

2009028422 10 PGS

2009028422
04/22/2009 01:54 PM

PLAT IDENTIFICATION SHEET

Delsouz, Ardeshtik & Sylvia
Grantor (owner)

Grantor (owner)

Q Petroleum Final PD Site Plan 2nd Amendment
Grantee (name of plat or condo)

Grantee (name of plat or condo)

Subdivision Info: Filing Willow Addition Lot 14-18 Block 9

Condo Info: Phase _____ Bldg _____ Unit _____

Section _____ Township _____ Range _____

Cross Reference numbers: (reception #s or book and page)

2008070722

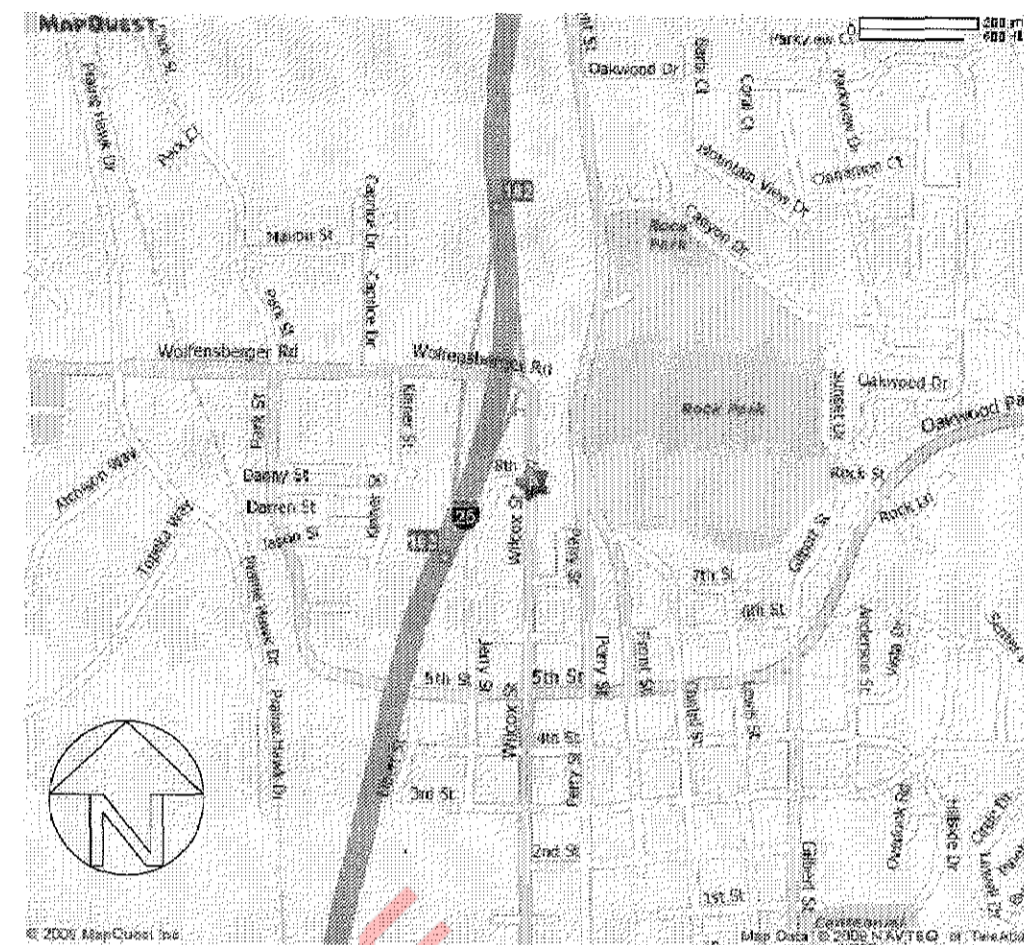
Notes

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
- Pursuant to Section 17.62.080 of the Town of Castle Rock Municipal Code, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be the same type of plant material as set forth in the approved Final PD Site Plan; for example, a tree must replace a tree, a shrub must replace a shrub, ground cover must replace ground cover, etc. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- There are no known FEMA regulated floodplains and/ or wetlands on the site.
- Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock 'Water Use Management Program Implementation Policy', as amended from time to time, for this project.
- Approval of the Final PD Site Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Plan.
- All signage must conform to the sign area and sign elevations described in this PD. A separate sign permit is required before placing any signage on the site or building.

Q. PETROLEUM FINAL PD SITE PLAN

2ND AMENDMENT

MARCH 6, 2009



VICINITY MAP SCALE 1"=200'

LEGAL DESCRIPTION

LOTS 14,15,16,17,18, BLOCK 9, WILCOX ADDITION TO THE TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

PREPARED BY:
GRINDLE, BENDER & ASSOCIATES, INC.
20576 E. SHEFIELD CT.
PARKER, CO 80138
720-879-4077
LOWELL BENDER

PROPERTY DATA

PROPERTY OWNER
ARDESHIR DELSOUZ
810 NORTH WILCOX STREET
CASTLE ROCK, CO 80104
720-530-5358

	BEFORE AMENDMENT		AFTER AMENDMENT	
	SQ. FT.	PERCENT	SQ. FT.	PERCENT
TOTAL SITE	20,838.50	100	20,838.50	
BUILDING	2,400	11.5	2,400	11.5
HARD SURFACE	13,361.76	64.1	13,989.97	67.1
LANDSCAPING	5,076.74	24.4	4,448.53	21.4
PARKING				
REGULAR SPACES	6		10	
HANDICAPPED SPACES	1		1	
TOTAL PARKING	7		11	

INDEX OF SHEETS

COVER SHEET	1 OF 7
SITE PLAN	2 OF 7
LANDSCAPE PLAN	3 OF 7
LANDSCAPE DETAILS & NOTES	4 OF 7
BUILDING EXTERIOR ELEVATIONS	5 OF 7
CANOPY ELEVATIONS	6 OF 7
SIGNAGE DETAILS AND ELEVATIONS	7 OF 7

OWNERSHIP CERTIFICATION

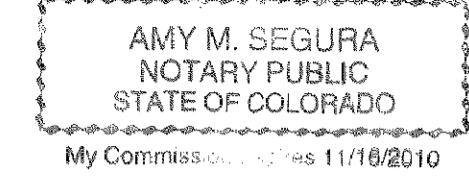
THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS HEREIN KNOWN AS THE LOTS 14 THROUGH 18, BLOCK 9, WILCOX ADDITION IN THE TOWN OF CASTLE ROCK.

Ardeahir Delsouz *Sylvia Delsouz*
ARDESHIR DELSOUZ SYLVIA DELSOUZ

SIGNED THIS 16 DAY OF April, 2009

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16 DAY OF April, 2009 BY ARDESHIR DELSOUZ AND SYLVIA DELSOUZ



WITNESS MY HAND AND OFFICIAL SEAL

Amy M. Segura
NOTARY PUBLIC
MY COMMISSION EXPIRES 11/16/2010

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOTS 14 THROUGH 18, BLOCK 9, WILCOX ADDITION IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON OCTOBER 20, 2008 AT RECEPTION NO. 2008070722 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

D.J. Tedesco
CASTLE ROCK BANK

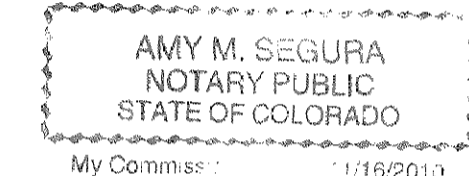
CASTLE ROCK BANK

SIGNED THIS 16th DAY OF April, 2009

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16 DAY OF April, 2009 BY

D.J. Tedesco
WITNESS MY HAND AND OFFICIAL SEAL
Amy M. Segura
NOTARY PUBLIC
MY COMMISSION EXPIRES 11/16/2010



TITLE CERTIFICATION

Laryce L. Nitsch AN AUTHORIZED REPRESENTATIVE OF *Land Title Guarantee Co A*

TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE

MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

Laryce L. Nitsch
AUTHORIZED REPRESENTATIVE

SIGNED THIS 16th DAY OF April, 2009

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16th DAY OF April, 2009 BY *Laryce L. Nitsch*

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC
MY COMMISSION EXPIRES 7/26/2010



TOWN CERTIFICATION

THIS FINAL PD SITE PLAN AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO ON THE 22nd DAY OF APRIL, 2009

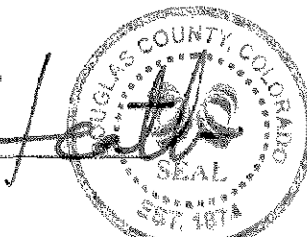
Lowell Bender 4/22/09
DIRECTOR OF DEVELOPMENT SERVICES DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:54 ON THE 22nd DAY OF April, 2009 AT RECEPTION NO. 2009028432

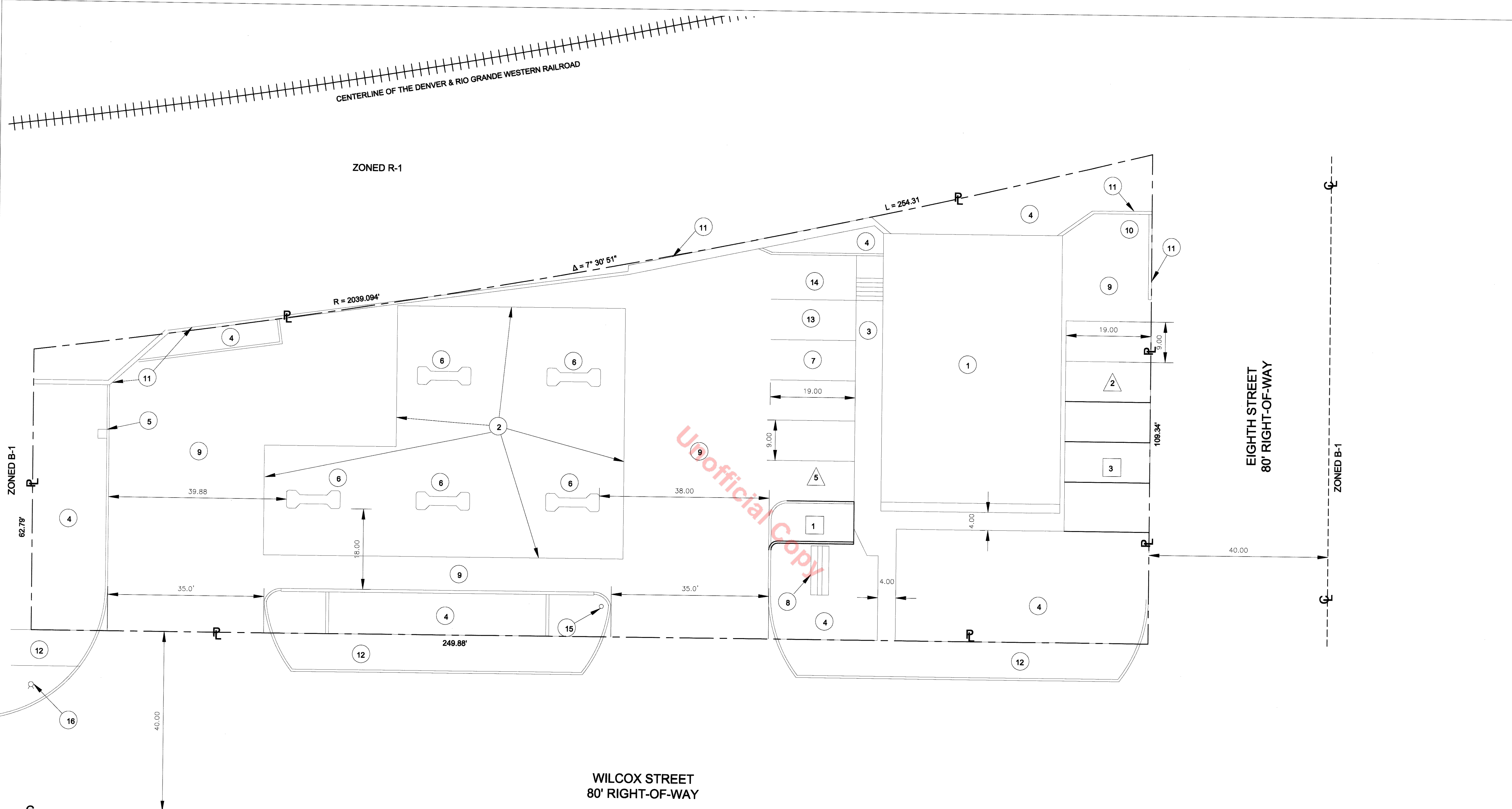
DOUGLAS COUNTY CLERK AND RECORDER

BY: *Shannon Heath*
DEPUTY



Q. PETROLEUM FINAL PD SITE PLAN 2ND AMENDMENT

MARCH 6, 2009
COVER SHEET
SHEET 1 OF 7

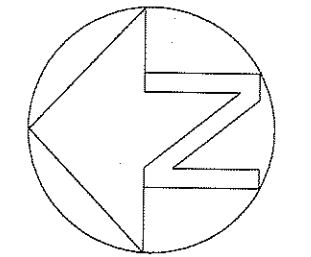


SCHEDULE:

