

PLAT IDENTIFICATION SHEET

RECEPTION # :

DC9636969

DATE:

7-8-96.

TIME:

13:34

FEE:

\$ 30⁰⁰

(3 Pages)

UNOFFICIAL COPY

GRANTOR:

Dillon Real Estate Co.

(OWNER/SIGNER)

GRANTEE:

milestone / King Soopers

(SUBDIVISION NAME OR NAME OF PLAT)

LEGAL:

26-7-67

(SECTION-TOWNSHIP-RANGE)

MILESTONE / KING SOOPERS LOTS 1, 2, AND 3 OF MILESTONE FILING NO.1

A PART OF THE SOUTH ONE - HALF OF SECTION 26
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FINAL PD SITE PLAN SHEET 1 OF 3

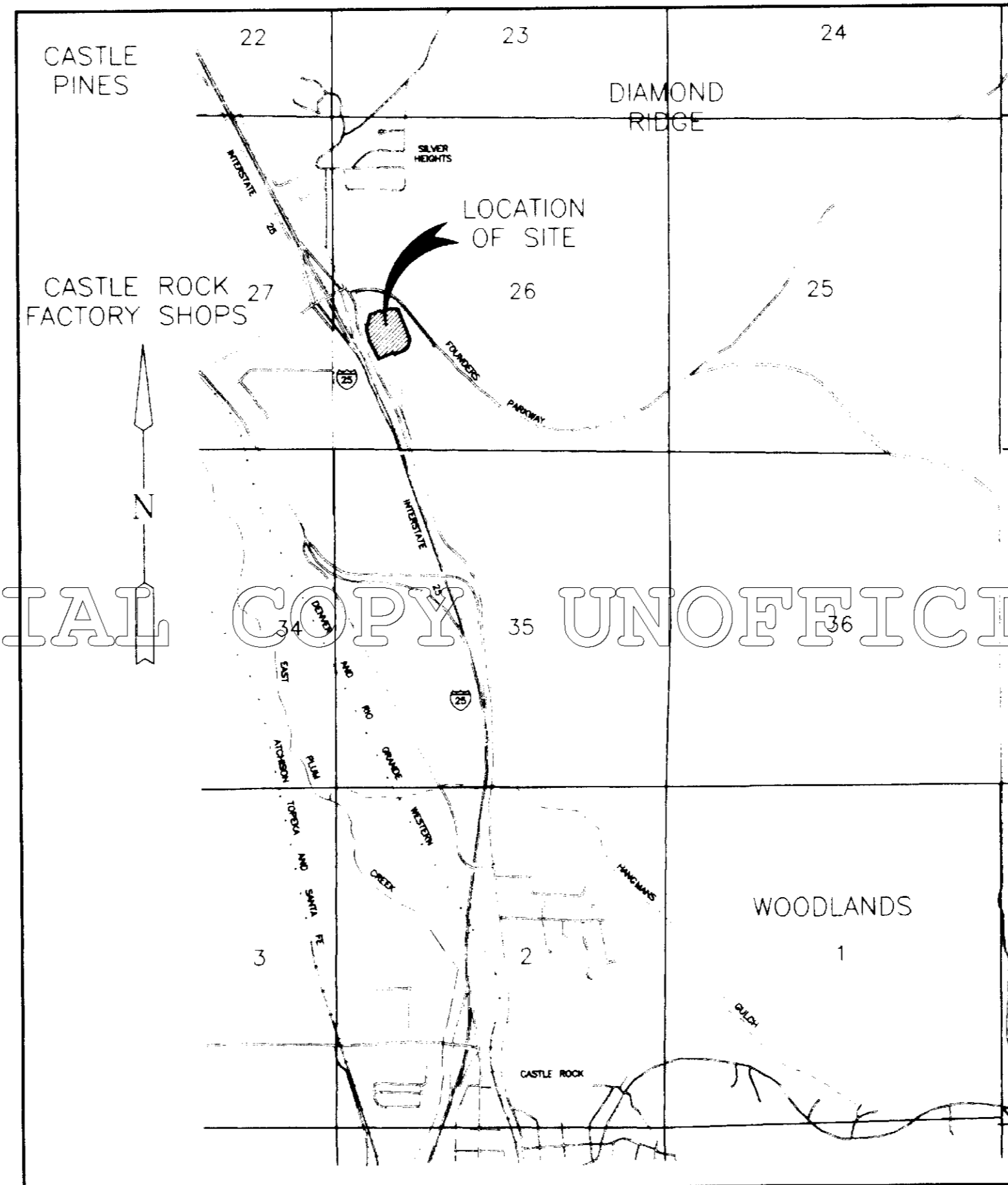
