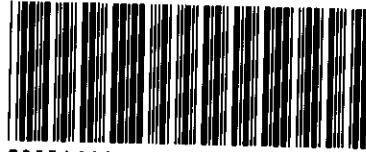


PLAT IDENTIFICATION SHEET

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$171.00
17 PGS

2003144415
09/30/2003 03:34 PM



2003144415 17 PGS

UNOFFICIAL COPY

GRANTOR:

(owner/signer)

James Company,
a division of TOUSA Homes, Inc.

GRANTEE:

(subdivision name or name of plat)

Maher Ranch Filing No. 1, 1st Amendment
Preliminary Plat/Final PD Site Plan

LEGAL:

(section-township-range)

25-7-67

LEGAL DESCRIPTION:

TRACT R, MAHER RANCH FILING NO. 1, ACCORDING TO THE RECORDED PLAT THEREOF, CONTAINING 8.191 ACRES (356,794 SQUARE FEET), MORE OR LESS.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE WEST HALF OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN. DOUGLAS COUNTY, COLORADO AS MONUMENTED ON THE WEST END AT THE NORTHWEST CORNER OF SAID SECTION 24 BY A 3-1/8 INCH ALUMINUM CAP STAMPED "1996, T7S, R67W, S14/S13/S23/S24, 10717" AND ON THE EAST END AT THE WEST 1/8 CORNER OF SAID SECTION 24 BY A 3-1/8 INCH ALUMINUM CAP STAMPED "1997, SEC.13/SEC.24, W6, T7S, R67W, 10717". THE BEARING OF SAID LINE IS S89°42'31"E, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK:

SOUTHWEST CORNER OF SECTION 24, FOUND 2-1/2" ALUM. CAP. THIS CORNER IS PART OF THE DOUGLAS COUNTY GPS CONTROL NETWORK, POINT NO. 2020010. ELEVATION: 6486.422 FEET NAVD 88

NOTES:

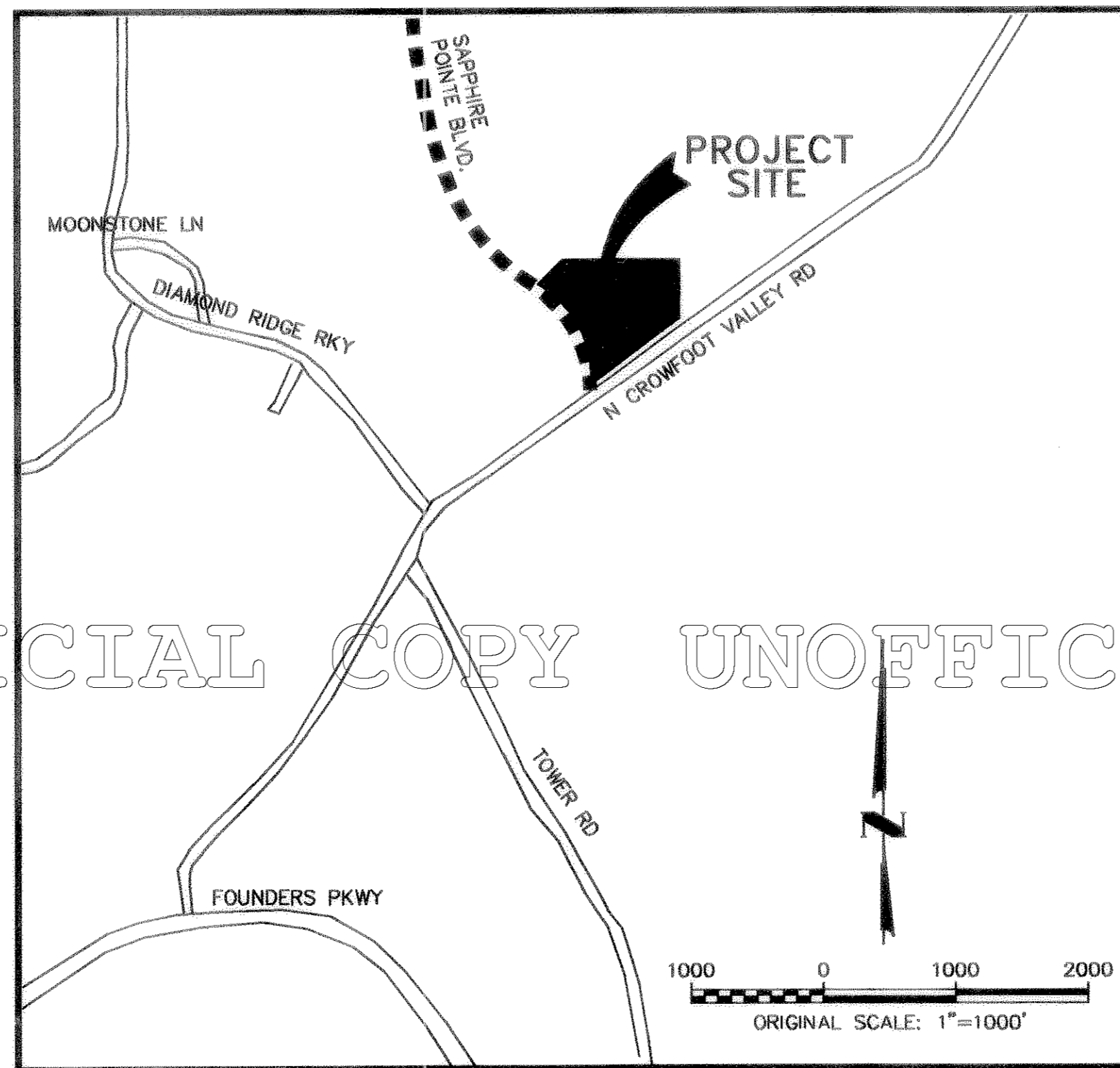
- 1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE DERIVED FROM EXISTING AS-BUILT PLANS, CONSTRUCTION DRAWINGS AND FIELD LOCATION. THE EXACT LOCATION MAY VARY.
2. THE 100-YEAR FLOODPLAIN LIMIT LIES OUTSIDE OF THE PROJECT BOUNDARIES.
3. ZONING DESIGNATION IS PD (PLANNED DEVELOPMENT) PER MAHER RANCH FILING NO. 1 PRELIMINARY PLAT/FINAL PD SITE PLAN, RECORDED APRIL 25, 2000, RECEPTION NO. 01035712.
4. ALL SPECIFIC UTILITIES, DRAINAGE, AND EMERGENCY ACCESS EASEMENTS AS SHOWN ON THE PRELIMINARY PLAT SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE FINAL PLAT.
5. A BLANKET EASEMENT OVER ALL PAVED SURFACES WILL BE GRANTED WITH THE FINAL PLAT FOR EMERGENCY ACCESS.
6. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE INDICATED.
7. ALL PARKING STALLS ARE 18' DEEP X 9' WIDE UNLESS OTHERWISE INDICATED.
8. ALL PANS IN FRONT OF PARKING WILL BE 2' UNLESS OTHERWISE INDICATED. ALL PANS CROSSING ROADWAYS WILL BE 6' UNLESS OTHERWISE INDICATED.
9. ALL AREAS THAT ARE NOT COVERED BY A STRUCTURE OR SPECIFIC EASEMENT WILL BE CONVEYED AS NON-EXCLUSIVE EASEMENTS TO THE HOMEOWNERS' ASSOCIATION FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, AND REPLACING IMPROVEMENTS FOR DRAINAGE, UTILITIES, WATER AND SEWER SERVICES, EXTERIORS AND LANDSCAPING, EAVE OVERHANGS, AND PORCH AREAS.
10. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
11. PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHT-OF-WAYS IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB. GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNERS WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
12. ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DRAWINGS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK REGULATIONS, STANDARDS AND REQUIREMENTS.
13. ALL WATER MAINS ARE PUBLIC TO THE CURB STOPS. BEYOND THE CURB STOPS, THE WATER SERVICE LINES ARE PRIVATE. ALL SANITARY SEWER MAINS ARE PUBLIC EXCEPT AS SHOWN ON SHEET 3. ALL SANITARY SERVICE LATERALS ARE PRIVATE. ALL STORM DRAINAGE FACILITIES ARE PRIVATE.
14. ALL PRIVATE ROADS AND PRIVATE UTILITIES ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WITH EASEMENTS GRANTED TO THE TOWN OF CASTLE ROCK WITH THE FINAL PLAT.
15. FIRE LANE SIGNS WILL BE INSTALLED PER THE REQUIREMENTS OF THE CASTLE ROCK FIRE DEPARTMENT.
16. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
17. APPROVAL OF THE PRELIMINARY PLAT/FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
18. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAT.
19. ALL RETAINING WALLS OR PORTIONS OF WALLS OVER 4' HIGH MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
20. SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
21. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
22. WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
23. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, AND ON ALL THROUGH AND ANY AND ALL PRIVATE ROADS AND DRIVES.
24. ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT. ALL FIRE LANES SHALL BE POSTED "NO PARKING FIRE LANES".
25. COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

MAHER RANCH FILING NO. 1, 1ST AMENDMENT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67, WEST OF THE 6TH PRINCIPAL MERIDIAN CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN

COVER SHEET



VICINITY MAP

SUMMARY TABLE

Table with 2 columns: Description and Value. Includes rows for Total Site Area (356,669 SF), Land Use (Building Coverage, Pavement Coverage, etc.), Bldg Height (30'-6"), Current Zoning (PD), Density (11.7 DU/AC), Building Setbacks (Front 20', Rear 20'), Parking Spaces (192 Required, 204 Provided), and Calculation (Multifamily - 96 Units - 2 Spaces per Unit = 192 Spaces).

CURRENT APPLICATION PRE PLAT/FINAL PD

Table with 2 columns: Description and Value. Includes rows for Total Site Area (356,669 SF), Land Use (Building Coverage, Pavement Coverage, etc.), Bldg Height (30'-6"), Current Zoning (PD), Density (11.7 DU/AC), Building Setbacks (Front 20', Rear 20'), Parking Spaces (192 Required, 204 Provided), and Calculation (Multifamily - 96 Units - 2 Spaces per Unit = 192 Spaces).

* - THERE IS LESS THAN ONE ENCLOSED GARAGE SPACE AVAILABLE PER UNIT. GARAGES WILL BE SOLD SEPARATELY TO HOMEBUYERS AS AN UPGRADE. NO SINGLE HOMEBUYER MAY OWN MORE THAN ONE GARAGE. SURFACE PARKING WILL BE INCLUDED WITH THE SALE OF THE HOME.

