

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$91.00
10 PGS



2004073177 10 PGS

2004073177
07/14/2004 03:52 PM

PLAT IDENTIFICATION SHEET

✓ KDB Homes, Inc.

GRANTOR(owner)

✓ Maher Ranch Filing 1, Tract D Final PD Site Plan

GRANTEE(name of plat)

UNOFFICIAL COPY

Maher Ranch

Subdivision/Condo Name

1

Filing

Phase

Lot

Building

Block

Unit

✓ 23

7

67

OLD LEGAL(Section)

(Township)

(Range)

FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 , TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TITLE SHEET

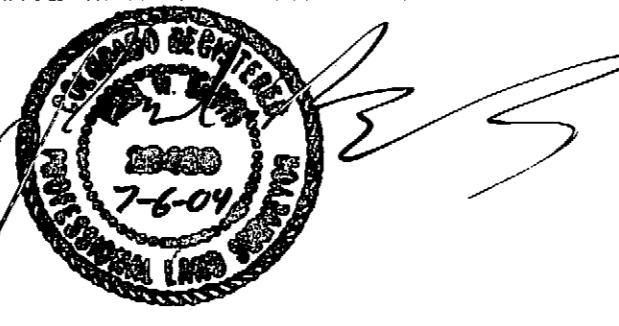
PROPERTY DESCRIPTION

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 AND THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING DESCRIBED AS FOLLOWS:
TRACT D, MAHER RANCH FILING NO. 1, RECEPTION NO. 2002092550
CONTAINING: 8.34 ACRES, MORE OR LESS.

SURVEYOR'S STATEMENT

I, PAUL W. SMITH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT THE GRAPHIC BOUNDARY DEPICTED ON THIS FINAL PD SITE PLAN IS A TRUE AND ACCURATE REPRESENTATION OF THE OFFICIALLY RECORDED LEGAL DESCRIPTION. FURTHERMORE, I DO HEREBY ATTEST THAT THIS PRELIMINARY PLAN IS IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK AND STATE OF COLORADO LAND SUBDIVISION REGULATIONS.

PAUL W. SMITH
PROFESSIONAL LAND SURVEYOR COLORADO REG. NO. 29430



TITLE CERTIFICATION

I, Paul Masovero, BEING AN AUTHORIZED REPRESENTATIVE OF First American Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND DEDICATION. SIGNED THIS 2nd DAY OF July, 2004.

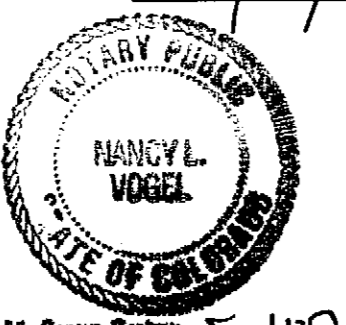
Paul Masovero
AUTHORIZED REPRESENTATIVE
First American Title Insurance
TITLE INSURANCE COMPANY

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF July, 2004

BY Paul Masovero
WITNESS MY HAND AND SEAL

Nancy J. Vogel
NOTARY PUBLIC



MY COMMISSION EXPIRES: 5-11-06

NOTES:

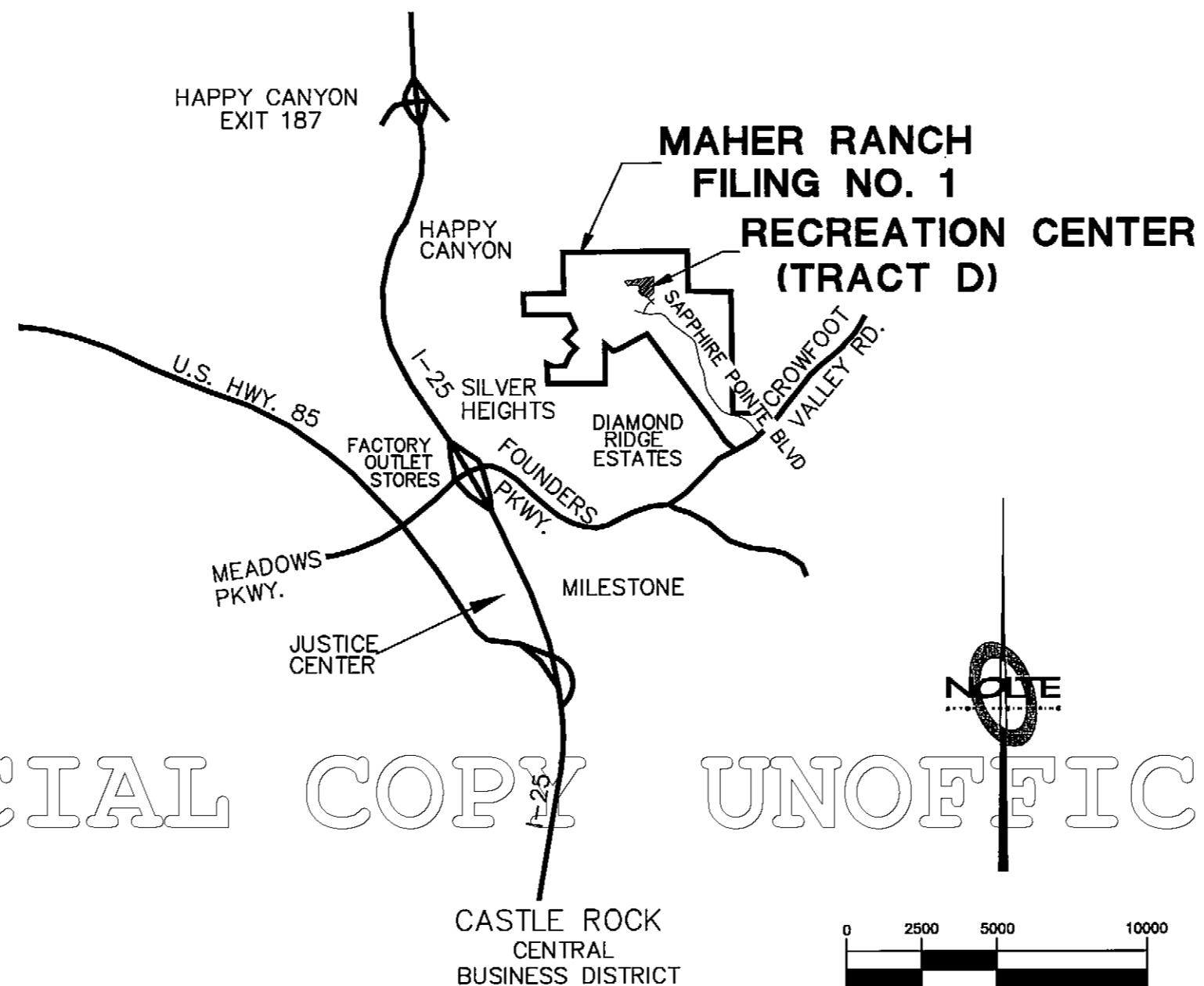
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- NO FEMA REGULATED FLOODPLAIN EXISTS WITHIN THE BOUNDARIES OF THIS SITE PLAN.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- ANY DEVIATION FROM TOWN REGULATIONS OR STANDARDS DEPICTED IN THIS PRELIMINARY PLAN AND FINAL PD SITE PLAN IS SUBJECT TO FINAL REVIEW AND APPROVAL OF THE FINAL PLAN AND ASSOCIATED DOCUMENTS.
- NO SOLID OBJECT EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET INCLUDING, BUT NOT LIMITED TO, THE BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES AND BERMS, SHALL BE PLACED IN A SIGHT DISTANCE EASEMENT, AS SHOWN ON THIS SITE PLAN. TREES WITH A DIAMETER NO GREATER THAN TWELVE (12) INCHES AND A BRANCHING HEIGHT NO LESS THAN EIGHT (8) FEET WILL BE ALLOWED IN A SIGHT DISTANCE EASEMENT, AS LONG AS IT CAN BE DEMONSTRATED THAT THESE TREES WILL NOT NEGATIVELY IMPACT THE VEHICULAR SIGHT DISTANCE AT THE INTERSECTION.
- THE PD/ZONING MAP FOR MAHER RANCH FILING NO. 1 WAS RECORDED ON 10/26/00 AT RECEPTION NO. 00076396 IN THE RECORDS OF DOUGLAS COUNTY, COLORADO.

