



# SITE DEVELOPMENT PLAN

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT NO. 5  
LOCATED IN THE NW 1/4 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### PROJECT INFORMATION

ADDRESS: 5715 NEW ABBEY LANE

### PROPERTY OWNER

SFF-E, LLC  
P.O. BOX 5550  
BEND, OR 97708  
TEL: (503) 447-5238  
ATTN: MATT HANNIGAN

### DEVELOPER/APPLICANT

SFF-E, LLC  
P.O. BOX 5550  
BEND, OR 97708  
TEL: (503) 447-5238  
ATTN: MATT HANNIGAN

### CIVIL ENGINEER/ ENTITLEMENT CONSULTANT

GALLOWAY & COMPANY, INC.  
6162 S. WILLOW DRIVE, SUITE 320  
GREENWOOD VILLAGE, COLORADO 80111  
TEL: (303) 770-8884  
FAX: (303) 770-3636  
ATTN: JOE PARK, PE

### ARCHITECT

GALLOWAY & COMPANY, INC.  
6162 S. WILLOW DRIVE, SUITE 320  
GREENWOOD VILLAGE, COLORADO 80111  
TEL: (303) 770-8884  
FAX: (303) 770-3636  
ATTN: RYLEE J. MATTHEWS

### LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.  
6162 S. WILLOW DRIVE, SUITE 320  
GREENWOOD VILLAGE, COLORADO 80111  
TEL: (303) 770-8884  
FAX: (303) 770-3636  
ATTN: JOE L. WILSON, RLA, ASLA, CID

### SURVEYOR

ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC, SUITE 126  
AURORA, CO 80012  
TEL: (303) 337-1383  
FAX: (303) 337-7481  
ATTN: CHIP BECKSTROM, PLS

### TITLE COMPANY

LAND TITLE GUARANTEE COMPANY  
5075 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 850-4155  
ATTN: BILL BRENDENMULL, ESQ.

### GENERAL SITE DESCRIPTION

PROJECT DESCRIPTION:  
LES SCHWAB TIRE STORE SPECIALIZES IN AUTOMOTIVE TIRE SALES, BRAKES, ALIGNMENT AND SHOCKS. THE SINGLE STORY RETAIL STORE IS A LINEAR PROTOTYPE STORE, INCLUDING 6 SERVICE BAYS, WAREHOUSE AND RETAIL SHOWROOM.

CURRENT ZONING:  
ZONING FOR THIS PROPERTY IS PROMENADE AT CASTLE ROCK PD.

ACCESS:  
THE PRINCIPAL MEANS OF ACCESS IS FROM THE PROPOSED INTERNAL PRIVATE ACCESS DRIVE, WHICH IS PROPOSED TO CONNECT TO NEW ABBEY LANE TO THE NORTH.

### LEGAL DESCRIPTION

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO. 5, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO

### BENCHMARK

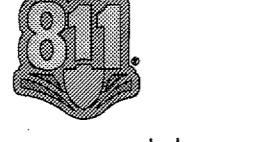
THE STATION IS A BRASS DISK SET IN A CONCRETE POST 10 CM ABOVE THE GROUND. THE MARK IS 73.0 FEET SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 85, 48.4 FEET NORTH OF THE NORTH RAIL OF THE UNION PACIFIC RAILROAD TRACKS, 2.0 FEET EASTERLY OF COOH CARBONITE WITNESS POST AND 2.0 FEET WESTERLY OF COOH CARBONITE WITNESS POST. ELEVATION: 5984.83 FEET (NAVD 88 DATUM)

### BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NE 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N89°03'35"W BOUNDED BY A 3-1/4" ALUMINUM CAP STAMPED 1948 ON A #8 REBAR FOUND AT THE NORTHEAST CORNER OF SAID SECTION 27 AND A 2-1/2" ALUMINUM CAP STAMPED PLS 22664 ON A #8 REBAR FOUND AT THE NORTH ONE-QUARTER OF SAID SECTION 27.

### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

### SIGNATURE BLOCKS

#### OWNERSHIP CERTIFICATION

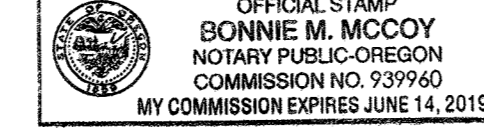
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BY: SFF-E, LLC  
AN OREGON LIMITED LIABILITY COMPANY

SIGNED THIS 25 DAY OF July, 2016

NOTARY BLOCK  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25 DAY OF July, 2016.

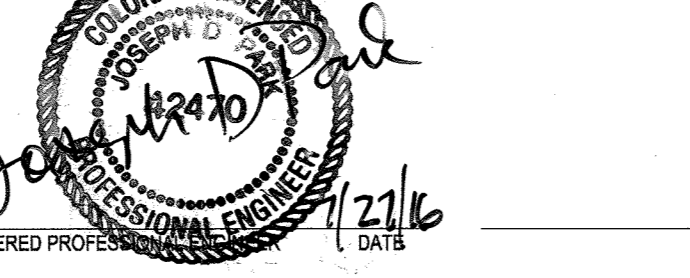
WITNESS MY HAND AND OFFICIAL SEAL  
Bonnie M. McCoy



NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COUNTY OF DESCHUTES  
STATE OF OREGON

#### CIVIL ENGINEER'S STATEMENT

I, Joseph D. Park, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



#### TITLE CERTIFICATION

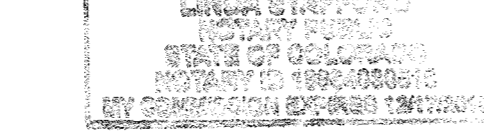
William Brendemuhl, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE CO. A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

WITNESS MY HAND AND OFFICIAL SEAL  
William Brendemuhl

TITLE COMPANY  
SIGNED THIS 27 DAY OF July, 2016

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 27 DAY OF July, 2016

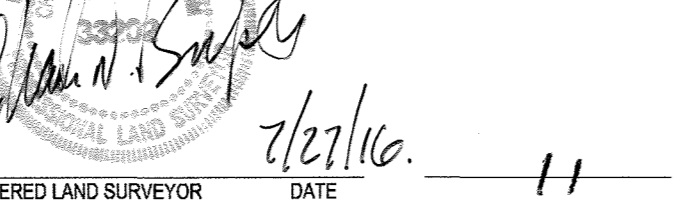
BY: William Brendemuhl AS AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE CO.



WITNESS MY HAND AND OFFICIAL SEAL  
Linda Stegman  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 12-17-2018

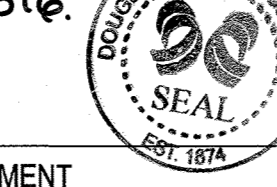
#### SURVEYOR'S CERTIFICATE

I, Chip Beckstrom, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.



#### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:11 PM ON THE 23rd DAY OF September, 2016 AT RECEPTION NO. 2016062316.