SHEET INDEX:

- 1 COVER SHEET
2 SITE PLAN
3 WATER AND SANITARY PLAN
4 GRADING AND STORM PLAN
5 OVERALL LANDSCAPE AND AMENITIES PLAN
6 DETAIL LANDSCAPE AND AMENITIES PLAN
7 DETAIL LANDSCAPE AND AMENITIES PLAN
8 DETAIL LANDSCAPE AND AMENITIES PLAN
9 OVERALL IRRIGATION PLAN
10-13 ARCHITECTURE ELEVATIONS AND DETAILS
14 PARK SHELTER ELEVATION AND DETAILS
15 LIGHTING PLAN
16 LIGHTING DETAILS
17 SITE IMPROVEMENT DETAILS

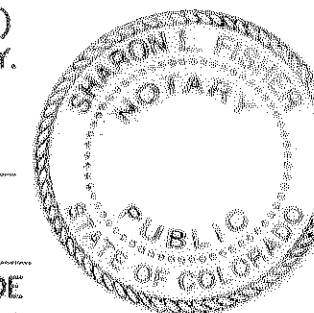
OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS MAHER RANCH FILING NO. 1, TRACT R, IN THE TOWN OF CASTLE ROCK.

JamesCompany, a division of TOUSA Homes Inc., a Florida Corporation

SIGNED THIS 27th DAY OF September 2003

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF September 2003 BY JamesCompany (NAME) AS E. J. OPERATIONS (TITLE) OF JAMES COMPANY, a division of TOUSA Homes Inc. AN AUTHORIZED SIGNATORY. BY JamesCompany WITNESS MY HAND AND SEAL



ADDRESS 2919 Valmont Rd #300 Boulder, CO 80501 CITY STATE ZIP CODE

TITLE CERTIFICATION:

I, Phil Van Horn, an authorized representative of First American Heritage, a title insurance company licensed to do business in the state of Colorado, have made an examination of the public records and state that all owners, mortgagees and lienholders of the property are listed in the certificate of ownership and lienholder subordination certificate.

SIGNED THIS 27th DAY OF September 2003

AUTHORIZED REPRESENTATIVE Phil Van Horn TITLE INSURANCE COMPANY First American Heritage

SURVEYOR'S CERTIFICATE:

I, George C. Smith, Jr., a registered professional land surveyor in the state of Colorado, do hereby certify that the survey and legal description represented by the MAHER RANCH FILING NO. 1, TRACT R PRELIMINARY PLAT/FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

SIGNED THIS 27th DAY OF September 2003 REGISTERED LAND SURVEYOR George C. Smith, Jr.

TOWN CERTIFICATION:

PLANNING COMMISSION RECOMMENDATION: THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR MAHER RANCH FILING NO. 1, TRACT R IS RECOMMENDED FOR APPROVAL BY THE COMMISSION ON THE 27th DAY OF September 2003.

CHAIRMAN William J. Latorre DATE 9-18-03 ATTEST: Kathleen A. Sullman DATE 9-18-03 DIRECTOR OF DEVELOPMENT SERVICES

TOWN COUNCIL APPROVAL:

THE PRELIMINARY PLAT/FINAL PD SITE PLAN FOR MAHER RANCH FILING NO. 1, TRACT R WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 27th DAY OF September 2003.

MAYOR William S. Bennett DATE 9-25-03 ATTEST: Kelly Munn DATE 9-25-03 TOWN CLERK

DOUGLAS COUNTY CLERK & RECORDER'S CERTIFICATE

STATE OF COLORADO) SS COUNTY OF DOUGLAS)

I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THE 30th DAY OF September 2003 AT 2:00 O'CLOCK P.M. AND WAS RECORDED UNDER RECEPTION NUMBER 200301815

DOUGLAS COUNTY CLERK AND RECORDER



OWNER

JamesCompany, a division of TOUSA Homes Inc., a Florida Corporation 2919 VALMONT RD., SUITE 204 BOULDER, COLORADO 80501

ARCHITECT

J.W. MILLER ASSOCIATES 203 S. MAIN STREET, STE. D LONGMONT, CO 80501

LANDSCAPE ARCHITECT

OTAK 36 NORTH FOURTH STREET CARBONDALE, COLORADO 81623



MAHER RANCH FILING NO. 1, 1ST AMENDMENT PRELIMINARY PLAT/FINAL PD SITE PLAN COVER SHEET SHEET 1 OF 17



5600 SOUTH QUEBEC STREET, SUITE 2000, GREENWOOD VILLAGE, COLORADO 80111 PHONE: (303) 694-2300 FAX: (303) 694-2822

PREPARED: 2/23/03

Table with 2 columns: Date and Description. Includes rows for revisions: 04-30-03 PER CITY COMMENTS, 07-14-03 PER CITY COMMENTS, 09-05-03 PER CITY COMMENTS.

