233 IVY STREET
 DENVER, CO 80207

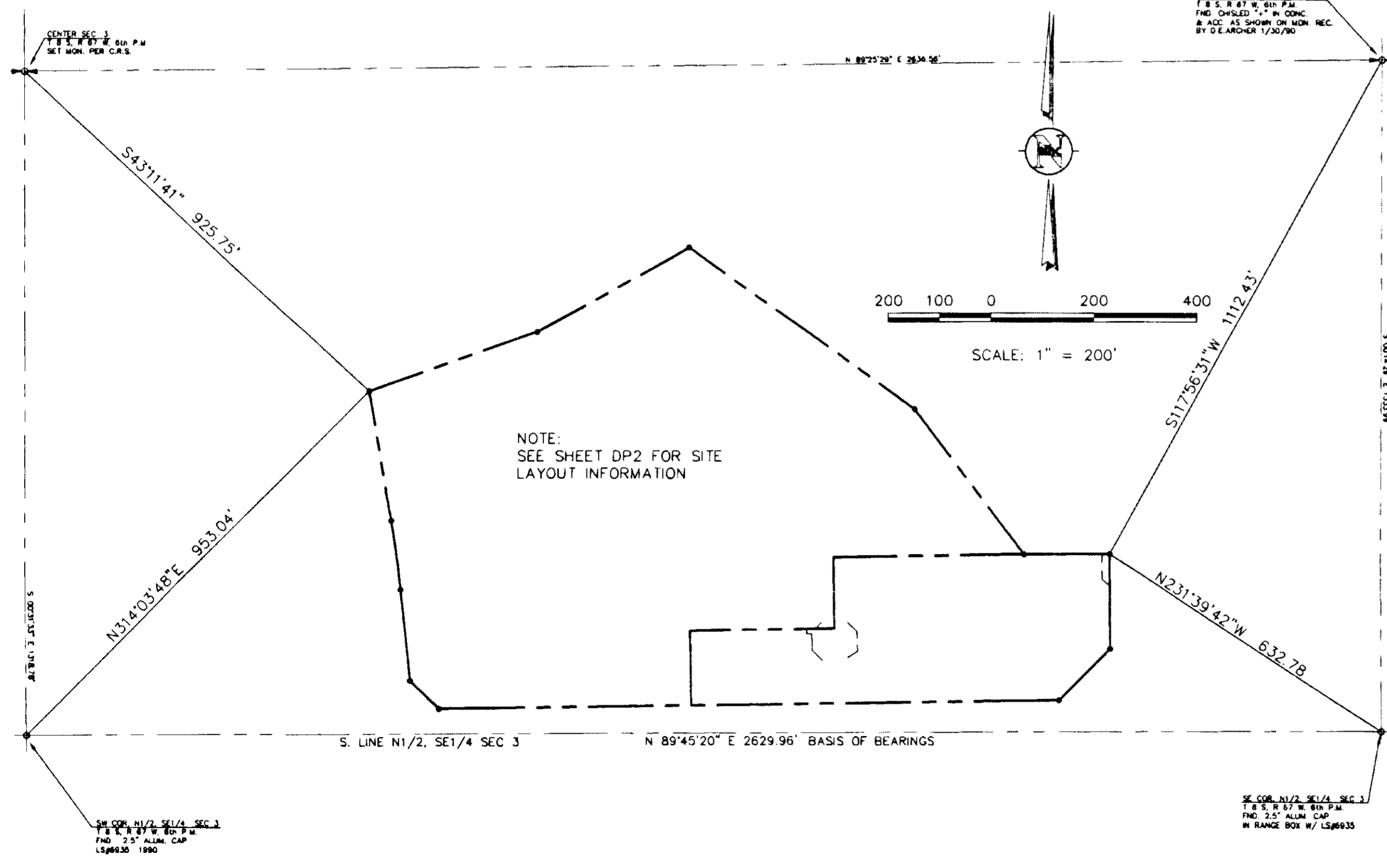
TYPICAL LOT DIMENSIONS

BUILDING BREAKDOWN	PARKING BREAKDOWN
9 TYPE 5T - 45 UNITS	REQUIRED PARKING 200 UNITS @ 2/UNIT = 400 SPACES
18 TYPE 4T - 72 UNITS	INTERNAL SPACES (GARAGE) 200 x 2 = 400 SPACES
4 TYPE 3T - 12 UNITS	PERPENDICULAR SPACES = 46 SPACES
7 TYPE 5R - 35 UNITS	PARALLEL SPACES = 24 SPACES
3 TYPE 4R - 12 UNITS	TOTAL SPACES AVAILABLE = 470 SPACES
8 TYPE 3R - 24 UNITS	HANDICAPPED SPACES (12) 12/(46+24) = 17.1%

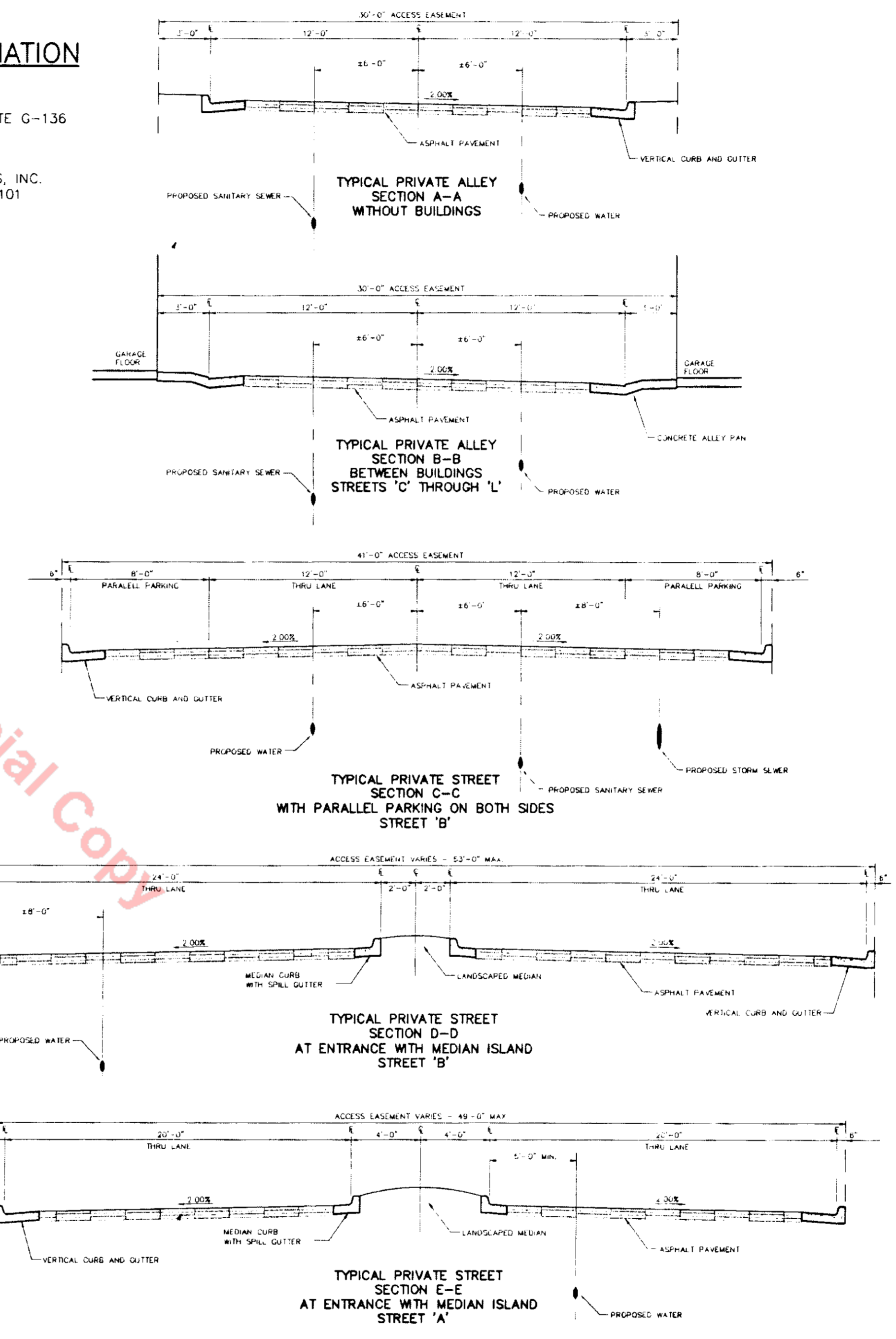
AREA BREAKDOWN	
TOTAL LOT 1, BLOCK 8	20.655 ACRES (899,747.10 SQUARE FEET)
FUTURE COMMERCIAL	4.402 ACRES (191,748.66 SQUARE FEET)
NET RESIDENTIAL AREA	16.253 ACRES (707,998.44 SQUARE FEET)
200 RESIDENTIAL LOTS (36.4%)	5.914 ACRES (257,598.32 SQUARE FEET)
PRIVATE OPEN SPACE (39.5%)	6.427 ACRES (279,969.07 SQUARE FEET)
PRIVATE STREETS & ALLEYS (24.1%)	3.912 ACRES (170,431.05 SQUARE FEET)