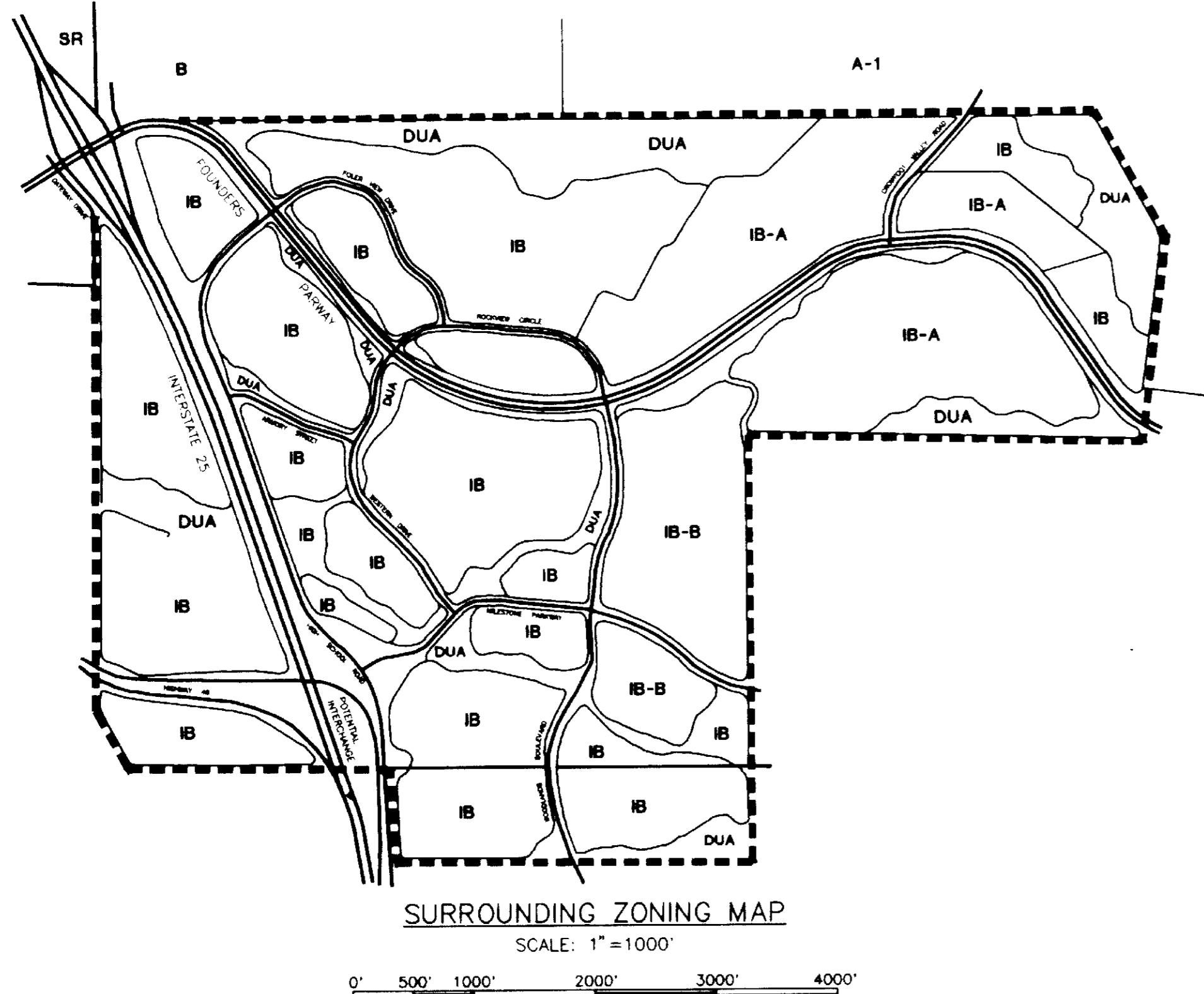
FINAL PD SITE PLAN NOTES:

- MINIMUM BUILDING SETBACK**
- | | NORTH | SOUTH | EAST | WEST |
|-------|-------|-------|------|------|
| Lot 1 | 0 | 0 | 10' | 130' |
| Lot 2 | 0 | 30' | 25' | 30' |
| Lot 3 | 5' | 0 | 5' | 40' |
- Total Acreage of Final PD: 9.400 AC.
 - Land Use Classification**
Lots 1 through 3 Integrated Businesses IB
 - Maximum Gross Floor Area: 97,600 S.F.
 - Maximum Building Coverage: 35% of net Acreage of Building Site
 - Site Data**