- | | | |
|--|---|--------------------------|
| 1 EXISTING C-STORE 2,400 SQ. FT. | 8 EXISTING MONUMENT SIGN | 15 EXISTING 1" METER |
| 2 EXISTING CANOPY 3,578 SQ. FT. | 9 EXISTING CONCRETE DRIVING SURFACE | 16 EXISTING FIRE HYDRANT |
| 3 EXISTING 8' WIDE SIDEWALK | 10 EXISTING TRASH ENCLOSURE | |
| 4 EXISTING LANDSCAPE AREA | 11 EXISTING RETAINING WALL | |
| 5 EXISTING AIR STAND | 12 EXISTING 8' WIDE CONCRETE SIDEWALK | |
| 6 EXISTING MPD (TYP. 5) | 13 EXISTING HANDICAPPED PARKING SPACE (9' X 19') TYP. 1 | |
| 7 EXISTING PARKING SPACE 9' x 19" (TYP. 7) | 14 EXISTING HANDICAPPED UNLOADING SPACE 10' X 19' | |

LEGEND:

- 5 EXISTING PARKING SPACES
- 1 PROPOSED ADDITIONAL PARKING SPACES
- CENTERLINE
- PROPERTY LINE



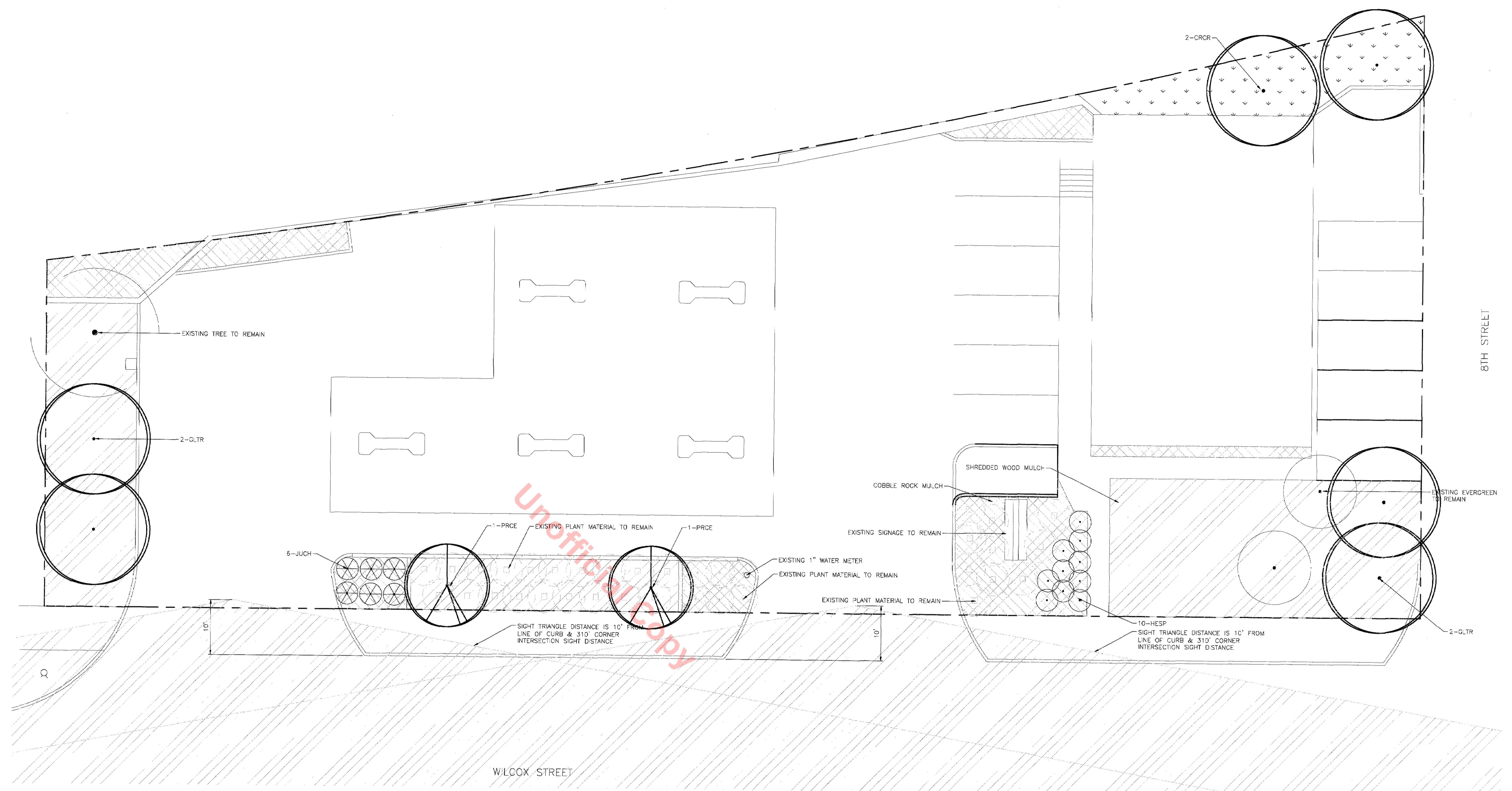
SCALE: 1" = 10'

PREPARED BY:



20576 E. Sheffield Ct. Parker, Colorado 80138
Tel (720) 879-4077 Fax (303) 840-6884 www.grindleandbender.com

Q. PETROLEUM FINAL PD SITE PLAN
2ND AMMENDMENT



LANDSCAPE LEGEND (DOUGLAS COUNTY)

- DRYLAND NATIVE SEED
- BROWN SHREDDED WOOD CEDAR MULCH, 4" DEPTH REQ'D
- 1-1/2" COBBLE ROCK MULCH, 4" DEPTH REQ'D
- 4" ROLL-TOP STEEL EDGING
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- EVERGREEN TREE
- DECIDUOUS ORNAMENTAL TREE
- DECIDUOUS CANOPY TREE

LANDSCAPE REQUIREMENTS

	REQUIRED	PROPOSED
OVERALL LANDSCAPE REQUIREMENTS	10% OF OVERALL SITE AREA	4,448.53 SF (22%)
PLANT MATERIAL REQUIREMENTS (2 TREES/4 SHRUBS PER 1,000 SF)	10 TREES/19 SHRUBS	10 TREES/29 SHRUBS
GROUNDCOVER REQUIREMENTS (NO MORE THAN 25% OF LANDSCAPE AREA SHALL BE COMPRISED OF NON-LIVING MATERIAL)	25% NON-LIVING (COBBLE) 75% LIVING (MULCH & SEED)	1,122.15 SF (24%) 3,503 SF (76%)

PLANT SCHEDULE

ABB	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE
DECIDUOUS TREES						
FRPE	<i>Fraxinus pennsylvanica</i>	Summit Ash	1	2" Cal. B&B	Existing	Low
GLTR	<i>Gleditsia tricanthos</i> 'Shademaster'	Shademaster Honeylocust	4	2" Cal. B&B		Low
CRCR	<i>Crataegus crus-galli</i> 'Inemis'	Thomless Cockspur Hawthorn	2	2" Cal. B&B		Low
PRCE	<i>Prunus cerasifera</i> 'Newport'	Prunus Newport	2	2" Cal. B&B		Low
		Total	7			
EVERGREEN TREES						
PRN	<i>Pinus nigra</i>	Austrian Pine	1	6-8' HT.	Existing	Low
		Total	1			
DECIDUOUS SHRUBS						
KDP	<i>P. fruticosa</i> 'Katherine Dykes'	Katherine Dykes	8	# 5 GAL.	Existing	Medium
		Total	8			
EVERGREEN/BROADLEAF SHRUBS						
JUCH	<i>Juniperus chinensis</i> 'Buffalo'	Buffalo Juniper	29	# 5 GAL.	Existing	Medium
JUCH	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	6	# 5 GAL.	Existing	Low
JUCH	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	6	# 5 GAL.	Cont.	Low
		Total	29			
PERENNIALS/GROUNDCOVERS						
HESP	<i>Hemerocallis speciosa</i>	Red Daylilies	10	# 1 GAL. CONT.	18" O.C.	Medium

WILCOX STREET

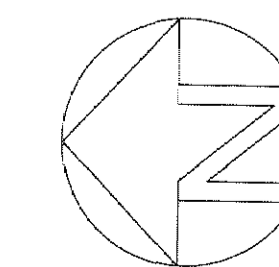
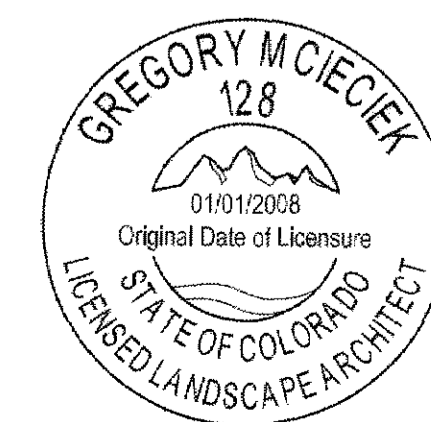
8TH STREET

Unofficial Copy

PREPARED BY:



20576 E. Sheffield Ct. Parker, Colorado 80138
Tel (720) 879-4077 Fax (303) 640-6864 www.grndleandbender.com



SCALE: 1" = 10'

Q. PETROLEUM FINAL
P.D. SITE PLAN
2ND AMENDMENT
MARCH 6, 2009

TOWN OF CASTLE ROCK
LANDSCAPE CERTIFICATION #8047
CHAD W. GOODALE

LANDSCAPE PLAN
SHEET 3 OF 7

PLANTING NOTES

GENERAL

1. CALL UNCC AT 1-800-922-1987 PRIOR TO ANY EXCAVATION.
2. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES.
3. THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON.
4. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
5. PLANTING BED EDGER SHALL BE 4" ROLLED STEEL, AS APPROVED BY THE OWNERS REPRESENTATIVE.
6. PLACE GEOTEXTILE FABRIC (MIRAFI #140-S OR EQUAL) UNDER ALL PLANTING BEDS EXCEPT FOR PERENNIAL & ORNAMENTAL GRASS PLANTING AREAS.
7. ALL LANDSCAPE & IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.

FINISH GRADING AND SOIL PREPARATION

8. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:

TURF
(INCORPORATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING, AND NOT INCLUDING SLOPES OR SHRUB-PLANTED BEDS):
NITROGEN STABILIZED ORGANIC AMENDMENT - 3 CU. YDS. PER 1,000 S.F.