DOUGLAS COUNTY CLERK AND RECORDER  
BY: Amberana  
DEPUTY

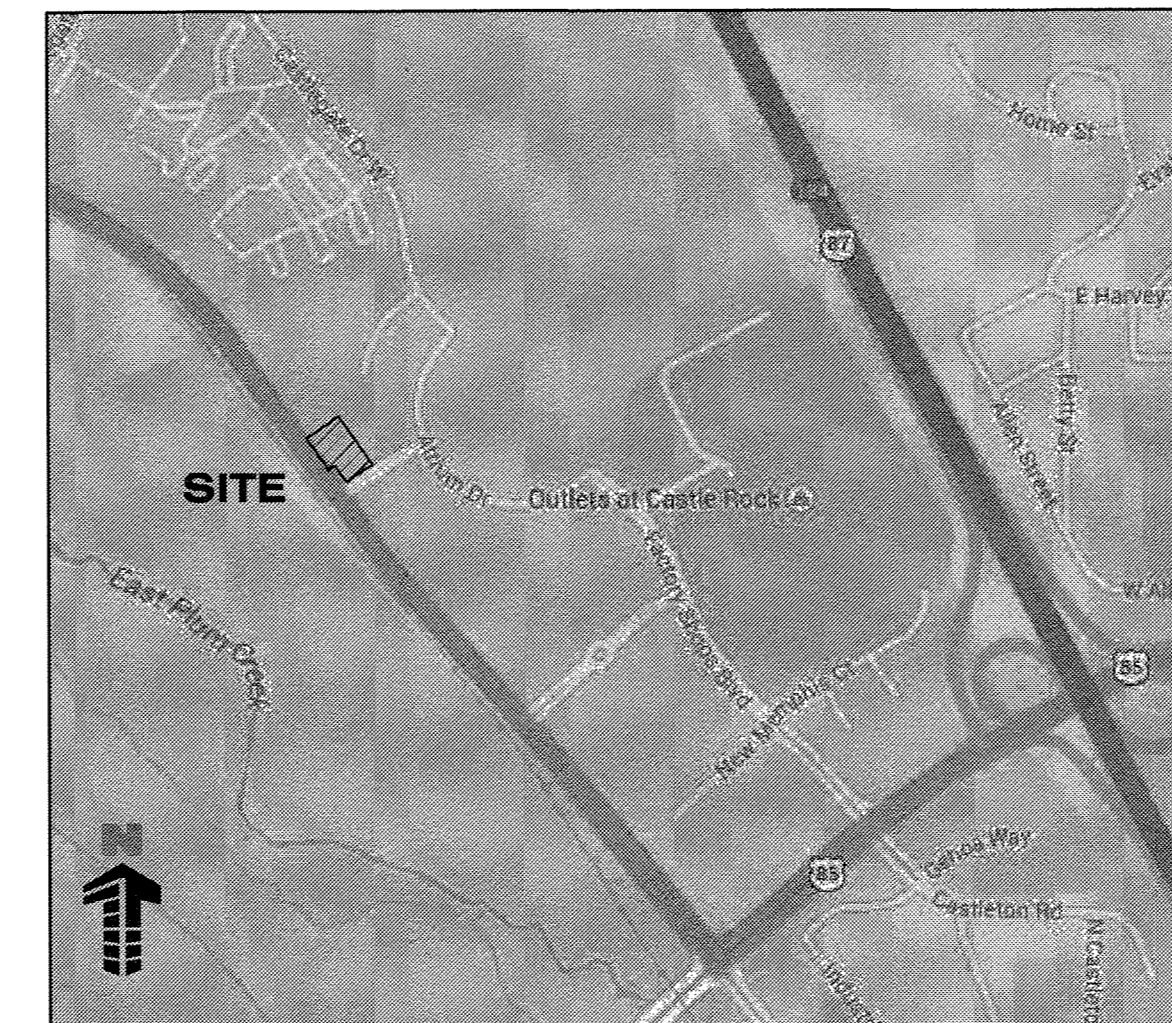
#### WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MINORAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON THE 22ND DAY OF JULY, 2015 AT RECEPTION NO. 2015051482 AND ACCORDINGLY 4.33 SFE ARE DEBITED FROM THE WATER BANK.

#### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

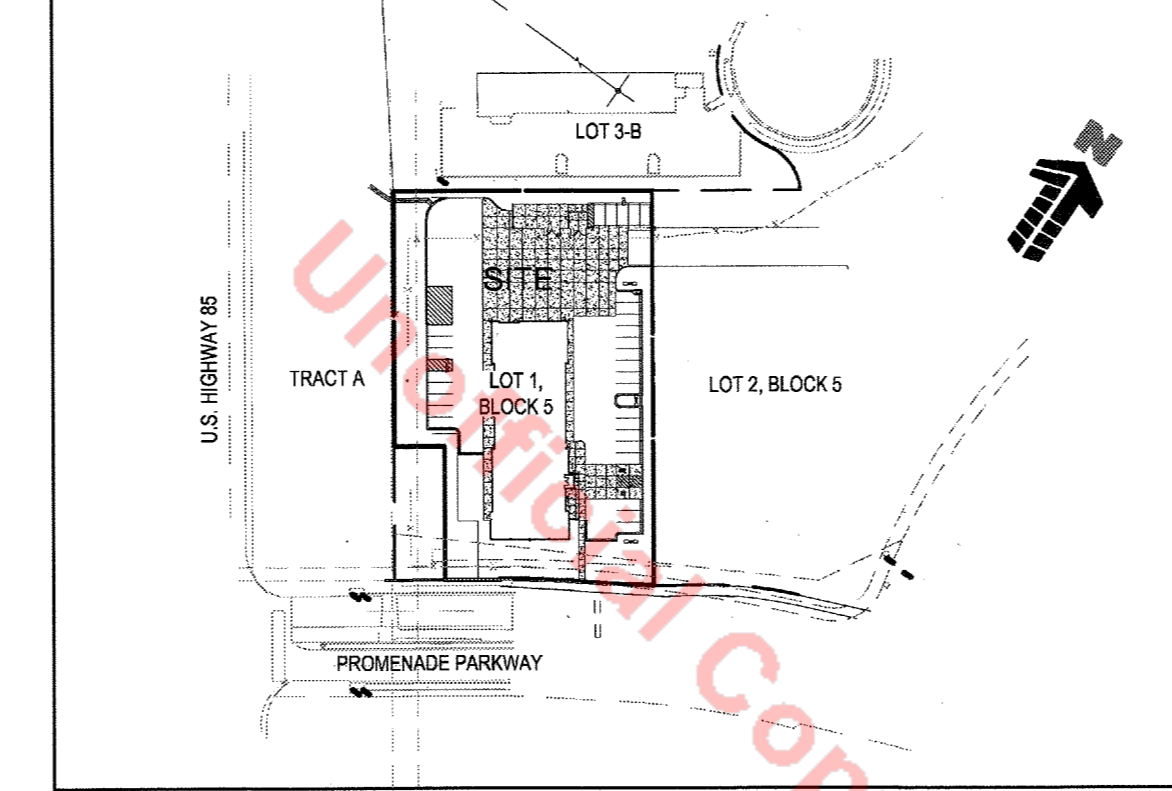
THIS SITE DEVELOPMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 23 DAY OF August, 2016

Director of Development Services



### VICINITY MAP

SCALE: 1"=100'



### SITE MAP

SCALE: 1"=150'

### SHEET INDEX

DESCRIPTION	SHEET No.
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LANDSCAPE DETAILS	8 OF 9
ARCHITECTURAL ELEVATIONS	9 OF 9

### SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUCCESSORS OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 20% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUCCESSOR OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X". AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 090302107G. LAST REVISED MARCH 16, 2016. NO OFFICE CALCULATION OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.
- ACCORDING TO THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLAND INVENTORY MAP WEBSITE AS RESEARCHED ON NOVEMBER 18, 2015, THE SUBJECT PROPERTY IS NOT LOCATED IN THE FRESHWATER EMERGENT WETLAND OR POSTED AS SUCH.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAN AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAN.
- THIS SITE IS ZONED PROMENADE AT CASTLE ROCK PD AS RECORDED (RECEPTION NO. 2015 07 6821) WITH THE DOUGLAS COUNTY CLERK AND RECORDER.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 8-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY. BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 28 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 28 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

SITE DATA : SUMMARY TABLE			
ZONING:	PROMENADE AT CASTLE ROCK PD		
AREA:	57,419 S.F.	1.32 AC.	
BUILDING GROUND COVERAGE:			25% ALLOWED
GROSS FLOOR AREA:	10,078 S.F.		
GROSS LEASABLE AREA:	10,078 S.F.		
BUILDING SETBACKS:			
FRONT:	15 FEET		
REAR:	10 FEET		
SIDE:	10 FEET		
BUILDING SEPARATION:			
NORTH:	N/A		
SOUTH:	N/A		
EAST:	N/A		
WEST:	N/A		
PARKING:			
REQUIRED:	1 PER EMPLOYEE + 3 PER SERVICE BAY (12 EMPLOYEES + 6 SERVICE BAYS)	30	SPACES
PROVIDED:			
STANDARD		31	SPACES
HANDICAP		1	SPACES
HIC VAN		1	SPACES
PROVIDED TOTAL		33	SPACES
BICYCLE PARKING			
REQUIRED:		2	SPACES
PROVIDED:		5	SPACES
MAXIMUM BUILDING HEIGHTS:		50' MAX	
LES SCHWAB TIRE CENTER		25'-4"	
LAND COVERAGE SUMMARY		S.F.	% AC.
TOTAL BUILDINGS:		57,419	100% 1.32
LSTC	RETAIL	10,078	18% 0.23
TOTAL BUILDING AREA		10,078	18% 0.23
LANDSCAPE AREA NOT WITHIN PARKING AREA		8,557	15% 0.20
HARDSCAPE AREA NOT WITHIN PARKING AREA		3,544	6% 0.08
PARKING LOT AREA		25,033	44% 0.57
PARKING LOT LANDSCAPE 10% REQUIRED		2,404	10% 0.06
TOTAL LANDSCAPE 10% REQUIRED		10,961	19% 0.25

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

SITE DEVELOPMENT PLAN  
PROMENADE AT CASTLE ROCK  
LES SCHWAB TIRE CENTER  
U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
CASTLE ROCK, COLORADO

