

Ownership Certification

THE UNDERSIGNED ARE ALL OF THE OWNERS OF LOTS 9A AND 10A, BLOCK 18, CRAIG AND GOULD'S ADDITION, 11TH AMENDMENT, TOWN OF CASTLE ROCK.

DLH HOLDINGS, LLC, A COLORADO LIMITED LIABILITY COMPANY
 SIGNED THIS 9th DAY OF October, 2009

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF October, 2009

BY: David Hieronymus, Member of DLH Holdings LLC
 WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC: Stacy E. Gould
 MY COMMISSION EXPIRES 3/30/10

Legal Description

Lots 9A and 10A, Block 18, Craig and Gould's Addition to Castle Rock, 11th Amendment, Town of Castle Rock, County of Douglas, according to the recorded plat three.

**P.S. MILLER HOUSE
 Final PD Site Plan**
 Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment

Lien Holder Subordination Certification

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIEN HOLDERS OF LOTS 9A AND 10A, BLOCK 18, CRAIG AND GOULD'S ADDITION, 11TH AMENDMENT, TOWN OF CASTLE ROCK, IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON MAY 22, 2009 AT RECEPTION NO. 2009088692 SUBORDINATES THE SUBJECT LIEN AND INSTRUMENT TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

FIRST BANK OF DOUGLAS COUNTY
 SIGNED THIS 9th DAY OF October, 2009

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF October, 2009

BY: Adam Sands, Assistant Vice President FirstBank of Douglas County
 WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC: Stacy E. Gould
 MY COMMISSION EXPIRES 3/30/10

Title Certification

Larcee L. Nitsch, AN AUTHORIZED REPRESENTATIVE OF TITL INSURANCE CO., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIEN HOLDERS SUBORDINATION CERTIFICATE.

SIGNED THIS 13th DAY OF October, 2009

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 13th DAY OF October, 2009

BY: Larcee L. Nitsch
 WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC: SUSAN I. RASMUSSEN
 MY COMMISSION EXPIRES 07-01-2011

Town Certification

A. PLANNING COMMISSION RECOMMENDATION:
 THIS FINAL PD SITE PLAN HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 10th DAY OF October, 2009

CHAIR: [Signature] DATE: 10/29/09
 DIRECTOR OF DEVELOPMENT SERVICES

B. TOWN COUNCIL APPROVAL:
 THIS FINAL PD SITE PLAN HAS BEEN APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 10th DAY OF October, 2009

MAYOR: [Signature]
 ATTEST: Janet M. Turbett, Deputy Town Clerk
 TOWN CLERK

Surveyor's Certification

I, JOHN E. KRATZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

JOHN E. KRATZ, REG. # 20142 DATE: 10/16/09
 B I J SURVEYING

Douglas County Clerk and Recorder's Certificate

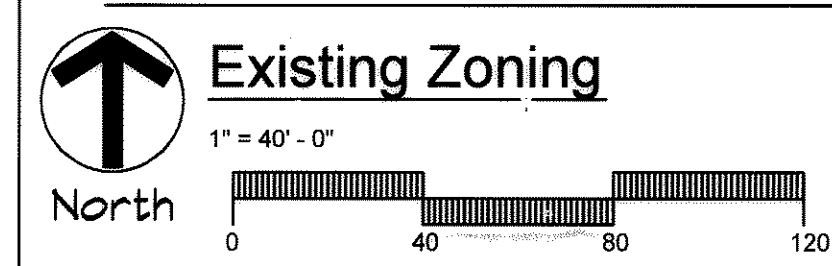
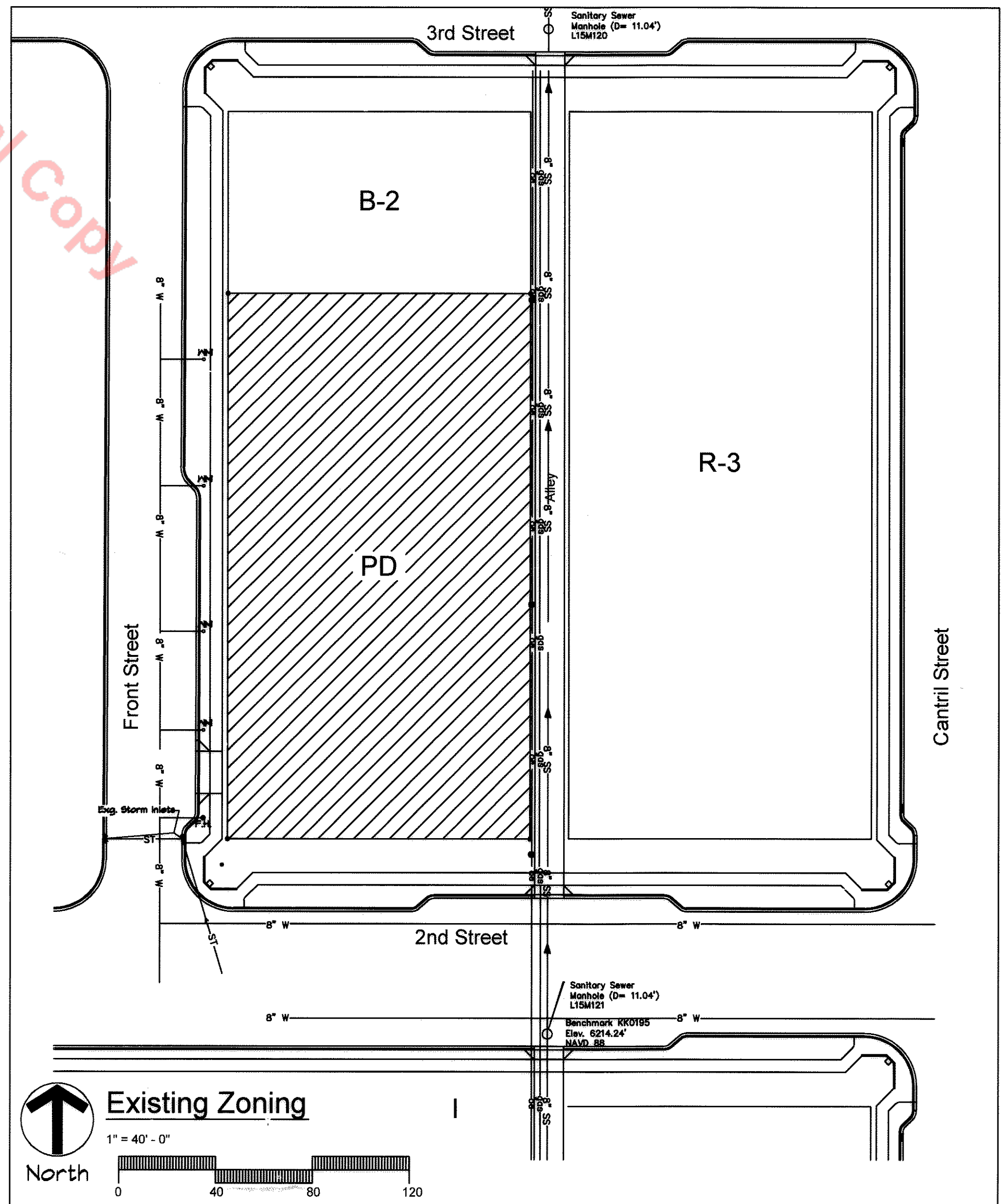
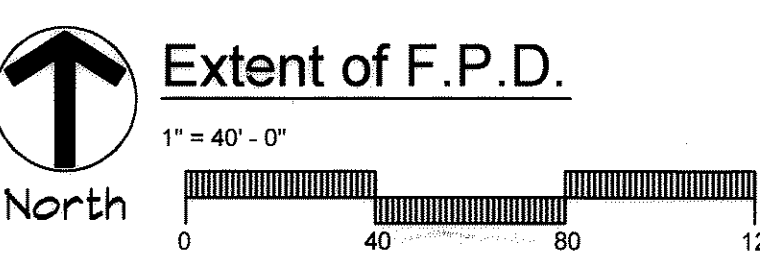
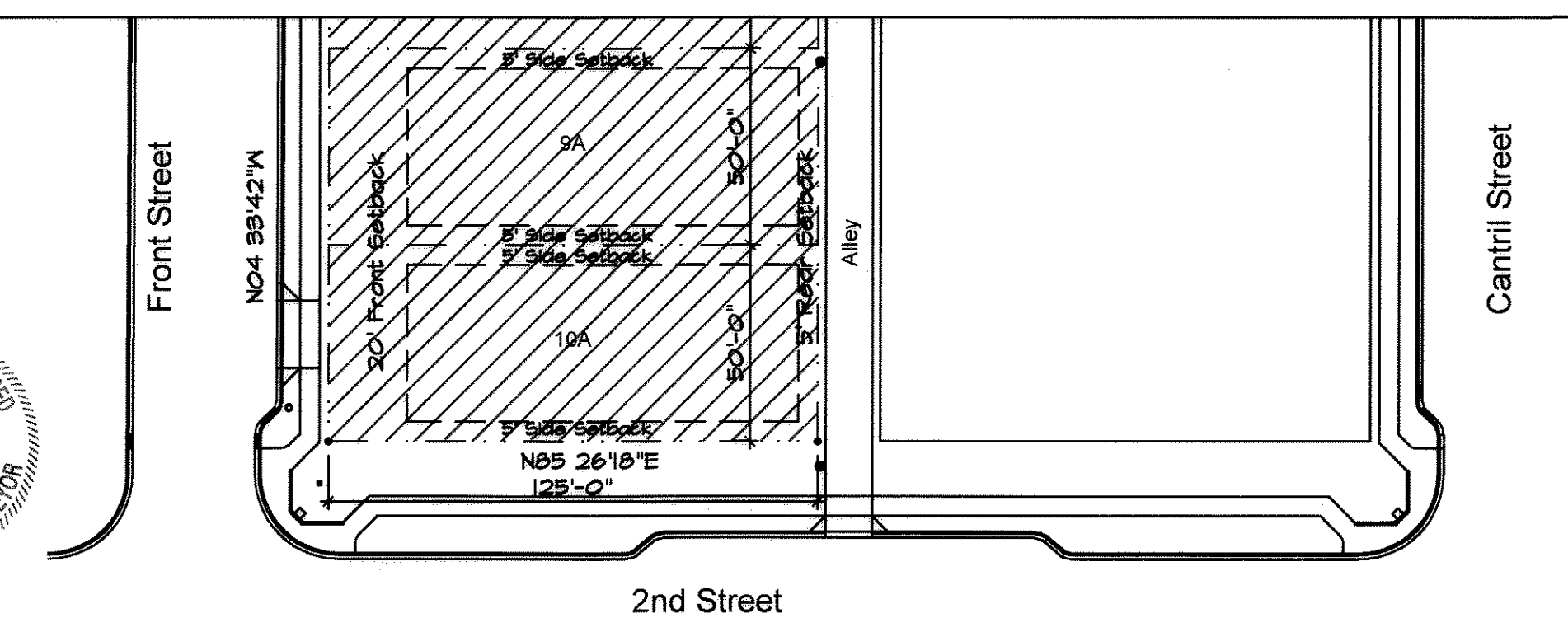
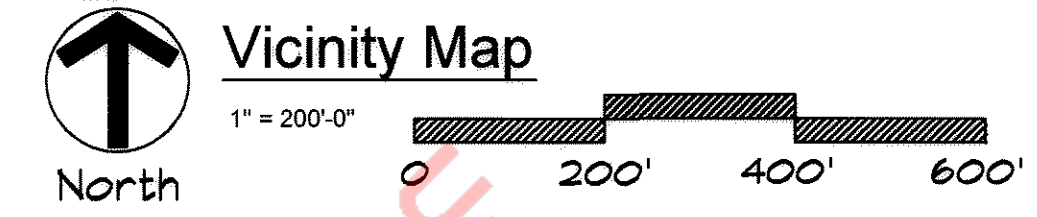
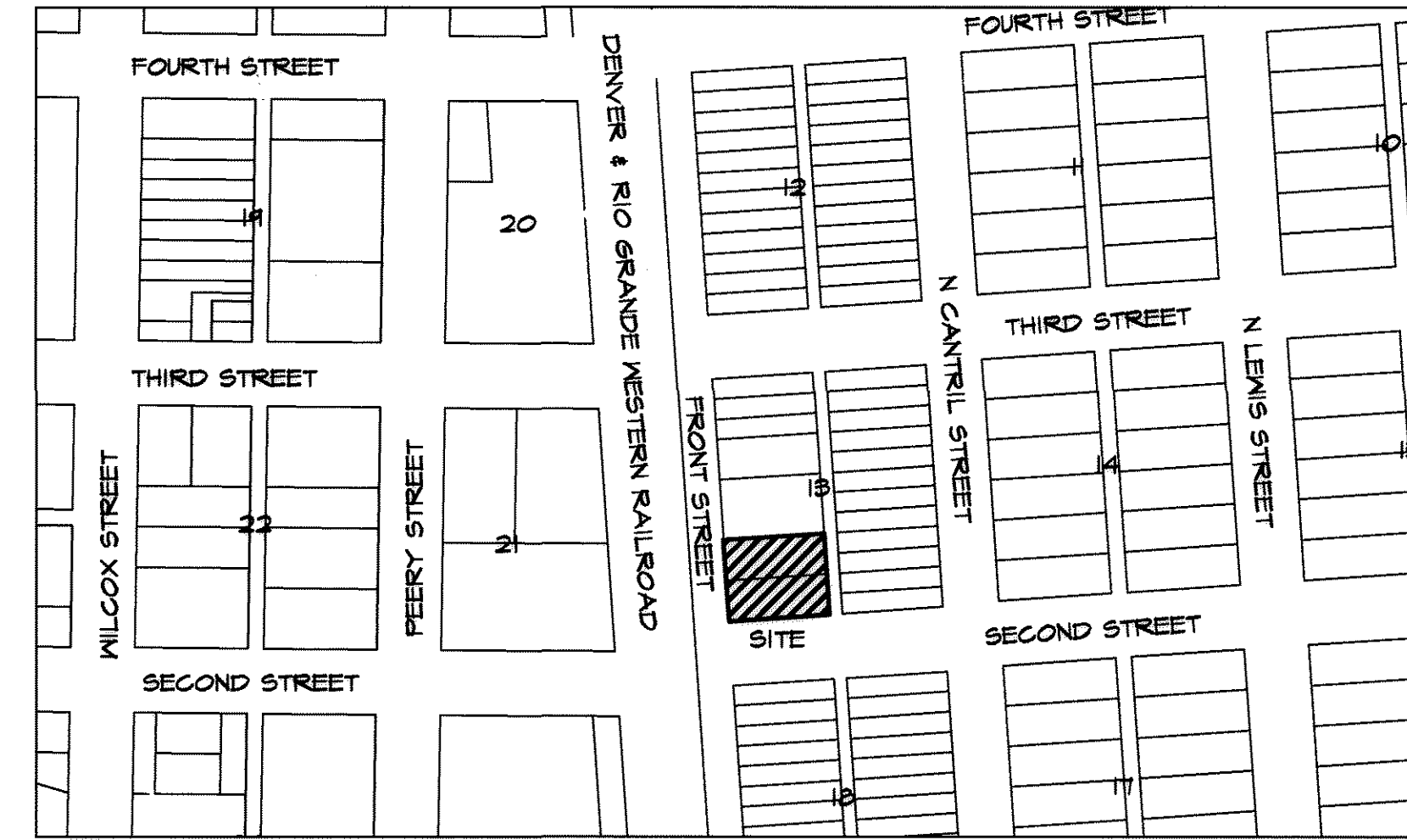
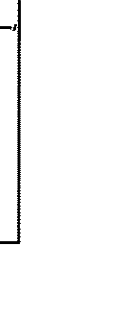
THIS FINAL PD SITE PLAN HAS BEEN FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:00 PM ON THE 10th DAY OF NOV 2009

