

PLAT IDENTIFICATION SHEET

RECEPTION # :

DC9754412

DATE:

9-30-97

TIME:

11:26

FEE: \$

60⁰⁰

(6

Pages)

GRANTOR:

(OWNER/SIGNER)

MJS Properties

GRANTEE:

(SUBDIVISION NAME OR NAME OF PLAT)

Mountain Shadows #1
1st Amendment
Final P.D. Site Plan

LEGAL:

(SECTION-TOWNSHIP-RANGE)

2, 8, 67

MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT

FINAL P.D. SITE PLAN

PART OF THE SW 1/4, NE 1/4 AND NW 1/4, SE 1/4 OF
SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF
THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents, that the undersigned, being all of the Owner(s), Mortgage(s) and Lienholder(s) of certain lands in the Town of Castle Rock, Douglas County, Colorado, described as follows:

Beginning at the center of Section 2, Township 8 South, Range 67 West; Thence S 88°57'57" E 56.02 feet to a point on the easterly Right of Way line of the I-25 Frontage Road to the Point of Beginning; Thence N 7°55'30" W 156.00 feet; Thence S 87°41'13" E 426.91 feet; Thence S 0°46'20" W 37.97 feet; Thence S 57°00'49" E 580.53 feet; Thence S 31°42'47" W 141.32 feet; Thence N 52°49'16" W 77.95 feet; Thence S 38°11'27" W 113.00 feet; Thence N 51°48'33" W 268.00 feet to a point of tangency of an arc of a curve with a radius of 330.00 feet and a central angle of 49°23'23"; Thence along said curve to the left 284.46 feet to a point of tangency; Thence S 78°48'04" W 179.04 feet; Thence N 11°11'56" W 91.81 feet; Thence N 7°55'30" W 94.24 feet to the point of beginning, containing 5.341 acres, more or less, have by these presents laid out, platted and subdivided the same into tracts, as shown on this plat, under the name and style of Mountain Shadows Filing No. 1, 1st Amendment, and do hereby dedicate to the Town of Castle Rock as public roads, the streets and roads as shown on said plat, these being none. The undersigned hereby further dedicate all utility rights, both tributary and non-tributary, arising upon, flowing upon or lying under the property as described and shown hereon.

The undersigned hereby further dedicate to the public utilities the right to install, maintain and operate mains, transmission lines, service lines and appurtenances to provide such utility services within this subdivision or property contiguous thereto, under, along, and across public roads as shown on this plat and also under, along and across utility easements as shown hereon.

The lands comprising this subdivision are subject to certain covenants which are recorded in Book 330 of the records of Douglas County, Colorado.

Executed this 30th day of Sept, 1997

Owner(s):

Martin J. Stridwint, MJS Properties
Martin J. Stridwint, M.J.S. Properties, Owner

Consent to Subdivide given by Mountain Shadows Homeowners Association (Ref. Reception Number 9210422, Book 1040, Page 965)

SS:

County of Douglas

The foregoing dedication was acknowledged before me the 10th day of Sept, 1997, by Martin J. Stridwint Witness by hand and seal. My Commission expires: 5/19/01

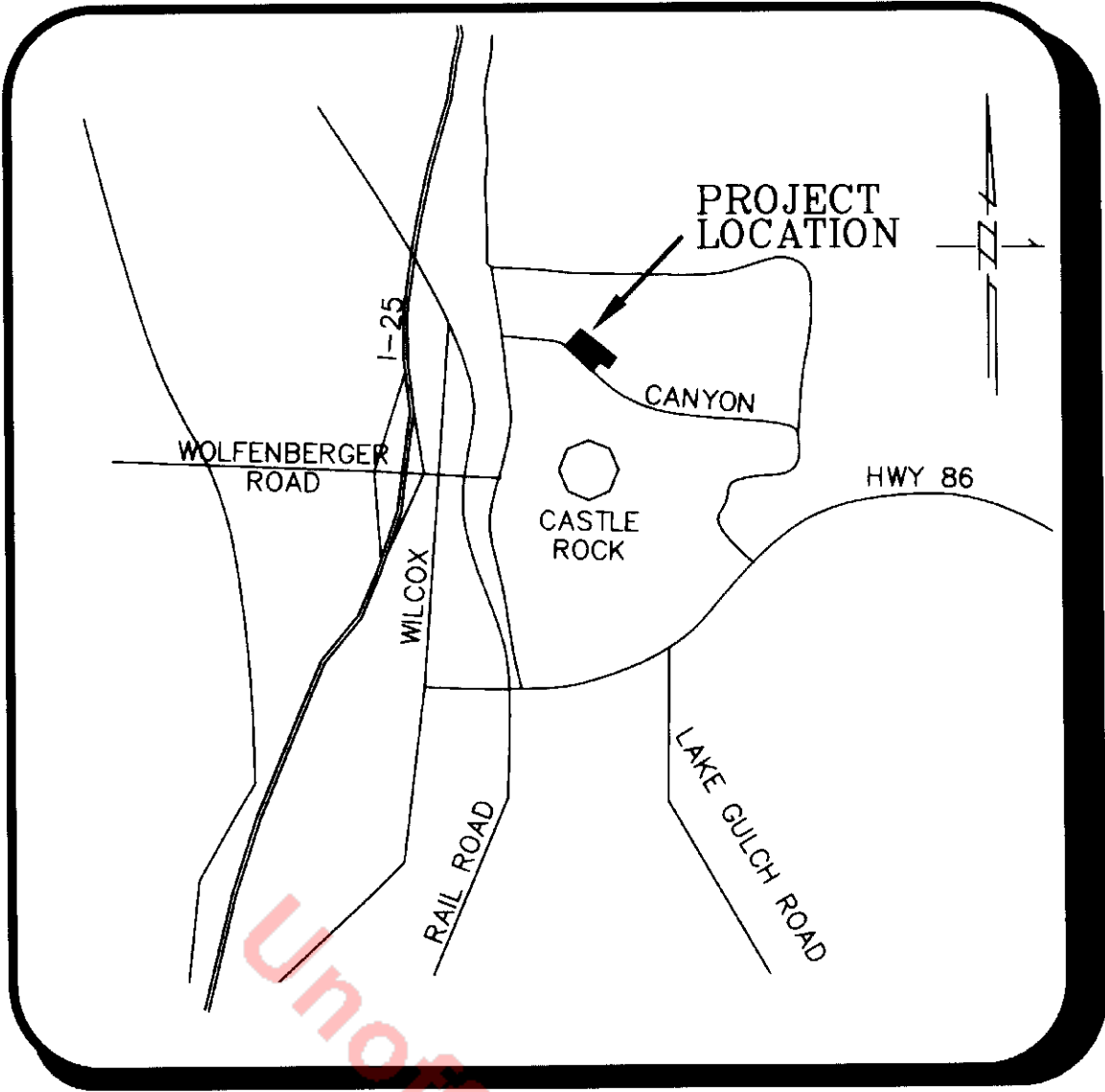
Diana K Price
Notary Public

SS:

County of Douglas

The foregoing dedication was acknowledged before me the 10th day of Sept, 1997, by Kenneth L. Epperson Witness by hand and seal. My Commission expires: 5/19/01

Diana K Price
Notary Public



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	AREA SITE PLAN
SHEET 3	GRADING PLAN
SHEET 4	UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 6	BUILDING ELEVATIONS

GENERAL NOTES

- The City Engineer stamp and signature affixed to this document indicates the Department of Public Works has reviewed the document and found it in general conformance with the Town of Castle Rock Subdivision Regulations or approved variances to those regulations. The City Engineer, through approval of this document, assumes no responsibility, other than stated above, for the completeness and/or understand that it is the policy and practice of the Town of Castle Rock not to accept liability for facilities designed by others. The responsibility for the engineering adequacy of the facilities depicted in this document lies solely with the Registered Professional Engineer whose stamp and signature is affixed to this document.
- All Roadway construction shall conform to Castle Rock Roadway Design and Construction Standards.
- All materials and workmanship shall be subject to inspection by the Town of Castle Rock Department of Public Works. The Town reserves the right to accept or reject any such materials and workmanship that does not conform to its Standards and Specifications.
- All storm drainage construction shall conform to the Town of Castle Rock Storm Drainage Design and Technical Criteria and to the Roadway Design and Construction Standards.
- The contractor shall notify the Department of Public Works Inspection Section a minimum of 48 hours and a maximum of 96 hours prior to starting construction.
- The contractor shall have one (1) signed copy of the plans approved by the Public Works Department at the job site at all times.
- Inspection: concrete shall not be placed until authorization has been issued. Authorization will not be issued unless the contractor has, at the job site, a copy of the approved plans. If an inspector is not available after proper notice of construction activity has been provided, the permittee may commence work without authorization. However, the Town retains the right not to accept the structure if subsequent testing reveals an improper installation.
- Paving shall not start until a soil report and pavement design are approved and subgrade compaction tests are taken and approved by the Engineering Division.
- The Contractor shall install the water and sewer services and all appurtenances in accordance with Town requirements.
- A plan for traffic control during construction shall be submitted to the Town for approval prior to requesting a permit for construction. A Street Cut or Road Construction Permit will not be issued without an approved traffic control plan.
- Location of existing utilities shall be verified by the contractor prior to actual construction. For information contact:
Town of Castle Rock - 660-1015
U.S. West (Telephone) - 792-6090
Blue Stakes - 534-6700
- Water services, stop boxes, corp stops, and meters shall be installed in accordance with the Town of Castle Rock Utility Department Standards and Requirements. All water service lines shall be Type K copper pipe and buried a minimum of 5.5' below the proposed finish surface.
- Sewer service lines (6") shall be connected to the 8" main within the private drive. The tap shall include an 1/8 bend with saddle strapped to the main with stainless steel bands. The sewer line, bends, and appurtenances shall be ASTM SDR 35 pipe material and shall be installed using squeegee or 3/8" pea gravel around the entire circumference of the pipe. Service line grades to the building shall not be less than 1% nor greater than 2%; 2% is preferred.

PLANNING COMMISSION APPROVAL

This plan was recommended for approval by the planning commission of the Town of Castle Rock, Colorado, the 11th day of August, A.D., 1997.

ATTEST:

Don Edlund 9/30/97
Chairman
John A. Hume 9/19/97
Planning Director Date

TOWN COUNCIL APPROVAL

This plan was approved and the dedications on the plat accepted by the Town of Castle Rock, Colorado, the 14th day of August, A.D., 1997.

ATTEST:

Don Edlund Sept 23, 1997
Mayor
John A. Hume 9-23-97
Town Clerk Date

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO
(SS)
COUNTY OF DOUGLAS)

I hereby certify that this plan was filed in my office on the 30 day of Sept, 1997 at 11:36 o'clock A.M. and was recorded under reception number 9754412.

Patricia A. Givens
Douglas County Clerk and Recorder



TITLE CERTIFICATE

I, Eric Skarns, being an authorized representative of Land Title Guarantee, a title insurance company licensed to do business in the state of Colorado, have made an examination of the public records and state that all owners, mortgages, and lienholders of the property are listed in the certificate of ownership and dedication.

Signed this 12 day of September, 1997.

Eric Skarns
Authorized Representative
Land Title Guarantee
Title Insurance Company

SURVEYOR'S CERTIFICATE

I, Donald J. Gillard, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey represented by this plan was made under my supervision and the monuments shown thereon actually exist and this plan accurately represents said survey.

Donald J. Gillard Sept 12, 1997
Donald J. Gillard, CO P.E. #1487 Date
FUTURA ENGINEERING, INC.

ENGINEER'S CERTIFICATE

I hereby affirm that this Final PD Site Plan was prepared under my direct supervision, in accordance with all applicable Town of Castle Rock Standards, and that I am fully responsible for the construction, contents and calculations relevant to said plans.

Anson B. Andrew 9/12/97
Anson B. Andrew, CO P.E. #11028 Date
FUTURA ENGINEERING, INC.