TREES, SHRUBS, AND PERENNIALS - BACKFILL ONLY:
6 PARTS BY VOLUME ON-SITE SOIL
2 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT

NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

9. PLANT QUANTITIES SHOWN ON LEGENDS ARE FOR GENERAL INFORMATION. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
10. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
11. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

MULCHING

12. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
13. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

MULCHES

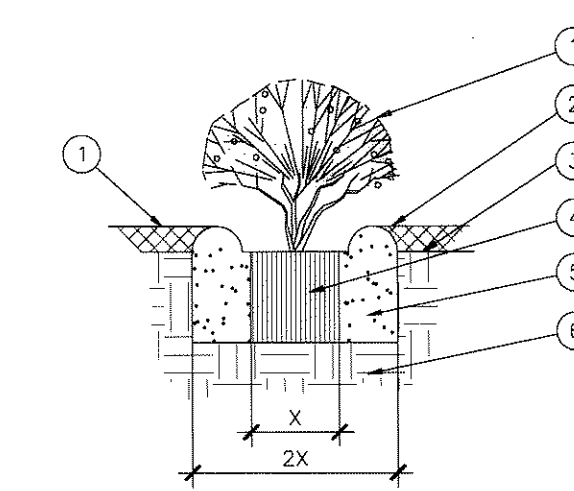
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 4" THICK LAYER OF SHREDDED CEDAR WOOD MULCH OR 1-1/2" COBBLE ROCK MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE MODIFIED TO MEET PROPOSED LANDSCAPE NEEDS.
2. ALL NON-TURF PLANTED AREAS WILL BE DRIP IRRIGATED.
3. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
4. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

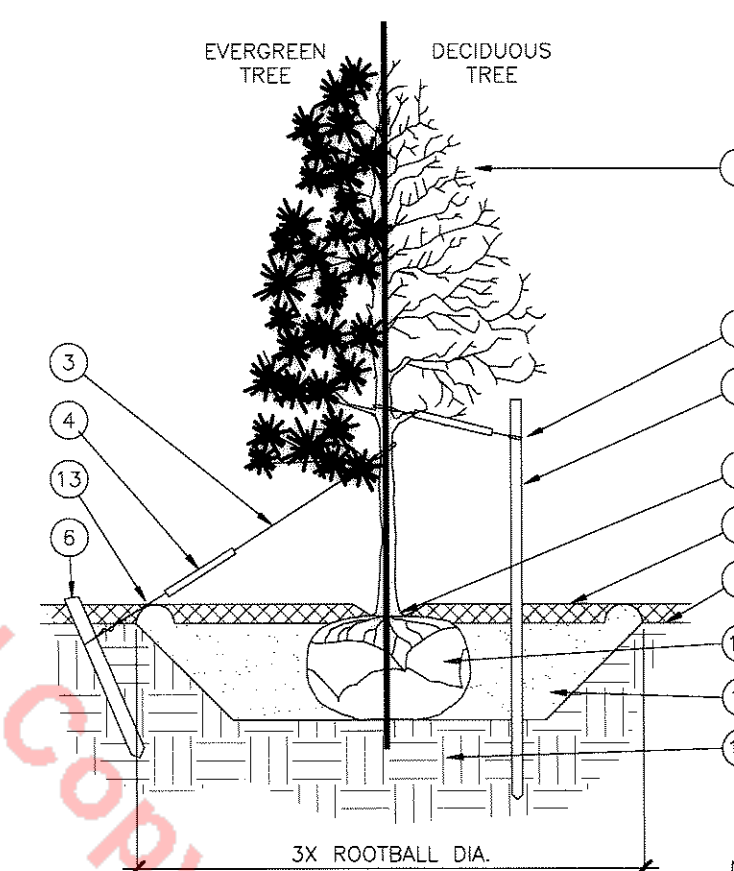
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION.
3. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
4. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.

A SHRUB AND PERENNIAL PLANTING

SCALE: NOT TO SCALE



1. TREE CANOPY.
2. NYLON TREE STRAPS AT ENDS OF WIRES - SECURE TO STAKE OR DEADEN WITH NAILS.
3. 12 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
4. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
5. PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
6. PRESSURE-TREATED WOOD DEADEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
7. TRUNK FLARE.
8. WOOD MULCH TREE RING 3' DIA MIN. TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
9. FINISH GRADE.
10. ROOT BALL.
11. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
12. UNDISTURBED NATIVE SOIL.
13. 4" HIGH EARTHEN WATERING BASIN.

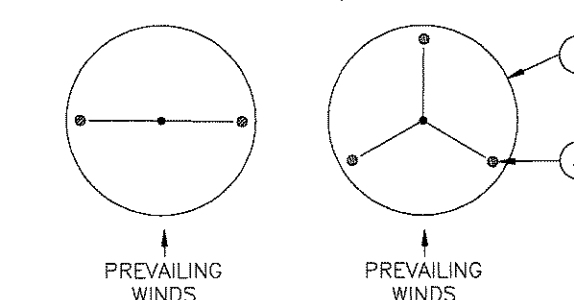
NOTES:

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
3. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
7. ALL TREE STAKES SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.

B TREE PLANTING

SCALE: NOT TO SCALE

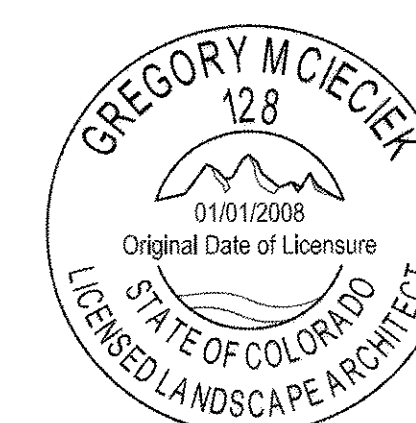
STAKING EXAMPLES (PLAN VIEW)



PREPARED BY:

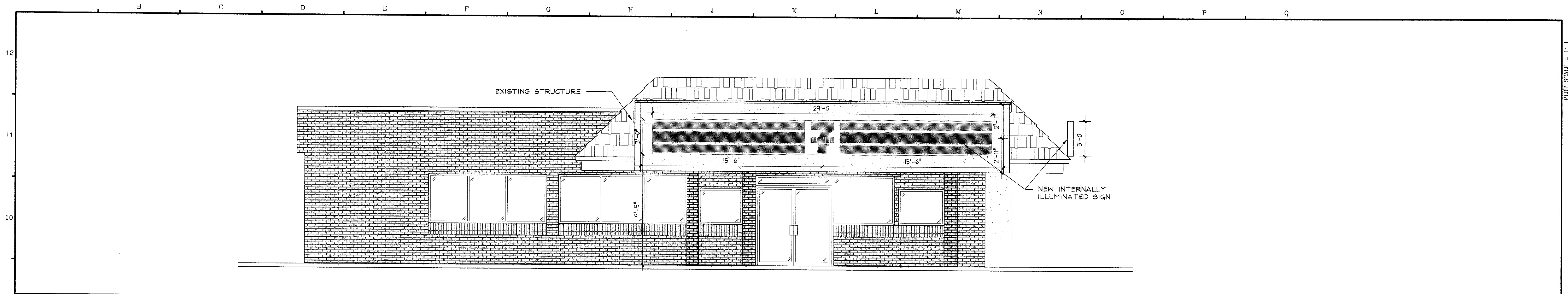


20576 E. Sheffield Ct., Parker, Colorado 80138
Tel (720) 879-4077 Fax (303) 840-6884 www.grindleandbender.com

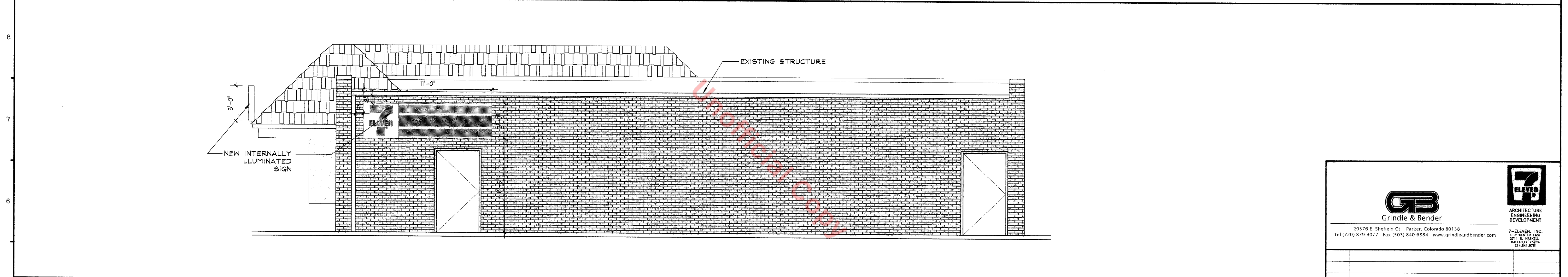


Q. PETROLEUM FINAL
P.D. SITE PLAN
2ND AMENDMENT
MARCH 6, 2009

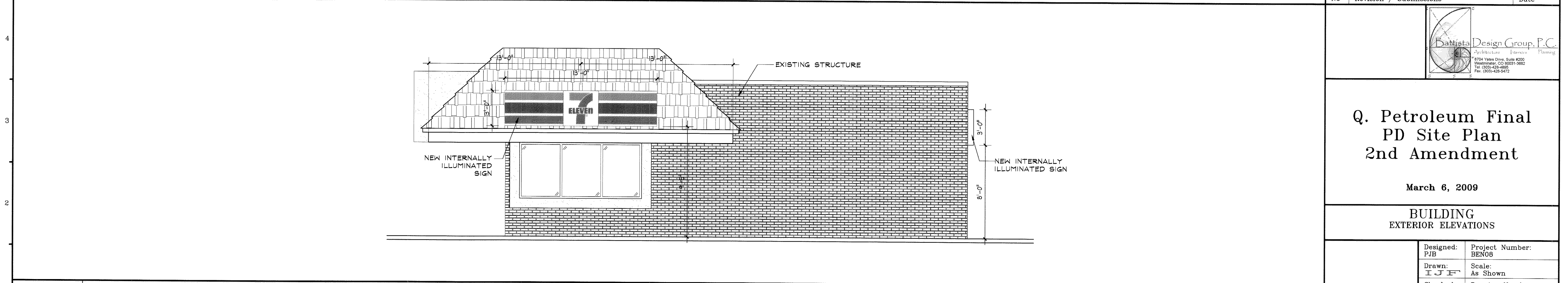
LANDSCAPE NOTES
& DETAILS
SHEET 4 OF 7



A9 EXTERIOR ELEVATION
 1/4" = 1'-0" RE: NORTH



A5 EXTERIOR ELEVATION
 1/4" = 1'-0" RE: SOUTH



A1 EXTERIOR ELEVATION
 1/4" = 1'-0" RE: WEST

Grindle & Bender
 ARCHITECTURE
 ENGINEERING
 DEVELOPMENT

20576 E. Sheffield Ct. Parker, Colorado 80138
 Tel (720) 879-4077 Fax (303) 840-6884 www.grindleandbender.com

7-ELEVEN
 ARCHITECTURE
 ENGINEERING
 DEVELOPMENT

7-ELEVEN, INC.
 1375 QUINN AVE
 2711 N. WHEELER
 GILBERT, ARIZONA
 85404-4781

No	Revision / Submissions	Date

Battista Design Group, P.C.
 Architecture Interior Planning

6704 Teaneck Drive, Suite 1000
 Teaneck, NJ 07666-3902
 Tel (201) 438-8800
 Fax (201) 438-5472

**Q. Petroleum Final
 PD Site Plan
 2nd Amendment**

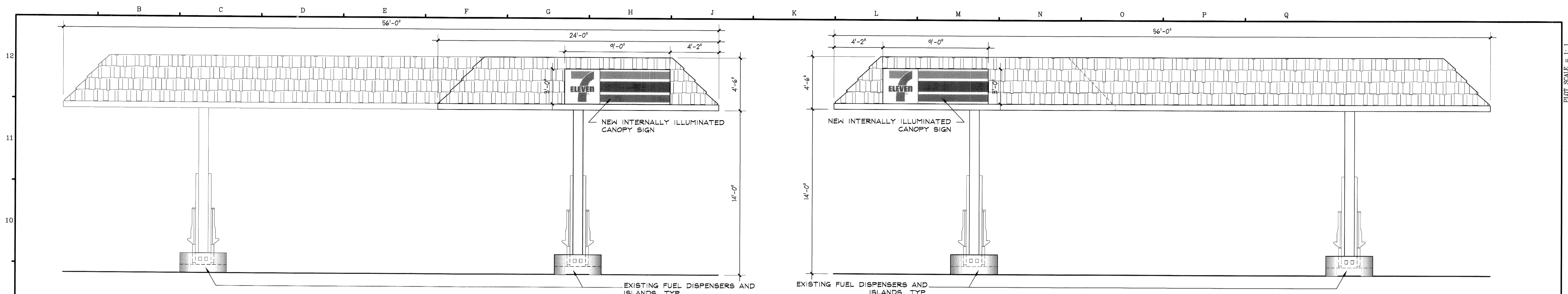
March 6, 2009

**BUILDING
 EXTERIOR ELEVATIONS**

Designed: PJB	Project Number: BEN08
Drawn: IJE	Scale: As Shown
Checked: PJB	Drawing Number: 5 of 7
Reviewed: PJB	of
Date: 12-29-08	