DOUGLAS COUNTY CLERK AND RECORDER
 BY: Christine Davis, Deputy

STACY E. GOULD
 NOTARY PUBLIC
 STATE OF COLORADO
 My Commission Expires 03/30/10

STACY E. GOULD
 NOTARY PUBLIC
 STATE OF COLORADO
 My Commission Expires 03/30/10

SUSAN I. RASMUSSEN
 NOTARY PUBLIC
 STATE OF COLORADO
 My Commission Expires Sept. 01, 2011



Permitted Uses

- Offices
- Medical Offices
- Schools
- Churches
- Single Family Detached Dwellings
- Multi Family Attached Housing
- Personal Service Shops and Offices
- Daycare

Site Data

Location: 200 & 210 Front Street, Castle Rock, CO 80104
 County: Douglas County
 Fire District: 250 S.F. or 1,435 Acres
 Town: 250 S.F. or 1,435 Acres
 PD Lot Size: 250 S.F. or 1,435 Acres
 Lot 4A: 250 S.F. or 1,435 Acres
 Lot 5A: 250 S.F. or 1,435 Acres
 Lot 9A: 250 S.F. or 1,435 Acres
 Lot 10A: 250 S.F. or 1,435 Acres
 Total: 6,250 S.F. or 4,410 S.F.
 FAR: 15625 S.F. w/ Existing Structures
 Lot 9A: 250 S.F. w/ 6,706 S.F. = 29.84%
 Lot 10A: 250 S.F. w/ 6,706 S.F. = 29.84%
 Total:

Parking: 15 Total Parking Spaces Req'd for the Entire P.D.
 8 Spaces Required for Lots 9A & 10A
 8 Provided for Lots 9A & 10A
 - 5 Parking Spaces Allowed On Street

Site Notes

- Flood plain is not within the area of this project.
- No Overlot grading is required.
- All existing utilities to remain.
- New utilities on 9A include new 42" water meter pit with one new irrigation and one relocated domestic meter.
- New utilities on 10A include one new irrigation meter.
- There are no significant natural features on or adjacent to this project.

Landscape Notes

Historical plantings will be used to match the architecture of the buildings. All plantings shall be xeric in nature.

Signage Notes

All signage shall have a max height of 5' above the adjacent grade and shall have a maximum square footage of 20 square feet. Changeable signage is encouraged. Exterior above mounted lighting is encouraged. Backlighted or internal lighted signage is not allowed. Landscaping around the base of the signage is encouraged.

Front Porches

Open unenclosed uncovered or covered porches can encroach 10' into the 20' front yard setback.

Easement Note:

Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public right-of-way and shall have five-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance, and operation of utilities and drainage facilities including, but not limited to, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.

Sheet Index

- Vicinity Maps, General Notes, Zoning Plan
- Utility Plan
- Site Plan
- Landscape Plan
- Landscape Planting Details
- Irrigation Plan
- Irrigation Schedules
- Irrigation Details
- Photometric Site Plan
- Signage Plan
- Exterior Elevations

Benchmark

Benchmark KK015
 Elevation 6214.24' - NAVD 88 Datum

Project Roster

Developer:
 DLH Architecture
 200 Front Street
 Castle Rock, CO 80104
 PH: 303-688-8378
 FX: 303-814-8370

Plan Preparer:
 DLH Architecture
 200 Front Street
 Castle Rock, CO 80104
 PH: 303-688-8378
 FX: 303-814-8370

Land Surveyor:
 B & J Surveying
 714 Ventura St. #5
 Aurora, CO 80011
 Contact: John E. Kratz
 PH: 303-850-0884

Civil Engineer:
 JVA Consulting Engineers
 1214 Spruce Street
 Boulder, CO 80502
 Contact: Matt Ocasimou
 PH: 303-444-1151
 FX: 303-444-1151
 Email: moccasimou@jva.com

Landscape Architect:
 DM Design
 1540 Lawrence St., Ste. 100
 Denver, CO 80202
 Contact: Mark Milcox
 PH: 303-842-3566
 FX: 303-842-4184
 Email: milcox@dmdesign.com

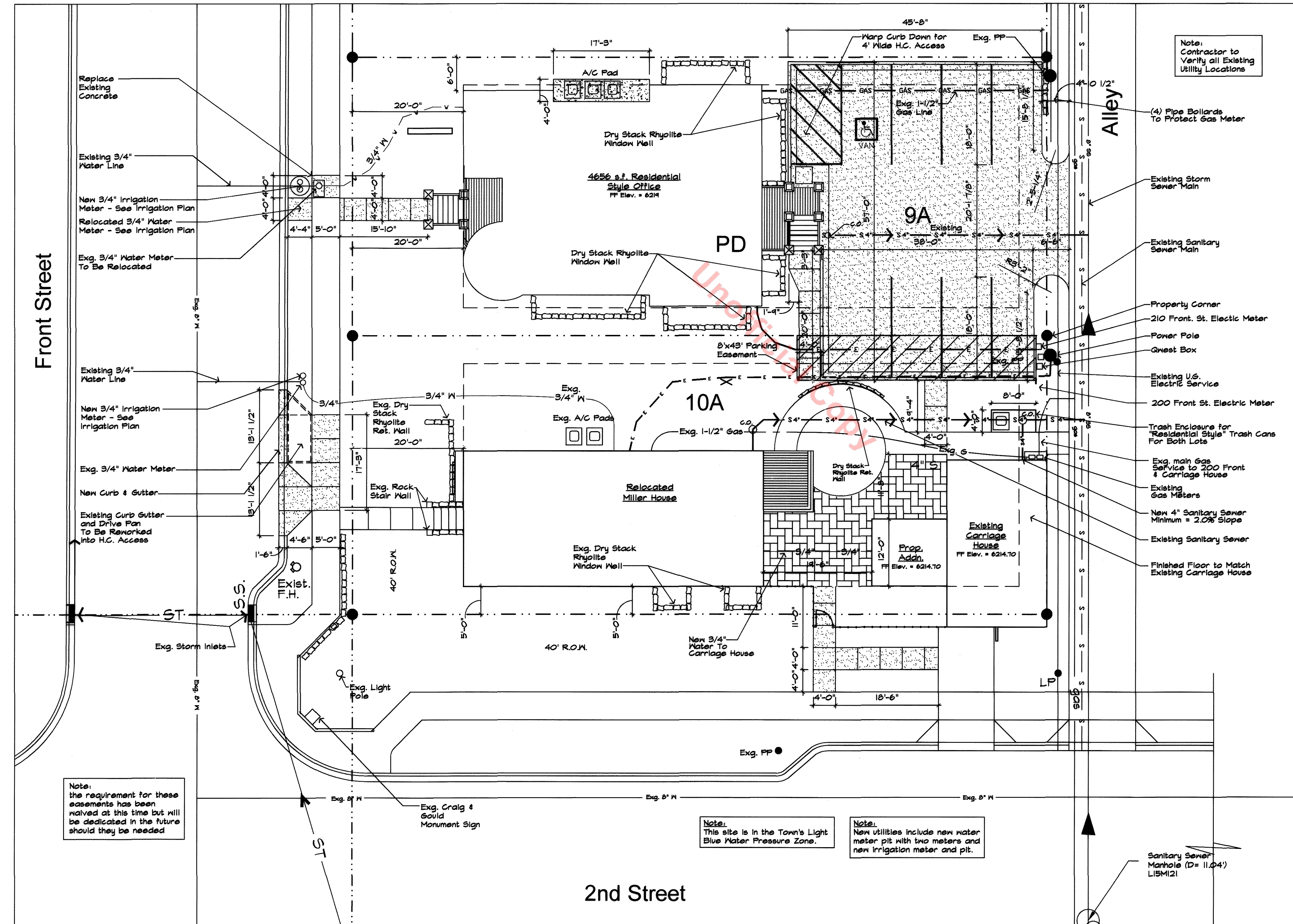


P.S. MILLER HOUSE
 Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's
 addition to Castle Rock, 11th amendment

Project #: 0820
 Date: 04/28/09
 Drawn By: JB/NA
 Checked By: DLH
 Scale: As Noted
 Revisions:
 TOCR 1st 06-05-09
 TOCR 2nd 08-28-09
 TOCR 3rd 09-29-09

Sheet #
 1
 Of: 11

P.S. MILLER HOUSE
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Legend

Electrical	— e — e — e —
Sanitary Sewer	— s — s — s —
Gas	— G — G — G —
Water	— 3/4" W —
Property Line / Right Of Way	— · · · · · —

Note: the requirement for these easements has been waived at this time but will be dedicated in the future should they be needed

Note: This site is in the Town's Light Blue Water Pressure Zone.

Note: New utilities include new water meter pit with two meters and new irrigation meter and pit.

Note: Contractor to Verify all Existing Utility Locations

Utility Plan
 1" = 10' - 0"
 North

P.S. MILLER HOUSE
 Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's
 addition to Castle Rock, 11th amendment

Project #: 0820
 Date: 09/28/09
 Drawn By: JB/NA
 Checked By: DLH
 Scale: As Noted
 Revisions:
 TOCR 1st 06-05-09
 TOCR 2nd 08-28-09
 TOCR 3rd 09-29-09

Sheet #
2
 Of: 11

LANDSCAPE SUMMARY TABLE:

LOT 9A:	GROSS SITE AREA:	6,545 SQ.FT.
	IRRIGATED LANDSCAPE (TOTAL):	1,627 SQ.FT.
	IRRIGATED TURF:	736 SQ.FT.
	LIVING GROUND COVER:	1,627 SQ.FT.
	NON-IRRIGATED LANDSCAPE (TOTAL):	407 SQ.FT.
	NON-LIVING GROUND COVER:	407 SQ.FT.
	NON-DISTURBED AREAS:	0 SQ.FT.
LOT 10A:	GROSS SITE AREA:	8,591 SQ.FT.
	IRRIGATED LANDSCAPE (TOTAL):	3,846 SQ.FT.
	IRRIGATED TURF:	2,126 SQ.FT.
	LIVING GROUND COVER:	3,846 SQ.FT.
	NON-IRRIGATED LANDSCAPE (TOTAL):	331 SQ.FT.
	NON-LIVING GROUND COVER:	331 SQ.FT.
	NON-DISTURBED AREAS:	0 SQ.FT.

Gross Site Area	Landscaped (Area in Sq. Ft.)	Turfgrass List Species (Area in Sq. Ft.)	Parking Lot (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Parking Spaces	No. of Interior Landscaped Islands	Median Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu. yds. per 1000 sq.ft.)	Separate Irrigation Service Connections
LOT 9A:	6,545	1,627	2,280	-	8	-	-	2	2*	4	48	4.88	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
LOT 10A:	8,591	3,846	-	-	-	-	-	6	6*	12	57	11	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

(*) Includes existing trees

SOIL AMENDMENTS:

GROUND PLANE TREATMENT	CLASS II OM AMENDMENT	NITROGEN	PHOSPHORUS	OTHER	FERTILIZER 4-6 weeks during growing season	E.C., SALT OR PH TREATMENT	ROTOTILL DEPTH
TREES	3.5 cu.yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 15lb./1000sf	N/A	6"
SHRUBS	3.5 cu.yds/1000sf	1.5lb/1000sf (K)	2lb/1000sf (K)	0lb/1000sf (K)	10-10-10 @ 15lb./1000sf	N/A	6"

NOTE: AMENDMENTS ARE TO BE VERIFIED AT THE TIME OF CONSTRUCTION WITH A SOILS TEST. SOILS TEST MUST BE ANALYZED FOR XERIC TREES AND SHRUBS AND RESULTS PROVIDED TO TOWN OF CASTLE ROCK REPRESENTATIVE.