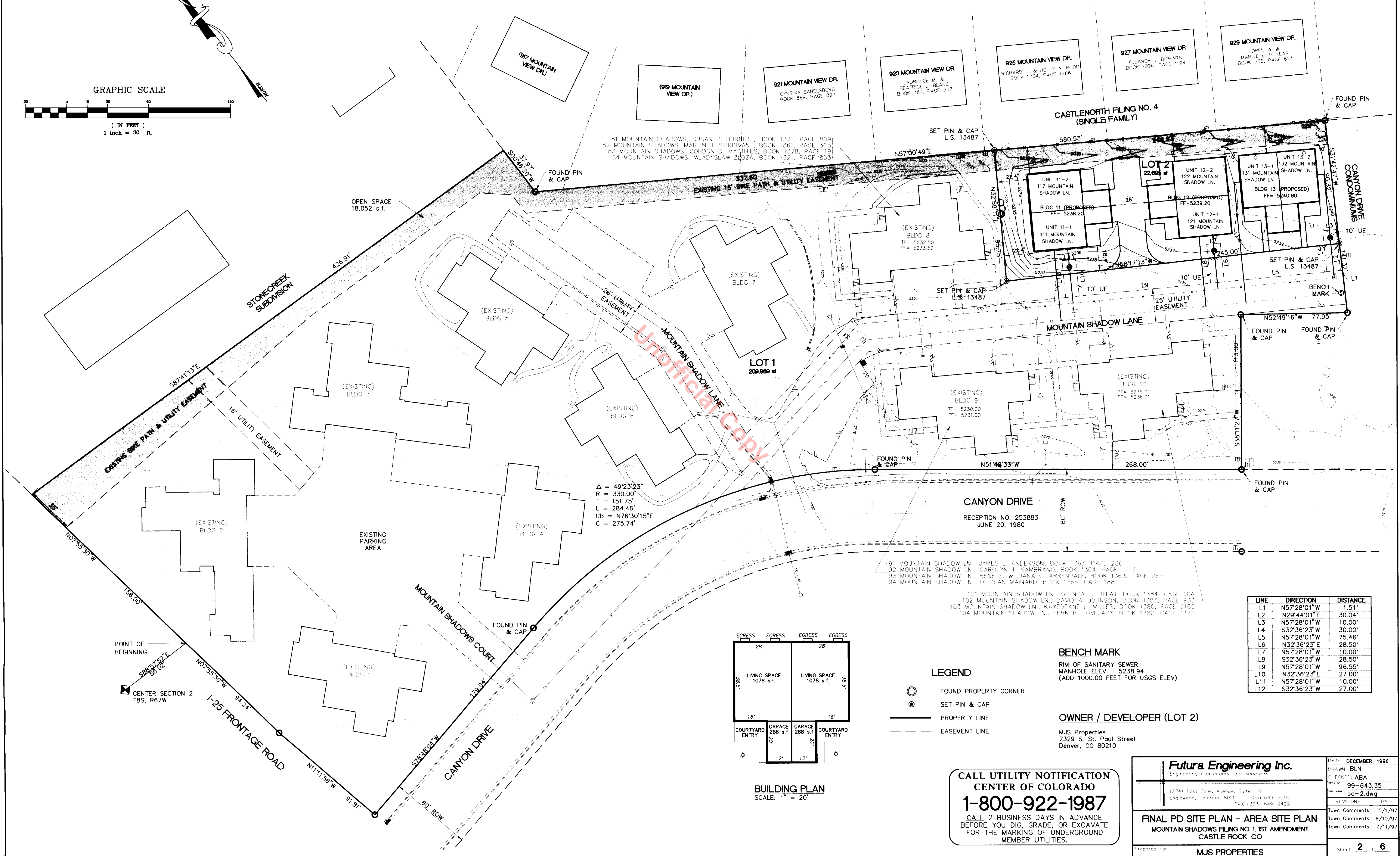
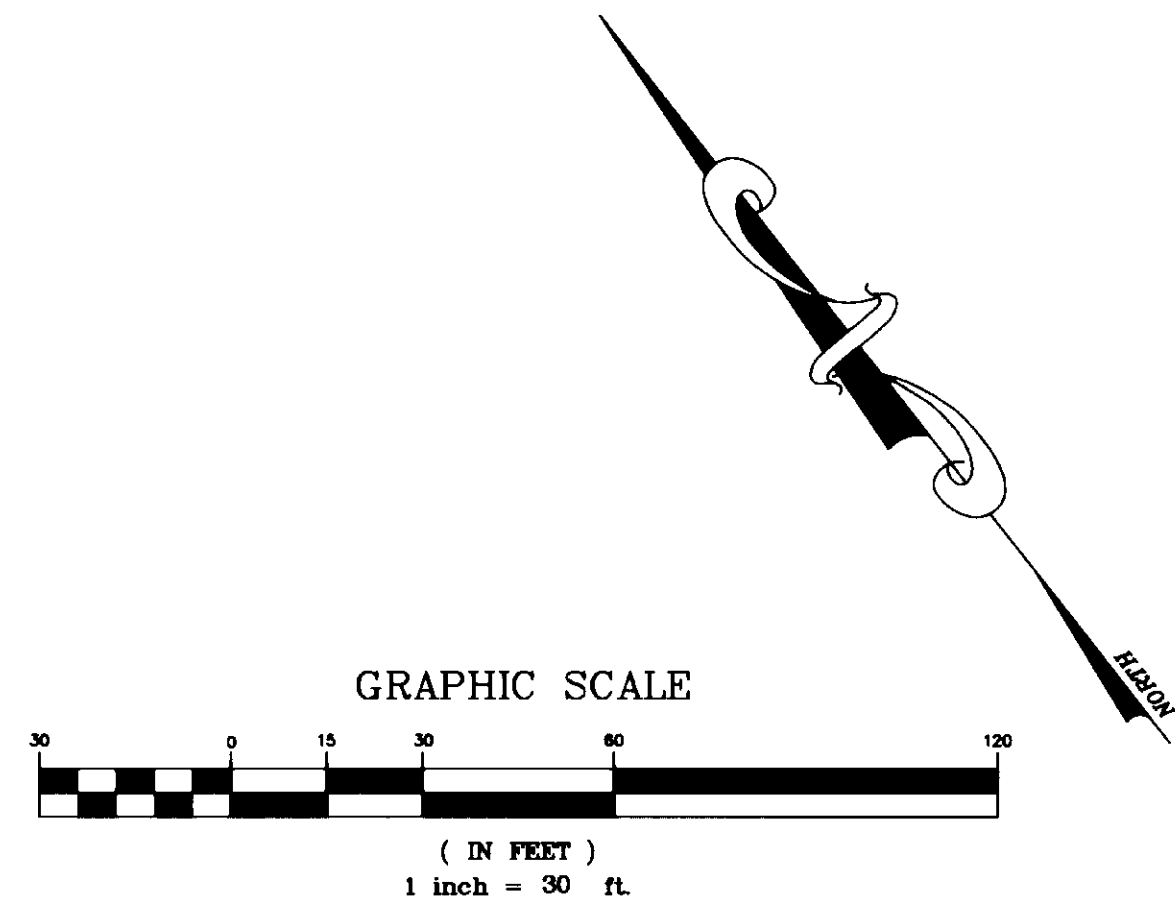
MORTGAGEES / LIENHOLDERS - NONE

OWNER / DEVELOPER (LOT 2)

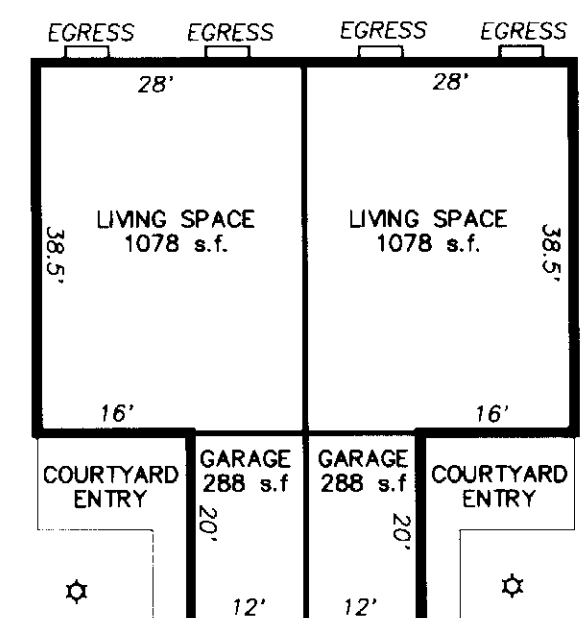
MJS Properties
2329 South St. Paul
Denver, CO 80210

