

# SITE DEVELOPMENT PLAN

## LOT 7A, MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7

### AN AMENDMENT TO 1ST BANK OF DOUGLAS COUNTY - FOUNDER'S PARKWAY A PART OF LOT 7, MILESTONE FILING NO. 1 FINAL PD SITE PLAN

Located in the Southwest one-quarter of Section 26, Township 7 South, Range 67 West of the Sixth Principal Meridian,

Town of Castle Rock, County of Douglas, State of Colorado.

#### SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE SITE IS NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN BOUNDARY AND DOES NOT CONTAIN WETLANDS WITHIN THE ANTICIPATED PROJECT AREA.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- THE SITE IS ZONED AS PLANNED DEVELOPMENT UNDER THE MILESTONE OFFICE CAMPUS AMENDED 1998.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

#### FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

#### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:24 PM ON THE 7th DAY OF December, 2015 AT RECEPTION NO. 201508195

DOUGLAS COUNTY CLERK AND RECORDER  
By Sandra C. Seary  
DEPUTY

#### SHEET INDEX

- SHEET 1 OF 9 COVER SHEET
- SHEET 2 OF 9 SITE LAYOUT PLAN
- SHEET 3 OF 9 GRADING AND UTILITY PLAN
- SHEET 4 OF 9 LANDSCAPE PLAN
- SHEET 5 OF 9 LANDSCAPE PLAN
- SHEET 6 OF 9 BUILDING ELEVATIONS
- SHEET 7 OF 9 BUILDING ELEVATIONS
- SHEET 8 OF 9 LIGHTING PLAN
- SHEET 9 OF 9 LIGHTING PLAN

#### PROPERTY OWNER:

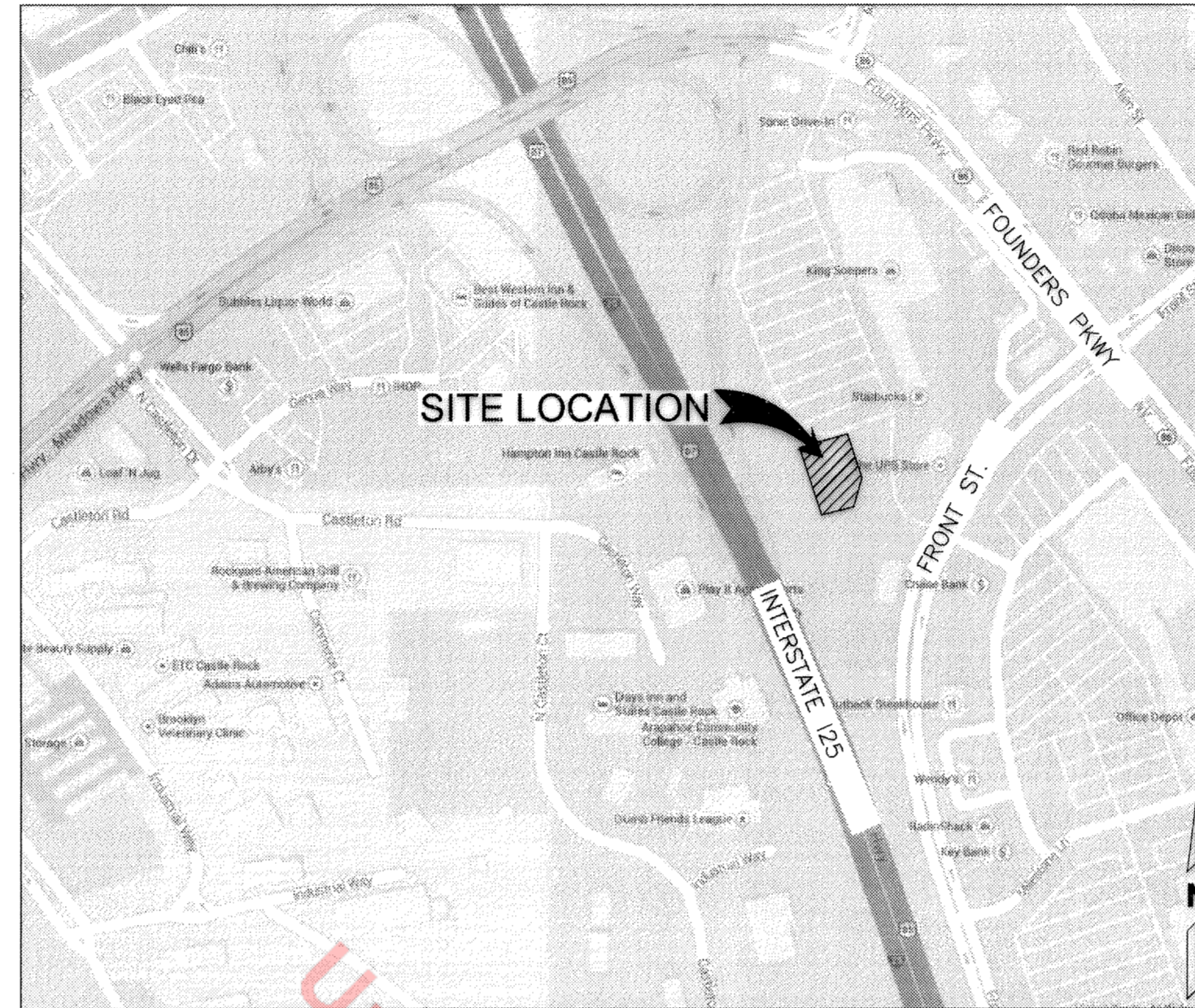
MILESTONE BORROWER, LLC  
126 E 56TH ST. FL 32  
NEW YORK, NY 10022

#### ARCHITECT:

KENNEY ARCHITECTS, P.C.  
5570 EAST YALE AVENUE  
DENVER, CO 80222

#### CIVIL ENGINEER:

MARTIN/MARTIN, INC  
12499 WEST COLFAX AVE.  
LAKEWOOD, CO 80215  
303.431.6100



VICINITY MAP  
N.T.S.

#### LEGAL DESCRIPTION

LOT 7A MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO

#### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE COUNTY OF DOUGLAS HORIZONTAL CONTROL NETWORK BEARING S76°32'45"E BETWEEN DOUGLAS COUNTY CONTROL POINT #2.011031 A 3-1/4" ALUMINUM CAP STAMPED "2.011031" AND DOUGLAS COUNTY CONTROL POINT 2.011015 A 3-1/4" ALUMINUM CAP STAMPED "2.011015"

#### SUMMARY TABLE

MAXIMUM GROSS FLOOR AREA = 6500 S.F.  
BUILDING SETBACKS AND SEPARATIONS = N/A  
REQUIRED PARKING SPACES = 23 SPACES + 10 EMPLOYEES  
PROVIDED PARKING SPACES = 48 SPACES TOTAL, 2 ADA SPACES  
MAXIMUM BUILDING HEIGHT = 26'-0"  
SINGLE FAMILY EQUIVALENT UNITS = N/A

LAND USE TABLE		
TYPE OF LAND USE	#ACRES	% OF TOTAL PROPERTY
RESIDENTIAL	N/A	0
COMMERCIAL	1.358	100
PUBLIC PARK	N/A	0
PRIVATE OPEN SPACE	N/A	0
SCHOOLS	N/A	0
RIGHT OF WAYS	N/A	0
DRAINAGE WAYS/PONDS	N/A	0
BUILDING COVERAGE	0.097	7.16
PAVING AND DRIVES	0.807	59.44
LANDSCAPED OPEN SPACE	0.454	33.40

#### BENCHMARK

ELEVATIONS ARE BASED ON NGS BENCHMARK J23 A NGS BENCHMARK DISK SET IN TOP OF A CONCRETE MONUMENT STAMPED "J 23 1929" 2 MI N FROM CASTLE ROCK. 2.0 MILES NORTH ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT CASTLE ROCK, 0.5 MILE SOUTH OF MILEPOST 30, 59 FEET EAST OF THE CENTER OF A ROAD CROSSING, 46.7 FEET NORTHEAST OF THE NORTHEAST RAIL, 15 FEET SOUTHWEST OF THE CENTER LINE OF A PRIVATE ROAD, 2 FEET SOUTHWEST OF A FENCE, 2 FEET NORTHWEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.5 FOOT ABOVE THE GROUND.  
ELEVATION = 6118.68 FEET (NAVD1988) DATUM.

#### TOWN OF CASTLE ROCK OWNERSHIP BLOCK:

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY \_\_\_\_\_  
MAYOR  
ATTEST: \_\_\_\_\_

TOWN CLERK  
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ AS MAYOR

AND BY \_\_\_\_\_ AS TOWN CLERK.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

#### SURVEYOR'S CERTIFICATE:

I, RICHARD A. DUBOY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE \_\_\_\_\_

#### CIVIL ENGINEER'S STATEMENT:

I, Scott E. Ralio, HEREBY ATTEST THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN ACCORDANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS. 11/10/15  
REGISTERED PROFESSIONAL ENGINEER DATE \_\_\_\_\_

#### OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

MILESTONE BORROWER LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY [Signature]

SIGNED THIS 10th DAY OF November, 2015

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 10th DAY OF November, 2015 BY Glen R. Smith AS manager

MILESTONE BORROWER LLC, A DELAWARE LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: 3/31/18

KARI JURCZEWSKY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 19944018400  
MY COMMISSION EXPIRES 03/31/2018

#### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 10th DAY OF December, 2015

BY [Signature]

DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:24 PM ON THE 7th DAY OF December, 2015 AT RECEPTION NO. 201508195

DOUGLAS COUNTY CLERK AND RECORDER

BY Sandra C. Seary, Deputy

DOUGLAS COUNTY CLERK AND RECORDER

MY COMMISSION EXPIRES: \_\_\_\_\_

#### LIENHOLDER SUBORDINATION CERTIFICATE:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED DECEMBER 31, 2012 AT RECEPTION NO. 2012100803 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

U.S. BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF RBS COMMERCIAL FUNDING INC., COMMERCIAL MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2013-C11 IN ASSIGNMENT.  
BY: WELLS FARGO BANK, N.A.  
AS GENERAL MASTER SERVICER

BY: PRUDENTIAL ASSET RESOURCES, INC.,  
A DELAWARE CORPORATION, AS PRIMARY SERVICER

BY: [Signature]  
NAME: Christi T. Edwards  
TITLE: Vice President

NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: 9/23/2016

STATE OF TEXAS  
COUNTY OF DALLAS  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 2nd DAY OF November, 2015 BY Christi T. Edwards, THE Vice President OF PRUDENTIAL ASSET RESOURCES, INC., A DELAWARE CORPORATION, PRIMARY SERVICER FOR WELLS FARGO BANK, N.A., GENERAL MASTER SERVICER FOR U.S. BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR THE REGISTERED HOLDERS OF RBS COMMERCIAL FUNDING INC., COMMERCIAL MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2013-C11.

NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

#### TITLE CERTIFICATION:

I, [Signature], AN AUTHORIZED REPRESENTATIVE OF Land Title Guaranty Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE  
BY [Signature]  
TITLE COMPANY  
SIGNED THIS 10th DAY OF November, 2015

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF November, 2015 BY [Signature] AS AUTHORIZED REPRESENTATIVE OF Land Title Guaranty Company

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: 3/31/18

KARI JURCZEWSKY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 19944018400  
MY COMMISSION EXPIRES 03/31/2018

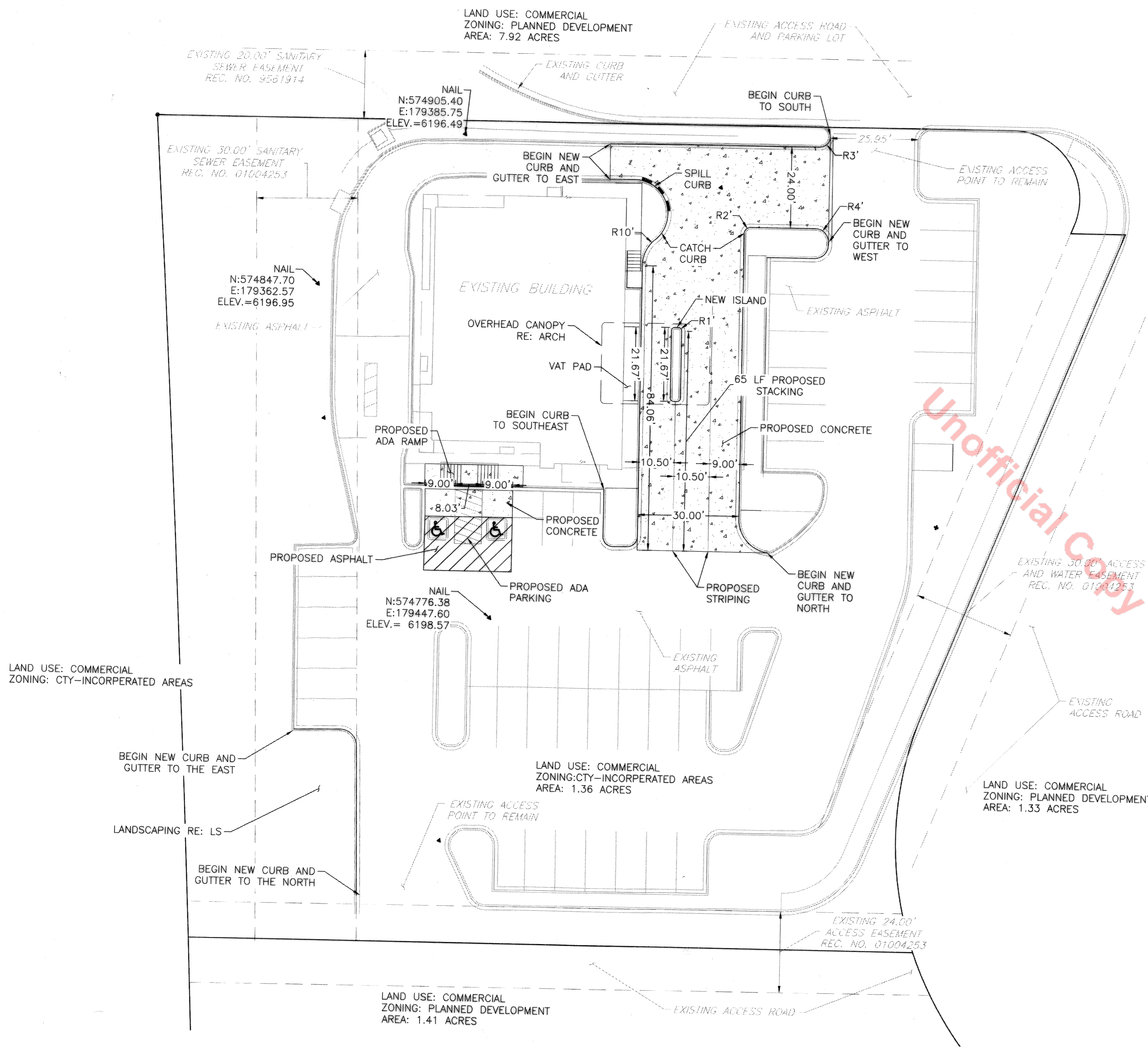
PROJECT NO. SDP15-0015  
REVISED: AUGUST 10, 2015  
REVISED: JULY 20, 2015  
MAY 25, 2015

# SITE DEVELOPMENT PLAN

## LOT 7A, MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7

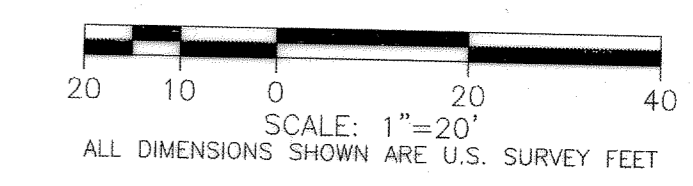
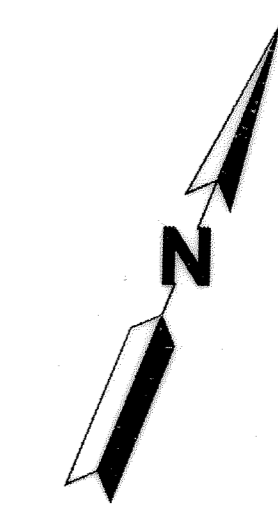
AN AMENDMENT TO 1ST BANK OF DOUGLAS COUNTY - FOUNDER'S PARKWAY A PART OF LOT 7, MILESTONE FILING NO. 1 FINAL PD SITE PLAN  
Located in the Southwest one-quarter of Section 26, Township 7 South, Range 67 West of the Sixth Principal Meridian,  
Town of Castle Rock, County of Douglas, State of Colorado.

### SITE PLAN



#### LEGEND

EXISTING		PROPOSED
—	PROPERTY LINE	—
- - -	RIGHT-OF-WAY LINE	- - -
—	SECTION LINE	—
—	EASEMENT	- - -
—	CURB & GUTTER	—
—	TYPE I CURB & GUTTER (SPILL)	—
—	TYPE II CURB & GUTTER (CATCH)	—
—	HEAVY DUTY DRIVE LANES	—
—	CONCRETE/SIDEWALK	—
—	HANDICAP RAMPS	—
—	SIGN	—
—	DRIVE	—



PROJECT NO. SDP15-0015  
REVISED: AUGUST 10, 2015  
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# SITE DEVELOPMENT PLAN

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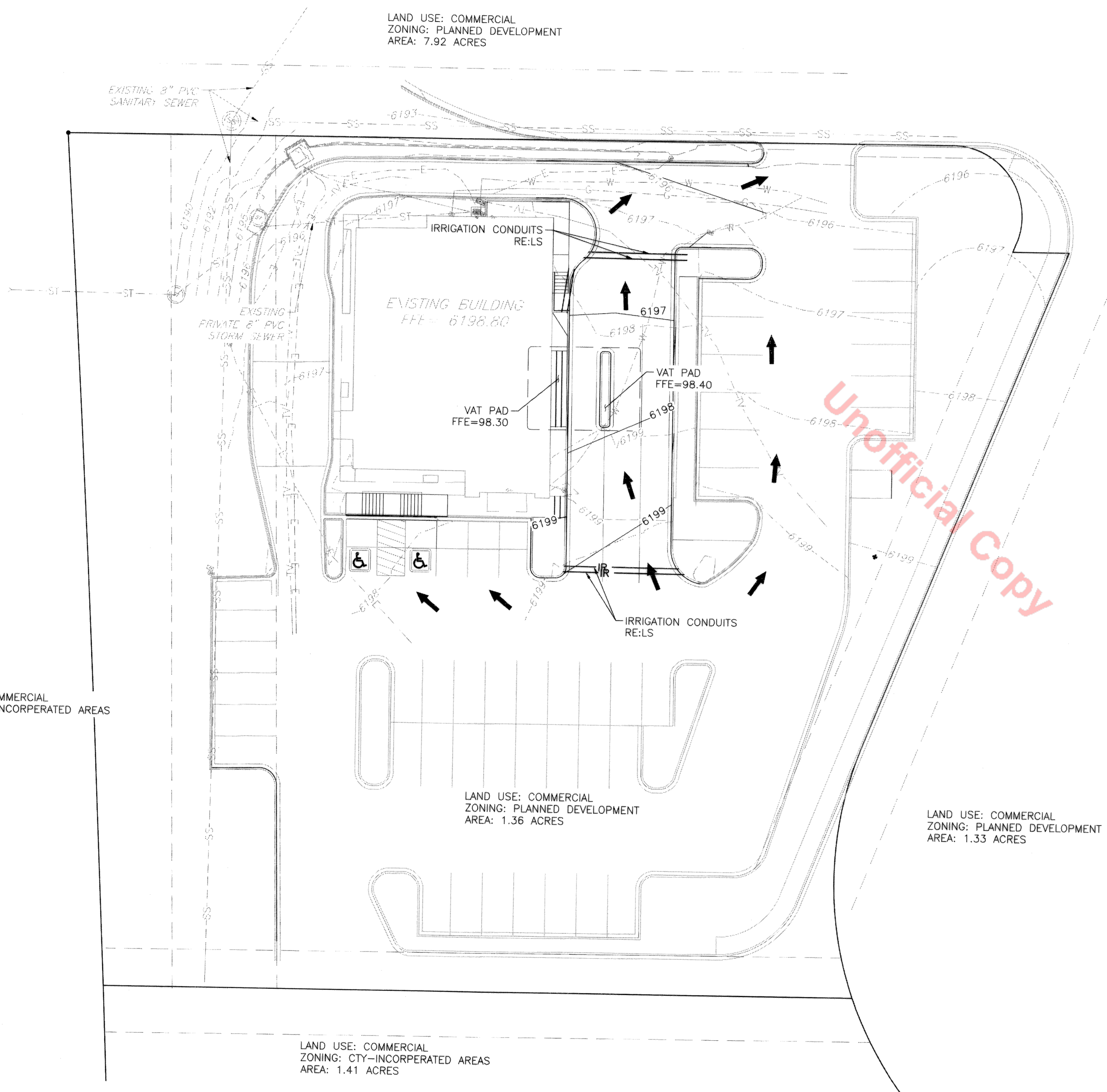
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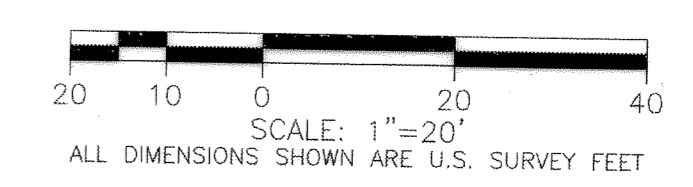
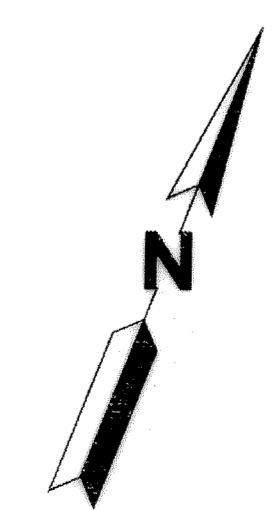
### PROPOSED GRADING & EXISTING UTILITY PLAN

#### LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	RETAINING WALL	
	CURB & GUTTER	
	CONTOURS	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY SEWER	
	SANITARY MANHOLE	
	INLET	
	FLARED END SECTION	
	SIGN	
	GRADING ARROW	
	DESCRIPTIONS	
	DRIVE	
	DRIVE	
	SPOT ELEVATIONS	



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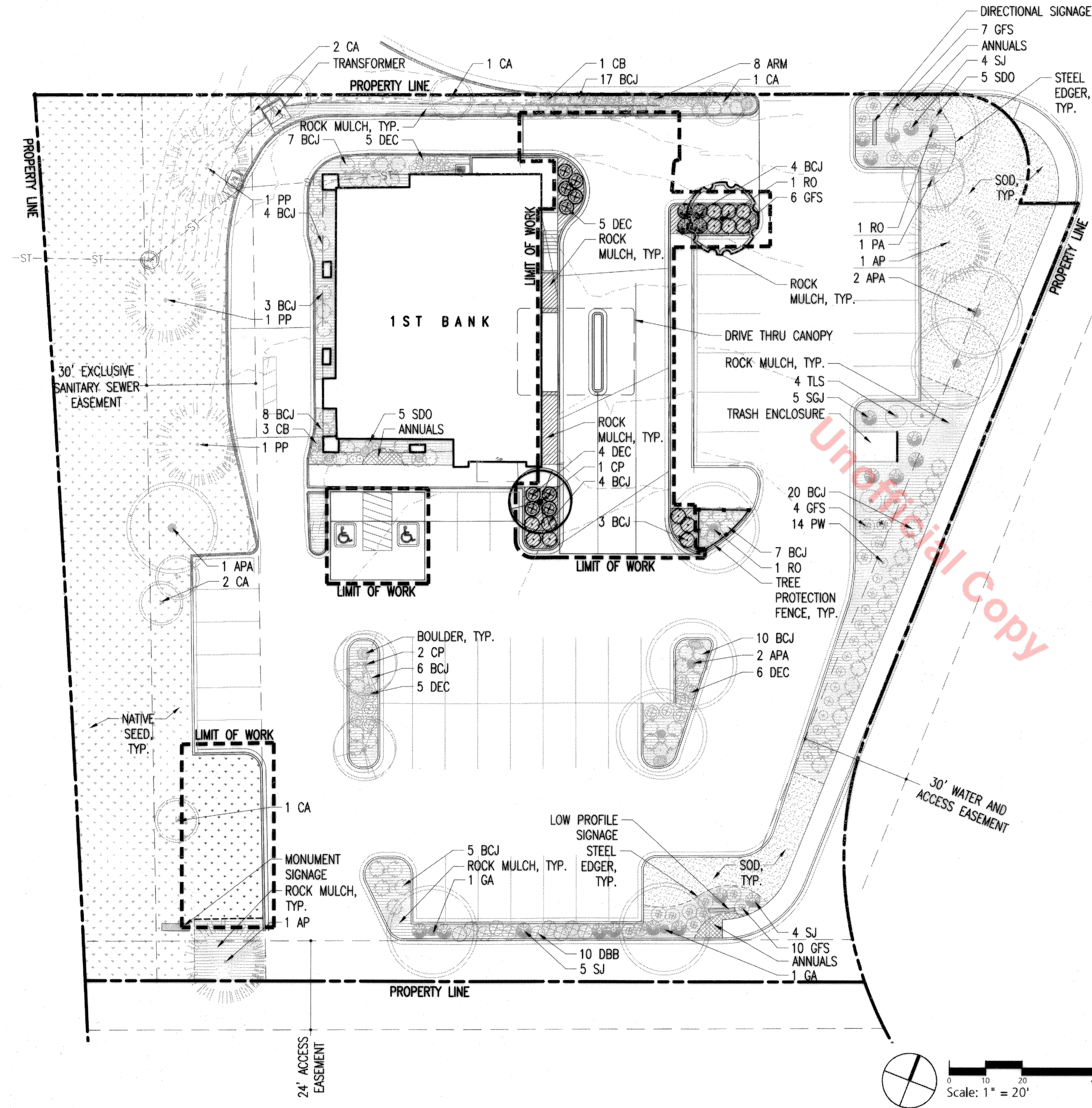


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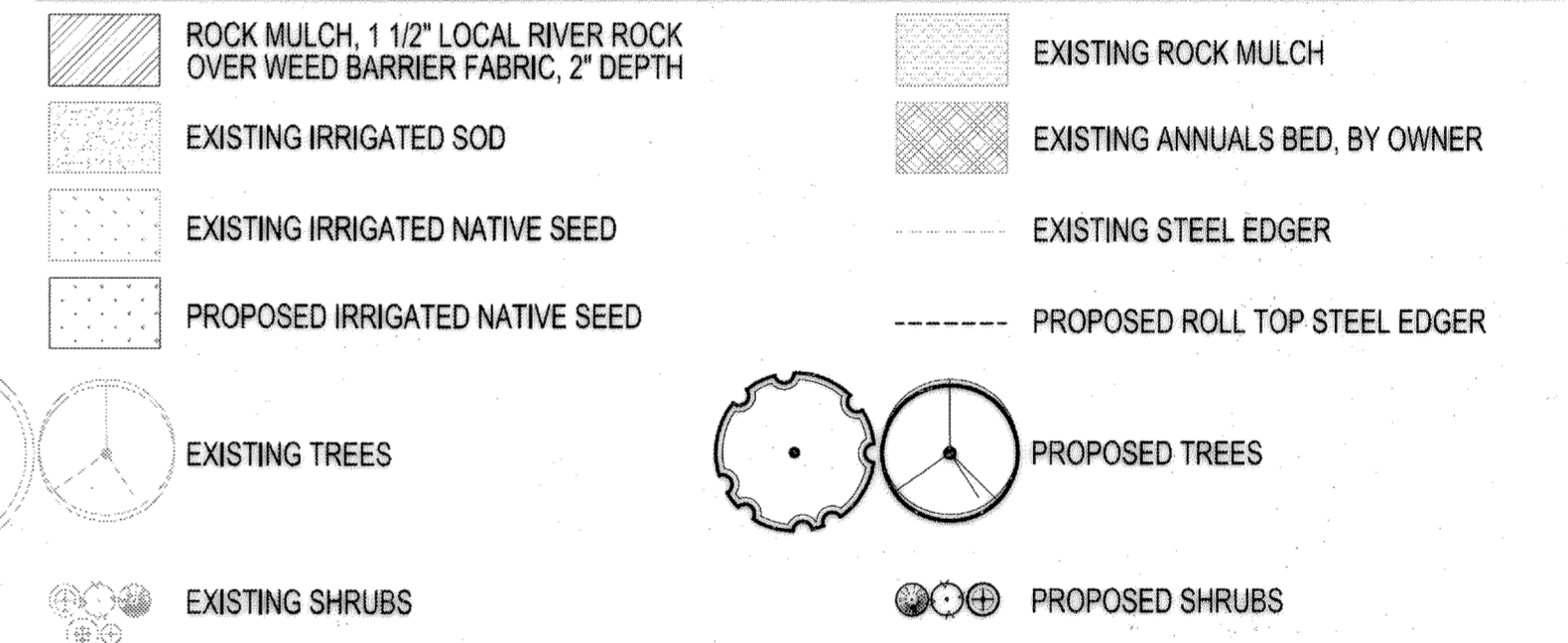
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### PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	IRRIGATION ZONE
<b>DECIDUOUS TREES</b>				
GA	FRAXINUS PENNSYLVANICA	GREEN ASH	2" CAL	L
APA	FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CAL	L
RO	QUERCUS RUBRA	NORTHERN RED OAK	2" CAL	M
<b>ORNAMENTAL TREES</b>				
CA	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	2" CAL	L
PA	PRUNUS AMERICANA	AMERICAN PLUM	2" CAL	L
CP	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2" CAL	M
<b>EVERGREEN TREES</b>				
AP	PINUS NIGRA	AUSTRIAN PINE	6-8' HT.	L
PP	PINUS EDULIS	PINON PINE	6-8' HT.	L
<b>SHRUBS</b>				
ARM	ARONIA MELANOCARPA	BLACK CHOKEBERRY	5 GAL.	L
DBB	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	5 GAL.	M
SGJ	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL.	L
BCJ	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GAL.	L
SJ	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	5 GAL.	L
CB	RHAMNUS FRANGULA 'COLUMNARIS'	COLUMNAR BUCKTHORN	5 GAL.	L
TL	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	L
GFS	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIREA	5 GAL.	M
DEC	VIBURNUM OPULUS 'NANUM'	DWARF EUROPEAN CRANBERRY	5 GAL.	M
<b>PERENNIALS/GRASSES</b>				
PW	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	1 GAL.	L
SDO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL.	L

### SYMBOL LEGEND



### NOTE

EXISTING PLANT MATERIAL IS SHOWN AND LABELED TO MEET TOWN OF CASTLE ROCK'S SUBMITTAL REQUIREMENTS. ALL LANDSCAPE OUTSIDE THE LIMIT OF WORK LINE IS EXISTING AND SHALL BE PRESERVED + PROTECTED. SYMBOLS AND QUANTITY ARE FOR INFORMATION ONLY.

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 Town of Castle Rock, County of Douglas, State of Colorado.

### STANDARD PLANTING NOTES

- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SUITABLE GRADE (+/- .10"). THESE AREAS SHALL BE TILLED TO A DEPTH OF 6" OR MORE, INCORPORATING FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER 1,000 SQUARE FEET UNIFORMLY INTO THE SOIL. UPON COMPLETION OF SOIL PREPARATION THESE AREAS SHALL BE FINE GRADED TO WITHIN 2 TENTHS OF A FOOT AND FINISH GRADED ALONG SIDEWALK. DEBRIS, VEGETATION, ROCKS, ETC. NOT PASSING THROUGH A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FINE GRADED SMOOTH AND FIRM AND SHALL BE PROTECTED FROM COMPACTION PRIOR TO PLANTING.
- PLANT MATERIAL SHALL CONFORM TO SECTION 6 OF THE TOWN OF CASTLE ROCK'S LANDSCAPE REGULATIONS AND SHALL COMPLY WITH CURRENT AMERICAN ASSOCIATION OF NURSERYMEN (AA) STANDARDS FOR #1 GRADE NURSERY STOCK OR BETTER. PLANTS SHALL MEET OR EXCEED SIZES SPECIFIED IN THE PLANT LEGEND. TREES SHALL HAVE WELL BRANCHED TOPS WITH REASONABLY STRAIGHT, WELL DEVELOPED SINGLE LEADERS (UNLESS OTHERWISE NOTED). THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANTS OF INFERIOR QUALITY. NO PLANTS SHALL BE PLANTED DURING INCLEMENT WEATHER OR INTO FROZEN GROUND (UNLESS SPECIFICALLY ALLOWED WITH WRITTEN APPROVAL).
- PLANTING PITS SHALL BE DUG ACCORDING TO TOWN OF CASTLE ROCK PLANTING DETAILS. BACKFILL PLANTING PITS WITH A UNIFORM MIXTURE OF 75% EXCAVATED SOIL AND 25% ORGANIC MATTER. THE CONTRACTOR SHALL REMOVE ALL WIRE BASKETS, NYLON TWINE, PLASTIC AND FIBER POTS AND THE TOP TWO THIRDS OF BURLAP AND TWINE FROM THE ROOTBALL AND TRUNK. ALL FLAGS, TAGS, ETC. SHALL BE REMOVED FROM ALL PLANTS AFTER TOWN INSPECTION.
- TREES SHALL BE STAKED AND GUYED AS SHOWN IN THE TOWN OF CASTLE ROCK PLANTING DETAILS TO KEEP THEM IN A PLUMB CONDITION UNTIL THE TREE IS ESTABLISHED. TREES OVER 2" IN CALIPER SHALL BE SECURELY STAKED AND GUYED WITH 3 WIRES MINIMUM, SPACED EQUALLY AROUND THE TREE. TREES UNDER 2" CALIPER SHALL BE SECURED WITH 2 WIRES, SPACED EQUALLY AROUND THE TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR GUY WIRE ADJUSTMENTS DURING THE WARRANTY PERIOD AND REMOVAL OF STAKES AND WIRES WITHIN ONE YEAR FROM THE PLANTING DATE. TRUNKS OF FALL PLANTED DECIDUOUS TREES SHALL BE WRAPPED WITH AN APPROVED TREE WRAP SPIRALLY FROM THE GROUND TO THE HEIGHT OF THE SECOND BRANCH AND SECURED TOP AND BOTTOM WITH APPROVED TAPE. TREE WRAP SHALL BE REMOVED FROM THE TREE BY APRIL THE 1ST OF EACH YEAR.
- ALL LANDSCAPED AREAS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM MANAGED BY A CENTRAL CONTROLLER WITH A BATTERY BACK-UP SYSTEM.
- LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL.
- MAINTENANCE OF LANDSCAPED AREAS SHALL MEET TOWN OF CASTLE ROCK'S REQUIREMENTS.
- NO STREET WASHING IS ALLOWED IN CASTLE ROCK.
- NO TREES OR PERMANENT STRUCTURES ARE ALLOWED INSIDE UTILITY AND DRAINAGE EASEMENTS PER PWR, SECTION 11, CHAPTER 14.3.13 WITHIN SIGHT TRIANGLES. NO MATERIAL OVER THIRTY (30) INCHES IN HEIGHT IS PERMITTED.
- RESEED ANY EXISTING UNDISTURBED NATIVE AREAS, WITHIN THE PROPERTY LINE, THAT HAVE BARE SPOTS GREATER THAN 4 INCHES SQUARE.
- STAKE ALL NEW TREE LOCATIONS BASED ON THESE PLANS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO PLANTING.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS.
- PLANT AND EDGING LAYOUT SHALL TAKE PRIORITY OVER IRRIGATION VALVE BOX LOCATIONS. INSTALLED VALVE BOXES WHICH CONFLICT WITH ACCEPTED PLANT AND EDGING LAYOUT SHALL BE MOVED TO A LOCATION BETWEEN PLANTS AS DIRECTED BY ARCHITECT AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL INCLUDING SOD AREAS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLIGENCE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- PROJECT INCLUDES EXTENSIVE UTILITY SYSTEMS MANY OF WHICH ARE CLOSE TO THE FINISHED SURFACE. VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PLANTING. REPORT ANY CONFLICTS TO ARCHITECT.
- ALL SHRUB, PERENNIAL AND GROUND COVER AREAS ARE TO BE PREPARED AS CONTINUOUS BEDS IN ACCORDANCE WITH SPECIFICATIONS.
- ALL SHRUB AND GROUND COVER BEDS SHALL BE GRADED TO DRAIN WITH A MINIMUM 2% CROSS SLOPE.

### IRRIGATION DESIGN AND SYSTEM NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN EVERY THIRD DAY WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10 PM AND 5 AM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED 7.5 FEET PER SECOND.
- SHRUB AND ORNAMENTAL GRASS BEDS AND AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
- LANDSCAPE AREAS LESS THAN 10' WIDE SHALL NOT BE IRRIGATED WITH OVERHEAD IRRIGATION.
- A RAIN SENSOR SHALL BE INCLUDED IN THE IRRIGATION SYSTEM.

### SOIL ANALYSIS

SOIL AMENDMENT:  
 MINIMUM 4 CU. YDS. OF CLASS I COMPOST PER 1,000 SQ. FT. PER TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.  
 ROTOTILL DEPTH TO BE A MINIMUM OF 6".

- ALL TOPSOIL TO BE AMENDED ON SITE.
- CONTRACTOR TO TEST SOILS UPON PLACEMENT, JUST PRIOR TO PLANTING AND AMEND FURTHER IF STILL DEFICIENT IN NUTRIENT BALANCE AND CONTENT FOR XERIC TREES AND SHRUBS.