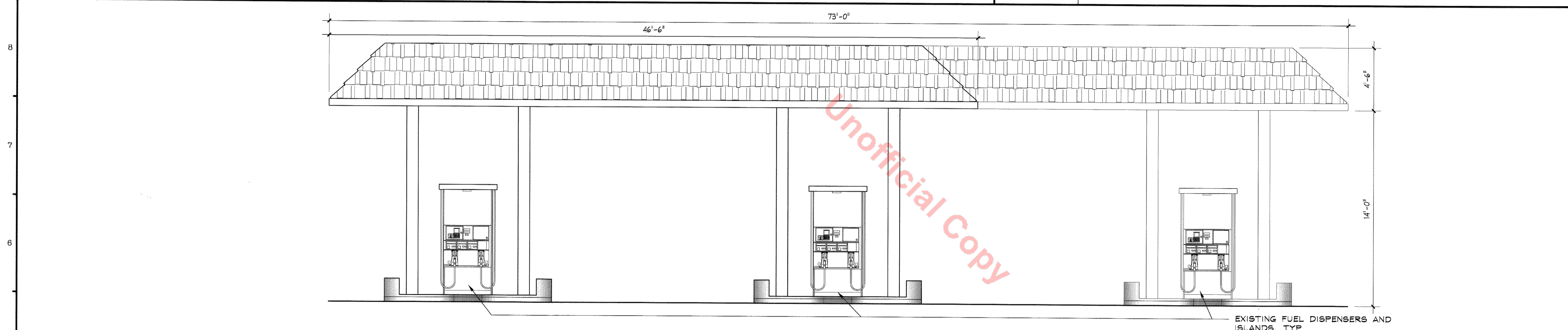
COPYRIGHT 2009 - BATTISTA DESIGN GROUP, P.C.
 This document, and the ideas and design concepts incorporated herein, are an instrument of professional service, and may not be used, in whole or in part, for this or any other project, without the written authorization of BATTISTA DESIGN GROUP, P.C.

PLOT SCALE = 1:1

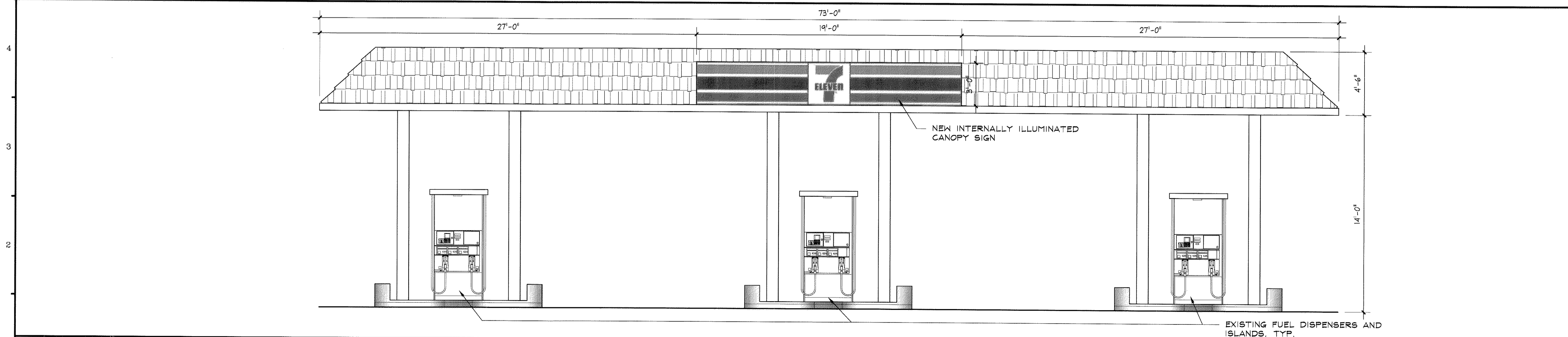


A9 CANOPY ELEVATION
 1/4" = 1'-0" RE: NORTH

L9 CANOPY ELEVATION
 1/4" = 1'-0" RE: SOUTH



A5 CANOPY ELEVATION
 1/4" = 1'-0" RE: EAST



A1 CANOPY ELEVATION
 1/4" = 1'-0" RE: WEST

Grindle & Bender
 ARCHITECTURE
 ENGINEERING
 DEVELOPMENT
 20576 E. Sheffield Ct. Parker, Colorado 80138
 Tel (720) 879-4077 Fax (303) 840-6884 www.grindleandbender.com

No	Revision / Submissions	Date

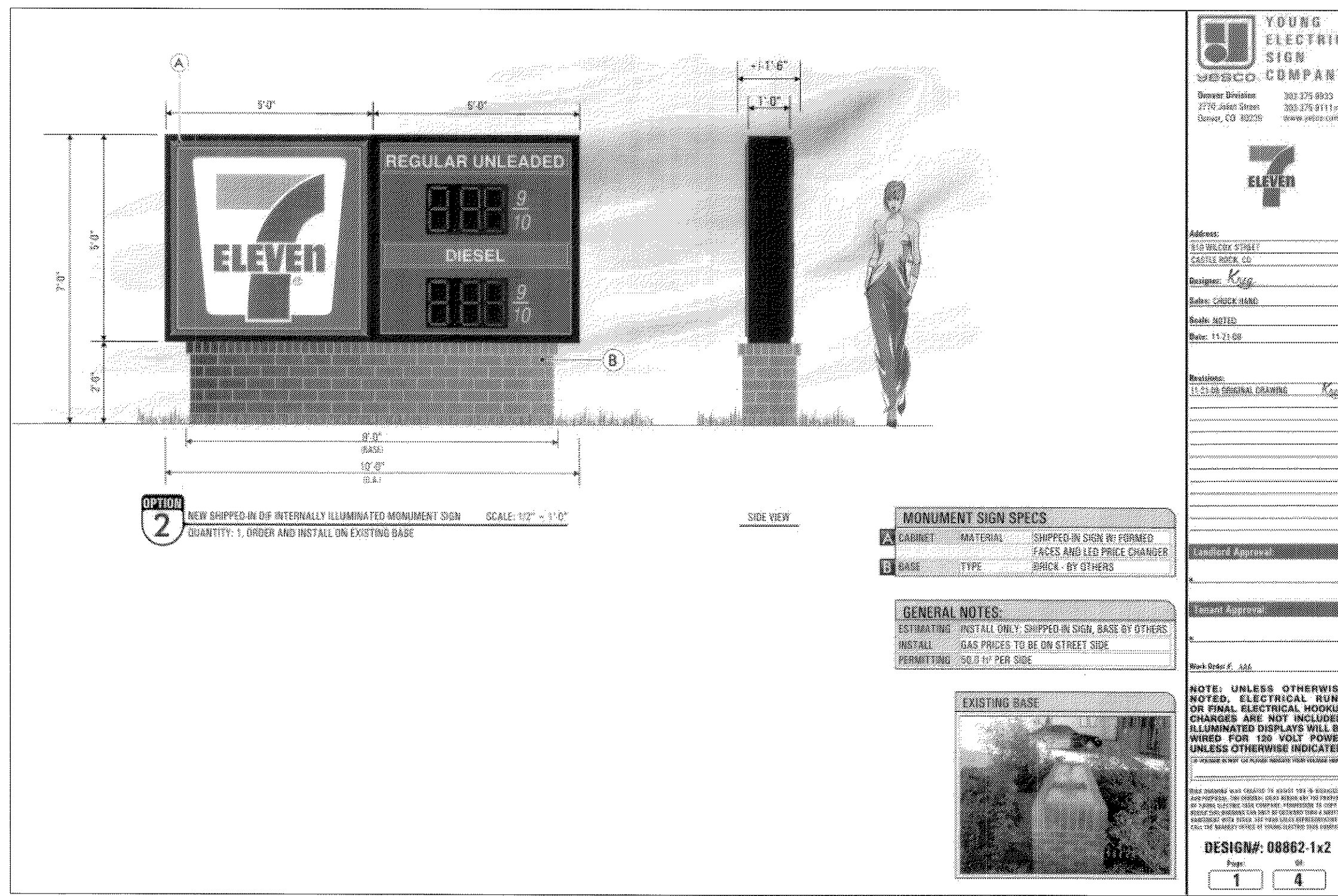
Battista Design Group, P.C.
 ARCHITECTURE INTERIOR DESIGN PLANNING
 8704 Vaux Drive Suite #200
 Westminster, CO 80031-3902
 Tel: (303) 429-5999
 Fax: (303) 429-6472

**Q. Petroleum Final
 PD Site Plan
 2nd Amendment**
 March 6, 2009

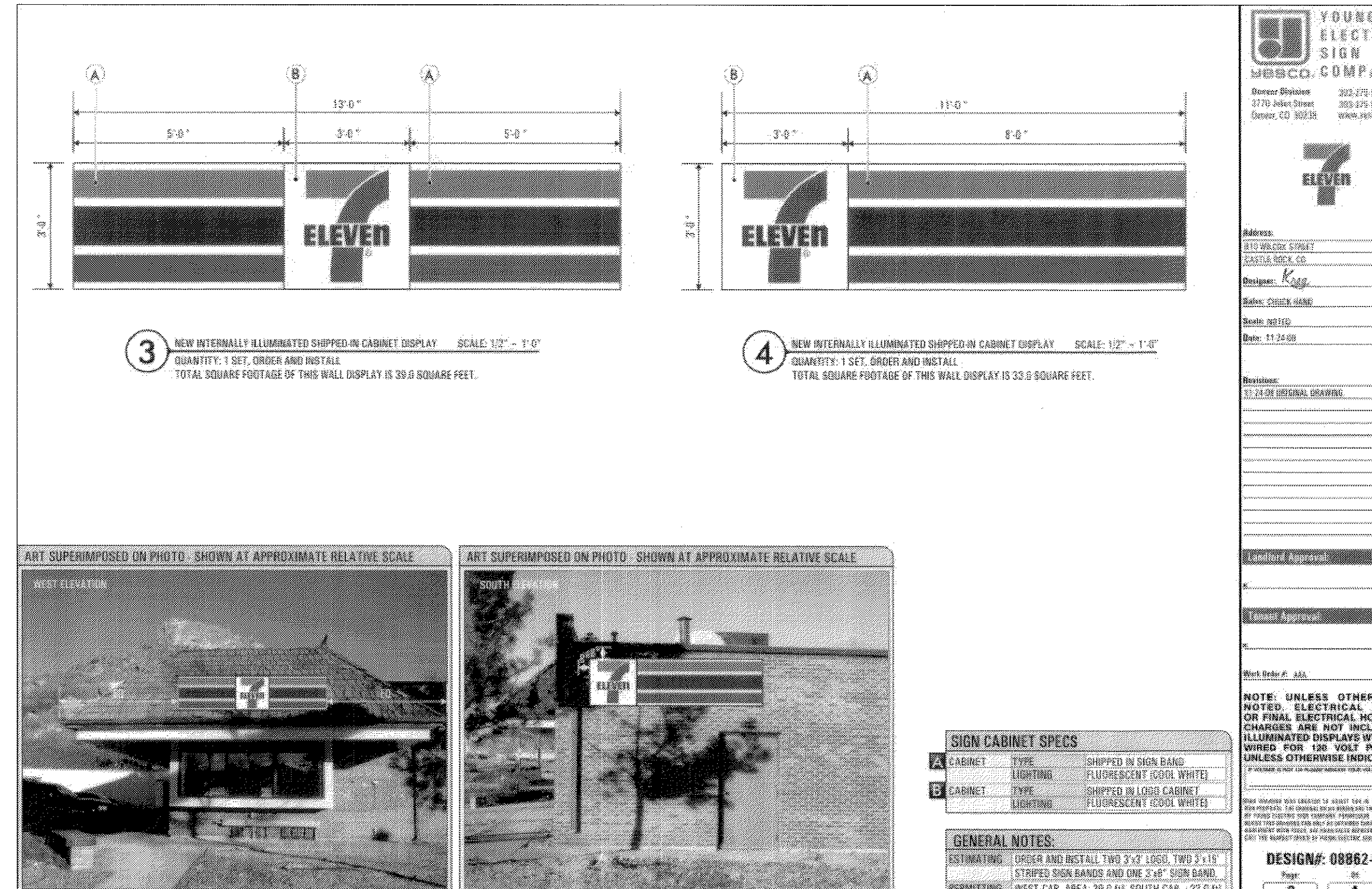
CANOPY ELEVATIONS

Designed: PJB	Project Number: BEN08
Drawn: IJB	Scale: As Shown
Checked: PJB	Drawing Number: 6 of 7
Reviewed: PJB	
Date: 12-29-08	of

COPYRIGHT 2009 - BATTISTA DESIGN GROUP, P.C.
 This document, and the plans and design incorporated herein, are an instrument of professional service, and may not be used, in whole or in part, for any other project, without the written authorization of BATTISTA DESIGN GROUP, P.C.