#	Date	Issue / Description	Int.
1	1/22/16	1ST TCR SUBMITTAL	JDP
2	4/05/16	2ND TCR SUBMITTAL	JDP
3	5/06/16	3RD TCR SUBMITTAL	JDP
4	6/13/16	FINAL SUBMITTAL	JDP

Project No:	LST000065
Drawn By:	RDG
Checked By:	CMS
Date:	DECEMBER 2015

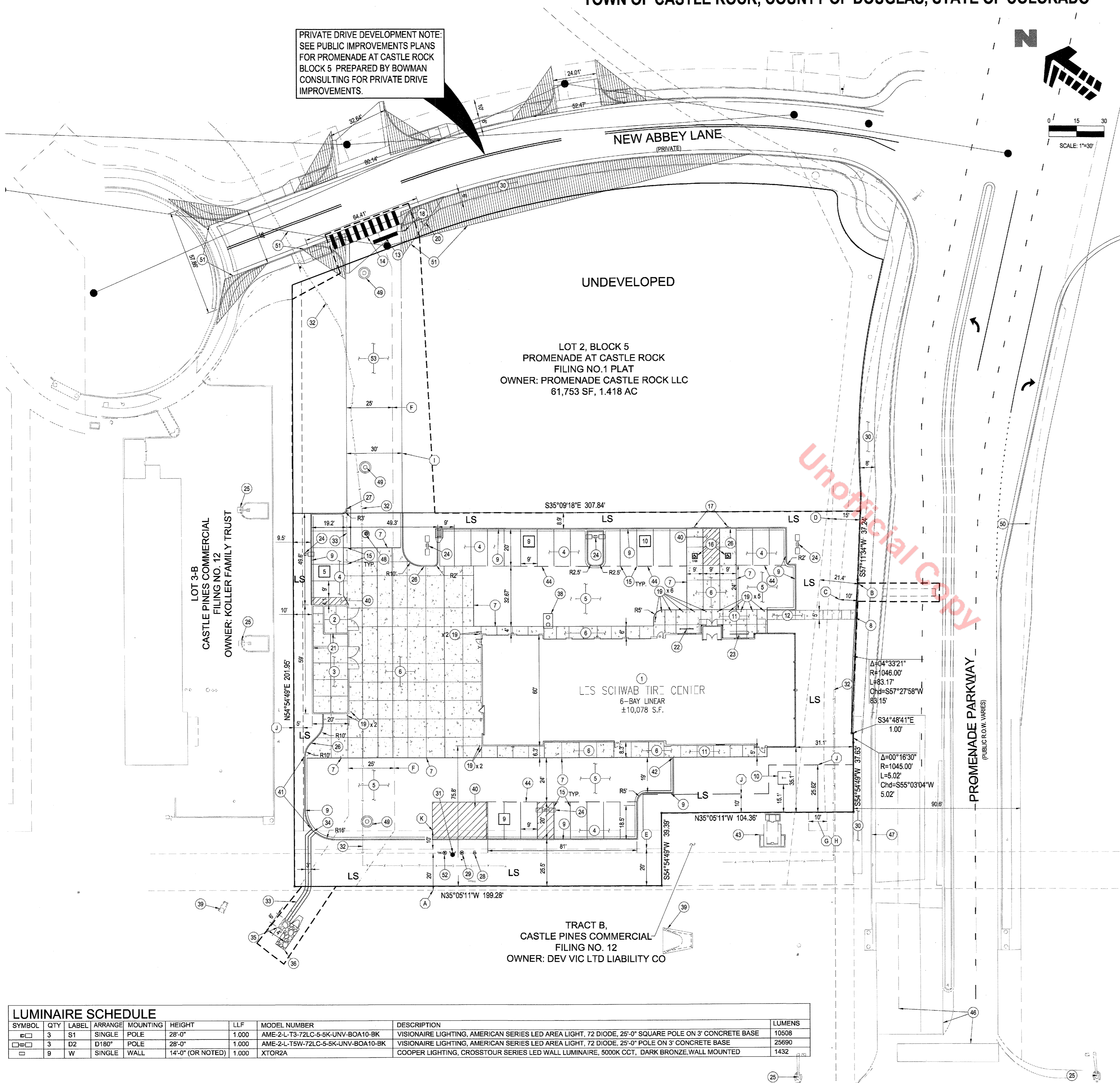
COVER SHEET

SDP16-0004- SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK  
FILING NO. 1, AMENDMENT NO. 5

# SITE DEVELOPMENT PLAN

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT NO. 5  
LOCATED IN THE NW 1/4 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PRIVATE DRIVE DEVELOPMENT NOTE:  
SEE PUBLIC IMPROVEMENTS PLANS  
FOR PROMENADE AT CASTLE ROCK  
BLOCK 5 PREPARED BY BOWMAN  
CONSULTING FOR PRIVATE DRIVE  
IMPROVEMENTS.



### SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- - - EASEMENT BOUNDARY LINE
- EXISTING INFRASTRUCTURE TO REMAIN
- EXISTING INFRASTRUCTURE TO BE REMOVED
- PROPOSED IMPROVEMENTS BY OTHERS
- PROPOSED NEW IMPROVEMENTS
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED SIDEWALK
- PARKING COUNT
- SITE LIGHTING
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED REGULATORY SIGN
- PROPOSED INLET
- PROPOSED LANDSCAPING
- BOUNDARY FOR STANDARD TO HEAVY ASPHALT
- PROPOSED LIMITS OF CONSTRUCTION
- PROPOSED MANHOLE BY OTHERS
- SITE DISTANCE LINE

### EASEMENT SCHEDULE

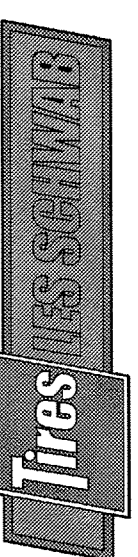
- (A) 20' WATER EASEMENT (BK. 1401-PG.535)
- (B) DRAINAGE EASEMENT (REC. NO. 2006075520)
- (C) 10' IREA EASEMENT (BK.1577-PG.456)
- (D) 15' UTILITY EASEMENT (REC. NO.2015057659)
- (E) 20' UTILITY EASEMENT (REC. NO. 2016028785)
- (F) 25' DRAINAGE EASEMENT (REC. NO. 2016028785)
- (G) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 2 (REC. NO. 20144033265)
- (H) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 3 (REC. NO. 20144033260)
- (I) PROPOSED SHARED ACCESS EASEMENT PER SEPARATE DOCUMENT
- (J) PROPOSED DRY UTILITY EASEMENT BY SEPARATE DOCUMENT
- (K) 10' DRY UTILITY EASEMENT (REC. 2016028785)