SITE UTILIZATION

Area	Acres	%	BUILDING COVERAGE		PARKING		OPEN SPACE	
			PROPOSED S.F.	FUTURE EXPANSION S.F.	PROP (Acres)	FUTURE (Acres)	Ac.	%
Lot 1	7.923	84.3	69,531	75,300	5.41	5.28	0.99	12.5%
Lot 2	1.069	11.4	16,300	16,300	0.66	0.66	0	0
Lot 3	0.408	4.3	6,000	6,000	0.13	0.13	0.10	24.5%
Total	9.400	100.0	91,831	97,600	6.20	6.07	1.09	11.6%

- Maximum Building Height: 50'
 - All signage will comply with the Town of Castle Rock codes and ordinances.
 - Construction Phasing and Completion: All three lots shall be developed in concurrently and are scheduled for completion in the Spring of 1997. All offsite infrastructure related to the construction of lots 1-3 will be completed in late 1996. Onsite improvements will track with completion of building in Spring of 1997.
 - Trash enclosures will be as follows:
Retail & Restaurants: Trash dumpsters and service areas will be integrated and enclosed by masonry or landscaping to minimize views into these areas from passing pedestrians or vehicles and present an integrated appearance.
The trash enclosures shall be constructed of materials consistent with the building architectural style and color.
 - Parking:**
- | Use | Building Area (S.F.) For Lots 1,2,&3 | Parking Provided | Min. Parking Ratio (Spaces per S.F.) | Provided Parking Ratio (Spaces per S.F.) |
|-------------------------|--------------------------------------|----------------------|--------------------------------------|--|
| RETAIL-PROPOSED | 91,831 | 478 plus 10 Handicap | 5:1000 | 5.31:1000 |
| RETAIL-FUTURE EXPANSION | 97,600 | 478 plus 10 Handicap | 5:1000 | 5.1000 |
- NOTE: The requirements that are applied to these three lots in the aggregate, spaces are to be shared on these three lots and no individual lot may reduce the number of spaces without submitting for a site plan amendment.
- Maximum Buildable Slopes: 3:1
 - Milestone Filing No. 1, Final Plat, was recorded on December 28, 1995 under Reception No. 9561914.
 - The type, size and area of the signs depicted hereon are not approved and are subject to the Town of Castle Rock's sign code.



SHEET INDEX

- SHEET 1 OF 3 COVER SHEET
- SHEET 2 OF 3 SITE PLAN
- SHEET 3 OF 3 ELEVATIONS

PROPERTY OWNERS:

KKP-MS, LLC
1165 SOUTH PENNSYLVANIA STREET
DENVER, COLORADO 80210

DILLON REAL ESTATE CO., INC.
65 TEJON STREET
DENVER, COLORADO 80223

ARCHITECT:

WYATT & ASSOCIATES, P.C.
1865 S. PEARL STREET
DENVER, CO 80210
TELEPHONE (303) 698-1717
CONTACT: THOMAS OLDENBURG

CIVIL ENGINEER/SURVEYOR

ROCKY MOUNTAIN CONSULTANTS, INC.
8301 E. PRENTICE AVE./SUITE 101
ENGLEWOOD, CO 80111
TELEPHONE (303) 741-8000
CONTACT: LEONARD R. WILSON

RMC
ROCKY MOUNTAIN CONSULTANTS, INC.
CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING
8301 E. Prentice Ave. Suite 101
Englewood, CO 80111
(303) 741-8000
FAX (303) 741-8106

REV. APR. 30 '96
REV. APR. 9 '96
REV. FEB. '96
Date: DEC. '95

REV. MAY 17, '96
Job No. 2915-022-00

LEGAL DESCRIPTION

A parcel of land located in the South One-half of Section 26, Township 7 South, Range 67 West of the Sixth Principal Meridian, Town of Castle Rock, County of Douglas, State of Colorado being more particularly described as follows:

Lots 1, 2 and 3 of Milestone Filing No. 1, recorded in the Douglas County Clerk and Recorder's office on December 28, 1995 under Reception No. 9561914. Said parcel of land contains 9.400 Acres (409,464 square feet), more or less.

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1 OF MILESTONE / KING SOOPERS FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

DILLON REAL ESTATE CO., INC.
BY: *[Signature]* DATE: 4/6/96

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOTS 2 AND 3 OF MILESTONE / KING SOOPERS FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

KKP-MS, LLC,
A COLORADO LIMITED LIABILITY COMPANY
BY: CENTERWEST PARTNERSHIP-VENTURE II, LLP,
A COLORADO LIMITED LIABILITY PARTNERSHIP
ITS MANAGING MEMBER.