LANDSCAPE NOTES:

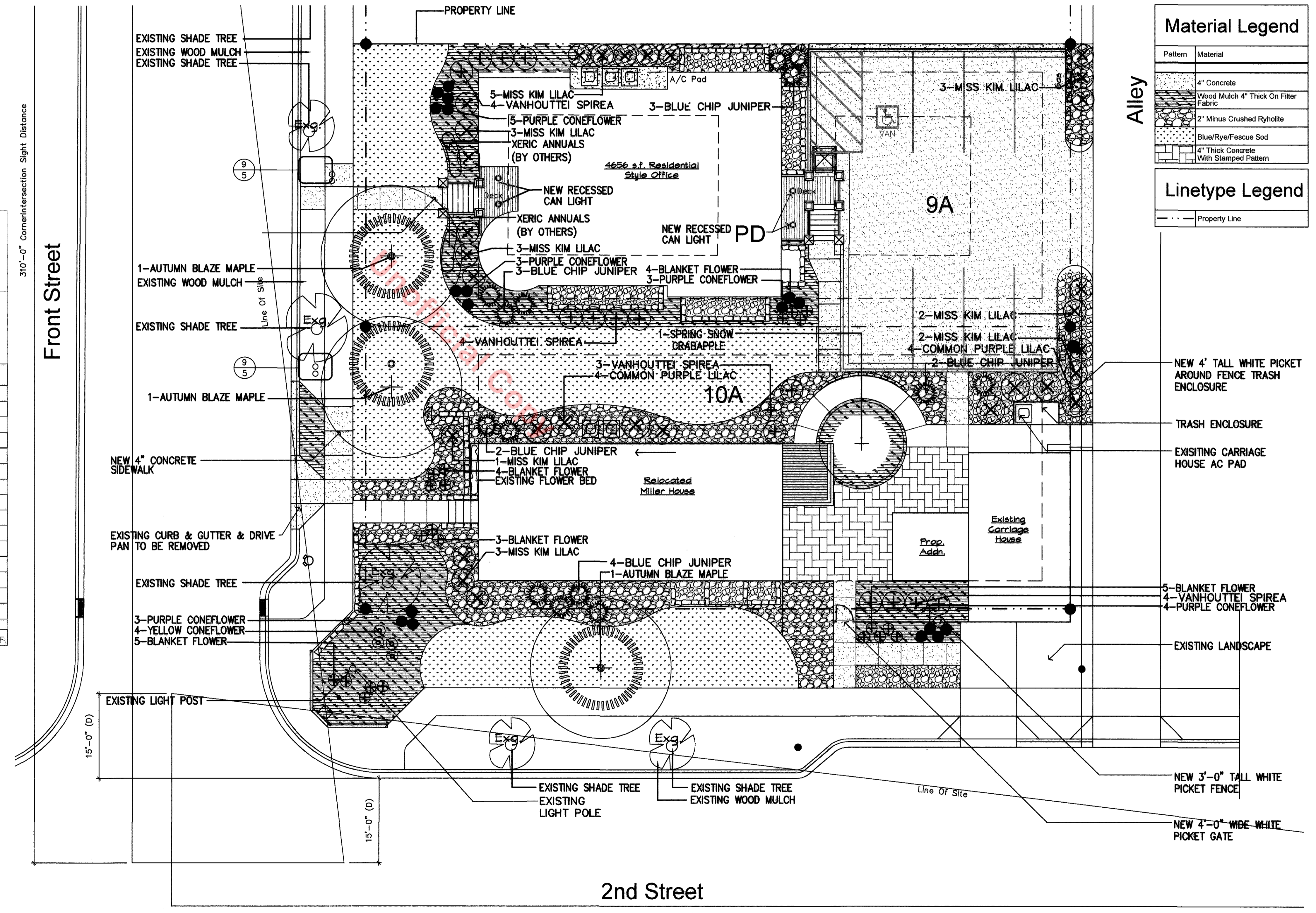
- ALL TREE LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SPECIES MAY NOT BE SUBSTITUTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH FIR FIBER MULCH. REFER TO SPECIFICATIONS. SUBMIT SAMPLE FOR APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALLS, OR WALKWAYS AND OTHER STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG WALKWAYS TO ACCOMMODATE SOD OR MULCH DEPTH.
- NO TREES OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.

PLANT LIST

Irrigation Zone	Plant Name (scientific)	Plant Name (common)	Legend Abbrev.	Size	No. of Plants
DECIDUOUS SHADE TREES					
Moderate	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple		2-1/2" cal.	3
DECIDUOUS ORNAMENTAL TREES					
Low	Malus 'Spring Snow'	Spring Snow Crabapple		2-1/2" cal.	1
EVERGREEN SHRUBS					
Low	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper		5 gal.	14
DECIDUOUS SHRUBS					
Low	Caryopteris x clandonensis	Bluemist Spirea		5 gal.	3
Low, Moderate	Spirea Vanhouttei	Vanhouttei Spirea		5 gal.	15
Low	Syringa patula 'Miss Kim'	Miss Kim Lilac		5 gal.	22
Low	Syringa vladigis	Common Purple Lilac		5 gal.	8
PERENNIALS/ GROUND COVER					
Low	Echinacea paradoxa	Yellow Coneflower		1 gal.	4
Low	Gallardia aristata	Blanket Flower		1 gal.	21
Low	Echinacea purpurea	Purple Coneflower		1 gal.	18
TURF					
Low		Canadian Blue Fescue			2,882 S.F.

TURF GRASS SOD: CANADIAN BLUE FESCUE
 COMPOSED OF A COMBINATION OF CANADIAN BLUEGRASS, SHEEP FESCUE, CREEPING RED FESCUE, HARD FESCUE AND CHEWING FESCUE.
 SUPPLIER: TURF MASTER LLC
 3327 GIDDINGS ROAD
 FT. COLLINS, CO 80524
 PHONE: 970-493-8311

P.S. MILLER HOUSE
Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment
 200 & 210 Front Street



Landscape Plan
 1" = 20'-0"
 North

Pattern	Material
[Pattern]	4" Concrete
[Pattern]	Wood Mulch 4" Thick On Filter Fabric
[Pattern]	2" Minus Crushed Ryholite
[Pattern]	Blue/Rye/Fescue Sod
[Pattern]	4" Thick Concrete With Stamped Pattern

Linetype	Description
[Linetype]	Property Line

- NEW 4" TALL WHITE PICKET AROUND FENCE TRASH ENCLOSURE
- TRASH ENCLOSURE
- EXISTING CARRIAGE HOUSE AC PAD
- NEW 3'-0" TALL WHITE PICKET FENCE
- NEW 4'-0" WIDE WHITE PICKET GATE
- EXISTING LANDSCAPE
- EXISTING SHADE TREE
- EXISTING WOOD MULCH
- EXISTING LIGHT POLE
- EXISTING SHADE TREE
- EXISTING WOOD MULCH

REGISTERED LANDSCAPE ARCHITECT: Bill Neumann
 TOCR CERTIFICATION # 8009

DLH Architecture
 Planning, Architecture, Consulting and Construction
 200 Front Street, Castle Rock, CO 80104
 Phone (303) 686-6273
 Fax (303) 814-3370
 DLH Architecture is a Limited Liability Corporation Established in 1992.

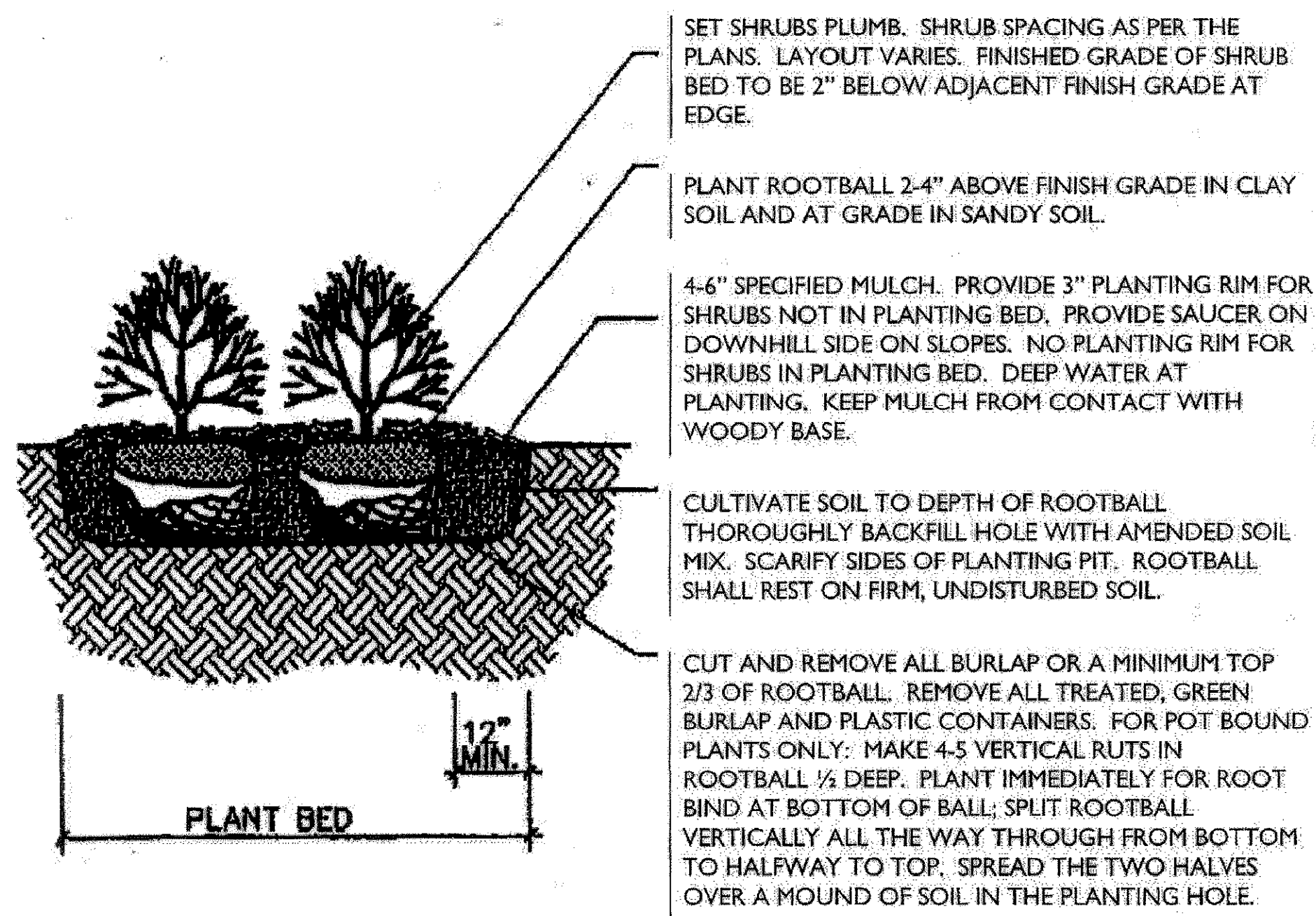
DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 1390 Lawrence Street, Suite 100
 Denver, CO 80204 | 303.892.5566

P.S. MILLER HOUSE
 Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment

Project #:
 Date: 09/28/09
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 Scale: As Noted
 Revisions:
 TOCR 1st 06-05-09
 TOCR 2nd 08-28-09

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- Notes:
- Prune only dead or broken branches.
 - Keep plants moist and shaded until planting.
 - Do not fertilize for at least one growing season.