Unofficial Copy



- 1 OF 7 COVER
- 2 OF 7 PRELIMINARY PLAT
- 3 OF 7 OVERLOT GRADING PLAN
- 4 OF 7 OVERALL LANDSCAPE PLAN
- 5 OF 7 DETAILED LANDSCAPE PLAN
- 6 OF 7 BUILDING ELEVATIONS
- 7 OF 7 BUILDING ELEVATIONS



ORIGIN BENCHMARK
 USC AND GS 3" BRASS CAP Q337 1.3 MILES NORTH OF CASTLE ROCK TRAIN STATION 6 FEET WEST OF WEST RAIL SET AT TOP WEST END OF NORTH ABUTMENT OF BRIDGE NO. 31.20
 ELEVATION = 6149.90 (USC AND GS DATUM)

PROJECT BENCHMARK
 CHISLED SQUARE IN TOP OF CURB, 7 FEET EAST END OF CURB, NORTH SIDE OF WOLFENBERGER ROAD; APPROXIMATE 100 FEET EAST OF INTERSECTION OF WOLFENBERGER ROAD AND SANTA FE DRIVE.
 ELEVATION = 6184.19 (USC AND GS DATUM)
 (RMC FB NO. 391046)

DESIGNED BY:	REVISIONS																
ROCKY MOUNTAIN CONSULTANTS, INC. CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING 8301 E. PRENTICE AVE. SUITE 101 ENGLEWOOD, CO 80111 (303) 741-6000	<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>TOWN COMMENTS</td> <td>6/8/00</td> <td>TLK</td> </tr> <tr> <td>2</td> <td>TOWN COMMENTS</td> <td>8/4/00</td> <td>TLK</td> </tr> <tr> <td>3</td> <td>FUTURE ENT.</td> <td>9/2/00</td> <td>TLK</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	1	TOWN COMMENTS	6/8/00	TLK	2	TOWN COMMENTS	8/4/00	TLK	3	FUTURE ENT.	9/2/00	TLK
NO.	DESCRIPTION	DATE	BY														
1	TOWN COMMENTS	6/8/00	TLK														
2	TOWN COMMENTS	8/4/00	TLK														
3	FUTURE ENT.	9/2/00	TLK														

TITLE CERTIFICATION
 I, Brenda Kidd, AN AUTHORIZED REPRESENTATIVE OF Stewart Title of Denver, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LEIHHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LEIHHOLDER SUBORDINATION CERTIFICATE.
 SIGNED THIS 26th DAY OF September, 2000 (year).
Brenda Kidd
 AUTHORIZED REPRESENTATIVE
Stewart Title of Denver
 TITLE INSURANCE COMPANY

THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF September, 2000, BY Brenda Kidd WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC: Patricia A. Reid
 MY COMMISSION EXPIRES: 5-8-03

LEGAL DESCRIPTION
 LOT 1, BLOCK 8, RED HAWK FILING NO. 1, A PART OF RED HAWK FILING NO. 1, A SUBDIVISION PLAT RECORDED AT RECEPTION NUMBER 9750684 IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, CONTAINING 20.655 ACRES (899,747 SQUARE FEET)

SURVEYOR'S STATEMENT
 I, Duwayne M. Phillips, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT THE GRAPHIC BOUNDARY DEPICTED ON THIS Preliminary Plat IS A TRUE AND ACCURATE REPRESENTATION OF THE OFFICIALLY RECORDED LEGAL DESCRIPTION. FURTHERMORE, I DO HEREBY ATTEST THAT THIS Preliminary Plat IS IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK AND STATE OF COLORADO LAND SUBDIVISION REGULATIONS.
 DUWAYNE M. PHILLIPS, PLS 93298 DATE _____

CIVIL ENGINEER'S STATEMENT
 I, Vera B. Stepanek, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS Preliminary Plat HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWNSHIP OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
 VERA B. STEPANEK, PE 26809 DATE _____

OWNERSHIP CERTIFICATION
 THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS RED HAWK FILING NO. 1, LOT 1, BLOCK 8 SUBDIVISION IN THE TOWN OF CASTLE ROCK, COLORADO.
 OWNER: MY WAY DEVELOPMENT CORP.
 SIGNED THIS 26th DAY OF September, 2000 (year).
 THE FOREGOING OWNERSHIP CERTIFICATION WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF September, 2000, BY _____ WITNESS MY HAND AND OFFICIAL SEAL.
 NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: 5-8-03

PLANNING COMMISSION RECOMMENDATION
 THIS PRELIMINARY PLAT/FINAL PD SITE PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF September, 2000.
 CHAIRMAN _____ DATE _____
 ATTEST: _____
 PLANNING AND DEVELOPMENT DIRECTOR _____ DATE _____

TOWN COUNCIL APPROVAL
 THIS PRELIMINARY PLAT/FINAL PD SITE PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF September, 2000.
 MAYOR _____ DATE _____
 ATTEST: _____
 TOWN CLERK _____ DATE _____

CLERK & RECORDER'S CERTIFICATE
 STATE OF COLORADO)
 COUNTY OF DOUGLAS) SS
 I HEREBY CERTIFY THAT THIS PRELIMINARY PLAT/FINAL PD SITE PLAN WAS FILED IN MY OFFICE ON THIS 26th DAY OF September, 2000 A.D. AT 9:00 O'CLOCK A.M./P.M. AND WAS RECORDED AT RECEPTION NUMBER 9750684.
 COUNTY CLERK AND RECORDER _____

NOTE:
 THIS PRELIMINARY PLAT / FINAL PD SITE PLAN SUBMITTAL IS ALSO A SUBMITTAL FOR USE BY SPECIAL REVIEW.

