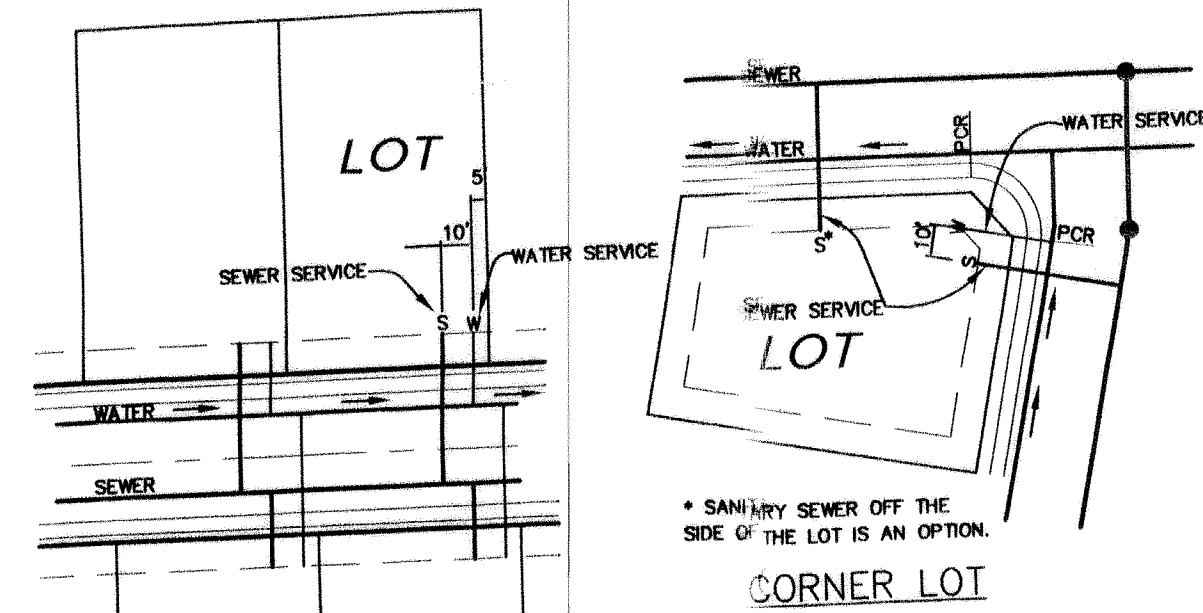


MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



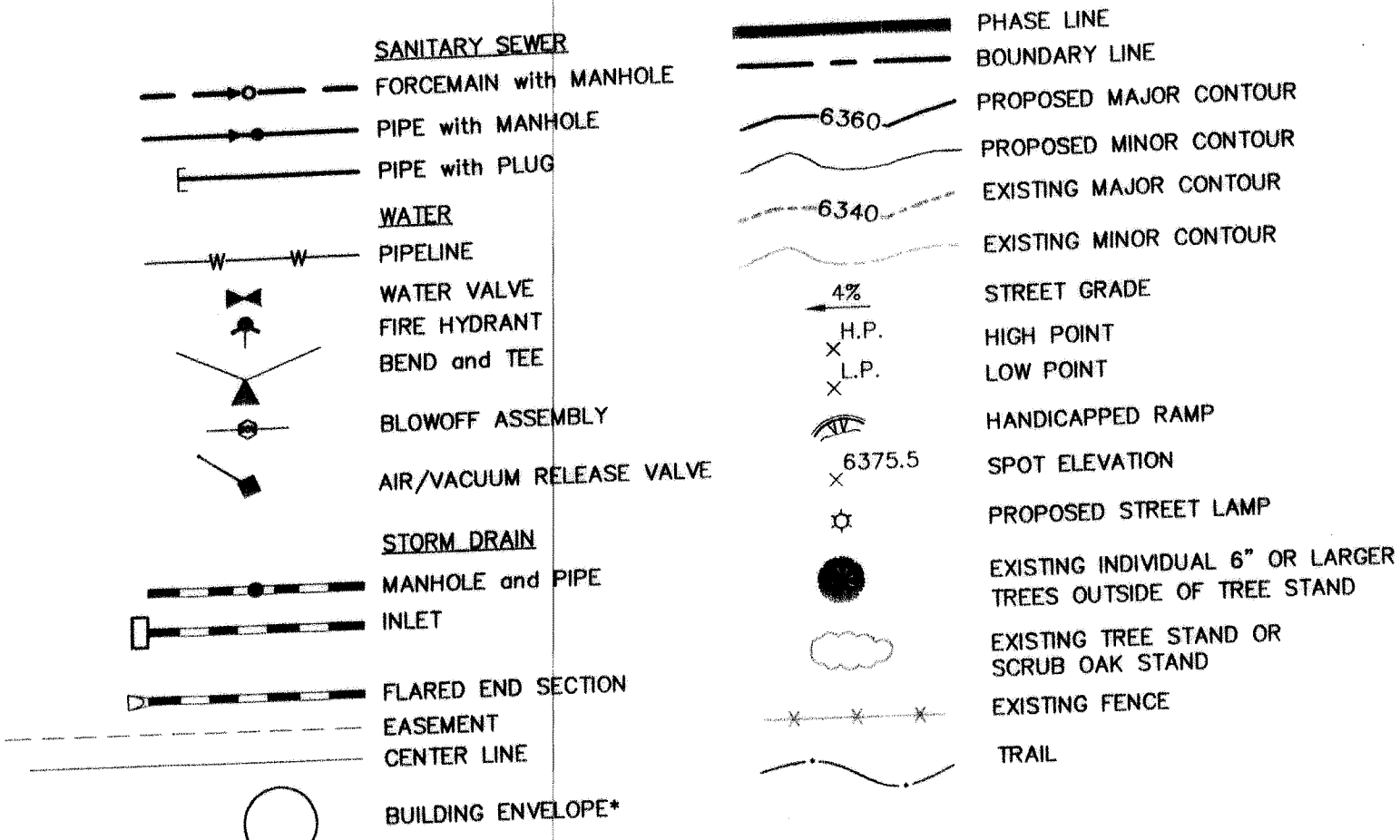
WATER & SANITARY SERVICE LOCATIONS
N.T.S.

VARIANCES:

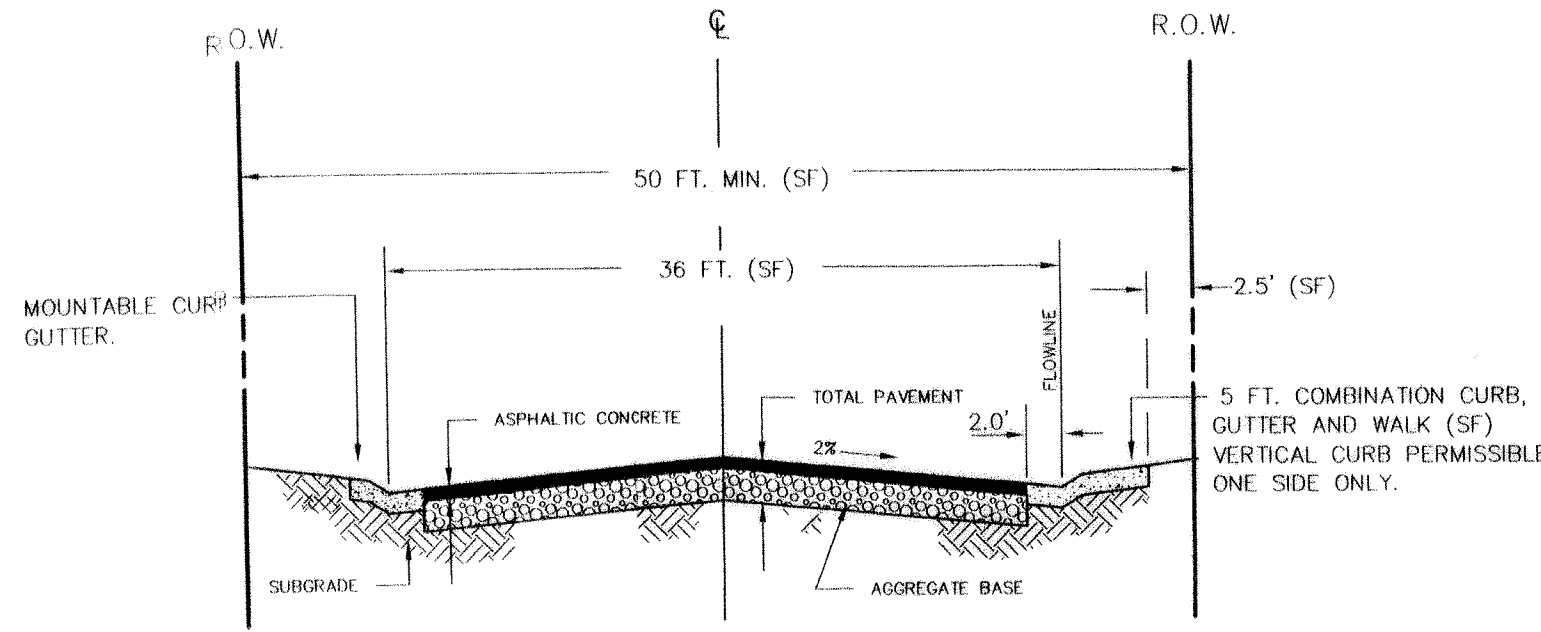
THE FOLLOWING VARIANCES HAVE BEEN APPROVED BY THE TOWN OF CASTLE ROCK ALONG WITH THE PRELIMINARY PD SITE PLAN FOR MAHER PHASE 2 WHERE THE TOWN OF CASTLE ROCK, STATE OF COLORADO, STANDARDS AND STATUTES AND THESE PLANS CONFLICT FOR WORK COVERED BY THE FOLLOWING APPROVED VARIANCES THE PLANS SHALL CONTROL.

- | | VARIANCE # |
|--|------------|
| 1) MODIFIED LOCAL II ROAD SECTION WITH SIDEWALK ON ONE SIDE OF THE ROAD. | V2000-25 |
| 2) MODIFIED LOCAL III SECTION WITH SIDEWALK ON ONE SIDE OF THE ROAD. STREET SECTION TO BE USED IN ARE WITH LOTS NEARLY ONE ACRE IN SIZE. | V2000-25 |
| 3) CLASSIFICATION OF DIAMOND RIDGE BOULEVARD (SAPPHIRE POINTE BOULEVARD) AS A MINOR COLLECTOR WITH THE REMOTE POSSIBILITY THAT A SHORT SEGMENT MAY EXCEED 7000 VEHICLES PER DAY (VPD) GUIDELINE. | V2000-66 |
| 4) REQUESTING TO HAVE A MINIMUM CURVE RADIUS LESS THAN 200 FEET ON A LOCAL ROAD. | V2001-52 |
| 5) REQUESTING TO HAVE GRINDER SANITARY SEWER PUMPS SERVICE LOTS 1-6 BLOCK 6 AND LOTS 1-3 BLOCK 16. | V2002-17 |
| 6) REQUESTING TO HAVE SANITARY SEWER DEEPER THAN 20 FEET IN DEPTH. | V2002-18 |

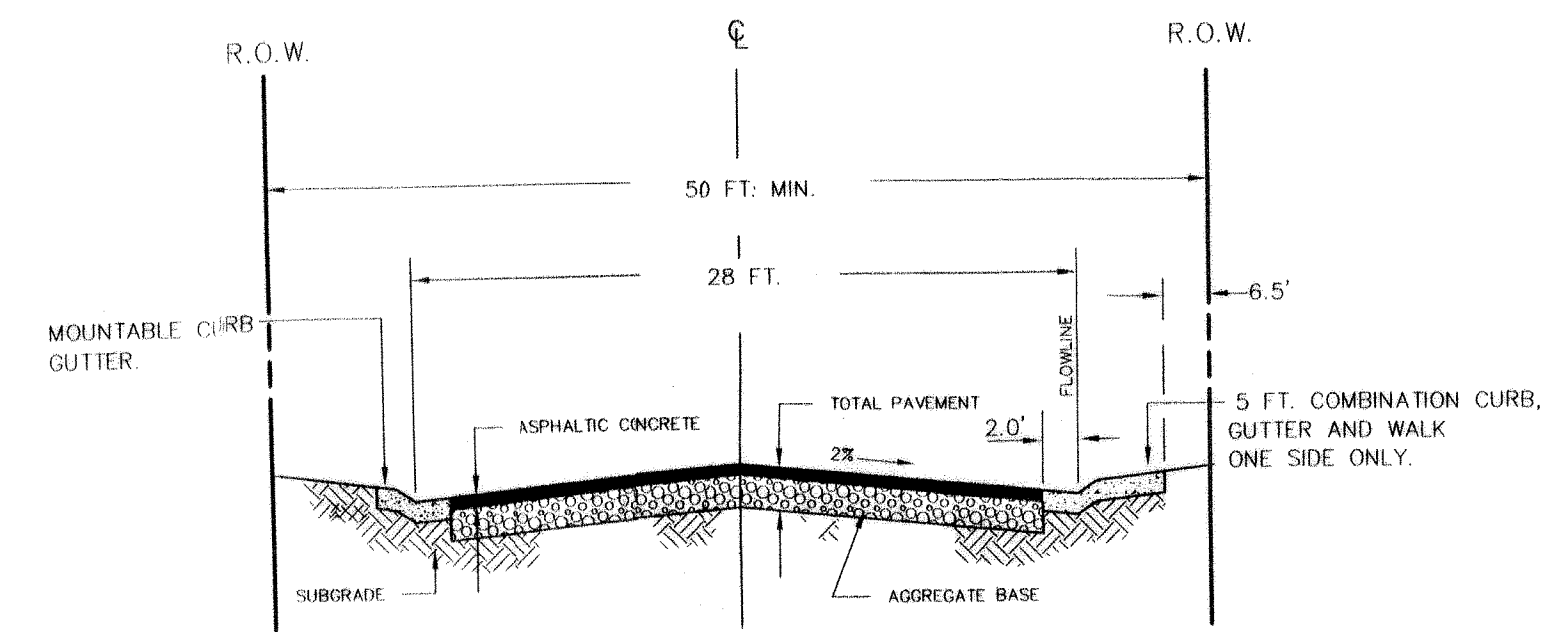
LEGEND:



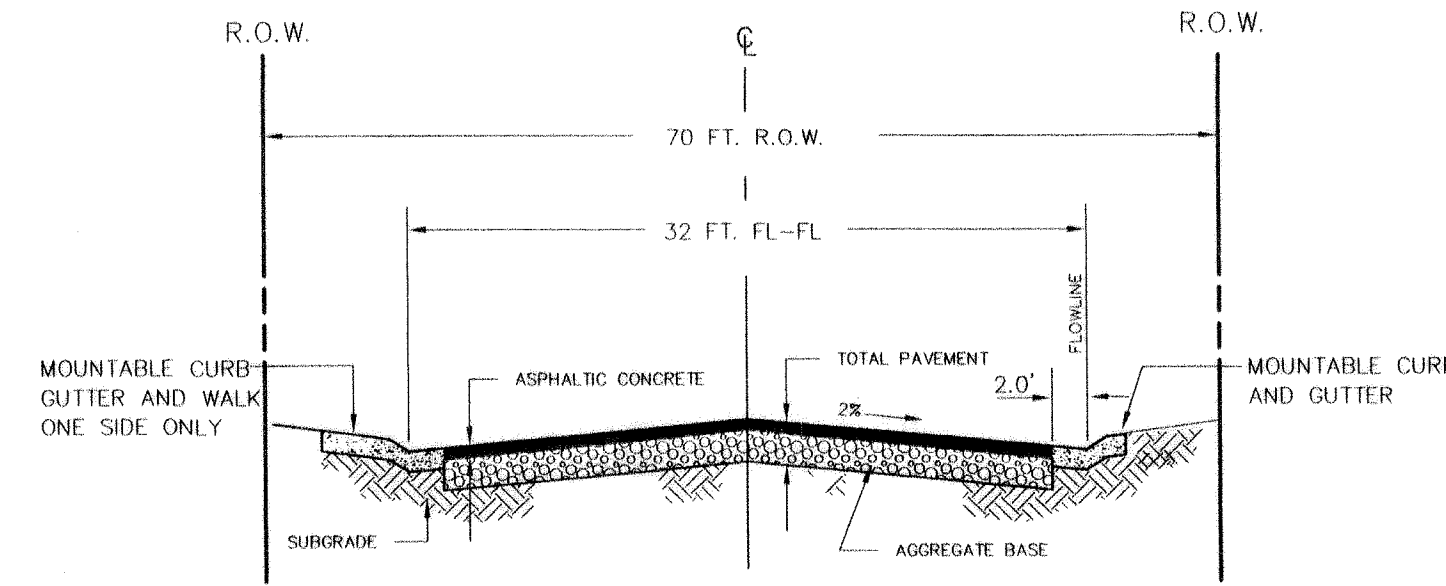
* 70% OF THE HOME MUST LIE IN THE BUILDING ENVELOPE. IF HOUSE CANNOT BE CONSTRUCTED WITHIN THE BUILDING ENVELOPE (DUE TO UNFORESEEN CONDITIONS) THE BUILDER MUST OBTAIN APPROVAL FROM HOA TO MOVE BUILDING ENVELOPE AS LONG AS IT DOES NOT ENCRoACH ON SETBACKS.



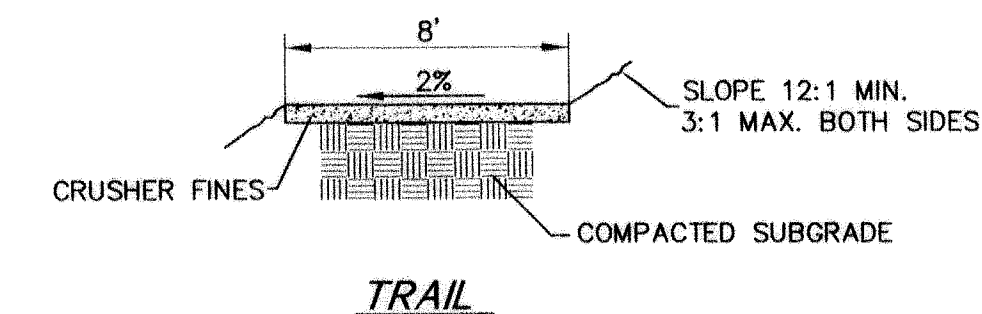
MODIFIED LOCAL II
N.T.S.



MODIFIED LOCAL III
N.T.S.

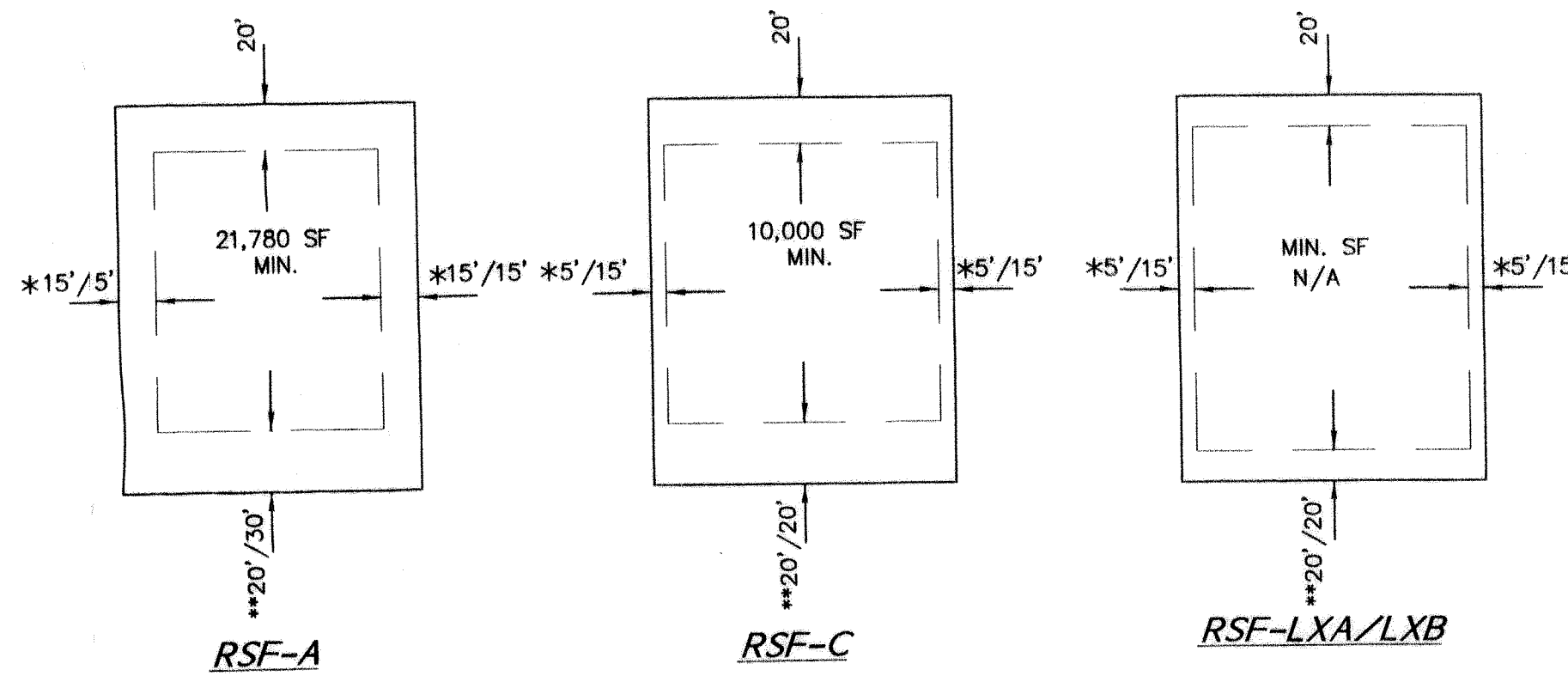


MODIFIED DIAMOND RIDGE PARKWAY
N.T.S.



TRAIL

NOTE: "NO PARKING FIRE LANE" SIGNS MUST BE POSTED BY THE DEVELOPER ON BOTH SIDES OF ACCESS ROADWAYS LESS THAN 28 FEET WIDE AND ON ONE SIDE OF ACCESS ROADWAYS 28 FEET OR GREATER BUT LESS THAN 34 FEET WIDE. PER CASTLE ROCK FIRE DEPARTMENT "NO PARKING FIRE LANE" SPECIFICATION DETAIL.



TYPICAL LOT SETBACKS
N.T.S.

DEFINITIONS:

SINGLE-FAMILY DETACHED RESIDENTIAL USE AREAS (RSF-A, RSF-C)
SINGLE FAMILY CLUSTER RESIDENTIAL (RSF-LXA & RSF-LXB)

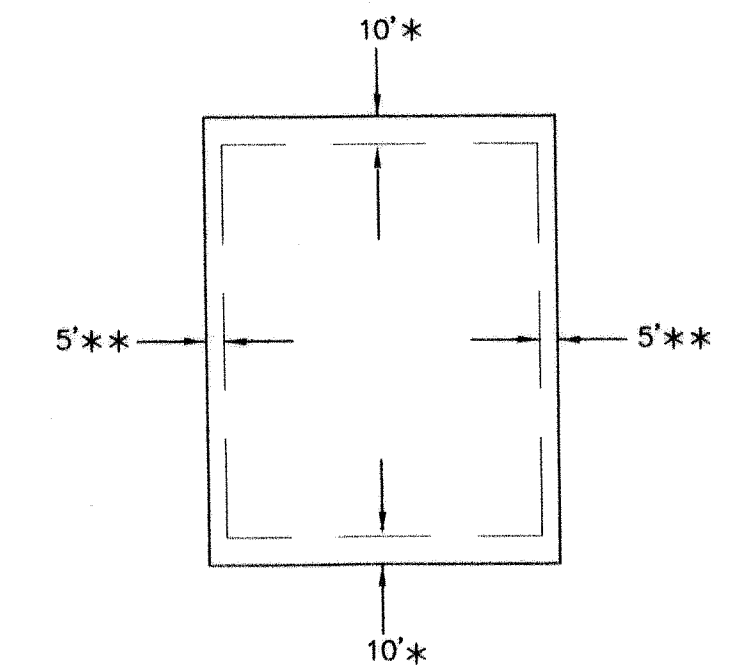
*SIDE INTERIOR/SIDE STREET
**FRONT TO LIVING AREA/FRONT TO GARAGE

TRACT SUMMARY

TRACT	AC.	LAND USE	OWNERSHIP	MAINTENANCE
TRACT A	0.478 AC.	OSP	HOA	HOA
TRACT B	0.895 AC.	OSP	HOA	HOA
TRACT C	2.361 AC.	OSP	HOA	HOA
TRACT D	0.115 AC.	POS	HOA	HOA
TRACT E	0.023 AC.	POS	HOA	HOA
TRACT F	0.070 AC.	POS	HOA	HOA
TRACT G	0.053 AC.	POS	HOA	HOA
TRACT H	0.053 AC.	POS	HOA	HOA
TRACT I	0.053 AC.	POS	HOA	HOA
TRACT J	0.250 AC.	POS	HOA	HOA
TRACT K	0.087 AC.	POS	HOA	HOA
TRACT L	0.224 AC.	POS	HOA	HOA
TRACT M	0.235 AC.	POS	HOA	HOA
TRACT N	0.237 AC.	POS	HOA	HOA
TRACT O	0.280 AC.	POS	HOA	HOA
TRACT P	0.088 AC.	POS	HOA	HOA
TRACT Q	0.377 AC.	POS	HOA	HOA
TRACT R	0.040 AC.	POS	HOA	HOA
TRACT S	0.056 AC.	POS	HOA	HOA
TRACT T	0.313 AC.	POS	HOA	HOA
TRACT U	0.082 AC.	POS	HOA	HOA
TRACT V	0.081 AC.	POS	HOA	HOA
TRACT W	4.925 AC.	OSP	HOA	HOA
TRACT X	0.478 AC.	POS	HOA	HOA
TRACT Y	0.196 AC.	POS	HOA	HOA
TRACT Z	0.536 AC.	OSP	HOA	HOA
TRACT AA	3.533 AC.	OSP	HOA	HOA
TRACT BB	0.723 AC.	OSP	HOA	HOA
TRACT CC	0.110 AC.	POS	HOA	HOA
TRACT DD	0.679 AC.	OSP	HOA	HOA
TRACT EE	0.113 AC.	OSP	HOA	HOA
TRACT FF	0.101 AC.	POS	HOA	HOA
TRACT GG	0.040 AC.	POS	HOA	HOA
TRACT HH	0.041 AC.	POS	HOA	HOA
TRACT II	0.279 AC.	OSP	HOA	HOA
TRACT JJ	0.217 AC.	POS	HOA	HOA
TRACT KK	0.347 AC.	POS	HOA	HOA
TRACT LL	19.597 AC.	OSP	HOA	HOA
TRACT MM	0.216 AC.	POS	HOA	HOA
TRACT NN	0.414 AC.	POS	HOA	HOA
TRACT OO	0.212 AC.	POS	HOA	HOA
TRACT PP	0.120 AC.	POS	HOA	HOA
TRACT QQ	0.083 AC.	POS	HOA	HOA
TRACT RR	0.324 AC.	OSP	HOA	HOA
TRACT SS	0.314 AC.	POS	HOA	HOA
TRACT TT	0.317 AC.	POS	HOA	HOA
TRACT UU	0.029 AC.	POS	HOA	HOA
TRACT VV	0.048 AC.	POS	HOA	HOA
TRACT WW	0.316 AC.	POS	HOA	HOA
TRACT XX	0.051 AC.	POS	HOA	HOA
TRACT YY	0.266 AC.	POS	HOA	HOA
TRACT ZZ	0.556 AC.	OSP	HOA	HOA
TRACT AAA	0.147 AC.	EA	PRIVATE	PRIVATE
TRACT BBB	0.892 AC.	OSP	HOA	HOA
TRACT CCC	0.145 AC.	POS	HOA	HOA
TRACT DDD	0.046 AC.	POS	HOA	HOA
TRACT EEE	0.029 AC.	POS	HOA	HOA
TRACT FFF	0.318 AC.	OSP	HOA	HOA
TRACT GGG	0.055 AC.	POS	HOA	HOA
TRACT HHH	1.005 AC.	POS	HOA	HOA
TRACT III	0.115 AC.	POS	HOA	HOA
TRACT JJJ	0.079 AC.	POS	HOA	HOA
TRACT KKK	0.070 AC.	POS	HOA	HOA
TRACT LLL	0.077 AC.	POS	HOA	HOA

DEFINITIONS:

OPEN SPACE PRIVATE (OSP)
PRIVATE OPEN SPACE (POS)
HOME OWNERS ASSOCIATION (HOA)
EMERGENCY ACCESS (EA)



TYPICAL DRY UTILITY EASEMENTS
N.T.S.

*FRONT/BACK/STREET FRONTING SIDE
**NON-STREET FRONTING SIDE

DATE	TIME	NO.	BY	DATE	REVISIONS
02/12/03	2:50 p.m.	1	GTI	12/2001	TOWN COMMENTS 07/31/01
		2	ERN	5/2002	TOWN COMMENTS 04/01/02
		3	ERN	10/2002	TOWN COMMENTS 09/25/02
		4	ERN	12/2002	TOWN COMMENTS 12/06/02
		5	GTI	2/2003	TOWN COMMENTS 2/3/2003

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MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL PD SITE PLAN
LEGEND AND TYPICAL SECTIONS

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

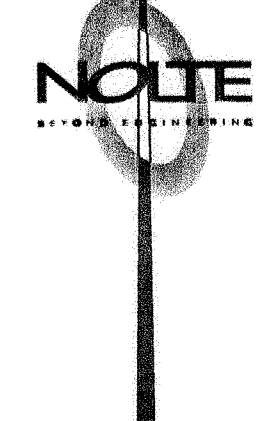
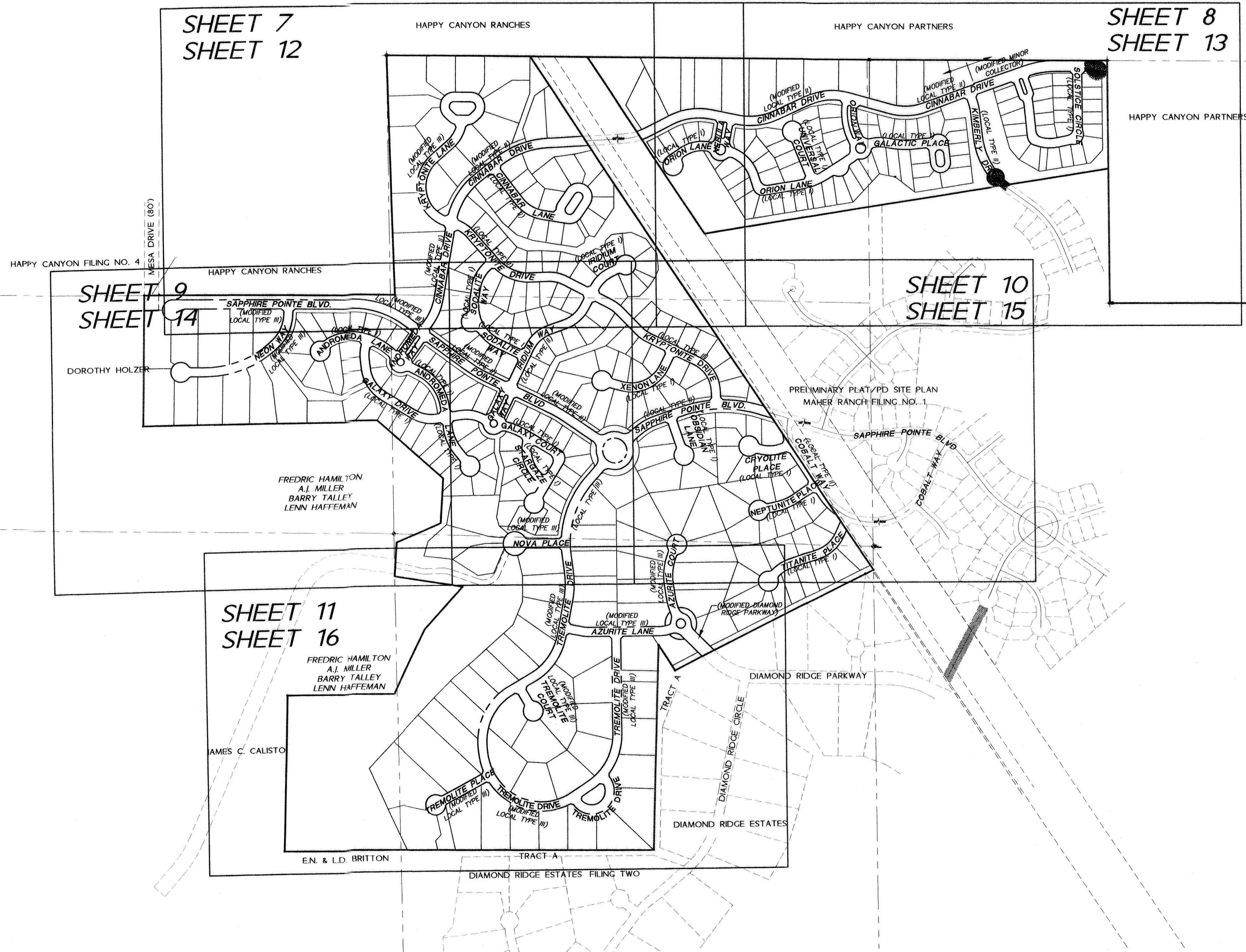
SHEET NUMBER	2
OF 35 SHEETS	
SCALE	N/A
VERTICAL	1" = N/A
HORIZONTAL	1" = N/A
JOB NUMBER	DV1263

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



NO.	BY	DATE	REVISIONS:
1	GIT	12/2001	TOWN COMMENTS: 07/31/01
2	ERM	5/2002	TOWN COMMENTS: 04/01/02
3	ERM	10/2002	TOWN COMMENTS: 09/25/02
4	ERM	12/2002	TOWN COMMENTS: 12/06/02
5	GIT	2/2003	TOWN COMMENTS: 2/3/2003

DATE: 02/12/03 TIME: 2:52 p.m.
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 PATH: N:\DV1263\CADD\PP-FPSP\
 DRAWING NAME: PP2MAHS04.DWG
 PLOTTING VIEW: NONE
 DESIGNER: MHG PROJ. MGR: MHG

NOLTE
 BEYOND ENGINEERING
 7000 S. YOSEMITE ST., SUITE 200 ENGLEWOOD, CO. 80112
 303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
 PRELIMINARY PLAT / FINAL P.D. SITE PLAN
 OVERALL AND SHEET INDEX MAP

SHEET NUMBER	4
OF 35 SHEETS	
SCALE	
VERTICAL: 1" = N/A	
HORIZONTAL: 1" = N/A	
FOR NUMBER	DV1263

PREPARED FOR: DIAMOND RIDGE L.L.C. DATE SUBMITTED: 11/00

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

PHASE 1 REQUIRED IMPROVEMENTS

ROADS

- A. SAPPHIRE POINTE BLVD. FROM BAGUETTE DR. TO MESA DR.
- B. DIAMOND RIDGE PKWY FROM AZURITE LN. TO PROJECT BOUNDARY.
- C. LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF PHASE.