### TOCR LANDSCAPE PLAN STANDARD NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

### COMPOSITE LANDSCAPE WATER USE RATING TABLE (INCLUDES EXISTING AND PROPOSED PLANTINGS)

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 TO 1.5
LOW WATER USE	+1.5 TO 3.0
MODERATE WATER USE	+3.0 TO 4.5
HIGH WATER USE	+4.5

LANDSCAPE TYPE	LANDSCAPE ZONE	IRRIGATION	% OF TOTAL AREA	IRRIGATION WATER REQUIREMENTS (IWR)	LWU RATING (IWR/5.0) (LWUR)	IRRIGATED AREA (IA)	TOTAL AREA (TA)	CLUWR (LWUR X IA/TA)
SHRUBS/ORN. GRASSES	LOW	DRIP	41%	10 IN./YR.	2.0	5,833	14,069	0.83
KENTUCKY BLUEGRASS	HIGH	SPRAY	20%	28 IN./YR.	4	2,794	14,069	0.79
TREES* (23)	LOW	DRIP	33%	10 IN./YR.	2.0	4,600	14,069	0.65
NATIVE SEED	LOW	ROTOR	6%	7 IN./YR.	1.4	842	14,069	0.08
TOTALS								2.36

OVERALL PROJECT COMPOSITE LANDSCAPE WATER USE RATING: LOW WATER USE

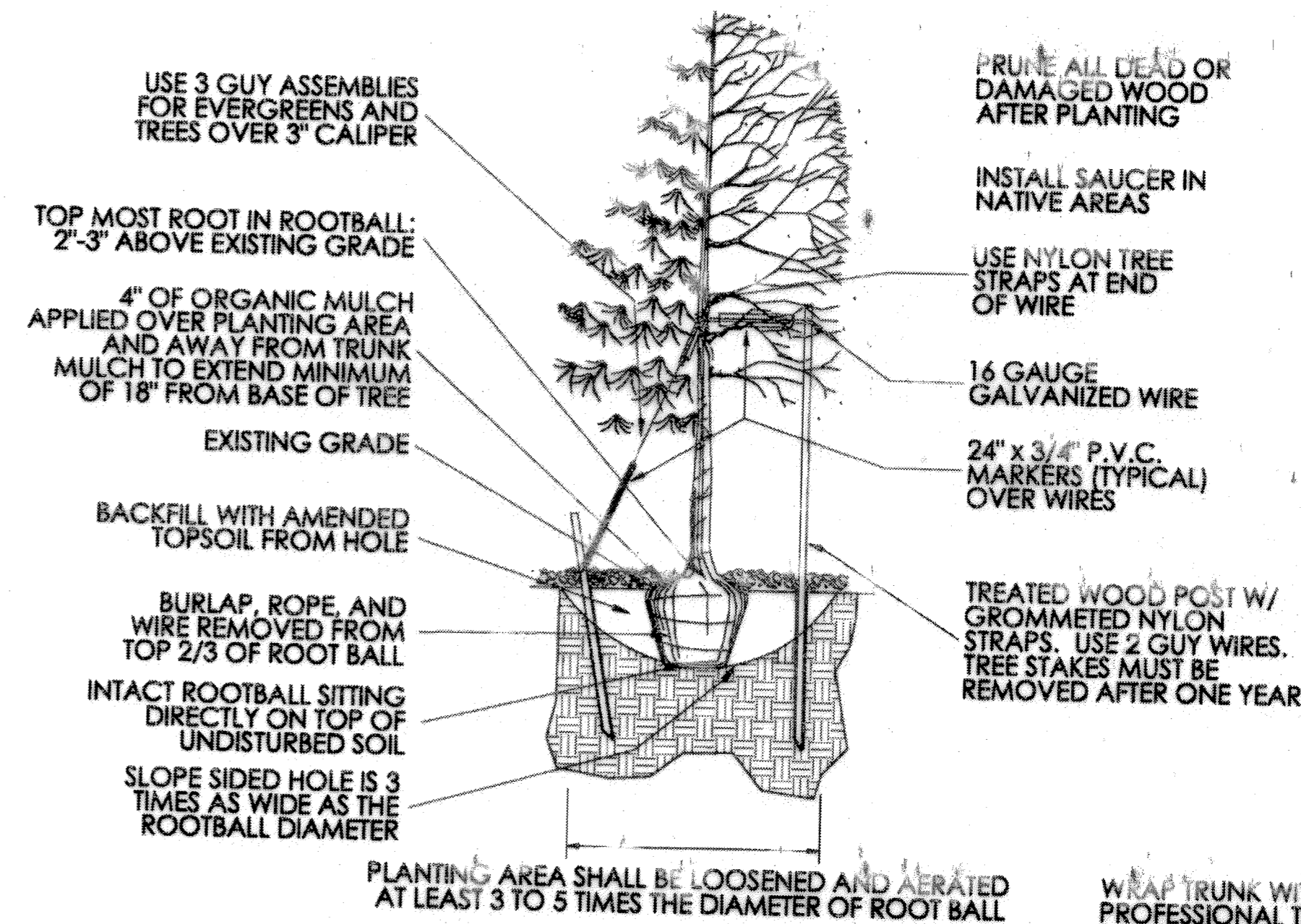
\*TREES REQUIRING DRIP IRRIGATION

### COMMERCIAL LANDSCAPE SITE INVENTORY

#### MILESTONE DESIGN GUIDELINES

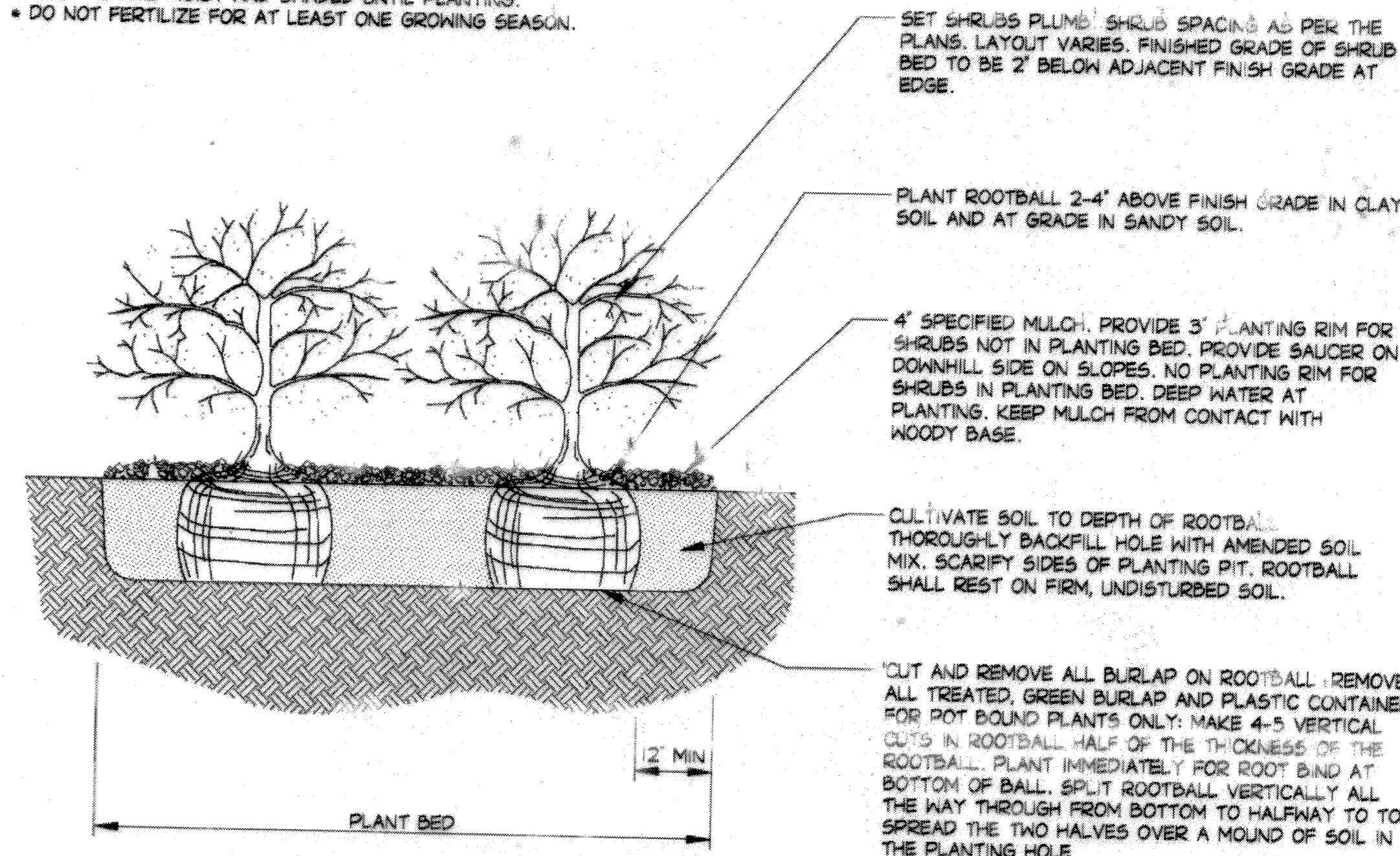
GROSS SITE AREA (S.F.)	LANDSCAPE AREA (S.F.)	KENTUCKY BLUEGRASS (S.F.)	NON-LIVING ORNAMENTAL (S.F.)	NO. OF TREES REQUIRED*	NO. OF TREES PROVIDED	NO. OF SHRUBS REQUIRED*	NO. OF SHRUBS PROVIDED	SOIL PREP AMOUNTS (C.Y./1,000 S.F.)	SEPARATE IRRIGATION SERVICE CONNECTIONS
59,062	20,505	2,794	459	12	26	47	206	4 c.y./1,000 s.f.	NO
PARKING LOT (S.F.)	PARKING LOT LANDSCAPE AREA (S.F.)	NO. OF PARKING SPACES	NON-LIVING ORNAMENTAL (S.F.)	NO. OF INTERIOR LANDSCAPED ISLANDS	MEDIAN WIDTH OF INTERIOR LANDSCAPE ISLANDS (FT.)	NO. OF TREES REQUIRED	NO. OF TREES PROVIDED	NO. OF SHRUBS REQUIRED	NO. OF SHRUBS PROVIDED
22,046	1,044	48	0	5	10	7	7	29	44

\*TREE AND SHRUB REQUIREMENTS CALCULATED USING 10% LANDSCAPE AREA OF GROSS SITE AREA.



### 1 TOCR DECIDUOUS TREE PLANTING DETAILS

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.