### SITE SCHEDULE

- (1) PROPOSED 10,078 SF LES SCHWAB TIRE CENTER.
- (2) PROPOSED 220 SF CMU TRASH ENCLOSURE.
- (3) PROPOSED 960 SF CMU TIRE RECYCLE ENCLOSURE.
- (4) PROPOSED STANDARD DUTY ASPHALT PAVING, SEE DETAIL 2/C1.5.
- (5) PROPOSED HEAVY DUTY ASPHALT PAVING, SEE DETAIL 2/C1.5.
- (6) PROPOSED CONCRETE PAVING, SEE DETAIL 7/C1.5.
- (7) PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE, SEE DETAIL 8/C1.5.
- (8) CONNECT TO EXISTING CONCRETE WITH AN EXPANSION JOINT; SEE DETAIL 3/C1.6.
- (9) PROPOSED 6-INCH CONCRETE CURB WITH A 1-FOOT DIFFER SECTION; SEE DETAIL 1 & 8/C1.5. REFERENCE GRADING PLAN, SHEET C2.1, FOR DIFFERENTIATION OF CATCH OR SPILL GUTTER CONFIGURATION.
- (10) PROPOSED TRANSFORMER. REFERENCE UTILITY PLAN, SHEET C4.1, FOR CONSTRUCTION REQUIREMENTS.
- (11) PROPOSED 4-INCH MINIMUM THICK CONCRETE SIDEWALK AT BUILDING WITH A LIGHT BROOM FINISH.
- (12) PROPOSED CONCRETE SIDEWALK (A=6" THICK) PER TCD CRITERIA; SEE DETAIL 10/C1.6.
- (13) PROPOSED 2-FOOT WIDE BY 10-FOOT LONG SOLID WHITE STOP BAR PER TCD CRITERIA; SEE DETAIL 8/C1.6.
- (14) PROPOSED THERMOPLASTIC CROSSWALK STRIPES PER TCD CRITERIA; SEE DETAIL 8/C1.6.
- (15) PROPOSED 4-INCH SOLID WHITE PARKING STRIPES, TYPICAL AS SHOWN.
- (16) PROPOSED SYMBOL OF ACCESSIBILITY AND, ONLY WHERE INDICATED, VAN TEXT; SEE DETAIL 14/C1.5 AND 17/C1.5.
- (17) PROPOSED POLE AND ACCESSIBLE PARKING SIGN, INCLUDE "VAN" PLACARD CORRESPONDING (ONLY) TO SIMILARLY PAINT APPLIED TEXT; SEE DETAIL 15/C1.5 AND 17/C1.5.
- (18) PROPOSED POLE AND "STOP" SIGN (R1-1 PER MUTCD); SEE DETAIL 15/C1.5.
- (19) PROPOSED CONCRETE FILLED PIPE BOLLARD; SEE DETAIL 5/C1.6.
- (20) PROPOSED FIRE HYDRANT BY OTHERS
- (21) PROPOSED MASONRY BLOCK TRASH ENCLOSURE AND TIRE RECYCLE STORAGE. REFERENCE ARCHITECTURAL PLANS FOR CONSTRUCTION REQUIREMENTS.
- (22) PROPOSED 5-SPACE ALUMINUM BIKE RACK. REFERENCE ARCHITECTURAL PLANS.
- (23) PROPOSED SITE FURNITURE (BENCH), REFERENCE ARCHITECTURAL PLANS.
- (24) PROPOSED LIGHT POLE BASE. SEE DETAIL 13/C1.5. REFERENCE PHOTOMETRIC PLAN FOR POLE AND FIXTURE REQUIREMENTS.
- (25) EXISTING STREET LIGHTS TO REMAIN.
- (26) PROPOSED 6-INCH MONOLITHIC CURB AND DRIVE; SEE DETAIL 3/C1.5.
- (27) END PROPOSED CURB & GUTTER.
- (28) FIRE DEPARTMENT CONNECTION. REFERENCE UTILITY PLAN, SHEET C4.1
- (29) PROPOSED 1-INCH WATER METER. REFERENCE UTILITY PLAN, SHEET C4.1
- (30) EXISTING SIDEWALK/TRAIL TO REMAIN
- (31) PROPOSED FIRE HYDRANT ASSEMBLY PER TCD CRITERIA; SEE DETAIL 1/C4.5.
- (32) EXISTING FENCE TO BE REMOVED UP TO PROPERTY LINE
- (33) PROPOSED CONCRETE VALLEY PAN (W=4 FEET), SEE DETAIL 4/C2.1.
- (34) PROPOSED CURB OPENING (W=4 FEET)
- (35) PROPOSED RIPRAP. REFERENCE GRADING PLAN, SHEET C2.1.
- (36) PROPOSED CULVERT OUTFALL BY OTHERS
- (37) NOT USED.
- (38) PROPOSED SAND/OIL INTERCEPTOR. REFERENCE PLUMBING PLANS FOR CONSTRUCTION REQUIREMENTS.
- (39) EXISTING DRAINAGE STRUCTURE TO REMAIN
- (40) PROPOSED 4-INCH SOLID WHITE STRIPES AT 45-DEGREE ANGLE, 3 FEET OFF-CENTER
- (41) PROPOSED DEEPEMED CURB, SEE DETAIL 4/C1.5.
- (42) PROPOSED VERTICAL CURB & GUTTER TERMINATION, SEE DETAIL 10/C1.6.
- (43) RETAIL IDENTIFICATION SIGN BY OTHERS
- (44) BOUNDARY BETWEEN PROPOSED STANDARD AND HEAVY DUTY ASPHALT
- (45) NOT USED
- (46) EXISTING STRIPING TO REMAIN
- (47) EXISTING CURB TO REMAIN
- (48) PROPOSED 5" DIA. MANHOLE. REFERENCE UTILITY PLAN, SHEET C4.1
- (49) PROPOSED MANHOLE BY OTHERS
- (50) APPROXIMATE ROW LINE
- (51) SIGHT DISTANCE & SAFETY TRIANGLE LINES
- (52) PROPOSED IRRIGATION METER. REFERENCE IRRIGATION PLAN, SHEET IR.1.
- (53) PROPOSED SHARED ACCESS DRIVE BY OTHERS

### LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGE	MOUNTING	HEIGHT	LLF	MODEL NUMBER	DESCRIPTION	LUMENS
□	3	S1	SINGLE	POLE	28'-0"	1.000	AME-2-L-73-T2L-C-5-6K-UNV-BOA10-9K	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" SQUARE POLE ON 3" CONCRETE BASE	10508
□	3	D2	D180°	POLE	28'-0"	1.000	AME-2-L-75W-T2L-C-5-6K-UNV-BOA10-9K	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" POLE ON 3" CONCRETE BASE	25690
□	9	W	SINGLE	WALL	14'-0" (OR NOTED)	1.000	XTOR2A	COOPER LIGHTING, CROSSTOUR SERIES LED WALL LUMINAIRE, 5000K CCT, DARK BRONZE, WALL MOUNTED	1432



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SITE DEVELOPMENT PLAN  
PROMENADE AT CASTLE ROCK  
LES SCHWAB TIRE CENTER  
  
U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
CASTLE ROCK, COLORADO

#	Date	Issue / Description	Int.
1	1/22/16	1ST TCR SUBMITTAL	JDP
2	4/05/16	2ND TCR SUBMITTAL	JDP
3	5/08/16	3RD TCR SUBMITTAL	JDP
4	6/13/16	FINAL SUBMITTAL	JDP

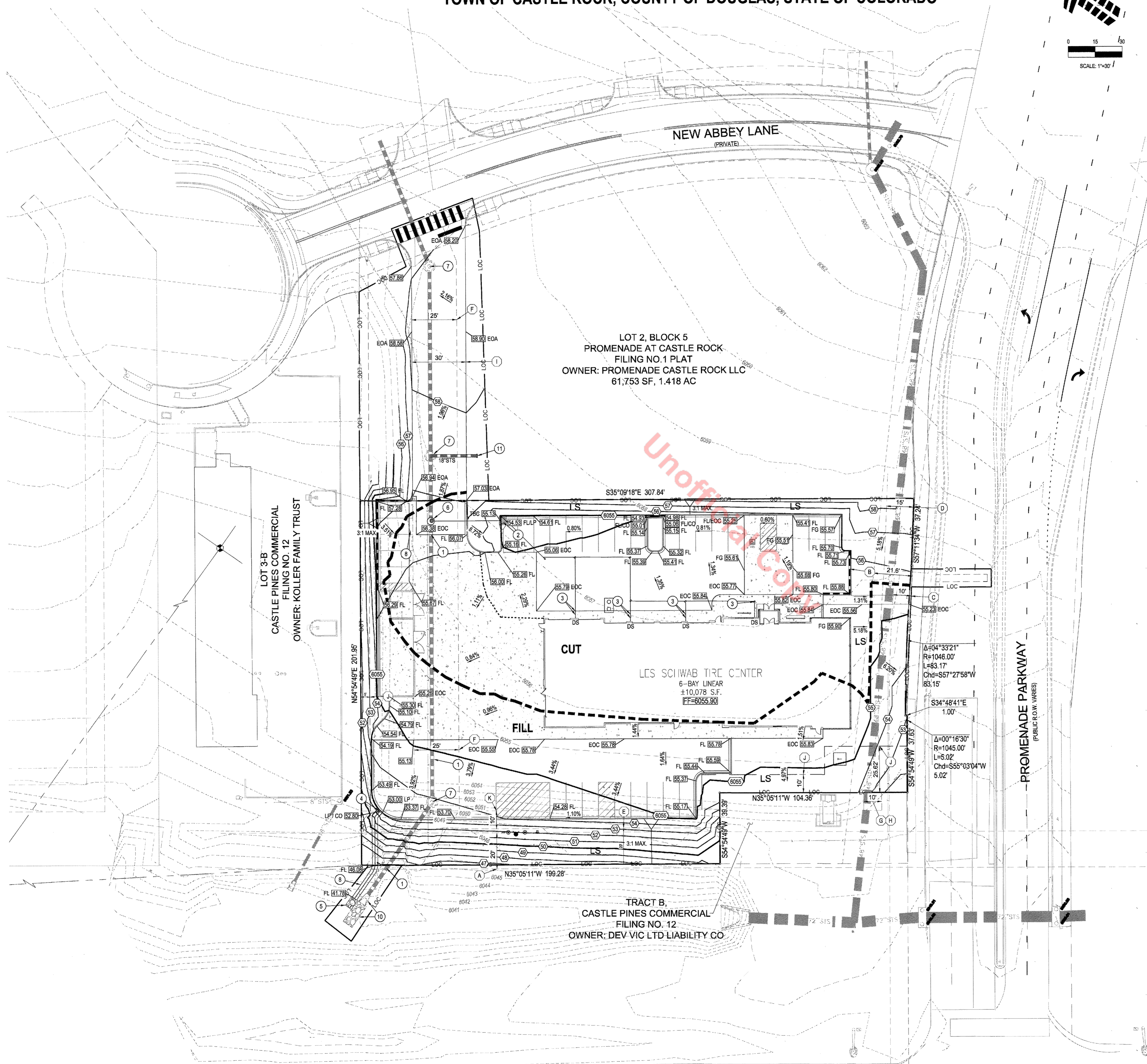
Project No: LST000055  
 Drawn By: CMS  
 Checked By: JDP  
 Date: DECEMBER 2015