WATER

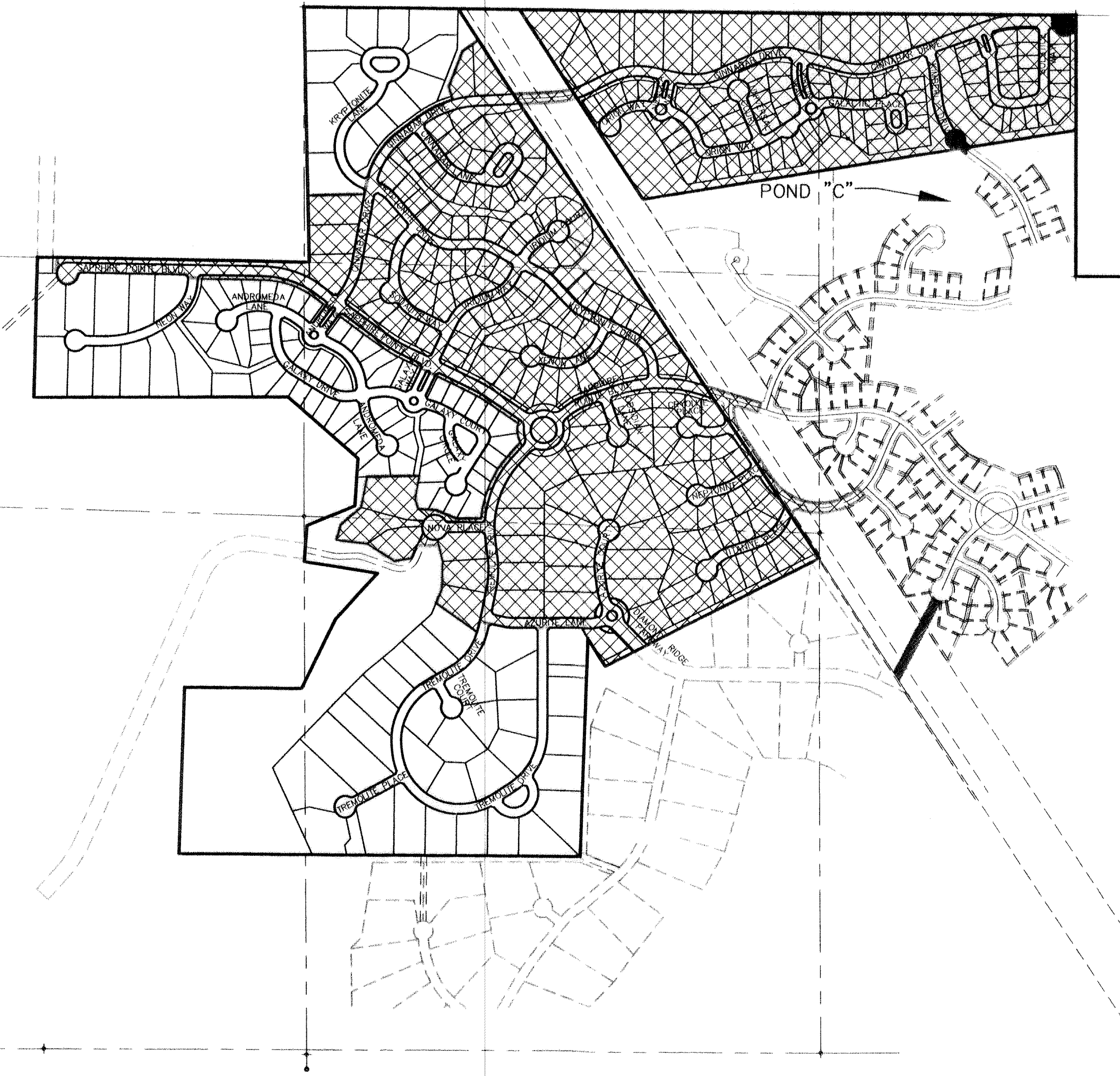
- WATER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

SANITARY SEWER

- A. CONSTRUCT SEWER MAIN FROM IRIDIUM CT. TO EXISTING SEWER MAIN IN FILING NO. 1.
- B. SANITARY SEWER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

DRAINAGE

- A. NATURAL CHANNEL IMPROVEMENTS TO POND "C" IN FILING No.1.
- B. STORM SEWER INFRASTRUCTURE ASSOCIATED WITH PHASE.



PHASE 2 REQUIRED IMPROVEMENTS

ROADS

- A. AND B. SAME AS PHASE 1.
- C. LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF PHASE.

WATER

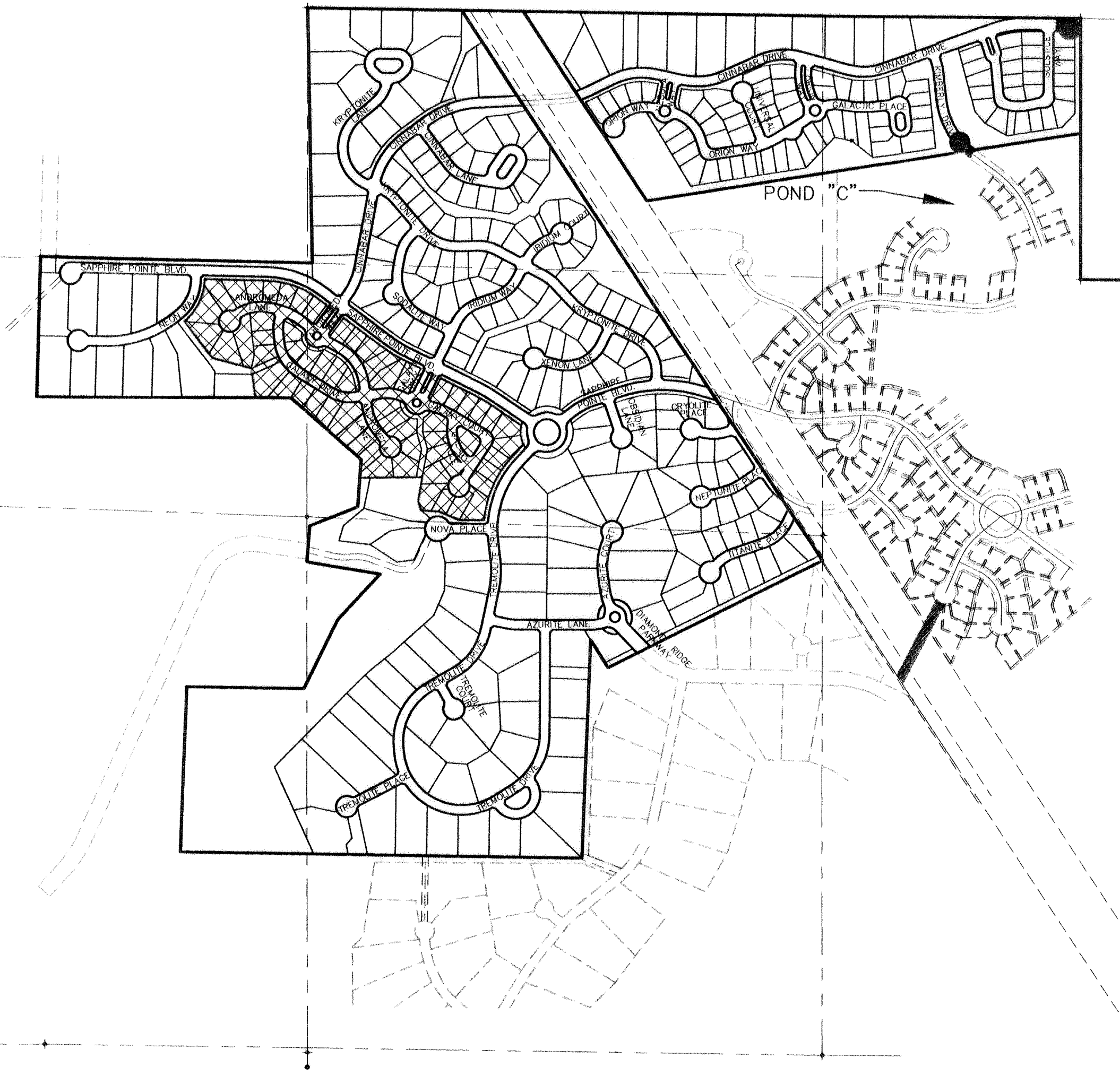
- WATER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

SANITARY SEWER

- A. CONSTRUCT SEWER MAIN FROM IRIDIUM WAY TO IRIDIUM CT.
- B. CONSTRUCT SEWER MAIN FROM IRIDIUM CT. TO EXISTING SEWER MAIN IN FILING No. 1.
- C. SANITARY SEWER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

DRAINAGE

- STORM SEWER INFRASTRUCTURE ASSOCIATED WITH PHASE.



PHASE 3 REQUIRED IMPROVEMENTS

ROADS

- A. AND B. SAME AS PHASE 1.
- B. KIMBERLY DR. FROM CINNABAR DR. TO TEMPORARY TURNAROUND IN FILING NO. 1.
- E. LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF PHASE.

WATER

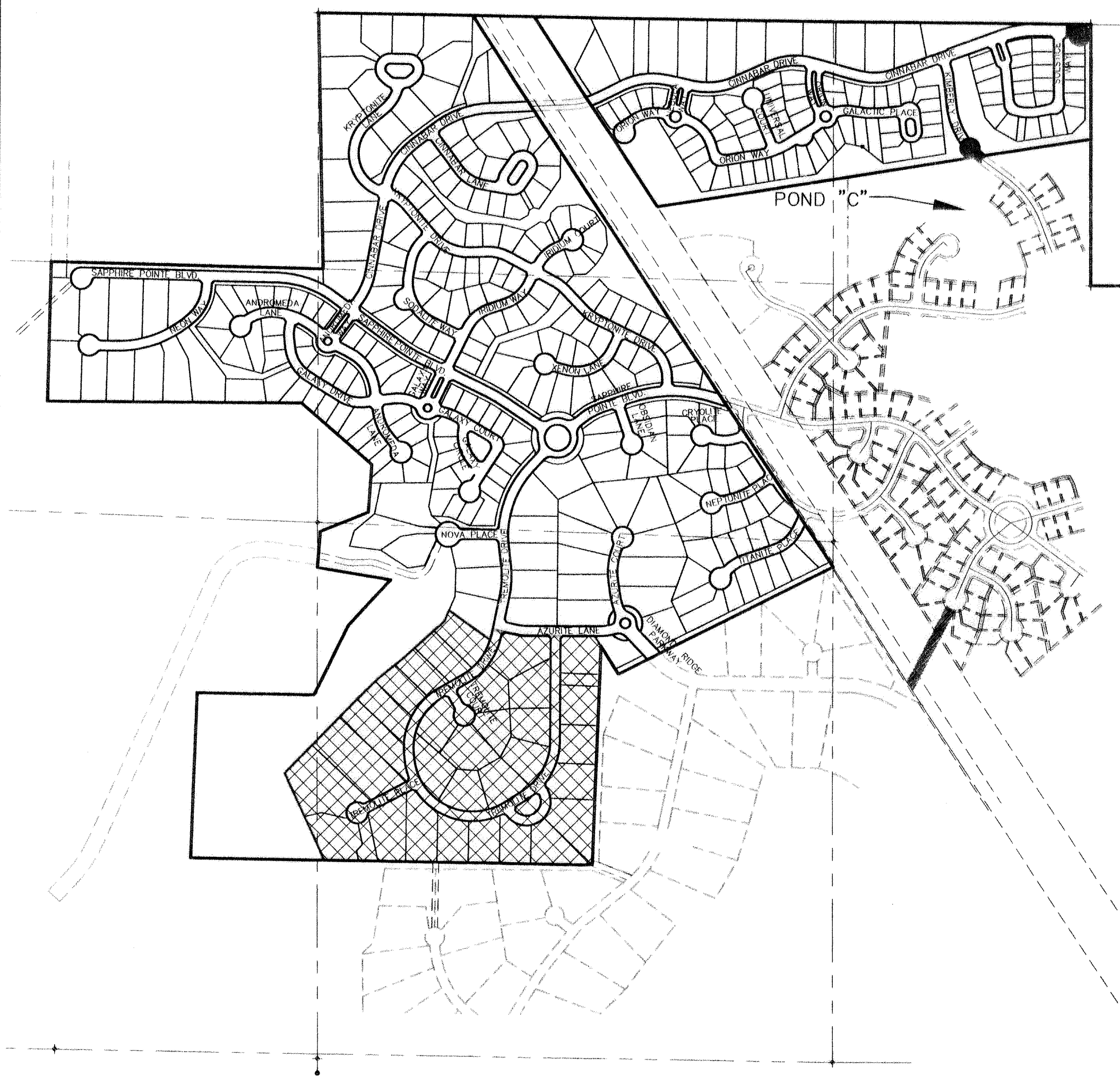
- WATER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

SANITARY SEWER

- A. SANITARY SEWER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

DRAINAGE

- STORM SEWER INFRASTRUCTURE ASSOCIATED WITH PHASE.



REGIONAL IMPROVEMENTS NOTES:

THE FOLLOWING IMPROVEMENTS ARE REQUIRED OF THE FIRST RECORDED PLAT.

- 1) ALL OF FILING No. 1 REGIONAL IMPROVEMENTS COMPLETED.
- 2) LIFT STATION SHALL BE MODIFIED FOR THE ADDITION OF FILING No. 2.

DATE:	NO.	BY	DATE	REVISIONS:
02/12/03 TIME: 2:53 p.m.	1	GTI	12/2001	TOWN COMMENTS 07/31/01
SERVER: NONE SERVICE: NONE	2	ERM	5/2002	TOWN COMMENTS 04/01/02
PATH: N:\DV1263\CADD\PP-FPSP\	3	ERM	10/2002	TOWN COMMENTS 09/25/02
DRAWING NAME: PP2MAHS05.DWG	4	ERM	12/2002	TOWN COMMENTS 12/06/02
PLOTTING VIEW: NONE	5	GTI	2/2003	TOWN COMMENTS 2/3/2003

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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MAHER RANCH FILING NO. 2

PRELIMINARY PLAT / FINAL P.D. SITE PLAN

PHASING PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

SHEET NUMBER
5
OF 35 SHEETS
VERTICAL SCALE: N/A
HORIZONTAL SCALE: N/A
JOB NUMBER
DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

PHASE 4 REQUIRED IMPROVEMENTS

ROADS

A. AND B. SAME AS PHASE 1.
C. LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF PHASE.

WATER

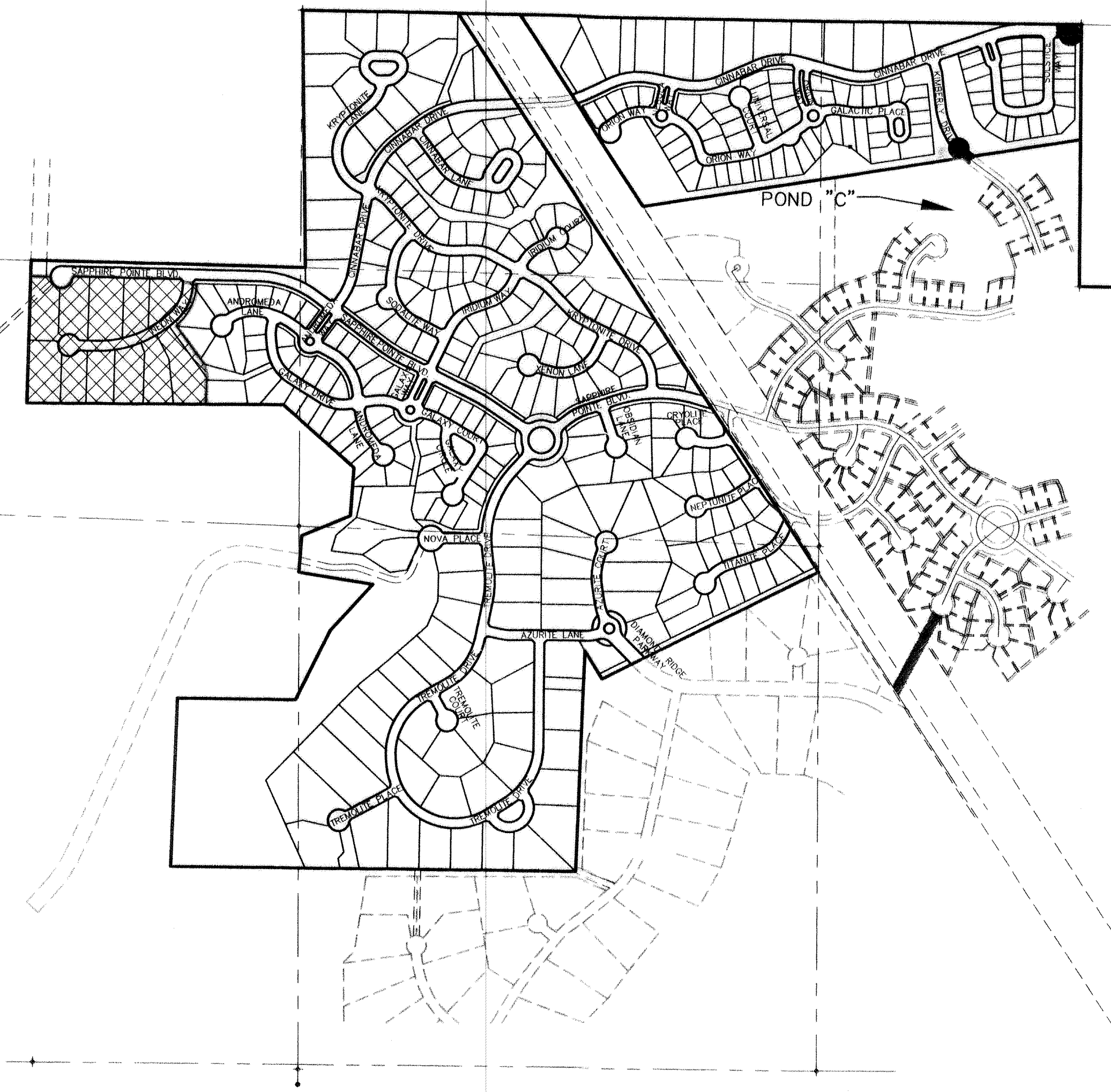
WATER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

SANITARY SEWER

A. SANITARY SEWER MAIN FROM BLOCK 6, LOT 6 TO GALAXY DRIVE THROUGH TRACT HHH.
B. CONSTRUCT SEWER MAIN ALONG GALAXY DRIVE TO GALAXY WAY.
C. CONSTRUCT SEWER MAIN ALONG GALAXY WAY TO IRIIDIUM WAY.
D. CONSTRUCT SEWER MAIN FROM IRIIDIUM WAY TO IRIIDIUM CT.
E. CONSTRUCT SEWER MAIN FROM IRIIDIUM CT. TO EXISTING SEWER MAIN IN FILING No. 1.
F. SANITARY SEWER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

DRAINAGE

STORM SEWER INFRASTRUCTURE ASSOCIATED WITH PHASE.



PHASE 5 REQUIRED IMPROVEMENTS

ROADS

A. AND B. SAME AS PHASE 1.
C. LOCAL ROAD IMPROVEMENTS ASSOCIATED WITH DEVELOPMENT OF PHASE.

WATER

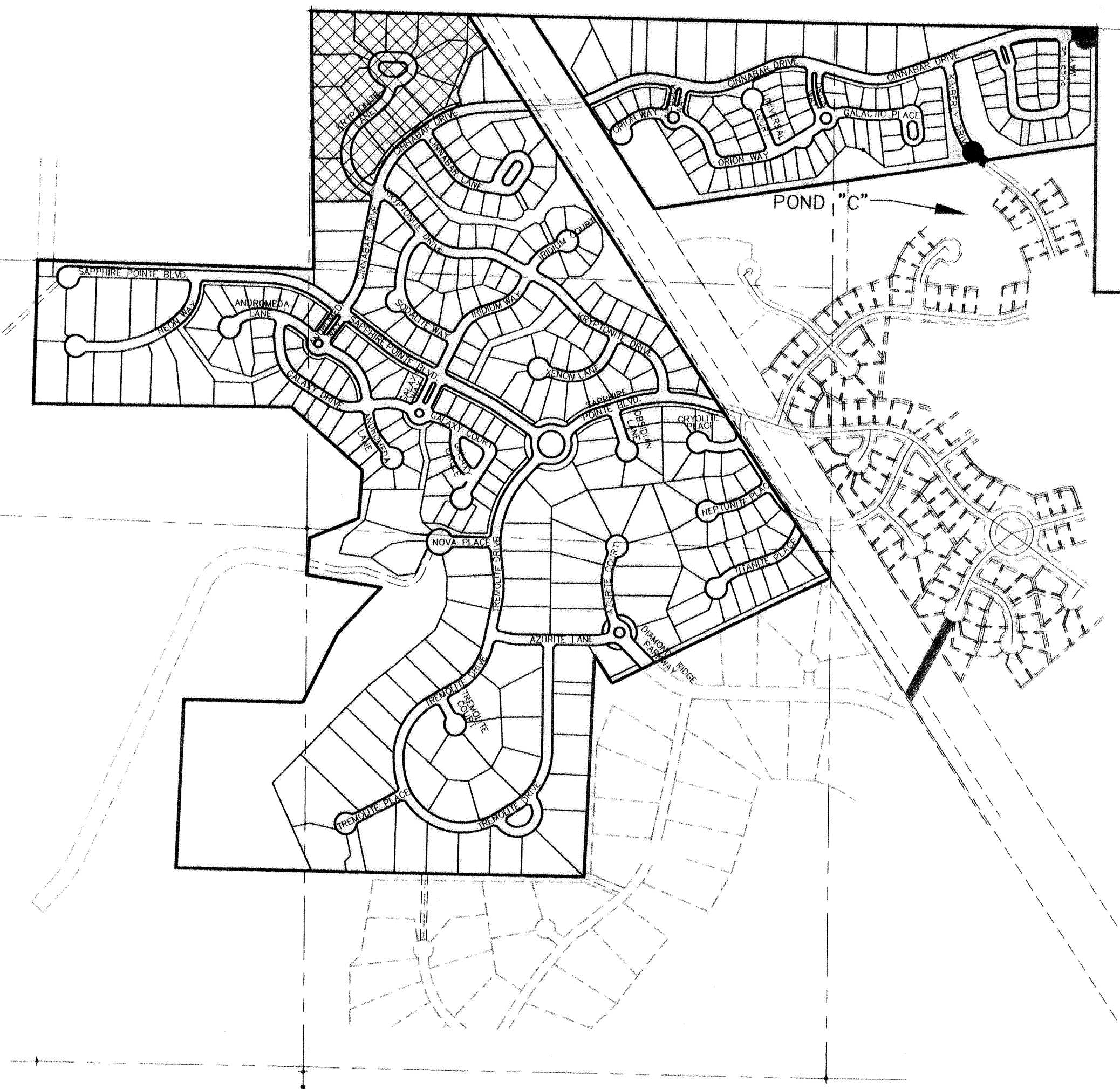
WATER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

SANITARY SEWER

A. CONSTRUCT SEWER MAIN FROM KRYPTONITE DRIVE TO IRIIDIUM CT.
B. CONSTRUCT SEWER MAIN FROM IRIIDIUM CT. TO EXISTING SEWER MAIN IN FILING No. 1.
C. SANITARY SEWER INFRASTRUCTURE ASSOCIATED WITH DEVELOPMENT OF PHASE.

DRAINAGE

STORM SEWER INFRASTRUCTURE ASSOCIATED WITH PHASE.



DATE: 02/12/03	TIME: 2:53 p.m.	NO.	BY	DATE	REVISIONS:
SERVICES: NONE	SERVICE: NONE	1	GTI	12/2001	TOWN COMMENTS 07/31/01
PATH: N:\DV1263\CADD\PP-FPSP\		2	ERM	5/2002	TOWN COMMENTS 04/01/02
DRAWING NAME: PP2MAHS05.DWG		3	ERM	10/2002	TOWN COMMENTS 09/25/02
PLOTTING VIEW: NONE		4	ERM	12/2002	TOWN COMMENTS 12/06/02
DESIGNER: MHG	PROJ. MGR: MHG	5	GTI	2/2003	TOWN COMMENTS 2/3/2003

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MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
PHASING PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

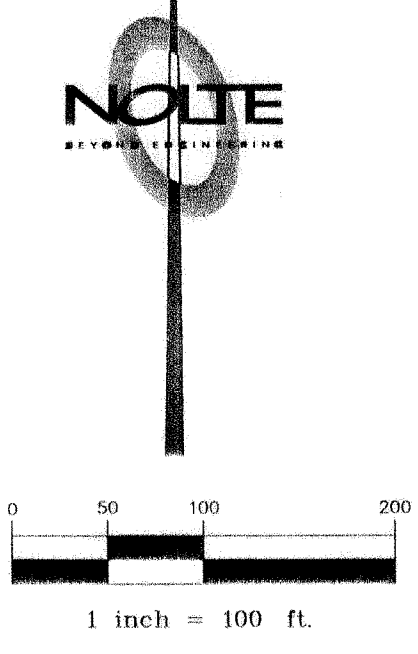
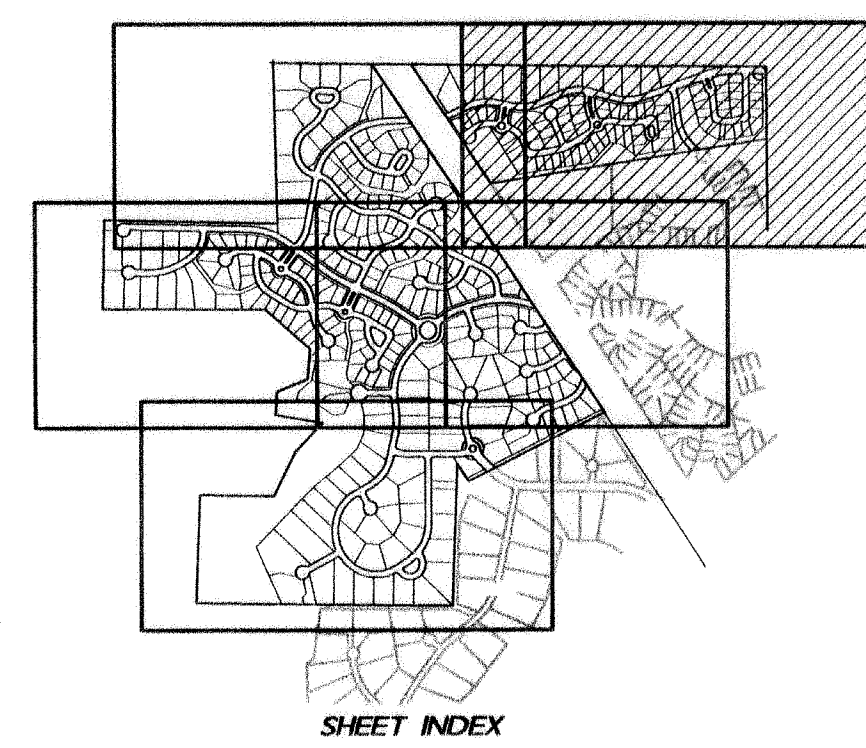
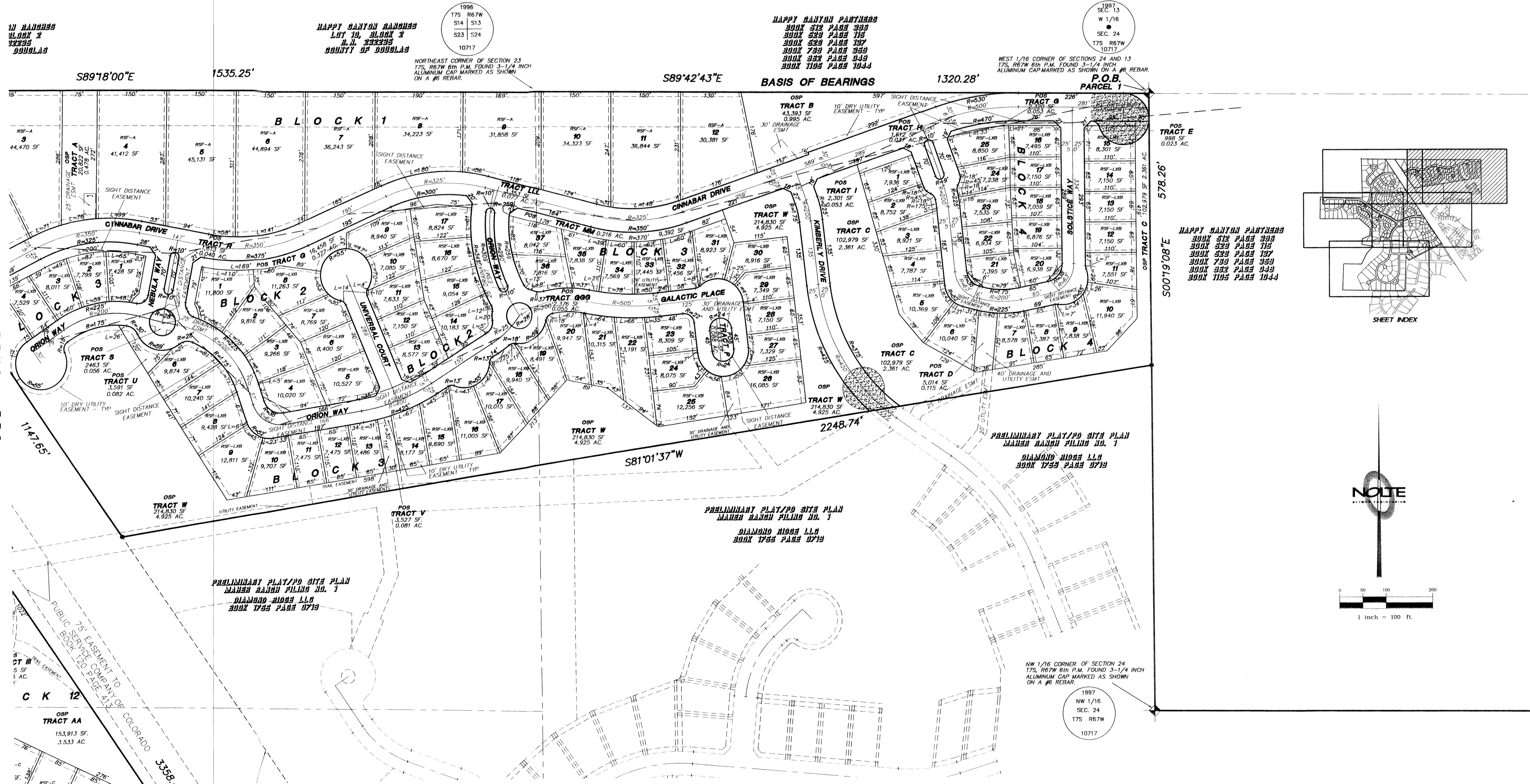
DATE SUBMITTED: 11/00

SHEET NUMBER
6
OF 35 SHEETS
SCALE
VERTICAL: T= N/A
HORIZONTAL: T= N/A
JOB NUMBER
DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



IN RANGES
BOOK 2
22335
DOUGLAS

HAPPY BANYON RANGES
LOT 10, BLOCK 3
S.N. 222235
COUNTY OF DOUGLAS

HAPPY BANYON PARTNERS
BOOK 312 PAGE 393
BOOK 323 PAGE 115
BOOK 329 PAGE 137
BOOK 739 PAGE 399
BOOK 932 PAGE 049
BOOK 1105 PAGE 1044

HAPPY BANYON PARTNERS
BOOK 312 PAGE 393
BOOK 323 PAGE 115
BOOK 329 PAGE 137
BOOK 739 PAGE 399
BOOK 932 PAGE 049
BOOK 1105 PAGE 1044

PRELIMINARY PLAT/PD SITE PLAN
MAHER RANCH FILING NO. 1
DIAMOND RIDGE LLC
BOOK 1755 PAGE 0719

PRELIMINARY PLAT/PD SITE PLAN
MAHER RANCH FILING NO. 1
DIAMOND RIDGE LLC
BOOK 1755 PAGE 0719

PRELIMINARY PLAT/PD SITE PLAN
MAHER RANCH FILING NO. 1
DIAMOND RIDGE LLC
BOOK 1755 PAGE 0719

DATE: 02/12/03 TIME: 12:05 p.m.
SERVER: NONE SERVICE: NONE
PATH: N:\D\1263\CADD\PP-FPSP\
DRAWING NAME: PP2MAHS07.DWG
PLOTING VIEW: NONE
DESIGNER: MHC PROJ. MGR: MHC

NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

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BEYOND ENGINEERING
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303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
SITE PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

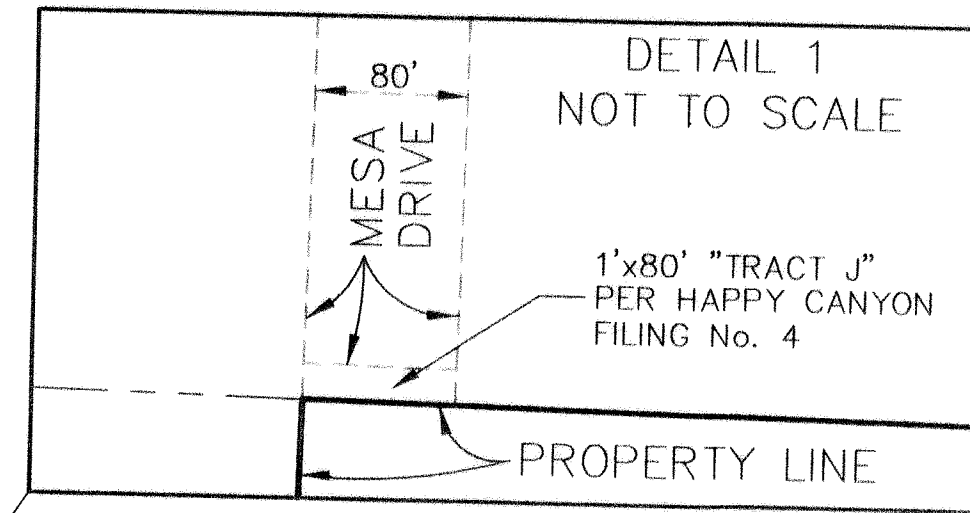
DATE SUBMITTED: 11/00

SHEET NUMBER	8
OF 35 SHEETS	
SCALE	1" = N/A
VERTICAL	1" = 10'
HORIZONTAL	1" = 100'
JOB NUMBER	DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



HAPPY CANYON FILING NO. 4
S.M. 11/23/11
COUNTY OF DOUGLAS

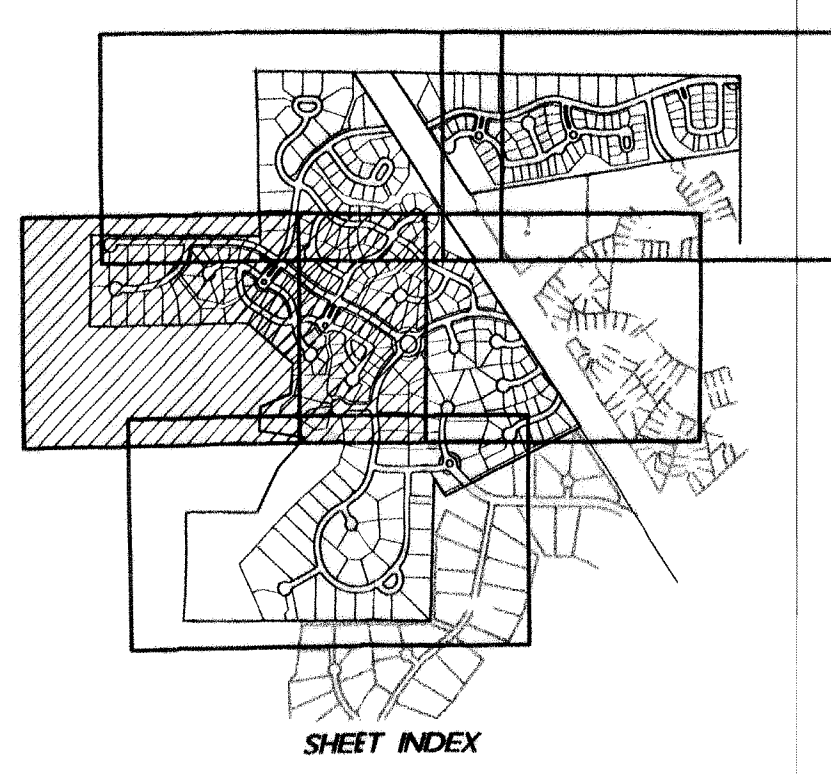
HAPPY CANYON RANCHES
LOT 13 BLOCK 2
S.M. 3/23/13
COUNTY OF DOUGLAS

DOUGLASS JUL 23 3 00 PM 1933
BOOK 1133 PAGE 0793
COUNTY OF DOUGLAS

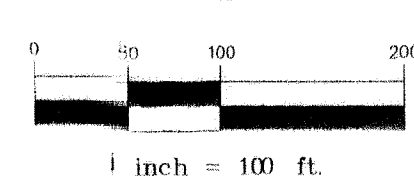
FREDDIE HAMILTON
A.J. MILLER
BARRY TALLEY
LENN HAPPEMAN
BOOK 1497 PAGE 1950
BOOK 1497 PAGE 1952

FREDDIE HAMILTON
A.J. MILLER
BARRY TALLEY
LENN HAPPEMAN
BOOK 1497 PAGE 1950
BOOK 1497 PAGE 1952

CENTER 1/4 COR SEC 23 T2S R67W 6th P.M.
FOUND #4 REBAR WITH WASHER MARKED "LS 2692"
PER MON RECORD BY D.E. ARCHER LS 6935 DATED: 11/13/69.



NOTE



NO.	BY	DATE	REVISIONS
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 09/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/4/2003

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
SITE PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

SHEET NUMBER
9
OF 35 SHEETS
SCALE
VERTICAL: 1" = 40'
HORIZONTAL: 1" = 100'
JOB NUMBER
DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SEE SHEET 7

SEE SHEET 8



NO.	BY	DATE	REVISIONS
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:06 p.m.
 SERVER: NONE SERVICE: NONE
 PATH: N:\D\1263\CADD\PP-FPSP
 DRAWING NAME: PPM2MHS09.DWG
 PLOTTING VIEW: NONE
 DESIGNER: MHG PROJ. MGR: MHG

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MAHER RANCH FILING NO. 2
 PRELIMINARY PLAT / FINAL P.D. SITE PLAN
 SITE PLAN

SHEET NUMBER	10
OF	35 SHEETS
VERTICAL SCALE	1" = 10'
HORIZONTAL SCALE	1" = 100'
JOB NUMBER	DV1263

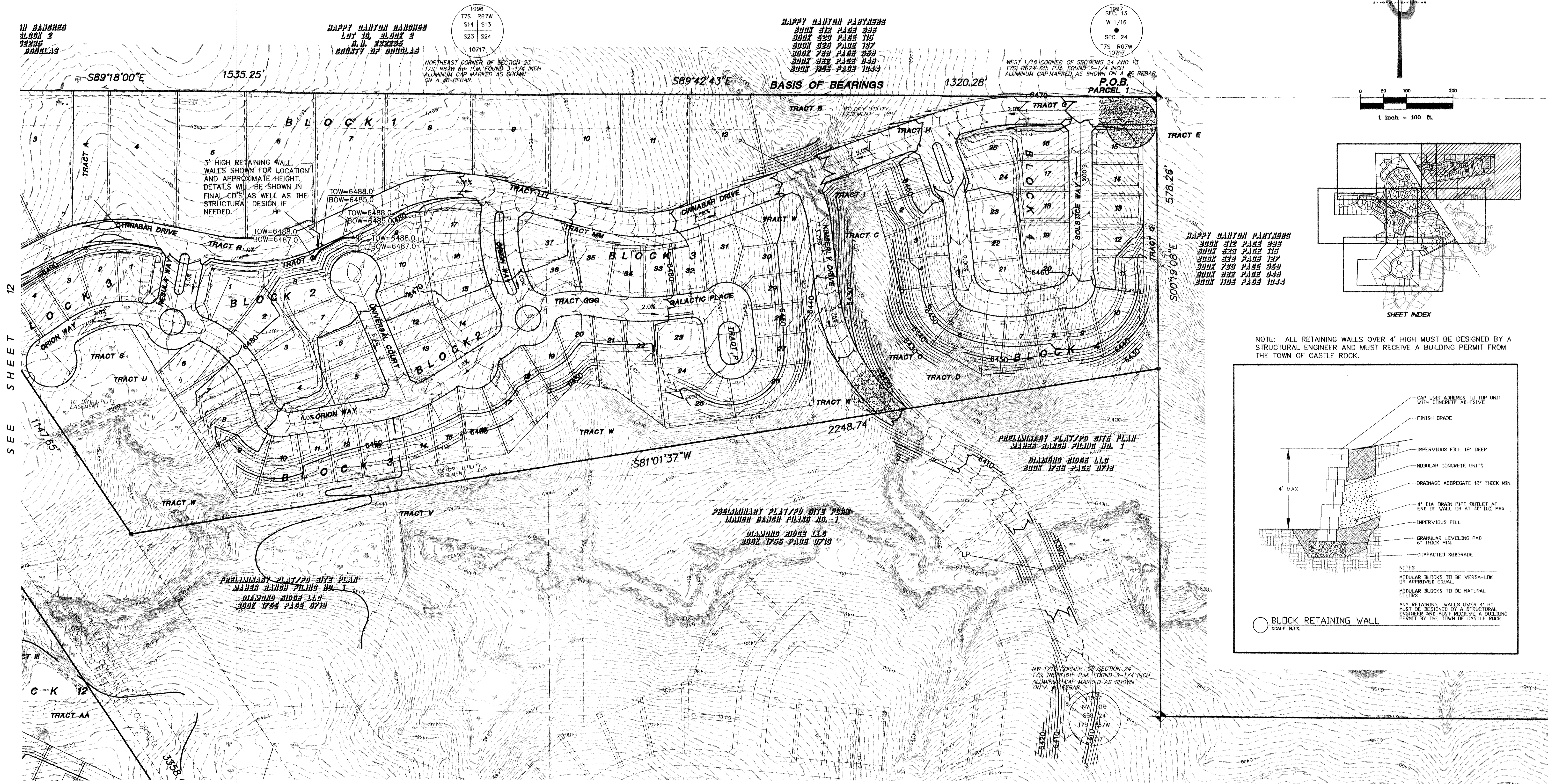
CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

PREPARED FOR: DIAMOND RIDGE L.L.C. DATE SUBMITTED: 11/00

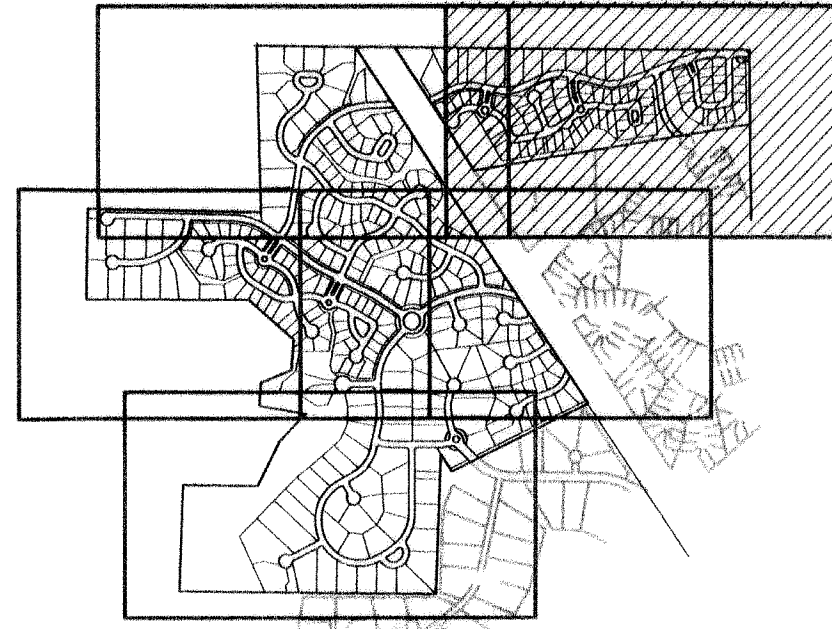
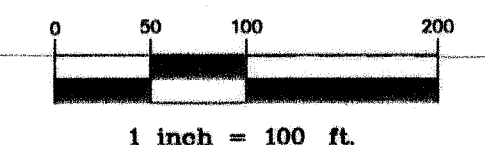
MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

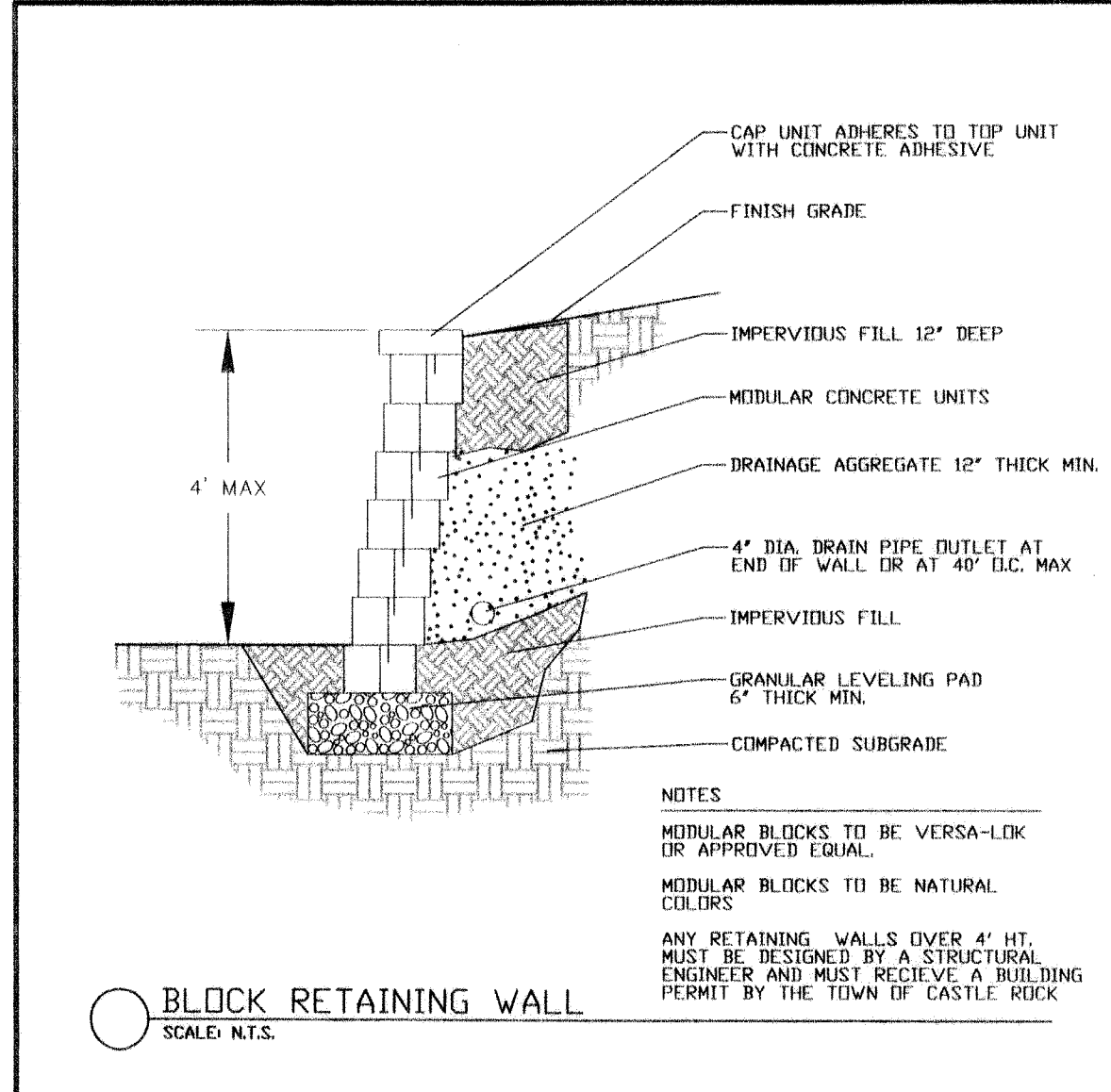
THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



NOTE



NOTE: ALL RETAINING WALLS OVER 4' HIGH MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.



NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:08 p.m.
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 PATH: N:\DV1263\CADD\PP-FPSP\1
 DRAWING NAME: PP2MAHS12.DWG
 PLOTTING VIEW: NONE
 DESIGNER: MHG_PROJ MGR: MHG

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 303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
 PRELIMINARY PLAT / FINAL P.D. SITE PLAN
 GRADING PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C. DATE SUBMITTED: 11/00

SHEET NUMBER
13
 OF 35 SHEETS
 VERTICAL SCALE: 1" = 4' N/A
 HORIZONTAL SCALE: 1" = 100'
 JOB NUMBER: DV1263

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

MAHER RANCH FILING NO. 2

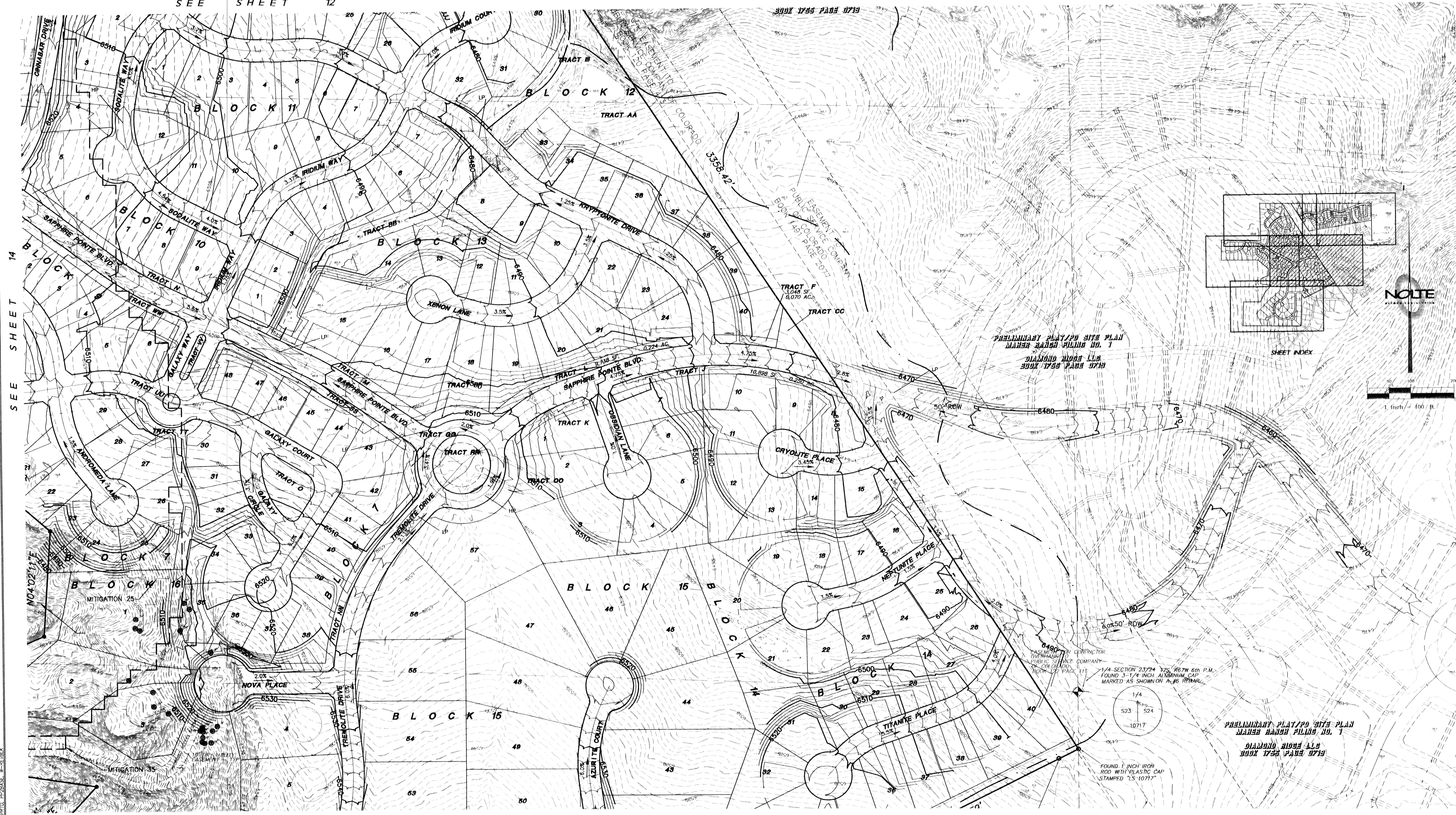
PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

NOTE: ALL RETAINING WALLS OVER 4' HIGH MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.

SEE SHEET 12

SEE SHEET 14



SEE SHEET 14

SEE SHEET 16

NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:15 p.m.
 SERVER: NONE SERVICE: NONE
 PATH: N:\DVI\263\CADD\PP-FPSP\1
 DRAWING NAME: PP2MAHSH14.DWG
 PLOTTING VIEW: NONE
 DESIGNER: MHG PROJ. MGR: MHG

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MAHER RANCH FILING NO. 2
 PRELIMINARY PLAT / FINAL P.D. SITE PLAN
 GRADING PLAN

SHEET NUMBER	15
OF	35 SHEETS
SCALE	T= N/A
HORIZONTAL:	1" = 100'
VERTICAL:	1" = 100'
JOB NUMBER	DV1263

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

MAHER RANCH FILING NO. 2

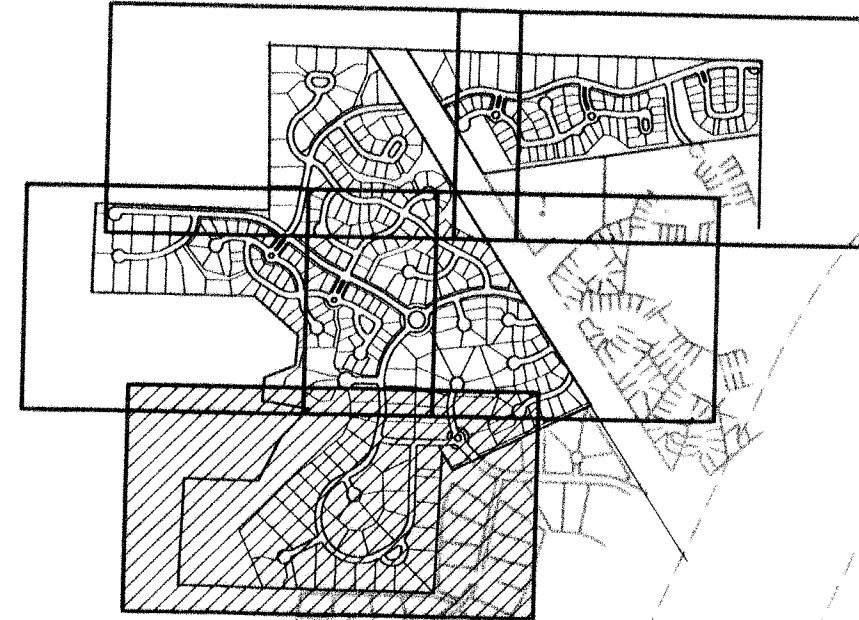
PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SEE SHEET 13

SEE SHEET 15

NOTE: ALL RETAINING WALLS OVER 4' HIGH MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.

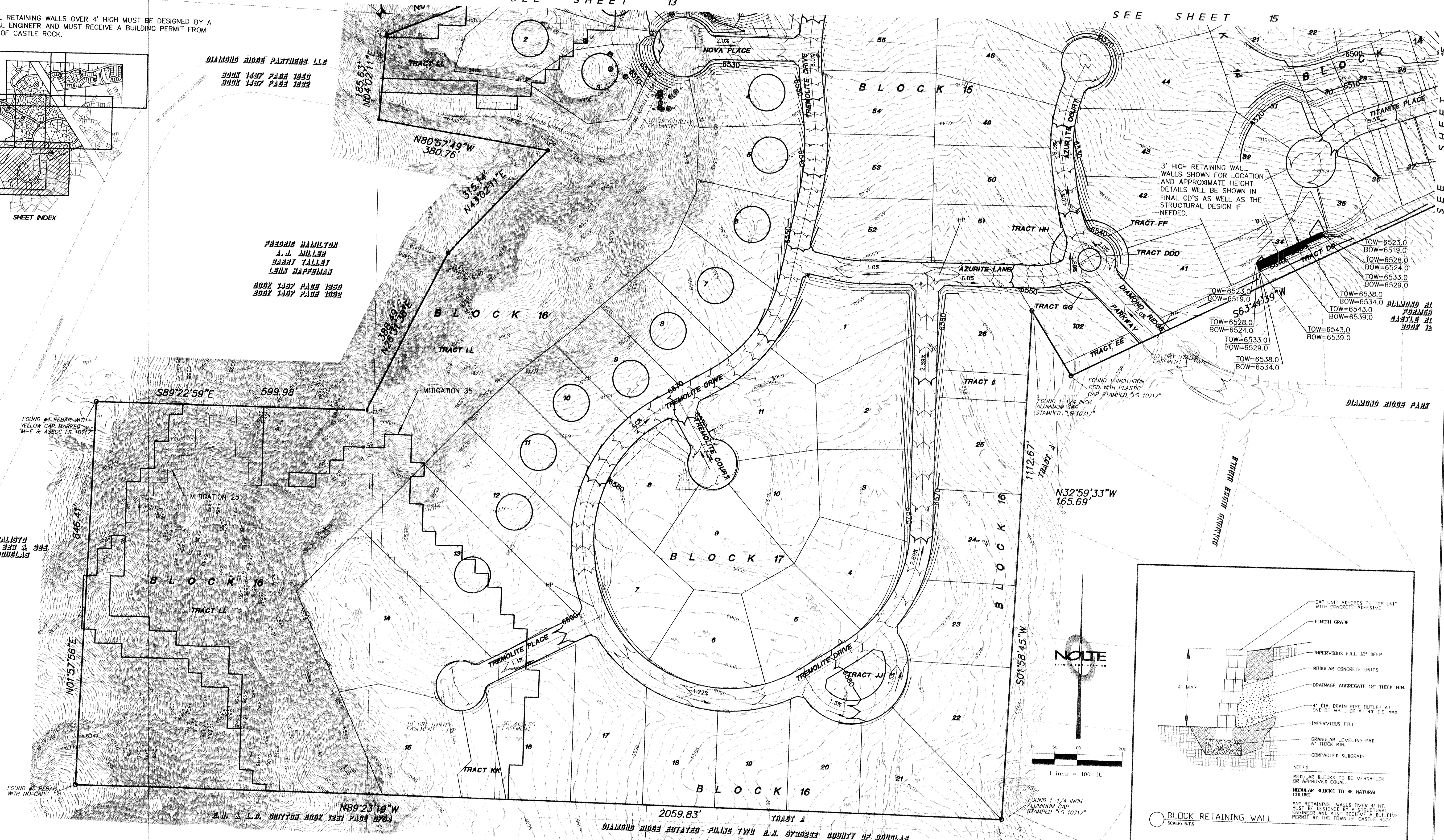


SHEET INDEX

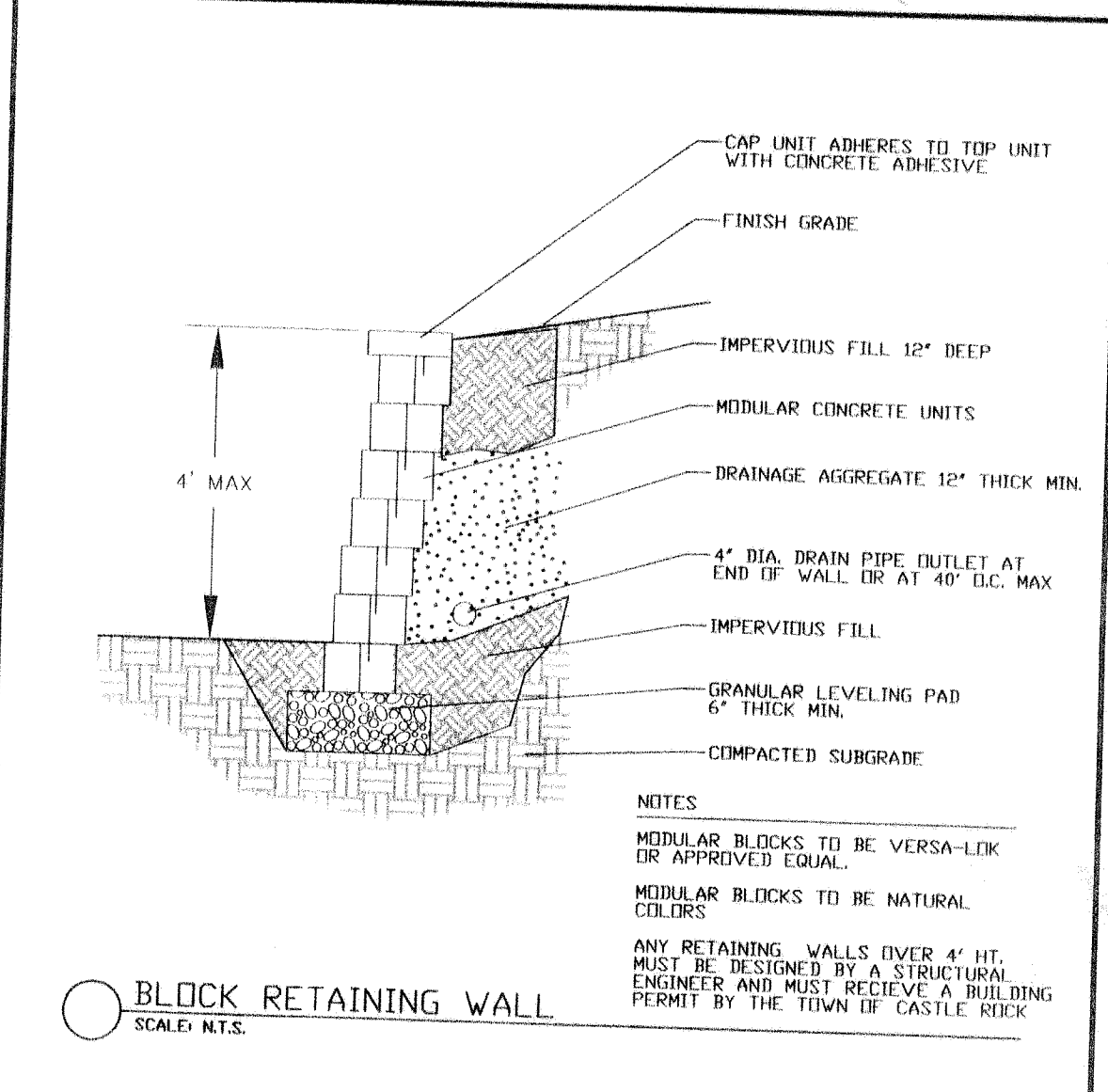
DIAMOND RIDGE PARTNERS L.L.C.
BOOK 1497 PAGE 1950
BOOK 1497 PAGE 1932

FREDRICK HAMILTON
A.J. MILLER
BARRY TALLEY
NEMAPPA NREL
BOOK 1497 PAGE 1950
BOOK 1497 PAGE 1932

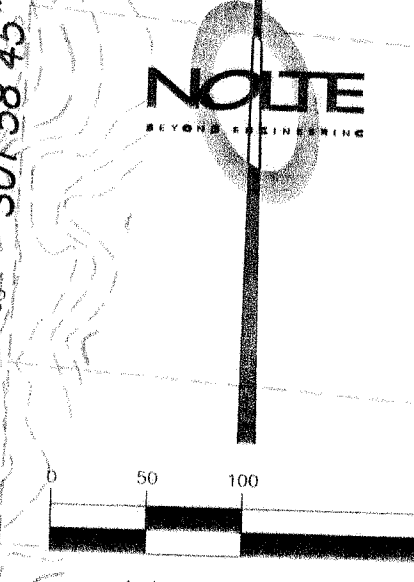
JAMES B. SALLAS
BOOK 1497 PAGE 1939 & 1938
BOOK 1497 PAGE 1939



3' HIGH RETAINING WALLS SHOWN FOR LOCATION AND APPROXIMATE HEIGHT. DETAILS WILL BE SHOWN IN FINAL CD'S AS WELL AS THE STRUCTURAL DESIGN IF NEEDED.



NOTES:
MODULAR BLOCKS TO BE VERSA-LEK OR APPROVED EQUAL.
MODULAR BLOCKS TO BE NATURAL COLOR.
ANY RETAINING WALLS OVER 4' HT. MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT BY THE TOWN OF CASTLE ROCK.



NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:16 p.m.
SERVER: NONE SERVICE: NONE
PATH: N:\DV1263\CADD\PP-FPSP\...
DRAWING NAME: PP2MAHS15.DWG
PLOTING VIEW: NONE
DESIGNER: MHG PROJ. MGR: MHG

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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ENGLEWOOD, CO. 80112
WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
GRADING PLAN

SHEET NUMBER	16
OF 35 SHEETS	
SCALE	T- N/A
HORIZONTAL	T- 100
VERTICAL	T- 100
JOB NUMBER	DV1263

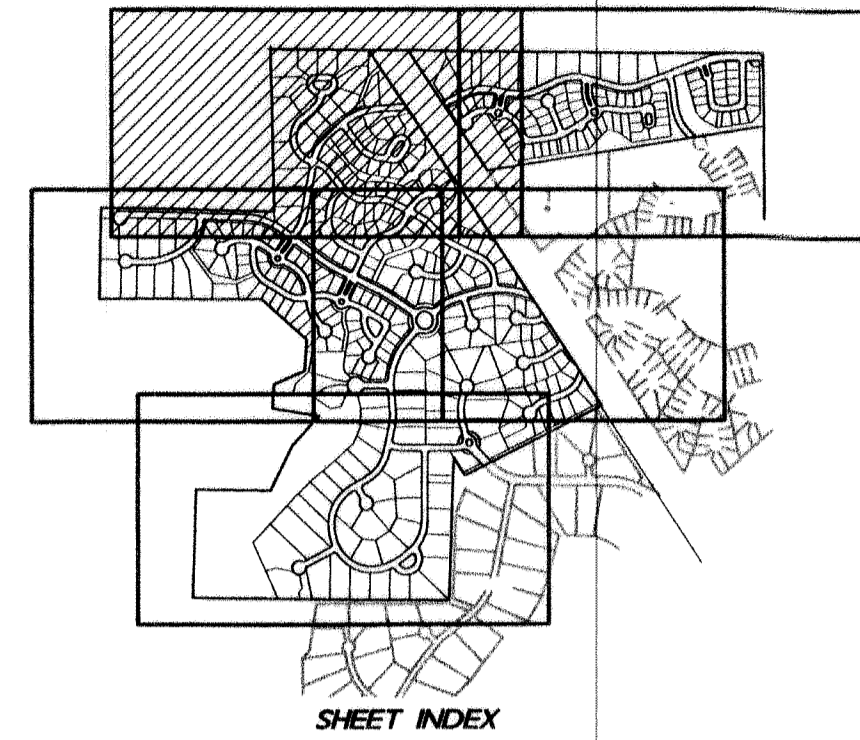
DATE SUBMITTED: 11/00

PREPARED FOR: DIAMOND RIDGE L.L.C.

MAHER RANCH FILING NO. 2

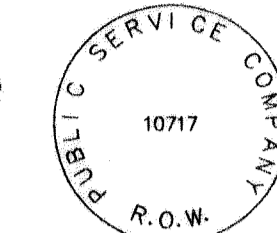
PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



SHEET INDEX

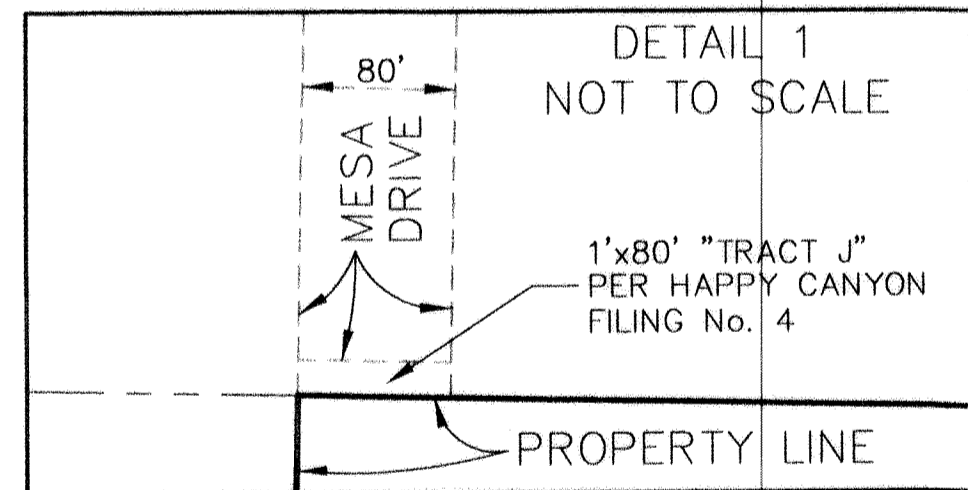
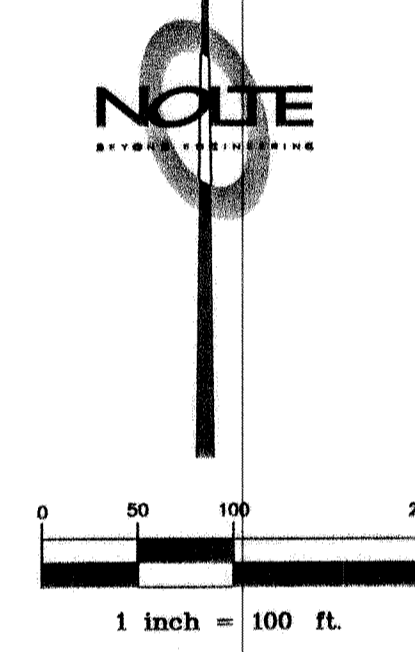
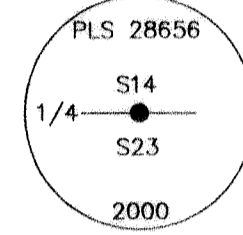
HAPPY CANYON RANCHES
LOT 12, BLOCK 3
S.N. 332233
COUNTY OF DOUGLAS



HAPPY CANYON RANCHES
LOT 11, BLOCK 3
S.N. 332233
COUNTY OF DOUGLAS



N 1/4 SEC 23 T7S, R67W 61H P.M.
FOUND #4 REBAR NO CAP FOUND.
UPGRADED TO 2-1/2 INCH ALUMINUM
CAP STAMPED AS SHOWN ON A #6 REBAR



HAPPY CANYON RANCHES
LOT 13, BLOCK 3
S.N. 332233
COUNTY OF DOUGLAS

S88°48'03"E 1393.54'

FOUND #4 REBAR WITH NO CAP
(N62°15'59"E 2.78')
EX. 16" WATER CONNECTS
TO RED ZONE TANK

FOUND #5 REBAR
NO CAP

NO.	BY	DATE	REVISIONS
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/08/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:18 p.m.
SERVER: NONE SERVICE: NONE
PATH: N:\DV1283\CADD\PP-FPS\PL
DRAWING NAME: UT1.DWG
PLOTING VIEW: NONE
DESIGNER: MHG PROJ. MGR: MHG

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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MAHER RANCH FILING NO. 2

PRELIMINARY PLAT / FINAL P.D. SITE PLAN

UTILITY PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

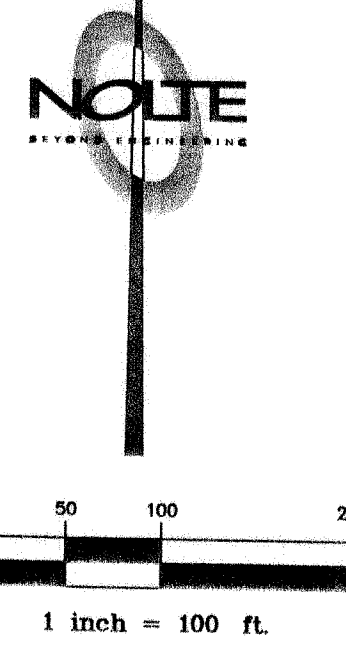
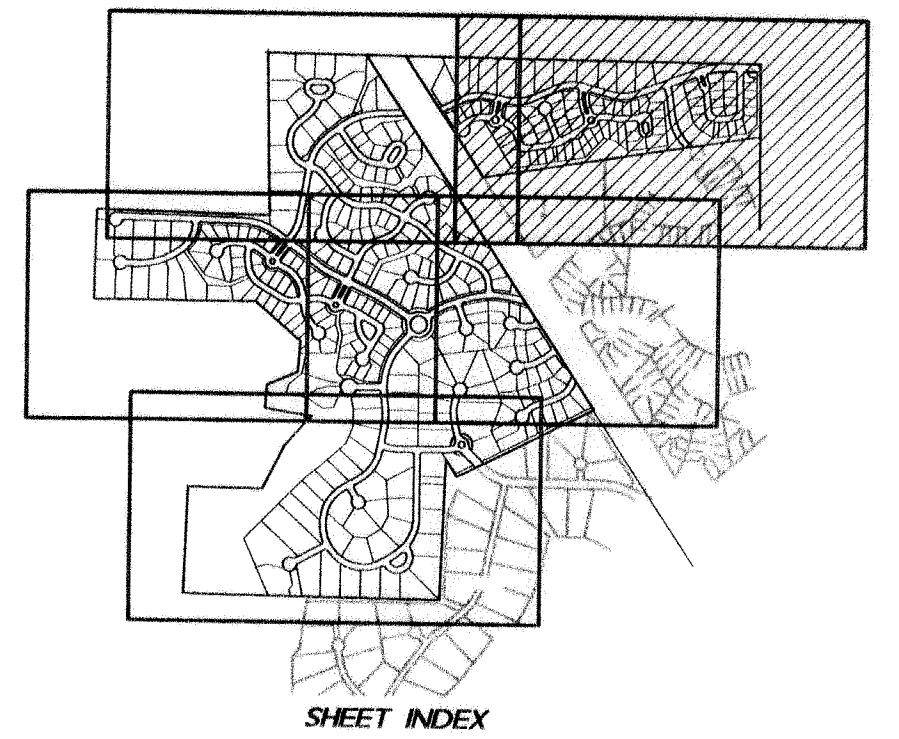
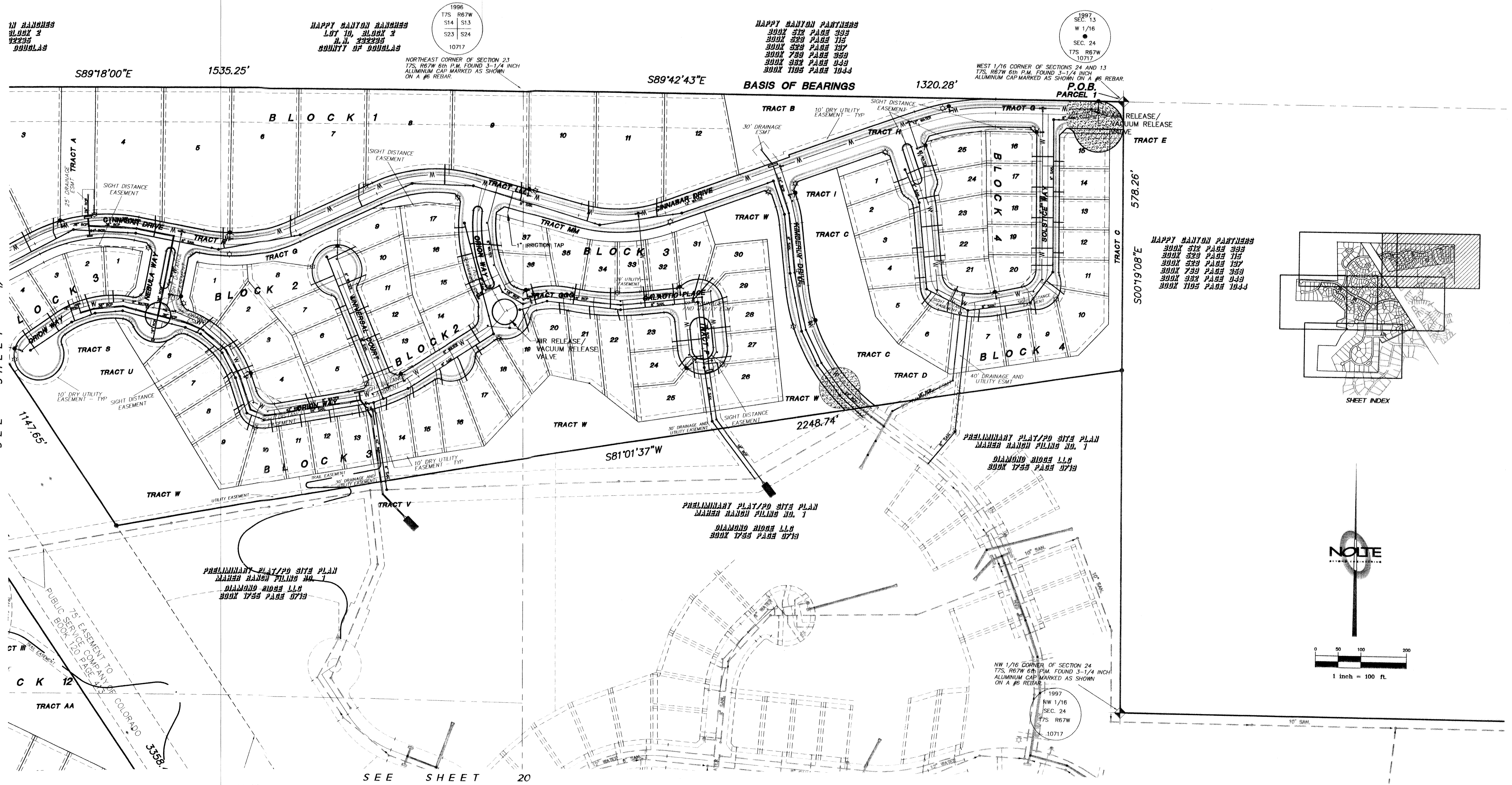
DATE SUBMITTED: 11/00

SHEET NUMBER	17
OF	35 SHEETS
SCALE	T= N/A
VERTICAL	T= 100
HORIZONTAL	T= 100
JOB NUMBER	DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:18 p.m.
SERVER: NONE SERVICE: NONE
PATH: N:\DV1263\CADD\PP-FPSP\
DRAWING NAME: U12.DWG
PLOTTING VIEW: NONE
DESIGNER: MHG PROJ. MGR: MHG

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
UTILITY PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

SHEET NUMBER
18
OF 35 SHEETS

VERTICAL SCALE: T= N/A
HORIZONTAL SCALE: T= 100

JOB NUMBER
DV1263

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SEE SHEET 17

HAPPY BAYTON RANCHES
LOT 19 BLOCK 3
H.M. 333333
COUNTY OF DOUGLAS

HAPPY BAYTON RANCHES
LOT 19 BLOCK 3
H.M. 333333
COUNTY OF DOUGLAS

S88°48'03"E 1393.54'

FOUND #4 REBAR WITH NO CAP
NO CAP

FOUND #4 REBAR WITH WASHER
STAMPED "2692" (S01°10'16"W 0.44')

FOUND #4 REBAR WITH NO CAP
(N62°15'59"E 2.78')

TRACT AAA

SAPPHIRE POINTE BLVD.

SAPPHIRE POINTE BLVD.

TRACT HHH

BLOCK 7

ANDROMEDA LANE

SAPPHIRE POINTE BLVD.

TRACT N

BLOCK 10

TRACT WW

BLOCK 13

TRACT PP

DOROTHY HOLZER
BOOK 1133 PAGE 0795
COUNTY OF DOUGLAS

N01°10'16"E 714.25'

BLOCK 6

N89°55'20"W

1302.70'

FREDRIS HAMILTON
A.J. MILLER
BARRY TALLEY
LENN HAPPEMAN

BOOK 1437 PAGE 1950
BOOK 1437 PAGE 1932

FREDRIS HAMILTON
A.J. MILLER
BARRY TALLEY
LENN HAPPEMAN

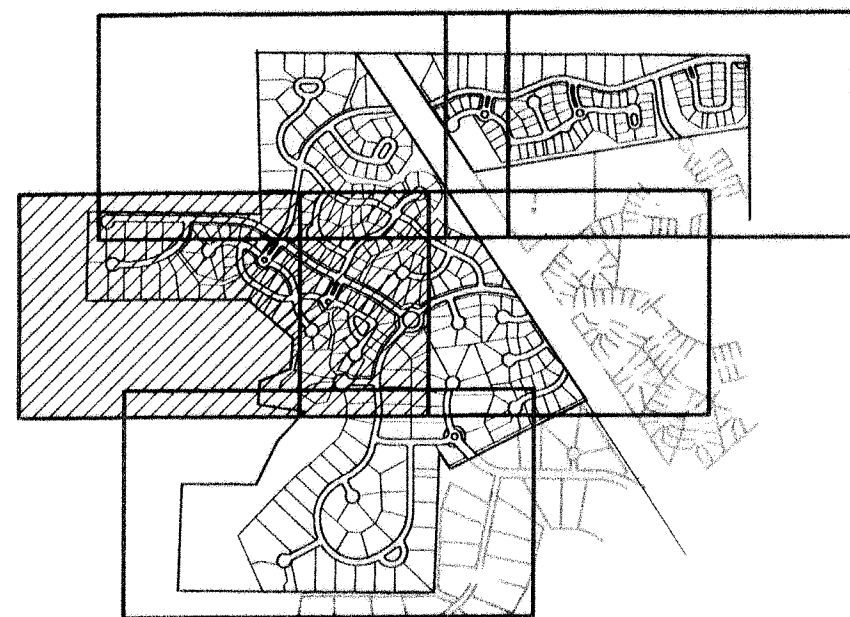
BOOK 1437 PAGE 1950
BOOK 1437 PAGE 1932

* NOTE: LOT SERVED BY INDIVIDUAL
SANITARY SEWER GRINDER PUMP SYSTEM
PER THE APPROVED TOWN OF CASTLE
ROCK VARIANCE. GRINDER PUMP SYSTEM
IS OWNED AND MAINTAINED BY HOME
OWNER.

LOT REQUIRED TO BE SERVED BY
INDIVIDUAL FIRE SPRINKLER SYSTEM PER
THE TOWN OF CASTLE ROCK FIRE
DEPARTMENT REQUIREMENTS.

NOLTE
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1 inch = 100 ft.



SHEET INDEX

CENTER 1/4 COR SEC 23 T7S, R67W 6th P.M.
FOUND #4 REBAR WITH WASHER MARKED "LS 2692"
PER MON RECORD BY D.E. ARCHER LS 6935 DATED: 11/13/69.

DIAMOND RIDGE PARTNERS L.L.C.

BOOK 1437 PAGE 1950
BOOK 1437 PAGE 1932

185.63'
N04°02'11"E

265.25'
N67°38'04"E

N80°57'49"W
380.76'

SEE SHEET 21

NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:21 p.m.
SERVER: NONE SERVICE: NONE
PATH: N:\DV1263\CADD\PP-FPSP\
DRAWING NAME: U13.DWG
PLOTING VIEW: NONE
DESIGNER: MHC PROJ. MGR: MHC

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BEYOND ENGINEERING

7000 S. YOSEMITE ST., SUITE 200 ENGLEWOOD, CO. 80112
303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
UTILITY PLAN

SHEET NUMBER
19
OF 35 SHEETS
SCALE
VERTICAL: 1" = N/A
HORIZONTAL: 1" = 100'

PREPARED FOR: DIAMOND RIDGE L.L.C.

DATE SUBMITTED: 11/00

JOB NUMBER
DV1263

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SEE SHEET 17

SEE SHEET 18



SEE SHEET 21

NO.	BY	DATE	REVISIONS:
1	GTI	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTI	2/2003	TOWN COMMENTS 2/3/2003

DATE: 02/12/03 TIME: 12:24 p.m.
 SERVER: NONE SERVICE: NONE
 PATH: N:\DVI263\CADD\PP-FP\SP\A
 DRAWING NAME: UT4.DWG
 PLOTTING VIEW: NONE
 DESIGNER: MHG PROJ. MGR: MHG

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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 303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
 PRELIMINARY PLAT / FINAL P.D. SITE PLAN
 UTILITY PLAN

PREPARED FOR: DIAMOND RIDGE L.L.C. DATE SUBMITTED: 11/00

SHEET NUMBER
20
 OF 35 SHEETS
 VERTICAL SCALE: 1" = N/A
 HORIZONTAL SCALE: 1" = 100'

FOR NUMBER
 DV1263

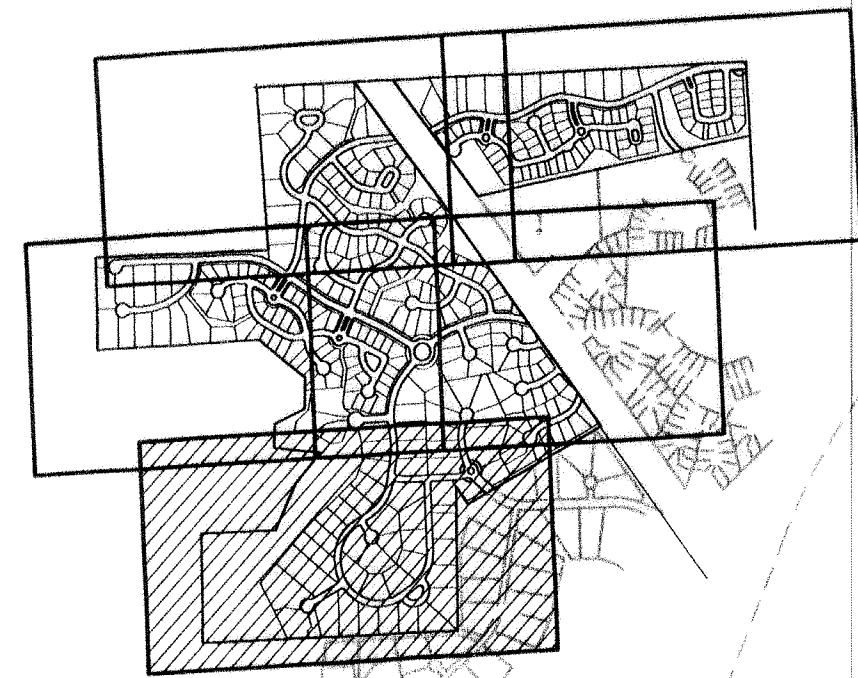
MAHER RANCH FILING NO. 2

PRELIMINARY PLAT/FINAL PD SITE PLAN

THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SEE SHEET 19

SEE SHEET 20



SHEET INDEX

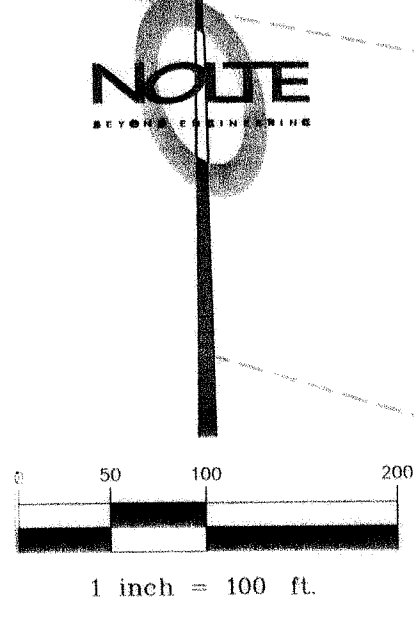
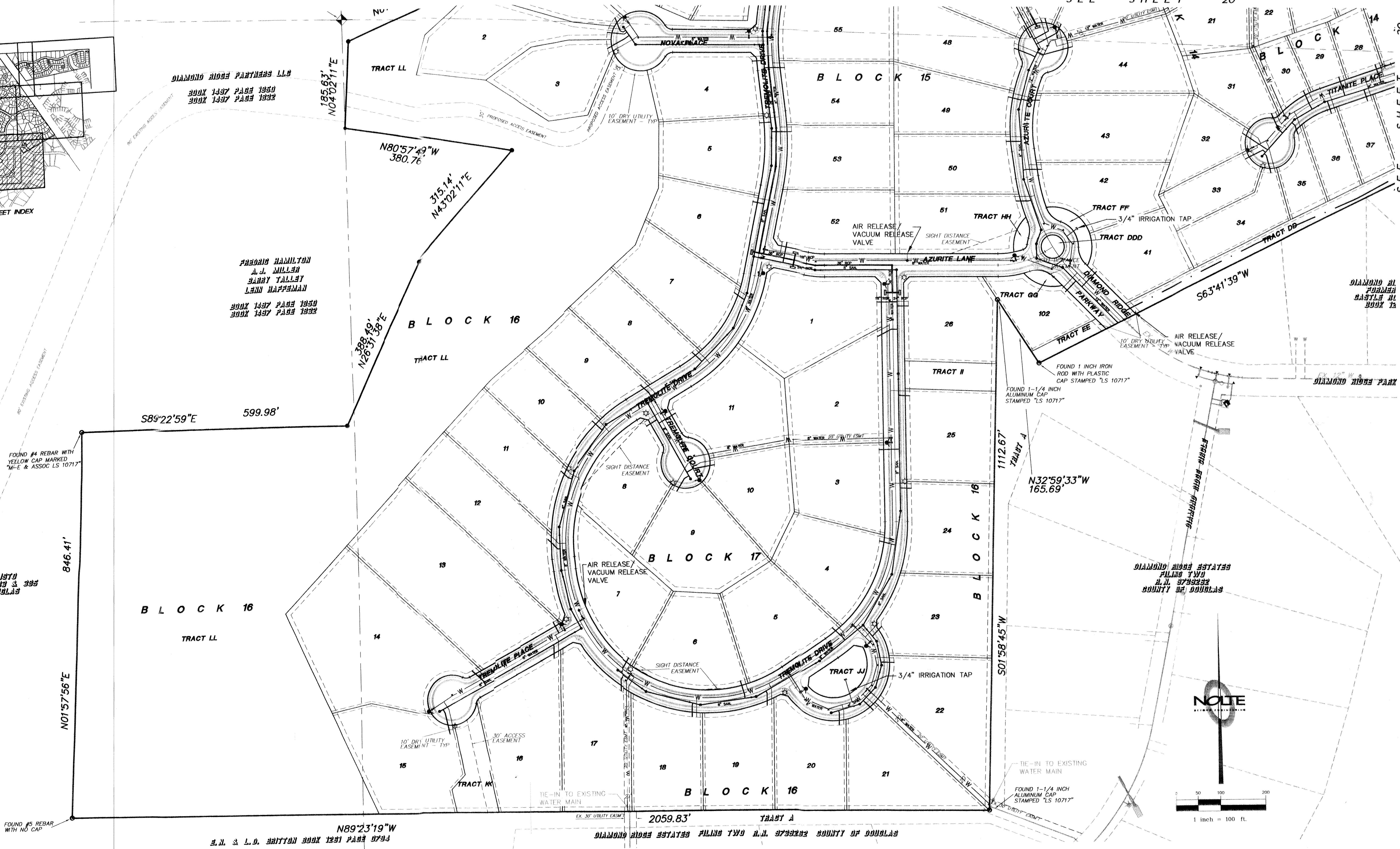
DIAMOND RIDGE PARTNERS L.L.C.
BOOK 1437 PAGE 1950
BOOK 1437 PAGE 1932

FREDRIC HAMILTON
A.J. MILLER
BARRY TALLEY
LENN HOFFERMAN
BOOK 1437 PAGE 1950
BOOK 1437 PAGE 1932

JAMES R. BALLEW
ESTATE
BOOK 333 PAGE 332 & 335
COUNTY OF DOUGLAS

DIAMOND RIDGE ESTATES
FILING TWO
BOOK 333 PAGE 332 & 335
COUNTY OF DOUGLAS

DIAMOND R.
FOURMEYER
CASTLE R.
BOOK 13



NO.	BY	DATE	REVISIONS:
1	GTH	12/2001	TOWN COMMENTS 07/31/01
2	ERM	5/2002	TOWN COMMENTS 04/01/02
3	ERM	10/2002	TOWN COMMENTS 09/25/02
4	ERM	12/2002	TOWN COMMENTS 12/06/02
5	GTH	2/2003	TOWN COMMENTS 2/3/2003

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DRAWING NAME: UTS.DWG
PLOTING VIEW: NONE
DESIGNER: MHC PROJ. MGR: MHC

NOLTE
BEYOND ENGINEERING

7000 S. YOSEMITE ST., SUITE 200 ENGLEWOOD, CO. 80112
303.220.1001 TEL 303.220.9001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 2
PRELIMINARY PLAT / FINAL P.D. SITE PLAN
UTILITY PLAN

SHEET NUMBER	21
OF 35 SHEETS	
VERTICAL SCALE	T= N/A
HORIZONTAL SCALE	T= 100
JOB NUMBER	DV1263

PREPARED FOR: DIAMOND RIDGE L.L.C. DATE SUBMITTED: 11/00

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

NOTES

- All site lighting shall be provided by up-lit landscape illum. Location and specifications to be determined for final construction documents. The areas that are to receive lighting are all roundabouts, entry at 7th and 10th drives, community park, 1st-1st, and upper pond track.
- Landscape Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Before You Dig: 1-800-422-1987
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- If conflicts arise between size of areas and plans, Landscape Contractor to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate materials.
- The Landscape Contractor shall notify Landscape Architect 72 hours prior to commencement of work to coordinate project inspection schedules.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on Planting Plans. Unit cost to include the plant material itself and installation including all labor, amendments, fertilizers, etc., as detailed and specified for each size.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warrant all plant material for one year after final acceptance.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- All plant material shall be acclimated to nearest conditions for minimum of 8 months before planting.
- Plant names are abbreviated on drawings. See plant list for key and classification.
- Final location of all plant material shall be subject to the approval of the Landscape Architect.
- Obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractor's cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommend additional soil amendments beyond those specified. Additional amendments recommended by the analysis beyond those specified shall be an additional cost. A minimum of three (3) samples shall be taken from the site. Location to be determined by the Landscape Architect. The soil amendments currently specified will be the minimum incorporated. Test Agency: Colorado State University Soil Testing Lab, AS19-NE5B, Fort Collins, CO 80525-1120.
- Apply 3 cubic yards of organic compost per 1,000 square feet to all seeded lawn and seeded areas.
- Incorporate amendments thoroughly with top 6 in. of soil and bring amended soil to finish grade and elevations shown on drawings. Do not work soils under frozen or muddy conditions.
- Do not commence amending of existing soil prior to acceptance of finish or subgrade.
- See details for planting requirements, materials, and execution.
- Stake/buy all trees as per detail for a period of one year.
- If annuals are specified on plans, the landscape contractor is to submit a list of seasonally available annuals to be used to the landscape architect for approval.
- Groundcover areas are to be triangularly spaced. Do not mulch groundcover areas.
- Landscape Contractor to receive site graded to +/- .10 ft.
- Prior to installation of any permanent stone or stucco wall, a design of the wall must be submitted to Development Services for approval.