CIVIL ENGINEERING AND LAND SURVEYING

KIRKHAM, MICHAEL CONSULTING ENGINEERS 5600 SOUTH QUEBEC STREET, SUITE 2000 GREENWOOD VILLAGE, COLORADO 80111

LEGEND OF SYMBOLS:

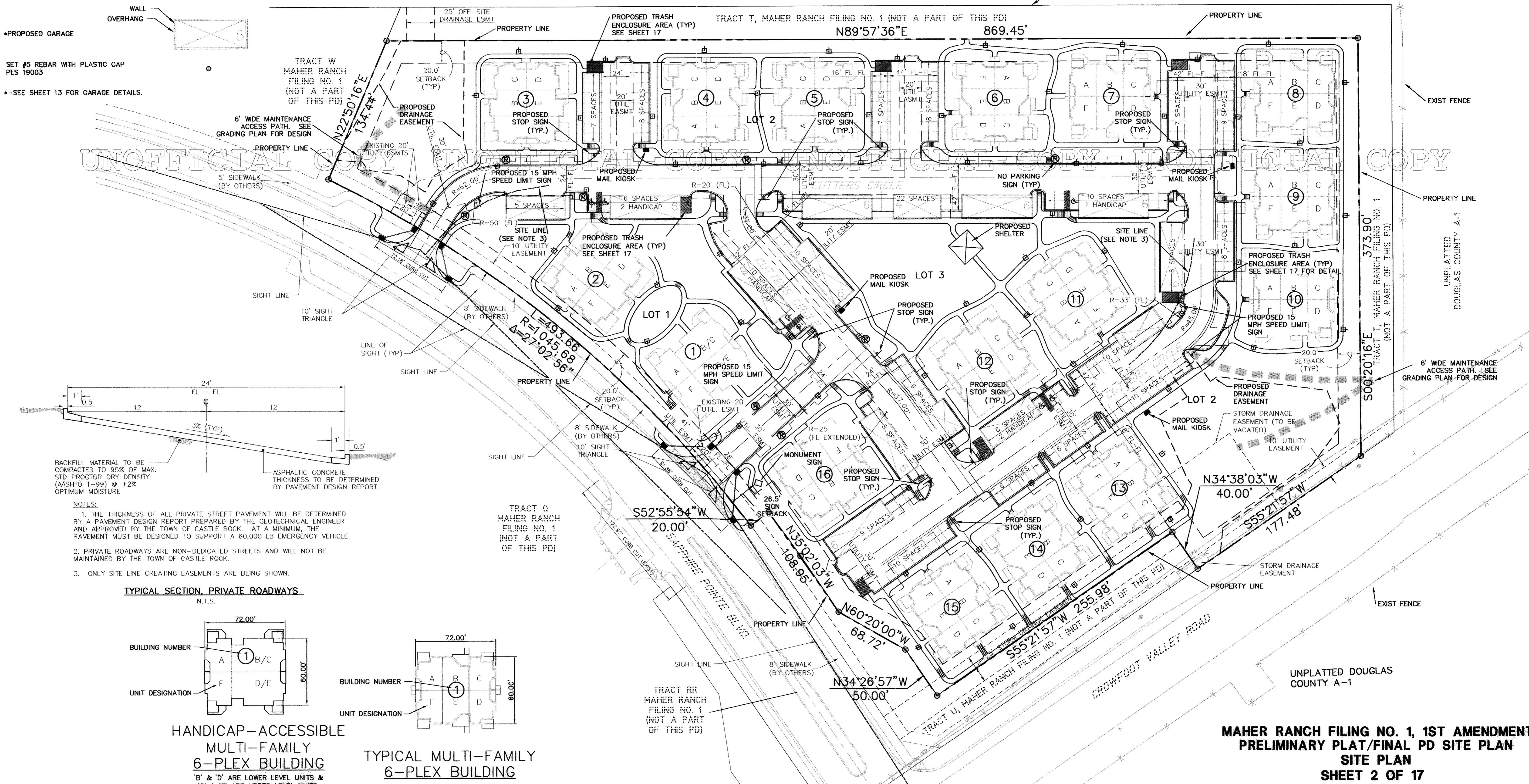
- PROPOSED PROPERTY LINE
- 6" CURB & GUTTER
- HANDICAP PARKING SPACE
- INTERIOR HANDICAP RAMP
- APPROX. LOC. OF NO PARKING/FIRE LANE SIGN (SEE DETAILS ON LANDSCAPE PLANS)
- DIRECTIONAL SIGN (SEE DETAILS ON LANDSCAPE PLANS)
- SITE LIGHTING
- EXISTING STREET LIGHT
- EXISTING OPTICAL CABLE AND BOX
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING FENCE