RED HAWK FILING NO.1
REC. NO. 9750684
TRACT "A"

ZONED PLD-3

LEGEND

- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER MAIN
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT W/THRUST BLOCK
- PROPOSED GATE VALVE
- PROPOSED PRV
- PROPOSED WATER METER
(NOTE: ALL 3 UNIT BLDGS WILL HAVE A 1" WATER METER AND ALL 4 & 5 UNIT BLDGS WILL HAVE A 1-1/2" WATER METER - IRRIGATION W/BACKFLOW DEVICE SHALL BE PROVIDED AS NECESSARY)
- PROPOSED 4" SANITARY SEWER SERVICE
- ANTIQUE STREET LAMPS -
(1) 100W HPS 110 WATTS SINGLE HEAD POST
TOP LUMINAIRE ON 14 FT. ROUND POLE
- 36" DELINEATOR POST
- DIMENSION TO FINAL FOUNDATION

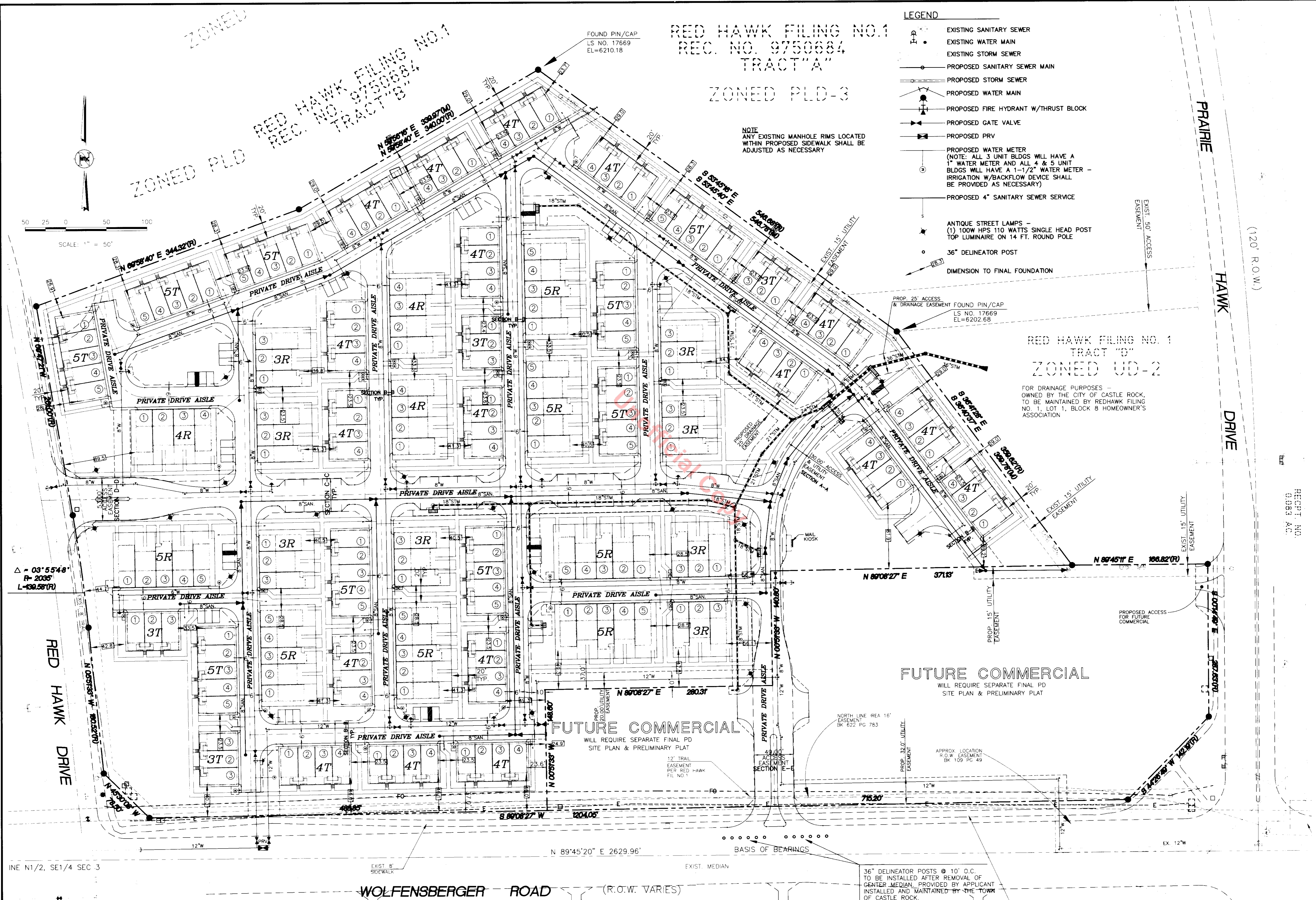
NOTE
ANY EXISTING MANHOLE RIMS LOCATED
WITHIN PROPOSED SIDEWALK SHALL BE
ADJUSTED AS NECESSARY

RED HAWK FILING NO. 1
TRACT "B"
ZONED UD-2

FOR DRAINAGE PURPOSES -
OWNED BY THE CITY OF CASTLE ROCK,
TO BE MAINTAINED BY REDHAWK FILING
NO. 1, LOT 1, BLOCK 8 HOMEOWNER'S
ASSOCIATION

FUTURE COMMERCIAL
WILL REQUIRE SEPARATE FINAL PD
SITE PLAN & PRELIMINARY PLAT

FUTURE COMMERCIAL
WILL REQUIRE SEPARATE FINAL PD
SITE PLAN & PRELIMINARY PLAT



RMC
ROCKY MOUNTAIN CONSULTANTS, INC.
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING
8301 E. Prentice Ave.
Suite 1110
Englewood, CO 80150
Phone: (303) 741-6000
Fax: (303) 741-8106