VARIANCES:

THE FOLLOWING VARIANCE HAS BEEN APPROVED BY THE TOWN OF CASTLE ROCK. WHERE THE TOWN OF CASTLE ROCK, STATE OF COLORADO, STANDARDS AND STATUTES AND THESE PLANS CONFLICT FOR WORK COVERED BY THE FOLLOWING APPROVED VARIANCES THE PLANS SHALL CONTROL.

VARIANCE

- 1) CURB CUTS AND 24' DRIVE ISLES BE ALLOWED AT THE TWO ENTRANCES TO THE RECREATION CENTER. V2004-19 Rev.



VICINITY MAP

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE WEST HALF OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO AS MONUMENTED ON THE WEST END AT THE NORTHWEST CORNER OF SAID SECTION 24 BY A 3-1/4 INCH ALUMINUM CAP STAMPED "1996, T7S, R67W, S14/S13/S23/S24, 10717" AND ON THE EAST END AT THE WEST 1/16 CORNER OF SAID SECTION 24 BY A 3-1/4 INCH ALUMINUM CAP STAMPED "1997, SEC.13/ SEC.24, W1/16, T7S, R67W, 10717". THE BEARING OF SAID LINE IS S89 42'31"E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK:

SOUTHWEST CORNER OF SECTION 24. FOUND 2 1/2" ALUM. CAP. THIS CORNER IS PART OF THE DOUGLAS COUNTY GPS CONTROL NETWORK, POINT NO. 2020010 ELEVATION: 6486.422 FEET

SITE DATA:

ADDRESS:	SOAPSTONE WAY CASTLE ROCK, COLORADO
PRESENT ZONING:	OSP
PROPOSED ZONING:	OSP
PROPOSED USE:	RECREATION CENTER W/ OUTDOOR POOL
GROSS FLOOR AREA:	4568 SF
LOT AREA:	363,317 SF - 8.34 ACRES
BUILDING FOOTPRINT:	2338.6 SF
PARKING LOT:	12,900 SF
PARKING SPACES REQUIRED:	20 (4/1000 s.f. GFA)
PARKING SPACES PROVIDED:	33 + 2 HC
MAXIMUM BUILDING HEIGHT:	38'

CONTACT LIST

CIVIL ENGINEER / SURVEYOR
NOLTE ASSOCIATES
RICK J. MOORE
7000 SOUTH YOSEMITE STREET, SUITE 200
ENGLEWOOD, CO 80112
(303) 220-1001
FAX (303) 220-9001

DEVELOPER
CONTINENTAL HOMES
DAVID BOTEN
7600 E. ORCHARD RD. SUITE 165
ENGLEWOOD, CO 80111
(303) 488-0061
FAX: (303) 488-0206

ARCHITECT
DEL D. STIEGEMEIER ARCHITECT, P.C.
2865 SOUTH COLORADO BLVD.
SUITE 318
DENVER COLORADO 80222
(303) 759-2347

LANDSCAPE ARCHITECT
INNOVATIVE LANDSCAPES
SOL BOUTET
(303) 331-1509

SHEET INDEX

- | | |
|-----|---------------------|
| 1 | TITLE SHEET |
| 2 | SITE PLAN |
| 3 | GRADING PLAN |
| 4 | UTILITY PLAN |
| 5-6 | LANDSCAPE PLAN |
| 7 | LIGHTING PLAN |
| 8-9 | BUILDING ELEVATIONS |

OWNER CERTIFICATION

THE UNDERSIGNED IS THE OWNER OF CERTAIN LANDS KNOWN HEREIN AS THE MAHER RANCH FILING 1, TRACT D IN THE TOWN OF CASTLE ROCK, KDB HOMES, INC., A DELAWARE CORPORATION

David Boten Vice President
MANAGER/
SIGNED THIS 2nd DAY OF July, 2004
COUNTY OF DOUGLAS)

STATE OF COLORADO)
THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF July, 2004 BY David Boten AS VICE PRESIDENT OF LAND DEVELOPMENT

WITNESS MY HAND AND SEAL
MY COMMISSION EXPIRES: 5-11-06 Nancy J. Vogel
NOTARY PUBLIC



TOWN CERTIFICATION

PLANNING COMMISSION RECOMMENDATION

THE MAHER RANCH FILING 1, TRACT D FINAL PD SITE PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 8th DAY OF JULY, 2004.

Chad Cowie
CHAIRMAN
DIRECTOR OF DEVELOPMENT SERVICES

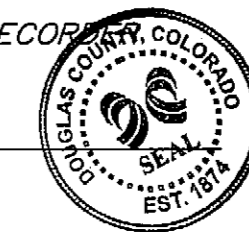
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 252

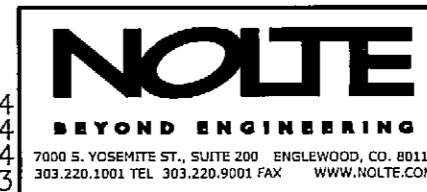
P.M. ON THE 14th DAY OF July, 2004
RECEPTION NO. 2004073177

DOUGLAS COUNTY CLERK AND RECORDER

BY: Marian Jenkins
DEPUTY



REV 06/2004
REV 04/2004
REV 03/2004
REV 12/2003



FINAL PD SITE PLAN
MAHER RANCH FILING 1, TRACT D

DATE: 7/15/2003

SCALE: N/A

SHEET 1 OF 9

FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

DATE: 05/29/04, TIME: 3:31 P.M., DRAWING NAME: FPD02.DWG, SHEET: NONE, SERVICES: NONE, PLOTTER: HPGL, PLOTTER MODEL: HPGL, PLOTTER DRIVER: HPGL, PLOTTER LANGUAGE: NONE, PLOTTER MODE: NONE

ADDRESS: 9999-9999, FPP/IBASE, RescPDR, FPP/IBASE, pdr-9999, 01PRUT

UNPLATTED

TRACT D
OSP
363,317 SF.
8.341 AC.