MAHER RANCH FILING NO. 1, 1ST AMENDMENT

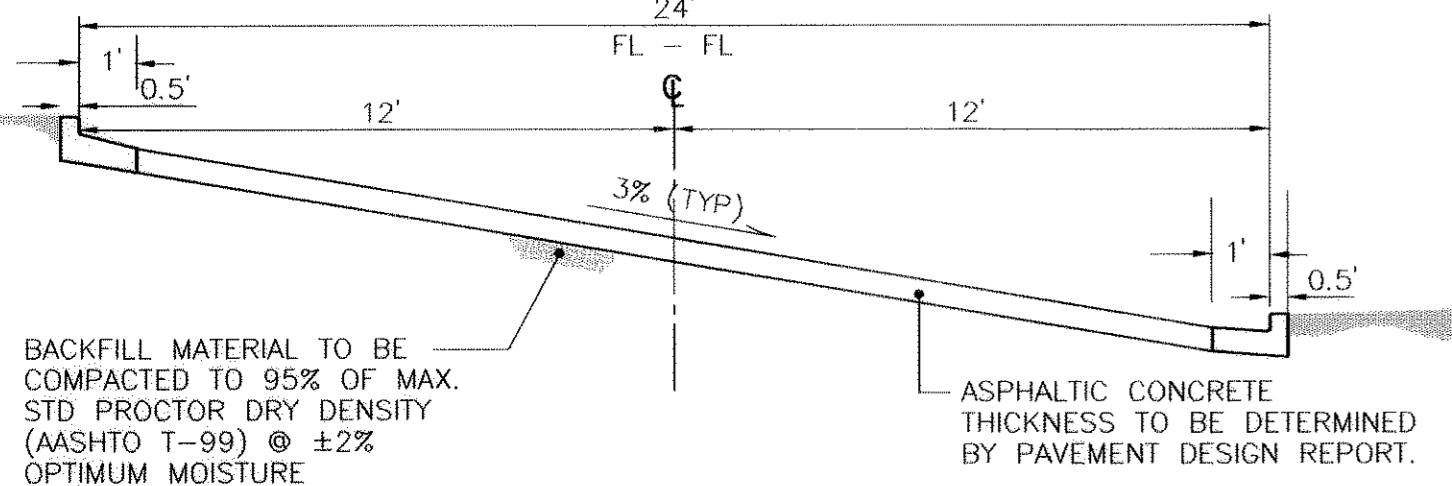
A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
TOWNSHIP 7 SOUTH, RANGE 67, WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN

SITE PLAN

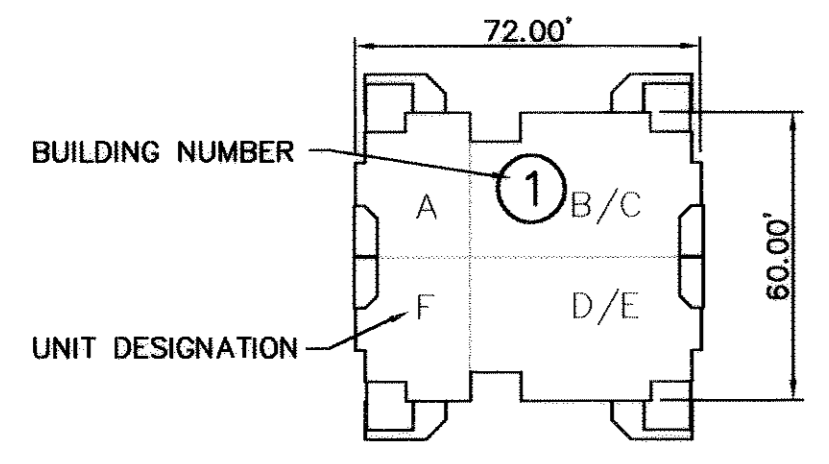


SET #5 REBAR WITH PLASTIC CAP
PLS 19003
-SEE SHEET 13 FOR GARAGE DETAILS.

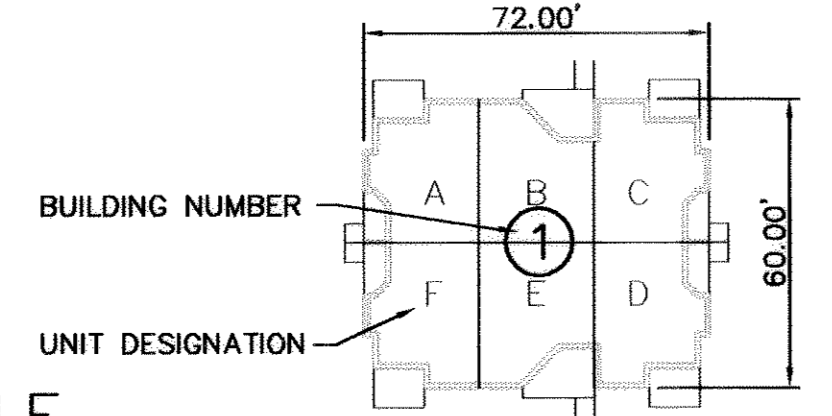


- NOTES:
1. THE THICKNESS OF ALL PRIVATE STREET PAVEMENT WILL BE DETERMINED BY A PAVEMENT DESIGN REPORT PREPARED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE TOWN OF CASTLE ROCK. AT A MINIMUM, THE PAVEMENT MUST BE DESIGNED TO SUPPORT A 60,000 LB EMERGENCY VEHICLE.
 2. PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE TOWN OF CASTLE ROCK.
 3. ONLY SITE LINE CREATING EASEMENTS ARE BEING SHOWN.

TYPICAL SECTION, PRIVATE ROADWAYS
N.T.S.



HANDICAP-ACCESSIBLE
MULTI-FAMILY
6-PLEX BUILDING
'B' & 'D' ARE LOWER LEVEL UNITS &
'C' & 'E' ARE UPPER LEVEL UNITS.