Futura Engineering Inc. Engineering Consultants and Surveyors 12141 East 14th Avenue, Suite 120 Englewood, Colorado 80111 (303) 649-9292 FAX (303) 649-9494		DATE: DECEMBER, 1996 DRAWN: BLN CHECKED: ABA PROJECT: 99-643.35 FILE NAME: pd-1.dwg REVISIONS: 5/1/97 TOWN COMMENTS: 6/10/97 TOWN COMMENTS: 7/11/97
FINAL PD SITE PLAN - COVER SHEET MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT CASTLE ROCK, CO		Sheet 1 of 6
Prepared For: MJS PROPERTIES		

MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT
FINAL PD SITE PLAN
 PART OF THE SW 1/4, NE 1/4 AND NW 1/4, SE 1/4 OF
 SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF
 THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



$\Delta = 49^{\circ}23'23''$
 $R = 330.00'$
 $T = 151.75'$
 $L = 284.46'$
 $CB = N76^{\circ}30'15''E$
 $C = 275.74'$



91 MOUNTAIN SHADOW LN., JAMES L. ANDERSON, BOOK 1363, PAGE 286
 92 MOUNTAIN SHADOW LN., CAROLYN L. SAMBRANO, BOOK 1364, PAGE 1314
 93 MOUNTAIN SHADOW LN., RENE E. & DIANA C. ARRENDIALE, BOOK 1365, PAGE 267
 94 MOUNTAIN SHADOW LN., O. DEAN MAINARD, BOOK 1365, PAGE 188
 101 MOUNTAIN SHADOW LN., GLENDA L. FILLAI, BOOK 1364, PAGE 104
 102 MOUNTAIN SHADOW LN., DAVID A. JOHNSON, BOOK 1383, PAGE 933
 103 MOUNTAIN SHADOW LN., KAYDEFANE J. MILLER, BOOK 1380, PAGE 2169
 104 MOUNTAIN SHADOW LN., FERN R. LOVE ADY, BOOK 1380, PAGE 1572

BENCH MARK
 RIM OF SANITARY SEWER
 MANHOLE ELEV = 5238.94
 (ADD 1000.00 FEET FOR USGS ELEV)

OWNER / DEVELOPER (LOT 2)
 MJS Properties
 2329 S. St. Paul Street
 Denver, CO 80210

- LEGEND**
- FOUND PROPERTY CORNER
 - SET PIN & CAP
 - PROPERTY LINE
 - - - EASEMENT LINE

LINE	DIRECTION	DISTANCE
L1	N57°28'01"W	1.51'
L2	N29°44'01"E	30.04'
L3	N57°28'01"W	10.00'
L4	S32°36'23"W	30.00'
L5	N57°28'01"W	75.46'
L6	N32°36'23"E	28.50'
L7	N57°28'01"W	10.00'
L8	S32°36'23"W	28.50'
L9	N57°28'01"W	96.55'
L10	N32°36'23"E	27.00'
L11	N57°28'01"W	10.00'
L12	S32°36'23"W	27.00'

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
 CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

Futura Engineering Inc.
Engineering Consultants and Surveyors

12741 East Colfax Avenue, Suite 128
 Englewood, Colorado 80111 (303) 649-9292
 FAX (303) 649-9499

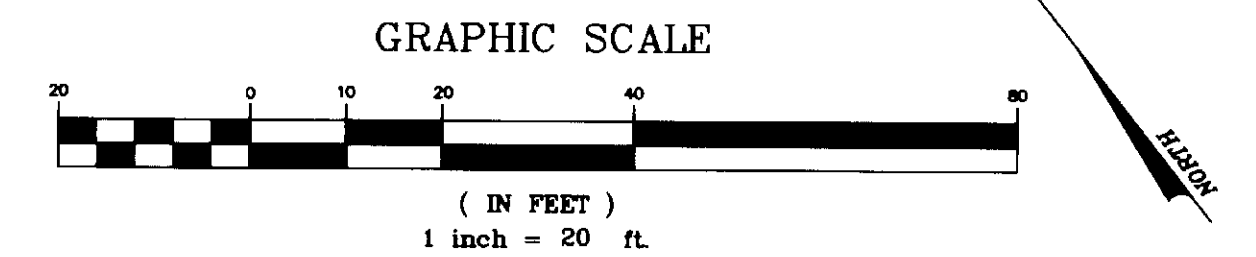
DATE: DECEMBER, 1996
 DRAWN: BLN
 CHECKED: ABA
 PROJ. NO: 99-643.35
 FILE NAME: pd-2.dwg
 REVISIONS: DATE
 Town Comments: 5/1/97
 Town Comments: 6/10/97
 Town Comments: 7/11/97

FINAL PD SITE PLAN - AREA SITE PLAN
 MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT
 CASTLE ROCK, CO

Prepared For: **MJS PROPERTIES**

Sheet **2** of **6**

MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT
FINAL PD SITE PLAN
 PART OF THE SW 1/4, NE 1/4 AND NW 1/4, SE 1/4 OF
 SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF
 THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



NOTES:

- 1) THE SITE IS NOT IMPACTED BY 100 YEAR FLOOD PLAINS OR OFFSITE BASINS OF ANY SIGNIFICANT SIZE.
- 2) MINIMUM PARKING STALL DIMENSIONS SHALL BE 9' WIDE X 18' LONG.
- 3) EXISTING 'NO PARKING FIRE LANE' SIGNS ARE LOCATED ON EACH SIDE OF EXISTING PRIVATE DRIVE.
- 4) ALL CLEARING AND GRUBBING THAT MAY BE REQUIRED SHALL BE LIMITED TO THE SITE ITSELF.
- 5) TRASH PICKUP WILL OCCUR AT THE CURB (EXISTING PROCEDURE).
- 6) POSTAL SERVICE SHALL BE THROUGH EXISTING MAILBOX CLUSTER.
- 7) PAVEMENT SHALL BE 5" FULL DEPTH ASPHALT OR EQUIVALENT.

BENCH MARK

RIM OF SANITARY SEWER
 MANHOLE ELEV = 5238.94
 (ADD 1000.00 FEET FOR USGS ELEV)

LEGEND

- FOUND PROPERTY CORNER
- ⊙ SANITARY SEWER MANHOLE
- SS — SANITARY SEWER LINE
- W — WATER LINE
- ⊕ WATER VALVE
- ⊙ WATER SERVICE METER PIT
- ⊙ LIGHT POLE
- ⊙ TELEPHONE JUNCTION BOX
- ⊙ GAS METER
- ⊙ ELECTRICAL BOX
- ⊙ STORM SEWER INLET
- ⊙ STORM SEWER F.E.S.
- ⊙ STORM SEWER MANHOLE
- +33.96 SPOT ELEVATION