SITE PLAN

SDP16-0004- SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK  
FILING NO. 1, AMENDMENT NO. 5

# SITE DEVELOPMENT PLAN

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT NO. 5  
LOCATED IN THE NW 1/4 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED BY OTHERS
- PROPOSED NEW
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CATCH CURB & GUTTER
- PROPOSED SPILL CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED SIDEWALK
- SITE LIGHTING
- STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE BY OTHERS
- PROPOSED REGULATORY SIGN
- PROPOSED INLET
- PROPOSED LANDSCAPING
- PROPOSED MANHOLE COVER
- EXISTING MANHOLE BY OTHERS
- CUT/FILL DEMARCATION LINE
- GRADE BREAKLINE
- TCR TOWN OF CASTLE ROCK

### GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 45.00 EXISTING SPOT ELEVATION
- 45.0 PROPOSED SPOT ELEVATION
- 45.5 PROPOSED TOP OF CURB ELEVATION
- 45.0 PROPOSED FLOWLINE ELEVATION
- 5105.5 EXISTING SPOT ELEVATION
- FF FINISHED FLOOR
- TOG TOP OF GRATE
- TC TOP OF CURB
- FL FLOWLINE
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- CO CURB OPENING
- EG EXISTING GROUND
- BOW BACK OF WALK
- EOC EDGE OF CONCRETE
- EOA EDGE OF ASPHALT
- FG FINISHED GRADE
- TW FINISHED GRADE AT TOP OF WALL
- BW FINISHED GRADE AT BOTTOM OF WALL
- STS EXISTING STORM SEWER (LESS THAN 12')
- STS EXISTING STORM SEWER (GREATER THAN 12')
- STS PROPOSED STORM SEWER (LESS THAN 12')
- STS PROPOSED STORM SEWER (GREATER THAN 12')
- DS PROPOSED DOWNSPOUT BUILDING CONNECTION

### NOTES

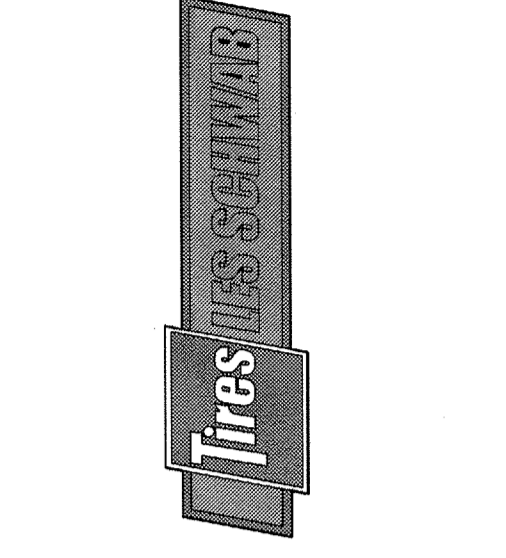
1. ADD 6000 FEET TO ALL SPOT ELEVATIONS.
2. ALL PROPOSED STORM PIPE 15" AND LARGER SHALL BE CLASS III REINFORCED CONCRETE PIPE. ALL PROPOSED STORM PIPE LESS THAN 15" WILL BE SDR-35 PVC.
3. ALL GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL FIELD VERIFY GRADES IN THE LOCATIONS INDICATED AT THE TIME OF CONSTRUCTION. CARE SHALL BE TAKEN TO MATCH EXISTING GRADES AT PROPERTY LINE TO ENSURE A SMOOTH TRANSITION BETWEEN PROPOSED ASPHALT PAVEMENT AND ADJACENT PROPERTY.
5. ELEVATIONS AT CURB INLETS ARE TOP OF CURB. CONTRACTOR TO CONFORM TO THE STRUCTURES STANDARD DETAIL.
6. NO HAULING OF MATERIAL ON OR OFFSITE CAN BE MADE WITHOUT A TOWN APPROVED HAUL ROUTE. HAUL ROUTE TO BE DETERMINED BY GC AND COORDINATED FOR APPROVAL WITH TOWN.

### SCHEDULE

- 1) PROPOSED 24-INCH STORM SEWER BY OTHERS (PROMENADE CASTLE ROCK, LLC).
- 2) INSTALL TCR TYPE 18 COMBINATION INLET (SINGLE); SEE DETAIL 4/C4.8.
- 3) PROPOSED PVC STORM SEWER FOR ROOF DRAINS; REFERENCE C4.1 FOR SIZE.
- 4) PROPOSED CURB OPENING (W=4 FEET); SEE DETAIL 9/C1.8.
- 5) PROPOSED TYPE VL RIPRAP PAD 18" THICK (4 FEET WIDE X 6 FEET LONG).
- 6) PROPOSED CDOT MANHOLE (5-FOOT DIAMETER); SEE DETAIL 1/C4.8.
- 7) PROPOSED MANHOLE BY OTHERS (PROMENADE CASTLE ROCK, LLC).
- 8) PROPOSED CONCRETE VALLEY PAN (W=4 FEET); SEE DETAIL THIS SHEET.
- 9) PROPOSED CHASE DRAIN; SEE DETAIL THIS SHEET.
- 10) PROPOSED FLARED END SECTION AND RIPRAP PAD BY OTHERS (PROMENADE CASTLE ROCK, LLC).
- 11) PROPOSED 18-INCH RCP STORM SEWER AND STUB BY OTHERS (PROMENADE CASTLE ROCK, LLC).

### EASEMENT SCHEDULE

- (A) 20' WATER EASEMENT (BK. 1401-PG 535)
- (B) DRAINAGE EASEMENT (REC. NO. 2006075620)
- (C) 10' IREA EASEMENT (BK 1577-PG 456)
- (D) 15' UTILITY EASEMENT (REC. NO. 2015057859)
- (E) 20' UTILITY EASEMENT (REC. NO. 2016028785)
- (F) 25' DRAINAGE EASEMENT (REC. NO. 2016028785)
- (G) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 2 (REC. NO. 20144033265)
- (H) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 3 (REC. NO. 20144033280)
- (I) PROPOSED SHARED ACCESS EASEMENT PER SEPARATE DOCUMENT
- (J) PROPOSED DRY UTILITY EASEMENT BY SEPARATE DOCUMENT
- (K) 10' DRY UTILITY EASEMENT (REC. NO. 2016028785)



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SITE DEVELOPMENT PLAN  
PROMENADE AT CASTLE ROCK  
LES SCHWAB TIRE CENTER  
U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
CASTLE ROCK, COLORADO

#	Date	Issue / Description	Init.
1	1/22/16	1ST TCR SUBMITTAL	JDP
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3	5/06/16	3RD TCR SUBMITTAL	JDP
4	6/13/16	FINAL SUBMITTAL	JDP

Project No: LST000055  
 Drawn By: RDG  
 Checked By: BMG  
 Date: NOVEMBER 2015

GRADING PLAN

LES SCHWAB TIRE CENTER, Castle Rock, CO 80109, 1401-PG 535, 1577-PG 456, 2015-04-16

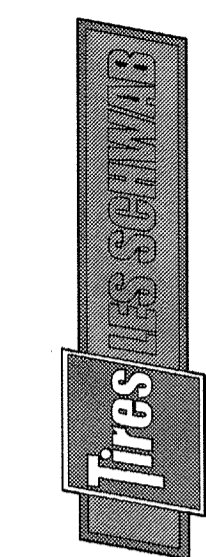
# SITE DEVELOPMENT PLAN

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT NO. 5  
LOCATED IN THE NW 1/4 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Planning, Architecture, Engineering,  
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**SITE DEVELOPMENT PLAN**  
**PROMENADE AT CASTLE ROCK**  
**LES SCHWAB TIRE CENTER**  
  
U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
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Project No:	LST000055
Drawn By:	RDG
Checked By:	BMG
Date:	NOVEMBER 2015

UTILITY PLAN

### SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED BY OTHERS
- PROPOSED NEW
- PROPOSED SIGNAL CENTERLINE
- PROPOSED SAWCUT
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED SIDEWALK
- SITE LIGHTING
- STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE COVER
- PROPOSED REGULATORY SIGN
- PROPOSED TRANSFORMER
- PROPOSED INLET
- PROPOSED MANHOLE BY OTHERS