MONUMENT SIGN



WEST AND SOUTH BUILDING SIGN

SIGNAGE DATA TABLE

Sign Location	Sign Dimensions	Square Footage
Monument Sign	5' x 10'	100
North Building Elevation	3' x 29'	87
South Building Elevation	3' x 11'	33
West Building Elevation	3' x 13'	39
North Canopy Elevation	3' x 9'	27
South Canopy Elevation	3' x 9'	27
West Canopy Elevation	3' x 19'	57
TOTAL		370

Total Sign Area Permitted: 400 Square Feet

Per Section 19.04.052.C.2 - The following maximum sign areas are permitted per lot:

- For nonresidential uses, the greater of the following:
- a. Two and one-half (2½) square feet of sign for each linear foot of building frontage for the first two hundred (200) feet of building frontage of the unit occupied by a street level use and one-half (½) square foot for each additional linear foot; or
 - b. One and one-half (1½) square feet of sign for each linear foot of lot frontage for the first two hundred (200) feet of lot frontage and one-half (½) square foot for each additional linear foot.

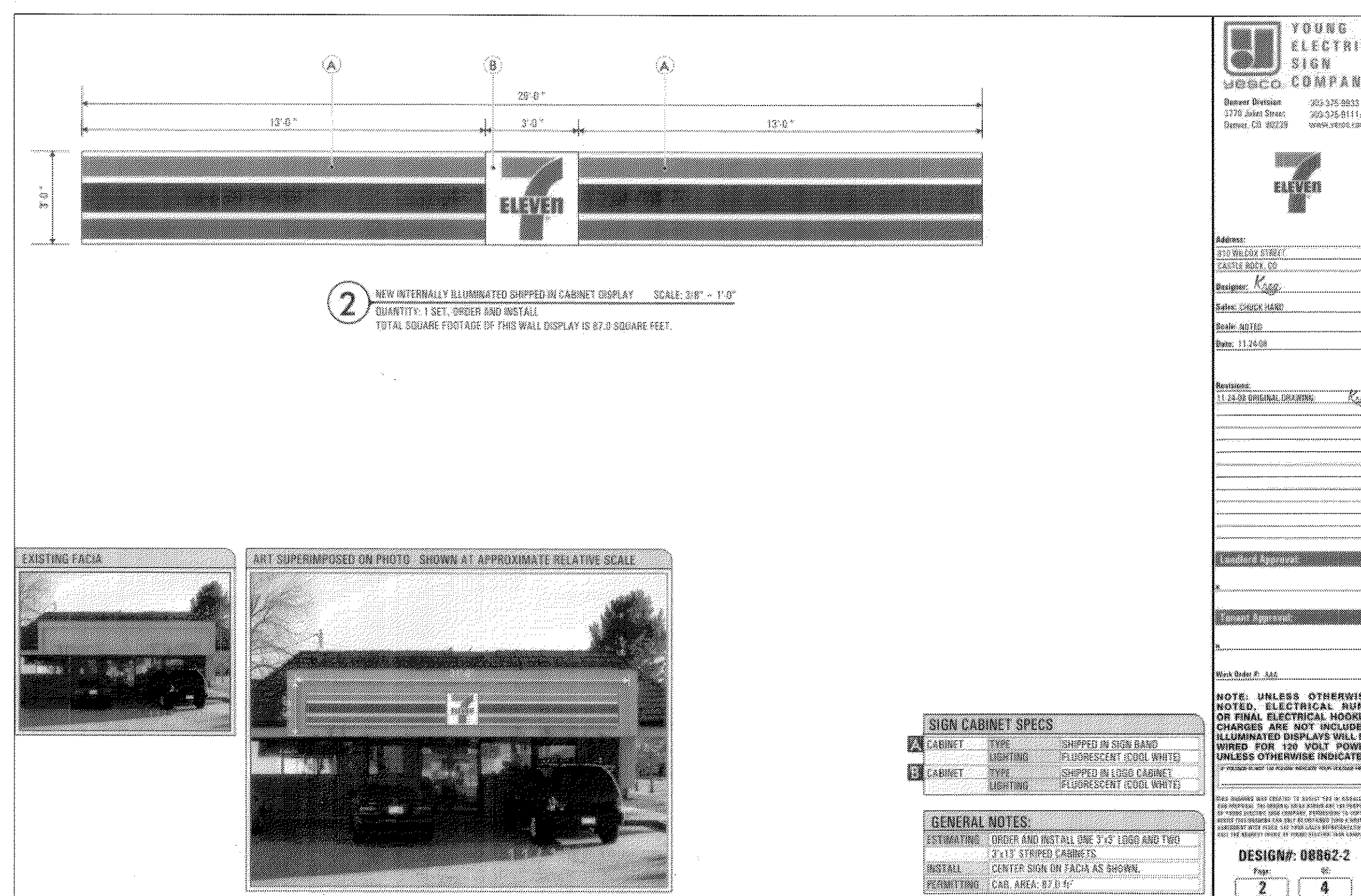
North Building Elevation = 60 feet

South Building Elevation = 60 feet

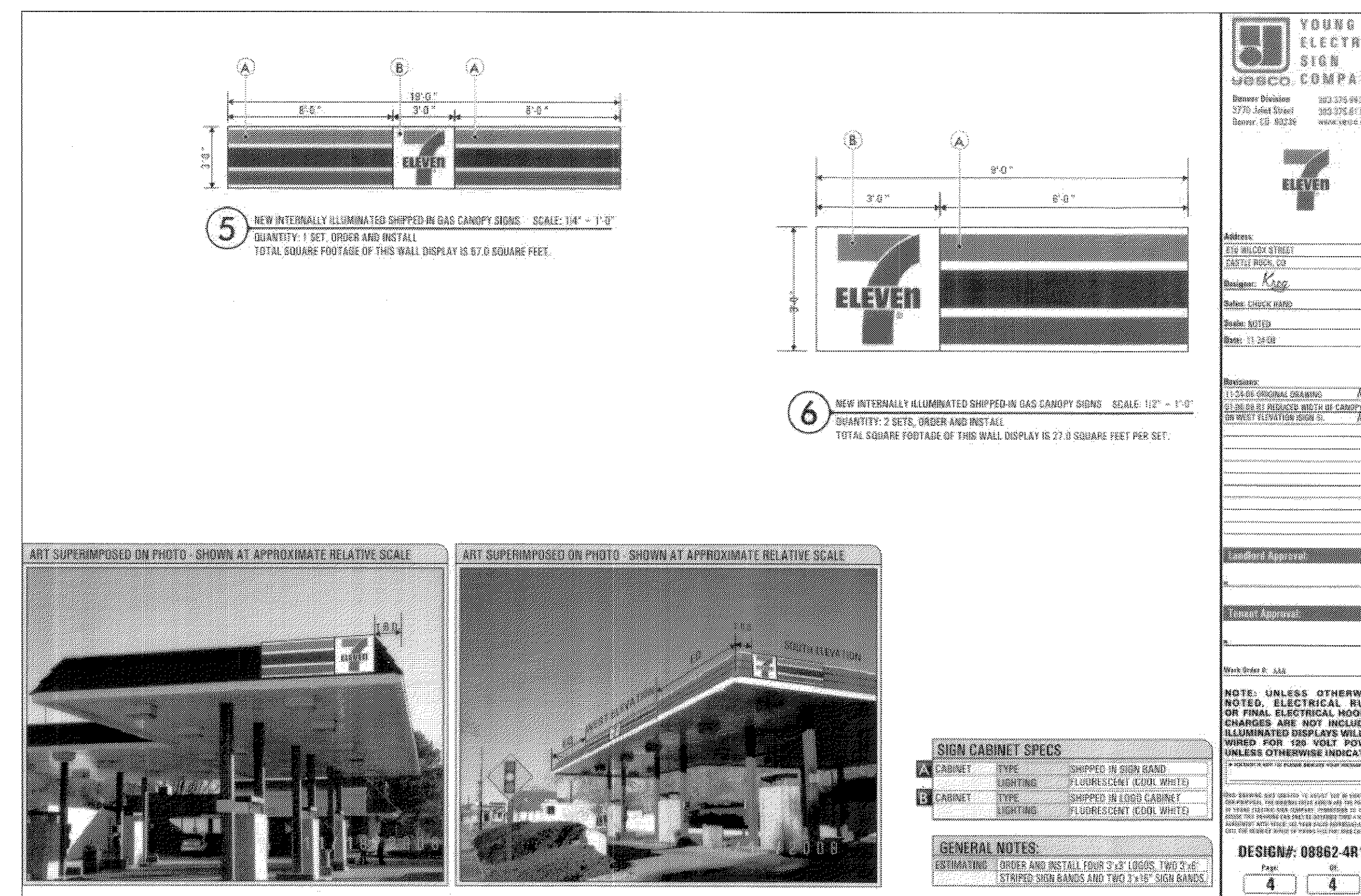
West Building Elevation = 40 feet

Total Building Elevation Length = 160 feet

Total Signage Allowed = (160 x 2½) = 400 square feet



NORTH BUILDING SIGN



CANOPY NORTH-SOUTH-WEST SIGNS

PREPARED BY:



20576 E. SheField Ct. Parker, Colorado 80138
Tel (720) 879-4077 Fax (303) 840-6884 www.grindieandbender.com

Q. PETROLEUM FINAL PD SITE PLAN 2ND AMENDMENT

MARCH 6, 2009

SIGNAGE DETAILS & ELEVATIONS SHEET 7 OF 7

Unofficial Copy

Town of Castle Rock Irrigation System Hydraulic Worksheet

Project Name: 7-Eleven
 Project Location: 810 N. Wilcox St. Castle Rock, CO 80104

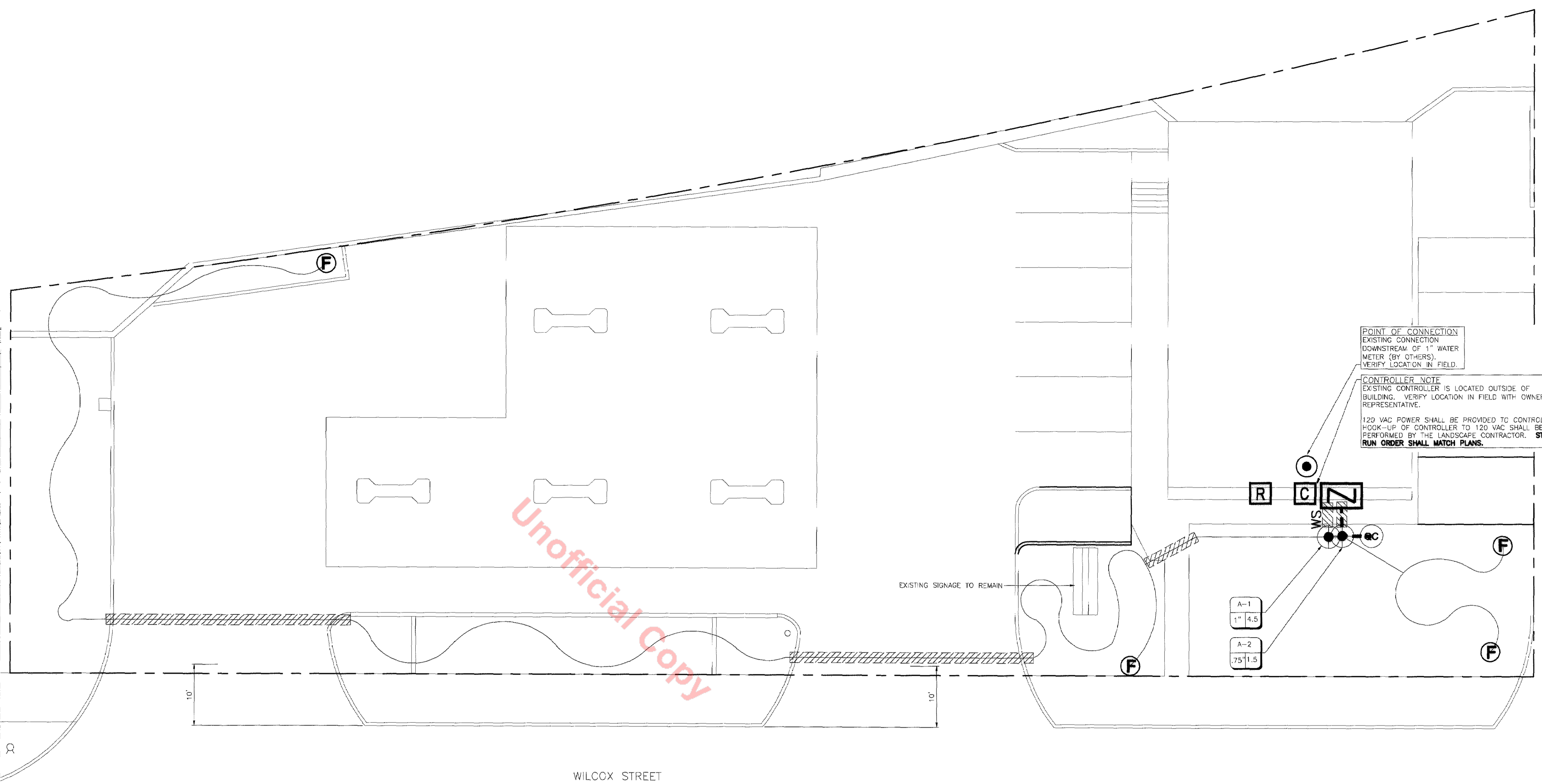
Prepared by: Chad Goodale
 Current TOCR Registration # 8047
 Date: March 10, 2009
 Tap Size: 1" From: Town of Castle Rock, Shauna Warson of Unknown pressure

Static Water Pressure: 80.00

Hydraulic Grade At Zones:

	Ft. of Copper	Pipe Size (K Copper)	Loss From Chart	Flow-GPM	Loss/Gain
Svc Line Tap to meter	0.00 LF	1" K Copper	0.00 /100 FT	0	0.00
Water Meter				0	0.00
Svc Line (meter to backflow)	10.00 LF	1" K Copper	0.97 /100 FT	5	0.10
Backflow				5	12.00
Master Valve				5	0.00
Pressure Required at Head:					30.00
Lateral Allowance:					0.00
Control Valve allowance:					0.00
Mainline allowances:					
8 LF CL200BE 1" @		4.5 GPM	0.36 /100 FT		0.03
0 LF CL200BE 0" @		0 GPM - Looped	0.00 /100 FT		0.00
0 LF CL200BE 0" @		0 GPM - Looped	0.00 /100 FT		0.00
Elevation:					
Tap elev.	0	High/Low:	0		0.00
Total System requirements (PSI)					42.13
Available System Pressure (PSI)					80.00

Town of Castle Rock provides a minimum of 43 psi



IRRIGATION LEGEND

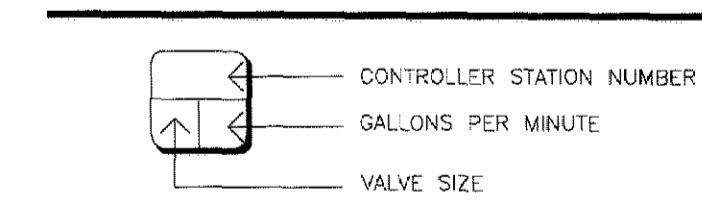
SYMBOL	MANUF.	MODEL NO.	DESCRIPTION
CONTROLLERS AND SENSORS			
C	RAINBIRD	ESP-8 LXI	E-STATION CONTROLLER, EXISTING EXTERIOR WALL MOUNT
R	RAINBIRD	RSD-BEX	RAIN SENSOR - MOUNT ON EXPOSED EXTERIOR OF BUILDING
POINT OF CONNECTION			
N	FEBCO	MODEL 825YA - 3/4"	1" TAP (BY OTHERS)
N	FEBCO	MODEL 825YA - 3/4"	BACKFLOW PREVENTER W/ WILKINS MODEL 503 PRESSURE REGULATOR SET TO 85 PSI. MOUNT IN STRONGBOX INSULATED ENCLOSURE, MODEL #SBBC-60ALHP.
VALVES			
+	RAINBIRD	XCZ-100-B-DOM	DRIP CONTROL ZONE KIT (FLOWS UP TO 20 GPM) - SEE NOTE BELOW
⊙	RAINBIRD	330LRC	QUICK COUPLER, 3/4"
MAIN LINE/ LATERALS & SLEEVES			
---	ANY APPROVED		PRESSURIZED PVC MAIN LINE, SIZE PER PLAN - SCH. 40 FOR UP TO 1-1/2", CL. 315 FOR 2" AND 2-1/2", CL. 200 "RING-TITE" WITH DUCTILE IRON FITTINGS FOR 3" AND OVER
---	ANY APPROVED		IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
WS	ANY APPROVED		CONTROL WIRING SLEEVE, 2" SCH. 40 PVC
DRIP IRRIGATION			
⊙	ANY APPROVED		FLUSH VALVE - BALL VALVE IN VALVE BOX WITH 3' LENGTH OF TUBING

DRIP EMITTER SCHEDULE

PROVIDE THE FOLLOWING DRIP EMITTERS FOR EACH PLANT:

PLANTS, 1 GALLON AND SMALLER:	1, XB-20PC (2 GPH) EMITTER PER PLANT
PLANTS, 5 GALLON:	2, XB-20PC (2 GPH) EMITTERS PER PLANT
PLANTS, 15 GALLON:	3, XB-20PC (2 GPH) EMITTERS PER PLANT
TREES, 1" TO 2-1/2" CALIPER:	4, PC-07 (7 GPH) EMITTERS PER TREE
TREES, 3" TO 4" CALIPER:	7, PC-07 (7 GPH) EMITTERS PER TREE

VALVE KEY



SLEEVING / WIRING NOTES:

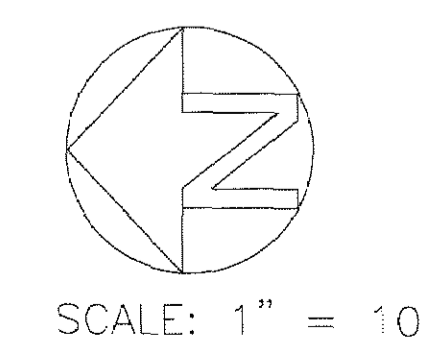
IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

IRRIGATION CHART

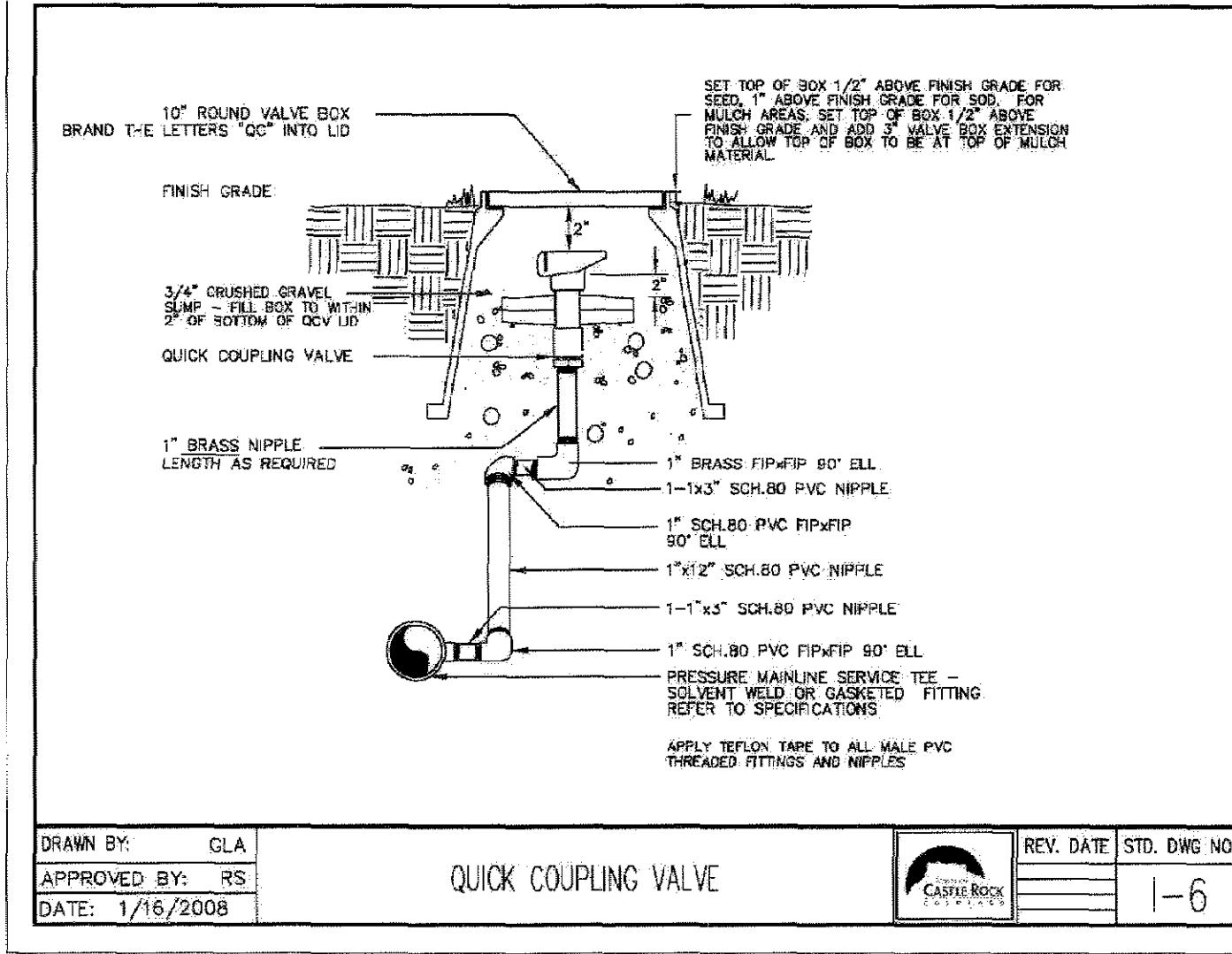
Registered Professional: Chad Goodale
 Company Name: Kaller Landscape
 Phone: 303-973-3140
 Email: chadgoodale@kallerlandscape.net
 Address: 6004 S. Kipping Pkwy, Ste 212, Littleton, CO 80127
 Registration # 8047
 Model: ESP-LX-8

Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage
	(See 65-107)	(List Water Shrubs, Perennials, Trees, Annuals, etc.)	(Rotors, Spray, Buddlers, Drip, SDI, etc.)	(Nozzle Emitter size)	(inches/hour)	(Per Zone)	(Peak not to exceed 6"/month or 1.5"/week)	(Minutes/Month)	(Minutes Every Third Day)	(Gallons per month)
EX-1	High	Blue Grass	Pop 1506 S&M P/R	15"	1.83	15	0	197	20	2991
EX-2	Low	Berberis Grass	Master 1-20"	3"	0.4	16	150	150	16	2280
1	Medium	Shrubs	Drip	XB-20PC	0.25	5	1	240	24	1080
2	Medium	Shrubs	Drip	XB-20PC	0.25	2	1	240	24	360
3	Open							0	0	0
4	Open							0	0	0
5	Open							0	0	0
6	Open							0	0	0
7	Open							0	0	0
8	Open							0	0	0
Total								480	48	0