BY: KORNFIELD KOSLOSKY PROPERTIES III, LLP,
A COLORADO LIMITED LIABILITY PARTNERSHIP
AS GENERAL PARTNER

BY: *[Signature]* DATE: 6/04/96
IRWIN H. KORNFIELD, PARTNER

MORTGAGEES: N-ONE, LTD., BY NIGHTENGALE INVESTMENTS, INC., GENERAL PARTNER
ATTEST: BY: *[Signature]* VICE PRESIDENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF *[Month]*, 1996

BY: *[Signature]*
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: 6/17/96

DILLON REAL ESTATE CO., INC.
BY: *[Signature]* DATE: 4/6/96

ATTEST: BY: *[Signature]* Assistant Secretary

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF *[Month]*, 1996

BY: *[Signature]*
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: 1/2/99

SURVEYOR'S CERTIFICATE
I, DUWAYNE M. PHILLIPS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOTS 1, 2 AND 3 OF MILESTONE FILING NO.1 WAS MADE UNDER MY SUPERVISION AND THE ACCURACIES SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THE SURVEY.

[Signature]
DUWAYNE M. PHILLIPS
FOR AND BEHALF OF
MOUNTAIN CONSULTANTS, INC.

PLANNING COMMISSION RECOMMENDATION:
THE FINAL PD SITE PLAN AND ZONING REGULATIONS FOR LOTS 1, 2 AND 3 OF MILESTONE FILING NO.1 WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 17th DAY OF MAY, 1996.

[Signature] 7/2/96
DATE

[Signature] 7-2-96
DATE

TOWN COUNCIL APPROVAL
THE FINAL PD SITE PLAN AND ZONING REGULATIONS FOR LOTS 1, 2 AND 3 OF MILESTONE FILING NO.1 WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23rd DAY OF MAY, 1996.

[Signature] 7-2-96
DATE

[Signature] 7-2-96
DATE

[Signature] 7-2-96
DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO }
COUNTY OF DOUGLAS } SS

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THE 8th DAY OF July

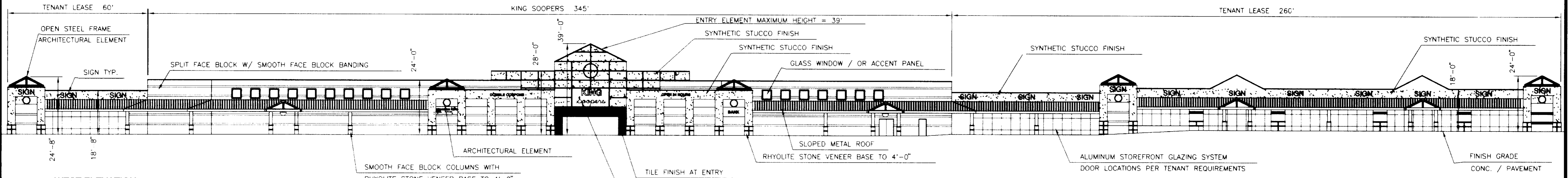
1996 AT 1:34 O'CLOCK P.M. AND WAS RECORDED UNDER RECEPTION NUMBER 9636969

[Signature]
DOUGLAS COUNTY CLERK AND RECORDER
DATE: 7-8-96

MILESTONE / KING SOOPERS

LOTS 1, 2, AND 3 OF MILESTONE NO.1
 A PART OF THE SOUTH ONE - HALF OF SECTION 26
 TOWNSHIP 7 SOUTH RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
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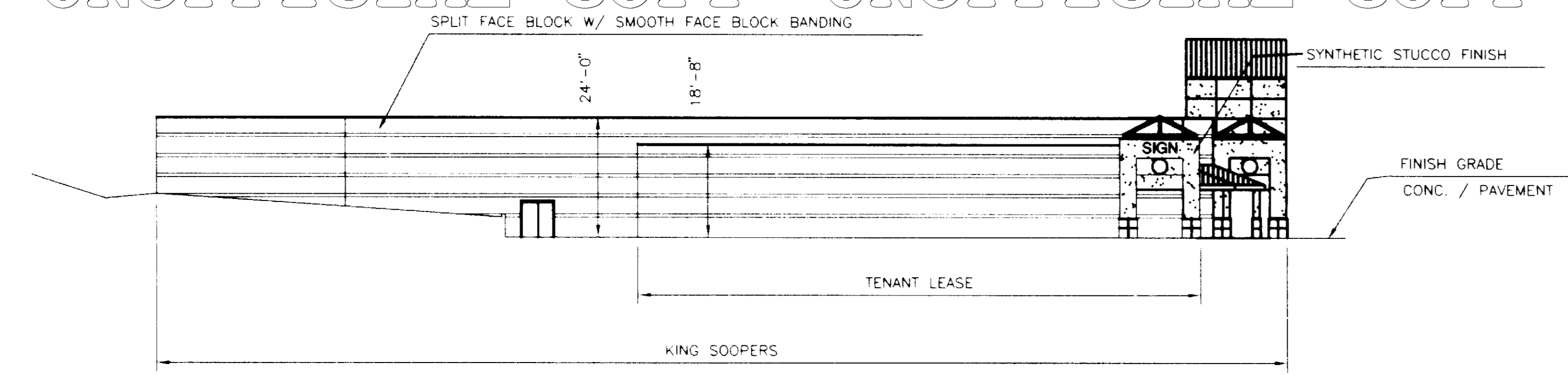
FINAL PD SITE PLAN
 SHEET 3 OF 3