### UTILITY LEGEND

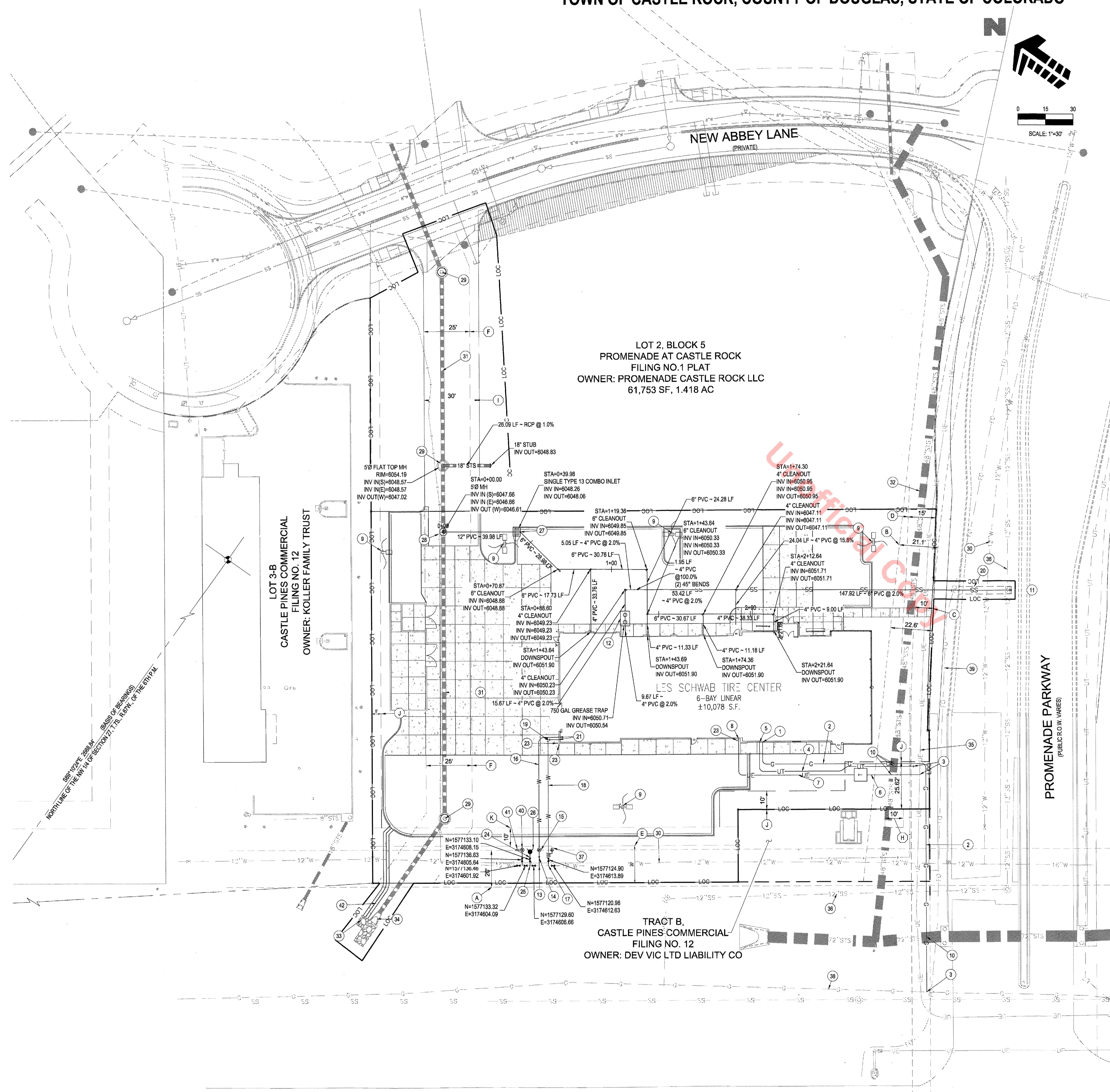
- EXISTING WATER LINE
- WATER LINE BY OTHERS
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- SANITARY SEWER BY OTHERS
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- STORM SEWER BY OTHERS
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER (12" OR LESS)
- EXISTING GAS LINE
- G --- PROPOSED GAS LINE
- EXISTING UNDERGROUND ELECTRICAL
- UE --- PROPOSED UNDERGROUND ELECTRICAL
- CATV --- EXISTING CABLE TELEVISION
- UT --- EXISTING UNDERGROUND TELEPHONE
- UT --- PROPOSED UNDERGROUND TELEPHONE
- FO --- EXISTING FIBER OPTIC LINE
- FO --- PROPOSED FIBER OPTIC LINE

### SCHEDULE

- 1 GAS METER, BOLLARD PROTECTION, AND SERVICE ENTRY TO THE BUILDING. REFERENCE ARCHITECTURAL PLANS FOR CONSTRUCTION REQUIREMENTS. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY SERVICE PROVIDER.
- 2 PROPOSED ROUTING OF GAS SERVICE. CONTRACTOR TO COORDINATE FINAL LOCATION AND INSTALLATION WITH THE UTILITY SERVICE PROVIDER.
- 3 CONTRACTOR TO COORDINATE EXACT POINT OF CONNECTION TO EXISTING UTILITY SERVICE WITH THE APPROPRIATE UTILITY PROVIDER.
- 4 PROPOSED ROUTING OF TELECOMMUNICATION SERVICE
- 5 TELECOMMUNICATIONS SERVICE ENTRY TO BUILDING. REFERENCE BUILDING AND ELECTRICAL PLANS FOR CONSTRUCTION REQUIREMENTS.
- 6 PROPOSED LOCATION OF PRIMARY ELECTRICAL SERVICE CONNECTION AND TRANSFORMER. CONTRACTOR TO COORDINATE THE FINAL LOCATION AND INSTALLATION WITH THE UTILITY SERVICE PROVIDER.
- 7 PROPOSED ROUTING OF SECONDARY ELECTRIC. REFERENCE BUILDING ELECTRICAL PLANS. CONTRACTOR TO COORDINATE WITH UTILITY SERVICE PROVIDER.
- 8 PROPOSED PRIMARY DISCONNECT, CT, CAN, AND METER ON WEST BUILDING FACE. COORDINATE WITH UTILITY PROVIDER. SEE BUILDING ELECTRICAL PLAN.
- 9 PROPOSED 3 #10, 24-INCH CONDUITS FOR SITE LIGHTING. TYPICAL ALL LIGHTING. REFERENCE SITE ELECTRICAL PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
- 10 CAUTION - UTILITY CROSSING! CONTRACTOR TO COORDINATE WITH DRY UTILITY PROVIDER TO ASSURE ADEQUATE CLEARANCE BETWEEN EXISTING/PROPOSED DRY UTILITY AND WET UTILITY INSTALLATION.
- 11 PROPOSED SERVICE WYE CONNECTION TO EXISTING 12-INCH PVC SANITARY MAIN; INV EXIST 12" SS = 4804.15, CONTRACTOR TO FIELD VERIFY INVERT PRIOR TO CONSTRUCTION.
- 12 PROPOSED 750 GALLON SAND/OIL INTERCEPTOR; SEE DETAIL 1/C4.7. REFERENCE PLUMBING PLANS FOR CONSTRUCTION SPECIFICATIONS
- 13 CONNECT TO EXISTING 12-INCH MAIN WITH NEW 1-INCH SADDLE TAP AND CORPORATION STOP. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO COMMENCING CONSTRUCTION; SEE DETAIL 5/C4.3
- 14 PROPOSED 14 LF 1-INCH TYPE K COPPER WATER DOMESTIC SERVICE (BETWEEN MAIN AND METER).
- 15 PROPOSED 1-INCH METER PIT AND CURB STOP. UPSIZE TO 1-1/2-INCH AT 5-FEET UPSTREAM. (BUILDING SIDE OF METER). SEE DETAIL 6/C4.5.
- 16 INSTALL 61 LF OF 1.5-INCH TYPE K COPPER DOMESTIC WATER SERVICE WITH LONG RADIIUS SWEEPS AT ALL CHANGES IN DIRECTION.
- 17 CONNECT TO EXISTING 12-INCH WATER MAIN WITH 12-INCH x 8-INCH SWIVEL TEE AND INSTALL 8-INCH GATE VALVE. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO COMMENCING CONSTRUCTION.
- 18 PROPOSED 74 LF OF 9-INCH FULLY RESTRAINED DUCTILE IRON FIRE SUPPRESSION SERVICE PIPE W/ TRACER WIRE PER TOWN OF CASTLE ROCK SPECIFICATIONS.
- 19 INSTALL 8-INCH 90-DEGREE BEND AND THRUST BLOCKING; SEE DETAIL 2/C4.5.
- 20 APPROXIMATE LIMITS OF STREET CUT FOR UTILITY CONSTRUCTION. ACTUAL LIMITS TO BE DETERMINED BY CONTRACTOR.
- 21 PROPOSED DOMESTIC AND FIRE SUPPRESSION ENTRY TO BUILDING. REFERENCE BUILDING PLUMBING PLANS TO COORDINATE EXACT ENTRY POINT AND DETAILS BACKFLOW PREVENTER AND OTHER APPURTENANCES.
- 22 EXISTING UTILITY TO REMAIN.
- 23 PROPOSED BOLLARD AT RAMP BUILDING CONNECTION. REFERENCE BUILDING SITE PLANS.
- 24 PROPOSED FIRE HYDRANT 13 LF 6" DUCTILE IRON WATER LINE CONNECTION.
- 25 FIRE HYDRANT WATER LINE CONNECTION TO MAIN WITH 12" X 6" SWIVEL TEE AND 6" GATE VALVE
- 26 PROPOSED FIRE HYDRANT ASSEMBLY; SEE DETAIL 1/C4.5.
- 27 PROPOSED TYPE 16 INLET IN SLUMP. SINGLE; INV = 4048.80; SEE DETAIL 4/C4.8.
- 28 PROPOSED STORM SEWER MANHOLE; SEE DETAIL 1/C4.8.
- 29 PROPOSED STORM SEWER MANHOLE BY OTHERS (PROMENADE CASTLE ROCK LLC)
- 30 EXISTING 12" WATER TO REMAIN
- 31 PROPOSED 24-INCH RCP STORM SEWER BY OTHERS (PROMENADE CASTLE ROCK LLC)
- 32 EXISTING 48-INCH RCP STORM SEWER
- 33 EXISTING RIPRAP (6 FEET X 4 FEET). REFERENCE GRADING PLAN
- 34 PROPOSED FLARED END SECTION AND RIPRAP PAD BY OTHERS (PROMENADE CASTLE ROCK LLC)
- 35 EXISTING UNDERGROUND ELECTRIC TO REMAIN
- 36 EXISTING 12" SANITARY SEWER TO REMAIN
- 37 PROPOSED FIRE DEPARTMENT CONNECTION; SEE DETAIL 8/C4.5
- 38 EXISTING UNDERGROUND GAS TO REMAIN
- 39 EXISTING UNDERGROUND COMMUNICATIONS TO REMAIN
- 40 PROPOSED IRRIGATION METER. REFERENCE IRRIGATION PLAN.
- 41 PROPOSED IRRIGATION SERVICE CONNECTION.
- 42 PROPOSED CONCRETE VALLEY PAN (W = 4 FEET); SEE DETAIL 4/C2.1.