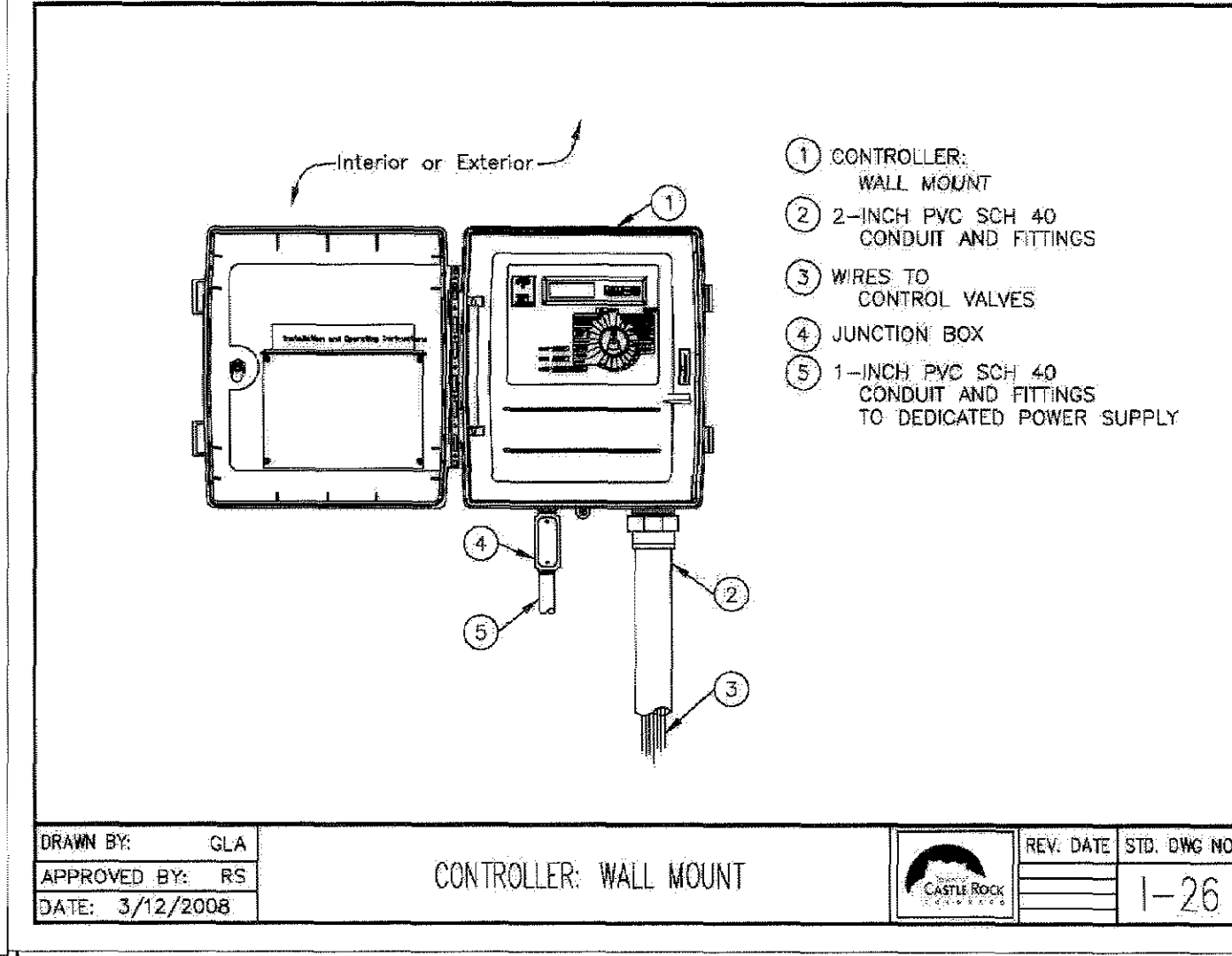
PREPARED BY:
Grindie & Bender
 20576 E. Sheffield Ct. Parker, Colorado 80138
 Tel (720) 879-4077 Fax (303) 840-6884 www.grindiebender.com