NO.	REVISIONS	DATE	BY
1	REVISIONS	6/22/04	WFM
2	REVISIONS	7/11/04	WFM
3	REVISIONS	9/6/00	WFM

REVISIONS

DATE: MAY 2000
DESIGNED BY: RMC
DRAWN BY: RMC
CHECKED BY: WFM

JOB NO.
5834.007.00

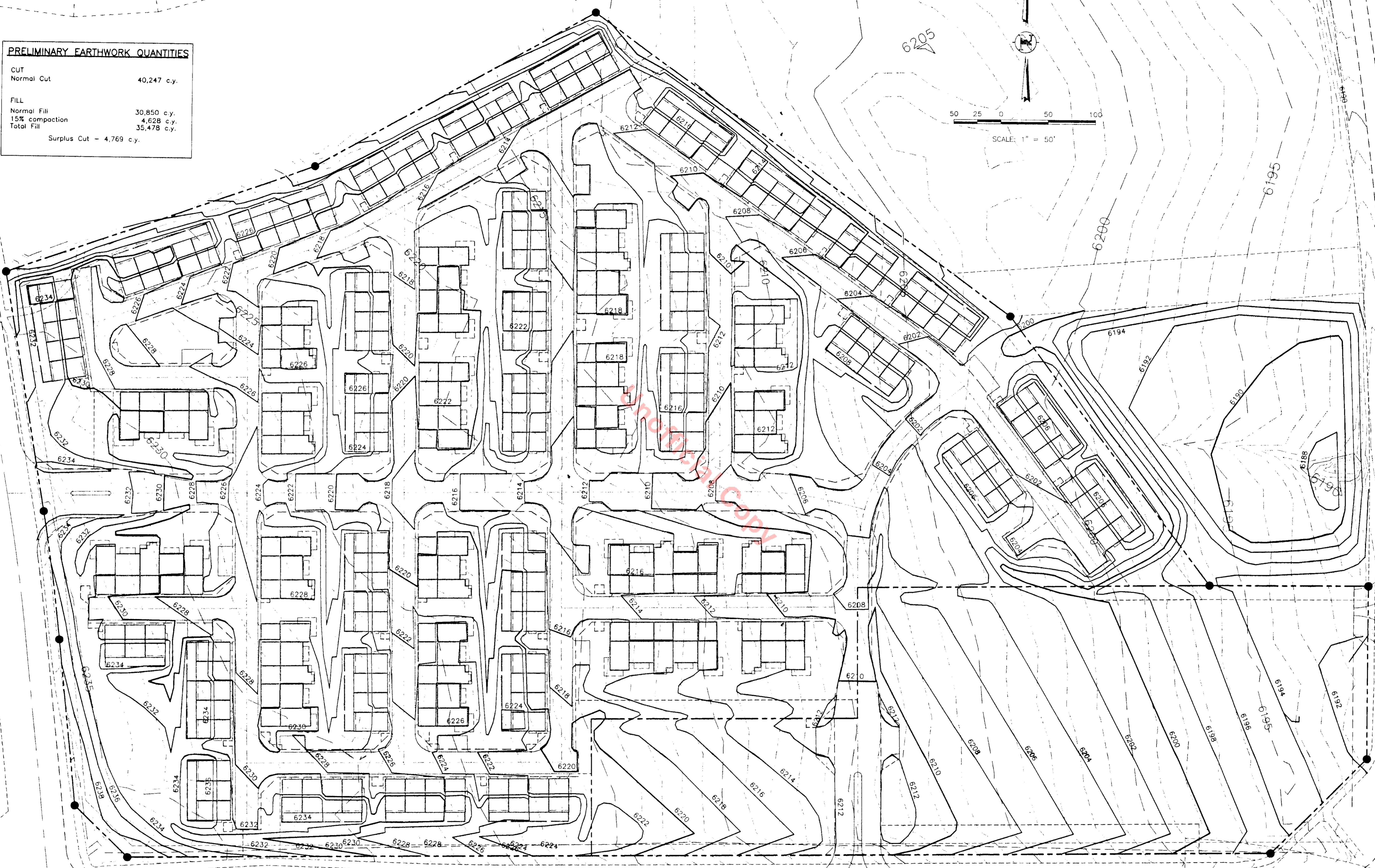
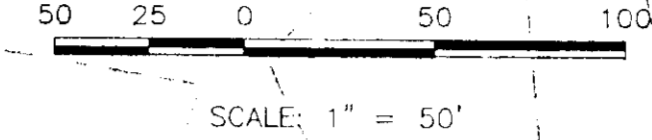
SHEET
2 OF 7

RED HAWK FILING NO. 1, LOT 1, BLOCK 8
FDP/PRELIMINARY PLAT
SITE PLAN

RECEIPT NO.
0.083 AC.

PRELIMINARY EARTHWORK QUANTITIES

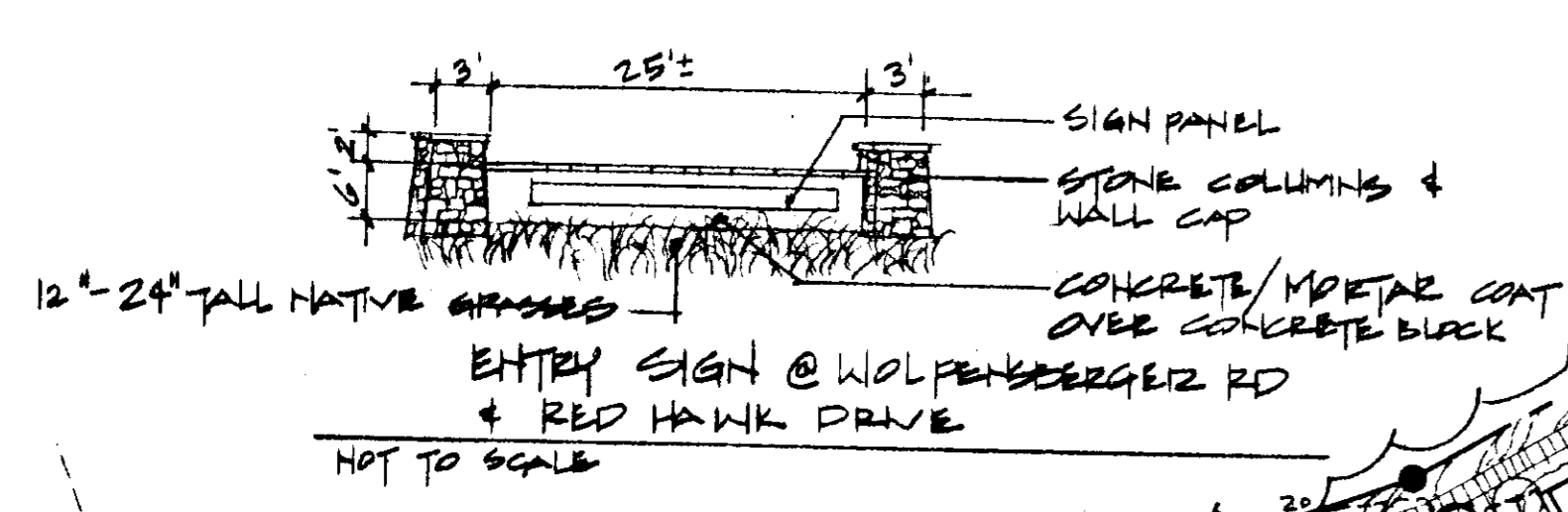
CUT	
Normal Cut	40,247 c.y.
FILL	
Normal Fill	30,850 c.y.
15% compaction	4,628 c.y.
Total Fill	35,478 c.y.
Surplus Cut = 4,769 c.y.	



NO.	REVISIONS	DATE	BY
1	REVISIONS	6/22/00	ILK
2	REVISIONS	8/4/00	ILK
3	FINAL PLAN	9/2/00	ILK

**RED HAWK FILING NO. 1, LOT 1, BLOCK 8
 (FDP/PRELIMINARY PLAN)
 PRELIMINARY GRADING PLAN**

VIEW SCRIPT

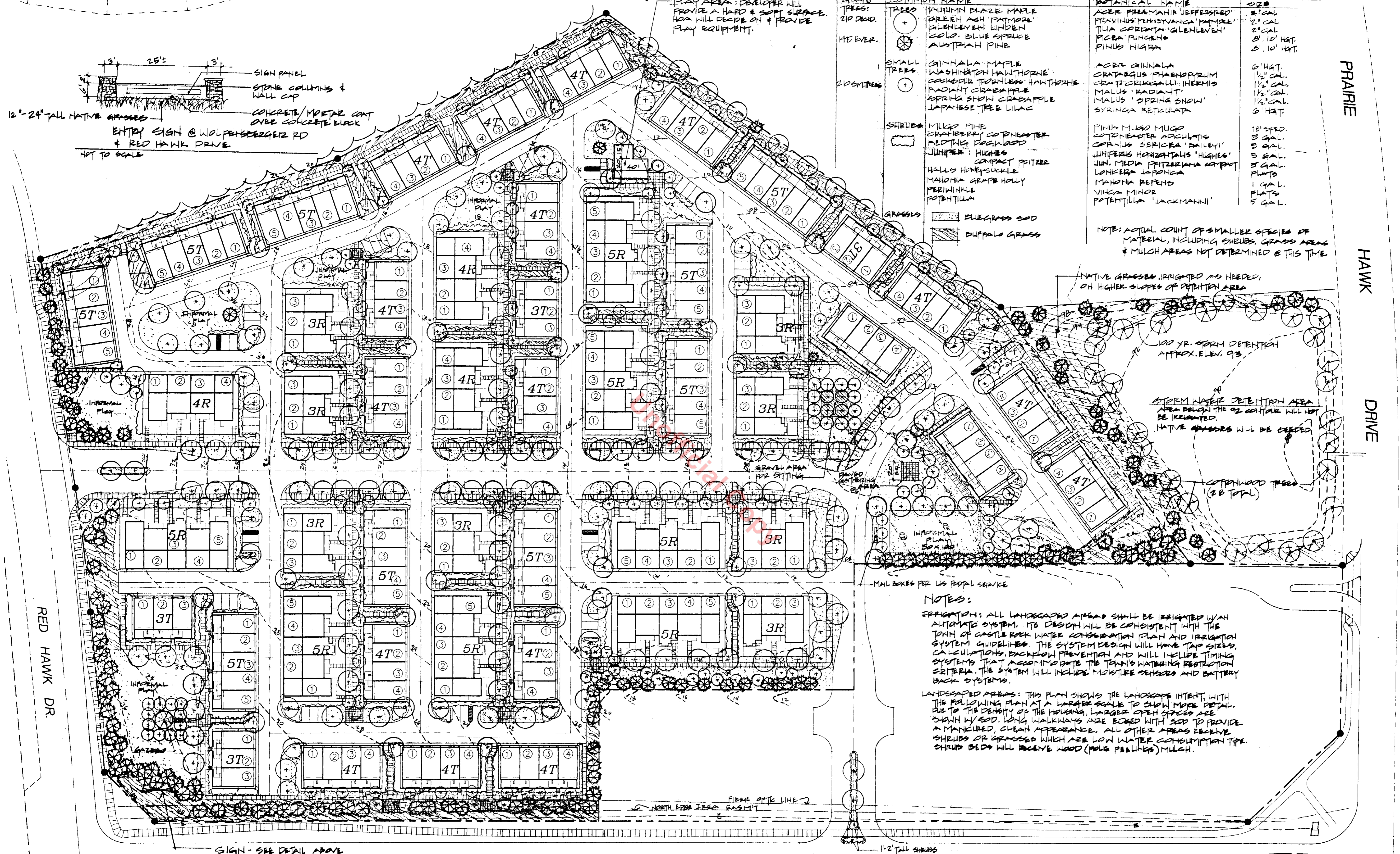


PLAY AREA: DEVELOPER WILL PROVIDE A HARD & SOFT SURFACE. HOA WILL DECIDE ON & PROVIDE PLAY EQUIPMENT.

PLANT LIST OF TYPICAL MATERIAL

QUANT.	COMMON NAME	POTENTIAL NAME	SIZE
210 EACH	RED CEDAR	ACER FREEMANII 'JEFFERSON'	2 1/2" GAL
45 EVER.	SMALL TREES	PRAXINUS PENNSYLVANICA 'PATMORE'	2 1/2" GAL
		TILIA CORDATA 'GLENLEVEN'	2 1/2" GAL
		PICEA PLICATA	2 1/2" GAL
		PINUS NIGRA	2 1/2" GAL
		ACER SINNATA	2 1/2" GAL
		CRATAEGUS PHAENOPYRUM	2 1/2" GAL
		CRAT. CRUGGALLI 'INERMIS'	2 1/2" GAL
		MALUS 'RADIANT'	2 1/2" GAL
		MALUS 'SPRING SNOW'	2 1/2" GAL
		SYRINGA RETICULATA	2 1/2" GAL
		PINUS MUGO MUGO	18" SPED.
		COTONEASTER ACUTATUS	5 GAL.
		CORNUS SERICEA 'SAILEY'	5 GAL.
		JUNIPERUS HORIZONTALIS 'HUGHES'	5 GAL.
		JUN. MEDIA 'PITZERIANA COMPACT'	5 GAL.
		LOEBNERA JAPONICA	PLANTS
		MAHONIA REPENS	1 GAL.
		VINCA MINOR	PLANTS
		POTENTILLA 'LACKMANNI'	5 GAL.

NOTE: ACTUAL COUNT OF SMALLER SPECIES OF MATERIAL, INCLUDING SHELLS, GRASS AREAS & MULCH AREAS NOT DETERMINED AT THIS TIME