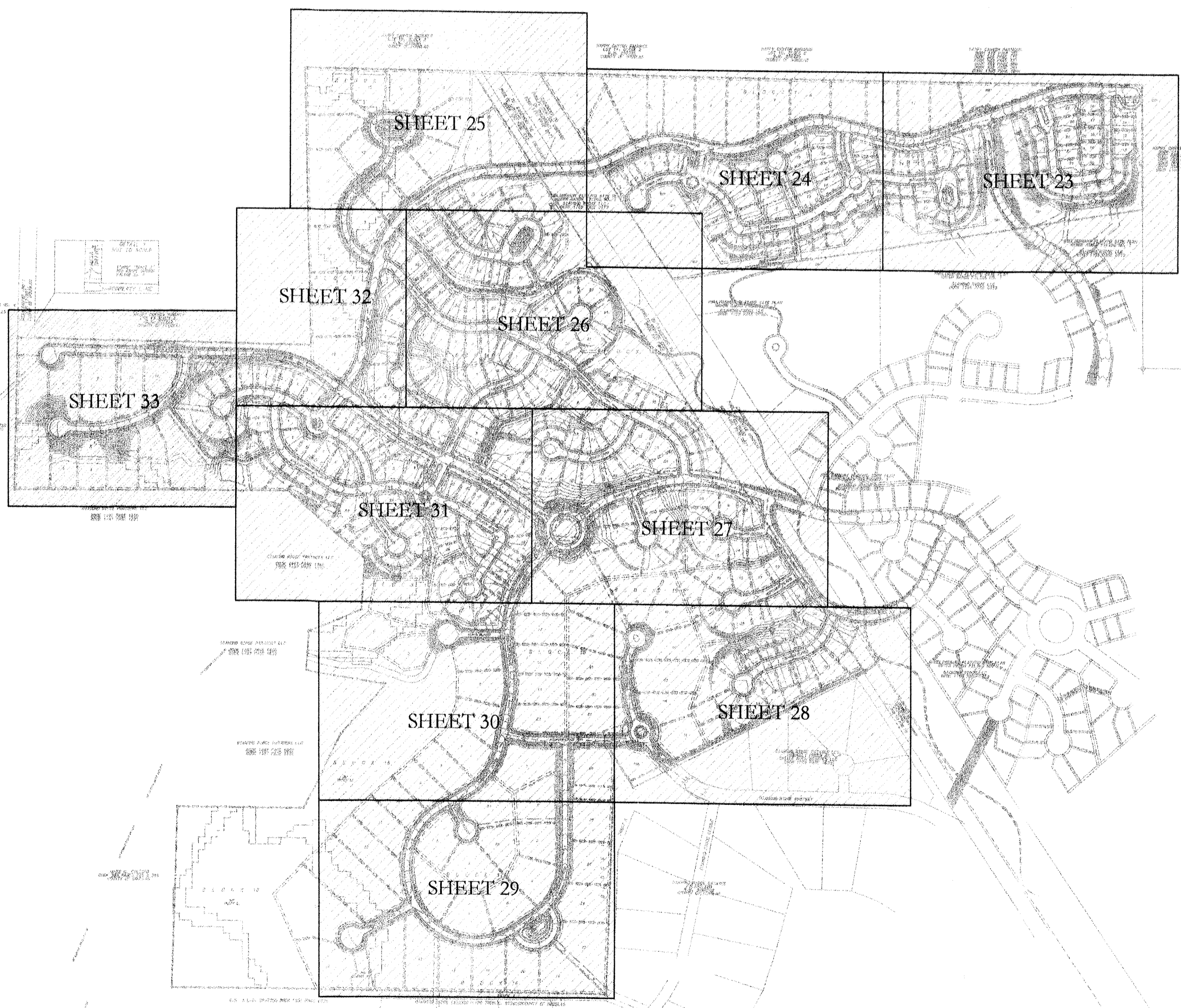
- The Landscape Contractor shall be responsible for positive drainage throughout planting and turf areas, with accurate spot elevations. No low spots or ponding surface water will be accepted in the final work.
- Final grades are to be approved by the Landscape Architect prior to installation of the irrigation and the landscaping.
- If additional soil is required to bring the site to the finish grades, the import soil shall be topsoil.
- The contractor shall be responsible for the repair of any of their trenches or excavations that settle.
- Edging to be black Ryerson 1/4"x4" steel, or approved equal, location as shown on plan.
- All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- Mitigation of Impact. Within moderate skyline, minor skyline and minor ridgeline areas of the district, all primary and accessory structures shall be required to comply with the following measures designated to mitigate the visual impact of the structure prior to occupancy, unless explicitly exempted elsewhere in this Chapter.
 - Color. All occupied structures and accessory structures shall be constructed and maintained so that predominant exterior wall colors (including the colors of basement walls on the downhill side of the structure) and roof surfacing materials (a) repeat the colors found most commonly in the land and vegetation around the building (earth tone), and (b) have a light reflective value of no more than forty percent (40%). Reflective materials and bright colors that contrast dramatically with the colors of the land and vegetation around them shall not be used as predominant colors on any wall or roof surface.
 - Vegetation. The area around each primary structure and accessory structure shall include at least one (1) tree of a species with a mature height of at least thirty-five (35) feet for each two thousand five hundred (2,500) square feet of lot or parcel, provided, however, that this requirement shall not require any single-family residential lot to contain more than eight (8) trees. At least fifty percent (50%) of the total number of trees required on the lot or parcel pursuant to this Subsection 2 shall be located within fifty (50) feet of the primary structure on the side of the primary structure facing the nearest viewing platform as so designated by the Community Development Department. The remainder of the trees required on the lot or parcel pursuant to this Subsection 2 shall be located within fifty (50) feet of the primary structure. All trees installed to meet the requirements of this Subsection shall be of different species, shall be a minimum of eight (8) feet tall when planted, and shall be planted before a Certificate of Occupancy is issued for the primary structure, or if that is not possible due to planting season or weather conditions, then within one (1) month of the beginning of the planting season for the species. In addition, to the maximum degree feasible, during overlot grading, all existing mature vegetation with a height of more than three (3) feet, other than noxious plants and weeds, shall be preserved. Any existing trees that meet the height requirements are counted towards satisfaction of the tree requirements, regardless of whether they are coniferous or deciduous. Concurrently with the final PD site plan review and approval process, the property owner submitting such plan may request approval of a vegetation plan in which the vegetation requirements for certain lots or tracts may be increased, decreased or deleted, to reflect the degree of visibility of structures located in various portions of the subdivision. Additionally, such owner may request alternative placement of landscaping on certain lots and tracts if such placement provides adequate mitigation of the visual impact of the roof line of the primary structure. Landscaping required by this Section shall be credited against the landscaping requirement imposed by any other section of this Code, or the specific PD development plan. In commercial and multifamily residential areas, vegetation screening required by this Subsection shall be limited to the low area required for landscaping under this Code or the applicable PD plan, and therefore only such vegetation screening which can be reasonably accommodated within such areas is required to be planted or maintained.
 - Floodlighting. Floodlights shall not be used to light all or any portion of any primary or accessory structure facade, and all outdoor light sources mounted on poles, buildings or trees to illuminate streets, sidewalks, walkways, parking lots or other outdoor areas shall use full cutoff light fixtures. For purposes of this Section, a full cutoff light fixture is one in which no more than two and one-half percent (2.5%) of the total output is emitted at ninety degrees (90°) from the vertical pole or building wall on which it is mounted. All such fixtures shall be installed or shielded so that part of the light bulb or light source is not visible beyond the property boundaries.
 - Exposed Basements. On the side of each primary and accessory structure facing the nearest viewing platform as so designated by the Community Development Department, no basement wall shall be exposed for more than one-half (1/2) of its height, unless a vegetated berm at least three (3) feet in height is constructed between such basement and the property line closest to the nearest viewing platform. (Ord. 99-30 §2, 1999, Ord. 99-15 §1(pen), 1999)

24. SKYLINE / RIDGELINE PROTECTION ORDINANCE

Block	Lot	Height Restriction	Min. Required Trees
5	3	25	0
	4	25	0
	5	25	0
	10	25	0
	11	25	0
	17	25	0
6	4	35	0
	5	35	0
	6	35	0
	7	35	0
	11	35	0
7	25	35	6
	26	35	5
	27	35	5
	29	35	5
9	3	35	5
	4	35	5
	5	35	5
	6	35	5
10	3	25	6
	4	25	6
	5	25	6
	7	25	5
16	1	25	0
	2	25	0
	13	25	0
	14	25	0

30. Enforcement of the mitigation requirements will be provided by the Home Owners Association (HOA).

KEY MAP



PLANT SCHEDULE

Sym	Botanic Name/Common Name	Qty.	Size	Spacing	Sym	Botanic Name/Common Name	Qty.	Size	Spacing
Deciduous Trees									
AA	Amenlanthier 'Autumn Brilliance' Autumn Brilliance Serviceberry	4	6' ht. cump	As Shown	RMA	Rosa 'Meidandian' White Meidandian Shrub Rose	22	5 gal.	As Shown
AF	Acer x freemanii 'Letttered' Autumn Blaze Maple	6	2-1/2' cal.	As Shown	RMF	Rosa 'Meipelta' Fuchsia Meidandian Shrub Rose	22	5 gal.	As Shown
AG	Acer glabrum Paperbark Maple	20	2' cal.	As Shown	SVM	Syringa vilgaris 'Monge' Monge Lilac	11	5 gal.	As Shown
AV	Crataegus viridis Winter King Hawthorn	36	2' cal.	As Shown	SMN	Syringa x prestoniae 'Donald Nyman' Nyman Lilac	14	5 gal.	As Shown
FP	Fraxinus pennsylvanica 'Cimmaron' Cimmaron Ash	12	2-1/2' cal.	As Shown	VP	Viburnum plicatum tomentosum 'Summer Snowflake' Summer Snowflake Viburnum	5 gal.		As Shown
PA	Populus angustifolia Narrowleaf Cottonwood	10	2-1/2' cal.	As Shown	VPR	Viburnum prunifolium Blackhaw Viburnum	18	5 gal.	As Shown
PAC	Populus x axuminata Lanceleaf Cottonwood	18	2-1/2' cal.	As Shown	Turf Sod				
PFA	Prunus padus 'Summer Glow' Summer Glow Cherry	48	2' cal.	As Shown	Bluegrass Blend sod				
PV	Prunus virginiana Shubert Chokecherry	53	2' cal.	As Shown	Irrigated Native Seed With Wildflower Mix				
PS	Populus sargentii Plains Cottonwood	18	2' cal.	As Shown	Arriba	Western Wheatgrass	40%	seed	14.2 lbs/acre
QB	Quercus bicolor Swamp White Oak	43	2-1/2' cal.	As Shown	Lodonn	Green Needlegrass	20%	seed	6.0 lbs/acre
Evergreen Trees									
PP	Pinus ponderosa Ponderosa Pine	38	14' - 18' ht.	As Shown	Lovington	Blue grama	20%	seed	1.8 lbs/acre
PPB	Picea pugeana 'Baker' Baker Spruce	1	7' ht.	As Shown	Pastura	Little Bluestem	10%	seed	2.1 lbs/acre
PPU	Picea pungens Colorado Blue Spruce	20	14' - 18' ht.	As Shown	Vaughn	Sideoats grama	5%	seed	1.5 lbs/acre
PN	Pinus nigra Austrian Pine	134	8' - 11' ht.	As Shown	Sharps	Buffalograss	5%	seed	2.4 lbs/acre
Deciduous / Evergreen Shrubs									
CA	Cal. arundinacea 'Karl Foerster' Feather Reed	6	5 gal.	As Shown	Total 100% 35 lbs/acre				
CH	Cotoneaster horizontalis 'Robusta' Round Rock Cotoneaster	24	5 gal.	As Shown	Non-irrigated Native Seed With Wildflower Mix				
JC	Juniperus chinensis 'Halbert' Halbert Juniper	34	5 gal.	As Shown	Arriba	Western Wheatgrass	40%	seed	14.2 lbs/acre
FB	Prunus besseyi 'Pavane Buttes' Dark Pavane Buttes Sand Cherry	15	5 gal.	As Shown	Lodonn	Green Needlegrass	20%	seed	6.0 lbs/acre
SP	Salix purpurea 'Nana' Arctic Blue Dwarf Willow	6	5 gal.	As Shown	Lovington	Blue grama	20%	seed	1.8 lbs/acre
SR	Salix repens Creeping Willow	26	5 gal.	As Shown	Pastura	Little Bluestem	10%	seed	2.1 lbs/acre
RS	Rhus glabra Smooth Sumac	18	5 gal.	As Shown	Vaughn	Sideoats grama	5%	seed	1.5 lbs/acre
RH	Rhus aromatica 'Gro-low' Dwarf Fragrant Sumac	43	5 gal.	As Shown	Sharps	Buffalograss	5%	seed	2.4 lbs/acre
Total 100% 35 lbs/acre									

- NOTES:
- ALL PLANTING BEDS TO BE MULCHED WITH 1-1/2" LOCAL RIVER COBBLE.
 - ALL TURF NATIVE SEED AREAS TO BE IRRIGATED WITH POP-UP SPRAY AND ROTOR HEADS.
 - ALL SHRUB AND PERENNIAL BEDS WILL BE IRRIGATED USING DRIP EMITTERS.

SHEET INDEX

22	LANDSCAPE COVER SHEET
23	LANDSCAPE PLAN
24	LANDSCAPE PLAN
25	LANDSCAPE PLAN
26	LANDSCAPE PLAN
27	LANDSCAPE PLAN
28	LANDSCAPE PLAN
29	LANDSCAPE PLAN
30	LANDSCAPE PLAN
31	LANDSCAPE PLAN
32	LANDSCAPE PLAN
33	LANDSCAPE PLAN
34	TRAIL & FENCING PLAN
35	LANDSCAPE DETAILS

BRITINA
DESIGN GROUP
Landscape Architecture and Land Planning

7512 Grandview Avenue
Arvada, CO 80002
Tel: 303/436-2887
Fax: 303/431-1039
www.britina.com

Project Name:
MAHER RANCH
FILING #2

PRELIMINARY PLAT/
FINAL PLANNED
DEVELOPMENT

Developed By:
Maher Ranch Metro District

852 Diamond Ridge Circle
Castle Rock, CO 80108

No. Date Revisions

1	07/01	Town Comments
2	12/03/01	Town Comments
3	12/19/01	Town Comments
4	05/02	Per Town Comments dated 04/02
5	10/02	Town Comments
6	12/02	Per Town Comments dated 12/06/02

Project No: DR001

Designed By: CC

Drafted By: CC

Checked By: BC

Date:

Scale:

Title: **LANDSCAPE COVER SHEET**

NOT FOR CONSTRUCTION

Project Name:
**MAHER RANCH
 FILING #2**

PRELIMINARY PLAT/
 FINAL PLANNED
 DEVELOPMENT

Developed By:
 Maher Ranch Metro District
 852 Diamond Ridge Circle
 Castle Rock, CO 80108

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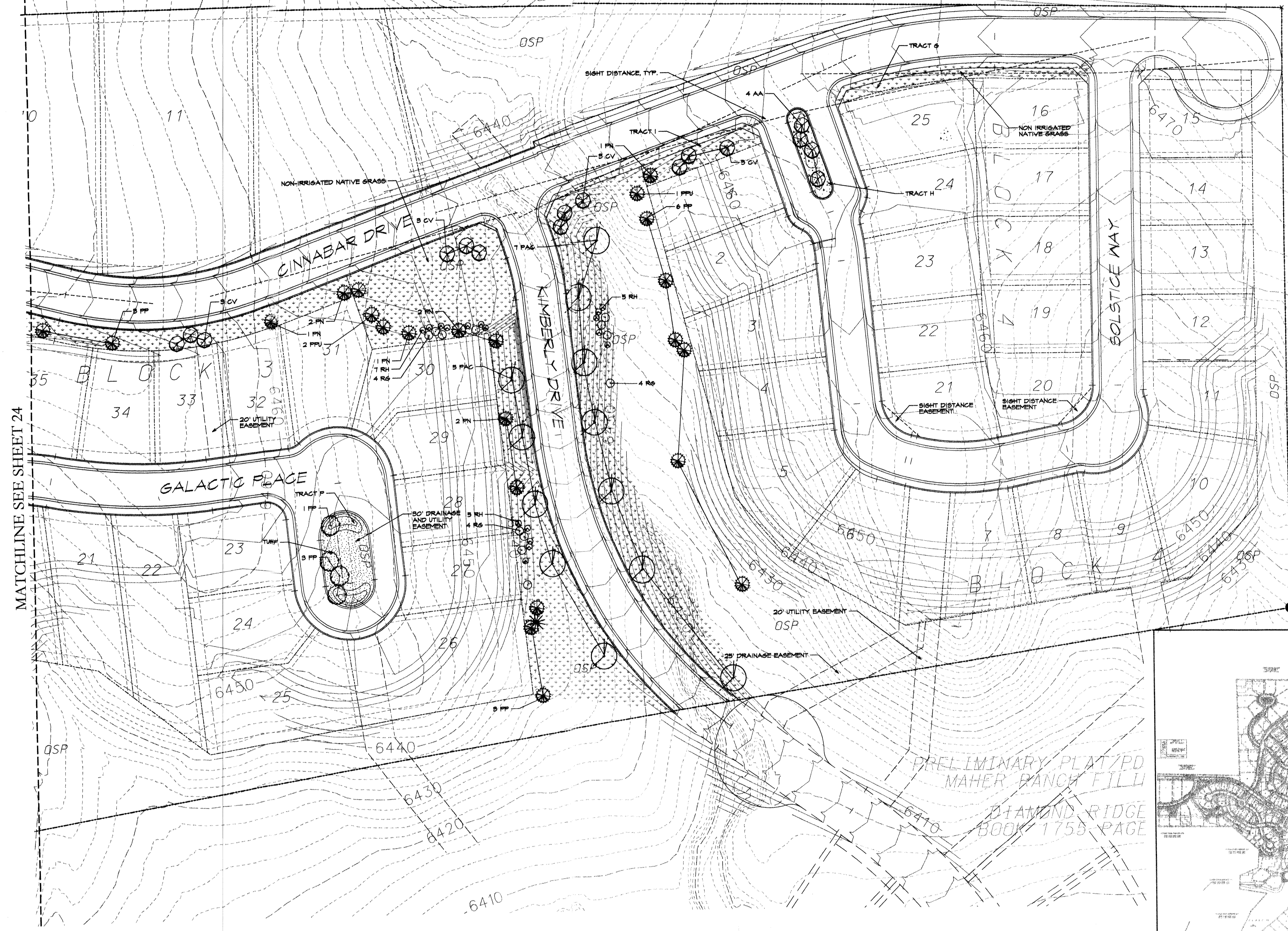
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Designed By: CC
 Drafted By: CC
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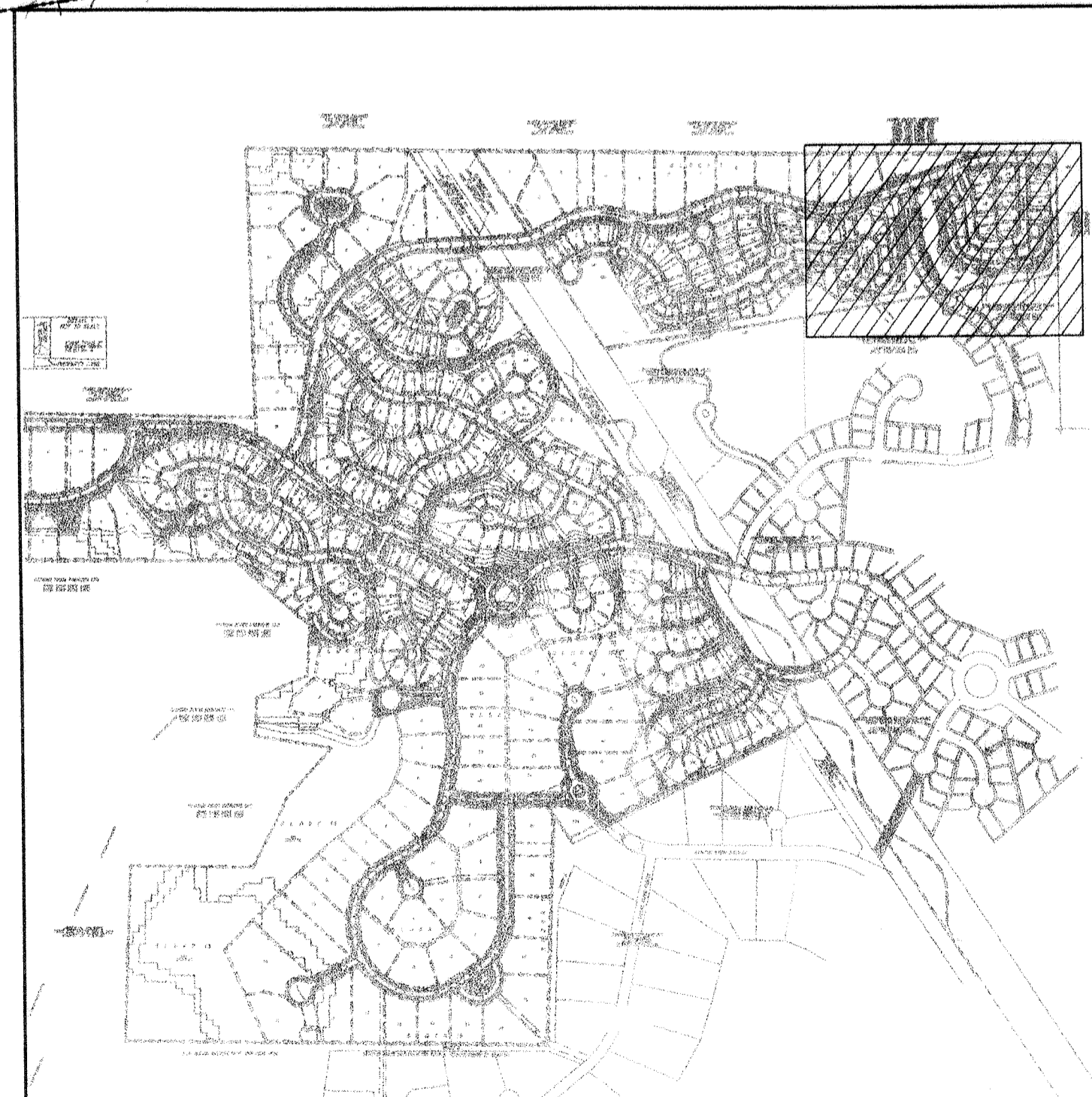
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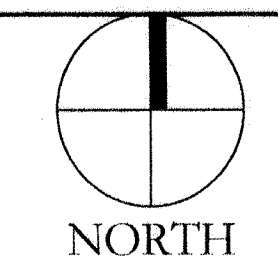
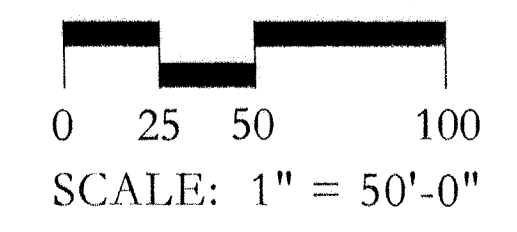
Sheet No. **23**



MATCHLINE SEE SHEET 24



KEY MAP
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852 Diamond Ridge Circle

Castle Rock, CO 80108

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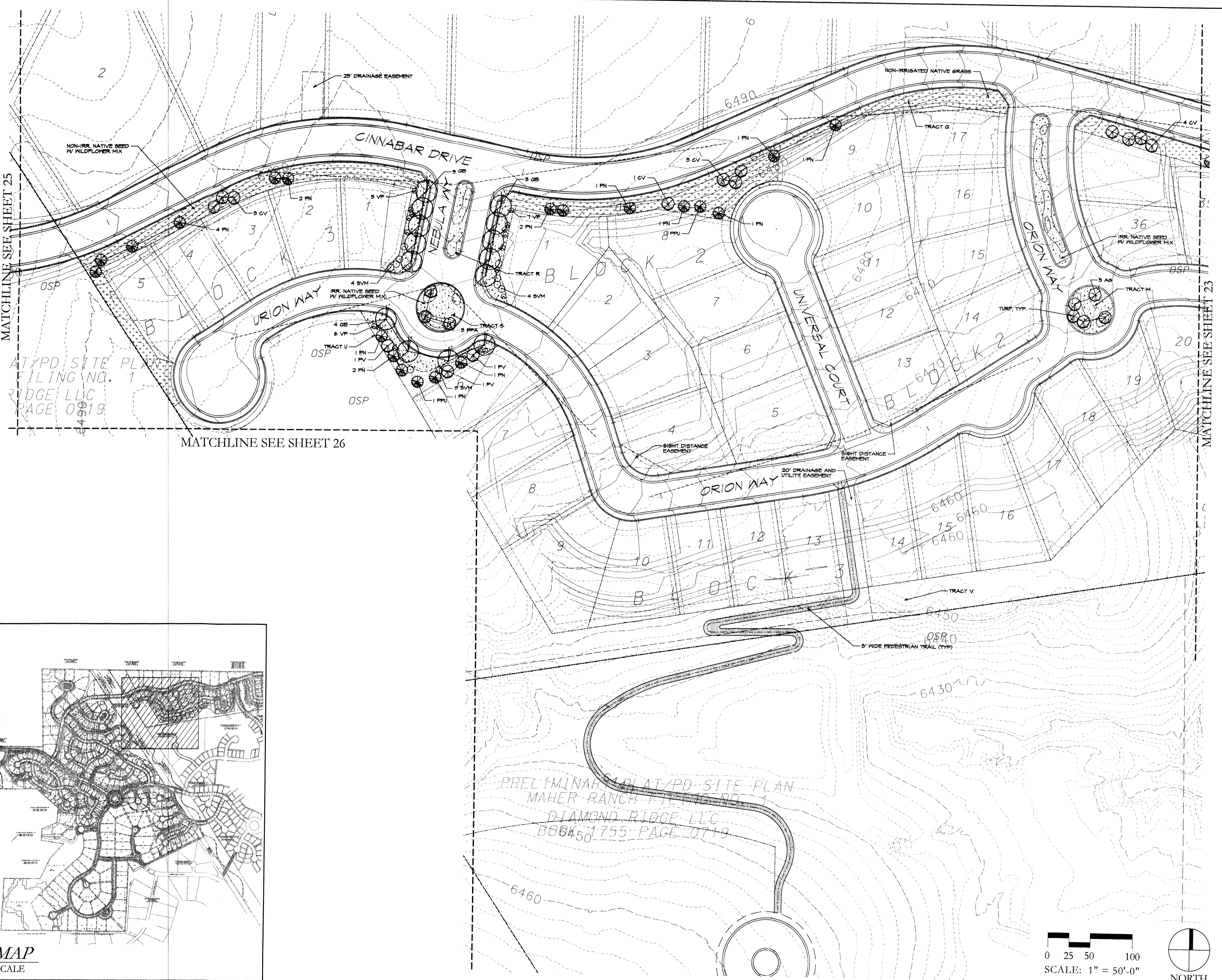
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Sheet No. 24



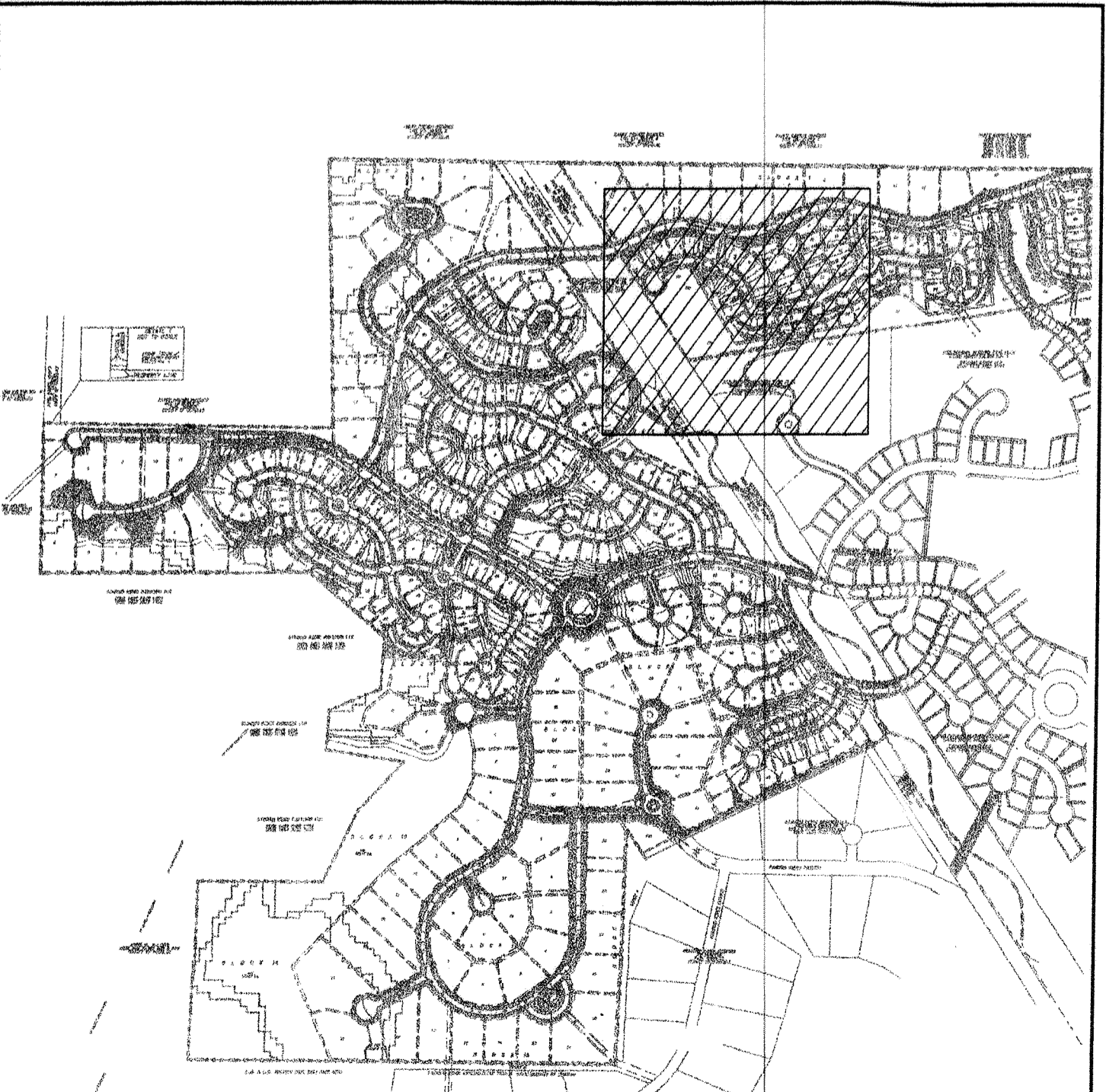
MATCHLINE SEE SHEET 25

MATCHLINE SEE SHEET 23

ATYPD SITE PLAN
FILING NO. 1
DIAMOND RIDGE LLC
PAGE 0019

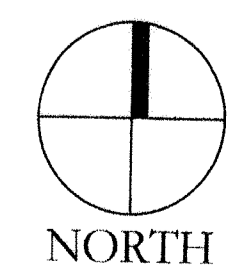
MATCHLINE SEE SHEET 26

PRELIMINARY PLAT/PD-SITE PLAN
MAHER RANCH FILING NO. 1
DIAMOND RIDGE LLC
888450-1755 PAGE 0019



KEY MAP
NOT TO SCALE

0 25 50 100
SCALE: 1" = 50'-0"



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Castle Rock, CO 80108

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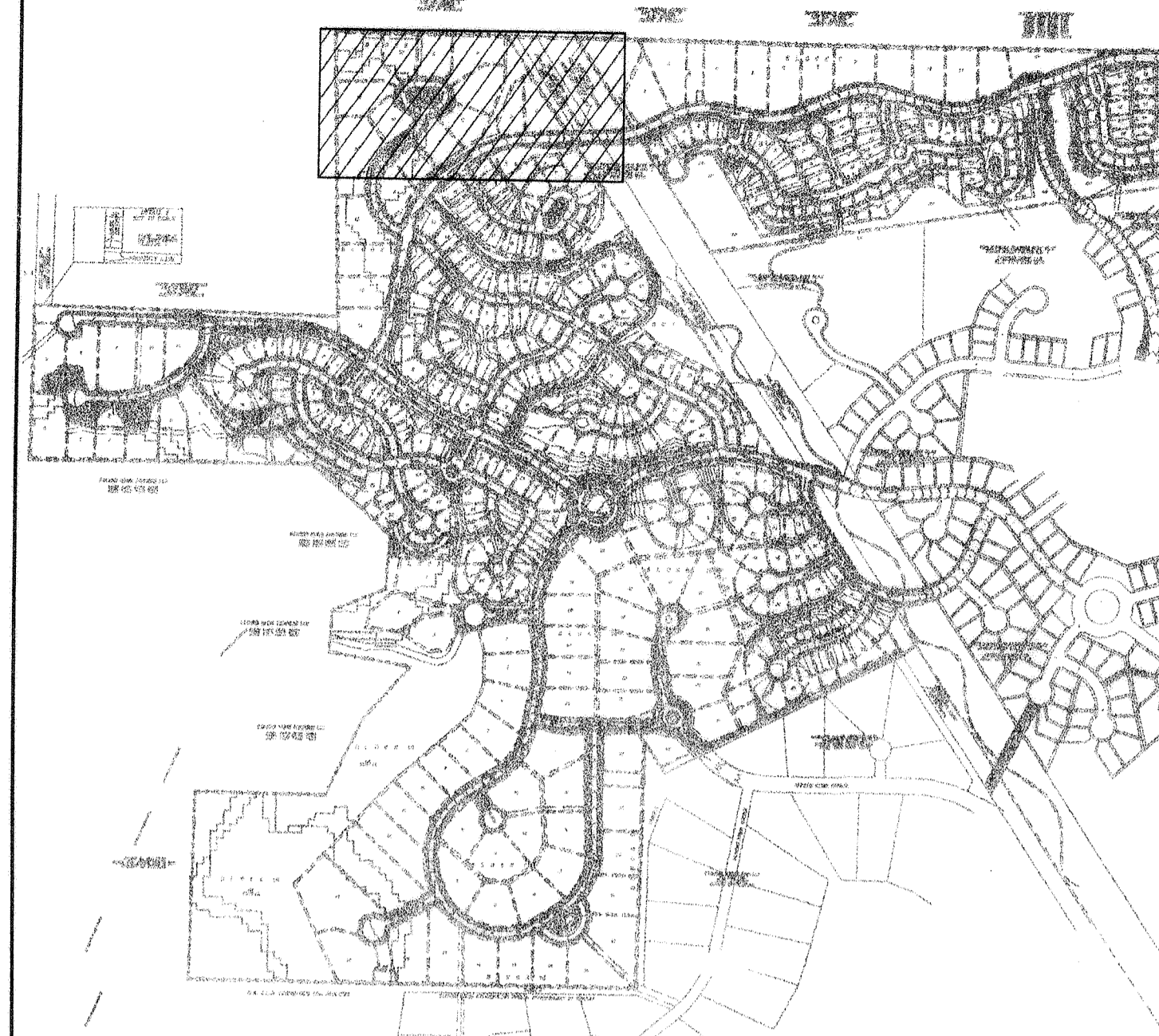
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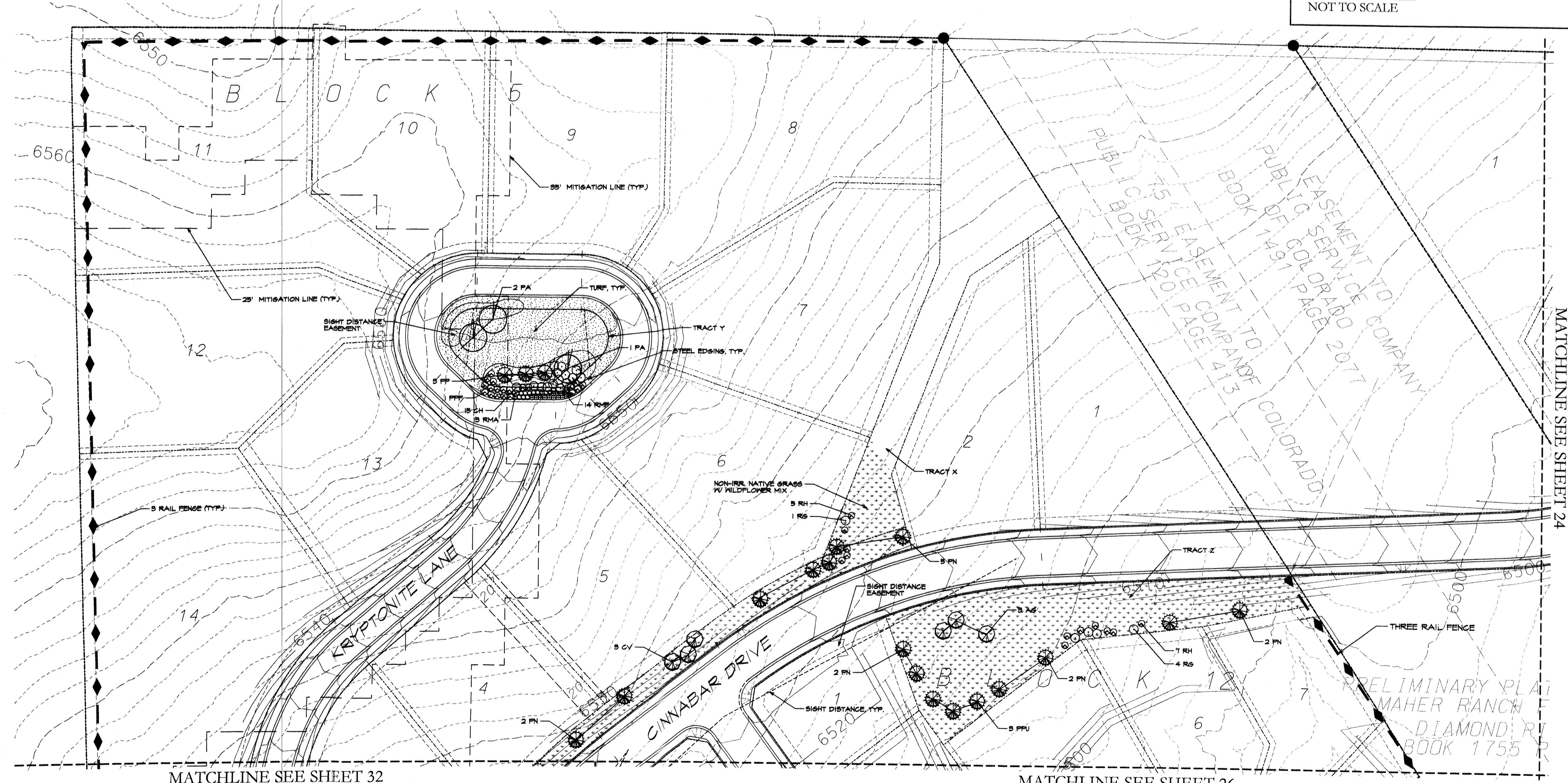
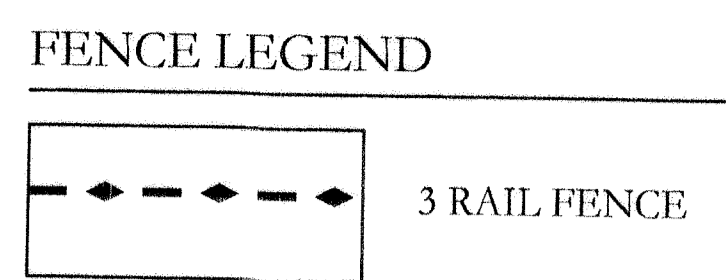
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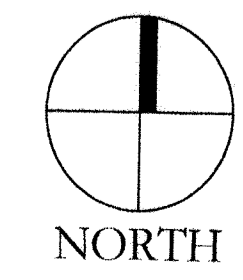
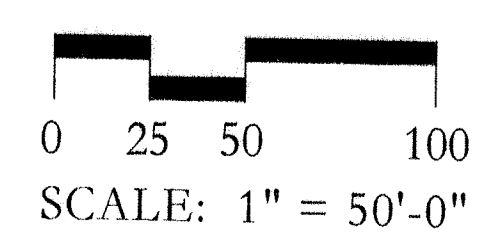
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MATCHLINE SEE SHEET 26