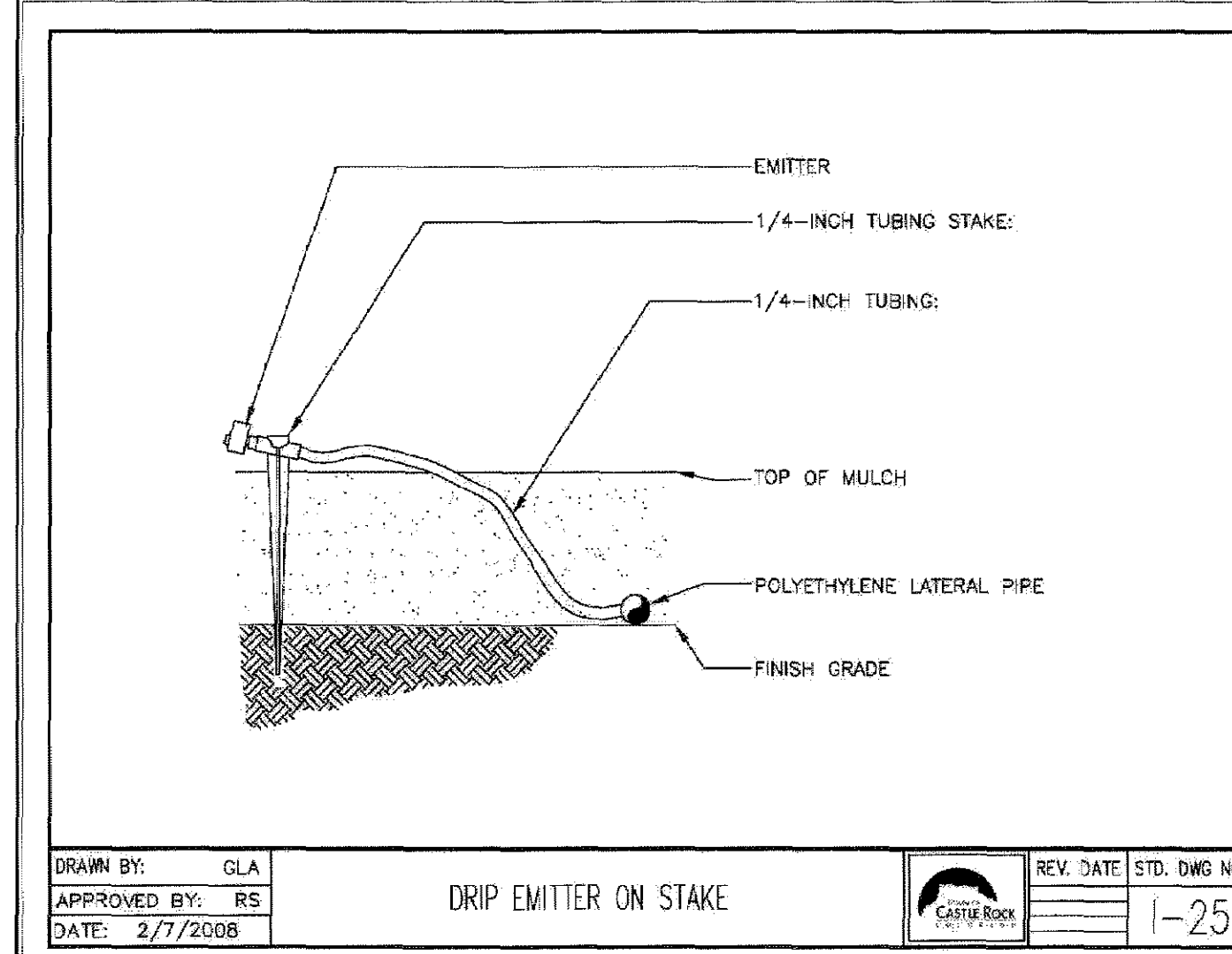
Q. PETROLEUM FINAL
 P.D. SITE PLAN
 2ND AMENDMENT
 MARCH 6, 2009



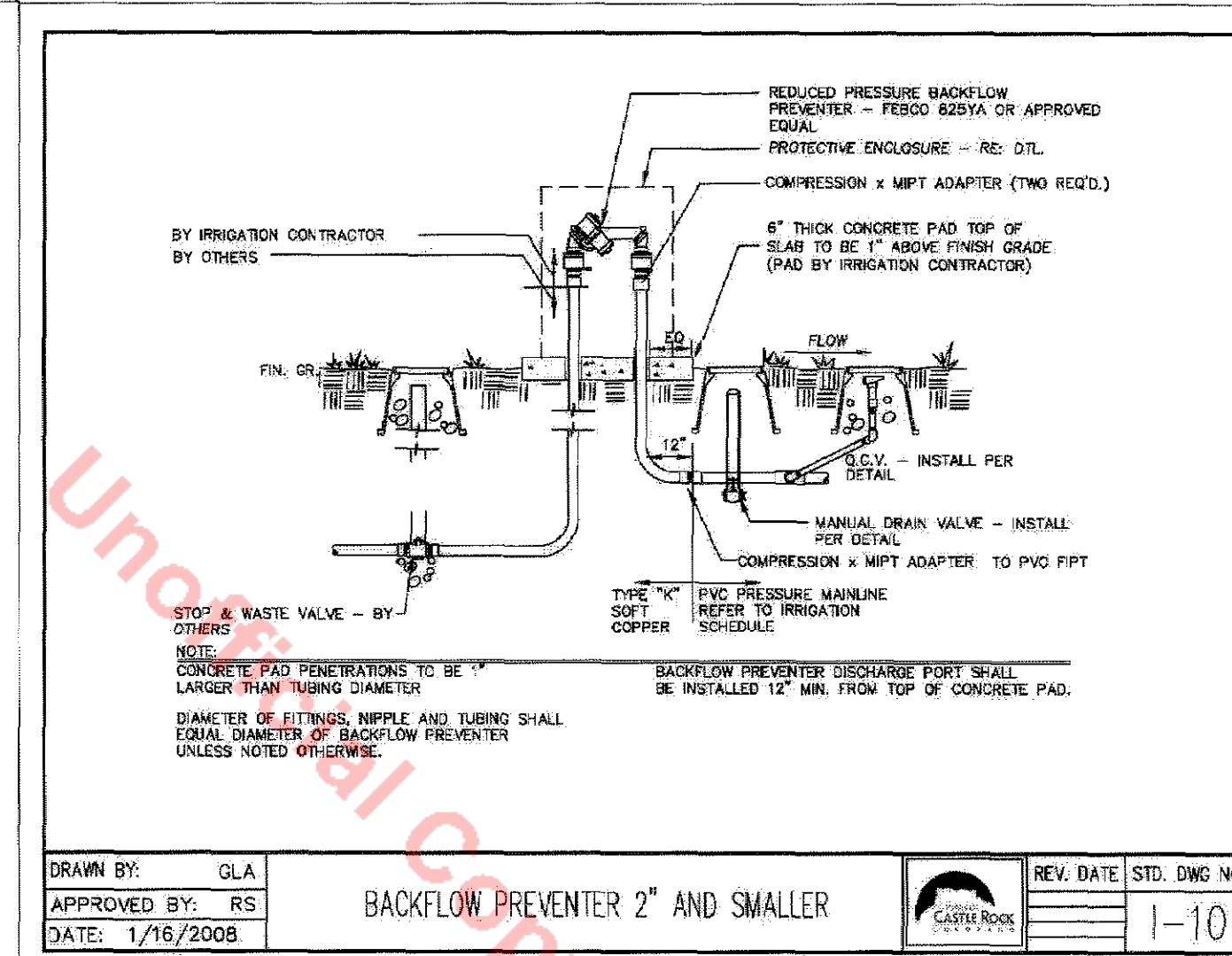
D QUICK COUPLER
SCALE: NOT TO SCALE



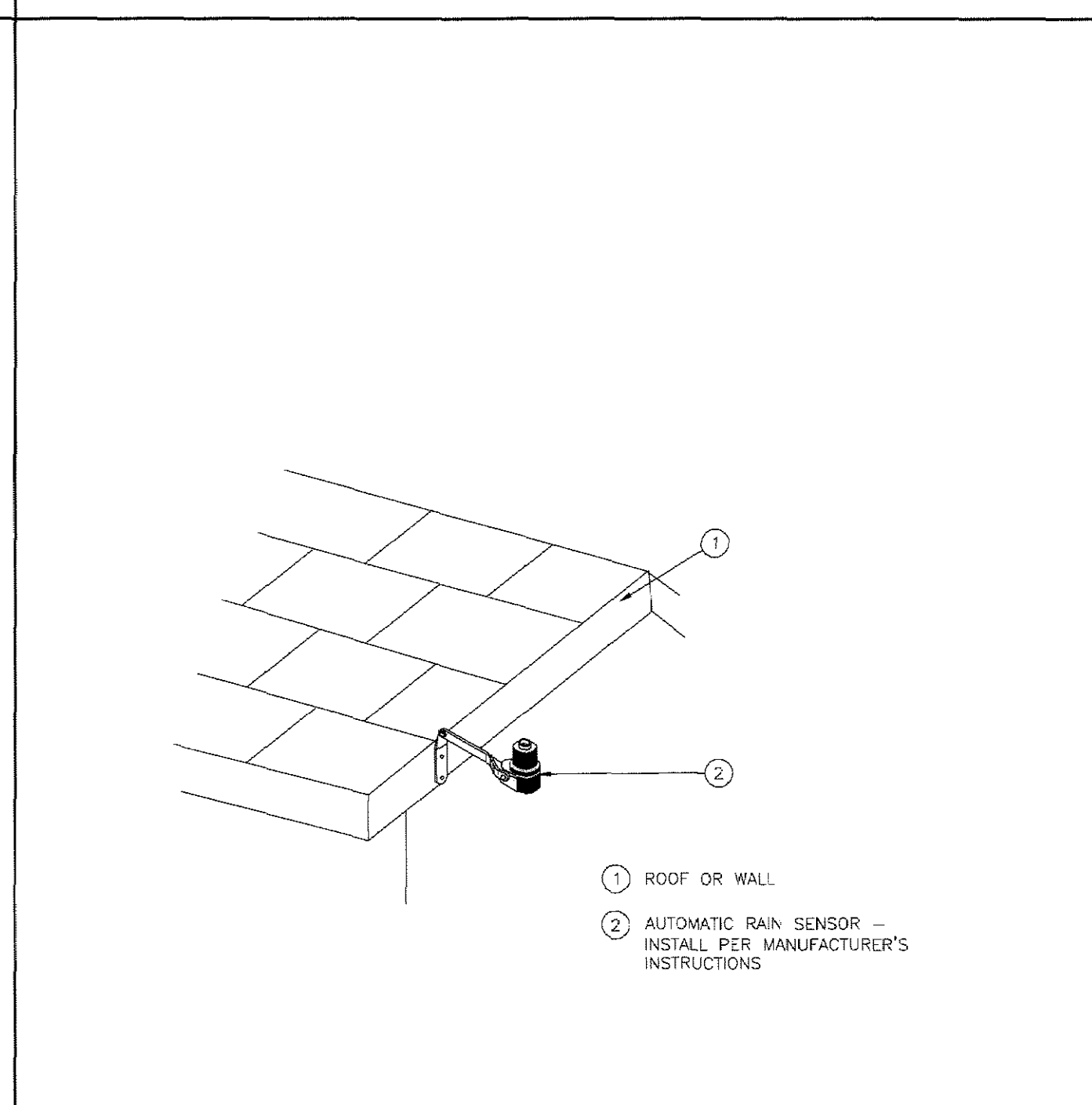
A INDOOR WALL MOUNT CONTROLLER
SCALE: NOT TO SCALE



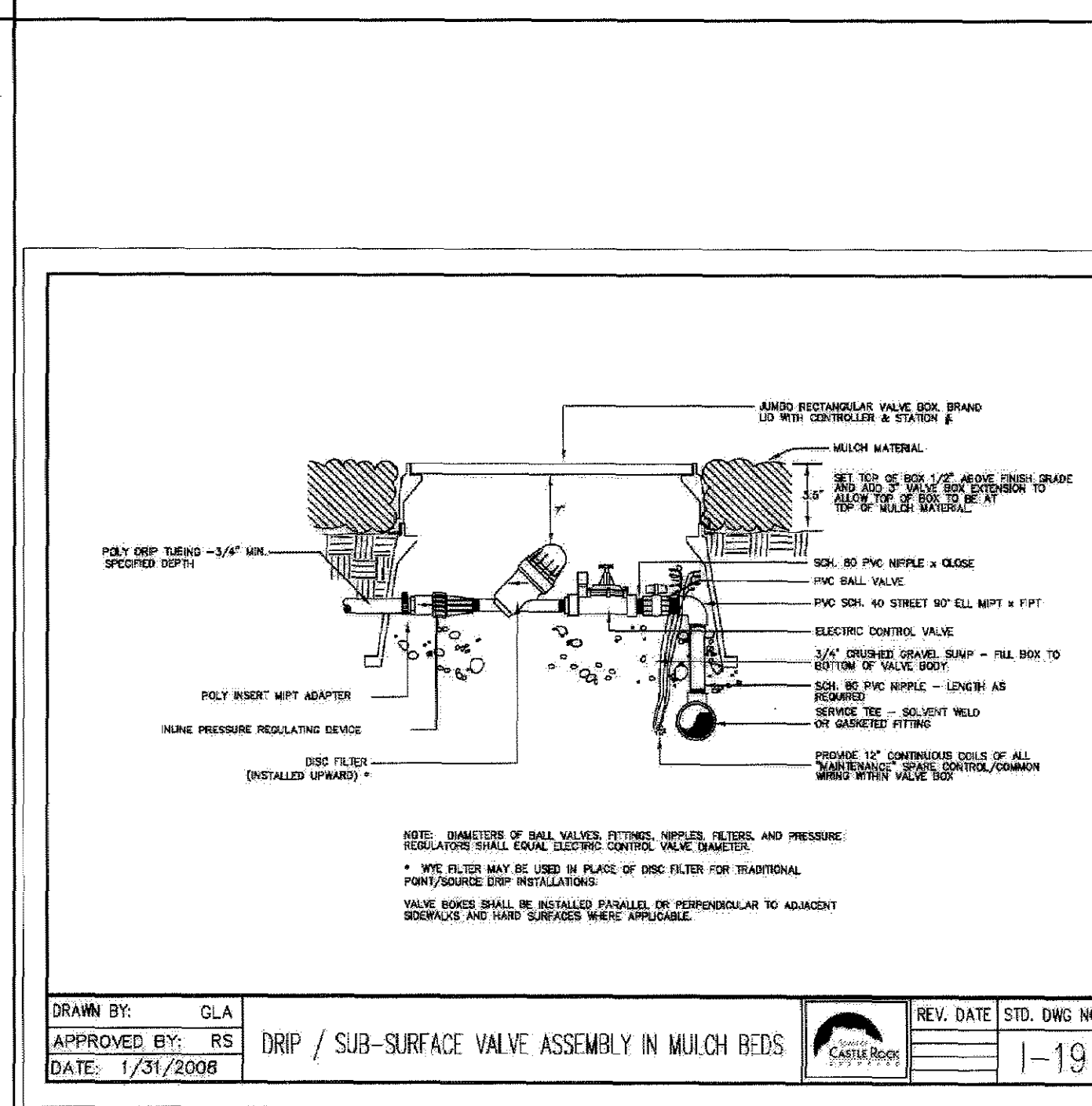
E SINGLE-OUTLET DRIP EMITTER WITH
BUG EMITTER & STAKE
SCALE: NOT TO SCALE



B BACKFLOW PREVENTER, REDUCED PRESSURE
SCALE: NOT TO SCALE



F ROOF MOUNT RAIN SENSOR
SCALE: NOT TO SCALE



C MEDIUM FLOW CONTROL ZONE KIT
SCALE: NOT TO SCALE

- GENERAL IRRIGATION NOTES**
- REFER TO THE GENERAL CONSTRUCTION NOTES FOR GENERAL WORK PROCEDURES.
 - REFER TO SPECIFICATIONS (AS APPROPRIATE) FOR SUBMITTALS, INSPECTIONS AND OTHER APPLICABLE INFORMATION.
 - THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW PLANS & REPORT ANY CONFLICTS OR DISCREPANCIES TO OWNER'S REPRESENTATIVE IMMEDIATELY.
 - IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, RETAINING WALLS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALL, UNDER ROADWAY PAVING, ETC.
 - SEE CIVIL ENGINEER'S DRAWINGS FOR IRRIGATION POINT OF CONNECTION (IAP) AND DOMESTIC WATER SUPPLY.
 - THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.
 - THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION, AND SHALL REPORT ANY DIFFERENCES BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF THE IRRIGATION SYSTEM CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL CORRECT AND PAY FOR ANY WORK NECESSARY TO BRING THE SYSTEM TO A PROPER WORKING CONDITION.
 - INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN ON THE PLANS AND DETAILS. NO SUBSTITUTIONS OF EQUIPMENT WILL BE ACCEPTABLE WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE ALL UNAPPROVED SUBSTITUTED EQUIPMENT AT HIS OWN COST IF SO DIRECTED BY THE OWNER.
 - WHEN INSTALLING IRRIGATION PIPE AND EQUIPMENT NEXT TO HARDSCAPE (SUCH AS WALLS, CURBS, OR WALKS), PLACE PIPE AS CLOSE AS POSSIBLE TO HARDSCAPE TO AVOID CONFLICTS WITH PLANTING.
 - THE IRRIGATION CONTRACTOR SHALL VERIFY 120 V.A.C. ELECTRICAL POWER TO CONTROLLERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
 - THE RAIN SENSOR SHALL BE LOCATED NEAR THE IRRIGATION CONTROLLER, AND SHALL BE MOUNTED AS SHOWN ON THE DETAIL. LOCATE SENSOR AWAY FROM TALL TREES, SHRUBS, AND OTHER POTENTIAL OBSTRUCTIONS.
 - ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.
 - CONTRACTOR SHALL PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES.
 - CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).
 - PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUPE ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.
 - THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING. ALL SLEEVING SHALL BE PVC SCHEDULE 40 P.P.E. SLEEVES FOR MAINLINE AND LATERAL LINES SHALL BE A MINIMUM TWICE THE DIAMETER OF THE ENCLOSED PIPE; SLEEVES FOR CONTROL WIRES SHALL BE AS PER THE WIRE SLEEVING CHART.
 - "BENCH BACKFILL MATERIAL SHALL BE FREE OF ROCKS, GLASS, AND OTHER EXTRANEUS MATERIALS LARGER THAN 1" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO 90% MAXIMUM DRY DENSITY.
 - WHERE VALVES ARE LOCATED IN CLOSE PROXIMITY TO EACH OTHER, CLUSTER VALVES INTO MANIFOLDS.
 - AUTOMATIC DRAIN VALVES FOR FREEZE PROTECTION ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE THE LOW POINT IS AT THE END OF THE LINE, LOCATE DRAIN VALVE A MINIMUM OF 12" DOWNSTREAM FROM THE LAST SPRINKLER HEAD. SEE DETAIL FOR VALVE ORIENTATION.
 - ALL IRRIGATION HEADS, INCLUDING FIXED-SPRAY, ROTOR, BUBBLER, AND DRIP DEVICES, SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED.
 - UPON COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM, IRRIGATION CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - ACCURATE AND COMPLETE "AS BUILT" PLANS OF IRRIGATION SYSTEM INCLUDING 8-1/2" X 11" ZONE MAP TO BE PLACED INSIDE CONTROLLER BOX.
 - ONE HOUR OF TRAINING TO OWNER ON IRRIGATION SYSTEM AND CONTROLLER OPERATION.
 - THREE OF EACH TYPE OF HEAD AND SMITTER INSTALLED.
 - ONE OF EACH TYPE OF VALVE INSTALLED.
 - THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ANYTHING DAMAGED BY HIS WORK, UNLESS OTHERWISE SPECIFIED, AT NO ADDITIONAL COST TO THE OWNER.