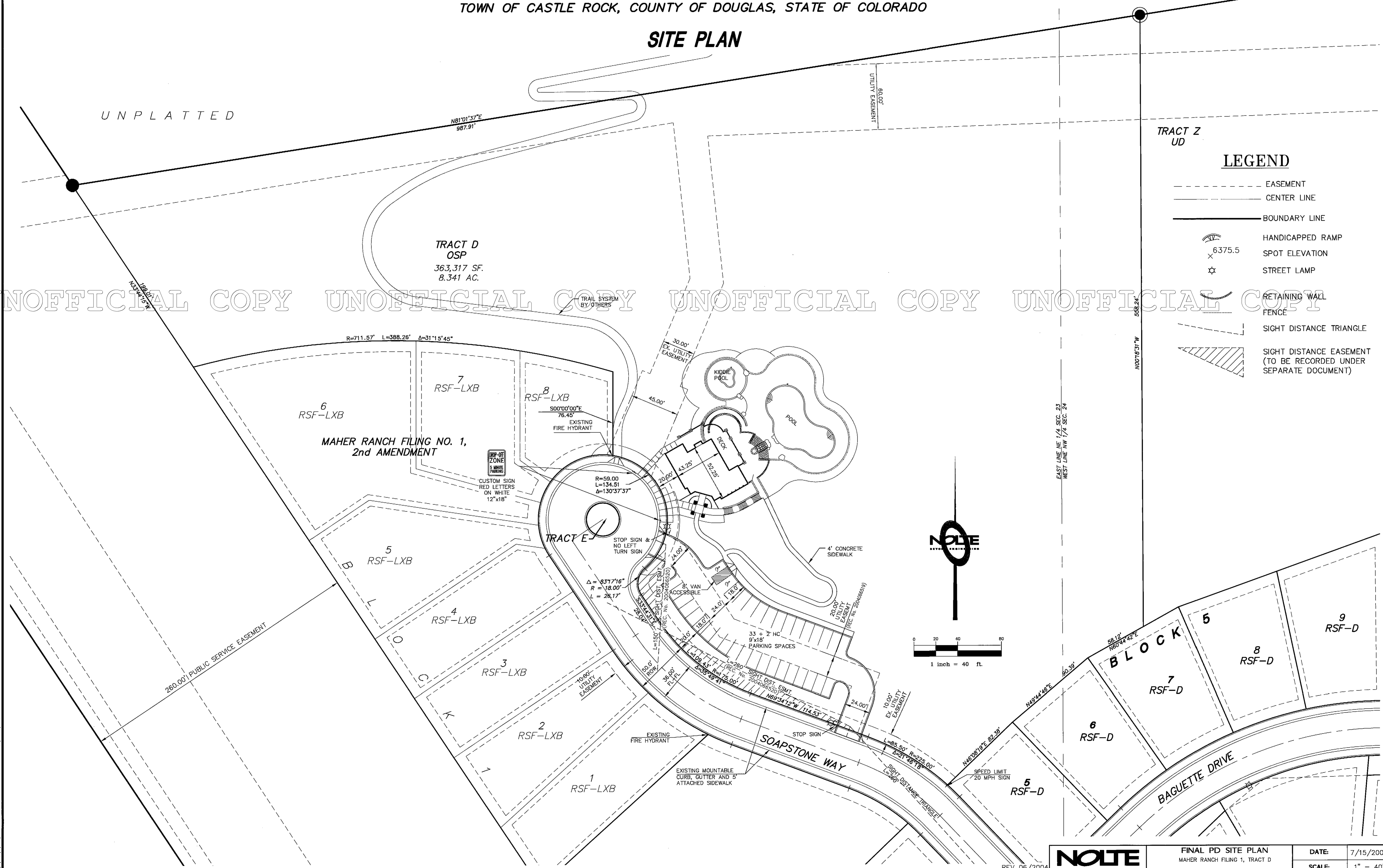
MAHER RANCH FILING NO. 1,
2nd AMENDMENT

TRACT Z
UD

LEGEND

- EASEMENT
- CENTER LINE
- BOUNDARY LINE
- HANDICAPPED RAMP
- 6375.5 SPOT ELEVATION
- STREET LAMP
- RETAINING WALL
- FENCE
- SIGHT DISTANCE TRIANGLE
- SIGHT DISTANCE EASEMENT (TO BE RECORDED UNDER SEPARATE DOCUMENT)