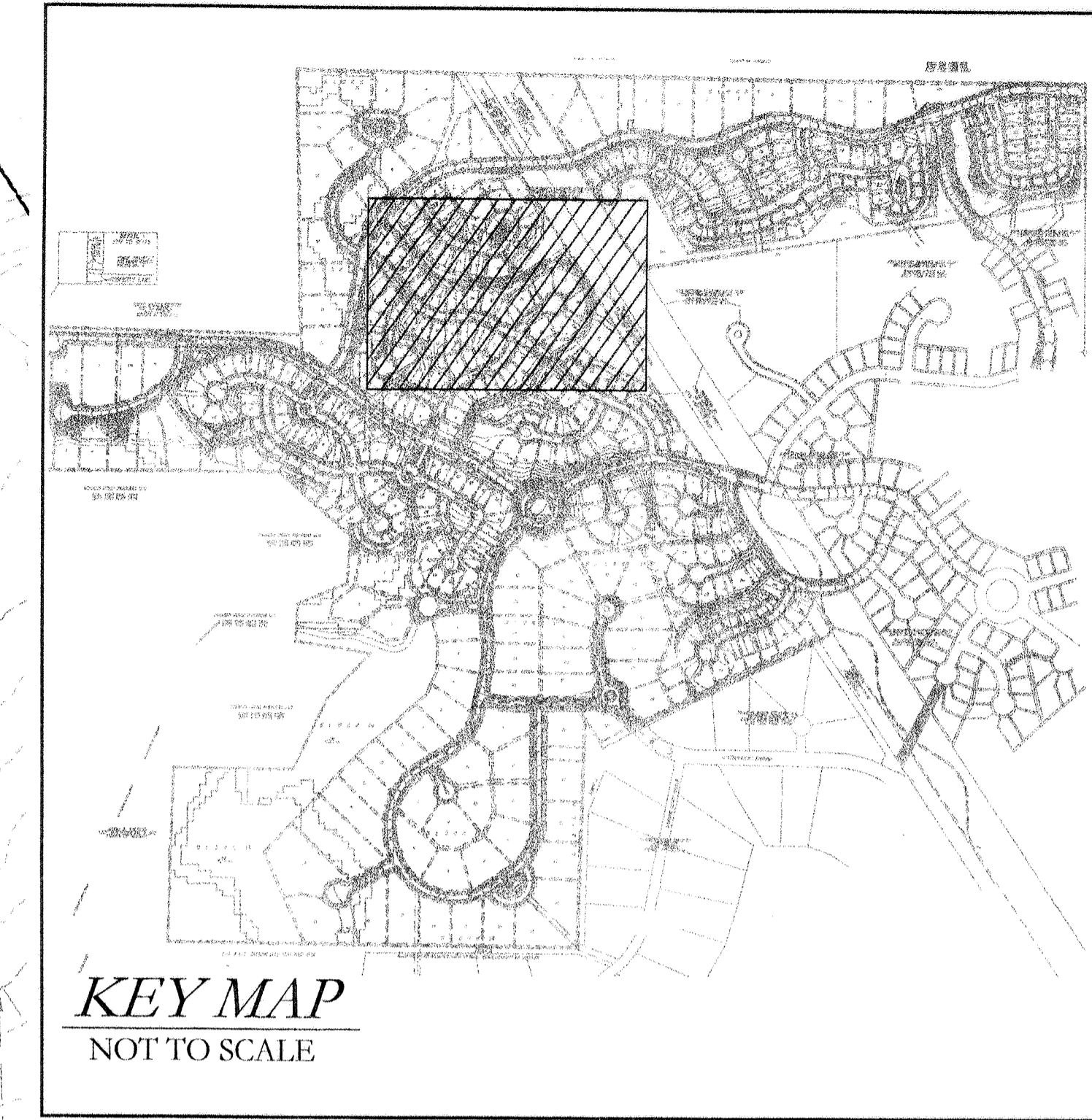
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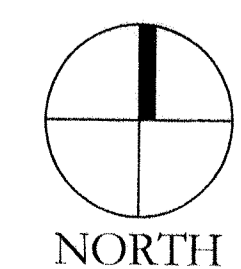
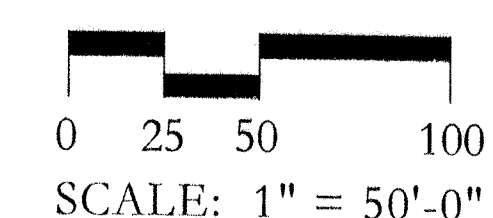
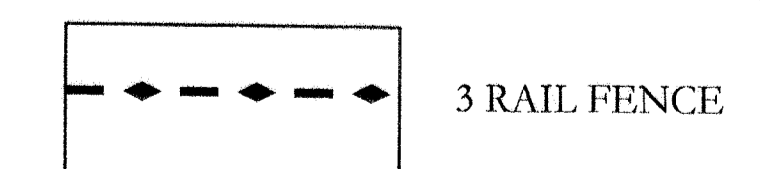
Sheet No. 26

MATCHLINE SEE SHEET 32

MATCHLINE SEE SHEET 27

MATCHLINE SEE SHEET 24

FENCE LEGEND



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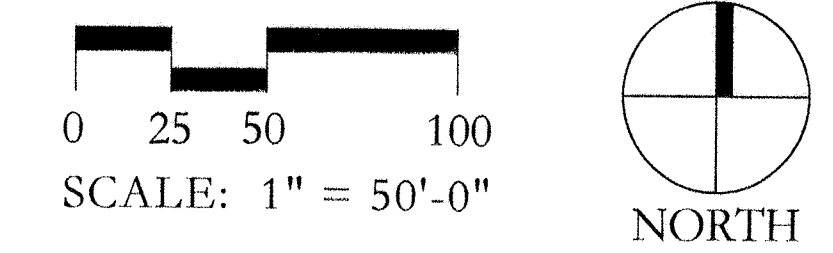
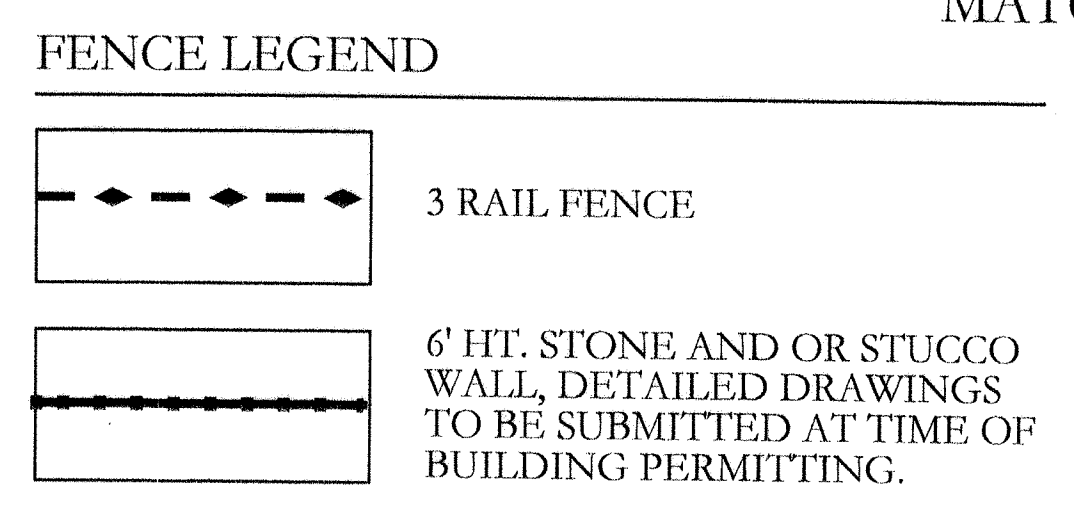
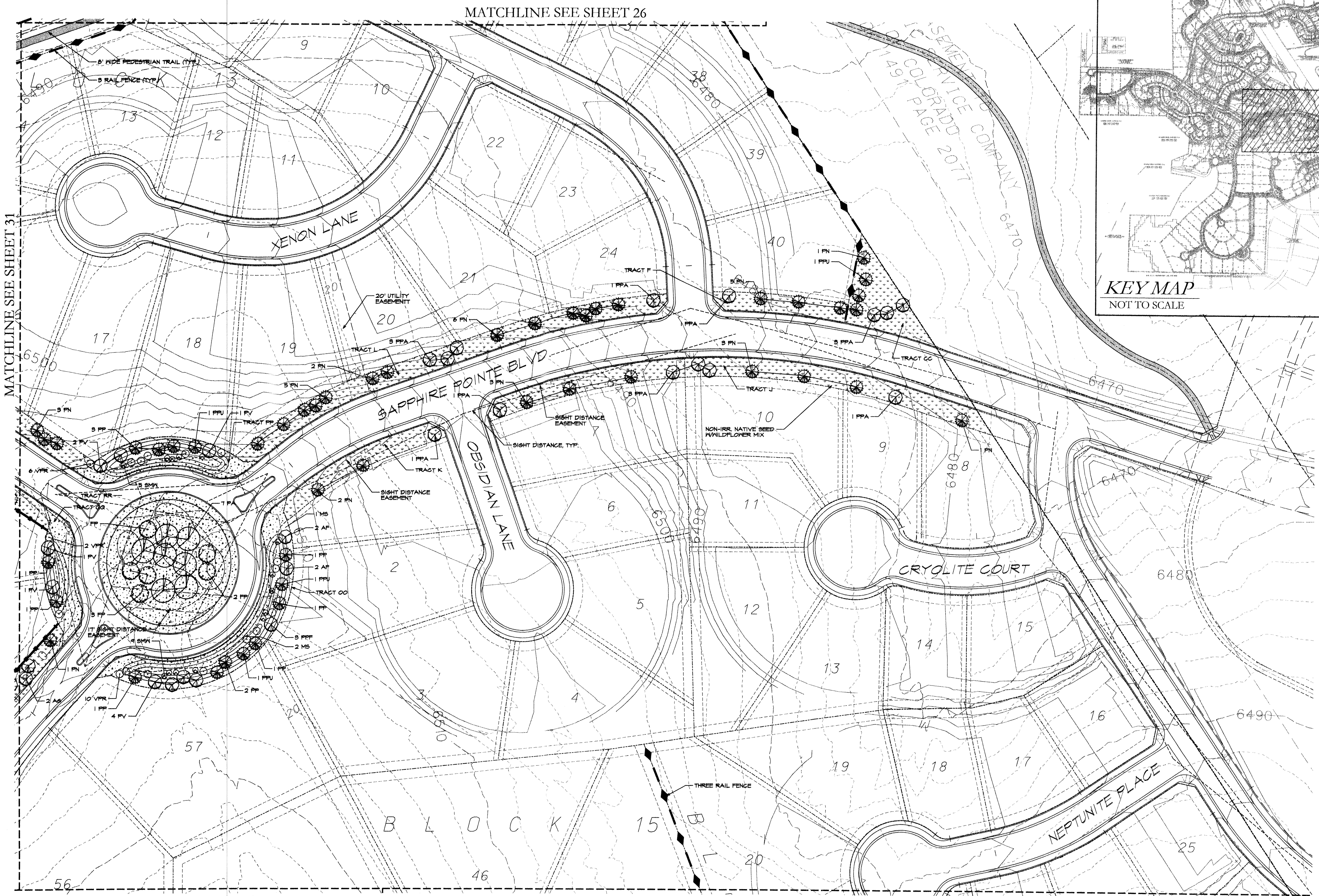
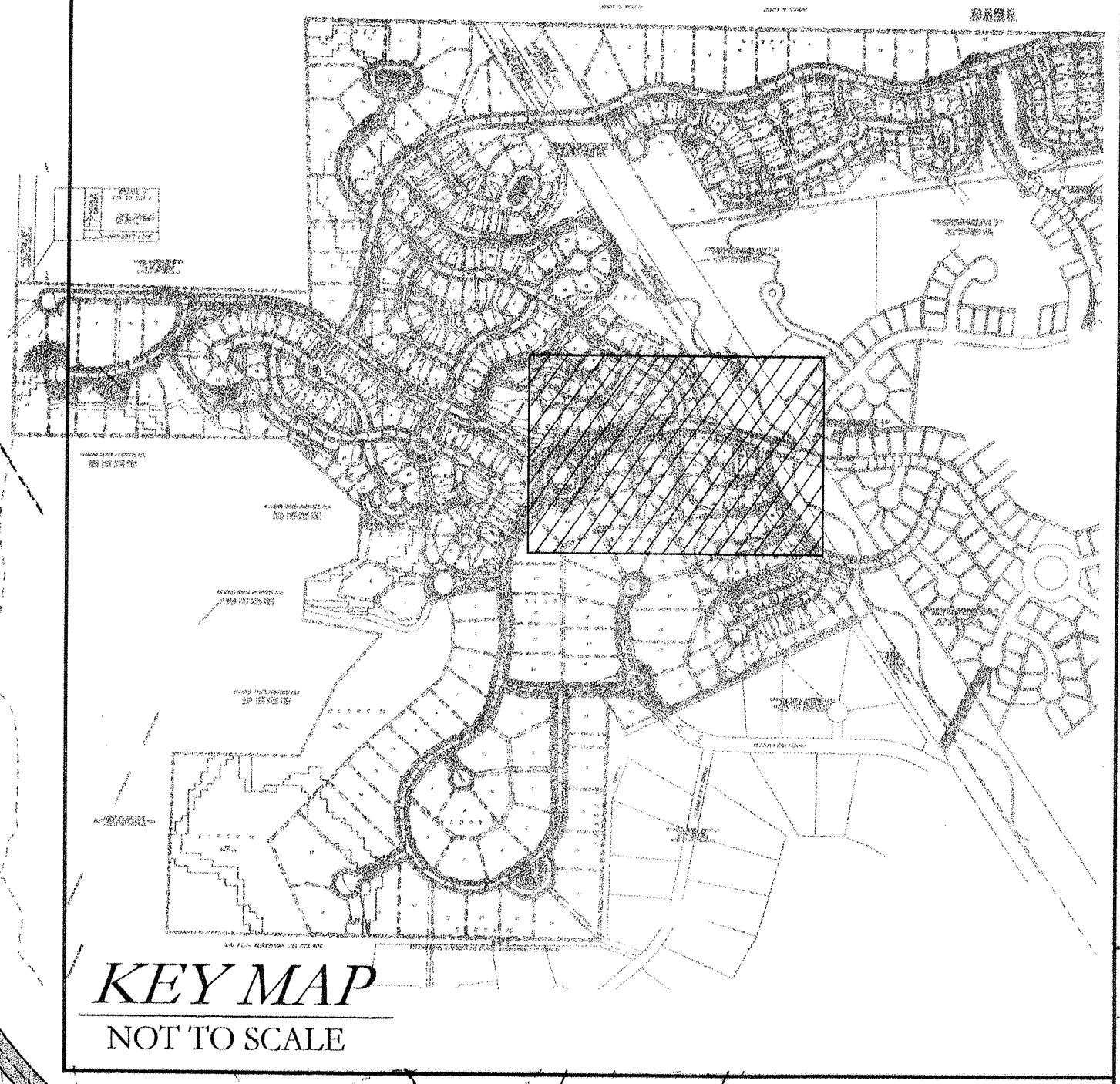
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Title:
LANDSCAPE PLAN



NOT FOR CONSTRUCTION

MATCHLINE SEE SHEET 27

BRITINA
DESIGN GROUP
Landscape Architecture and Land Planning
7512 Grandview Avenue
Arvada, CO 80002
Tel: 303/456-2887
Fax: 303/431-1039
www.britina.com

Project Name:
MAHER RANCH
FILING #2
PRELIMINARY PLAT/
FINAL PLANNED
DEVELOPMENT

Developed By:
Maher Ranch Metro District
852 Diamond Ridge Circle
Castle Rock, CO 80108

No.	Date	Revisions
1	07/01	Town Comments
2	12/03/01	Town Comments
3	12/19/01	Town Comments
4	05/02	Per Town Comments dated 04/02
5	10/02	Town Comments
6	12/02	Per Town Comments dated 12/06/02

Project No: DR001

Designed By: CC

Drafted By: CC

Checked By: BC

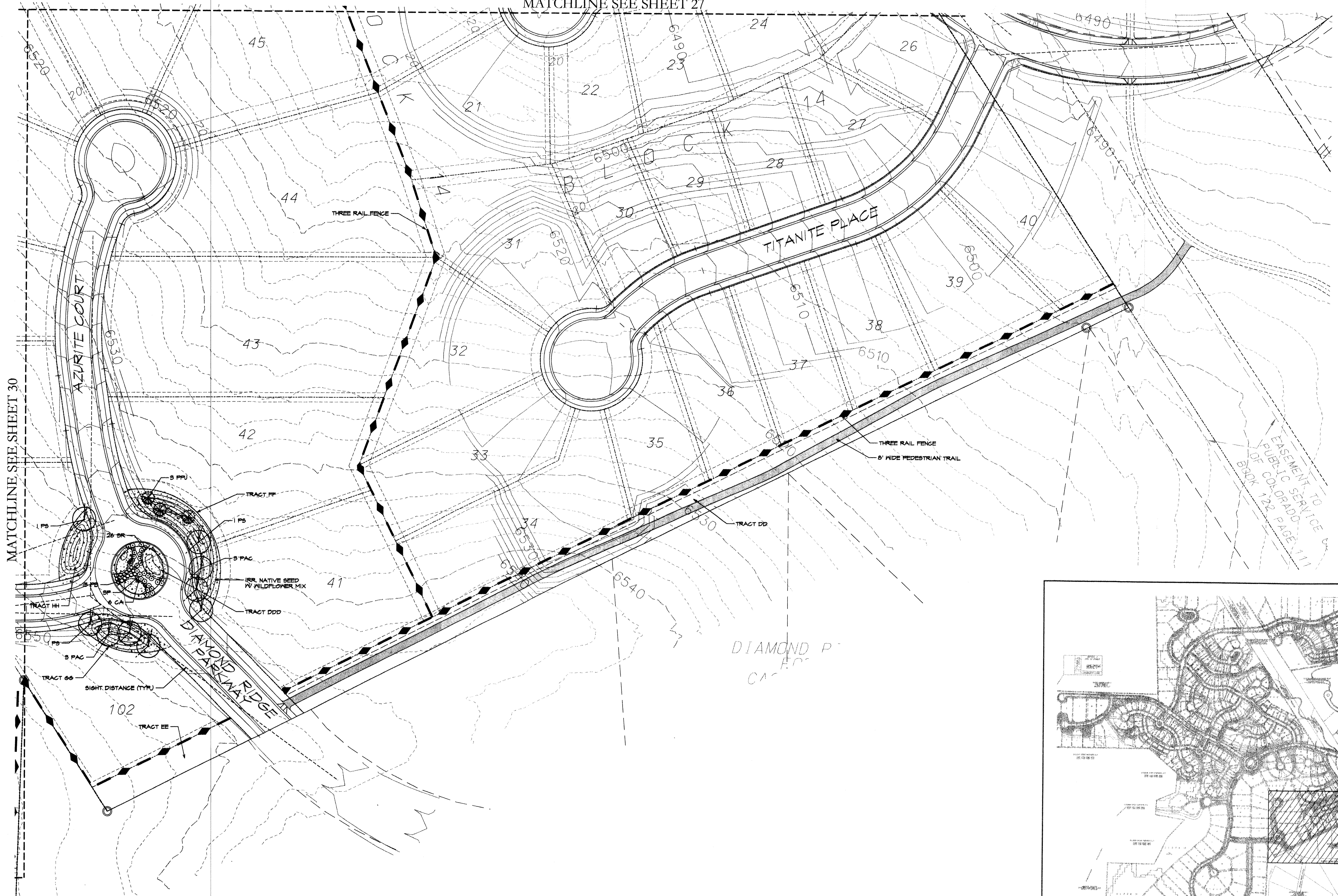
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Date:

Scale:

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LANDSCAPE PLAN

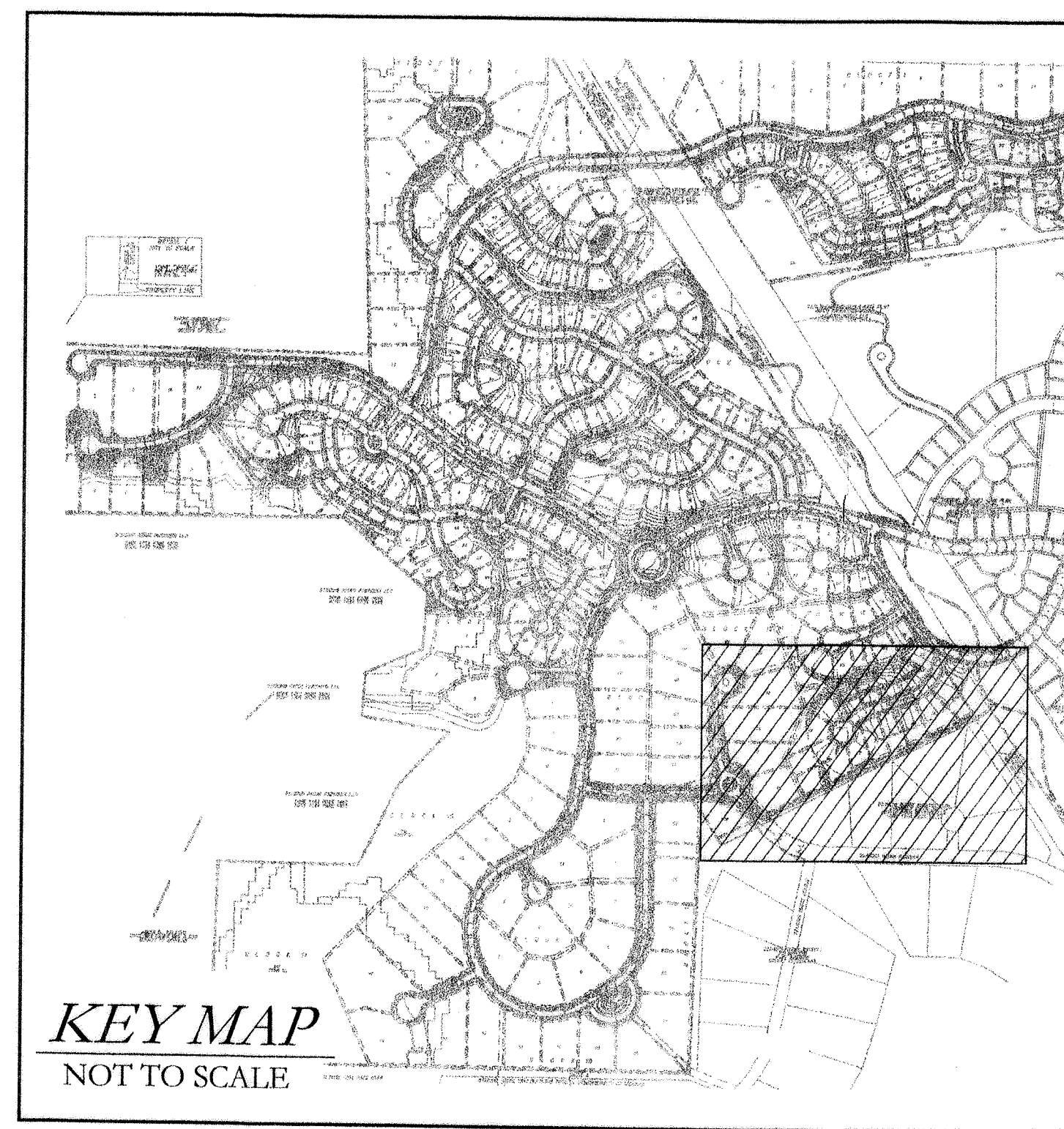
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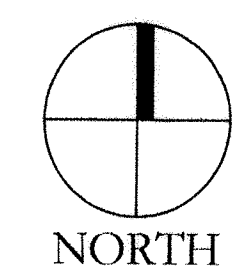
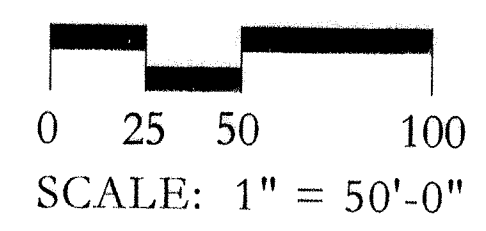
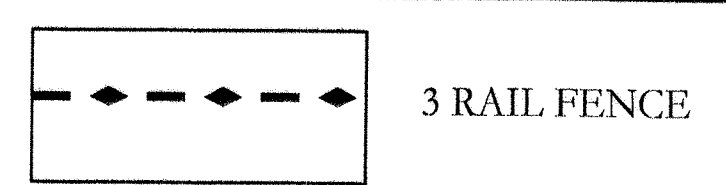
MATCHLINE SEE SHEET 30

EASEMENT TO
PUBLIC SERVICE CO.
BOOK 122, PAGE 111

DIAMOND P
RIDGE
CIRCLE



FENCE LEGEND



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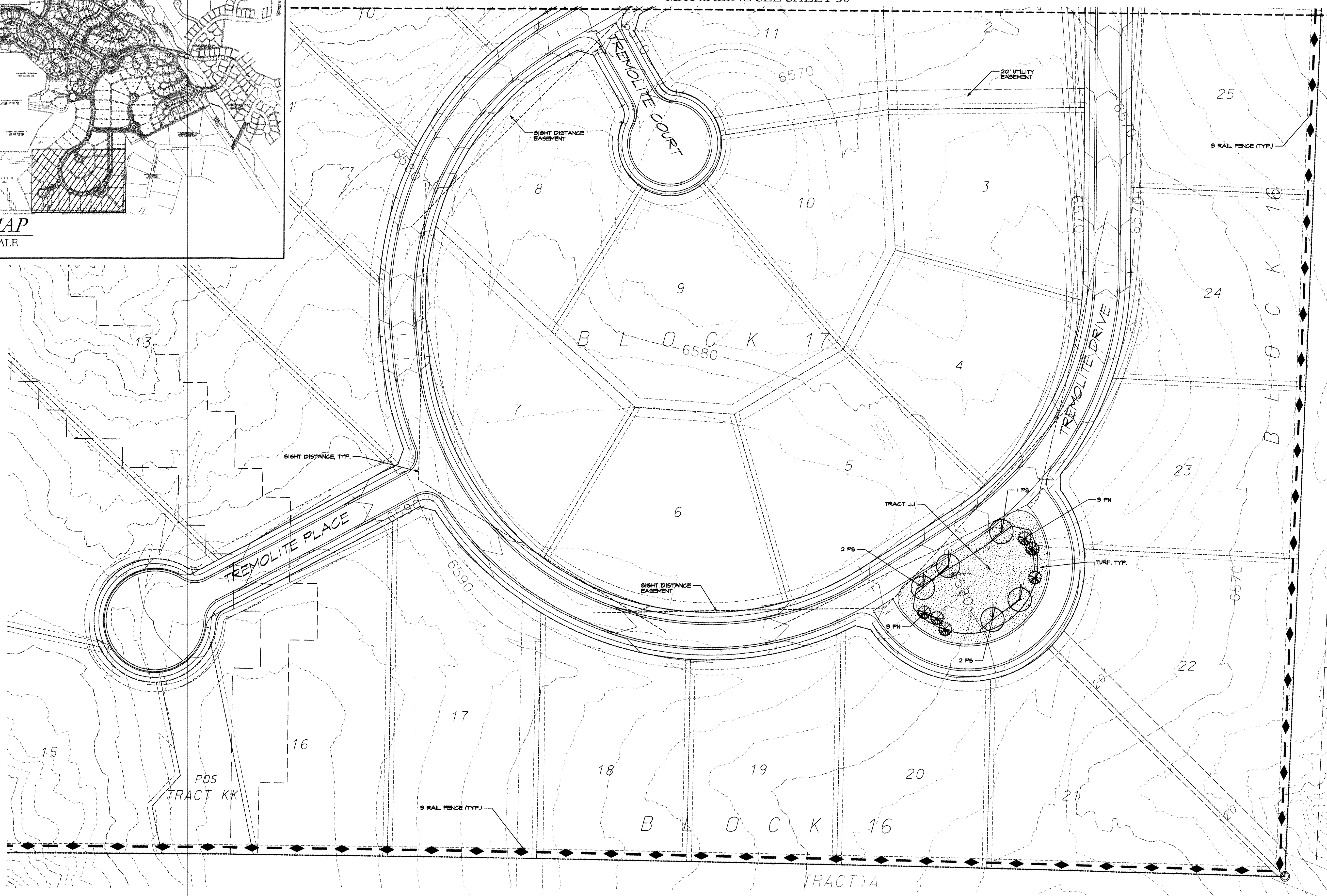
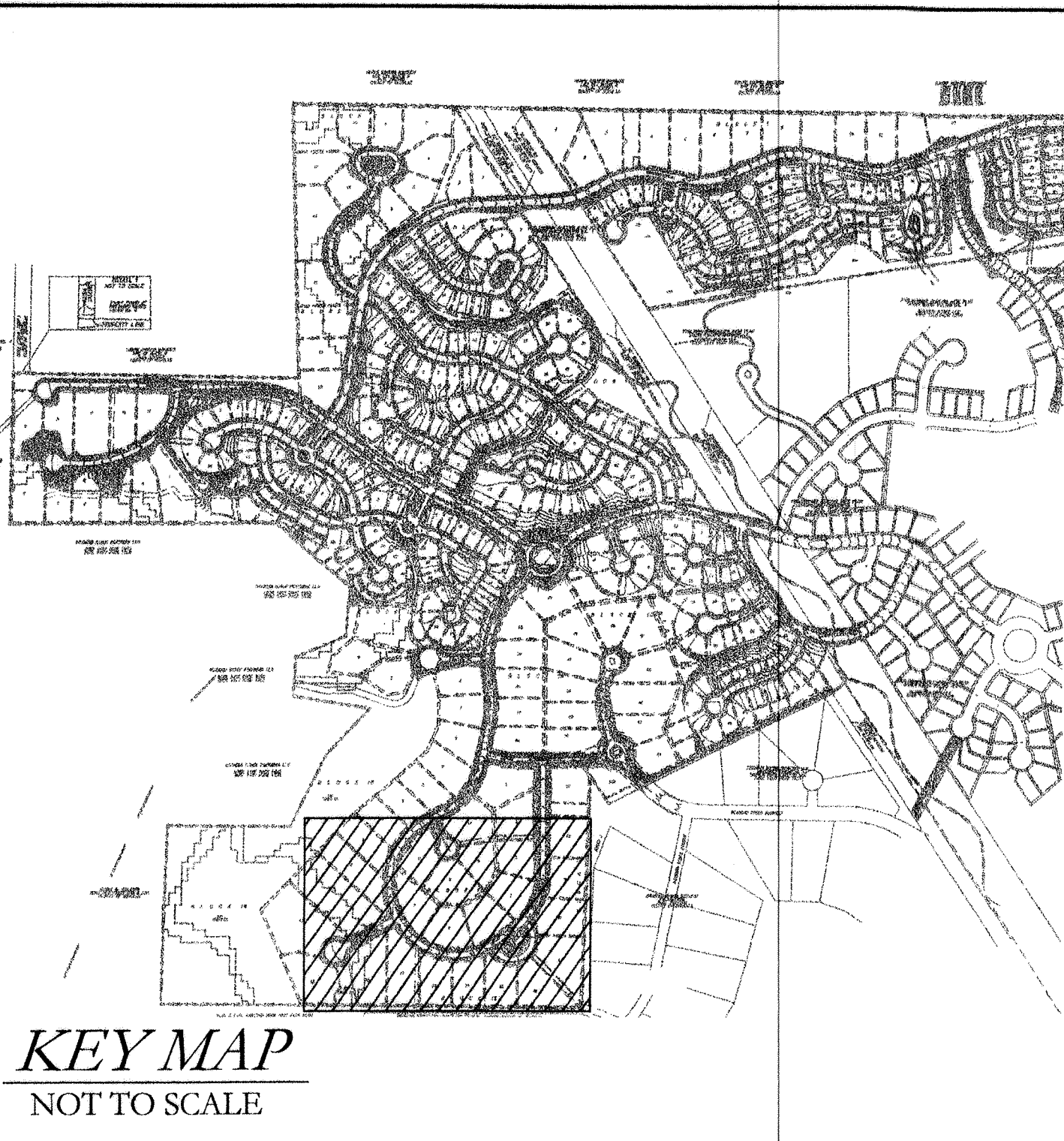
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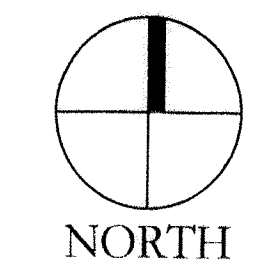
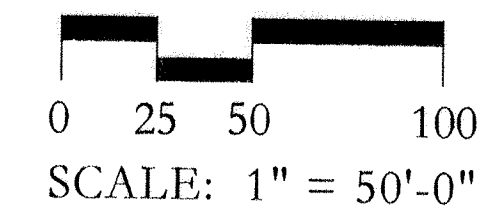
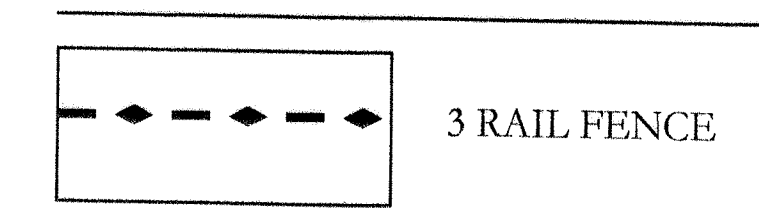
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Scale:
Title:
LANDSCAPE PLAN