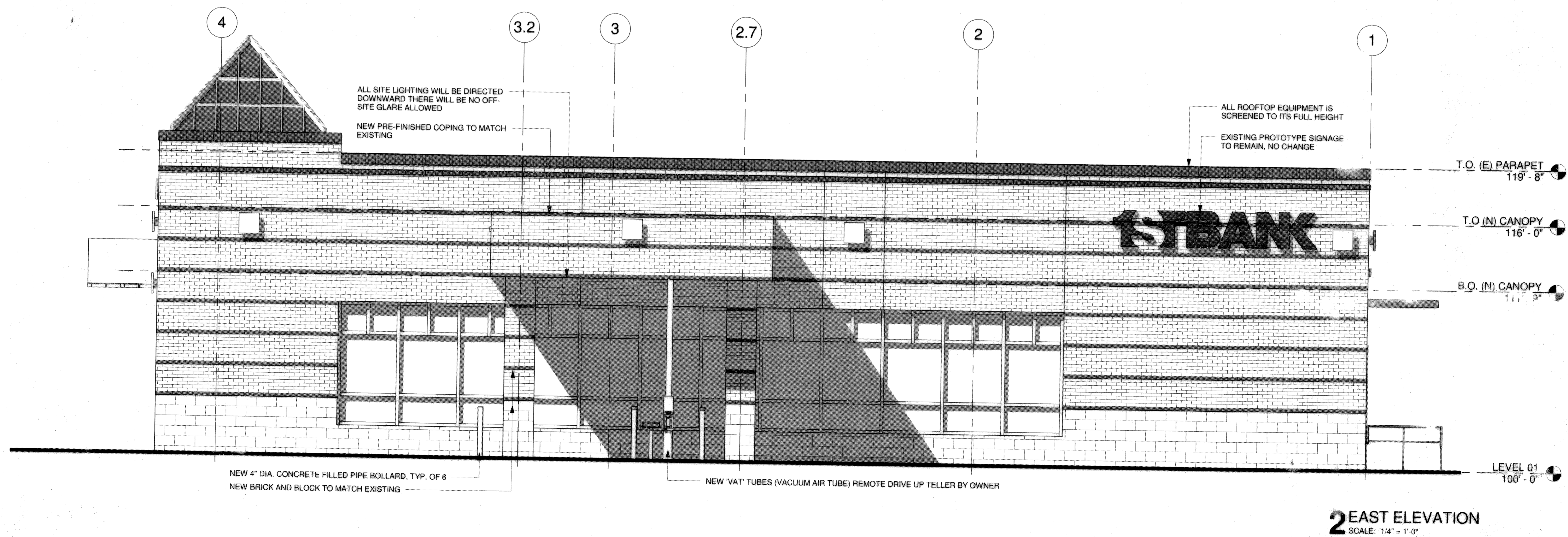
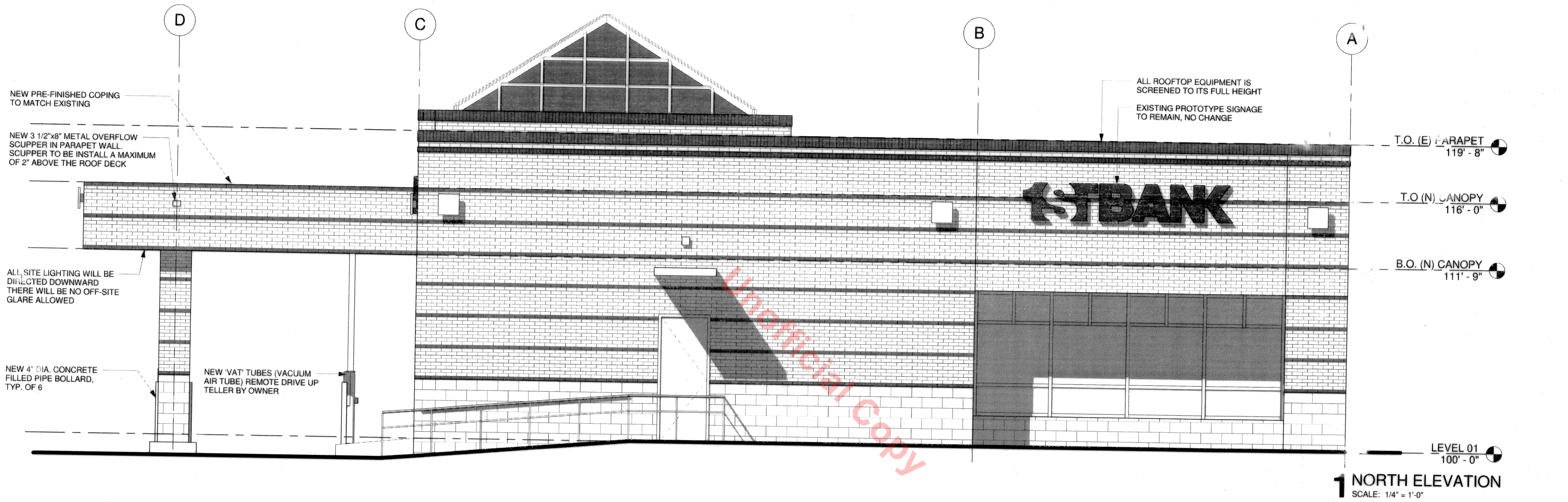
### 2 TOCR SHRUB PLANTING DETAILS

TOWN OF CASTLE ROCK LANDSCAPE ARCHITECT'S REGISTRATION NUMBER:  
 ANNE DESJARDINS #15-1211  
 STATE OF COLORADO NUMBER LA-148  
 PROJECT NO. SDP15-0015  
 REVISED: AUGUST 10, 2015  
 REVISED: JULY 20, 2015  
 MAY 5, 2015

# SITE DEVELOPMENT PLAN

## LOT 7A, MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7

AN AMENDMENT TO 1ST BANK OF DOUGLAS COUNTY - FOUNDER'S PARKWAY A PART OF LOT 7, MILESTONE FILING NO. 1 FINAL PD SITE PLAN  
Located in the Southwest one-quarter of Section 26, Township 7 South, Range 67 West of the Sixth Principal Meridian,  
Town of Castle Rock, County of Douglas, State of Colorado.



**KA** Kenney Architects  
1425 MARKET STREET SUITE 220  
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303.694.2445 FAX 303.565.1494  
www.kenneyarchitects.com

PROJECT NO. SDP15-0015  
REVISED: AUGUST 10, 2015  
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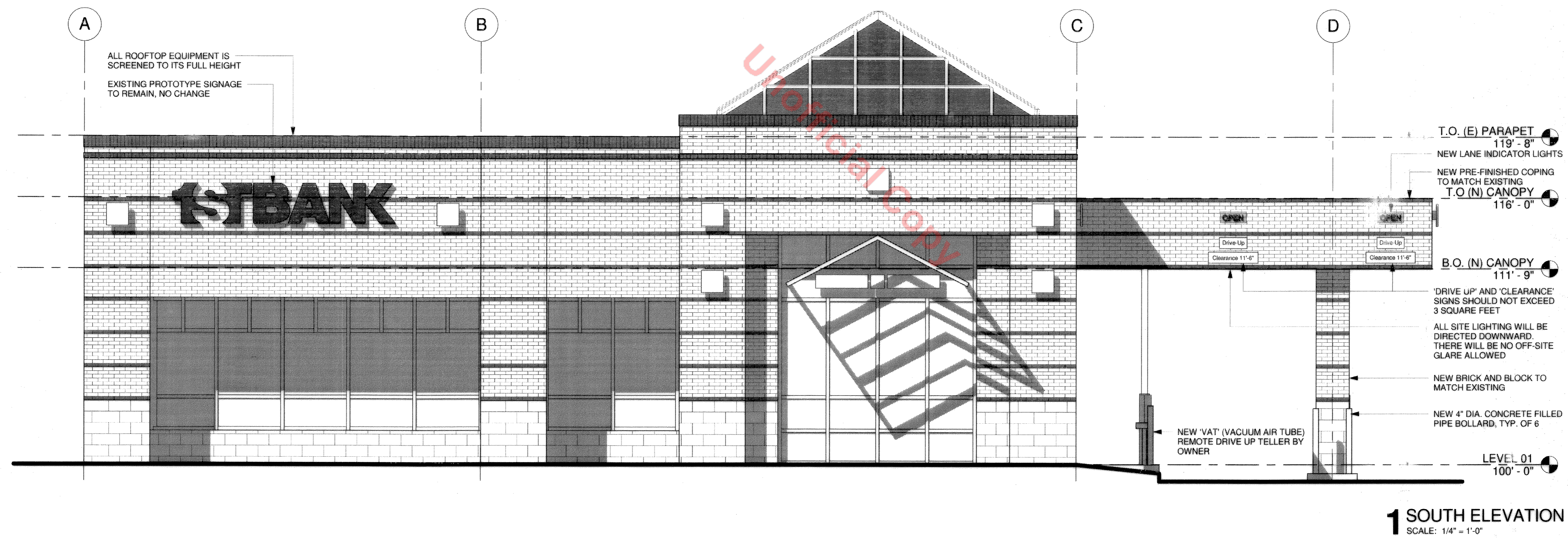
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SIGNAGE BREAKDOWN	SQUARE FOOTAGE
NORTH ELEVATION SIGN (EXISTING)	32 S.F.
EAST ELEVATION SIGN (EXISTING)	32 S.F.
SOUTH ELEVATION SIGN (EXISTING)	32 S.F.
WEST ELEVATION SIGN (EXISTING)	32 S.F.
SOUTH ELEVATION DRIVE UP / CLEARANCE SIGNAGE	NOT TO EXCEED 3 S.F.
<b>TOTAL:</b>	<b>131 S.F.</b>

**KA** KenneyArchitects  
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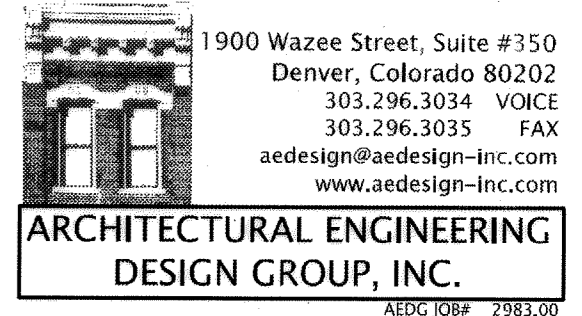
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# SITE DEVELOPMENT PLAN