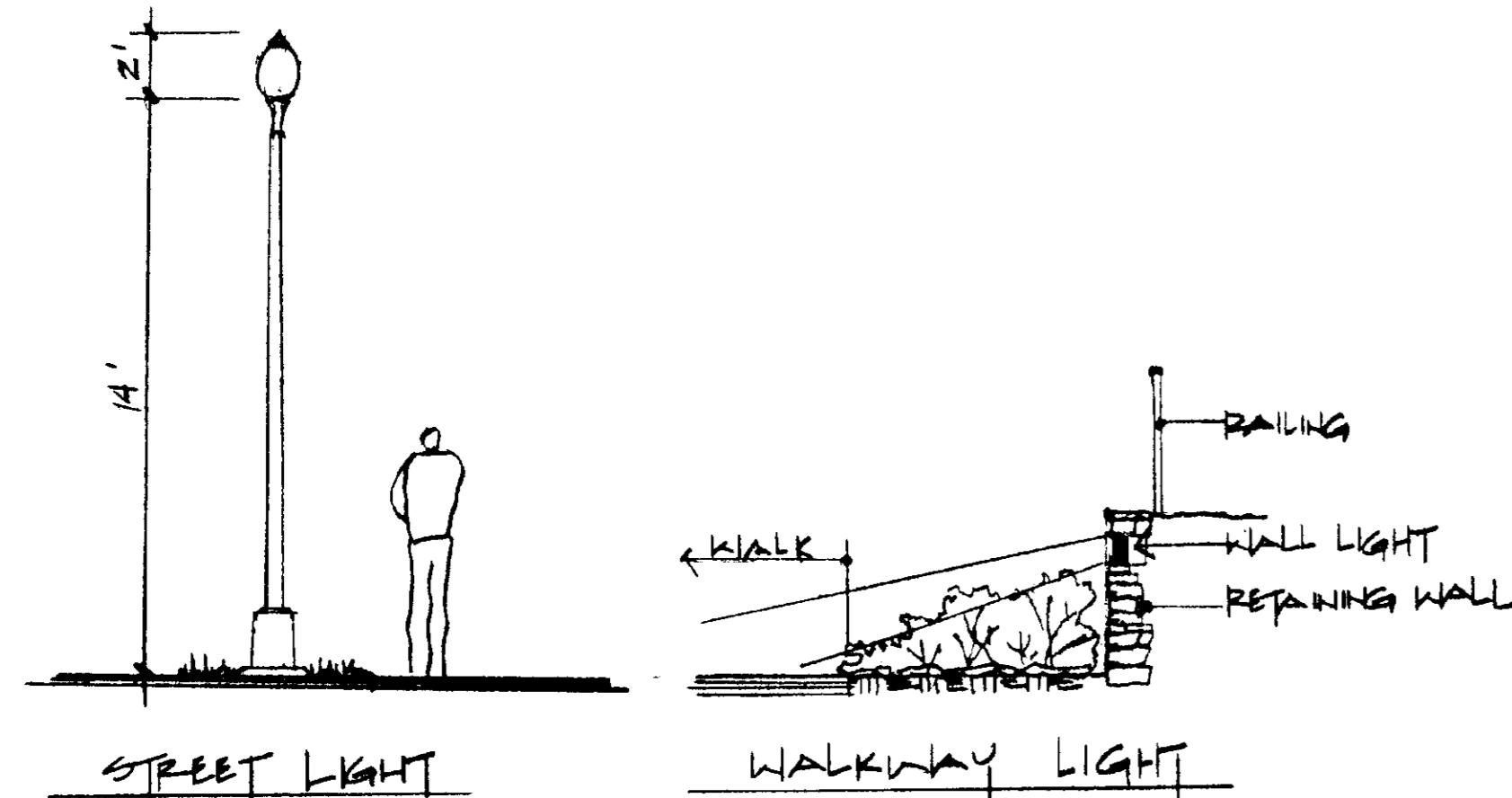
NOTES:
 IRRIGATION: ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC SYSTEM. ITS DESIGN WILL BE CONSISTENT WITH THE TOWN OF CASTLE ROCK WATER CONSERVATION PLAN AND IRRIGATION SYSTEM GUIDELINES. THE SYSTEM DESIGN WILL HAVE TAP SIZES, CALCULATIONS, BACKFLOW PREVENTION AND WILL INCLUDE TIMING SYSTEMS THAT ACCORDING DATE THE TOWN'S WATERING RESTRICTION CRITERIA. THE SYSTEM WILL INCLUDE MOISTURE SENSORS AND BATTERY BACK SYSTEMS.
 LANDSCAPED AREAS: THIS PLAN SHOWS THE LANDSCAPE INTENT WITH THE FOLLOWING PLAN AT A LARGER SCALE TO SHOW MORE DETAIL. DUE TO THE DENSITY OF THE HOLDINGS, LARGER OPEN SPACES ARE SHOWN BY SOD. LONG WALKWAYS ARE BORED WITH SOD TO PROVIDE A MANICURED, CLEAN APPEARANCE. ALL OTHER AREAS RECEIVE SHRUBS OR GRASSES WHICH ARE LOW WATER CONSUMPTION TYPE. SHRUB BEDS WILL RECEIVE WOOD (POLE PILING) MULCH.

BLUE SAGE LANDSCAPE ARCHITECTURE



SCALE: 1" = 50'

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMIT	12/22/00	JK
2	REVISED	1/10/01	JK

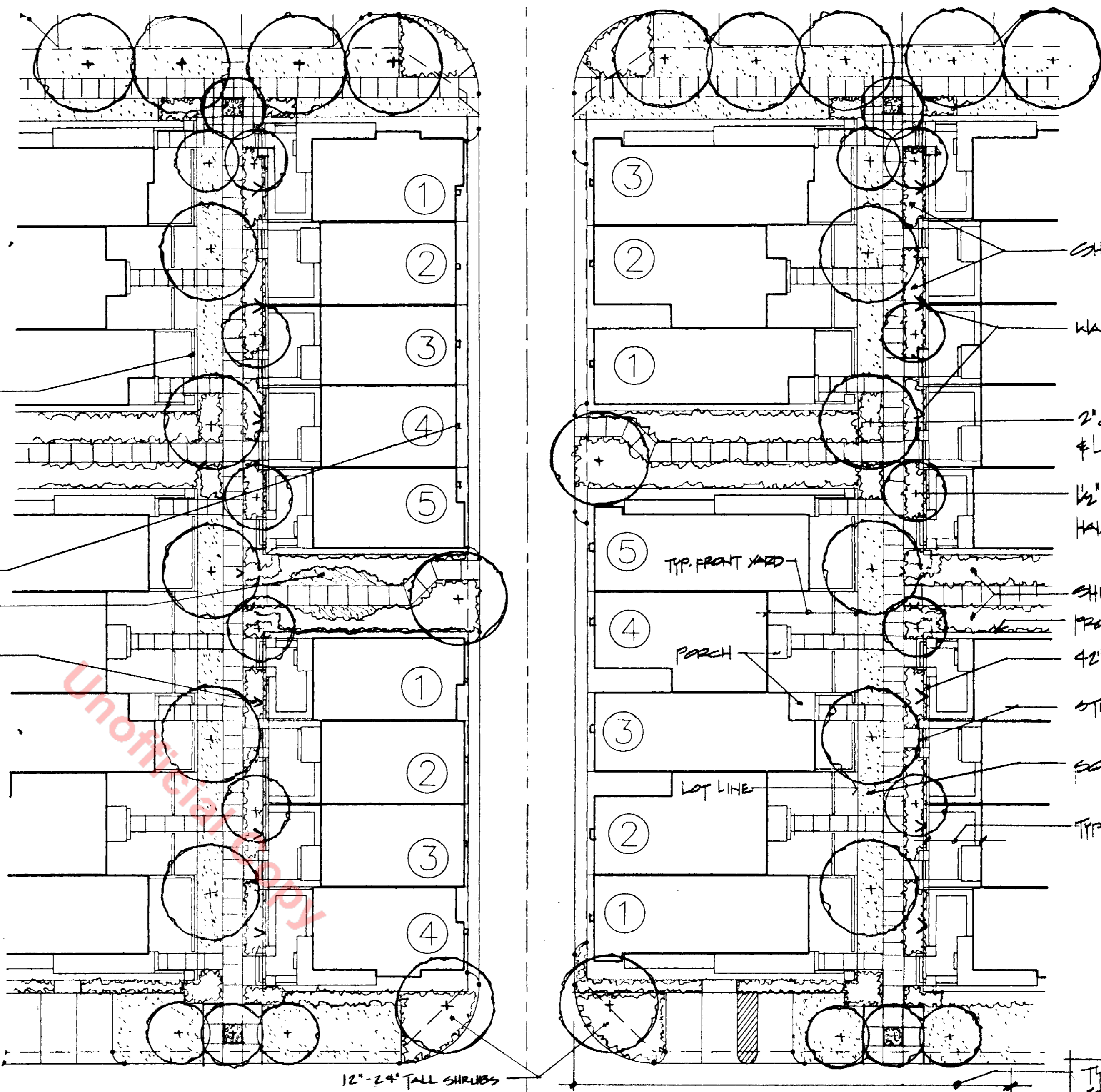


FRONT YARD FENCE:
APPROX. 42" HGT.; SEE
THRU TYPE

SURFACE MOUNTED LIGHTS
OVER GARAGES

LOW WATER GRASSES

LIGHTS MOUNTED IN
RETAINING WALL



SHRUBS 2'-3' HGT.

WALL LIGHTS IN RETAINING WALL

2' CAL. TREES: GREEN ASH
& LINDEN

1/2' CAL. FLOWERING TREE:
HAWTHORNE & CRABAPPLE

SHRUBS 1'-4' HGT.

PROPERTY LINE

42" RETAINING WALL

STEPS

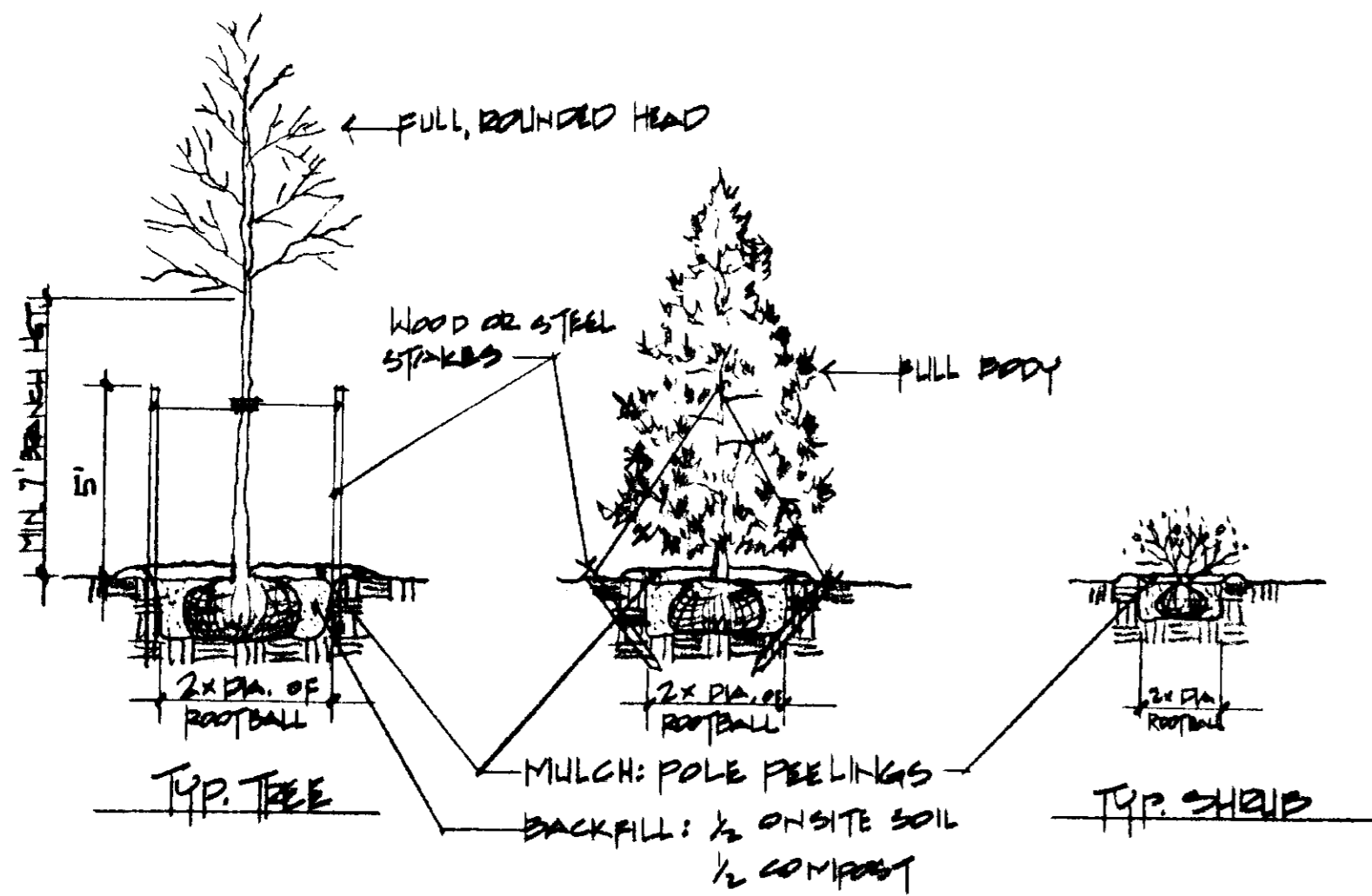
SOD

TYP. FRONT YARD

PORCH

LOT LINE

12"-24" TALL SHRUBS



TYP. PLANTING DETAILS
NOT TO SCALE

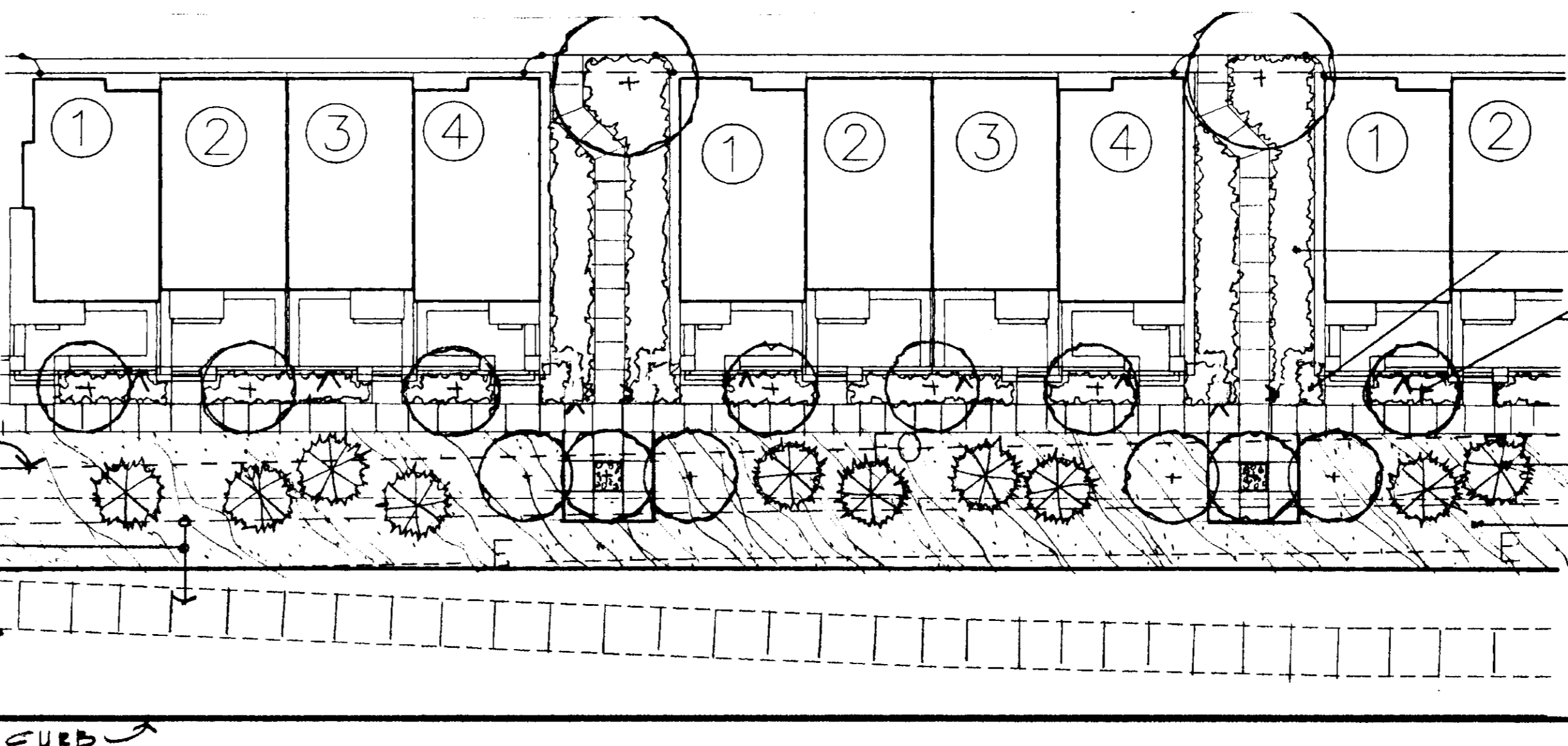
NOTE: ON-SITE TREE, WHERE AVAILABLE,
WILL BE STRIPPED & STOCKPILED FOR USE
IN LANDSCAPED AREAS.

TYPICAL AREA EXTENDING TO THE
STREET ON THE NORTH, FOR
CALCULATING SOD RATIO:

SOD AREA: 4000 SF (60%)

OTHER AREAS (LOW
WATER LANDSCAPE: 2600 SF (40%)

AREA DOES NOT INCLUDE WALKS OR
PRIVATE YARDS.



BLUE SAGE
LANDSCAPE ARCHITECTURE



SCALE: 1" = 20'

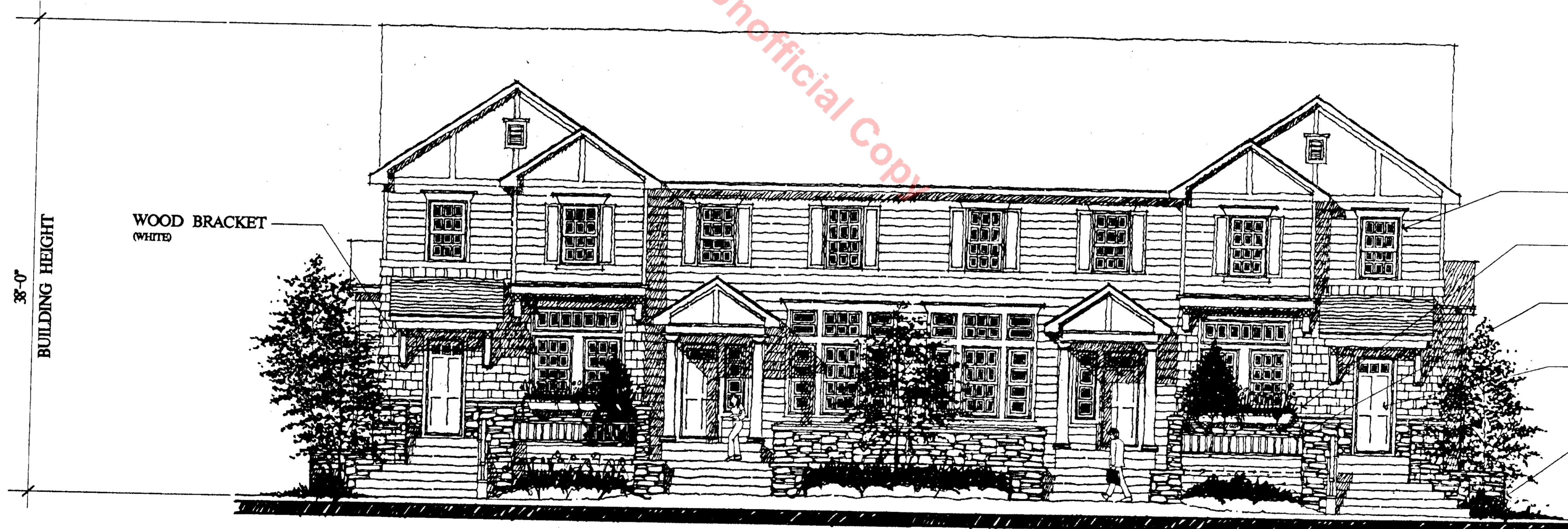
WOLFENSBERGER ROAD

DATE BY	9/00
NO.	1
REVISIONS	



- COMPOSITION ROOFING
(HUNTER GREEN)
- HARDBOARD SIDING
(GOLDEN BLOND)
- SHUTTERS
(RAVENWOOD BROWN)
- COLUMN

BUILDING TYPE I/ FRONT ELEVATION
3/16" = 1'-0"



WOOD BRACKET
(WHITE)

- WOOD TRIM
(WHITE)
- PLANTER BOX
(RAVENWOOD BROWN)
- METAL RAIL
(RAVENWOOD BROWN)
- METAL ENTRY DOOR
(RAVENWOOD BROWN)
- SYNTHETIC STONE
(CARMEL, DRY STACK LEDGESTONE)

BUILDING TYPE II/ FRONT ELEVATION
3/16" = 1'-0"



BUILDING TYPE II

FRONT YARDS/ PEDESTRIAN WAY

BUILDING TYPE I

TYPICAL END UNIT ELEVATIONS
3/16" = 1'-0"

MY WAY DEVELOPMENT CORPORATION
REVISED 07.18.00

REDHAWK ATTACHED HOMES
CASTLE ROCK, COLORADO

7/7
ARLO BRAUN & ASSOCIATES
ARCHITECTURE AND PLANNING
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