WEST ELEVATION

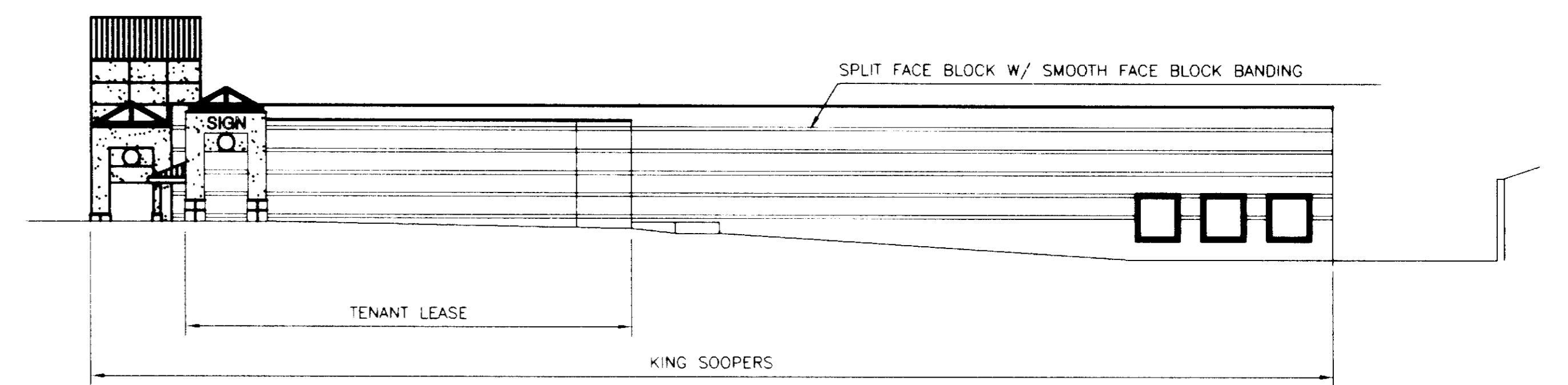
SCALE 1/4" = 20'-0"