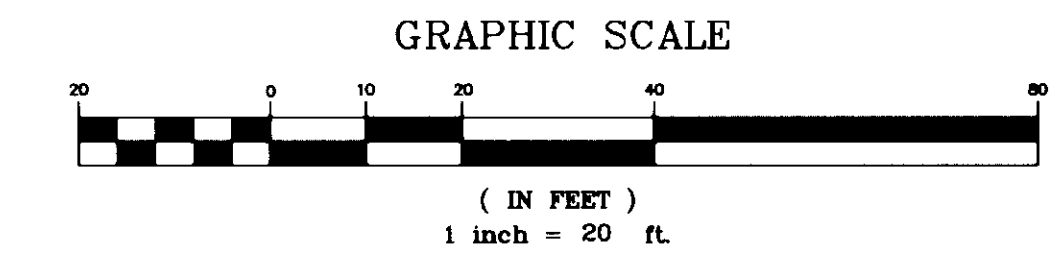
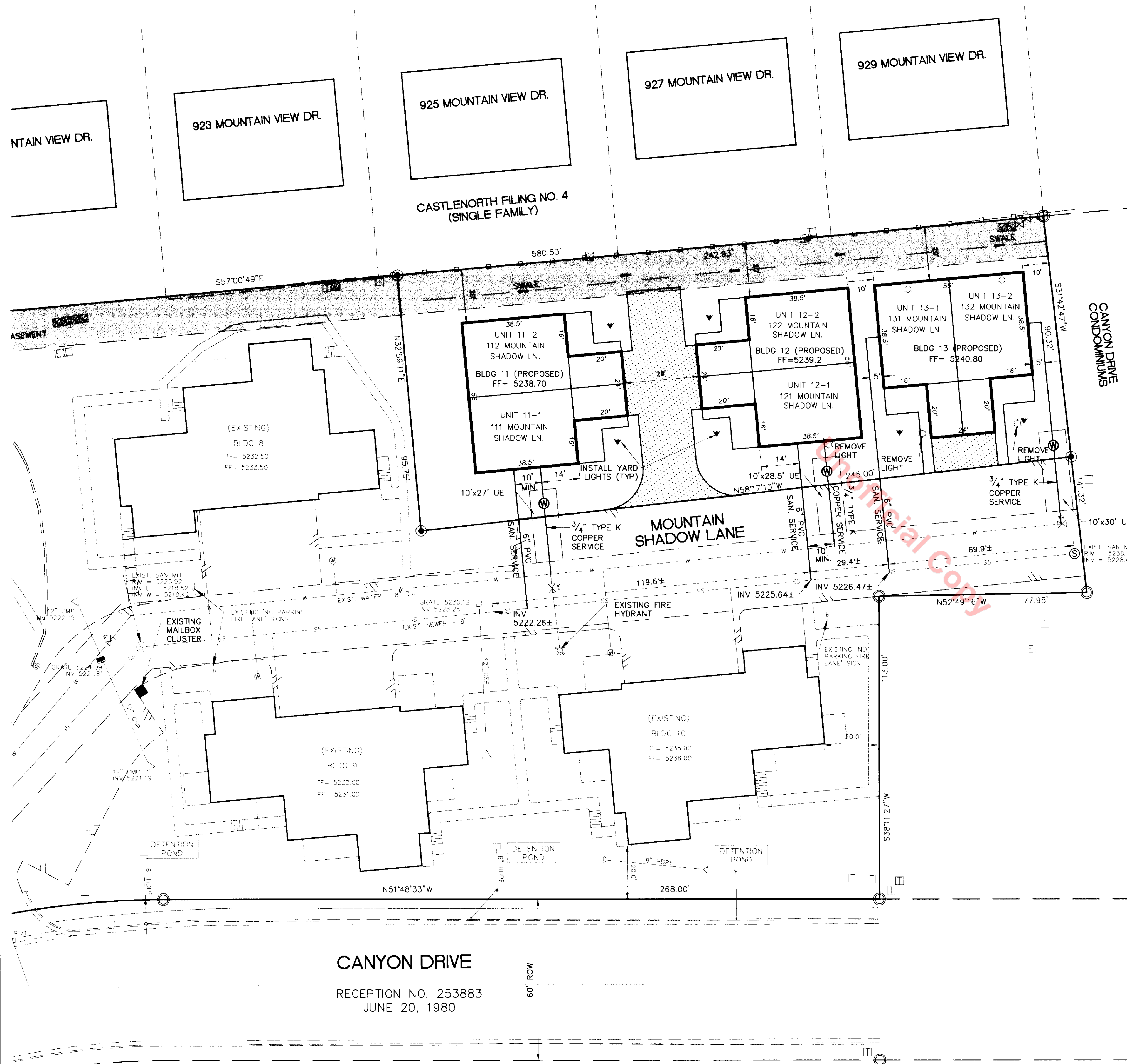
SITE DATA:

AMENDED LAND AREA (APPROX.)	0.5 acres
NUMBER OF BUILDINGS	21,780 s.f.
GROSS FLOOR AREA PER BUILDING	3
NUMBER OF DWELLING UNITS PER BUILDING	2732 s.f.
GROSS FLOOR AREA PER UNIT	2
TOTAL BUILDING COVERAGE	1366 s.f.
AREA DEVOTED TO OPEN SPACE	8196 s.f.
PRESENT ZONING CLASSIFICATION	5183 s.f.
EXISTING USE	P.D. PLANNED DEVELOPMENT DISTRICT
PROPOSED USE	TENNIS COURT & SWIMMING POOL
PARKING SPACES PROVIDED	RESIDENTIAL (DUPLICES)
NUMBER OF STORIES PER BUILDING	14 FULL SPACES
MAXIMUM HEIGHT OF BUILDINGS	1
GENERAL EXTERIOR DESIGN	35 feet
ESTIMATED TIME OF COMPLETION	TO MATCH EXISTING BUILDINGS
PROPOSED PROTECTIVE COVENANTS	9 MONTHS FROM OBTAINING PERMIT
	EXISTING MOUNTAIN SHADOWS HOMEOWNER'S ASSOCIATION

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
 CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

Futura Engineering Inc. Engineering Consultants and Surveyors 12741 East Colfax Avenue, Suite 126 Englewood, Colorado 80111 (303) 649-9292 FAX (303) 649-9499		DATE: DECEMBER, 1996 DRAWN: BLN CHECKED: ABA PROJ. NO.: 99-643.35 FILE NAME: pd-3.dwg
FINAL PD SITE PLAN - GRADING PLAN MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT CASTLE ROCK, CO		REVISIONS: DATE Town Comments: 5/1/97 Town Comments: 6/10/97 Town Comments: 7/11/97
Prepared For: MJS PROPERTIES		Sheet 3 of 6

MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT
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 PART OF THE SW 1/4, NE 1/4 AND NW 1/4, SE 1/4 OF
 SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF
 THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



- LEGEND**
- FOUND PROPERTY CORNER
 - ⊙ SANITARY SEWER MANHOLE
 - SS — SANITARY SEWER LINE
 - W — WATER LINE
 - ⊗ WATER VALVE
 - ⊕ WATER SERVICE METER PIT
 - ☆ LIGHT POLE
 - ⊠ TELEPHONE JUNCTION BOX
 - ⊡ GAS METER
 - ⊞ ELECTRICAL BOX
 - ⊞ STORM SEWER INLET
 - ⊞ STORM SEWER F.E.S.
 - ⊞ STORM SEWER MANHOLE
 - +33.96 FLOWLINE SPOT ELEVATION