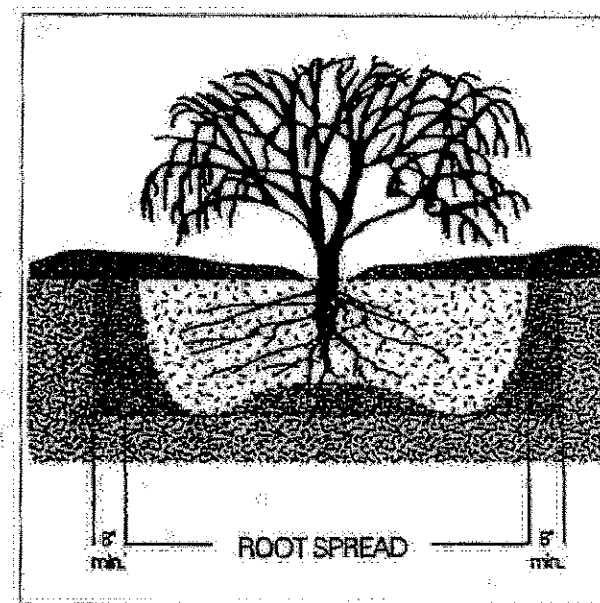
SHRUB PLANTING DETAIL

No Scale



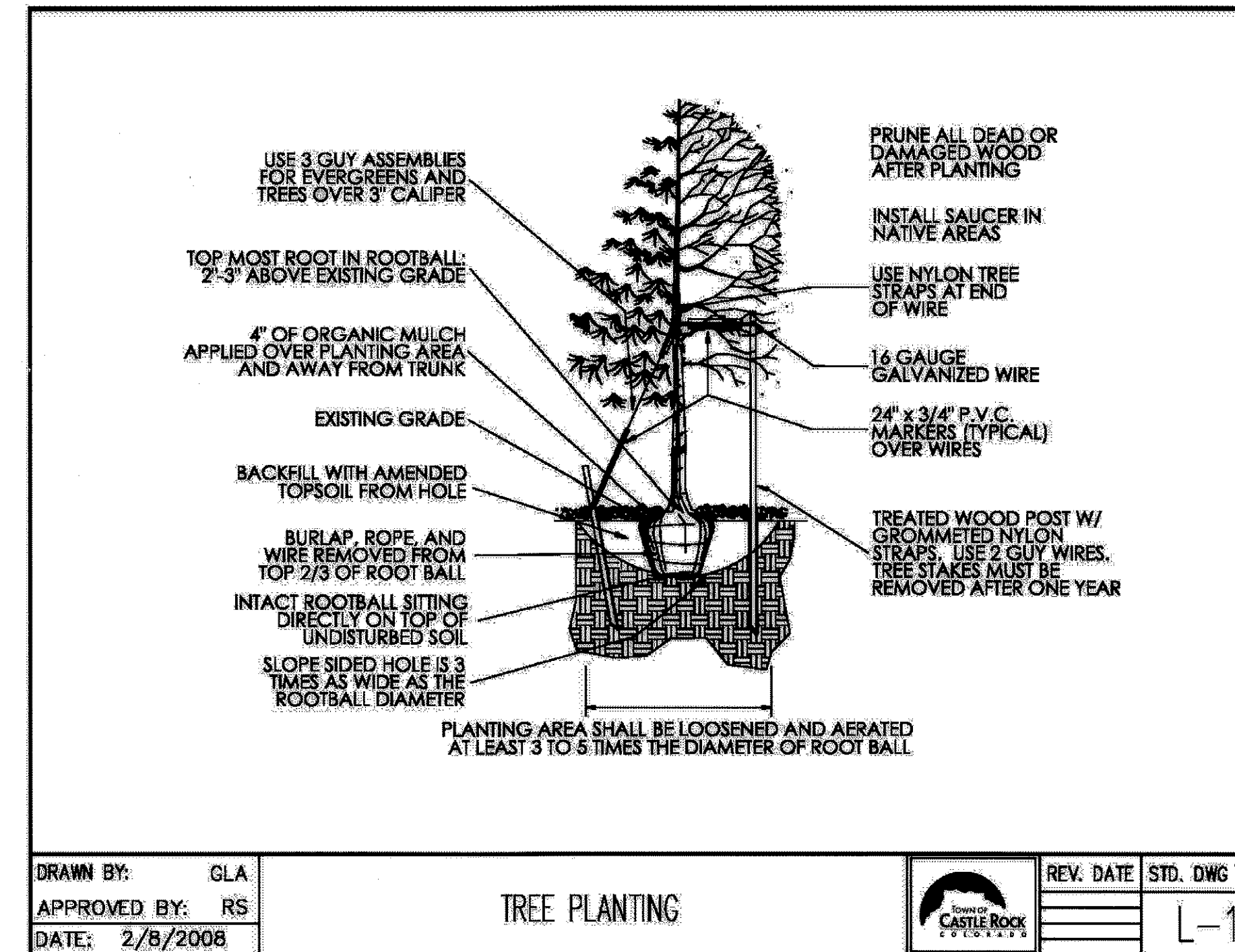
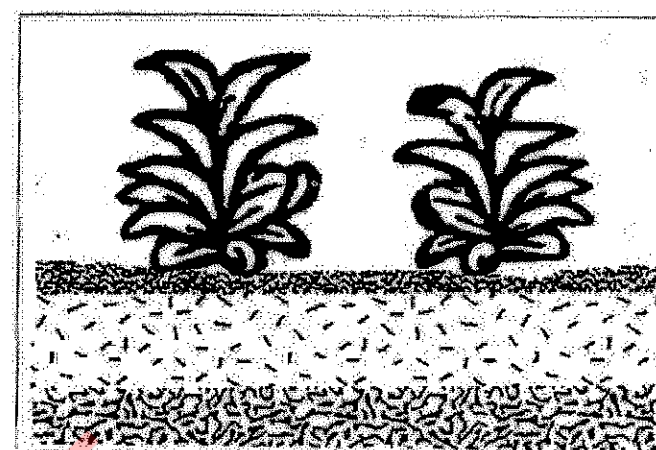
Bareroot Deciduous Shrub Planting Detail

- Plant only in early spring when plants are dormant.
- Protect roots from wind and sun before planting. Keep plants heeled in if not planted immediately.
- Soak any dry roots for 2 hours prior to planting. Water completely after planting.
- Mound soil and spread roots in a natural position over cone.
- Set plant perpendicular and spread roots evenly.
- Prune only damaged or dead wood.
- Set plants so that crown is minimum 2" above surrounding grade.
- Add 4" approved mulch (shredded wood or landscape trimmings). Avoid contact with woody base.
- Work soil around roots.
- Lightly tamp backfill.

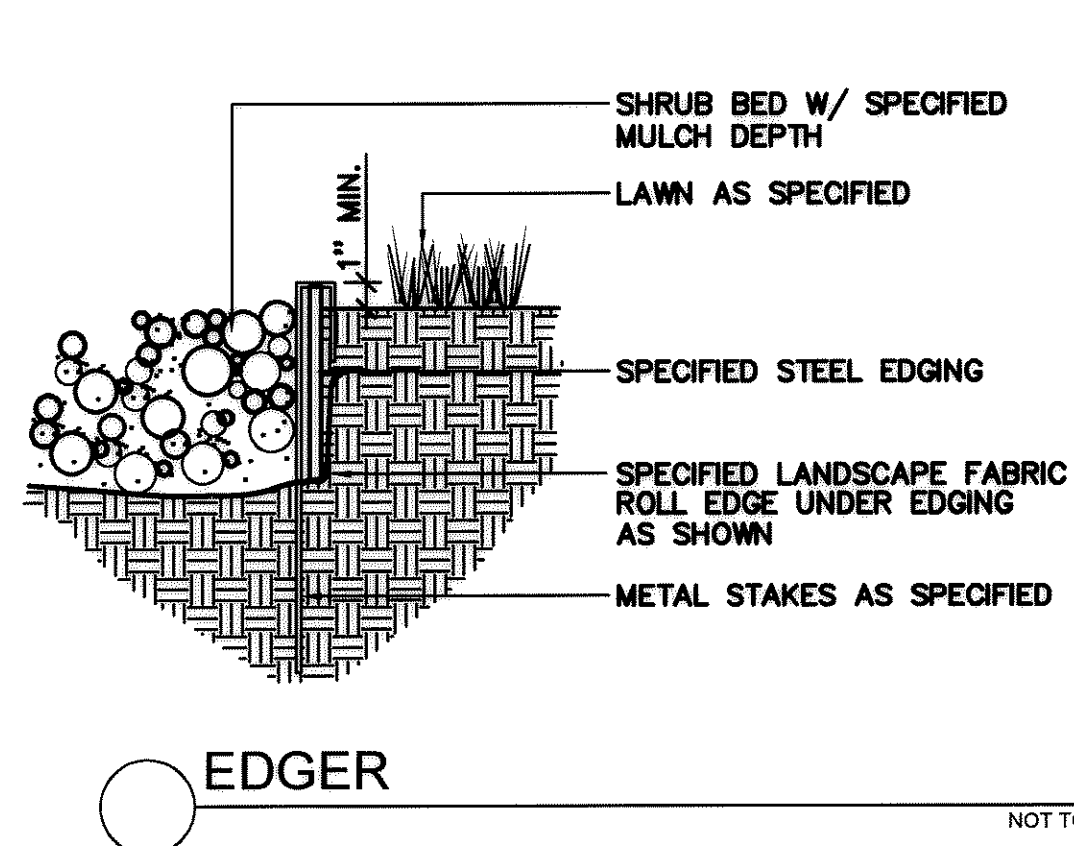


Perennial and Ground Cover Planting Detail

- Shredded, aged mulch 3" deep for perennials, for ground covers.
- Undisturbed soil.
- Keep plants moist and shaded until planting.
- Plant ground cover and perennials level and at grade.
- Soil to be well cultivated to a minimum depth of 6".
- In clay soil work in topsoil and organic compost. See specs. for ratio and quantity.
- In sand work in topsoil, organic compost and aged manure. See specs. for ratio and quantity.
- No scale.



DRAWN BY: GLA	APPROVED BY: RS	DATE: 2/8/2008	TREE PLANTING	REV. DATE	STD. DWG NO.
					L-1



- NOTES:
- 1) SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
 - 2) EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
 - 3) ALL JOINTS TO BE SECURELY STAKED.
 - 4) CONTRACTOR SHALL CUT TOP EDGE(S) AS NEEDED TO BE PARALLEL WITH GRADE.

**P.S. MILLER HOUSE
Final PD Site Plan**

Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment 200 & 210 Front Street

PLANT SCHEDULE

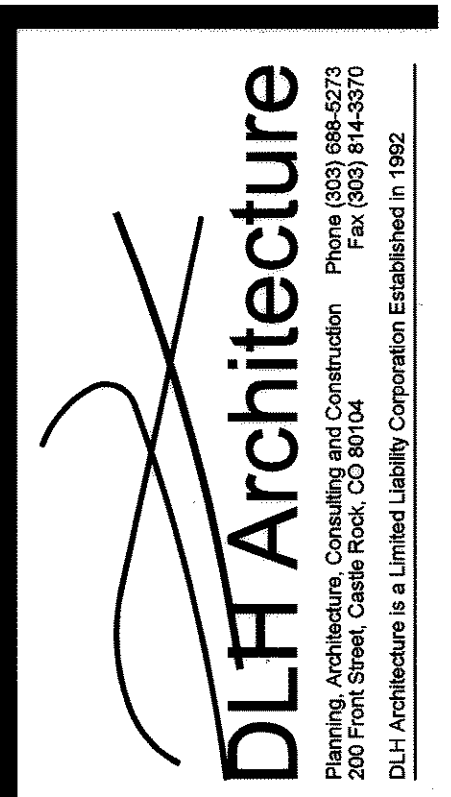
Irrigation Zone	Plant Name (scientific)	Plant Name (common)	Legend Abbrev.	Size	No. of Plants	Month	Application Rate (inches/month)	Water Use (gallons/month)	Sq. Ft. of Zone	% of Total Area	Sq. Ft. of Total Area
LOT 9A	A1 - Low	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	3		1.7	41	279	4.3%	6,545
		Spiraea Vanhouttei	Vanhouttei Spirea	5 gal.	4		1.7	41	279	4.3%	6,545
		Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	8		1.7	41	279	4.3%	6,545
	A2 - Low	Variety of Xeric (X-Rated) Annual Flowers (by others)		4" pots	20		1.7	279	27	0.4%	6,545
	A3 - Low	Spiraea Vanhouttei	Vanhouttei Spirea	5 gal.	4		1.7	102	292	4.5%	6,545
		Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	6		1.7	102	292	4.5%	6,545
		Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	3		1.7	102	292	4.5%	6,545
		Caryopteris clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal.	3		1.7	102	292	4.5%	6,545
		Echinacea purpurea	Purple Coneflower	1 gal.	11		1.7	102	292	4.5%	6,545
		Gallardia aristata	Blanket Flower	1 gal.	4		1.7	102	292	4.5%	6,545
A4 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	738	399	5.9%	6,545	
A5 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	820	399	5.5%	6,545	
LOT 10A	B1 - Low	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	4		1.7	918	385	4.3%	8,991
		Spiraea Vanhouttei	Vanhouttei Spirea	5 gal.	3		0.8	918	385	4.5%	8,991
		Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	5		0.8	408	385	4.5%	8,991
		Syringa vulgaris	Common Purple Lilac	5 gal.	8				385	4.5%	8,991
	B2 - Low	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	4		1.7	918	314	3.7%	8,991
	Spiraea Vanhouttei	Vanhouttei Spirea	5 gal.	4		0.8	918	314	3.7%	8,991	
	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	3		0.8	408	314	3.7%	8,991	
	Echinacea purpurea	Purple Coneflower	1 gal.	7		1.7	408	314	3.7%	8,991	
	Gallardia aristata	Blanket Flower	1 gal.	14		1.7	408	314	3.7%	8,991	
	Echinacea paradoxa	Yellow Coneflower	1 gal.	4				314	3.7%	8,991	
B3 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	820	399	4.6%	8,991	
B4 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	738	483	5.6%	8,991	
B5 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	820	443	5.2%	8,991	
B6 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	738	400	4.7%	8,991	
B7 - Medium	Canadian Blue Fescue	-	-	-	-	2.5	820	400	4.7%	8,991	

1. Landscaping shall be planted and maintained in a neat, clean and healthy condition by the owner. This shall include proper pruning, mowing of lawns, weeds, removal of litter and the regular watering of all plantings. Should any plant material die, the owner, successor, or assigns shall be responsible for the replacement of the plants (s) within one planting season. Replacement of plant material shall occur at the following rate:

TYPE	PLANT REPLACEMENT WITHIN		
	1 YEAR	2-5 YEARS	6+ YEARS
Tree - Deciduous	Increase caliper by 1"	Increase caliper by 1.5"	Increase caliper by 1.5" plus, increase qty. by 2 (original size)
Tree - Deciduous	Increase height by 2'	Increase height by 2' plus, increase qty. by 1 (original size)	Increase height by 2' plus, increase qty. by 2 (original size)
Shrub	Increase qty. by 2 (original size)	Increase qty. by 4 (original size)	Increase qty. by 12 (original size)

- Additional replacement shall be in conformance with the landscape material species requirements set forth by this plan or alternative material species acceptable to the Town of Castle Rock
2. Aeration, top dressing and fertilization to be provided annually in the spring. Owner to provide monthly mowing and weeding performed through April - October. Pruning to be provided annually when trees and shrubs are dormant. Maintenance contractor to provide winter watering after two consecutive weeks of above freezing conditions throughout winter months. Irrigation system maintenance to include system initialization, annual backflow prevention testing, monthly water application adjustments and a schedule of system inspections.
 3. The contractor is to contact Town of Castle Rock Inspection Division at (720) 733-2223 to have an inspector attend the preconstruction meeting.
 4. Any wall or monument over four feet in height requires a permit from the Castle Rock building Division prior to construction. Detailed plans for any wall over four (4) feet in height will be submitted to the Castle Rock Building Division prior to the issuance of the required building permit.
 5. A permit will be obtained from the Town of Castle Rock Zoning Division prior to the installation of monuments and planters outside of the public ROW, including those within the ROW of private streets. An electrical permit will be obtained from the Town of Castle Rock Zoning Division for lighting outside of the public ROW, including lighting for monuments and planters.
 6. CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RESEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION REAPPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND ON ALL SLOPES (4"x4") 3:1 AND GREATER.
 7. Areas under 10 ft. in width shall not contain turf.
 8. Slopes greater than 3:1 must be drip irrigated.
 9. Landscape and Irrigation systems shall be installed by a TOCR registered professional.
 10. Native Seed in disturbed areas shall be established with temporary irrigation.

REGISTERED LANDSCAPE ARCHITECT: Bill Neumann, TOCR CERTIFICATION # 8009



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
1390 Lawrence Street, Suite 100
Denver, CO 80204 | 303.892.5566

P.S. MILLER HOUSE
Final PD Site Plan
Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment

Project #:
Date: 09/28/09
Drawn By: JB/NA
Checked By: DLH
Scale: As Noted
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TOCR 1st 06-05-09
TOCR 2nd 08-28-09

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Of: 11

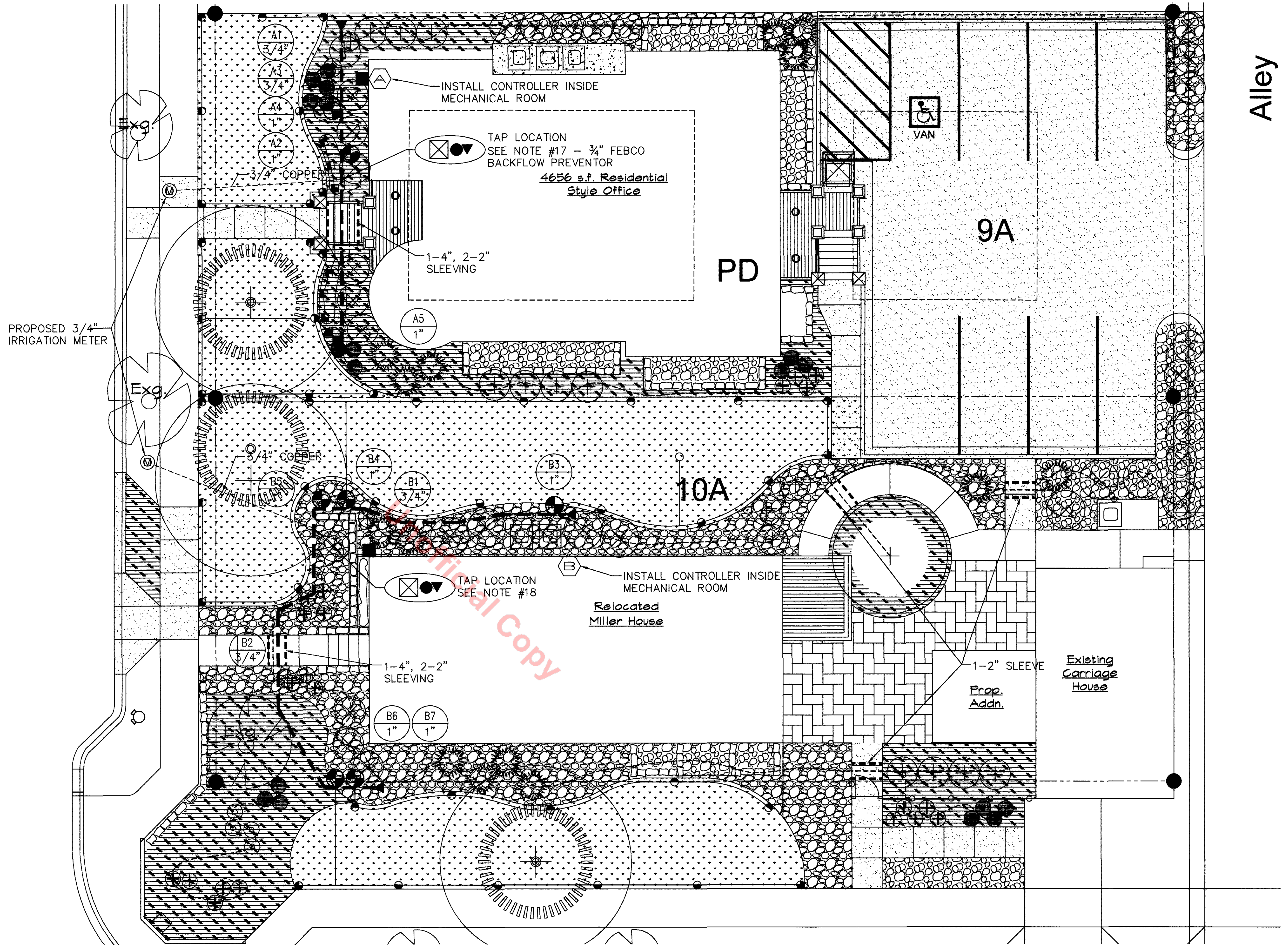
IRRIGATION SCHEDULE

SYMBOL	MODEL	DESCRIPTION	DETAIL
●●●●●●●●	1806 -SAM-PRS W/ 15 SER. NOZZLE	RAINBIRD POP UP SPRAY HEAD	1
■ ■ ■ ■ ■ ■ ■ ■	1812 -SAM-PRS W/ 15 SER. NOZZLE	RAINBIRD POP UP SPRAY HEAD	2
⊕	3/4"	DRIP VALVE	4
▼	44LRC	RAINBIRD QUICK COUPLER	5
⊗	825YA-3/4"	FEBCO BACKFLOW PREVENTER	7
⬠	SMART DIAL SD-1200 EXT SERIES	IRRITROL CONTROLLER - WALL MOUNT WEATHER TRACK ENABLED	
---	CL. 200 B.E. (1")	PVC MAINLINE	
---	CL. 200 B.E. (1")	PVC LATERALS	
---	CL. 200	PVC SLEEVING	
---	3/4"	DRIP TUBING	
⊖		CONTROLLER NUMBER VALVE SIZE	
●	20930 SERIES - 3/4"	BUCKNER MASTER VALVE	
●		TAP LOCATION	
■	RSD-BEX	RAINBIRD RAIN SENSOR (MOUNT ON CONCRETE WALL NEAR CONTROLLER)	
Ⓜ	3/4"	WATER METER	11

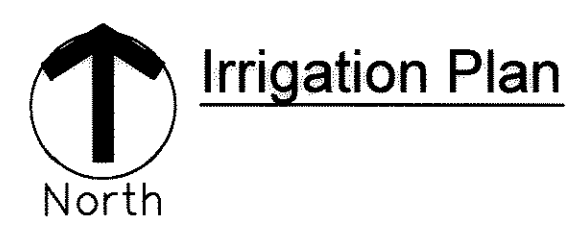
NOTES

- REFER TO SPECIFICATIONS AND DETAILS FOR INSTALLATION INSTRUCTIONS.
- ALL BASE PLAN INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY DHM DESIGN.
- IRRIGATION SYSTEM IS DESIGNED FOR A STATIC WATER PRESSURE OF 65 PSI. CONTRACTOR IS TO VERIFY PRESSURE PRIOR TO INSTALLATION OF IRRIGATION SYSTEM AND NOTIFY LANDSCAPE ARCHITECT WITH VERIFICATION FIGURES. FAILURE TO NOTIFY LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR TAKING RESPONSIBILITY FOR ANY ALTERATIONS AT HIS/HER OWN COST.
- INSTALL DRIP EMITTERS IN BED AREAS AS DESCRIBED BELOW:

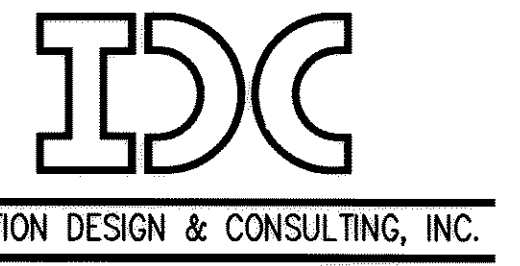
GROUND COVER	AGRIFIM IFT-5	1 EA. 12" RADIUS, 15" O.C.
1 GALLON MAT'L.	AGRIFIM IFT-5	1 EA.
5 GALLON MAT'L.	AGRIFIM IFT-5	2 EA.
DECIDUOUS TREES (11" - 2" CAL.)	AGRIFIM IFT-10	3 EA.
DECIDUOUS TREES (3"-4" CAL.)	AGRIFIM IFT-10	4 EA.
PINE TREES (6"-10')	AGRIFIM IFT-10	2 EA.
PINE TREES (11'-14')	AGRIFIM IFT-10	3 EA.
- CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF PAVING AND SIDEWALKS.
- ELECTRICAL POWER TO THE NEW CONTROLLER IS SUPPLIED BY CONTRACTOR.
- VOID
- LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE INSTALLED BY A TOCR REGISTERED PROFESSIONAL.
- MAINTENANCE OF LANDSCAPE AREAS SHALL MEET TOCR REQUIREMENTS.
- NO STREET WASHING IS ALLOWED IN CASTLE ROCK.
- TOWN OF CASTLE ROCK IS TO PROVIDE A MINIMUM STATIC PRESSURE OF 43 PSI.
- IRRIGATION SYSTEM SHALL BE EQUIPPED WITH BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.
- THE IRRIGATION LINE, METER AND BACKFLOW PREVENTION ASSEMBLY MUST BE THE SAME SIZE FROM THE TAP TO A MINIMUM DISTANCE OF 10 PIPE DIAMETERS PAST THE BACKFLOW PREVENTION ASSEMBLY AND WINTERIZATION TEE.
- INSTALL DRIP BLOWOUTS AT ALL ENDS OF DRIP TUBING.
- USE RAINBIRD 12 SERIES NOZZLES FOR SPRAY HEADS SPACED LESS THAN 13'.
- USE RAINBIRD 10 SERIES NOZZLES FOR SPRAY HEADS SPACED LESS THAN 11'.
- TAP LOCATION - LOT 9A:
CONNECT TO RELOCATED 3/4" COPPER STUB AND INSTALL 3/4" STOP AND WASTE VALVE, 3/4" BACKFLOW PREVENTER, 3/4" MASTER VALVE AND EXTEND 1-1/4" MAINLINE AS SHOWN. INSTALL MASTER VALVE AND PRV IN SAME VALVE BOX. INSTALL STRONGBOX #SBBC-30 A.L. BACKFLOW PREVENTER CAGE. INSTALL TAP, METER AND ALL RELATED EQUIPMENT AS PER CITY SPECIFICATIONS AND DETAILS. SEE DETAIL 13/8
- TAP LOCATION - LOT 10A:
CONNECT TO EXISTING 3/4" COPPER STUB AND INSTALL 3/4" STOP AND WASTE VALVE, 3/4" BACKFLOW PREVENTER, 3/4" MASTER VALVE AND EXTEND 1-1/4" MAINLINE AS SHOWN. INSTALL MASTER VALVE AND PRV IN SEPARATE CARSON #1419-13B VALVE BOXES. INSTALL STRONGBOX #SBBC-30 A.L. BACKFLOW PREVENTER CAGE. INSTALL TAP, METER AND ALL RELATED EQUIPMENT AS PER CITY SPECIFICATIONS AND DETAILS. SEE DETAIL 11/8
- IRRIGATION SHALL OCCUR ON ALLOWED DAYS BETWEEN 11:00PM AND 4:00AM.



Alley



P.S. MILLER HOUSE
Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's addition to
 Castle Rock, 11th amendment
 200 & 210 Front Street



IRRIGATION DESIGN & CONSULTING, INC.
 303-442-7027
 303-665-8485- FAX

1" = 10' - 0"
 REGISTERED LANDSCAPE ARCHITECT:
 Steve Nelson TOCR CERTIFICATION # 8008

DLH Architecture
 Planning, Architecture, Consulting and Construction
 200 Front Street, Castle Rock, CO 80104
 Phone (303) 686-5273
 Fax (303) 614-3570
 DLH Architecture is a Limited Liability Corporation Established in 1992.

P.S. MILLER HOUSE
Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's
 addition to Castle Rock, 11th amendment

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NOTE: HYDRAULIC WORKSHEET IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
 IRRIGATION TAP, METER AND BACKFLOW PREVENTER IS LOCATED ON THE
 IRRIGATION PLANS FOR P.S. MILLER HOUSE LOTS 9A AND 10A, CRAIG AND
 GOULD'S ADDITION TO CASTLE ROCK, 11TH AMENDMENT.

Town of Castle Rock Irrigation System Hydraulic Worksheet						
Project Name:		P.S. Miller House - 9A				
Project Location:		204 Front Street				
Prepared by:		IDC, Inc.				
Current TOCR Registration #		8008				
Date:		April 19, 2009				
Tap Size:		3/4"				
Static Water Pressure:		85.00 From Owner of:				
Hydraulic Grade At Zone:						
	Ft. of Copper	Pipe Size (K. Copper)	Loss From Chart	Flow-GPM	Loss/Gain	
Svc Line (tap to meter):	30.00 LF	3/4" K Copper	14.41 /100 FT	10	4.32	
3/4" Meter:				10	1.60	
Svc Line (meter to backflow):	20.00 LF	3/4" K Copper	14.41 /100 FT	10	2.88	
Backflow:					11.50	
Master Valve:					2.00	
Pressure Required at Head:						30.00
Lateral Allowance:						3.00
Control Valve allowance:						1.50
Mainline allowances:						
	20 LF CL200BE	1.25" @	10 GPM	0.42 /100 FT	0.04	
Elevation:						
	Tap elev.	0	High/Low:	0	0.00	
Total System requirements (PSI)						56.85
Available System Pressure (PSI)						85.00
Town of Castle Rock provides a minimum static pressure of 43 psi						

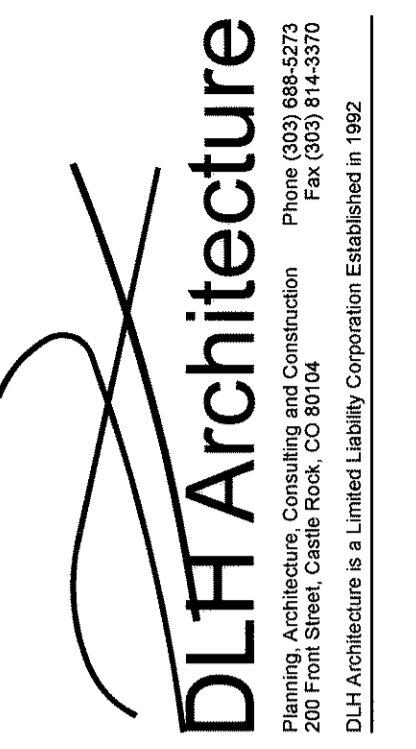
Town of Castle Rock Irrigation System Hydraulic Worksheet						
Project Name:		P.S. Miller House - 10A				
Project Location:		204 Front Street				
Prepared by:		IDC, Inc.				
Current TOCR Registration #		8008				
Date:		April 19, 2009				
Tap Size:		3/4"				
Static Water Pressure:		85.00 From Owner of:				
Hydraulic Grade At Zone:						
	Ft. of Copper	Pipe Size (K. Copper)	Loss From Chart	Flow-GPM	Loss/Gain	
Svc Line (tap to meter):	30.00 LF	3/4" K Copper	14.41 /100 FT	10	4.32	
3/4" Meter:				10	1.60	
Svc Line (meter to backflow):	30.00 LF	3/4" K Copper	14.41 /100 FT	10	4.32	
Backflow:					11.50	
Master Valve:					2.00	
Pressure Required at Head:						30.00
Lateral Allowance:						3.00
Control Valve allowance:						1.50
Mainline allowances:						
	30 LF CL200BE	1.25" @	10 GPM	0.42 /100 FT	0.06	
Elevation:						
	Tap elev.	0	High/Low:	0	0.00	
Total System requirements (PSI)						58.31
Available System Pressure (PSI)						85.00
Town of Castle Rock provides a minimum static pressure of 43 psi						

Town of Castle Rock IRRIGATION CHART 9A											
Zone		Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage
		Low (5'-10') Med (10'-15') High (>15')	(Turf, Native, Shrubs, Perennials, Trees, Annuals, etc.)	(Rotors, Sprays, Bubblers, Drip, SDI, etc.)	(Nozzle/ Emitter size)	(Inches/hour)	(Per Zone)	(Peak not to exceed 6"/month or 1.5"/week)	(Minutes/Month)	(Minutes/Day)	(Gallons per month)
Ex-1	High	Blue Grass	RB 1906 SAM PPS	15'		1.83	15	6	197		295.1
Ex-2	Low	Buffalo Grass	Hunter L-20	3		0.4	15	1	150	15	225.0
A1	Low	Shrubs	Drip	1.0 GPH		0.5	0.2	1.7	204	20	4.1
A2	Low	Perennials	Spray	8"		1.83	5.0	1.7	56	6	27.9
A3	Low	Shrubs	Drip	1.0 GPH		0.5	0.5	1.7	204	20	10.2
A4	Med	Sod	Spray	15"		1.83	9.0	3.0	98	10	86.6
A5	Med	Sod	Spray	15"		1.83	10.0	3.0	98	10	96.4
Total									Min/Month	Min/cycle	Gallons/Month
									660	68	229.0

Town of Castle Rock IRRIGATION CHART 10A											
Zone		Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage
		Low (5'-10') Med (10'-15') High (>15')	(Turf, Native, Shrubs, Perennials, Trees, Annuals, etc.)	(Rotors, Sprays, Bubblers, Drip, SDI, etc.)	(Nozzle/ Emitter size)	(Inches/hour)	(Per Zone)	(Peak not to exceed 6"/month or 1.5"/week)	(Minutes/Month)	(Minutes/Day)	(Gallons per month)
Ex-1	High	Blue Grass	RB 1906 SAM PPS	15'		1.83	15	6	197		295.1
Ex-2	Low	Buffalo Grass	Hunter L-20	3		0.4	15	1	150	15	225.0
A1	Low	Shrub	Drip	1.0 GPH		0.5	0.35	1.7	204	20	7.1
A2	Low	Shrub	Drip	1.0 GPH		0.5	1.0	1.7	204	20	20.4
A3	Med	Sod	Spray	15"		1.83	10.0	2.5	82	8	82.0
A4	Med	Sod	Spray	15"		1.83	9.0	3.0	98	10	86.6
A5	Med	Sod	Spray	15"		1.83	10.0	3.0	98	10	96.4
A6	Med	Sod	Spray	15"		1.83	9.0	3.0	98	10	86.6
A7	Med	Sod	Spray	15"		1.83	10.0	3.0	98	10	96.4
Total									Min/Month	Min/cycle	Gallons/Month
									663	68	483.3

P.S. MILLER HOUSE
 Final PD Site Plan
 Lots 9A and 10A, Craig and Gould's addition to
 Castle Rock, 11th amendment
 200 & 210 Front Street

REGISTERED LANDSCAPE ARCHITECT:
 Steve Nelson TOCR CERTIFICATION # 8008



P.S. MILLER HOUSE
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 addition to Castle Rock, 11th amendment

Project #:
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P.S. MILLER HOUSE Final PD Site Plan

Lots 9A and 10A, Craig and Gould's addition to
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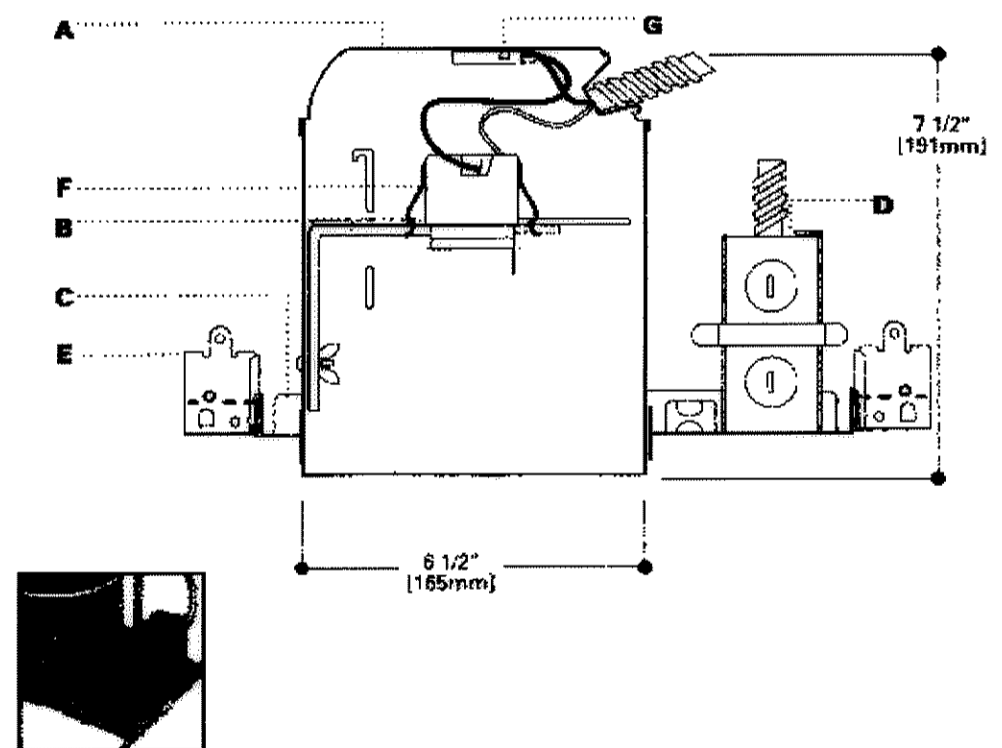


DESCRIPTION
The H7 recessed housing is the standard in the industry for both commercial and residential applications. The wide variety of trims available allows a number of different lighting effects to be created with one basic housing. H7ICT is for installations where the housing will be in direct contact with insulation.

Catalog #	Type
Project	
Comments	
Prepared by	Date

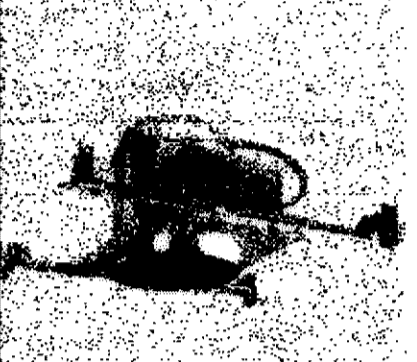
DESIGN FEATURES

- A - Housing**
Aluminum construction for greater heat dissipation.
- B - Socket Plate**
Rigid socket plate adjusts and locks without tools for various lamp sizes.
- C - Plaster Frame**
Housing adjusts in plaster frame to accommodate up to 1-3/4" ceiling thickness. Plaster frame features include:
 - Regressed locking screw for securing hanger bars
 - Cutouts for easily crimping hanger bars in position
 - Halo name embossed on plaster frame
 - Galvanized steel construction. The housing can be removed from plaster frame to provide access to the junction box.
- D - Junction Box**
 - Listed for through branch circuit wiring
 - Positioned to accommodate straight conduit runs
 - Seven 1/2" trade size conduit knockouts with true pry-out slots
 - Slide-N-Side™ connectors
- E - GOT NAIL!™ Pass-N-Thru™ Bar Hangers**
Bar Hanger Features include:
 - Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams
 - Safety and guidance system prevents snagging, ensures smooth straight nail penetration and allows bar hangers to be easily removed if necessary.
 - Automatic levelling flange aligns the housing and lets you
- F - Socket**
Porcelain socket with nickel plated brass screw shell, snaps into trim for consistent lamp positioning.
- G - Thermal Protector**
Self resetting thermal protector deactivates fixture if overheating occurs due to improper lamping.



Ordering information on reverse

COOPER LIGHTING



H7ICT
6" Insulated Ceiling Recessed Housing

6" TRIMS

FOR USE IN INSULATED CEILINGS FOR DIRECT CONTACT WITH INSULATION

This housing is AIR-TITE when used with the following Trims:

- 170PS
- 171PS
- 173PS
- 78PAT
- 30 (All Styles)
- 430 (All Styles)
- ERT712 (All Styles)
- ERT713 (All Styles)
- ERT725 Series

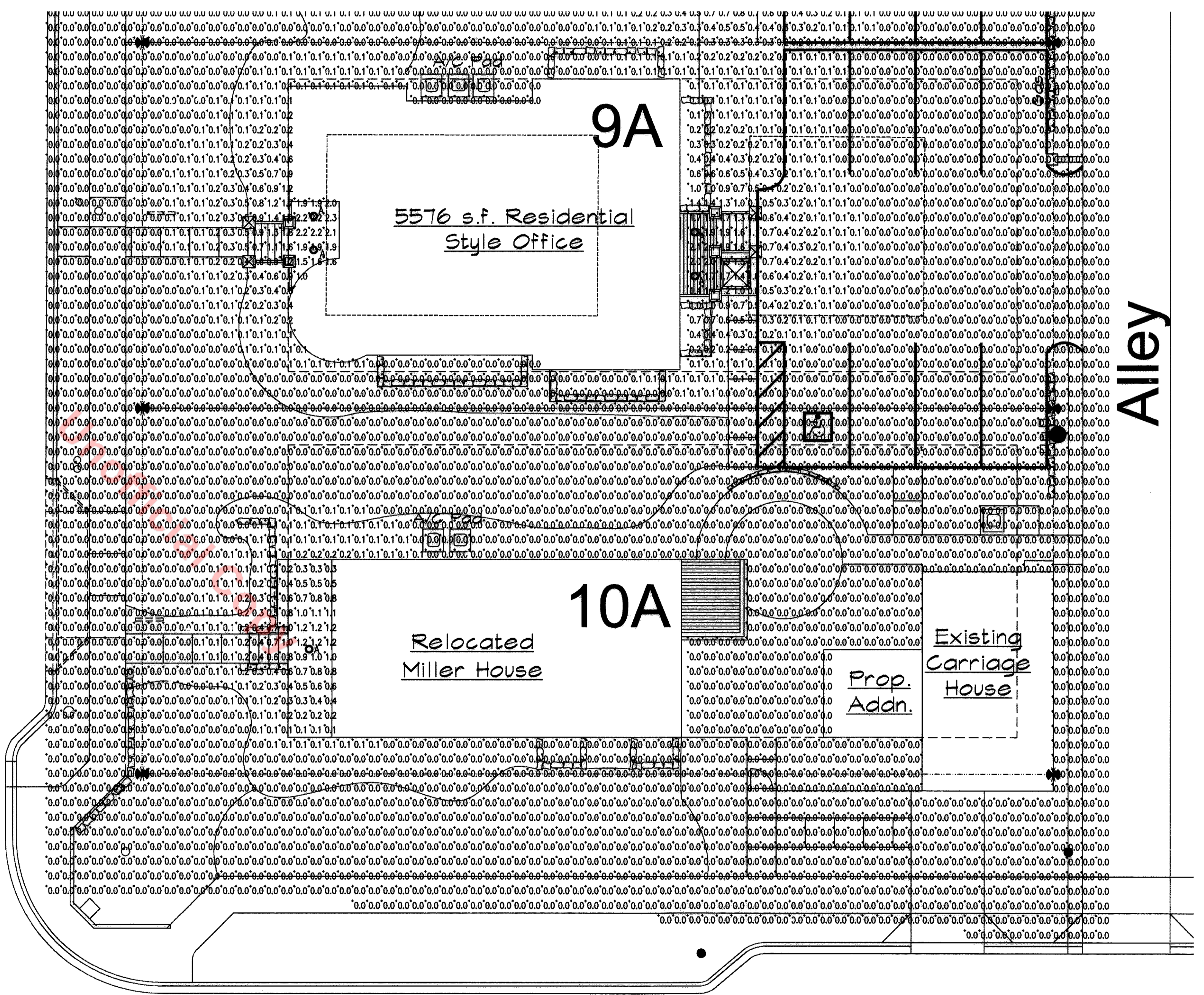


SLIDE-N-SIDE III JUNCTION BOX

UPGRADE FEATURES:

- SLIDE-N-SIDE™ JUNCTION BOX
- GOT NAIL!™ BAR HANGERS
- PASS-N-THRU™ BAR HANGERS
- REGRESSED LOCKING SCREW
- HALO ID ON PLASTER FRAME

ADV042486
Supersedes ADV031561, ADV023106 & ADV000300
904
TAB: Recessed Incandescent
Sheet 17



Photometric Plan
1" = 10'-0"
North

NOTE: CLIENTS HAVE NO AUTOMATIC CONTROLS, THEY WILL SHUT OFF THE LIGHTS WHEN THEY LEAVE WORK.

Type	Description	Catalog Number	Lamp	Lumens	LLF	Quantity	Mounting
A	RECESSED CAN	HALO7KT	26W CFL	1800	1.0	5	RECESSED CEILING MTD 14" AFG
.

Note: All Lights are IESNA Full Cut-Off
AFG = Above Finish Grade
NOTE: FIXTURES ARE MOUNTED AT 14'-0" ABOVE FINISHED GRADE

Numeric Summary

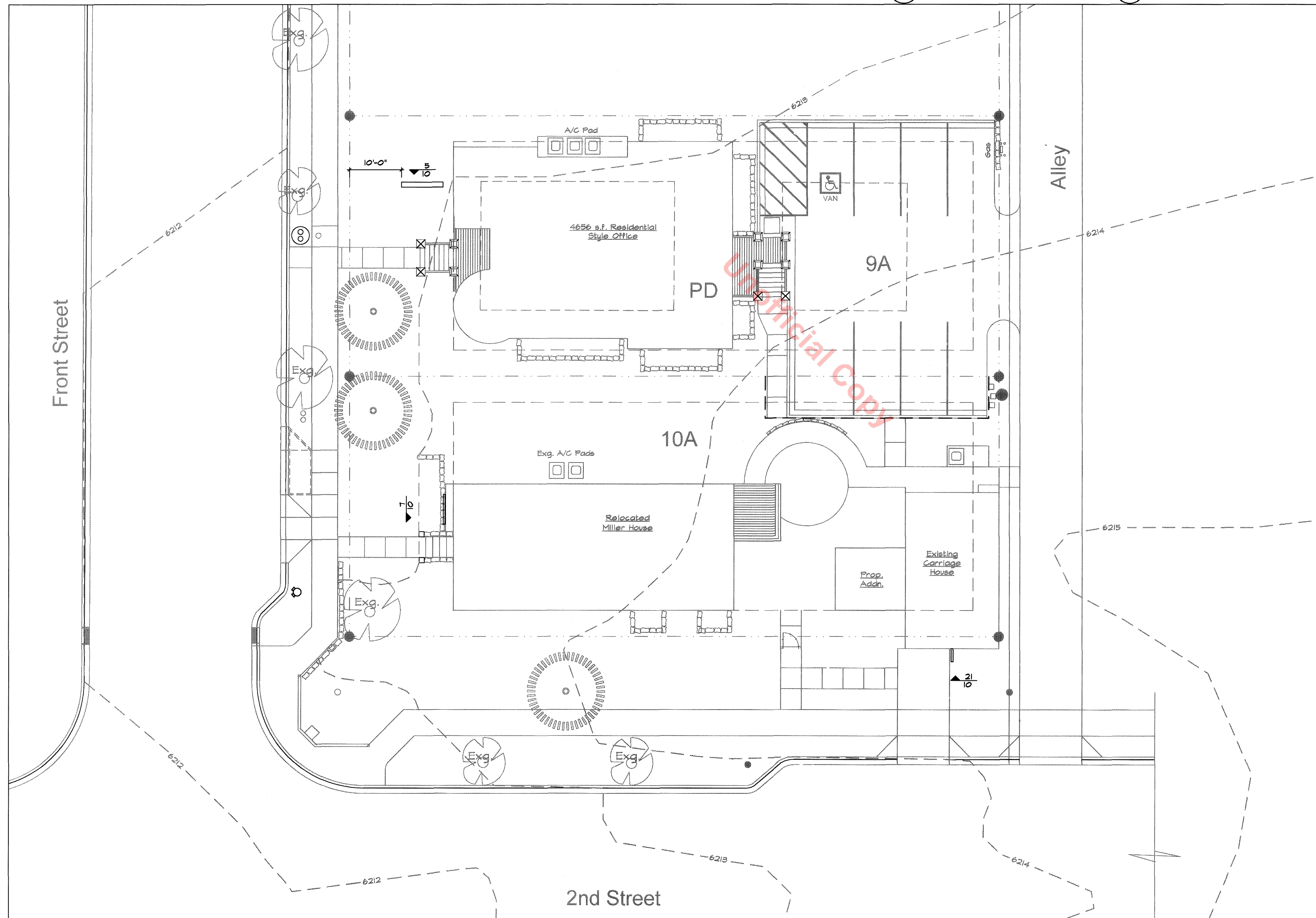
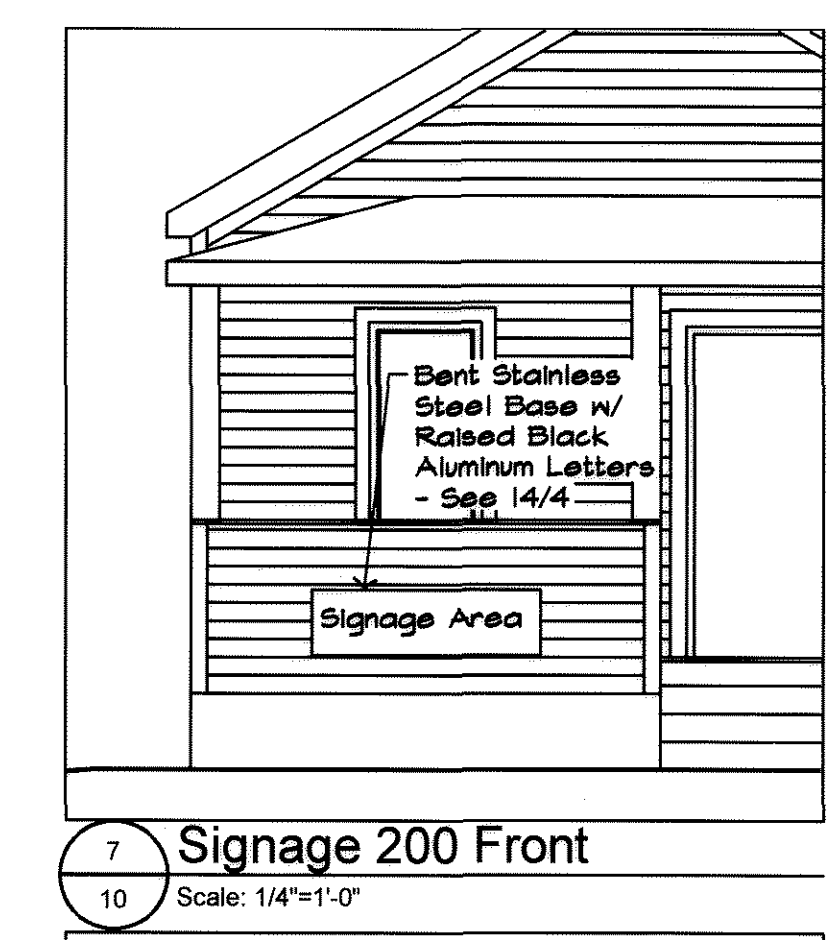
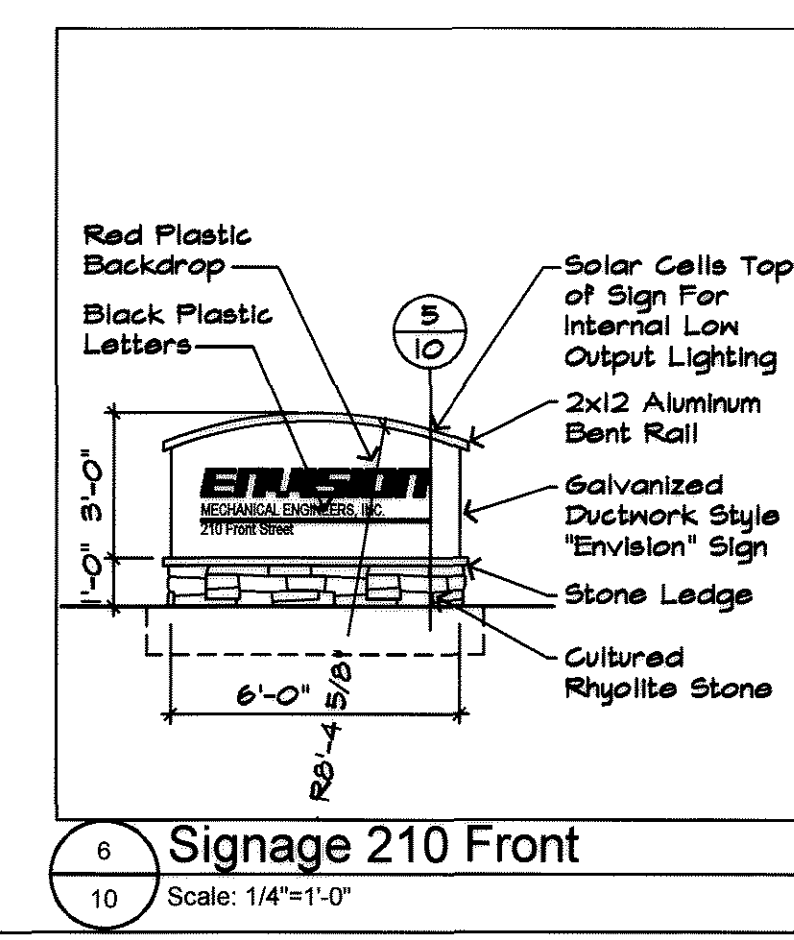
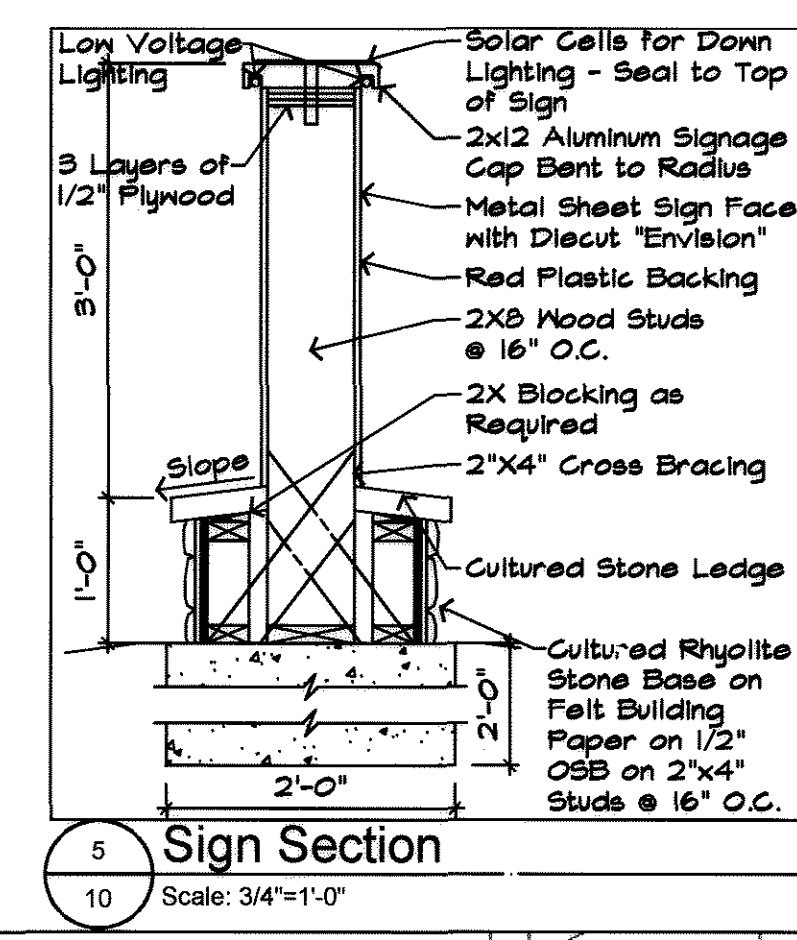
Label	Avg (fc)	Max (fc)	Min (fc)	Avg/Min	Max/Min
Grade	0.1	3.6	0		
Property Line	0.1	0	0		

LIGHTING NOTE:
Lighting calculations do not include public street/alley lighting. Calculations based on building lighting (recessed cans) only

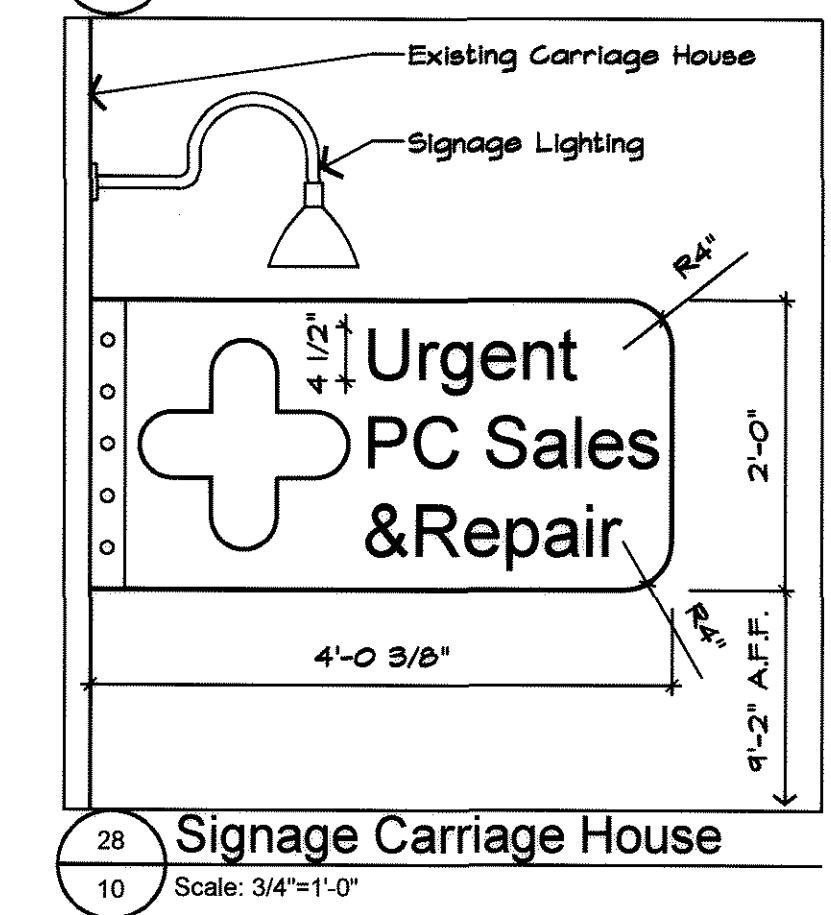
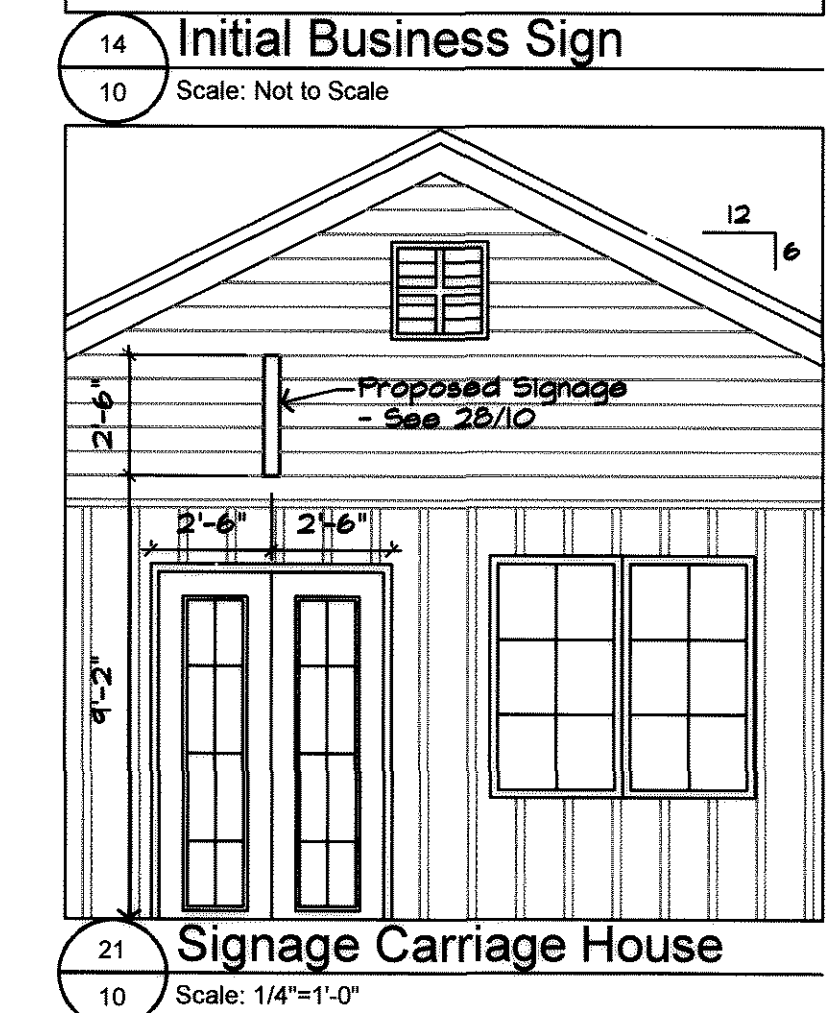
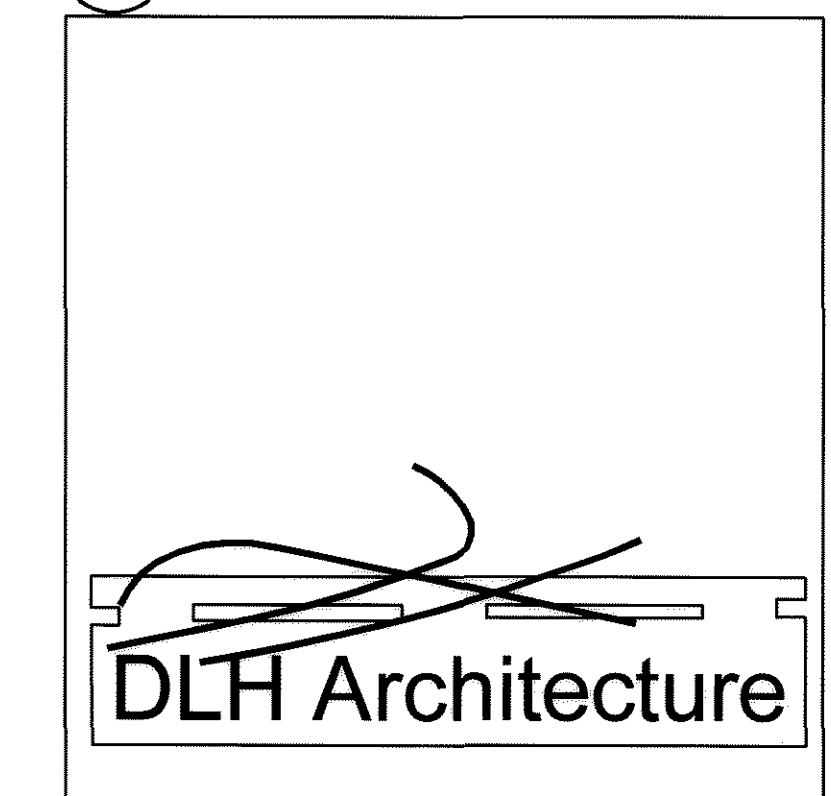
P.S. MILLER HOUSE
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Lots 9A and 10A, Craig and Gould's addition to Castle Rock, 11th amendment

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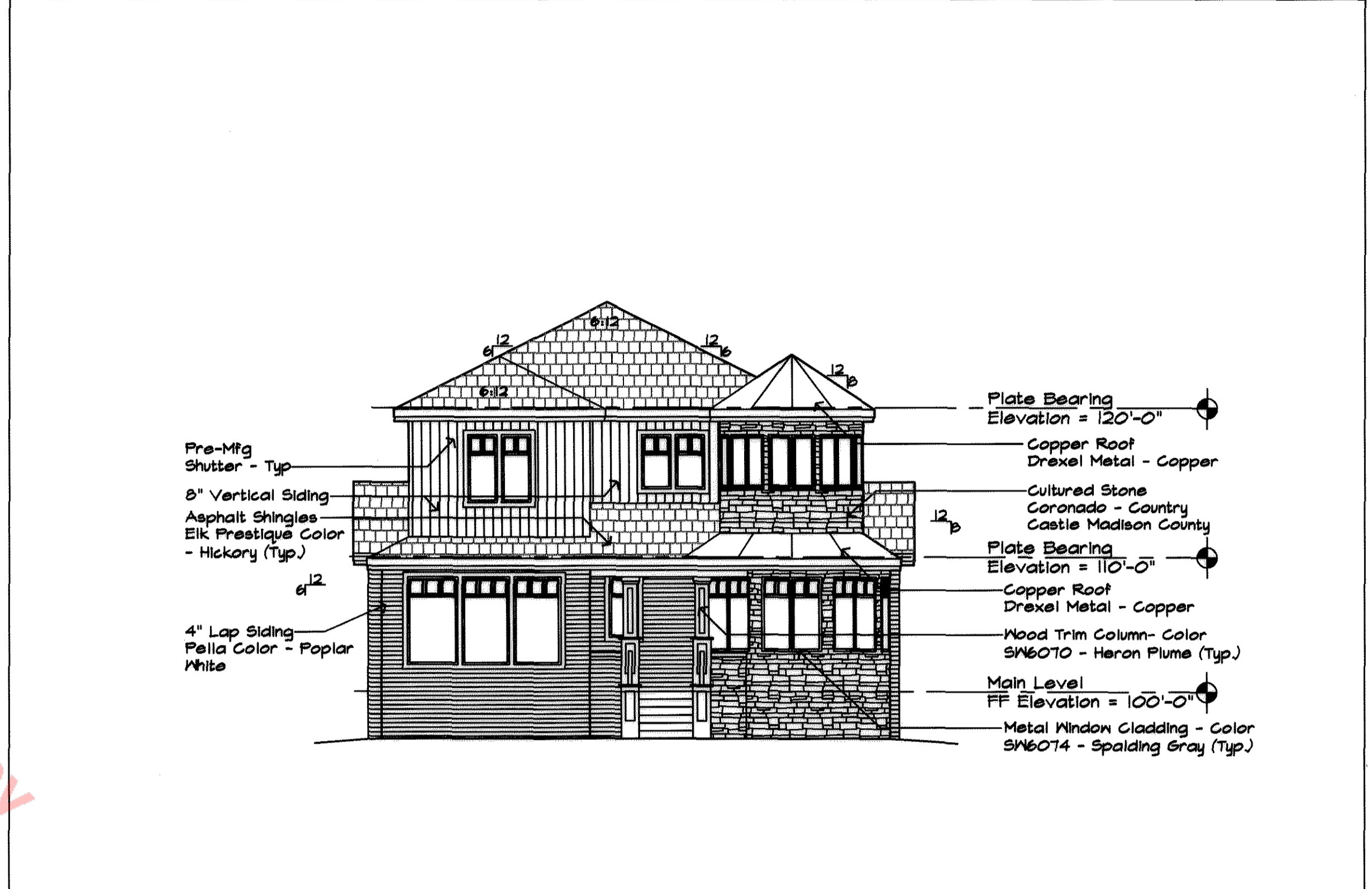
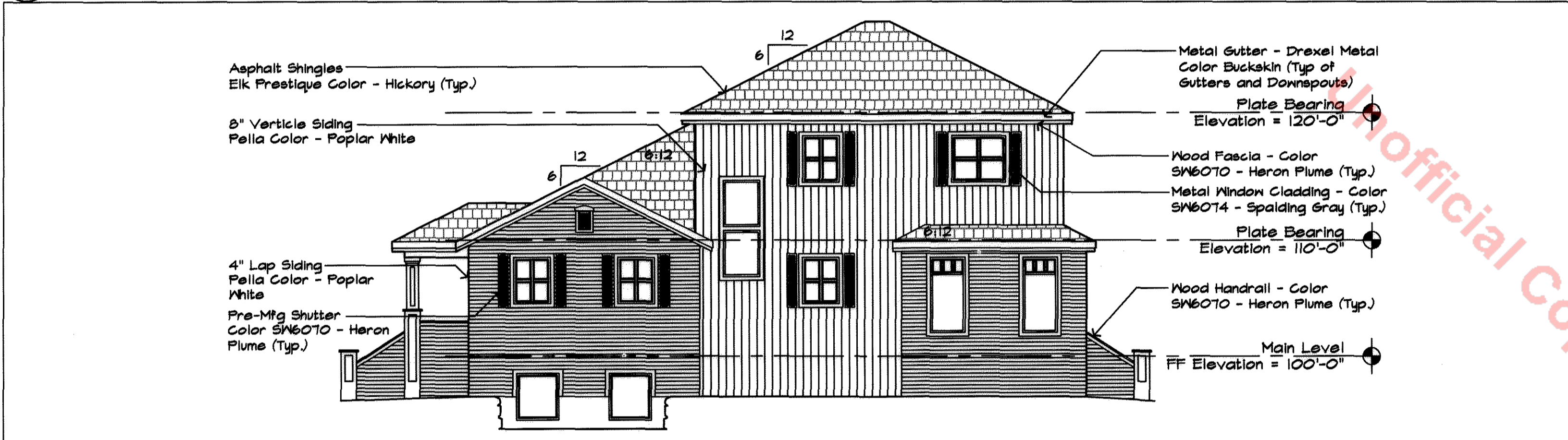
32 Signage Plan
 Scale: 1"=10'-0"



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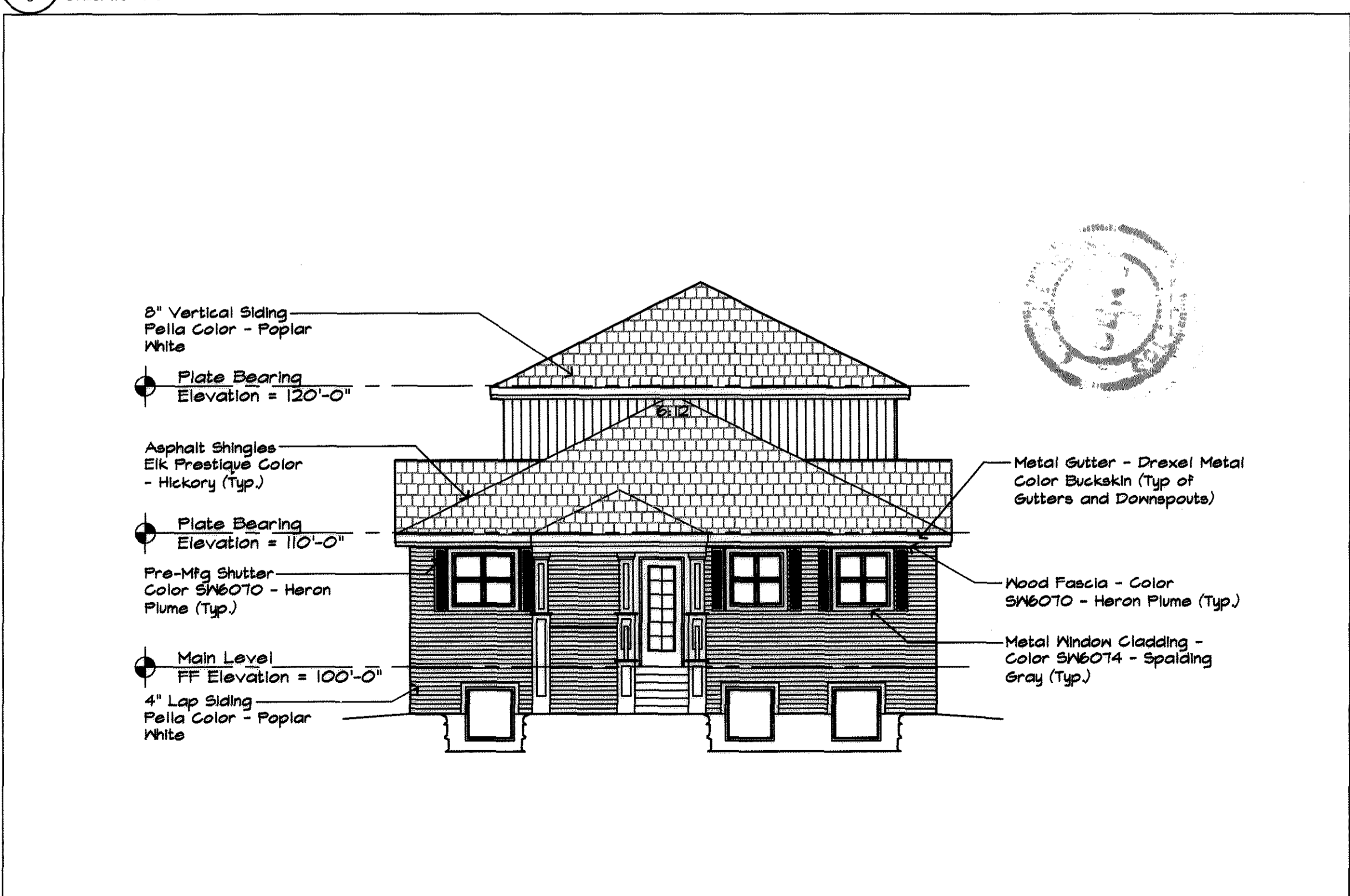


8 Front Street Elevation
 Scale: 1/8"=1'-0"



26 210 West Elevation
 Scale: 1/8"=1'-0"

22 210 North Elevation
 Scale: 1/8"=1'-0"



29 210 East Elevation
 Scale: 1/8"=1'-0"



31 210 South Elevation
 Scale: 1/8"=1'-0"

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