### EASEMENT SCHEDULE

- A 20' WATER EASEMENT (BK. 1401-PG.533)
- B DRAINAGE EASEMENT (REC. NO. 2009075520)
- C 10' AREA EASEMENT (BK.1577-PG.458)
- D 15' UTILITY EASEMENT (REC. NO.2015057859)
- E 20' UTILITY EASEMENT (REC. NO. 2018028785)
- F 25' DRAINAGE EASEMENT (REC. NO. 2018028785)
- G PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 2 (REC. NO. 20144033265)
- H PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 3 (REC. NO. 20144033265)
- I PROPOSED SHARED ACCESS EASEMENT PER SEPARATE DOCUMENT
- J PROPOSED DRY UTILITY EASEMENT BY SEPARATE DOCUMENT
- K 10' DRY UTILITY EASEMENT (REC. NO. 2018028785)

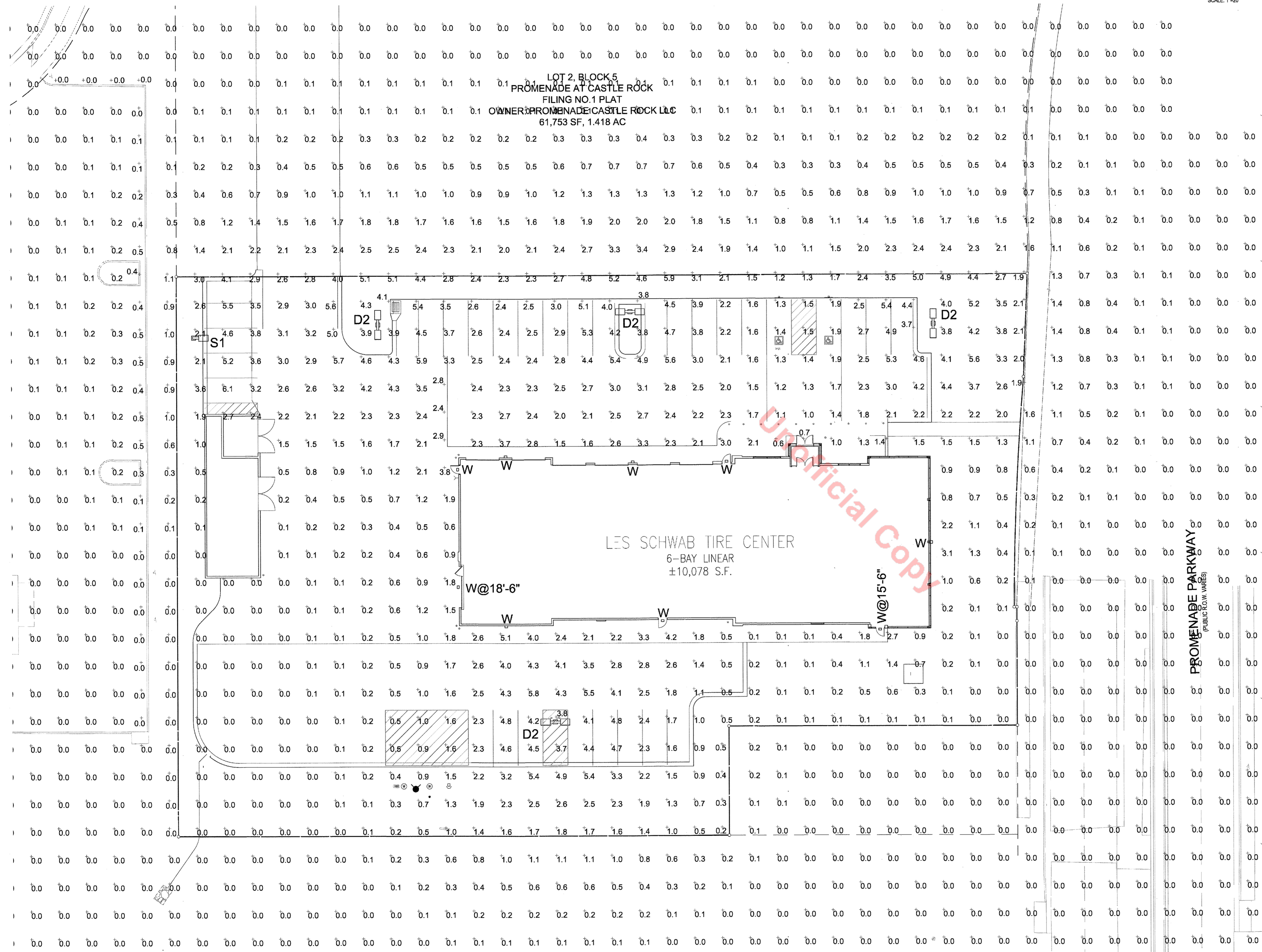
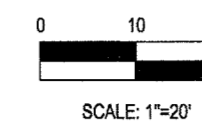
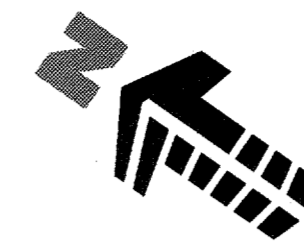


U.S. HIGHWAY 85  
(SANTA FE DRIVE)  
(PUBLIC R.O.W. VARIES)

SDP16-0004- SITE DEVELOPMENT PLAN  
LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK  
FILING NO. 1, AMENDMENT NO. 5

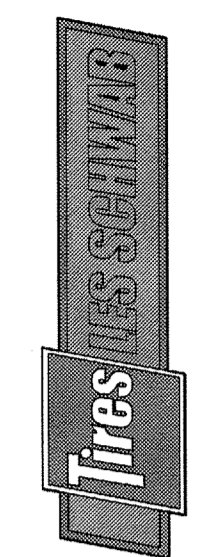
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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