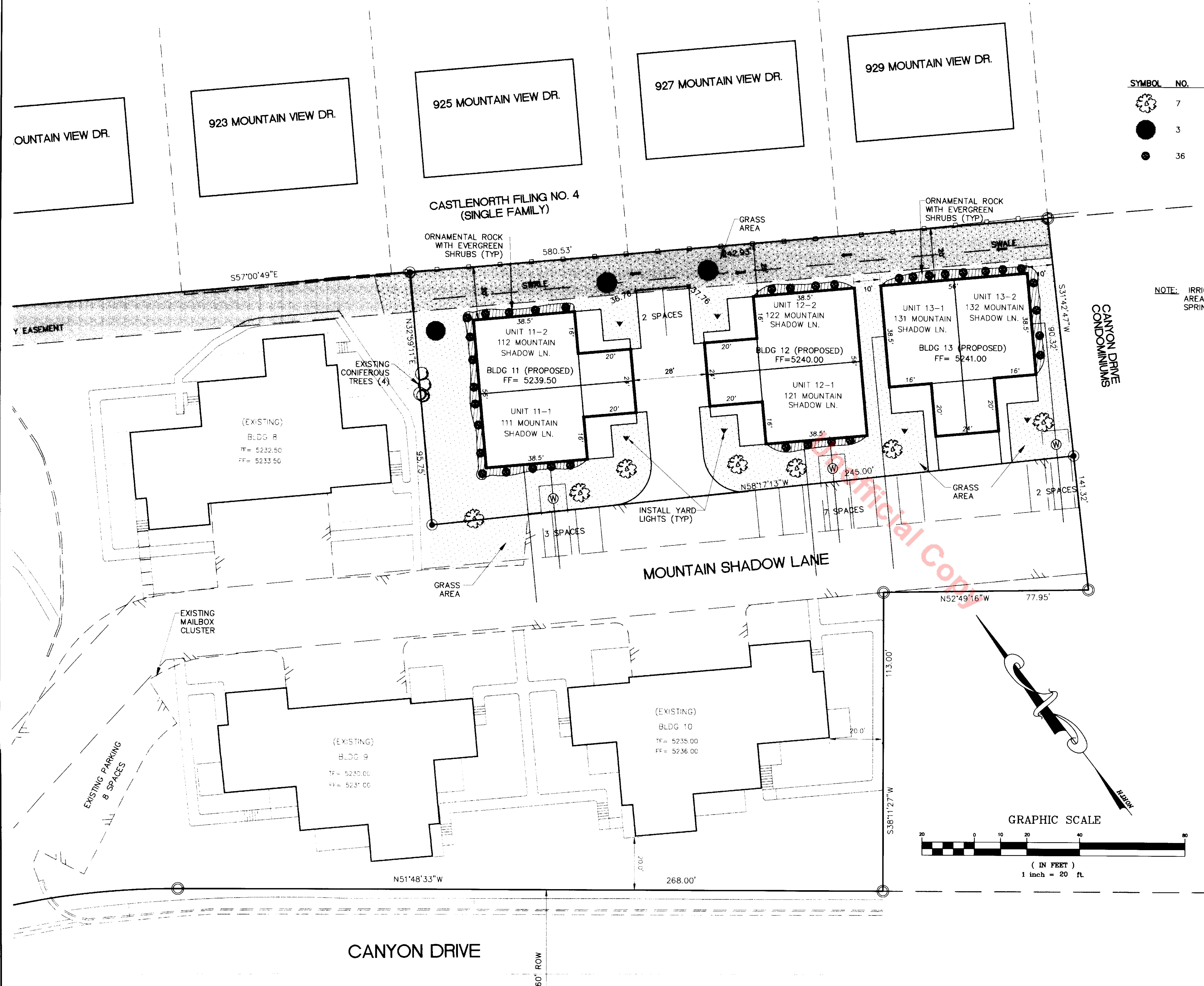
BENCH MARK
 RIM OF SANITARY SEWER
 MANHOLE ELEV = 5238.94
 (ADD 1000.00 FEET FOR USGS ELEV)

CANYON DRIVE
 RECEPTION NO. 253883
 JUNE 20, 1980

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
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Futura Engineering Inc. <i>Engineering Consultants and Surveyors</i> 12741 East Carey Avenue, Suite 126 Englewood, Colorado 80111 (303) 649-9292 FAX (303) 649-9499		DATE: DECEMBER, 1996
		DRAWN: BLN
		CHECKED: ABA
		PROJECT NO: 99-643.35
		DATE: pd-4.dwg
		REVISIONS: DATE
FINAL PD SITE PLAN - UTILITY PLAN MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT CASTLE ROCK, CO		Town Comments: 5/1/97
		Town Comments: 6/10/97
		Town Comments: 7/11/97
		Town Comments: 7/23/97
Prepared For: MJS PROPERTIES		Sheet: 4 of 6

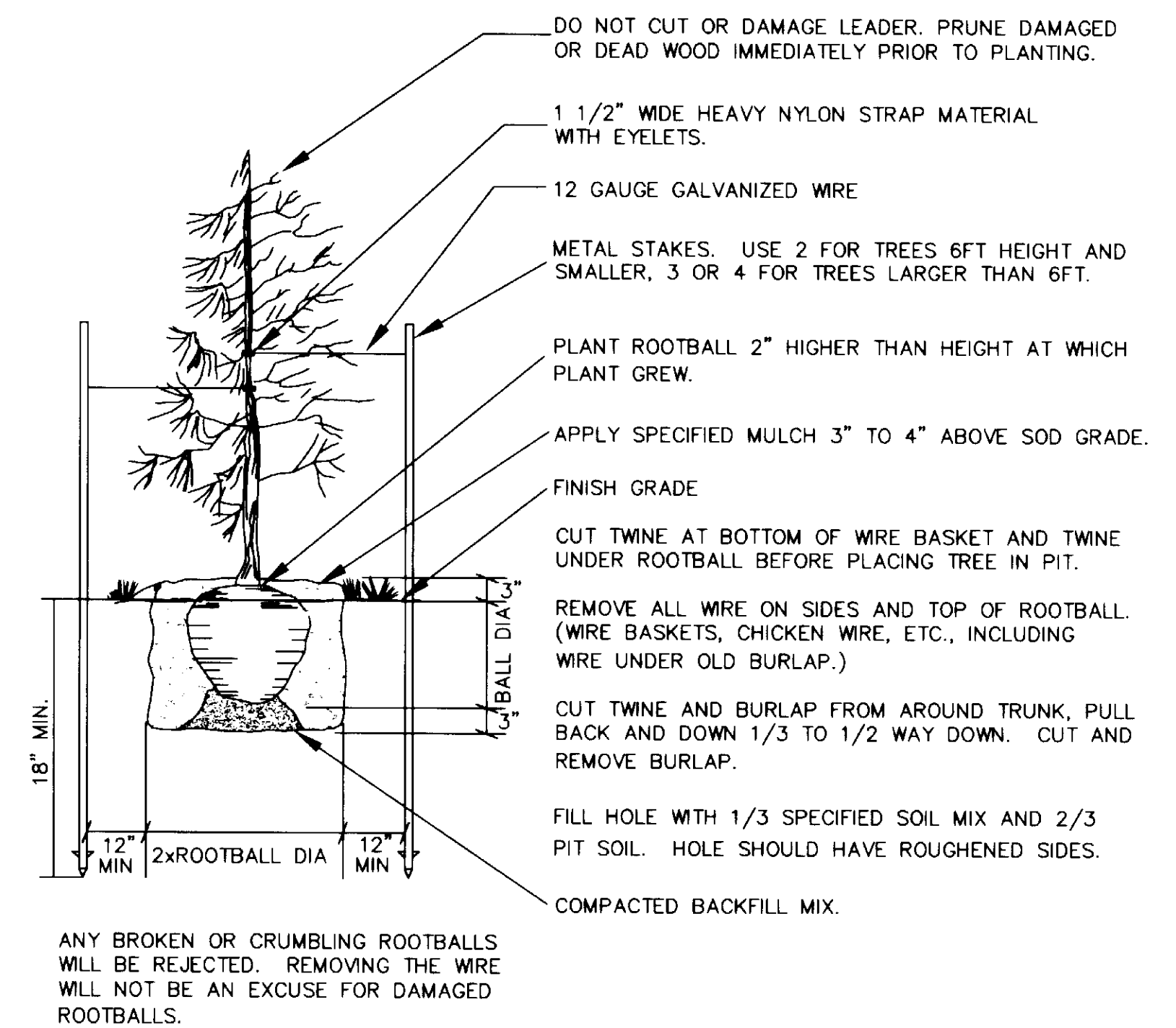
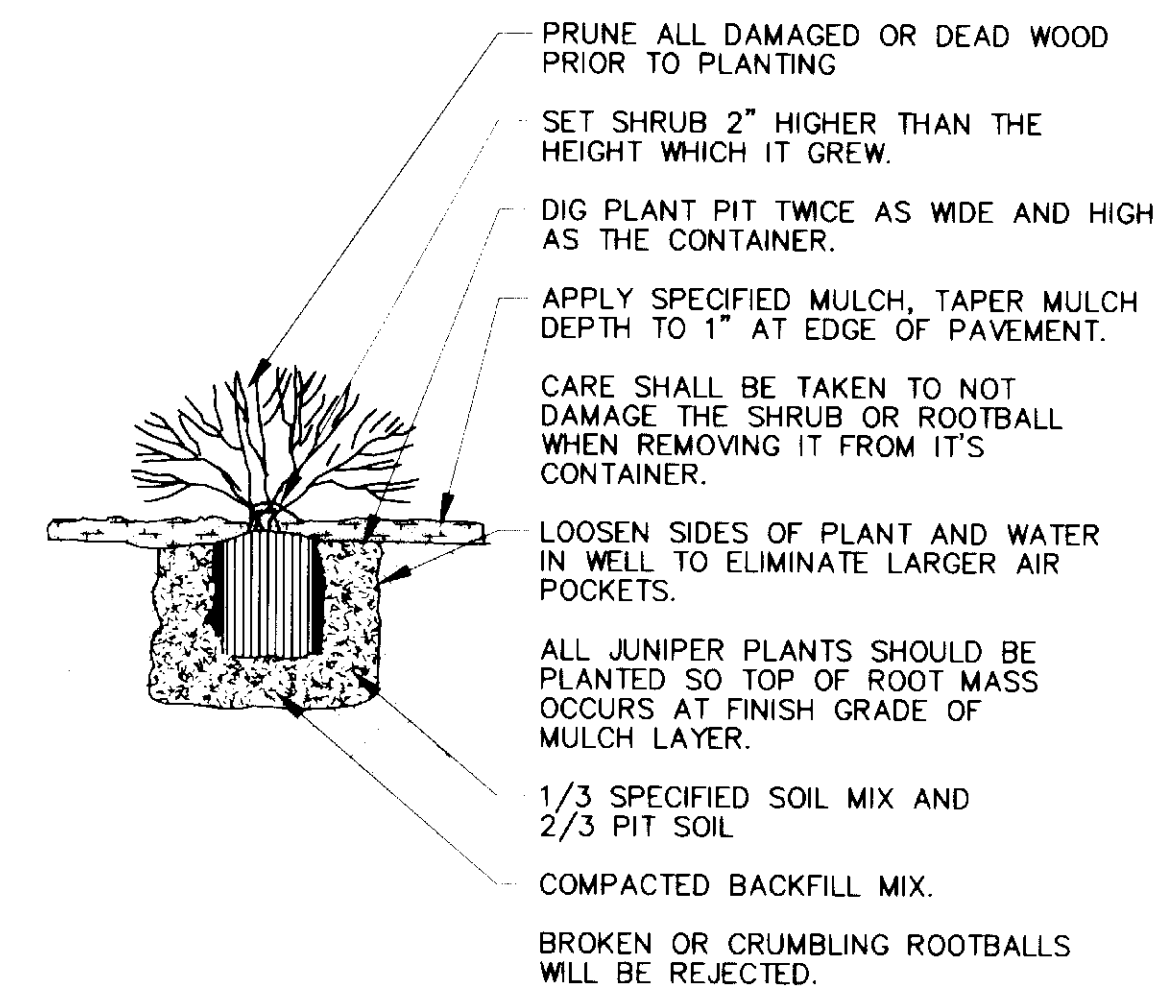
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TREE LIST

SYMBOL	NO.	COMMON NAME	BOTANICAL NAME	SIZE
	7	HONEYLOCUST, SHADEMASTER	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" - 2 ~8"
	3	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM	2" - 2 ~8"
	36	HALL'S HONEYSUCKLE	LONICERA JAPONICA	5 gal.

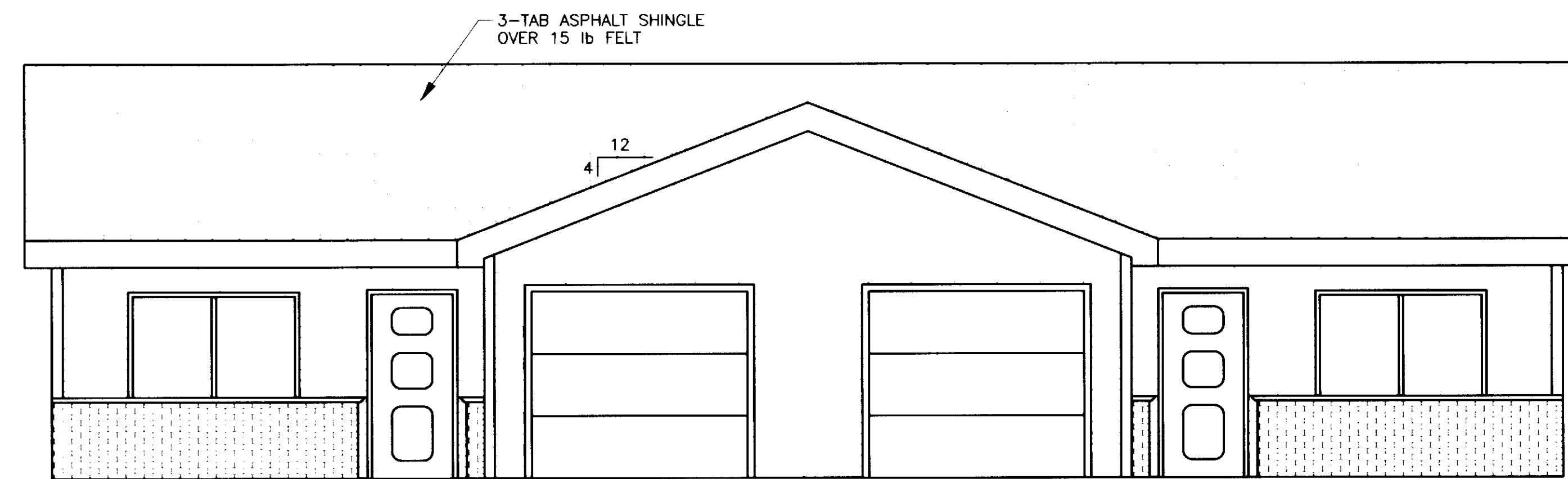
NOTE: IRRIGATION OF LANDSCAPED AREA SHALL BE BY MEANS OF SPRINKLER SYSTEM.



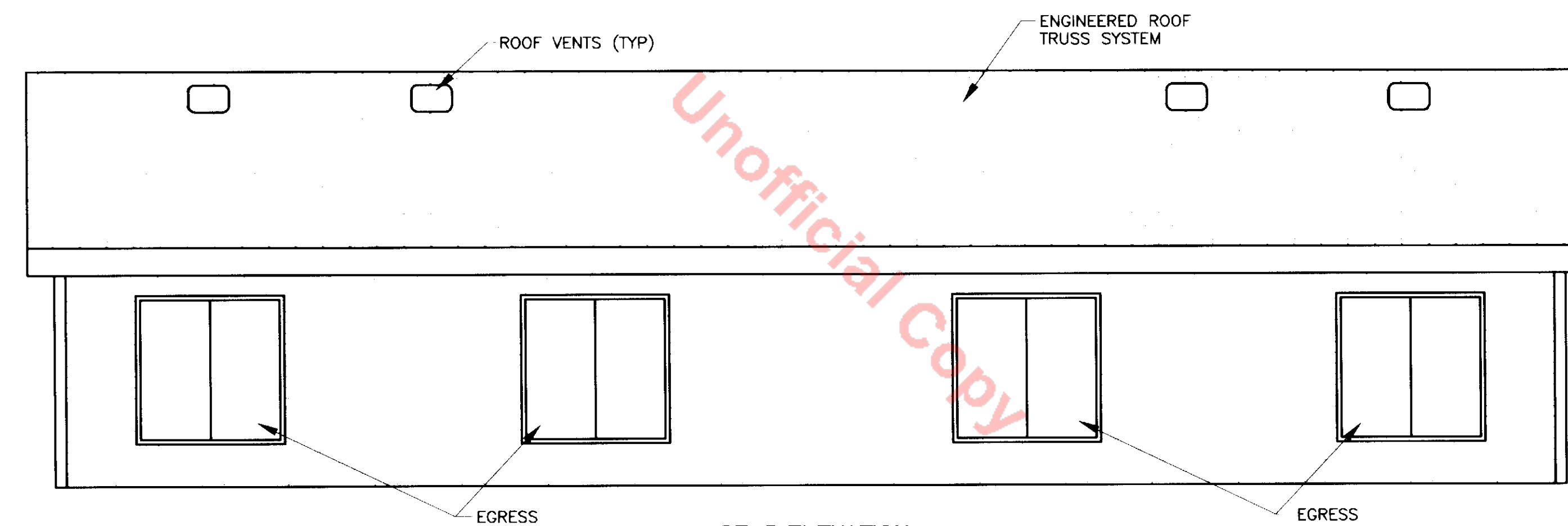
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FINAL PD SITE PLAN - LANDSCAPING PLAN MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT CASTLE ROCK, CO		REVISIONS: DATE Town Comments: 5/1/97 Town Comments: 6/10/97 Town Comments: 7/11/97
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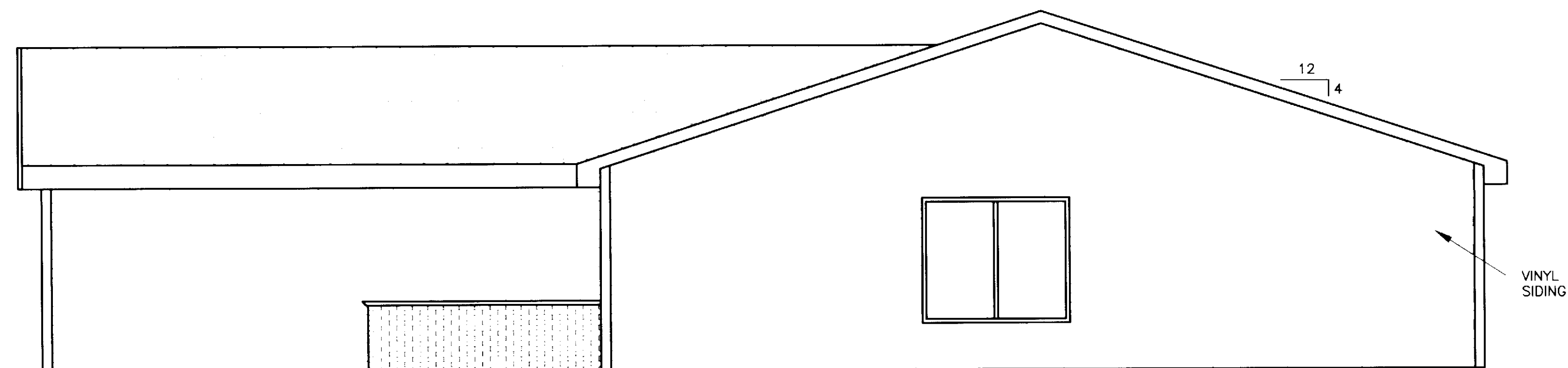
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FRONT ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



REAR ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



RIGHT SIDE ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$

 Futura Engineering Inc. <i>Engineering, consultants and surveys</i> 12741 East Carey Avenue, Suite 126 Englewood, Colorado 80111 (303) 649-9292 FAX (303) 649-9499	DATE: DECEMBER, 1996
	DRAWN: BLN
	CHECKED: ABA
	PROJECT NO.: 99-643.35
	FILE NAME: pd-6.dwg
	REVISIONS: DATE:
	TOWN COMMENTS: 6/10/97
	TOWN COMMENTS: 7/11/97
FINAL PD SITE PLAN - BUILDING ELEVATIONS MOUNTAIN SHADOWS FILING NO. 1, 1ST AMENDMENT CASTLE ROCK, CO	
Prepared For: MJS PROPERTIES	Sheet 6 of 6