MATCHLINE SEE SHEET 30



FENCE LEGEND



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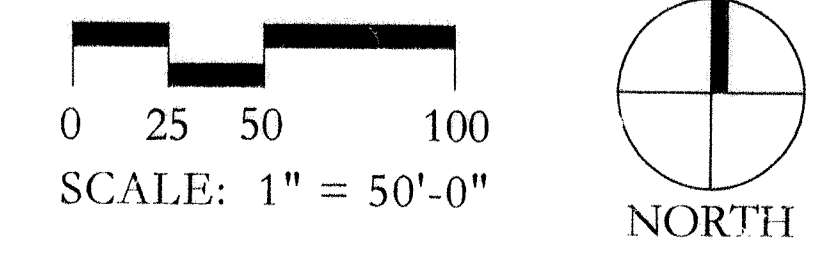
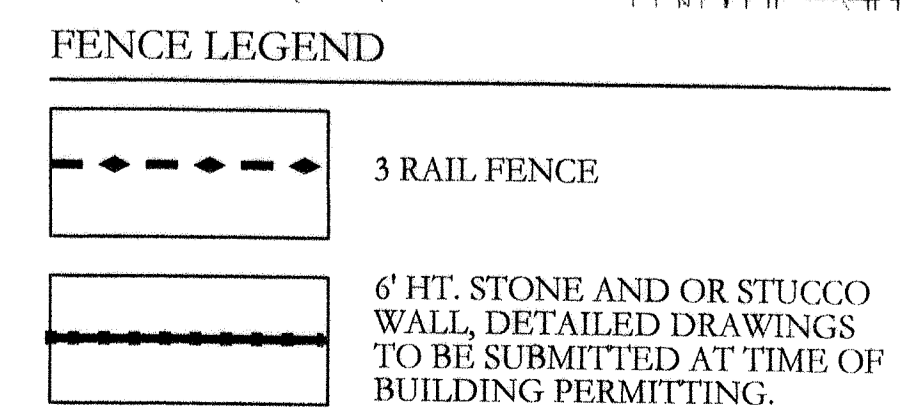
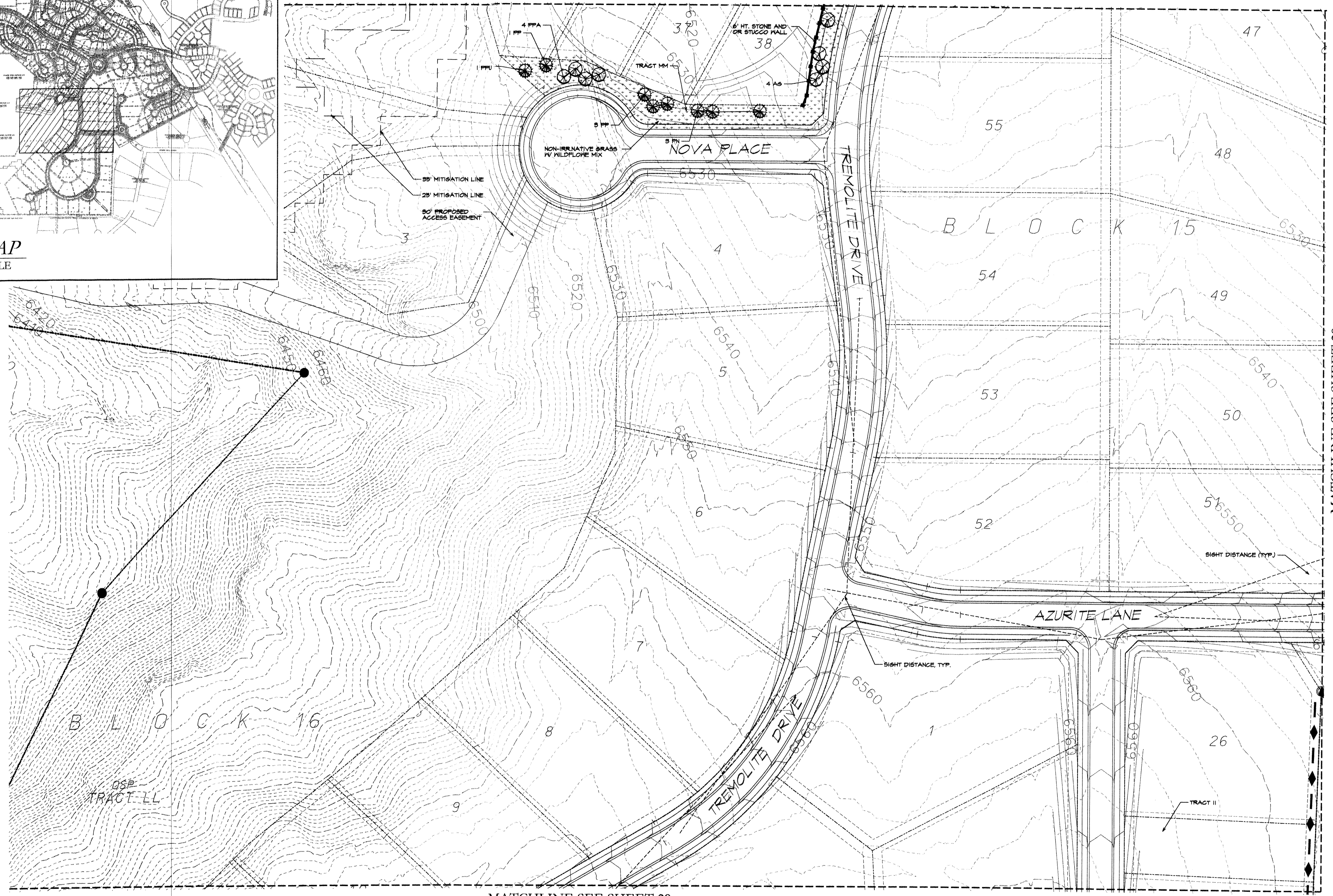
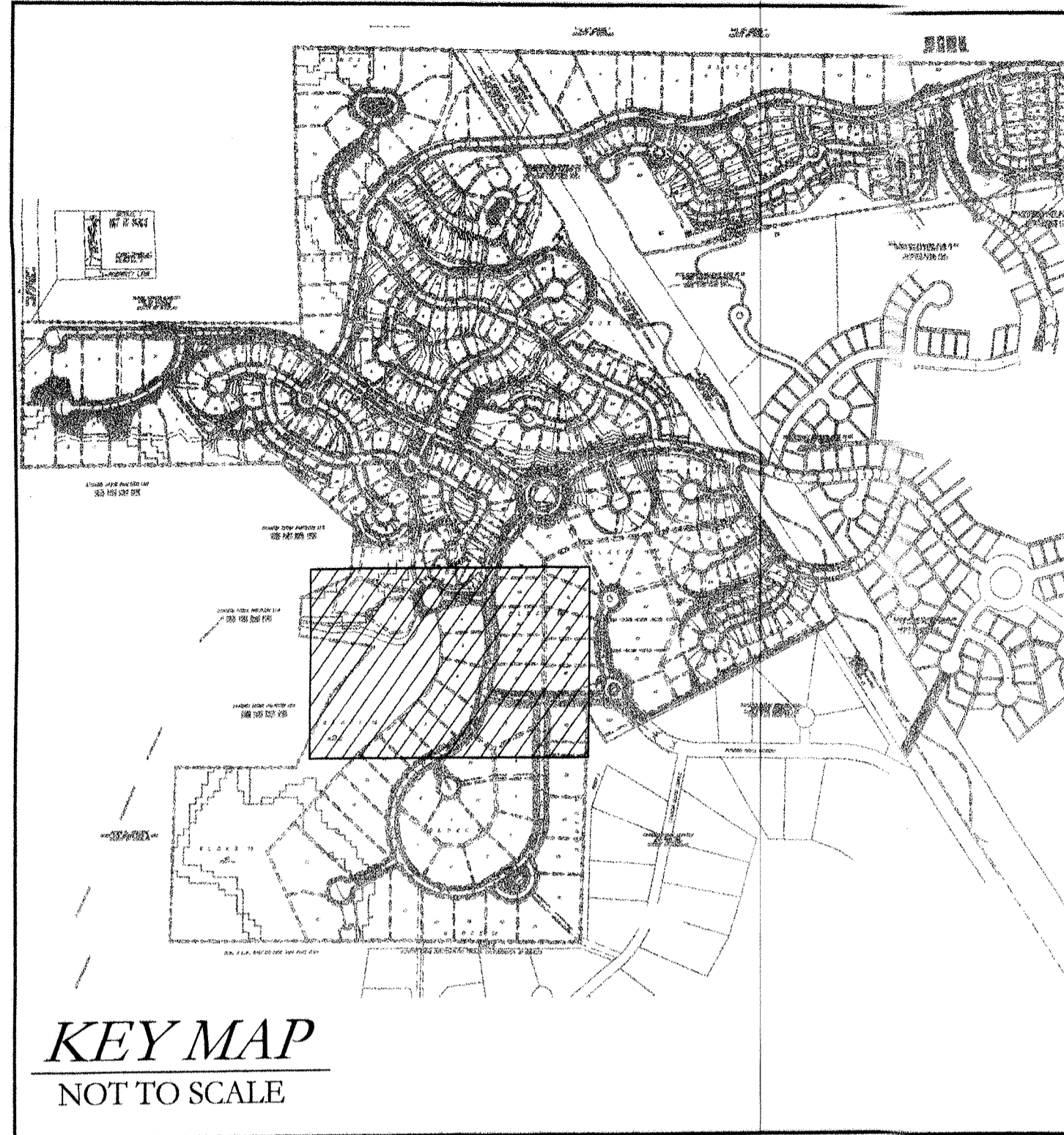
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LANDSCAPE PLAN

MATCHLINE SEE SHEET 31

MATCHLINE SEE SHEET 28

MATCHLINE SEE SHEET 29



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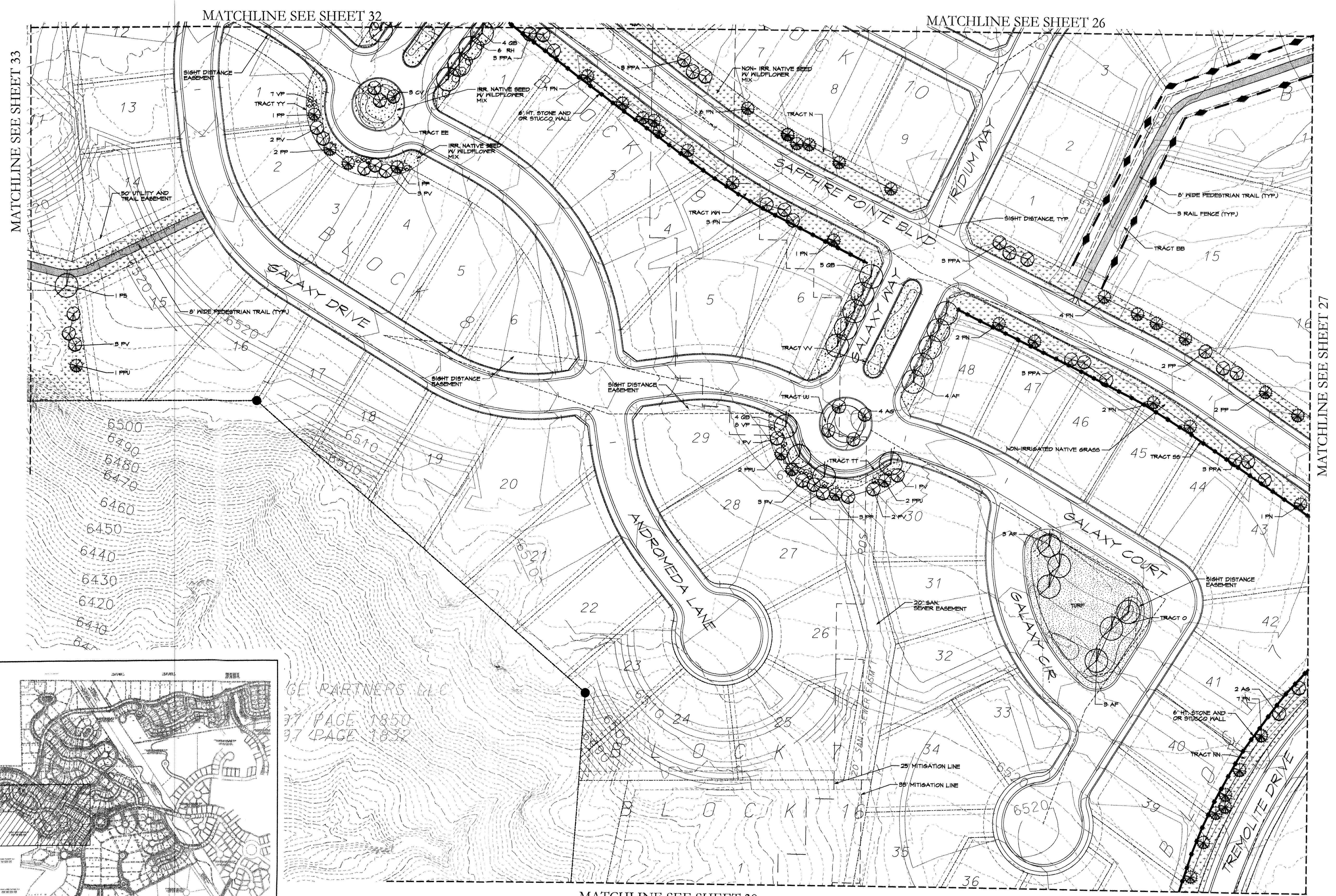
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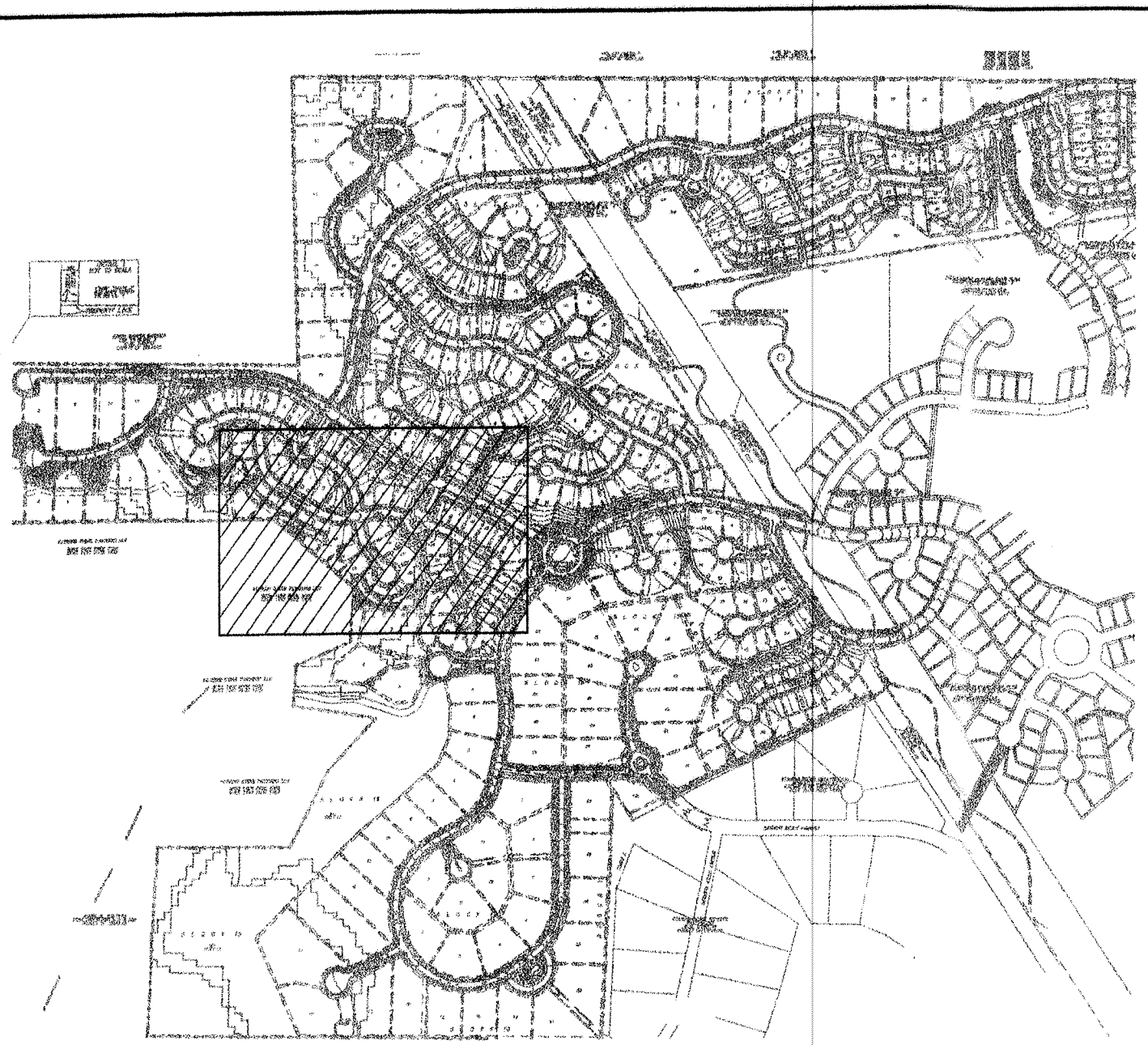
MATCHLINE SEE SHEET 33

MATCHLINE SEE SHEET 32

MATCHLINE SEE SHEET 26

MATCHLINE SEE SHEET 27

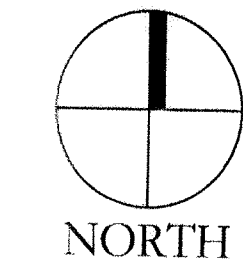
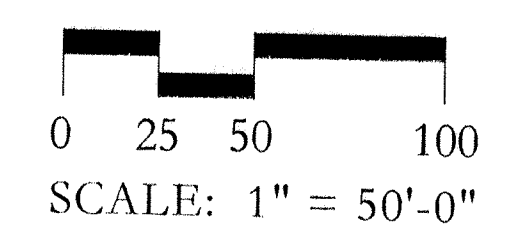
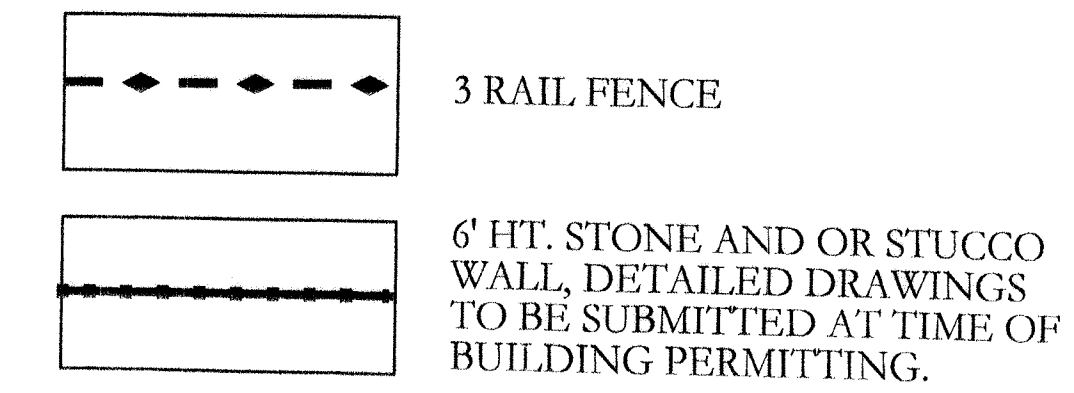
MATCHLINE SEE SHEET 30



KEY MAP
NOT TO SCALE

GE PARTNERS LLC
37 PAGE 1850
37 PAGE 1832

FENCE LEGEND



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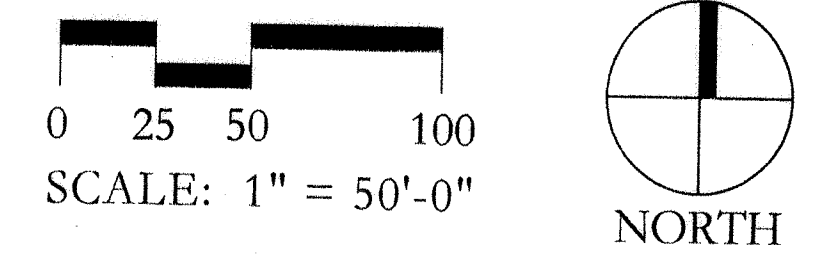
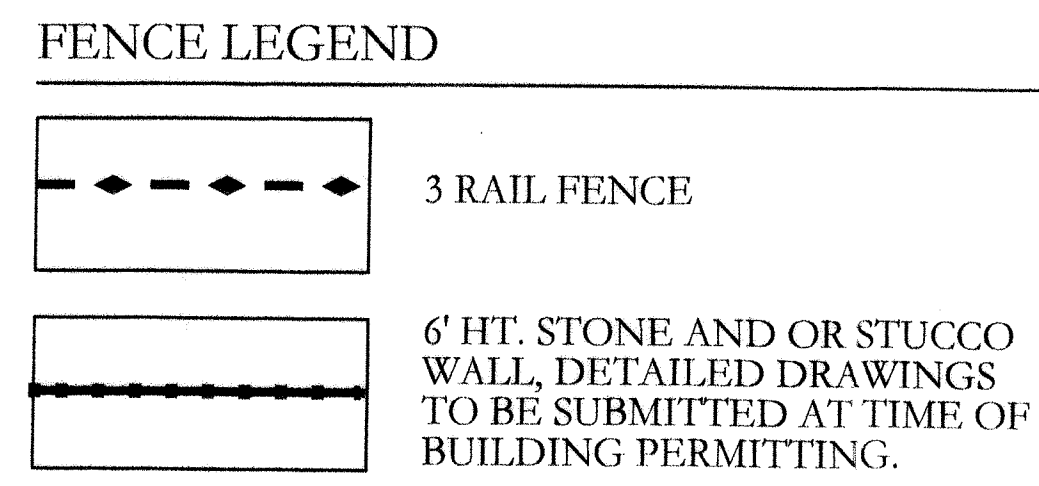
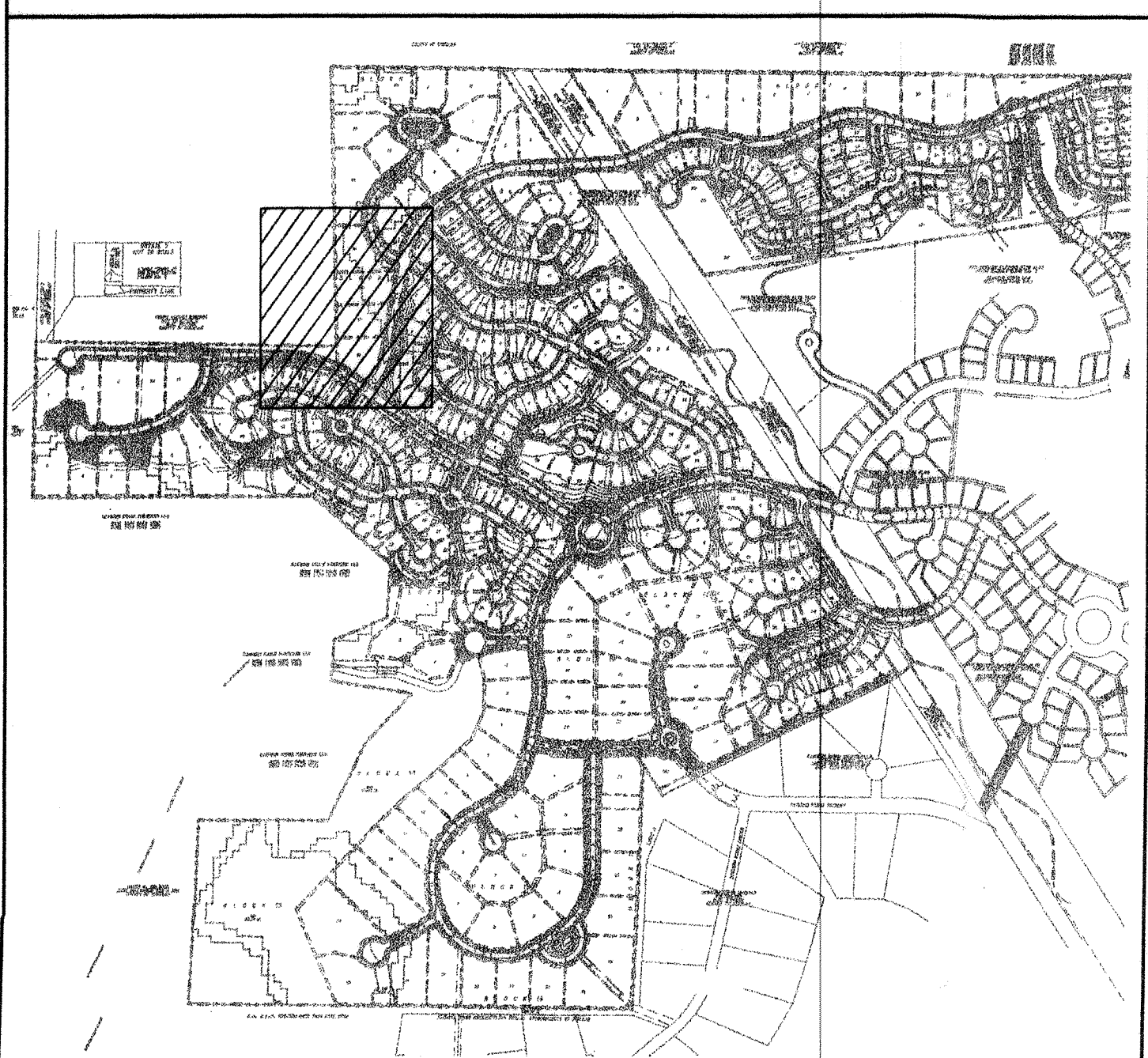
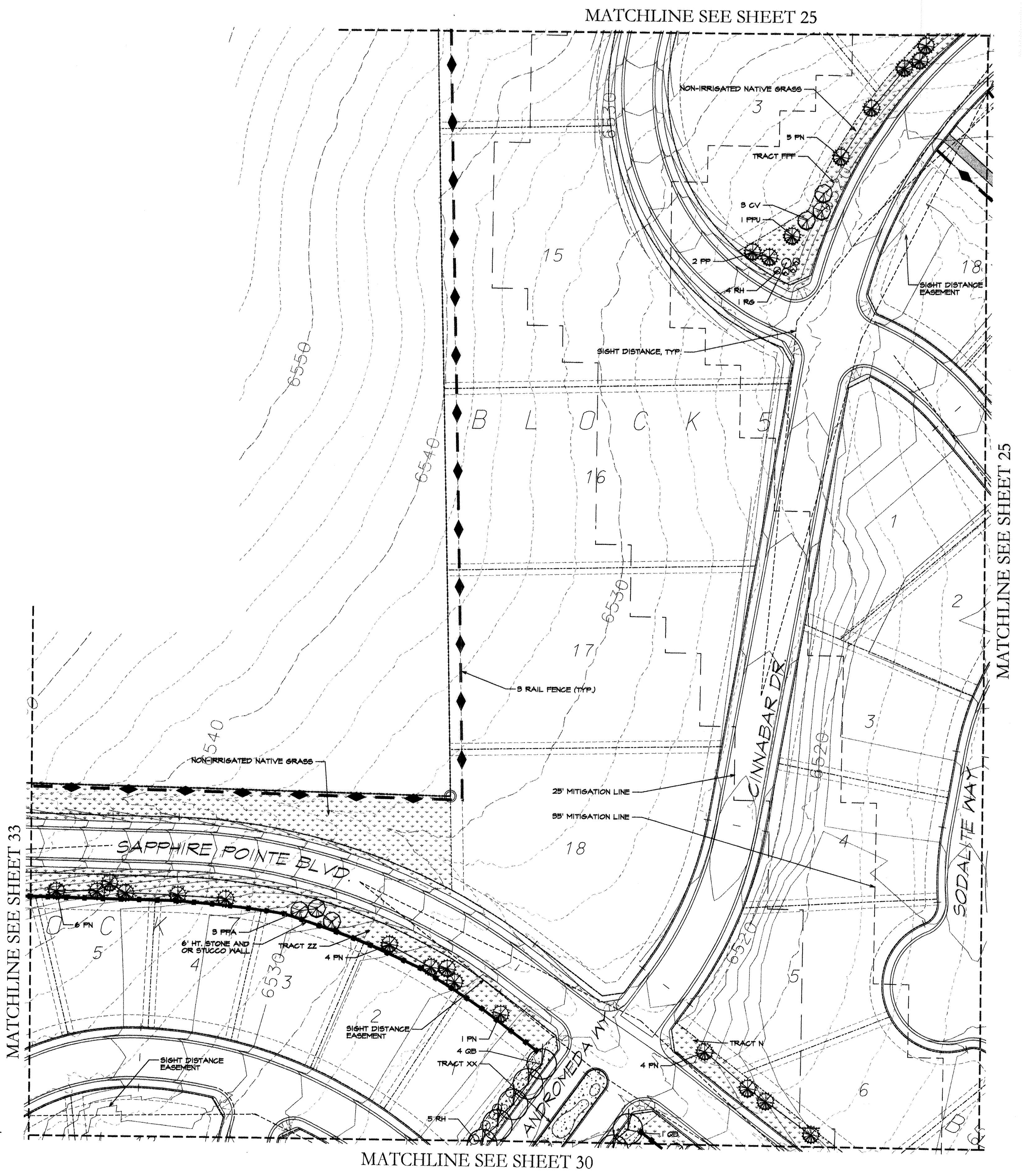
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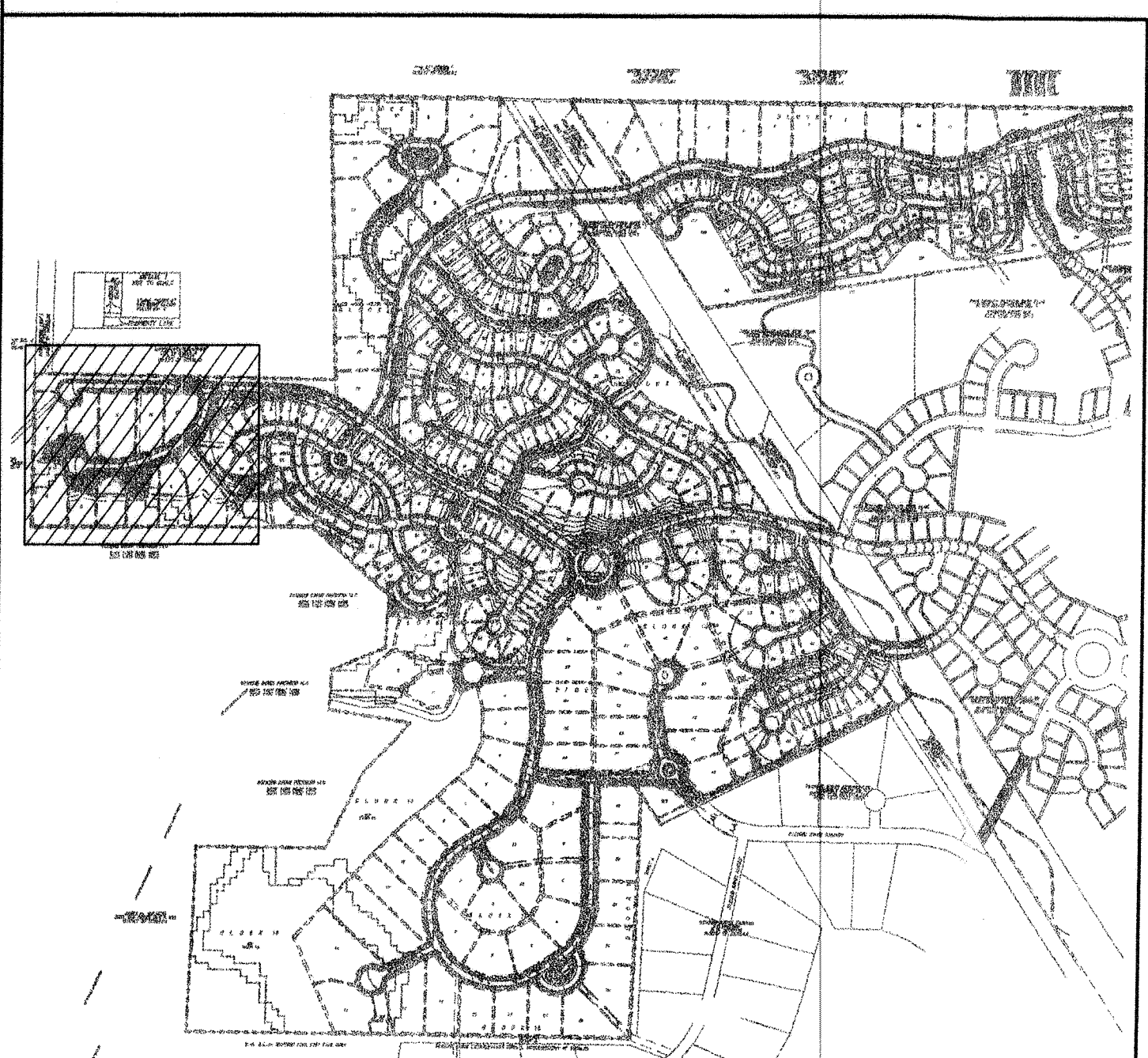
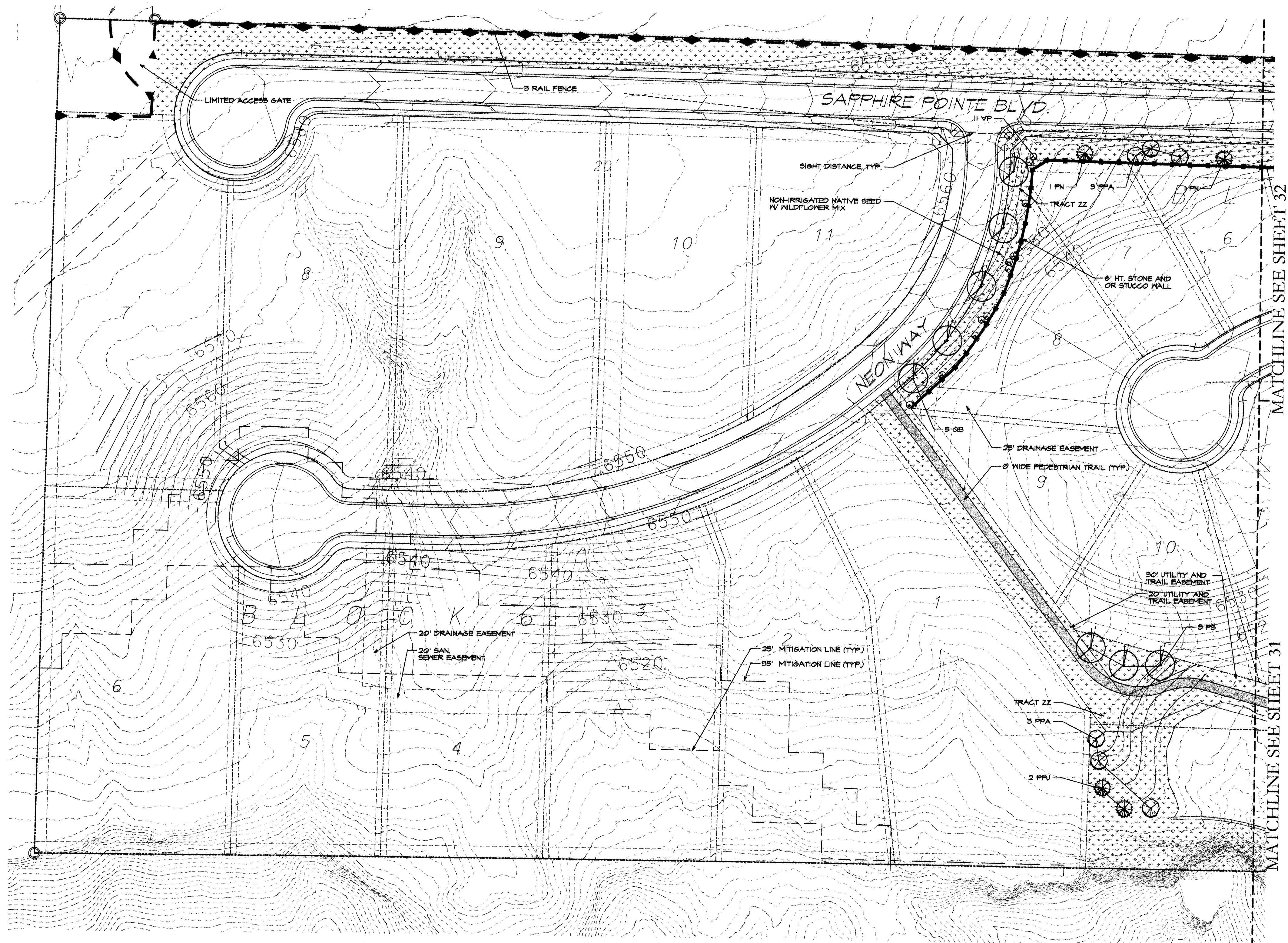
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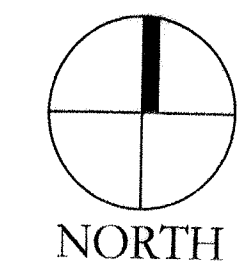
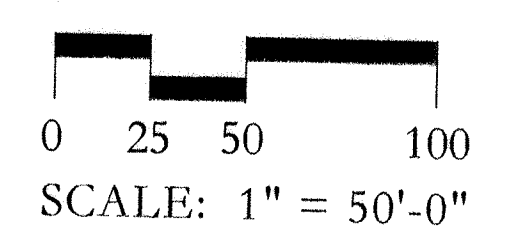
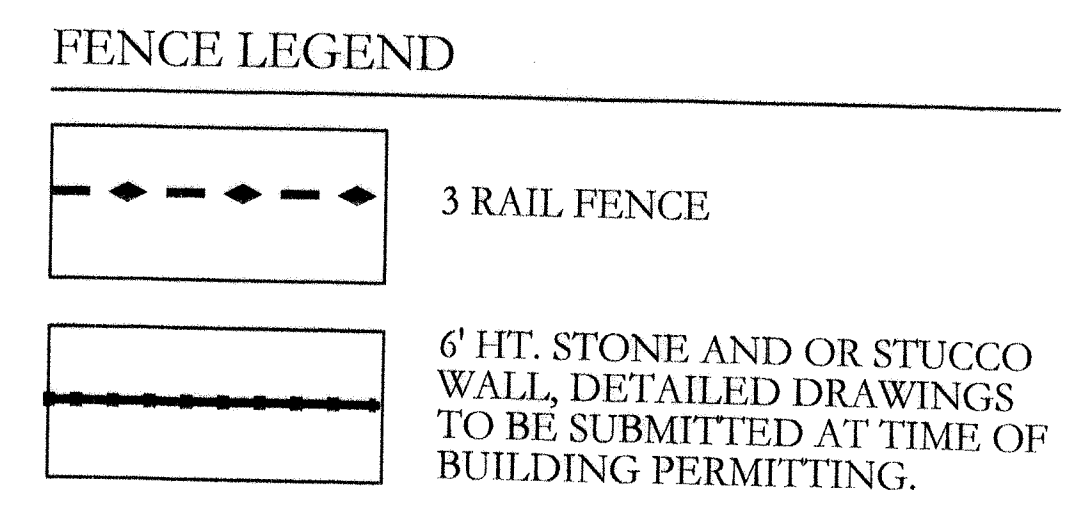
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LANDSCAPE PLAN