## LOT 7A, MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7

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TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP			MAX WATTS	LLF	MOUNTING LOCATION	INFORMATION BOP/RFPD/OPH	NOTES
					QTY	WATT	TYPE					
EXISTING FIXTURES												
(E)	EXISTING EXTERIOR POLE MOUNTED POLE FIXTURE SINGLE AND DIA. HEADS TYPE 3 DISTRIBUTION, ROUND HEAD	LITHONIA	KAR2-40CM-R3	200	1	400	14H	400	1	24'-0" POLE (MON ON PLAN)	2'-6" (BOP) AFF	2
(E)	EXISTING RECESSED DOWNLIGHT WITH PRISMATIC GLASS LENS, LIGHT BLACK BAFFLE	PRESCOLITE	MX50-TLBT	120	1	50	14H	50	1	RECESSED EXTERIOR SOFFIT SURFACE WALL	10'-0" AFF	
(E)	EXISTING WALL MOUNTED SCENCE SEMI-RECESSED WITH FACE PLATE	NULITE	FLPT0MH-120	120	1	70	14H	70	1	RECESSED EXTERIOR SOFFIT SURFACE WALL	SEE NOTES	13
EDI	EXTERIOR LED CANOPY DOWNLIGHT 6" APERTURE, ISCOOLM OUTPUT	PORTFOLIO	LD6A-IS-D010TE-ERM6A15-8-35-6LMO-HHF	120	1	25	LED	25	1	RECESSED CANOPY RFPD	6'-4/16" AFF	
EWI	EXTERIOR WALL MOUNTED LED AREA LIGHT, FULL CUTOFF	LUMARK	XTOR2A-NB500K-XX	120	1	16	LED	16	1	RECESSED CANOPY RFPD	15'-0" AFF	

ABBREVIATIONS: BOP - BOTTOM OF FIXTURE, RFPD - RECESSED FIXTURE DEPTH, OPH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

- ALL FLUORESCENT LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNLESS NOTED OTHERWISE.
- ALL REFLECTOR LAMPS TO BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UNLESS NOTED OTHERWISE.
- ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS AS DESCRIBED IN NEC 410.10(C).
- VERIFY ALL FINISHES WITH ARCHITECT PRIOR TO ORDERING.

SPECIFIC NOTES:

- SAME SCENCE TYPE MOUNTED AT SEVERAL ELEVATIONS, ELEVATIONS HAVE BEEN NOTED ON PLANS (CENTER OF FIXTURE AFF) PER ARCHITECTURAL ELEVATIONS.
- EXISTING POLE FIXTURES MATCH APPEARANCE OF SURROUNDING PROPERTY FIXTURES (OBSERVED AS BLACK FINISH, FULL-CUTOFF, ROUND-BOX HEAD). POLE FIXTURES ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.
- REFER TO IMAGE FOR EXISTING SCENCE APPEARANCE. SCENCES ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.

- GENERAL NOTES**
- SCOPE OF WORK INCLUDES POWER/LIGHTING FOR NEW DRIVE-UP CANOPY AND ASSOCIATED EQUIPMENT. EXISTING LIGHTING FIXTURES TO REMAIN.
  - ALL NEW EXTERIOR LUMINAIRES ARE FULL-CUTOFF.
  - ALL EXTERIOR LUMINAIRES ARE TO BE CONTROLLED VIA EXISTING TIMELOCK/CONTACTOR SYSTEM.
  - EXISTING SITE LUMINAIRES ARE TO REMAIN THROUGHOUT PARKING AREAS.
  - CONTRACTORS SHALL PROTECT ALL EXISTING LIGHT FIXTURES WITHIN THE SCOPE OF WORK AREA FROM DAMAGE AND DEBRIS. COORDINATE WITH EC FOR REMOVAL AND REINSTALLATION OF FIXTURES AS REQUIRED.
  - OBJECTIVES: EXISTING POLE MOUNTED LIGHTING SERVES PARKING AREAS, EXISTING BUILDING MOUNTED LIGHTING ILLUMINATES FACADE AND EGRESS AREAS. NEW CANOPY LIGHTING ILLUMINATES DRIVE AREA UNDER CANOPY FOR SAFETY AND SECURITY DURING BUSINESS HOURS.
  - REFER TO SCHEDULE FOR DETAILS OF HOURS OF LIGHT OPERATION. EXISTING SCHEDULE SHALL REMAIN, AND NEW FIXTURES TO BE CONTROLLED SIMILARLY.
  - NEW FIXTURES ARE ADJACENT TO BUILDING AND RECESSED UNDER CANOPY. NEW FIXTURE WILL NOT IMPACT LIGHT LEVELS AT PROPERTY LINE.
  - REFER TO FIXTURE SCHEDULE FOR MOUNTING HEIGHTS.
  - EXISTING CONTROL PARAMETERS TO REMAIN. EXTERIOR BUILDING LIGHTS, BUILDING SIGNS, ATM LIGHTING, DRIVE-UP CANOPY LIGHTING, AND MONUMENT SIGNS - ON 30 MINUTES BEFORE DUSK, OFF 30 MINUTES AFTER DAWN. NO EXTERIOR PHOTOCELL REQUIRED. ALL SUNLIGHT BASED SETTINGS CONTROLLED BY ASTRONOMICAL FUNCTION OF TIMELOCK. UTILIZED FOR CONTACTOR SYSTEM. PARKING LOT LIGHTS - ON 30 MINUTES BEFORE DUSK, OFF AT 11PM.
  - ALL DIMENSIONS, BEARINGS AND CONTROLS POINTS INDICATED ALONG EXTERIOR PROPERTY LINE ARE PER EXISTING CIVIL PLANS. REFER TO CIVIL SHEETS 2 AND 3 OF THIS SUBMITTAL FOR MORE INFORMATION.

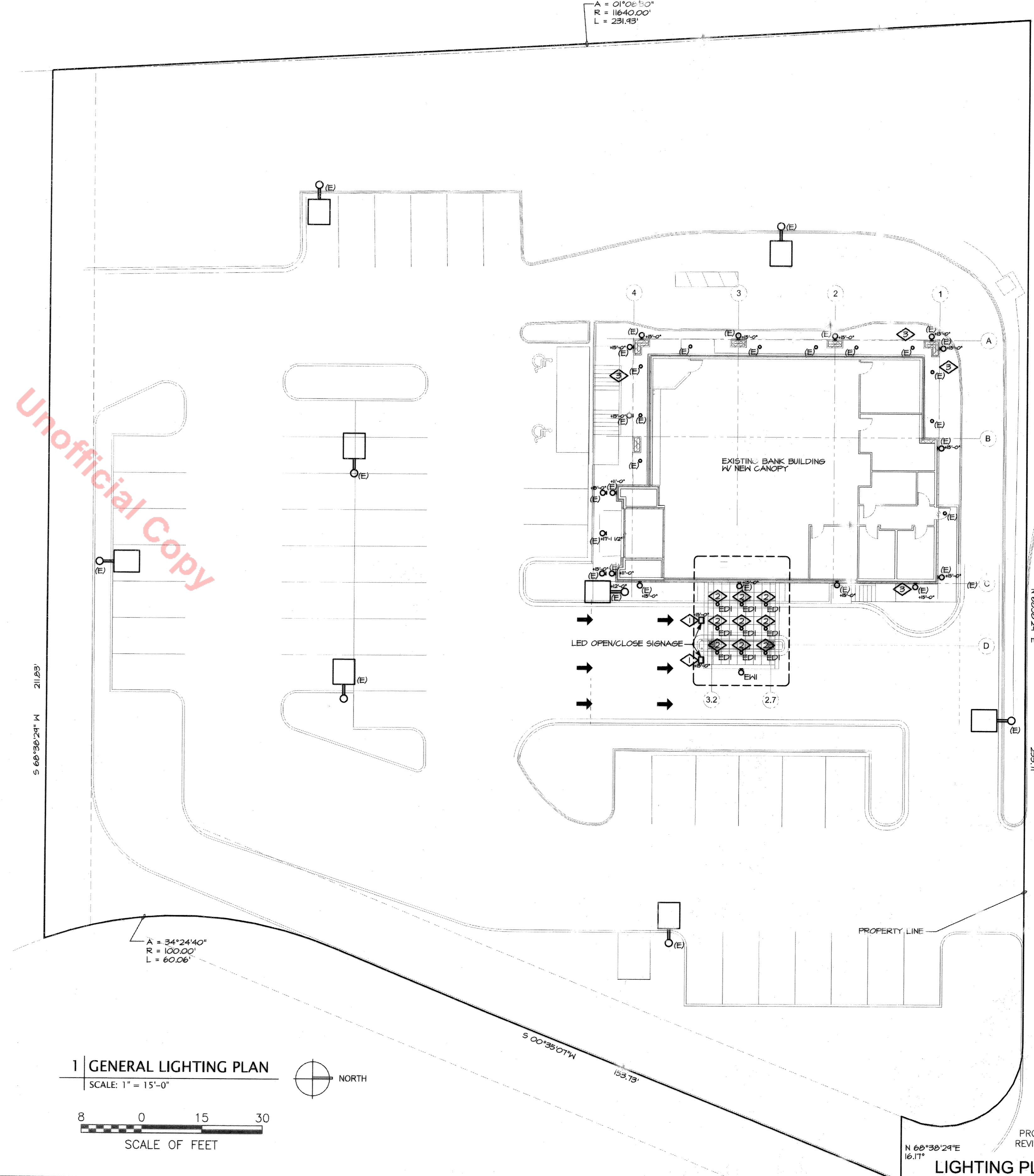
**ABBREVIATIONS AND SYMBOLS**

A	AMPERE(S)
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
BFF	BELOW FINISHED FLOOR
DWG(S)	DRAWING(S)
(E)	EXISTING TO REMAIN
EC	ELECTRICAL CONTRACTOR
(ER)	EXISTING TO BE RELOCATED
(R)	EXISTING TO BE REMOVED
FLA	FULL LOAD AMPS
GC	GENERAL CONTRACTOR
KVA	KILOVOLT AMPERES
KW	KILOWATTS
LTS	LIGHTING
OAE	OR APPROVED EQUAL
P	POLE
PH, φ	PHASE
(RL)	RELOCATED
UCN	UNLESS OTHERWISE NOTED
V	VOLTS
W	WATT(S) OR WIRE
WP	WEATHERPROOF
◇	DETAIL NOTE

**LIGHTING FIXTURES**

A	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH.
○	WALL MOUNTED LUMINAIRE
○	DOWNLIGHT LUMINAIRE
□	EXTERIOR AREA LIGHT

- DETAIL NOTES**
- EC SHALL PROVIDE OPENCLOSED LANE INDICATORS, SIGNAL-TECH #TCL7149-225H. FIXTURES ARE CONTROLLED VIA LOCAL SWITCH AT TELLER LINE.
  - EC SHALL TIE INTO EXISTING LIGHTING CONTACTOR, ELECTRICAL ROOM 100. PER PREVIOUS ENGINEER'S DRAWINGS, THERE IS AVAILABLE SPACE ON CONTRACTOR. CONTROLLED SAME AS ADJACENT EXTERIOR SOFFIT DOWNLIGHTS.
  - ILLUMINATED FIRSTBANK SIGNS, HIGH ON BUILDING, ARE EXISTING TO REMAIN.



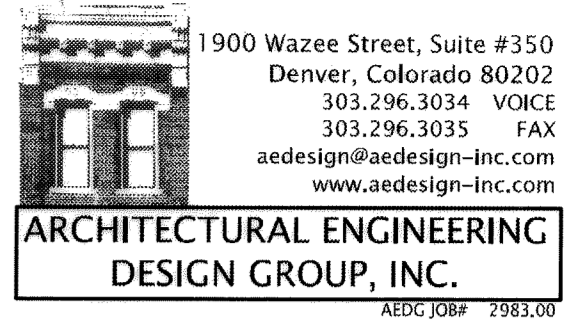
1 GENERAL LIGHTING PLAN  
SCALE: 1" = 15'-0"  
SCALE OF FEET  
8 0 15 30

# SITE DEVELOPMENT PLAN

## LOT 7A, MILESTONE FILING NO. 1, AMENDMENT 1, LOT 7

### AN AMENDMENT TO 1ST BANK OF DOUGLAS COUNTY - FOUNDER'S PARKWAY A PART OF LOT 7A, MILESTONE FILING NO. 1 FINAL PD SITE PLAN

Located in the Southwest one-quarter of Section 26, Township 7 South, Range 67 West of the Sixth Principal Meridian, Town of Castle Rock, County of Douglas, State of Colorado.



REFERENCE PHOTO: EXISTING SCONCES AND POLE FIXTURE STYLES (EXISTING TO REMAIN)

Unofficial Copy

**PORTFOLIO™**

**DESCRIPTION**  
8 inch LED recessed modular beam downlight with 90° cut off capability designed for LED technology. Two-stage reflector system provides smooth distribution with excellent light control and low surface temperatures. Lumen packages include 7000, 1500, 2000 and 3000 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K.

**SPECIFICATION FEATURES**

**Lower Shielding Reflector**  
Self-Regulating, 300° Beam aluminum lower reflector in combination with a bonded upper optical chamber provides superior light control with excellent beam performance. Available in all Portfolio Ambient finishes.

**Trim Retention**  
Lower reflector is retained with two tension springs holding the trim tightly to the finished ceiling surface.

**Plaster Frame / Color**  
New Construction Housing: Die cast aluminum 1/2" deep color accommodate ceiling materials up to 2".

**Universal Mounting Bracket**  
Accepts 1/2" EMT, 1/2" channel and can hangers and accepts 1" vertically from above and below the ceiling.

**Junction Box**  
16, 1/2" and 1/2" trade size j-box optional to allow straight

**6000lm trim. Rated for 20' ft/2 AWG load in four lead 100°C conductors x/2 lead three branch wiring.**

**Thermal**  
Extruded aluminum heat sink conducts heat away from the LED module for optimal performance and long life.

**LED**  
LED system contains a plurality of high brightness white LEDs combined with a high reflective upper reflector and corner translucent lens producing even distribution with no hotspots. Rated for 50,000 hours at 70° ambient temperature. A die casting, thermally protected, LEDs are turned off when safe operating temperatures are exceeded. Color variation within a zone. Maximum output. Flexible mounting allows for spot focus below ceiling. Available in 90° or 180°.

**Driver**  
Candelabra 120-277V @ 10W or 120V trailing edge phase cut driver provides flicker free dimming from 100% to 10%. Optional 1% flicker flicker light, DMX or Luxe™ technology. Driver can be recessed from above or through the ceiling.

**EMC Compliance**  
Thermally protected and UL/US listed for protected wet locations. IP66 rated when used with IP66 (dark) in necessary. Optional City of Chicago environmental (CIC) CCX marking for plastic applications. EMI/RFI emissions per FCC Part 18 Class B consumer device. Non-IC rated. Insulation must be kept 2" from top and sides of housing. Recessed. Photometric testing completed in accordance with IES LM-79 standards. LED life testing completed in accordance with LM-80 standards.

**Warranty**  
5 year warranty on LED housing, LED Modules and LED Trims.

**1000, 1500 Lumen LED  
2000, 3000 Lumen LED**

**LD6A10 LD6A15  
LD6A20 LD6A30  
6LM**

**8 Inch  
Modular Beam Downlight  
New Construction**

**Cooper Lighting**  
E-256

**APP13789**  
2016-10-21 10:14:09

EDI

**LUMARK™**

**DESCRIPTION**  
The Lumark Linear Crosstour™ LED Wash Fix is a series of aluminum extrusions in an industrial style with super bright 100% efficient LEDs. The low profile, rugged die-cast aluminum extrusion, universal back box, stainless steel hardware along with a sealed and gasketed optical management make the Crosstour™ impressive for contractors. The Crosstour™ Wash Fix is ideal for wall surfaces. Insect mesh for application in exterior, semi-outdoor, site lighting, floodlights and low voltage pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, restaurants, schools, stairways and loading docks.

**SPECIFICATION FEATURES**

**Construction**  
Slim, low profile LED design with rugged extrusion, die-cast aluminum housing removable cover and back box. Matching housing includes recessed mounting hardware. The small housing is available in 10' and 16'. The large housing is available in the 16' model. Fast-pending universal lock rings feature allows for safe and easy front-to-back electrical connections with the supplied panel-mounting hardware. Back box includes three (3) ballasts, NPT breaker and electrical entry points. The universal back box supports both the small and large forms and mounts to standard 1/2" to 4" round and octagonal, 4" size, one, single, jangle and multiple junction boxes. Key hole spacers allows for installation into ceiling, floor or wall. Universal fastening hardware used from the fixture surface. Dimensions allow for quick installation and ease of use. Maximum 50' cable for site lighting applications. Not recommended for use with applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered recessed and angled reflector providing high efficiency illumination. Optional insect mesh includes impact resistant tempered glass and meets ICMA requirements for full output applications. Solid state LED Crosstour™ luminaires are thermally optimized with five (5) thermal packages in each 5000K or neutral beam 5000K LED color temperature (CCT).

**Electrical**  
LED driver is mounted on the die-cast housing for optimal heat sink and natural convection to transfer heat rapidly away from the LED source. 70W models operate at 100V to 140V. 150W and 200W models operate at 100V to 140V. High ambient 80°C models available. Crosstour™ luminaires maintain greater than 90% of max. light output after 72,000 hours of operation. Three (3) ballasts, NPT breaker and electrical entry points allow for the branch wiring. Back box is an additional electrical wiring compartment. Integral LED electronics driver incorporates surge protection. 100-277V 50/60Hz or 24V 50/60 models.

**Finish**  
Crosstour is produced with a Super-Durable TFC or heavy bronze or stainless steel powder coated over paint. Super durable TFC powder coat paint finishes will provide maximum lifetime color and gloss retention of the installed fix.

**Warranty**  
5 year warranty.

**XTOR  
CROSSTOUR LED**

**APPLICATIONS:**  
WALL SURFACE  
POLE MOUNTED  
LOW VOLT  
PLUG AND GO  
OVERCAST  
SITE LIGHTING

**Cooper Lighting**  
E-256

**APP13790**  
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EWI

**Direct-View LED Traffic Controller**  
TCL714RG-225H

**PRODUCT ID**  
T383

**DIMENSIONS**  
7" H x 14" W x 2.5" D

**CONSTRUCTION**  
Cabinet: Die-cast, corrosion resistant, extruded aluminum frame, 2.1" deep  
Cabinet Finish: Duranox Bronze  
Face Material: Impact resistant, impact resistant LEXAN® bezel with Lexan® lens  
Mount: Single hook slip

**ELECTRICAL**  
UL/ULC Listed. Listed for wet locations  
Voltage: 120VAC

**MESSAGE**  
Message: Super bright, direct view LED. Message works out of view of LED Viewing Angle: 180° Angle

**NOTE:** Other colors, voltages, cabinet sizes, cabinet styles and panel finishes are available upon request.

**MESSAGE**

MESSAGE	LED COLOR	HEIGHT	AMPS
Red Indicator Dot	Red Wide Angle	4.0"	0.028
Green Indicator Dot	Green Wide Angle	4.0"	0.040

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**Signal-Tech**  
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**Product View**

**NOTE:** Sign image may not exactly represent the 5' direct product. For illustration purposes only.

**OPEN/CLOSE INDICATORS**

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