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



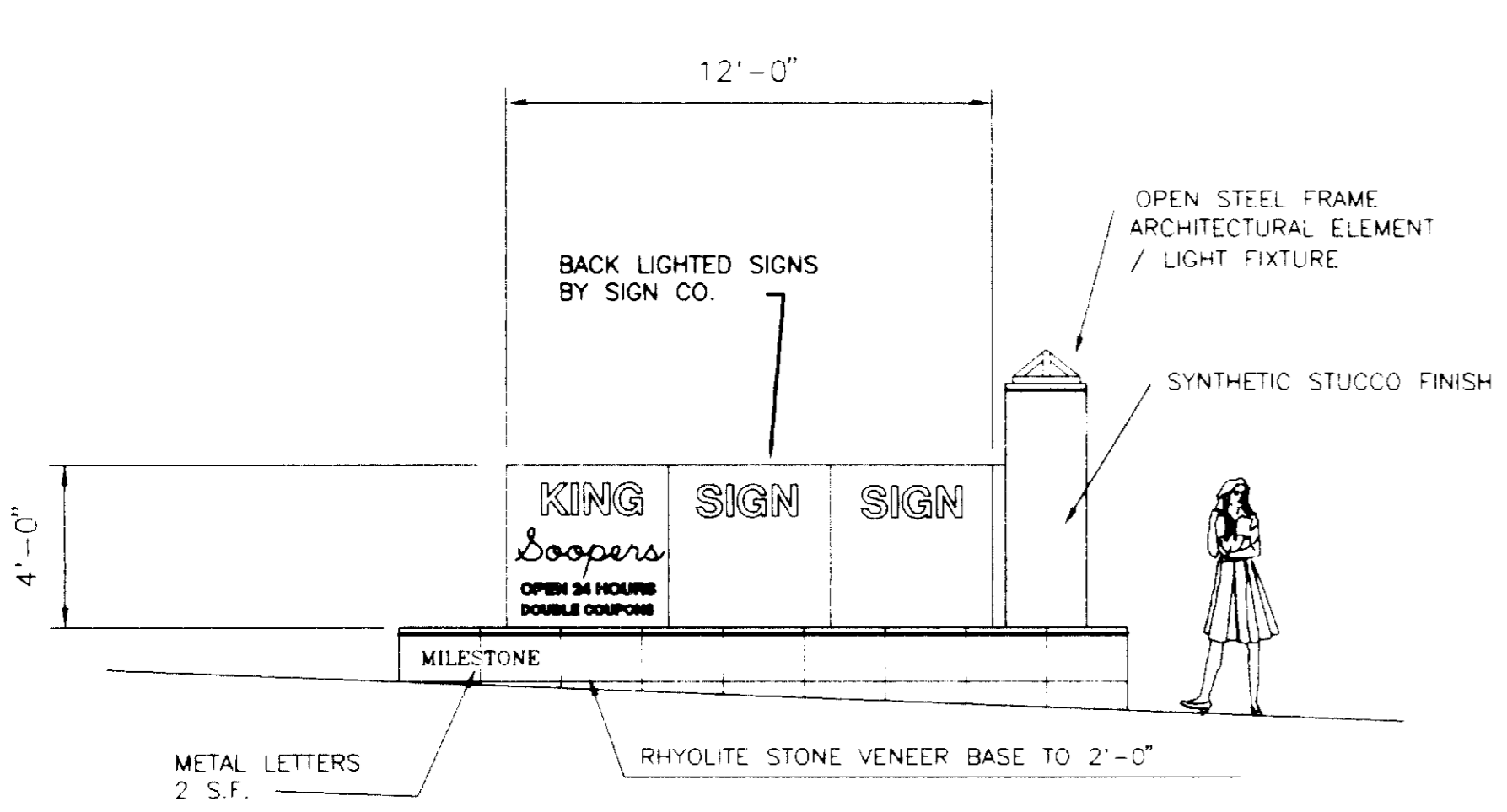
NORTH ELEVATION

SCALE 1" = 20'-0"



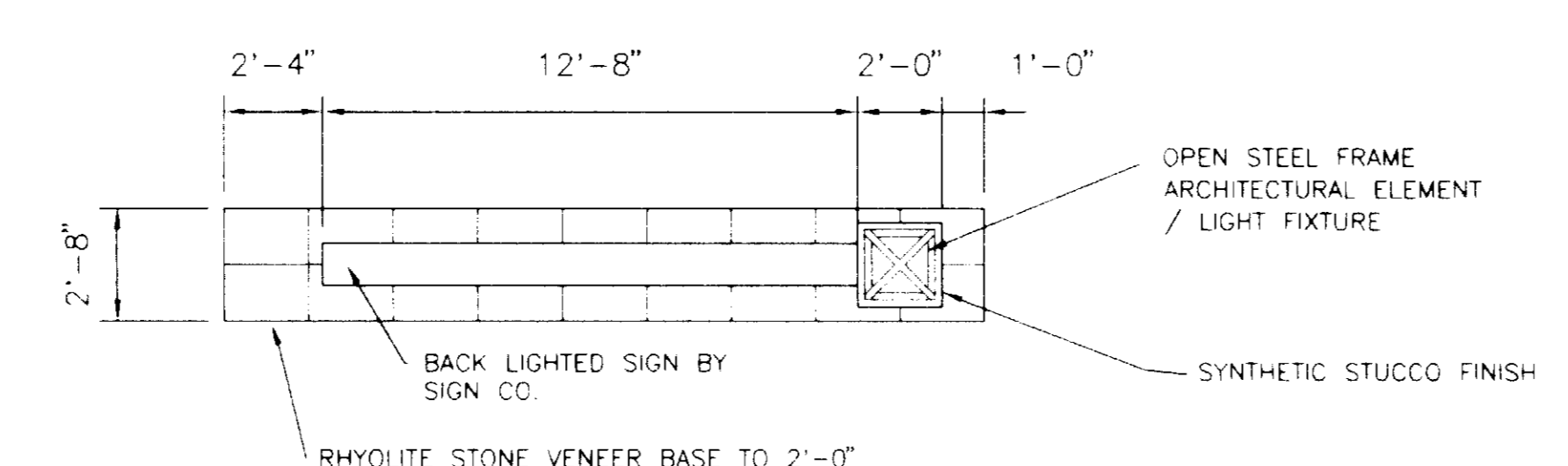
SOUTH ELEVATION

SCALE 1" = 20'-0"



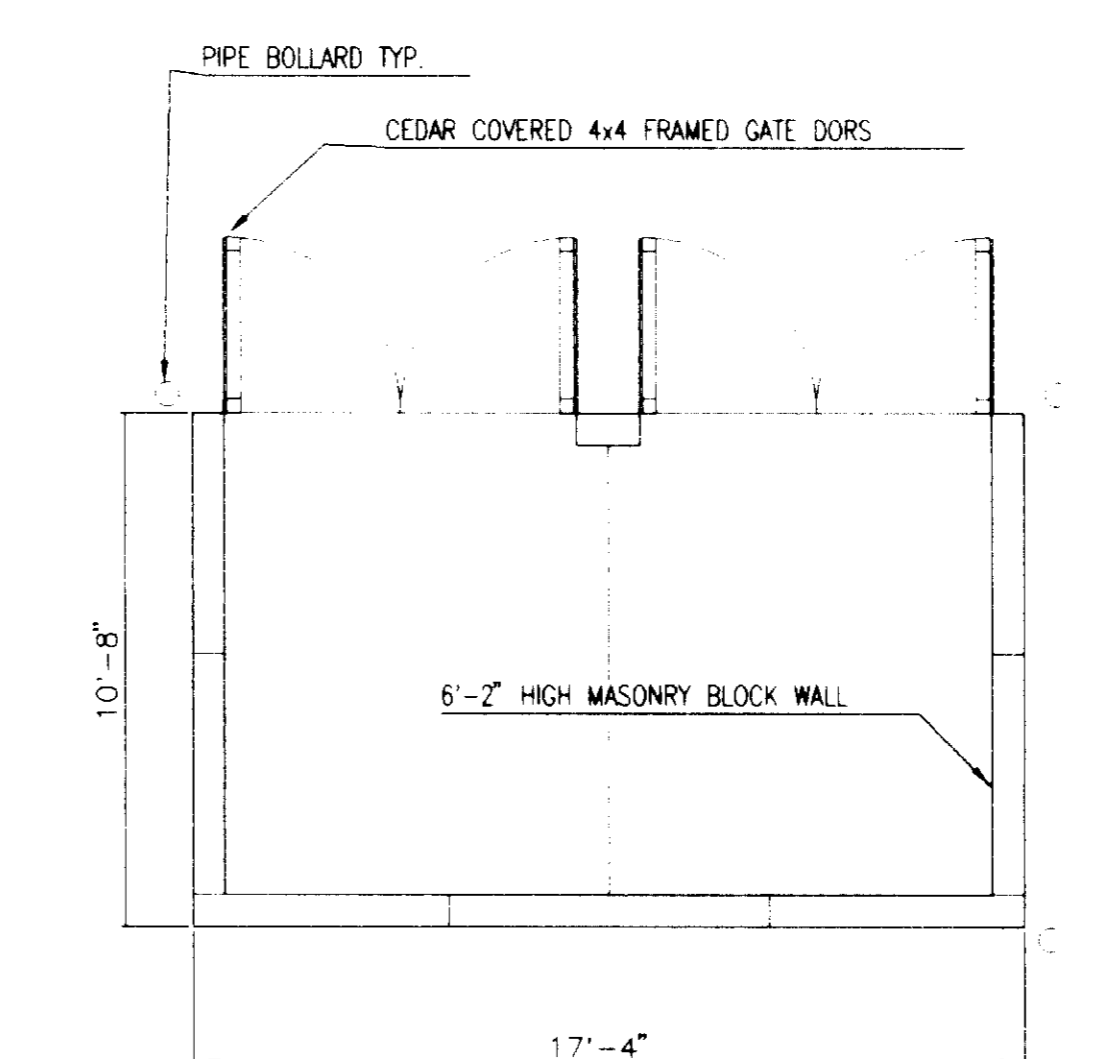
SIGN ELEVATION 50 S.F. SIGN AREA

SCALE 1/4" = 1'-0"



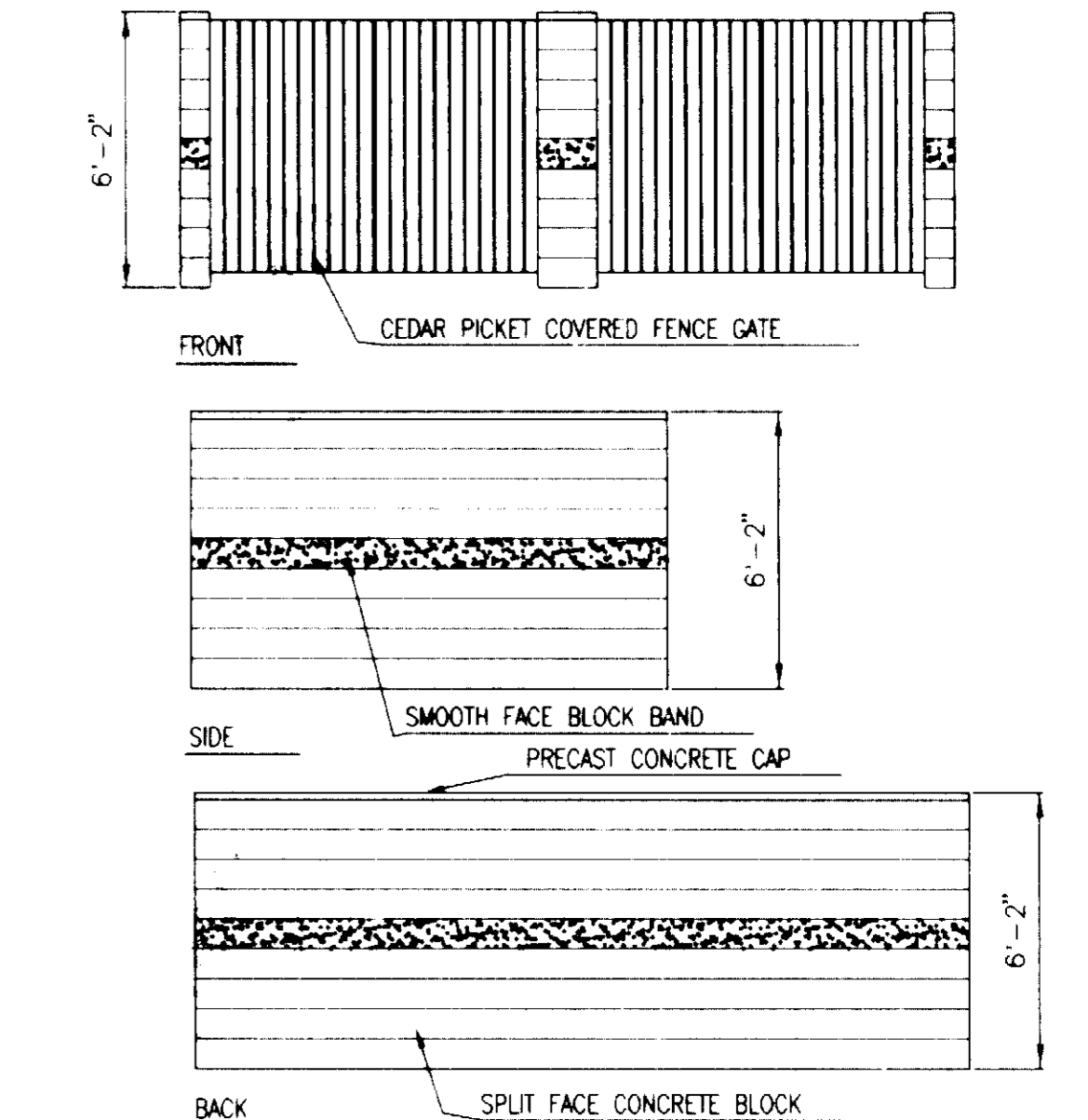
SIGN PLAN 50 S.F. SIGN AREA

SCALE 1/4" = 1'-0"




TRASH ENCLOSURE PLAN


1/4" = 1'-0"



TRASH ENCLOSURE ELEVATION

1/4" = 1'-0"

WYATT & ASSOCIATES P.C.

 ARCHITECTS and PLANNERS
 1865 s. pearl st. denver, colorado 80210
 Ph. 303-698-1717 Fax 303-778-8004

ROCKY MOUNTAIN CONSULTANTS, INC.

 CIVIL AND ENVIRONMENTAL ENGINEERING • PLANNING
 8301 E. Prentice Ave. Suite 101
 Englewood, CO 80111
 REV. MAY 8, 1996 (303) 741-6000
 REV. APRIL 9, 1996 (303) 741-6000
 REV. FEB. 96 (303) 741-6000
 Date: DEC. '95 Job No. 2915.022.00 Fax (303) 741-6106