### GENERAL LIGHTING PLAN NOTES:

1. CONCEPTUAL LIGHTING PLAN; FINAL LIGHTING PLAN TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS
2. LIGHT TRESPASS TO ADJACENT PROPERTIES MITIGATED BY ORIENTATING ALL FIXTURES INTO SITE AND USING A TYPE III DISTRIBUTION ON OUTER LIGHT FIXTURES.
3. ALL LIGHTS, EXCEPT THOSE REQUIRED FOR SECURITY PURPOSES, TO BE EXTINGUISHED ONE HOUR AFTER CLOSE OF BUSINESS.
4. THE FOLLOWING TYPES OF LIGHTS ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING FACADE, AND UNSHIELDED WALL PACKS



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**SITE DEVELOPMENT PLAN**  
**PROMENADE AT CASTLE ROCK**  
**LES SCHWAB TIRE CENTER**  
 U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
 CASTLE ROCK, COLORADO

#	Date	Issue / Description	Init.
1	1/22/16	1ST TCR SUBMITTAL	JDP
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Project No:	LST000055
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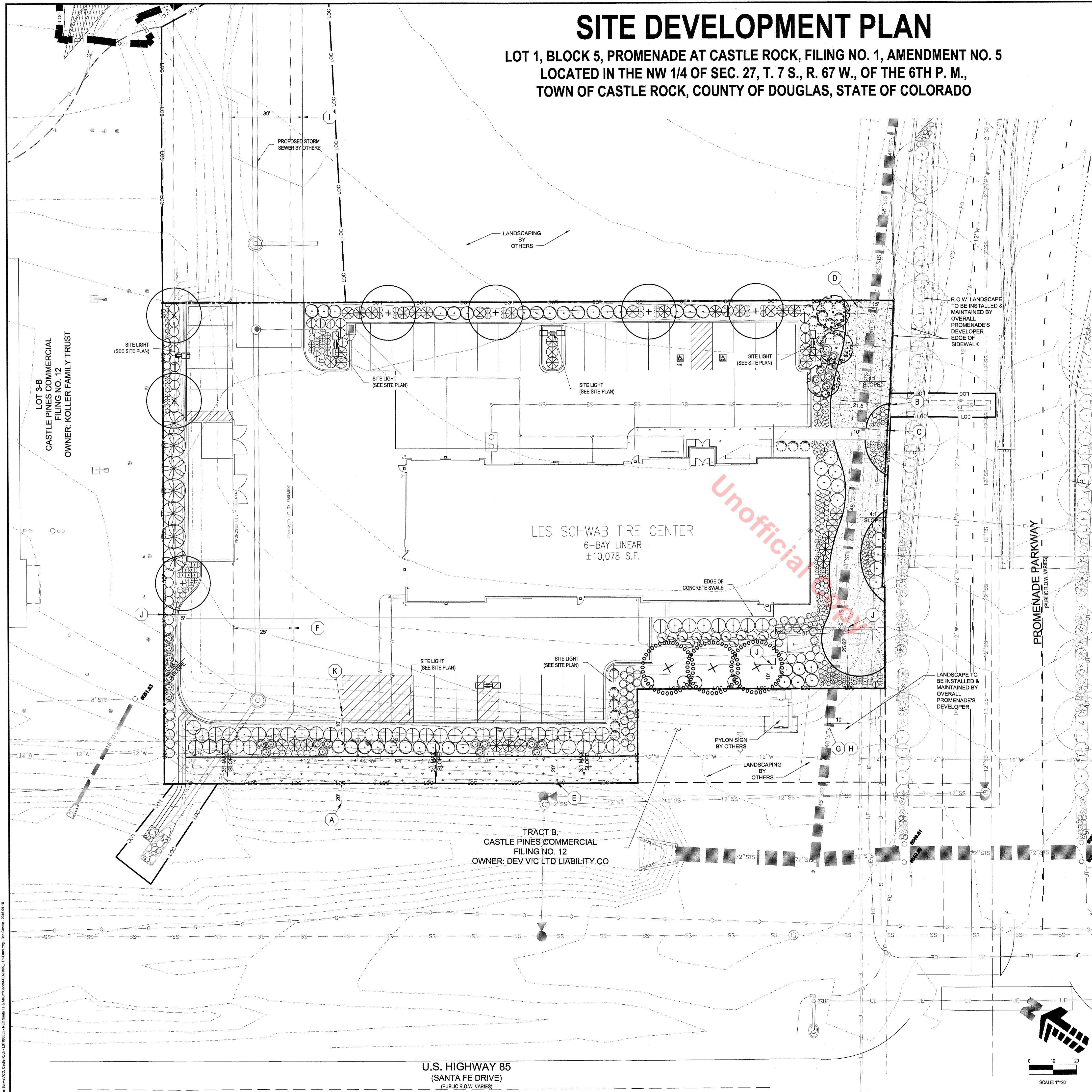
PHOTOMETRIC PLAN

SYMBOL	QTY	LABEL	ARRANGE	MOUNTING	HEIGHT	LLF	MODEL NUMBER	DESCRIPTION	LUMENS
□	1	S1	SINGLE	POLE	28'-0"	1.000	AME-2-L-T3-72LC-5-5K-UNV-BOA10-BK	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" SQUARE POLE ON 3" CONCRETE BASE	10508
□	4	D2	D180°	POLE	28'-0"	1.000	AME-2-L-T5W-72LC-5-5K-UNV-BOA10-BK	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" POLE ON 3" CONCRETE BASE	25680
□	9	W	SINGLE	WALL	14'-0" (OR NOTED)	1.000	XTOR2A	COOPER LIGHTING, CROSSTOUR SERIES LED WALL LUMINAIRE, 5000K CCT, DARK BRONZE WALL MOUNTED	1432



# SITE DEVELOPMENT PLAN

LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK, FILING NO. 1, AMENDMENT NO. 5  
 LOCATED IN THE NW 1/4 OF SEC. 27, T. 7 S., R. 67 W., OF THE 6TH P. M.,  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

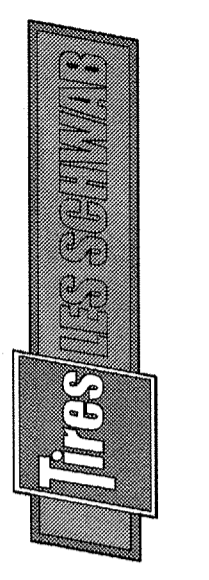


## PLANTING LEGEND

- OVERSTORY DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- TURF
- SEED
- MULCH

## EASEMENT SCHEDULE

- (A) 20' WATER EASEMENT (BK. 1401-PG.535)
- (B) DRAINAGE EASEMENT (REC. NO. 2006075520)
- (C) 10' IREA EASEMENT (BK.1577-PG.456)
- (D) 15' UTILITY EASEMENT (REC. NO.2015057859)
- (E) 20' UTILITY EASEMENT (REC. NO. 2016028785)
- (F) 25' DRAINAGE EASEMENT (REC. NO. 2016028785)
- (G) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 2 (REC. NO. 20144033265)
- (H) PROMENADE AT CASTLE ROCK METRO DISTRICT NO. 3 (REC. NO. 20144033266)
- (I) PROPOSED SHARED ACCESS EASEMENT PER SEPARATE DOCUMENT
- (J) PROPOSED DRY UTILITY EASEMENT BY SEPARATE DOCUMENT
- (K) 10' DRY UTILITY EASEMENT (REC. NO. 2016028785)



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**SITE DEVELOPMENT PLAN  
 PROMENADE AT CASTLE ROCK  
 LES SCHWAB TIRE CENTER**  
 U.S. HWY 85 (SANTA FE DR.) & PROMENADE PKWY  
 CASTLE ROCK, COLORADO

#	Date	Issue / Description	Init.
1	1/22/16	1ST TCR SUBMITTAL	JDP
2	4/05/16	2ND TCR SUBMITTAL	JDP
3	5/06/16	3RD TCR SUBMITTAL	JDP
4	6/13/16	FINAL SUBMITTAL	JDP

Project No:	LST000055
Drawn By:	NLR
Checked By:	JLW
Date:	DECEMBER 2015

LANDSCAPE PLAN

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:  
 CERTIFIED LANDSCAPE ARCHITECT JOSEPH L. WILSON #15-1175  
 TOWN OF CASTLE ROCK REGISTRATION NUMBER LA-304  
 LICENSED LANDSCAPE ARCHITECT STATE OF COLORADO

**SDP16-0004- SITE DEVELOPMENT PLAN**  
**LOT 1, BLOCK 5, PROMENADE AT CASTLE ROCK**  
**FILING NO. 1, AMENDMENT NO. 5**

U.S. HIGHWAY 85  
 (SANTA FE DRIVE)  
 (PUBLIC R.O.W. VARIES)