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

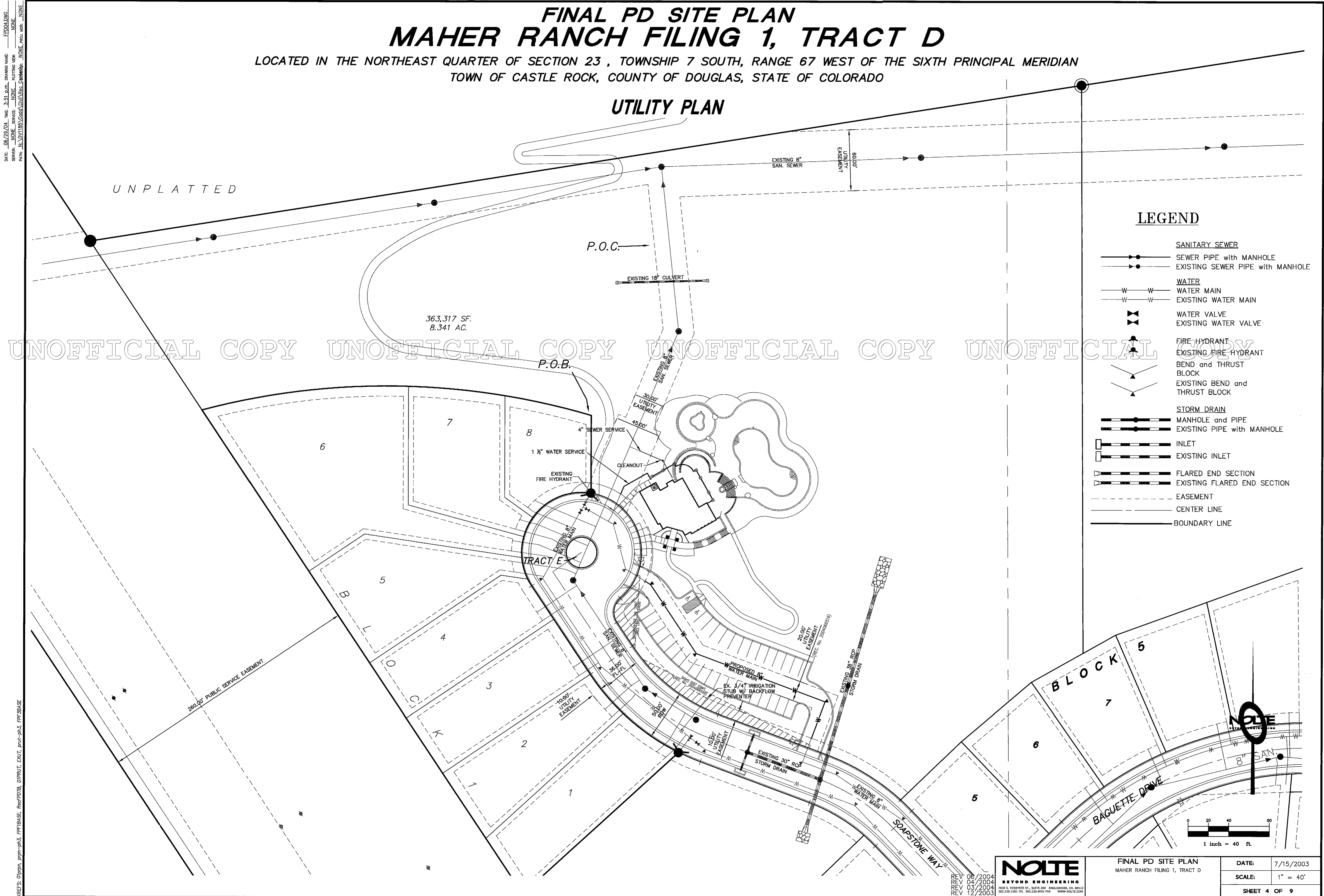


	FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D	DATE: 7/15/2003
		SCALE: 1" = 40'
		SHEET 2 OF 9

FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

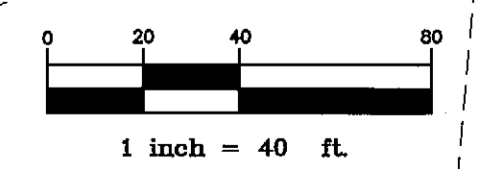
LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 , TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

UTILITY PLAN



LEGEND

- SANITARY SEWER
- SEWER PIPE with MANHOLE
- EXISTING SEWER PIPE with MANHOLE
- WATER
- WATER MAIN
- EXISTING WATER MAIN
- WATER VALVE
- EXISTING WATER VALVE
- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- BEND and THRUST BLOCK
- EXISTING BEND and THRUST BLOCK
- STORM DRAIN
- MANHOLE and PIPE
- EXISTING PIPE with MANHOLE
- INLET
- EXISTING INLET
- FLARED END SECTION
- EXISTING FLARED END SECTION
- EASEMENT
- CENTER LINE
- BOUNDARY LINE



 <small>2005 S. VICKENHURST ST., SUITE 200, ENGLEWOOD, CO. 80112 303.726.1261 FAX: 303.726.8000 WWW.NOLTE.COM</small>	FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D	DATE: 7/15/2003	
	SCALE: 1" = 40'	SHEET 4 OF 9	
	<small>REV 08/2004 REV 04/2004 REV 03/2004 REV 12/2003</small>		

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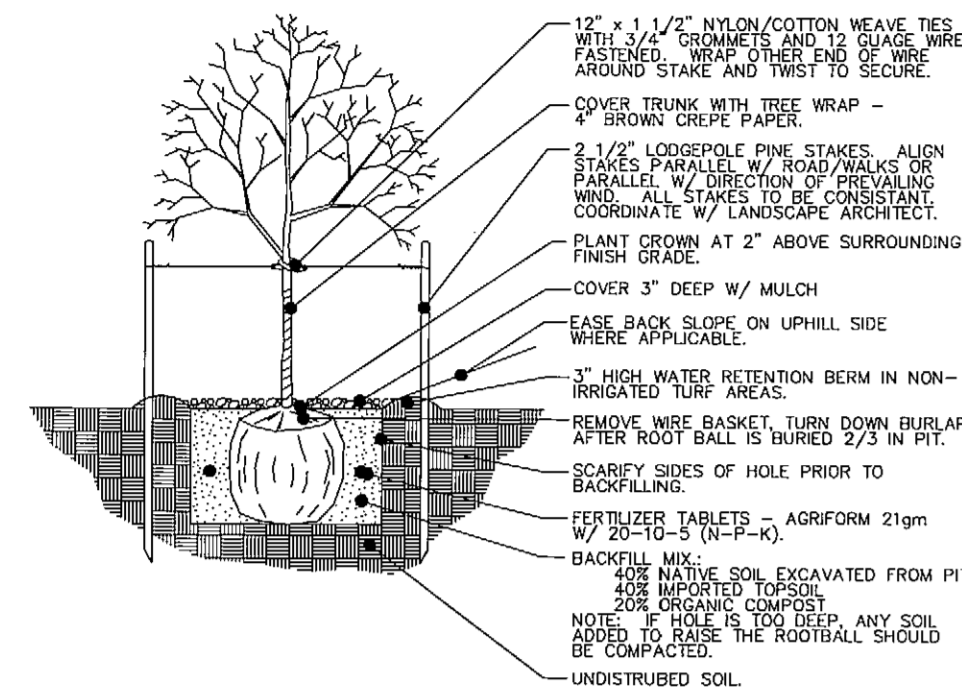
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FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

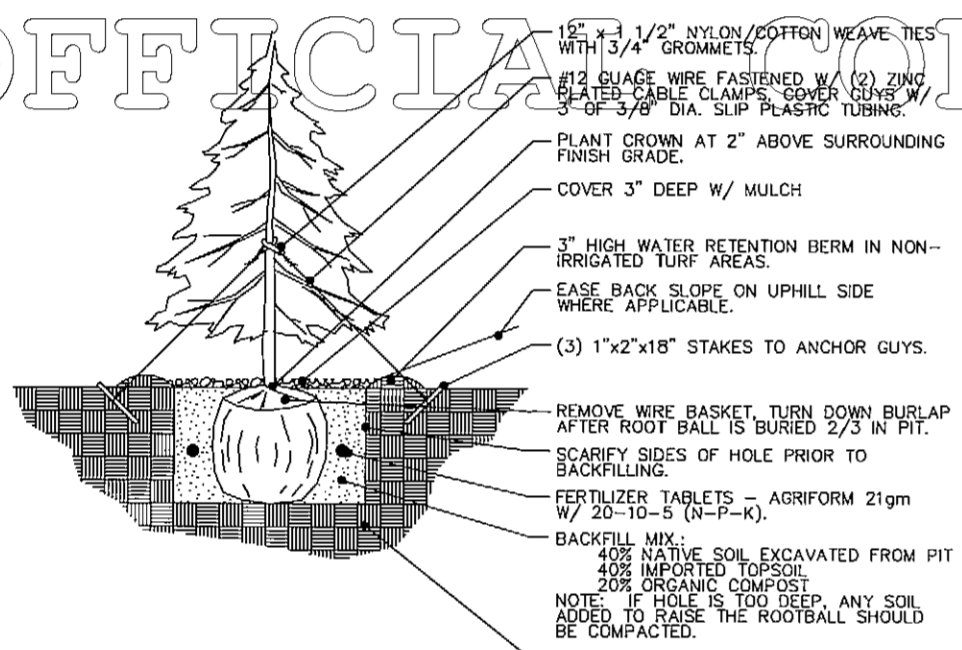
LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

L1- PERIPHERAL AREA LANDSCAPING

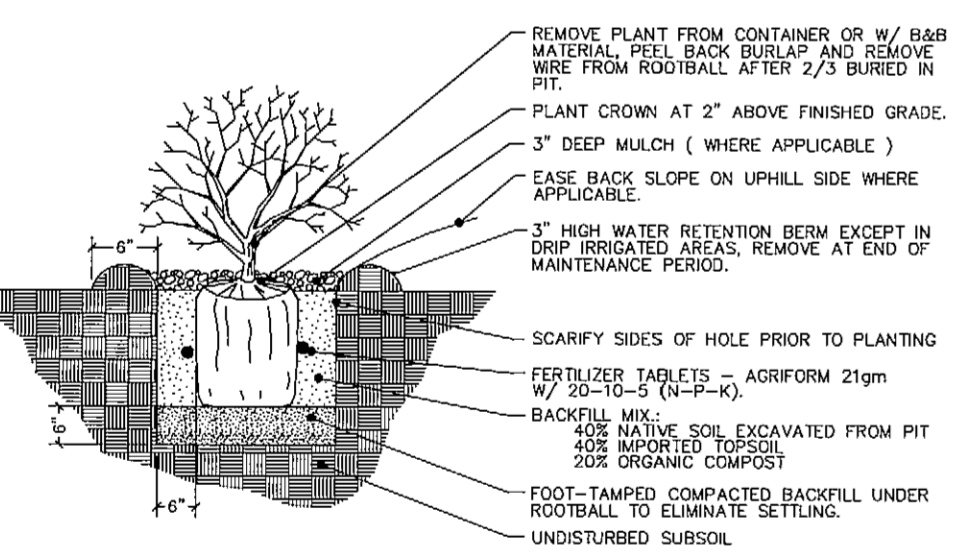
DATE: 11-12-03 TIME: 2:50 DRAWING NAME: SITE PLAN L1
SCALE: NONE SERVICE: NONE PLOTING VIEW: NONE
PATH: NONE MESSAGE: SUB PROJ APP: RW



1 DECIDUOUS TREE PLANTING AND STAKING
L-1 SCALE: N.T.S. (COURTESY OF BRITNA GROUP)



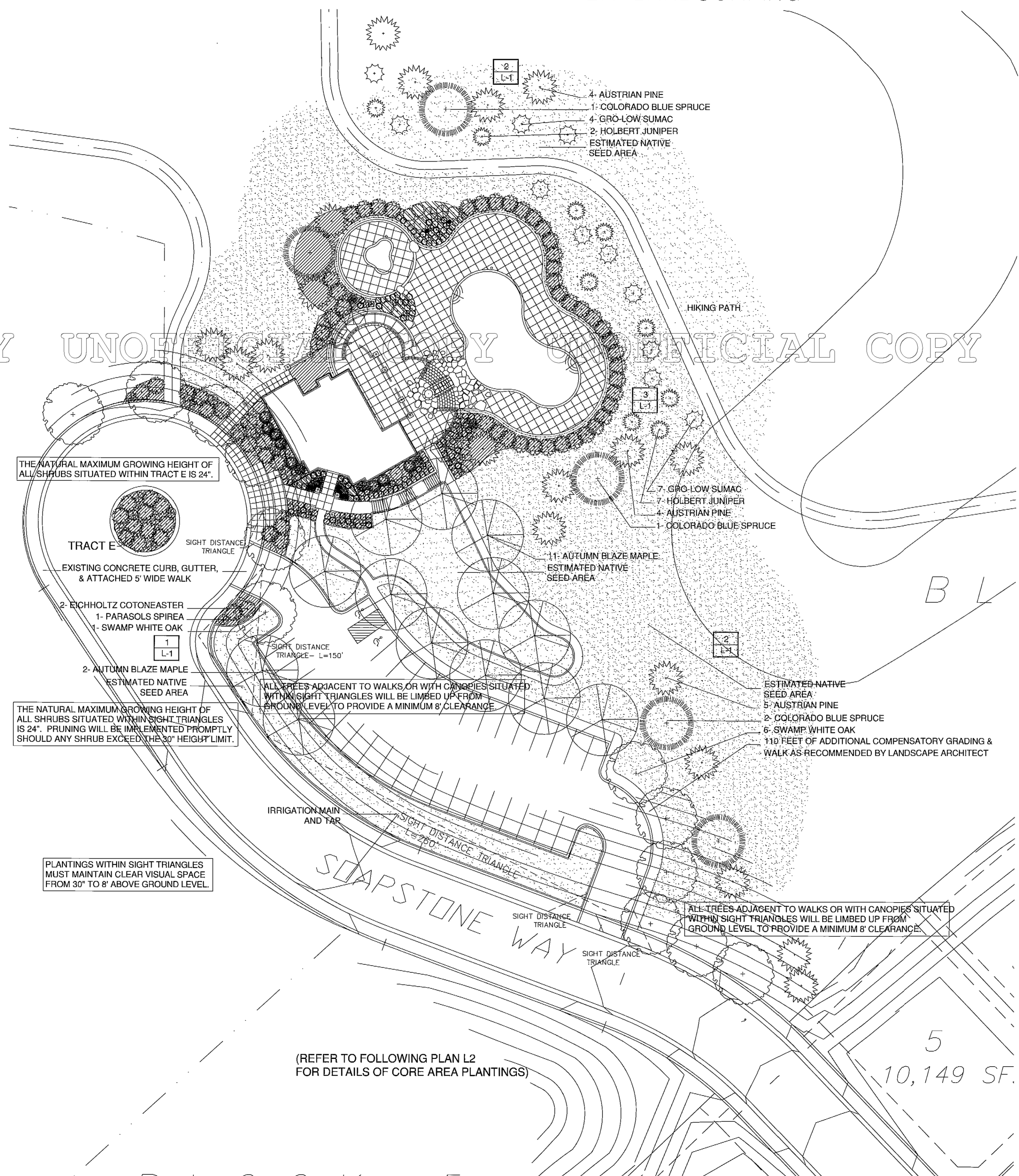
2 EVERGREEN TREE PLANTING AND GUYING
L-1 SCALE: N.T.S. (COURTESY OF BRITNA GROUP)



3 TYPICAL SHRUB PLANTING
L-1 SCALE: N.T.S. (COURTESY OF BRITNA GROUP)

LANDSCAPE CALCULATION TABLE

TREATMENT	AREA IN SQUARE FEET	PERCENTAGE OF LANDSCAPE AREA
NATIVE GRASS SEED W/ WILDFLOWER MIX	63,700	89.2
CRUSHED RYOLITE	6,750	9.5
COLORADO ROSE CRUSHED ROCK	840	1.2
PERENNIAL BEDS PREPARED W/ TOPSOIL	80	.1



- CONSTRUCTION NOTES:**
- THE PERENNIALS BED AT THE BUILDING MAIN ENTRANCE IS TO HAVE 2" OF CEDAR MULCH OVERLAYING SOIL PREPARED WITH SUPREME ORGANIC SOIL AMENDMENT APPLIED AT A RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET AND TILLED TO A MINIMUM DEPTH OF 6". EDGER IN THIS AREA IS TO MATCH THE STONE FINISH OF THE STRUCTURE. SOIL PREPARATION FOR ALL OTHER PLANTINGS REQUIRES MIXING ORGANIC COMPOST AND TOPSOIL WITH NATIVE SOIL AS PER THE PLANTING DETAILS ON THIS SHEET.
 - CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF PLANT SUBSTITUTIONS ARE NEEDED.
 - THE LANDSCAPE CONTRACTOR SHALL BECOME INFORMED OF ALL UNDERGROUND UTILITIES AND STRUCTURES. HE IS RESPONSIBLE TO HAVE ALL UTILITY LINES LOCATED PRIOR TO ANY EXCAVATION OR TRENCHING. HE ASSUMES FULL AND SOLE RESPONSIBILITY FOR ANY COSTS OR DELAYS INCURRED DUE TO DAMAGE TO SAID UTILITIES AND STRUCTURES.
 - ANY SIGNIFICANT DEVIATION OF SITE CONDITIONS FROM PLANS SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, FOR RECTIFICATION. FAILURE BY THE CONTRACTOR TO PROVIDE SUCH NOTICE ENTAILS THAT HE TAKES FULL RESPONSIBILITY FOR CONSTRUCTION CHANGES.
 - THE LANDSCAPE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR COORDINATING THE ACTIVITIES OF HIS SUBCONTRACTORS.
 - THE CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO STARTING WORK.
 - REFER TO ATTACHED DETAILS AS TO PROCEDURES FOR THE INSTALLATION OF PLANT MATERIALS.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL WHICH IS DISEASE AND PEST FREE. ALL PLANT MATERIAL WILL BE WARRANTED TO ACCLIMATE TO THE SITE AND ITS ELEVATION. ALL PLANT MATERIAL EXCEPT PERENNIALS, ANNUALS, AND GRASSES IS TO BE WARRANTED FOR ONE YEAR FOLLOWING INSTALLATION, WITH ONE REPLACEMENT PER ORIGINAL.
 - ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF ONE YEAR FOLLOWING INSTALLATION.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE THROUGHOUT PLANTING AND SEEDING AREAS. ALL LOW SPOTS, PONDING, OR TRENCH CAVITIES MUST BE REMEDIATED.
 - STEEL EDGING WILL BE OF THE INTERLOCKING TYPE, RYERSON OR EQUIVALENT.
 - SHRUB BEDS ARE TO HAVE WEED BARRIER FABRIC A MINIMUM 3.5 OZ./SQ. YD. WEIGHT AND SPUNBOUND. THE 1.5" DIAMETER LOCAL RIVER ROCK IS TO BE AT LEAST 3" DEEP IN ALL LOCATIONS. 21 GRAM AGRIFORM TABLETS ARE TO BE PLACED AT PIT EDGES- TWO PER TREE, ONE PER SHRUB AND ONE HALF PER PERENNIAL.
 - THE CONTRACTOR IS TO ENSURE THAT UTILITY AND EMERGENCY VEHICLE CORRIDORS REMAIN UNIMPEDED.
 - FOR THE OAK AND MAPLE TREES, LOWEST LIMBS MUST BE AT NO LESS THAN 8 FEET ABOVE GROUND LEVEL.

- IRRIGATION SYSTEM NOTES:**
- THE CONTRACTOR WILL DESIGN AND LAYOUT THE IRRIGATION SYSTEM TO PROVIDE WATERING COVERAGE CONFORMING TO COMMERCIAL INSTALLATION NORMS. SPRAYED AREAS REQUIRE DOUBLE COVERAGE; TREES ARE TO HAVE A MINIMUM OF THREE DRIP EMITTERS; SHRUBS EACH ONE. PERENNIALS ARE TO BE WATERED WITH TECHLINE OR EQUIVALENT. BUILDING PERMIT APPLICATION WILL REQUIRE AN IRRIGATION PLAN.
 - SHRUBS AND TREES IN NATIVE GRASS AREAS ARE TO HAVE DRIP WITH THE LINES BURIED BETWEEN PLANTS.
 - WATERING PRACTICE SHALL CONFORM TO THE CASTLE ROCK WATER USE MANAGEMENT PLAN, WATERING MATERIALS EVERY THIRD DAY BETWEEN 11 P.M. AND 4 A.M.
 - IRRIGATION SYSTEMS MUST BE EQUIPPED WITH A BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.

PLANT SCHEDULE

QTY.	SIZE	COMMON NAME	BOTANICAL NAME
CONIFEROUS TREES			
6	14' - 18'	COLORADO BLUE SPRUCE	PICEA PUNGENS
19	8' - 11'	AUSTRIAN PINE	PINUS NIGRA
DECIDUOUS TREES			
11	2.5"	SWAMP WHITE OAK	QUERCUS BICOLOR
13	2.5"	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'
4	2"	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA
SHRUBS			
11	#5	LOW-GRO FRAGRANT SUMAC	RHUS AROMATICA 'GROW-LOW'
4	#5	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANISH GOLD'
8	#5	YUKON PYRACANTHA	PYRACANTHA AUGUSTIFOLIA 'MONON'
9	#5	HOLBERT JUNIPER	JUNIPERUS CHINENSIS 'HOLBERT'
60	#5	EICHHOLTZ COTONEASTER	COTONEASTER DAMMERI 'EICHHOLTZ'
3	#5	ZEBRA GRASS	MISCANTHUS SINENSIS 'ZEBRINUS'
2	#5	VARIEGATED MAIDEN GRASS	MISCANTHUS SINENSIS VARIEGATUS
23	#5	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS
20	#5	CORONATION POTENTILLA	POTENTILLA FRUTICOSA 'CORONATION TRIUMPH'
123	#5	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'
1	#5	KOREANSPICE VIBURNUM	VIBURNUM CARLISII
15	#5	PINK PARASOLS SPIREA	S. FRITCHIANA 'WILMA'
2	#5	FEATHER REED	CALAMAGROSTIS ARUNDINACEA 'FOERSTER'
5	#5	PERSIAN YELLOW SHRUB ROSE	ROSA FOETIDA 'PERSIANA'
3	#5	AUSTRIAN COPPER SHRUB ROSE	ROSA FOETIDA 'BICOLOR'
PERENNIALS			
40	2.5"	BLUE SPRUCE SEDUM	SEDUM PINIFOLIUM 'BLUE SPRUCE'
10	#1	AUTUMN JOY STONECROP	SEDUM SPECTABILE 'AUTUMN JOY'
14	#1	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'

- 1.5" CRUSHED RYOLITE- 6750 SF
- COLORADO ROSE CRUSHED ROCK- 840 SF
- PERENNIAL BEDS- (BLANK)- 80 SF
- NATIVE GRASS SEED W/ WILDFLOWER MIX (OTHER AREAS DISTURBED BY CONSTRUCTION)
63,700 SF (ESTIMATED)
20% ALPINE BLUEGRASS
20% CANADA BLUEGRASS
20% SHEEP FESCUE
20% CREEPING RED FESCUE
20% LOW-GROWING WILDFLOWER MIX (APPLEWOOD OR EQUIV.)
(APPLICATION RATE: 5 LBS/ACRE- DRILL SEEDED)
- 5' HIGH WROUGHT IRON FENCE BY INNOVATIVE LANDSCAPES
- RETAINING WALLS (SEE DETAIL) BY INNOVATIVE LANDSCAPES
- INTERLOCKING STEEL EDGER

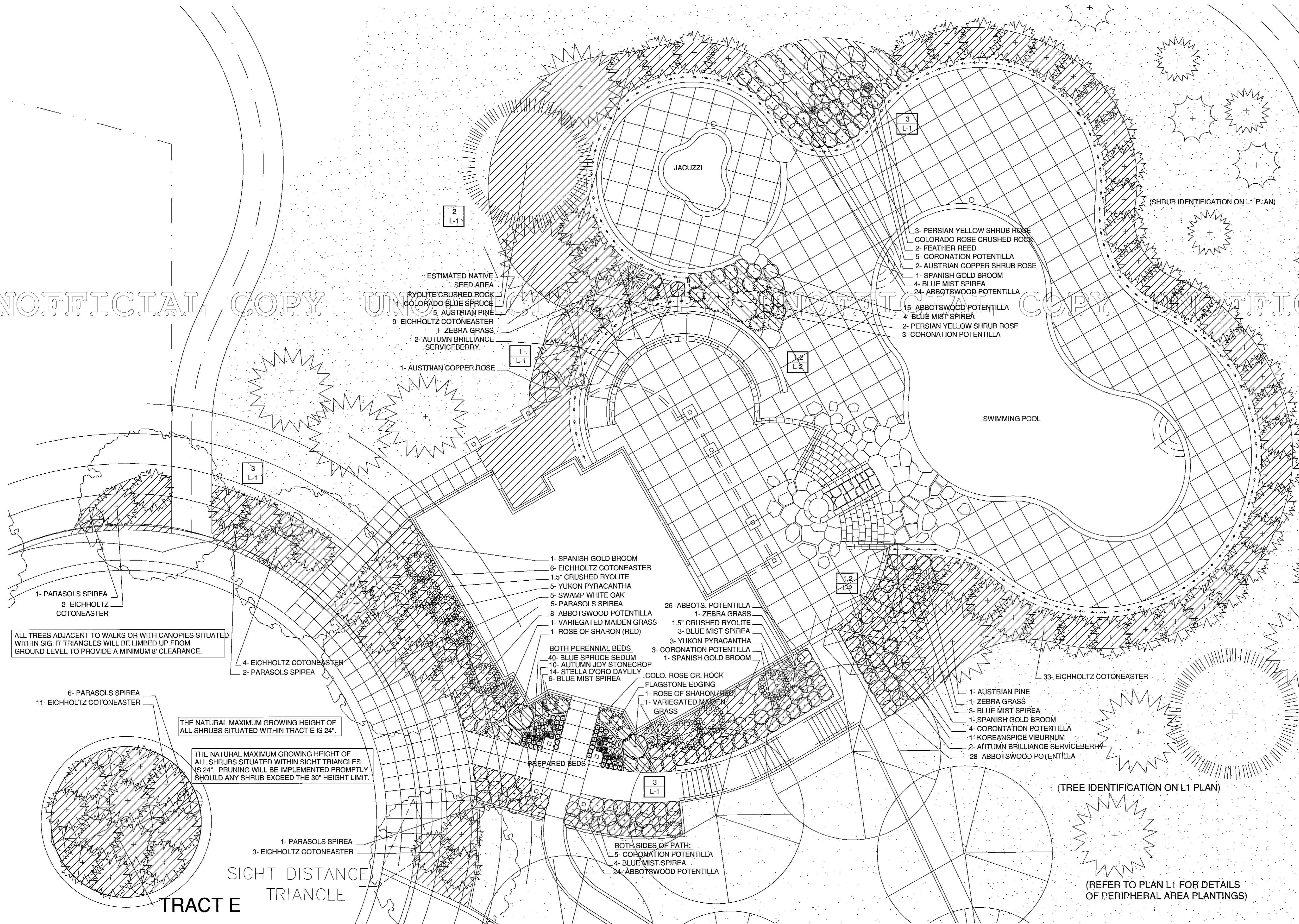
Design by: Sol Boutet, TCR #323
Innovative Landscapes
21610 E. Geddes Pl.
Centennial, CO 80016
303-331-1509

North
Scale in Feet
0 15 30

DATE: 11-12-23 TIME: 21:20 DRAWING NAME: SITE/BLANDS22
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 PATH: DESKTOP\SOB\PROJ\KRS_LV

FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

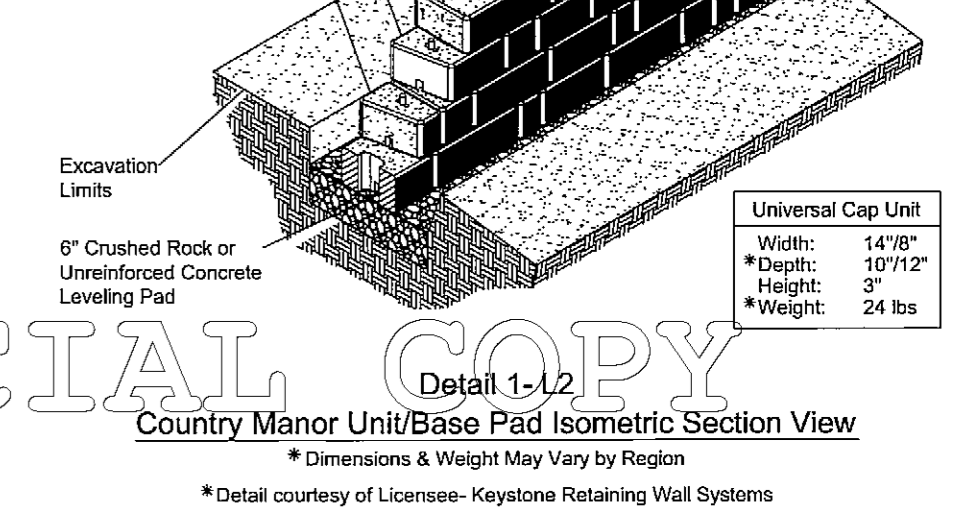
LOCATED IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 L2- CORE AREA LANDSCAPING



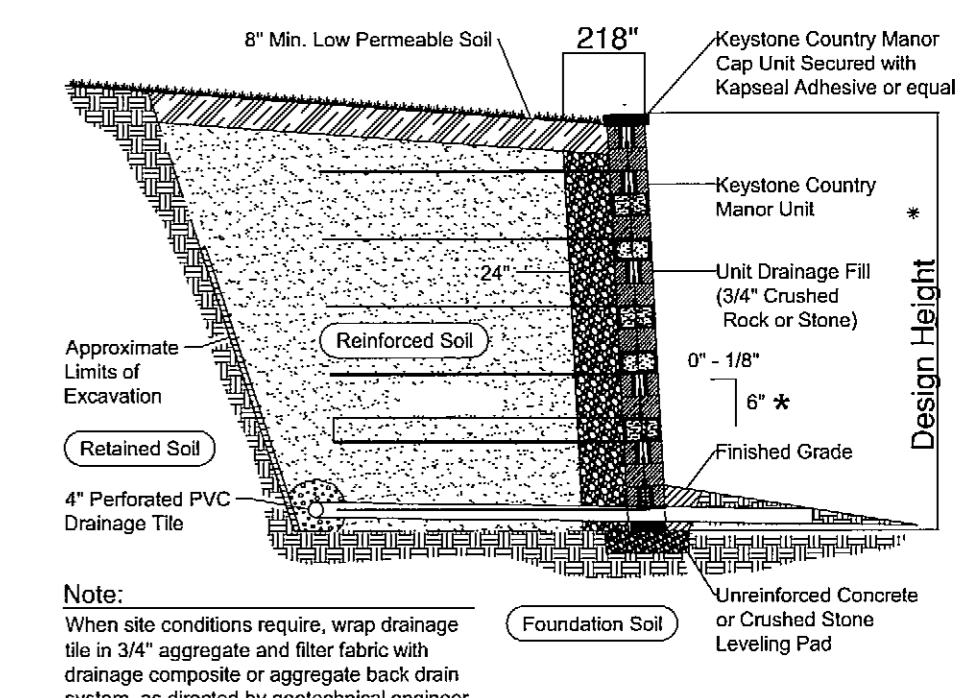
Large Unit	
Width:	167/14"
Depth:	10"
Height:	6"
Weight:	80 lbs

Medium Unit	
Width:	127/10"
Depth:	10"
Height:	6"
Weight:	40 lbs

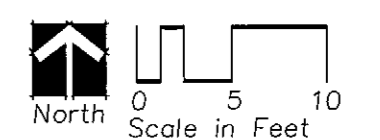
Small Unit	
Width:	67/4"
Depth:	10"
Height:	6"
Weight:	25 lbs



Detail 1-L2
 Country Manor Unit/Base Pad Isometric Section View
 *Dimensions & Weight May Vary by Region
 *Detail courtesy of Licensee- Keystone Retaining Wall Systems

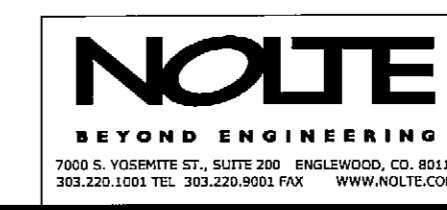


Detail 2-L2
 Typical Reinforced Wall Section
 Country Manor Unit - Near Vertical Setback
 *Note: Wall Maximum Height is 4' unless engineered & permitted as per note below.
 *Detail courtesy of Licensee- Keystone Retaining Wall Systems



- KEY**
- WROUGHT IRON FENCE BY INNOVATIVE LANDSCAPES
 - RETAINING WALLS BY INNOVATIVE LANDSCAPES (SEE DETAILS 1-L2 AND 2-L2 ABOVE)
 - INTERLOCKING STEEL EDGER

Design by: Sol Boutet, TCR #323
 Innovative Landscapes
 21610 E. Geddes Pl.
 Centennial, CO 80016
 303-331-1509



FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D	DATE: 04-26-04
	SCALE: 1" = 10'
SHEET 6 OF 9	

DATE: NONE TIME: NONE DRAWING NAME: NONE
 SERVER: NONE STORAGE: NONE PLOTTING VER: NONE
 PATH: NONE DESIGNER: NONE PROJ. MGR: NONE

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LOCATED IN THE NORTHEAST QUARTER OF SECTION 23 , TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

EXTERIOR ELEVATIONS

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SOUTHWEST (ENTRY) ELEVATION

1/4" = 1'-0"

EXTERIOR FINISH MATERIALS
ROOF -ARCHITECTURAL GRADE ASPHALT/COMPOSITION SHINGLES
MASONRY MANUFACTURED STONE
WALL FINISH SYNTHETIC STUCCO SYSTEM
TRIM PAINTED AND/OR STAINED WOOD AND/OR HARDBOARD

DATE: _____ NOLE INC. DRAWING NAME: _____ NOLE
 REVISION: _____ NOLE NOLE NOLE NOLE NOLE NOLE NOLE NOLE NOLE NOLE
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FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D

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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

EXTERIOR ELEVATIONS



NORTHEAST (POOLSIDE) ELEVATION

3/16" = 1'-0"



NORTHWEST ELEVATION

3/16" = 1'-0"



SOUTHEAST ELEVATION

3/16" = 1'-0"

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REFS:

NOLTE BEYOND ENGINEERING <small>7000 S. YORSHITE ST., SUITE 200, ENGLEWOOD, CO. 80112 303.220.1501 TEL, 303.220.9001 FAX WWW.NOLTE.COM</small>	FINAL PD SITE PLAN MAHER RANCH FILING 1, TRACT D		DATE:	
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			SHEET	9 OF 9