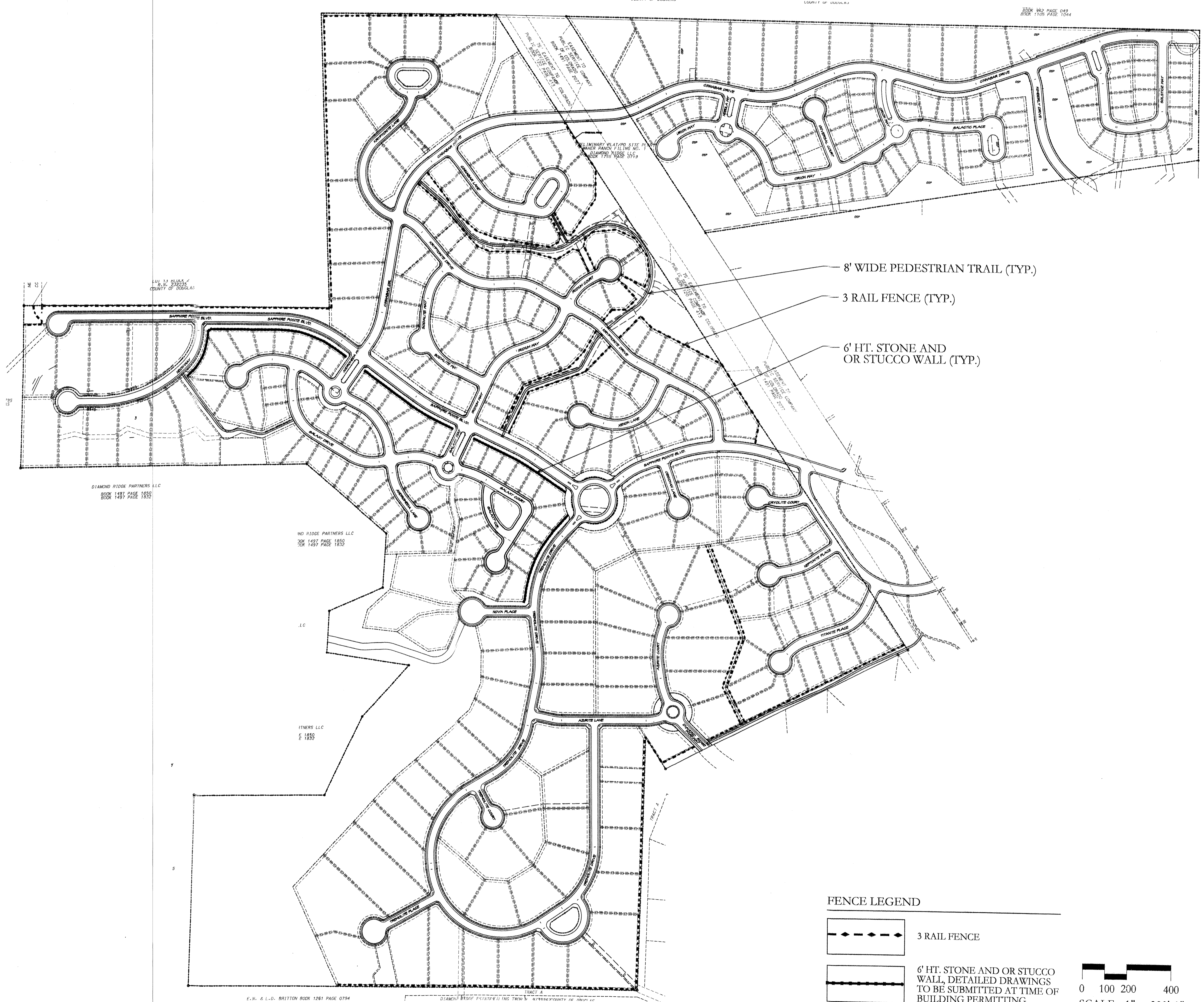
Sheet No. **33**



KEY MAP
NOT TO SCALE



NOT FOR CONSTRUCTION



- 8' WIDE PEDESTRIAN TRAIL (TYP.)
- 3 RAIL FENCE (TYP.)
- 6' HT. STONE AND OR STUCCO WALL (TYP.)

FENCE LEGEND

- 3 RAIL FENCE
- 6' HT. STONE AND OR STUCCO WALL, DETAILED DRAWINGS TO BE SUBMITTED AT TIME OF BUILDING PERMITTING.

0 100 200 400
SCALE: 1" = 200'-0"

NORTH

BRITINA
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Date:
Scale:
Title:
PEDESTRIAN TRAIL & FENCING PLAN

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Project No: DR001

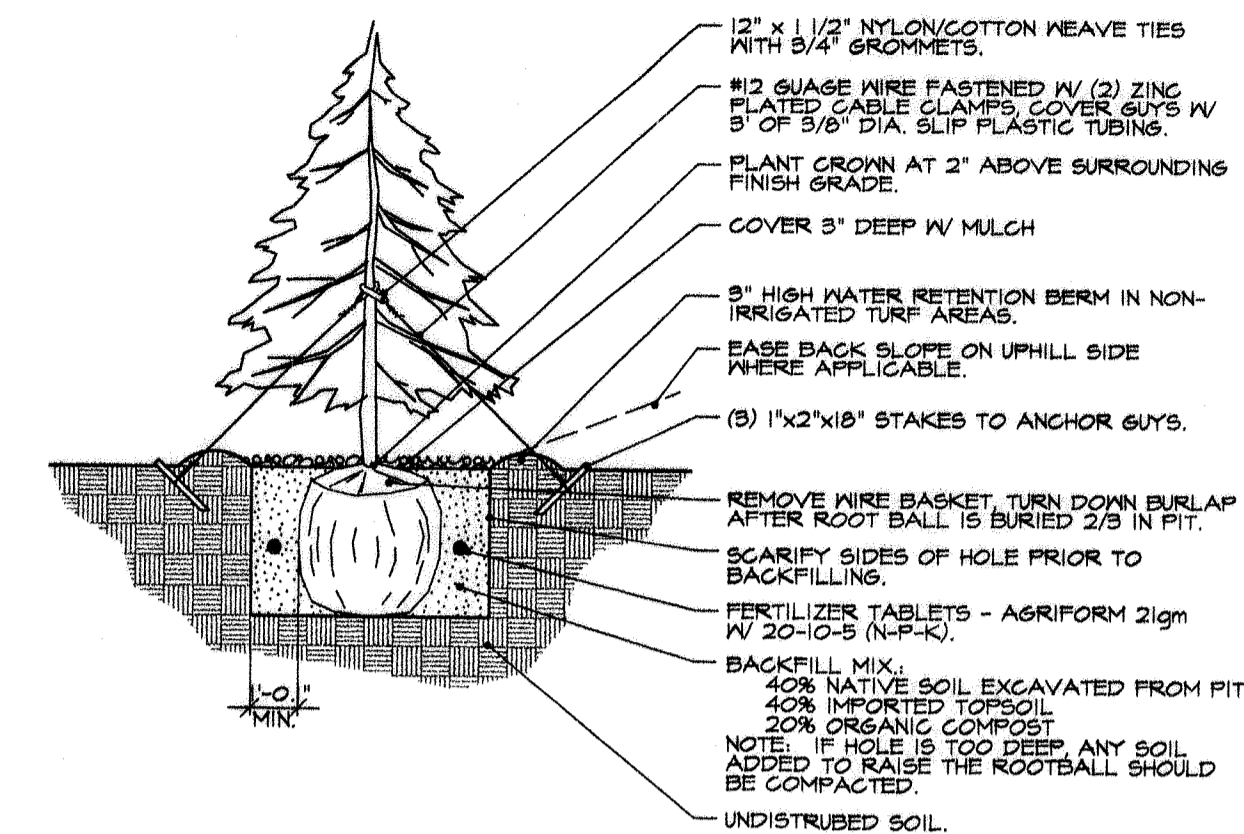
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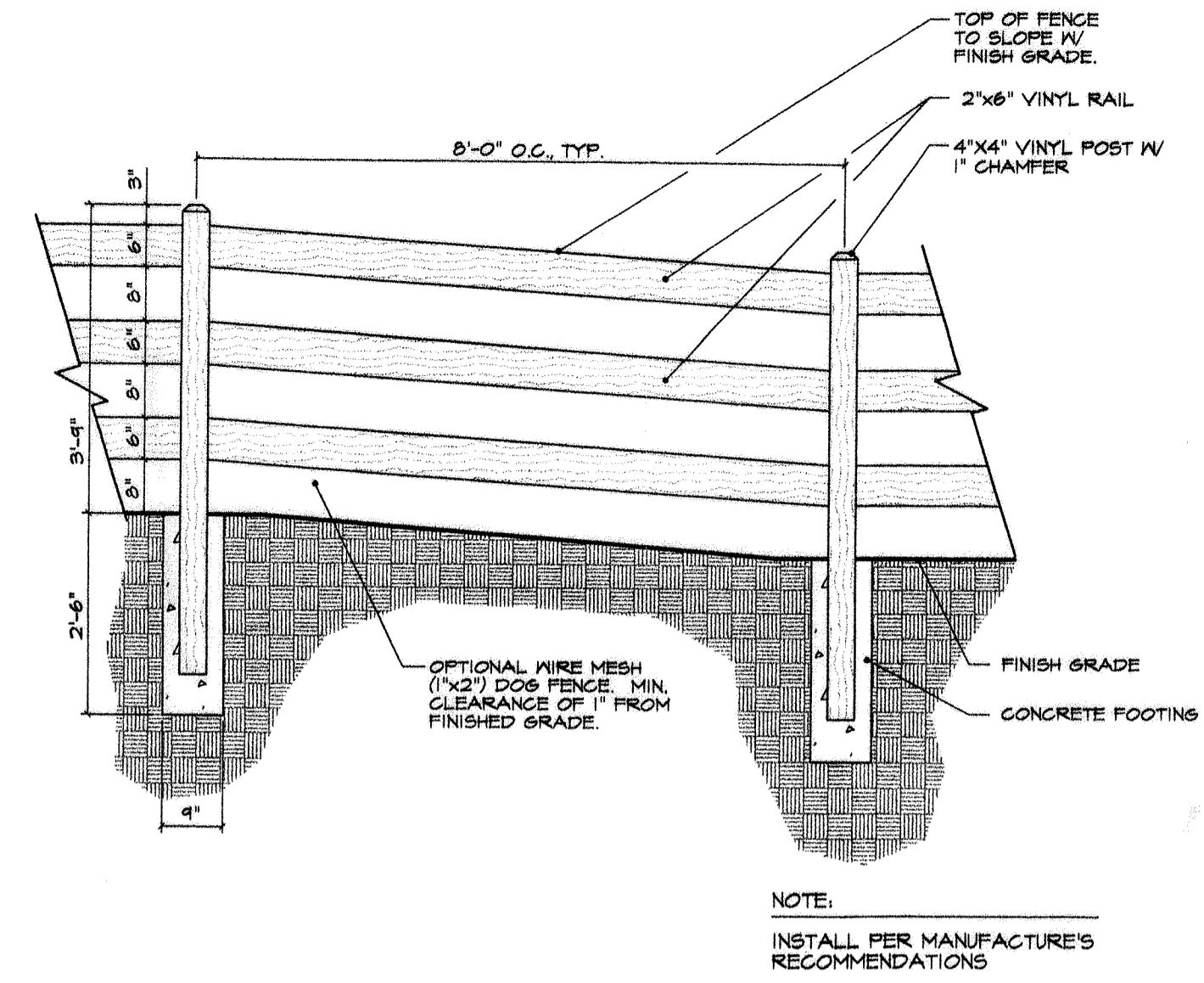
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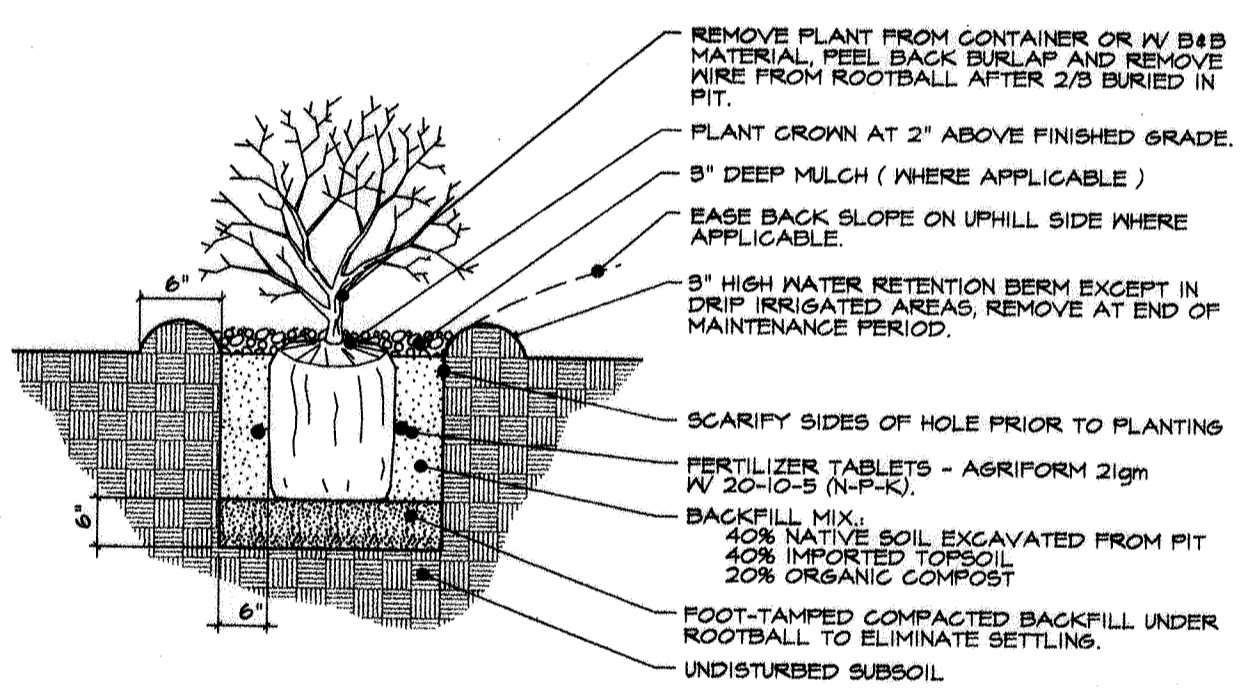
Date:
Scale: SEE DETAILS
Title: LANDSCAPE DETAILS



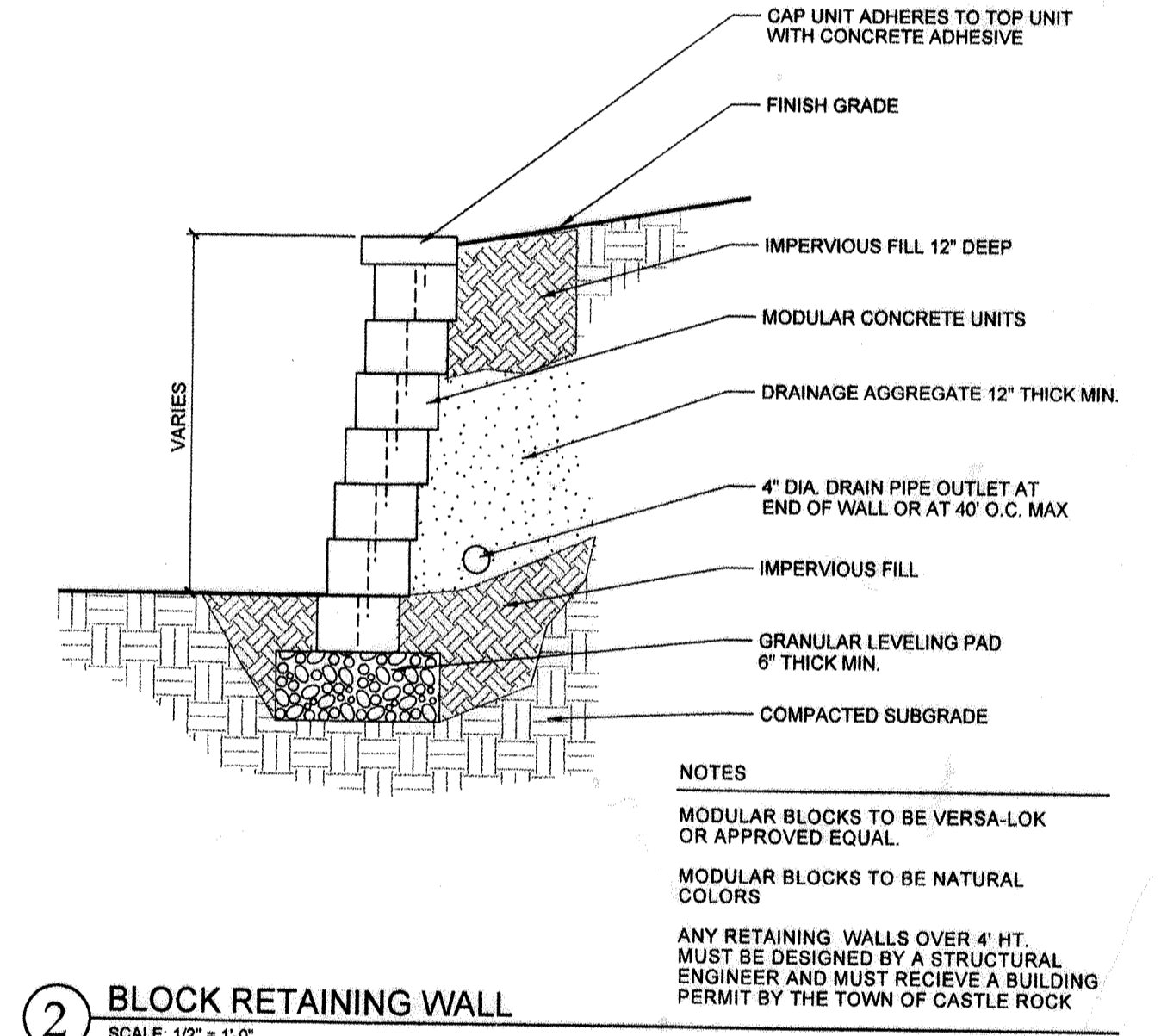
4 EVERGREEN TREE PLANTING AND GUYING
SCALE: 1/4" = 1'-0"



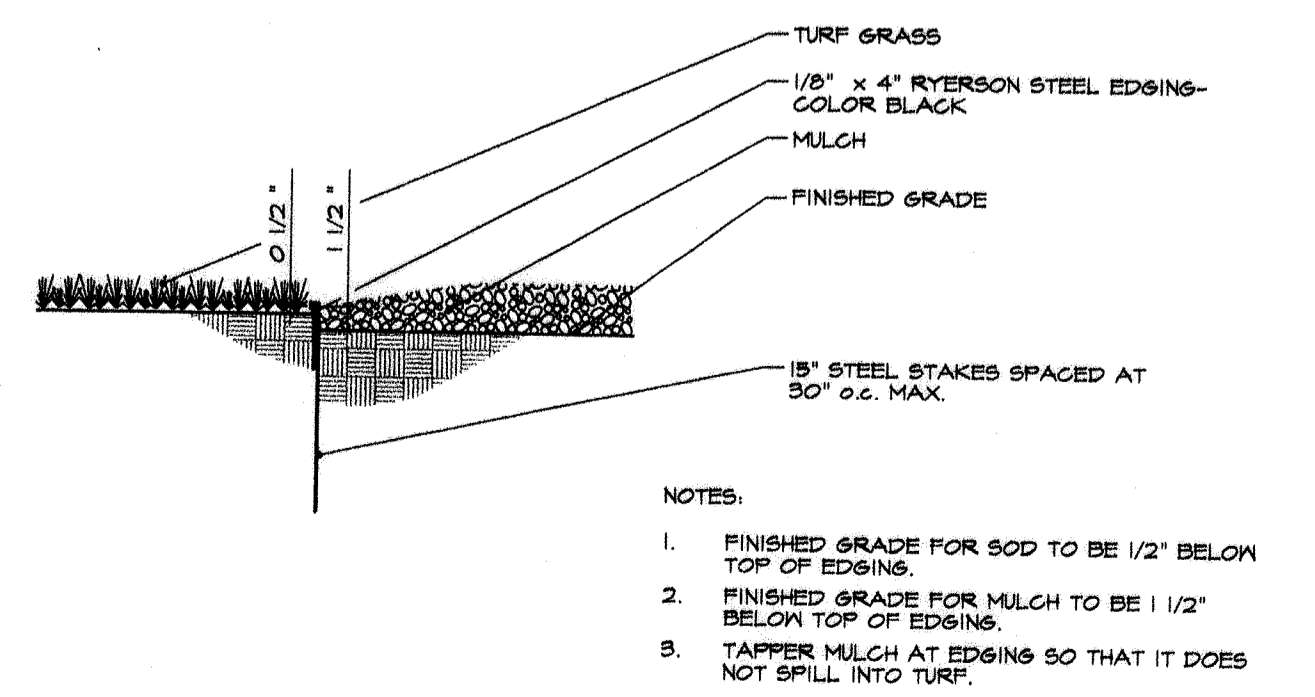
1 THREE RAIL FENCE
SCALE: 1/2" = 1'-0"



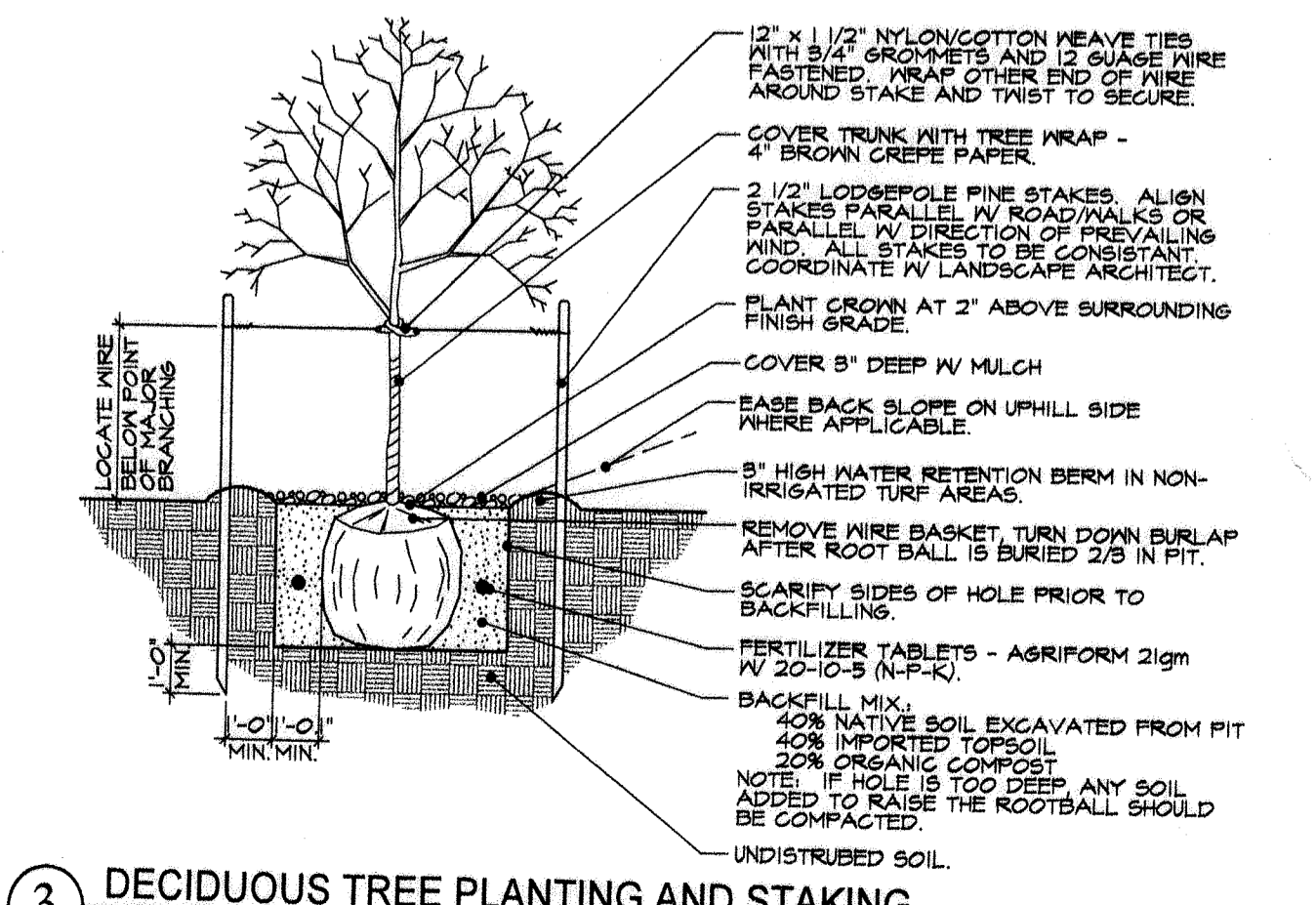
5 TYPICAL SHRUB PLANTING
SCALE: 1/2" = 1'-0"



2 BLOCK RETAINING WALL
SCALE: 1/2" = 1'-0"



0 METAL EDGING
SCALE: 1" = 1'-0"



3 DECIDUOUS TREE PLANTING AND STAKING
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION