



2004033609 4 PGS

# PLAT IDENTIFICATION SHEET

**GRANTOR:** KDB Homes, Inc.  
(OWNER)

OFFICIAL RECORDS  
DOUGLAS COUNTY CO  
CAROLE R. MURRAY  
CLERK & RECORDER  
RECORDING FEE: \$31.00  
4 PGS

# 2004033609  
04/05/2004 03:01 PM

**GRANTEE:** Maher Ranch Filing No. 1, 2<sup>nd</sup> Amendment  
Preliminary Plat/Final PD Site Plan

UNOFFICIAL COPY

**OLD LEGAL:** Tract C, Maher Ranch – Filing No. 1

Section: 23

Township: 7

Range: 67

**NEW LEGAL:**

Subdivision/Condo Name: Maher Ranch

Filing # 1, Second Amendment

Phase

Lot #

Building #

Block #

Unit #

# MAHER RANCH FILING NO. 1, 2nd AMENDMENT PRELIMINARY PLAT/FINAL PD SITE PLAN

A REPLAT OF TRACT C OF MAHER RANCH - FILING NO. 1  
BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

### LEGAL DESCRIPTION:

ALL OF TRACT C OF MAHER RANCH - FILING NO. 1, AS RECORDED AT RECEPTION NO. 2002092550 AT THE CLERK AND RECORDERS OFFICE, COUNTY OF DOUGLAS, BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, CONTAINING 2.498 ACRES (108,830 SQUARE FEET), MORE OR LESS.

### BENCHMARK

SOUTHWEST CORNER OF SECTION 24. FOUND 2 1/2" ALUM. CAP.  
THIS CORNER IS PART OF THE DOUGLAS COUNTY GPS CONTROL NETWORK, POINT NO. 2020010  
ELEVATION: 6486.422 FEET

### BASIS OF BEARINGS: (PER MAHER RANCH-FILING NO. 1)

BEARINGS ARE BASED ON THE WEST HALF OF THE WEST HALF OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, DOUGLAS COUNTY, COLORADO AS MONUMENTED ON THE WEST END AT THE NORTHWEST CORNER OF SAID SECTION 24 BY A 3-1/4 INCH ALUMINUM CAP STAMPED "1996, T7S, R67W, S14/S13/S23/S24, 10717" AND ON THE EAST END AT THE WEST 1/16 CORNER OF SAID SECTION 24 BY A 3-1/4 INCH ALUMINUM CAP STAMPED "1997, SEC.13/ SEC.24, W1/16, T7S, R67W, 10717". THE BEARING OF SAID LINE IS S89°42'31"E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

### UTILITY PROVIDERS

WATER TOWN OF CASTLE ROCK  
SEWER TOWN OF CASTLE ROCK  
GAS PEOPLES NATURAL GAS  
ELECTRICITY I.R.E.A.  
TELEPHONE US WEST COMMUNICATIONS  
CATV A T & T

### NOTES:

- NO DRAINAGE WITHIN THE PROPERTY BOUNDARY IS IDENTIFIED AS FEMA REGULATED FLOOD PLAINS. (FIRM COMMUNITY-PANEL NO. 080049 - 0186 C AND NO. 080049 - 0187 C, SEPT. 30, 1987)
- ALL EASEMENTS SHALL BE DEDICATED WITH THE FINAL PLAT.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- ANY DEVIATIONS FROM TOWN REGULATIONS OR STANDARDS DEPICTED IN THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN THAT HAVE NOT BEEN APPROVED BY A VARIANCE ARE SUBJECT TO FINAL REVIEW AND APPROVAL OF THE FINAL PLAN AND ASSOCIATED DOCUMENTS.
- THIS SITE REQUIRES 8 SFES FROM THE WATER BANK.
- ALL SETBACKS SHALL BE MEASURED IN A PERPENDICULAR DIRECTION FROM THE PROPERTY LINE TO THE FOUNDATION OF THE BUILDING.
- GARAGES SHALL BE A 2-CAR MINIMUM FOR ALL SINGLE-FAMILY ATTACHED AND DETACHED AND SHALL NOT BE CONVERTED FOR OCCUPANCY. ATTACHED GARAGES MAY BE CONVERTED FOR OCCUPANCY IF A MINIMUM 2-CAR GARAGE (ATTACHED OR DETACHED) IS PROVIDED AS AN ACCESSORY USE.
- OVERHANGS MAY ENCRUCH INTO THE BUILDING SETBACK A MAXIMUM OF TWO (2) FEET. ITEMS INCLUDING, BUT NOT LIMITED TO, PATIOS AND DECKS, SWIMMING POOLS, GAZEBOS, AND GARDEN EQUIPMENT STORAGE SHEDS AT GROUND LEVEL ARE PERMITTED IN THE SIDE AND REAR SETBACKS PROVIDED THEY DO NOT ENCRUCH INTO THE UTILITY EASEMENTS. ALSO PATIOS, DECKS, AND SIMILAR FEATURES FOUR (4) FEET AND HIGHER ABOVE GROUND LEVEL MUST HAVE A REAR SET BACK OF TWENTY (20) FEET.
- THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX MONTHS TO CURE OR REPLACE DAMAGED OR DEAD PLANT MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PD/ZONING MAP FOR MAHER RANCH FILING NO. 1 WAS RECORDED ON 10/26/00 AT RECEPTION NO. 00076396 IN THE RECORDS OF DOUGLAS COUNTY, COLORADO.

### SHEET INDEX

- TITLE SHEET
- SITE PLAN
- GRADING AND UTILITY PLAN

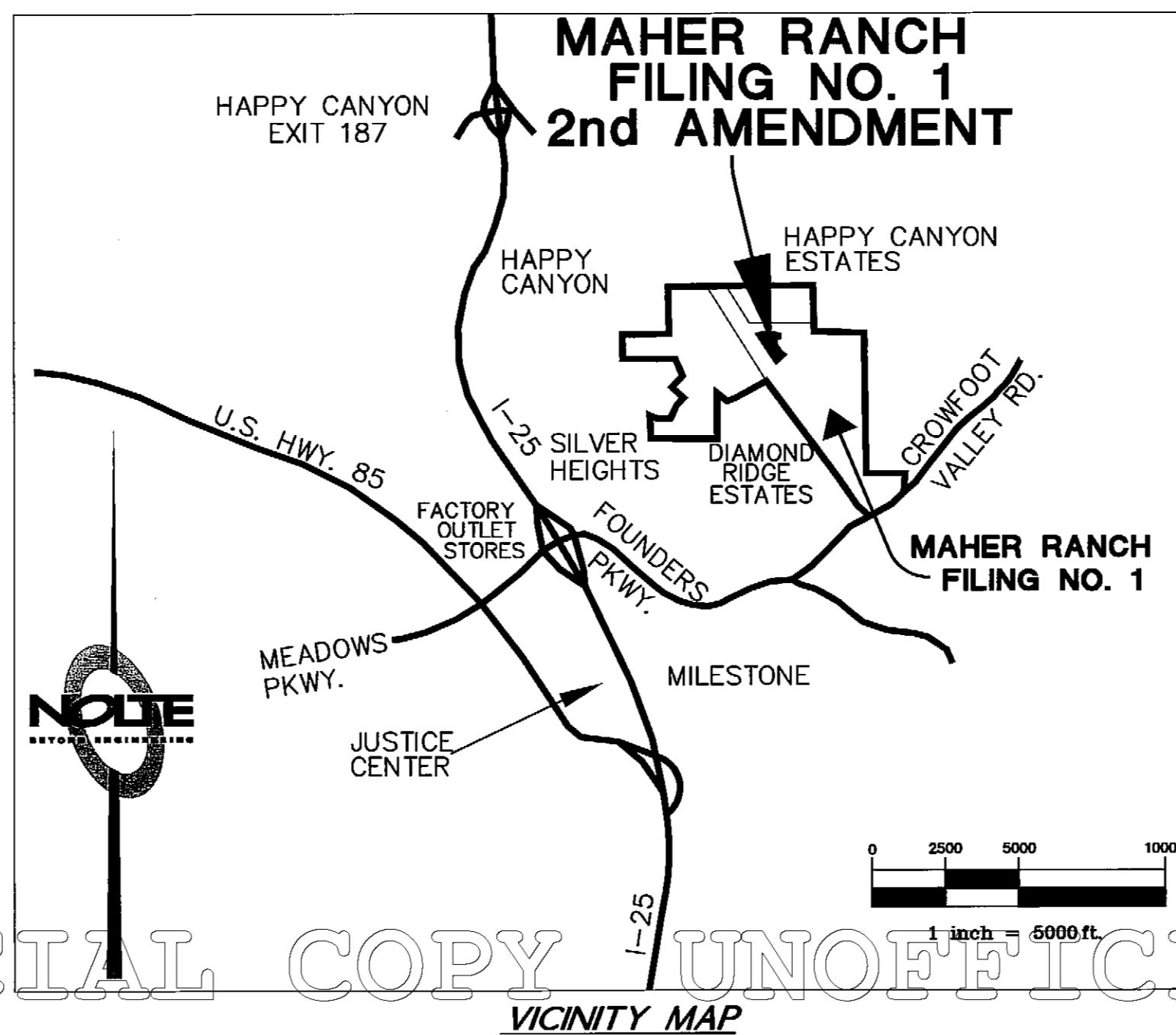
### LAND USE SUMMARY

LAND USE	PROPOSED ACREAGE	PROPOSED DWELLING UNITS	PROPOSED % OF SITE ACREAGE	GROSS DENSITY	PROPOSED LOT SIZE RANGE	MIN. REQUIRED LOT AREA	PROPOSED AVERAGE LOT AREA	SETBACKS FRONT	SETBACKS REAR	SETBACKS SIDE/INTERIOR LOTS	MAX. BLDG. COVERAGE	MAX. BLDG. HEIGHT
RSF-LXB SINGLE FAMILY	2.50	8	100	3.2 DU/AC	8,109 - 27,965 SF	6,000 SF	13,604 SF	20'	20'	5'	40%	35'
	2.50	8	100	4.0 DU/AC MAX. GROSS DENSITY								

**OWNERS**  
KDB HOMES, INC.  
7120 E. ORCHARD ROAD SUITE 300  
GREENWOOD VILLAGE, CO. 80111

DATE	BY	DATE	REVISIONS
01/22/04	TJD	10/09/03	ADDRESS TOWN COMMENTS
	RMG	12/04/03	ADDRESS TOWN COMMENTS - 2nd REVIEW
	RMG	01/22/04	ADDRESS TOWN COMMENTS DATED 01/16/04

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



### OWNERSHIP CERTIFICATE:

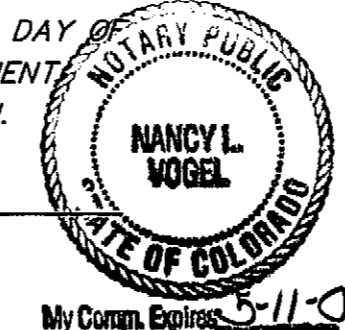
THE UNDERSIGNED IS THE OWNER OF CERTAIN LANDS KNOWN HEREIN AS MAHER RANCH FILING NO. 1, 2nd AMENDMENT IN THE TOWN OF CASTLE ROCK, COLORADO.  
KDB HOMES, INC. A DELAWARE CORPORATION  
DAVID BOTEN VICE PRESIDENT OF LAND DEVELOPMENT  
CURT NELSON DIVISION PRESIDENT  
SIGNED THIS 23rd DAY OF January 2004.

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

THE FOREGOING OWNER'S CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 23rd DAY OF January 2004 BY DAVID BOTEN AS VICE PRESIDENT OF LAND DEVELOPMENT AND CURT NELSON AS DIVISION PRESIDENT FOR KDB HOMES, INC. A DELAWARE CORPORATION.

WITNESS MY HAND AND SEAL  
MY COMMISSION EXPIRES: 5-11-06

Nancy L. Vogel  
NOTARY PUBLIC



### TITLE CERTIFICATE

I, Paul Masovero, BEING AN AUTHORIZED REPRESENTATIVE OF First American Title Insurance, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND DEDICATION.  
SIGNED THIS 26th DAY OF January 2004.

Paul Masovero  
AUTHORIZED REPRESENTATIVE

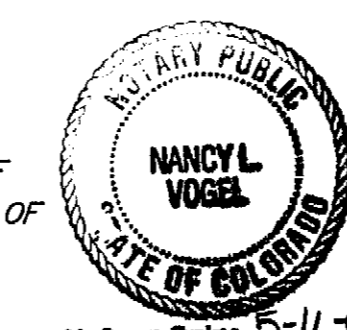
First American Heritage Title  
TITLE INSURANCE COMPANY

COUNTY OF DOUGLAS )  
STATE OF COLORADO )

THE FOREGOING TITLE CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF January 2004 BY Paul Masovero AS AN AUTHORIZED REPRESENTATIVE OF First American Title Insurance, A TITLE INSURANCE COMPANY.

WITNESS MY HAND AND SEAL  
MY COMMISSION EXPIRES: 5-11-06

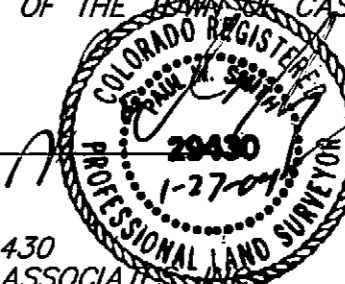
Nancy L. Vogel  
NOTARY PUBLIC



### SURVEYOR'S CERTIFICATE

I, PAUL W. SMITH, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF (1) THAT PRELIMINARY PLAT/FINAL PD SITE PLAN TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON 11/30/98, UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; (2) THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (second order); AND (3) THAT SAID PRELIMINARY PLAT/FINAL PD SITE PLAN HAS BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND THOSE PROVISIONS, WITHIN MY CONTROL, OF THE TOWN OF CASTLE ROCK SUBDIVISION REGULATIONS.

PAUL W. SMITH  
PROFESSIONAL LAND SURVEYOR  
COLORADO REGISTRATION NO. 29430  
FOR AND ON BEHALF OF NOLTE ASSOCIATES



DATE: 1-27-04

### STATEMENT FOR CIVIL ENGINEER

I, RICKY J. MOORE, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PRELIMINARY PLAT/FINAL PD SITE PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

RICKY J. MOORE  
PROFESSIONAL ENGINEER REGISTRATION NO. 30877



### DIRECTOR OF DEVELOPMENT SERVICES

THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23rd DAY OF October 2003.

Rick C. Kallen  
VICE CHAIRMAN DATE: Mar 11, 2004

ATTEST:  
Director of Development Services

March 15, 2004  
DATE

### TOWN COUNCIL APPROVAL

THIS PRELIMINARY PLAT AND FINAL PD SITE PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 2nd DAY OF December 2003.

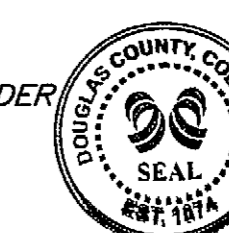
Julie S. Bennett  
MAYOR DATE: 4-1-04

Bally A. Mue  
TOWN CLERK DATE: 4-1-04

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:01 PM ON THE 5th DAY OF April, 2004, RECEPTION NO. 2004033609

DOUGLAS COUNTY CLERK AND RECORDER  
BY: Beth Justin  
DEPUTY



**NOLTE**  
BEYOND ENGINEERING

7000 SOUTH YOSEMITE ST., SUITE 200, ENGLEWOOD, CO. 80112  
303.220.1001 TEL 303.220.8001 FAX WWW.NOLTE.COM

MAHER RANCH FILING NO. 1, 2nd AMENDMENT  
PRELIMINARY PLAT / FINAL P.D. SITE PLAN  
TITLE SHEET

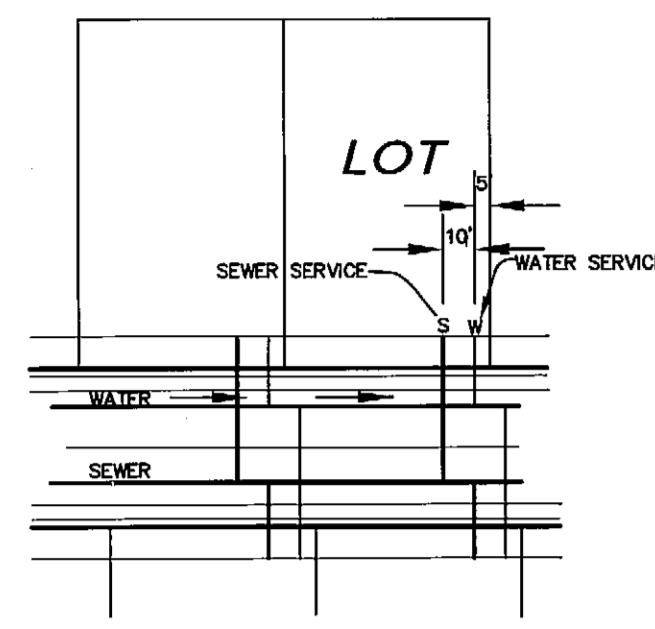
PREPARED FOR: KDB HOMES, INC.

DATE SUBMITTED: 6-30-03

SHEET NUMBER 1  
OF 3 SHEETS  
SCALE: VERTICAL: 1" = 10' HORIZONTAL: 1" = 10'  
JOB NUMBER DV1185

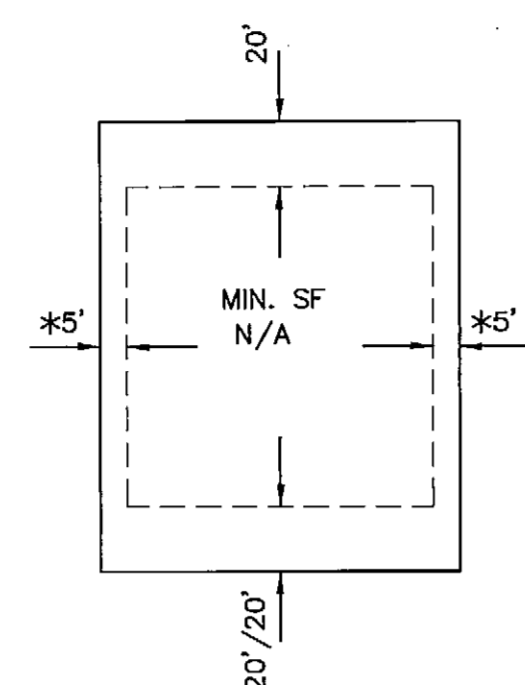
# MAHER RANCH FILING NO. 1, 2nd AMENDMENT PRELIMINARY PLAT/FINAL PD SITE PLAN

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BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



NOTE:  
1) WATER AND SEWER SERVICE LINES SHALL HAVE A MIN. OF 10' HORIZ. SEPARATION PER U.P.C.

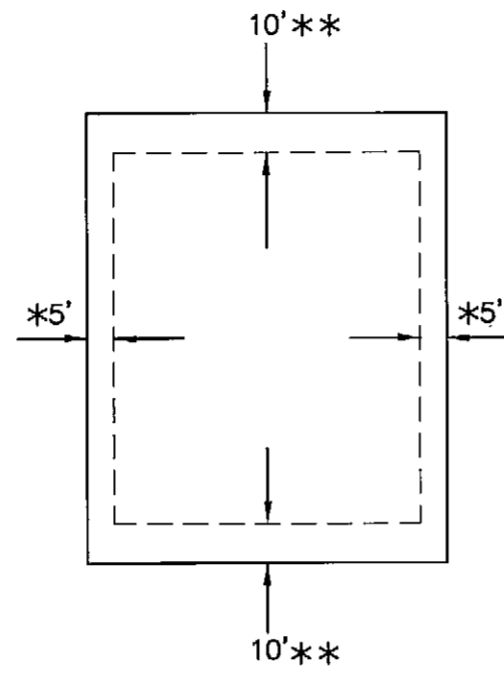
**WATER & SANITARY SERVICE LOCATIONS**  
N.T.S.



**RSF-LXA/LXB**

**TYPICAL LOT SETBACKS**  
N.T.S.

\*SIDE INTERIOR  
\*\*FRONT TO LIVING AREA/FRONT TO GARAGE



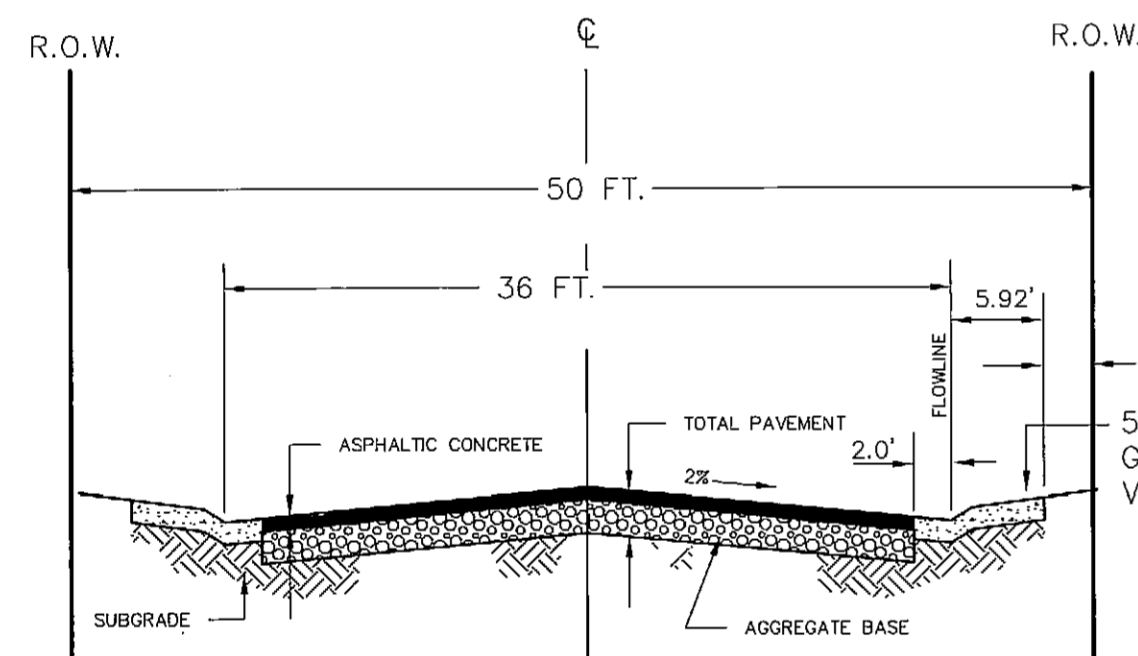
**TYPICAL DRY UTILITY EASEMENTS**  
N.T.S.

\*SIDE INTERIOR  
\*\*FRONT/BACK

**DEFINITIONS:**

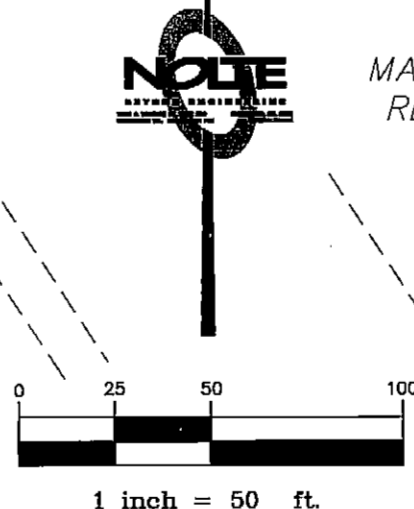
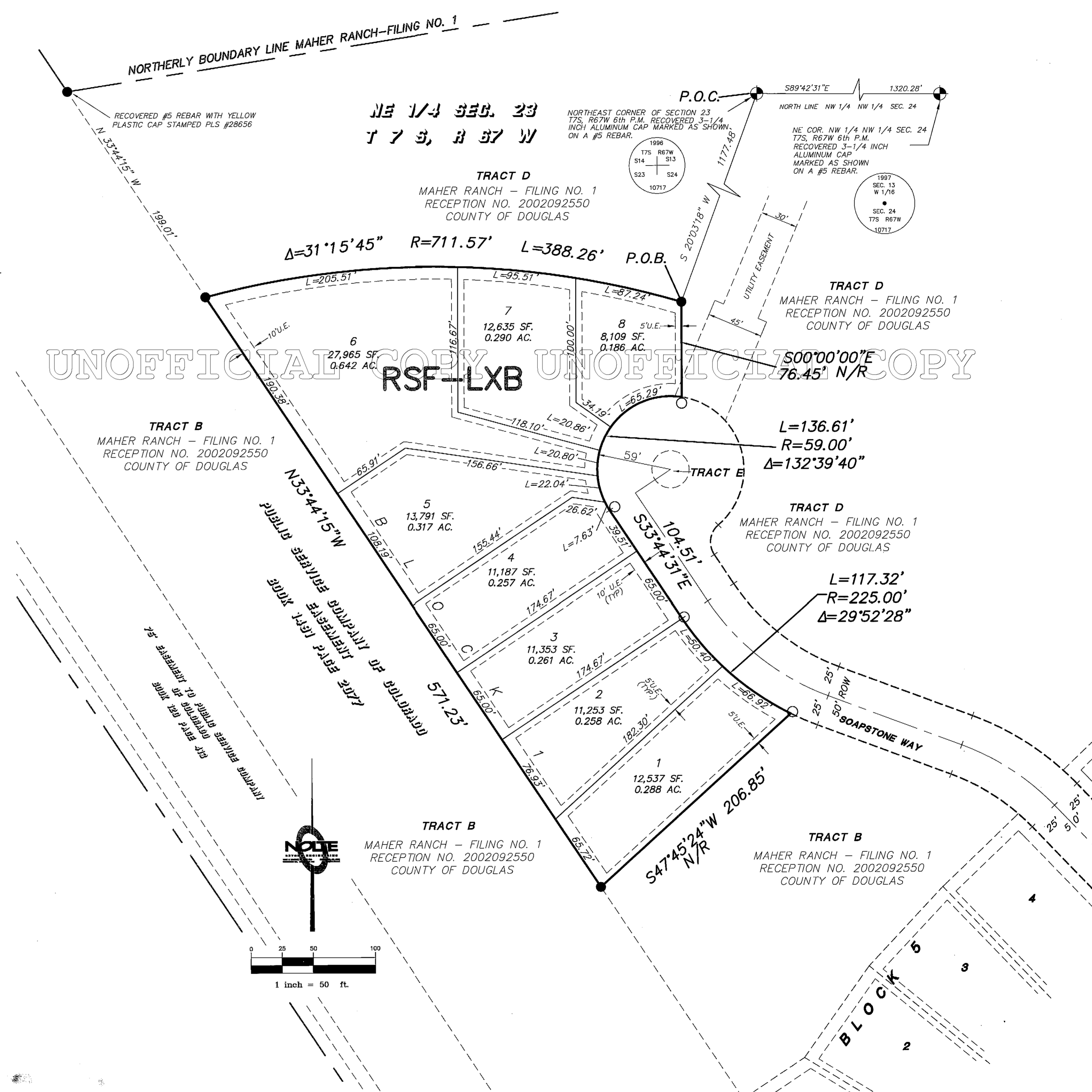
SINGLE FAMILY CLUSTER RESIDENTIAL (RSF-LXA & RSE-LXB)

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



**SOAPSTONE WAY**  
N.T.S.

- LEGEND:**
- ⊕ DENOTES FOUND MONUMENT AS NOTED.
  - DENOTES FOUND MONUMENT
  - DENOTES MONUMENT TO BE SET
  - N/R DENOTES NON/RADIAL
  - U.E. UTILITY EASEMENT



DATE:	TIME:	NO.	BY	DATE	REVISIONS:
01/22/04	4:35 p.m.	1	TJL	10/09/03	ADDRESS TOWN COMMENTS
		2	RMG	12/04/03	ADDRESS TOWN COMMENTS - 2ND REVIEW
		3	RMG	01/22/04	ADDRESS TOWN COMMENTS DATED 01/16/04

SERVER: NONE SERVICE: NONE  
 PATH: N:\DV1185\Cadd\Civil\1-8\_B1\  
 DRAWING NAME: PPMF352.DWG  
 PLOTTING VIEW: NONE  
 DESIGNER: MHC PROJ. MGR: PWS

**NOLTE**  
BEYOND ENGINEERING

7000 S. YOSEMITE ST., SUITE 200 ENGLEWOOD, CO. 80112  
 303.220.1001 TEL. 303.220.9001 FAX WWW.NOLTE.COM

**MAHER RANCH FILING NO. 1, 2ND AMENDMENT**  
PRELIMINARY PLAT / FINAL P.D. SITE PLAN  
SITE PLAN

PREPARED FOR: KDB HOMES, INC. DATE SUBMITTED: 7-11-03

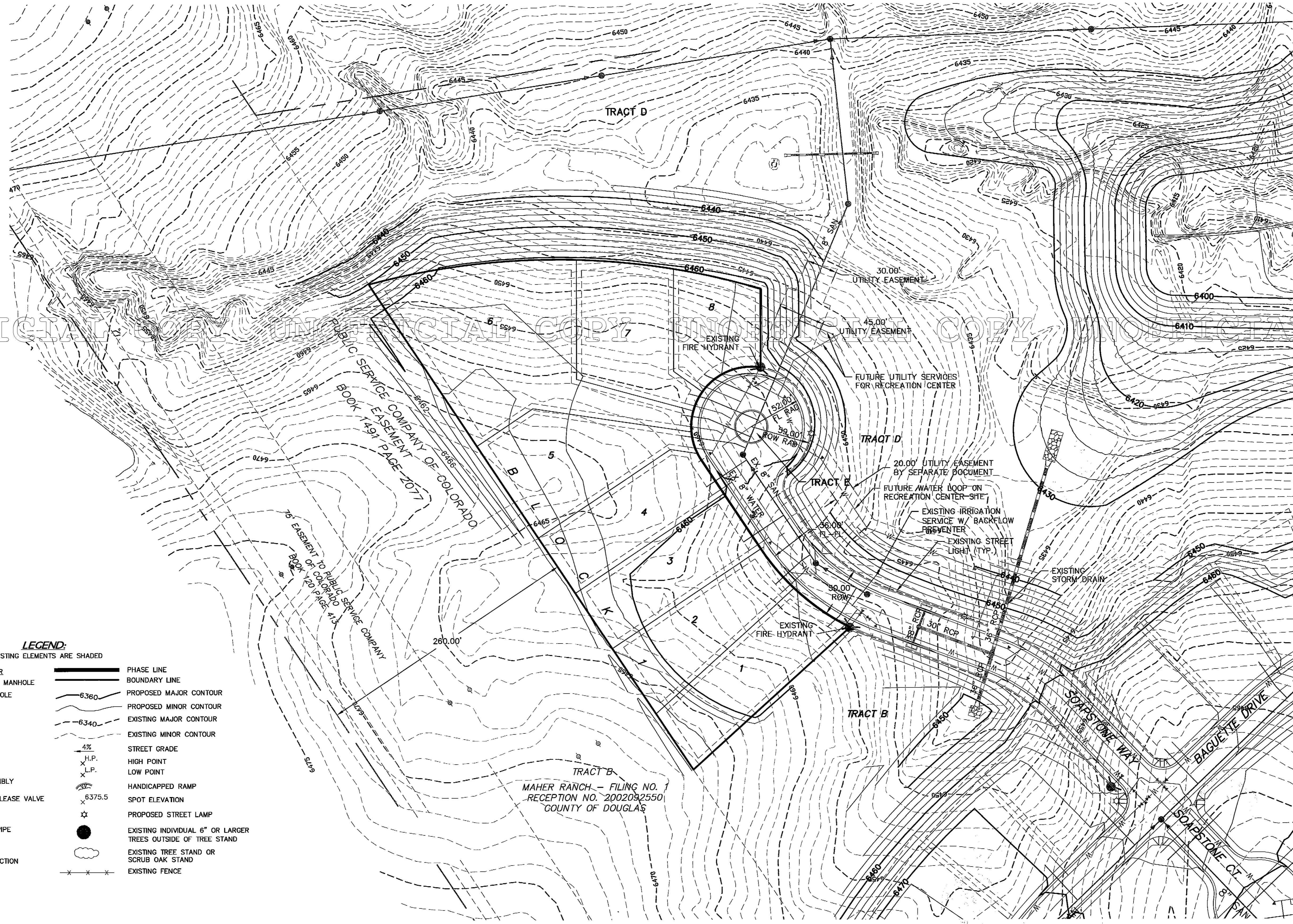
SHEET NUMBER	2
OF	3
SHEETS	
VERTICAL SCALE	T= N/A
HORIZONTAL SCALE	T= N/A
JOB NUMBER	DV1185

CHECKED: PPMF352

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

# MAHER RANCH FILING NO. 1, 2nd AMENDMENT PRELIMINARY PLAT/FINAL PD SITE PLAN

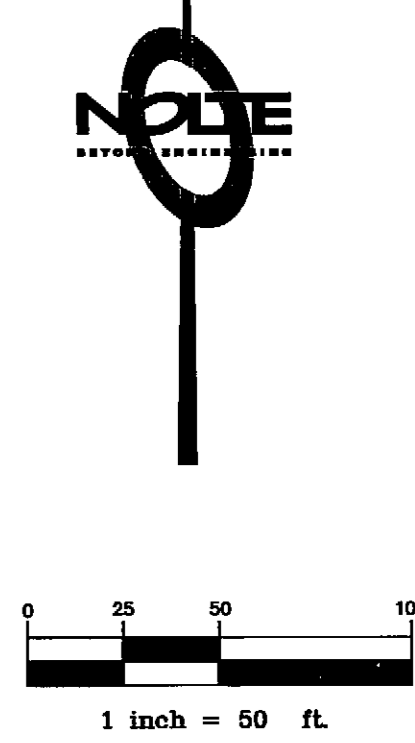
A REPLAT OF TRACT C OF MAHER RANCH - FILING NO. 1  
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



UNOFFICIAL COPY

**LEGEND:**  
EXISTING ELEMENTS ARE SHADED

	SANITARY SEWER FORCEMAIN with MANHOLE		PHASE LINE
	PIPE with MANHOLE		BOUNDARY LINE
	PIPE with PLUG		PROPOSED MAJOR CONTOUR
	WATER PIPELINE		PROPOSED MINOR CONTOUR
	WATER VALVE		EXISTING MAJOR CONTOUR
	FIRE HYDRANT		EXISTING MINOR CONTOUR
	BEND and TEE		STREET GRADE
	BLOWOFF ASSEMBLY		HIGH POINT
	AIR/VACUUM RELEASE VALVE		LOW POINT
	STORM DRAIN MANHOLE and PIPE		HANDICAPPED RAMP
	INLET		SPOT ELEVATION
	FLARED END SECTION		PROPOSED STREET LAMP
	EASEMENT		EXISTING INDIVIDUAL 6" OR LARGER TREES OUTSIDE OF TREE STAND
	CENTER LINE		EXISTING TREE STAND OR SCRUB OAK STAND
			EXISTING FENCE



- NOTES:**
1. SOAPSTONE WAY IMPROVEMENTS INCLUDING ROADWAY, WATER AND SEWER (EXCEPT SERVICES), STORM DRAIN AND STREETLIGHTS SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS FOR MAHER RANCH, FILING NO. 1 - PHASE 3 PRIOR TO THE DEVELOPMENT OF THE EIGHT LOTS SHOWN HEREON. THEREFORE SOAPSTONE WAY INFRASTRUCTURE WILL BE CONSIDERED EXISTING ON THIS SHEET.
  2. ALL RESIDENTIAL WATER SERVICES ARE 3/4". ALL SANITARY SEWER SERVICES ARE 4".
  3. DRIVEWAYS SHALL NOT BE CONSTRUCTED DIRECTLY OVER WATER SERVICES.

MAHER RANCH - FILING NO. 1  
RECEPTION NO. 2002092550  
COUNTY OF DOUGLAS

DATE: 01/22/04	TIME: 5:37 p.m.
SERVER: NONE	SERVICE: NONE
PATH: N:\DV1185\Cadd\Civil\1-8_B1\	
DRAWING NAME: PPMF3S3.DWG	
PLOTING VIEW: NONE	
DESIGNER: MHG PROJ. MGR: PWS	

NO.	BY	DATE	REVISIONS:
1	RMG	10/09/03	ADDRESS TOWN COMMENTS 9/29/03
2	RMG	12/04/03	ADDRESS TOWN COMMENTS - 2nd REVIEW
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MAHER RANCH FILING NO. 1, 2nd AMENDMENT  
PRELIMINARY PLAT / FINAL P.D. SITE PLAN  
GRADING AND UTILITY PLAN

SHEET NUMBER	3
OF	3 SHEETS
SCALE	T= N/A
HORIZONTAL	T= 50'
VERTICAL	T= 50'
JOB NUMBER	DV1185

PREPARED FOR: KDB HOMES, INC. DATE SUBMITTED: 7-11-03