TYPICAL MULTI-FAMILY
6-PLEX BUILDING

MAHER RANCH FILING NO. 1, 1ST AMENDMENT

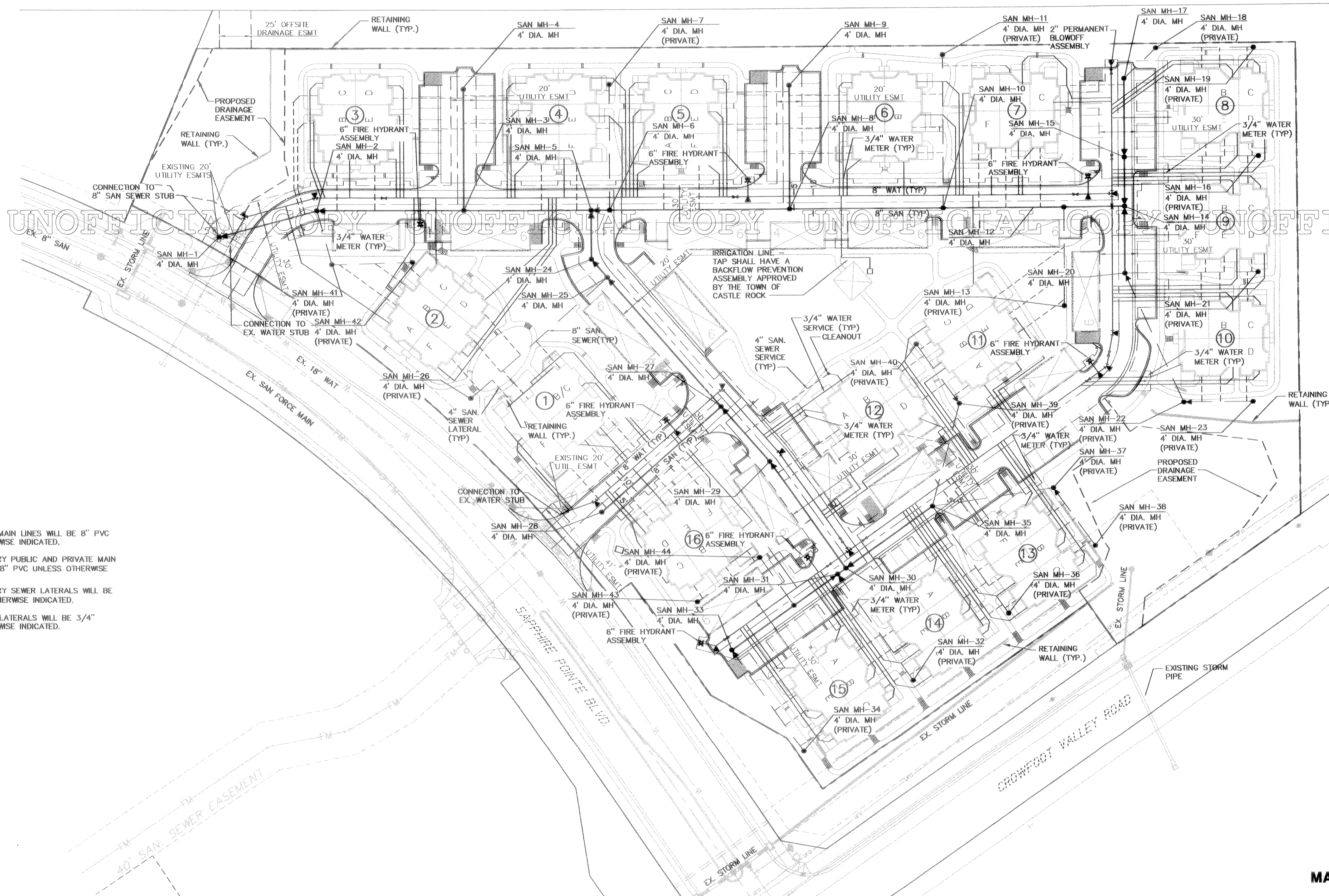
A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
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CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN

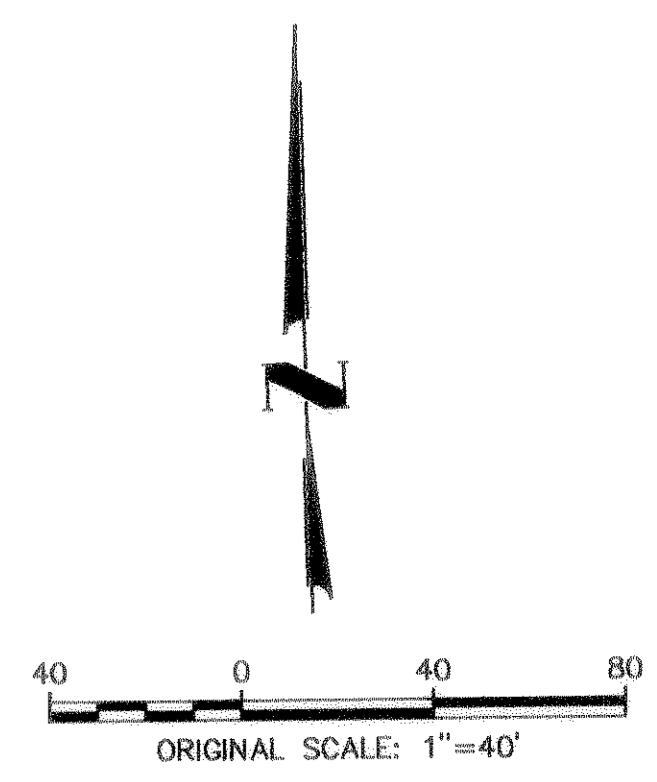
WATER AND SANITARY PLAN

LEGEND OF SYMBOLS:

PROPOSED PROPERTY LINE	---
PROPOSED PUBLIC SANITARY SEWER LATERAL	—●—
PROPOSED PRIVATE SANITARY SEWER MAIN	—●—
PROPOSED SANITARY LATERALS	---
PROPOSED WATER	—●—
3/4" SVC W/ METER	—●—
8" GATE VALVE	—●—
PROPOSED RETAINING WALL	▬▬▬▬▬▬
6" CURB & GUTTER	▬▬▬▬▬▬
HANDICAP PARKING SPACE	♿
EXISTING WATER MAIN W/ FH	—●—
EXISTING SANITARY SEWER	—●—
FORCED MAIN	—●—
EXISTING SANITARY SEWER	—●—
W/ INLET & FES	—●—
EXISTING STORM SEWER	—●—
EXISTING STORM CULVERT	—●—
EXISTING STREET LIGHT	⊙
EXISTING SIGNAL CABLE AND BOX	—●—
EXISTING UTILITY POLE	—●—
EXISTING FENCE	—●—



- NOTES:**
1. ALL WATER MAIN LINES WILL BE 8" PVC UNLESS OTHERWISE INDICATED.
 2. ALL SANITARY PUBLIC AND PRIVATE MAIN LINES WILL BE 8" PVC UNLESS OTHERWISE INDICATED.
 3. ALL SANITARY SEWER LATERALS WILL BE 4" UNLESS OTHERWISE INDICATED.
 4. ALL WATER LATERALS WILL BE 3/4" UNLESS OTHERWISE INDICATED.



MAHER RANCH FILING NO. 1, 1ST AMENDMENT

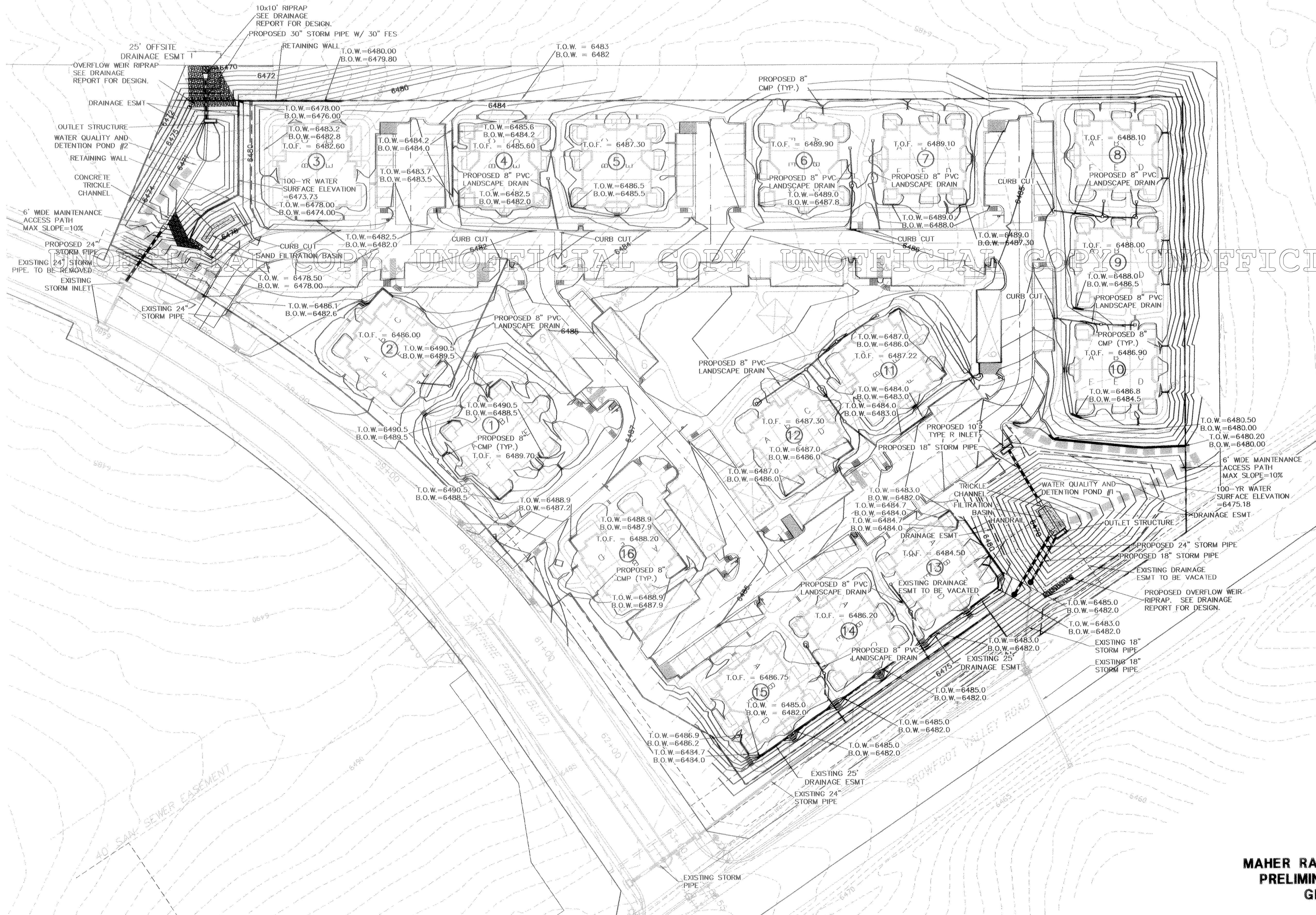
A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
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CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN

GRADING AND STORM PLAN

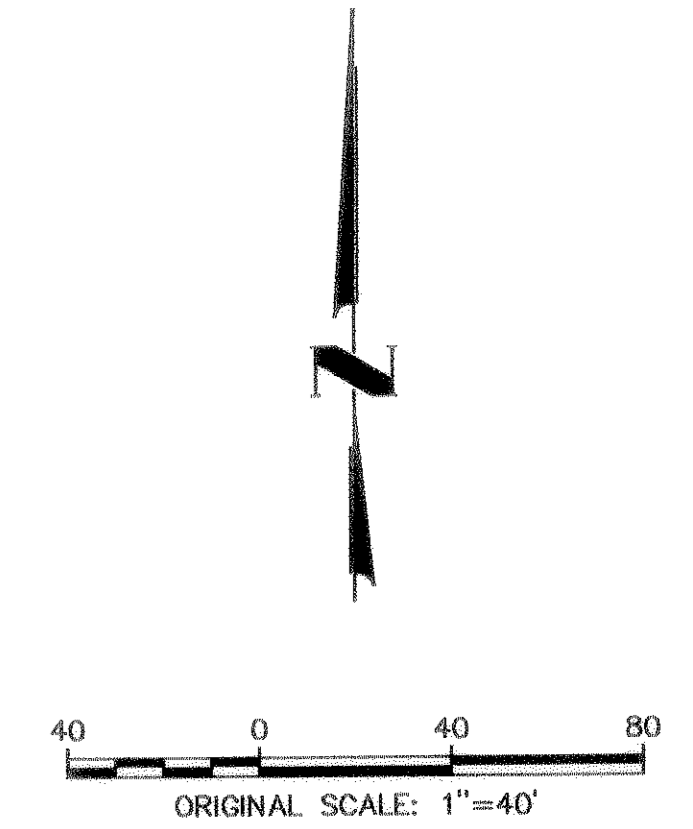
LEGEND OF SYMBOLS:

PROPOSED PROPERTY LINE	---
PROPOSED STORM SEWER	—+—+—+—+—+—+—
PROPOSED 5' CONTOUR	6480
PROPOSED 1' CONTOUR	6484
6" CURB & GUTTER	=====
100-YR WSEL	-----
HANDICAP PARKING SPACE	♿
INTERIOR HANDICAP RAMP	↗
MONUMENT/DIRECTIONAL SIGN (SEE DETAILS ON LANDSCAPE PLANS)	— —
EXISTING WATER W/ FH	— — — — — — —
EXISTING SANITARY SEWER W/ MANHOLE	— — — — — — —
EXISTING SANITARY SEWER FORCED MAIN	— — — — — — —
EXISTING STORM SEWER W/ INLET & FES	— — — — — — —
EXISTING SAPPHIRE POINT BLVD. ROAD CONTOUR	-----
EXISTING SANITARY SEWER EASEMENT	-----
EXISTING STREET LIGHT	⊙
EXISTING STORM	-----
EXISTING 1' CONTOUR	6488
EXISTING 5' CONTOUR	6492
EXISTING OPTICAL CABLE AND BOX	— — — — — — —
EXISTING SIGN	— —
EXISTING UTILITY POLE	⊙
EXISTING FENCE	— — — — — — —



ALL RETAINING WALLS OR PORTIONS OF WALLS OVER 4' HIGH MUST BE DESIGNED BY A STRUCTURAL ENGINEER AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.

T.O.F. = TOP OF FOUNDATION



MAHER RANCH FILING NO. 1, 1st Amendment

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
TOWNSHIP 7 SOUTH, RANGE 67, WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN

OVERALL LANDSCAPE AND AMENITIES PLAN

Cutters Ridge Landscape Symbols

- Acer saccharum 'Legacy'
- Fraxinus pennsylvanica 'Summit'
- Celtis occidentalis
- Amelanchier alnifolia
- Juniperus scopulorum 'ColoGreen'
- Juniperus virginiana 'Cupressifolia'
- Pinus edulis
- Pinus ponderosa
- Ornamental Tree
- Shrubs
- native Buffalograss
- Retaining Walls
- Lighting
- Wood Rail Fence

*for details of all plant material, refer to the charts and notes below.

Cutters Ridge Planting Schedule

Symbol	Scientific Name	Common Name	Quantity	Size	Comments
AsL	Acer saccharum 'Legacy'	Legacy Sugar Maple	52	2" cal.	B&B
FpS	Fraxinus pennsylvanica 'Summit'	Summit Ash	48	2" cal.	B&B
Co	Celtis occidentalis	Western Hackberry	5	2" cal.	B&B
			Total= 105		

Symbol	Scientific Name	Common Name	Quantity	Size	Comments
Aa	Amelanchier alnifolia	Serviceberry	62	1.5" cal.	B&B
CaL	Crataegus crus-galli 'Inermis'	Cocksaur Hawthorn	23	1.5" cal.	B&B
Mt	Malus sp. 'Radiant'	Radiant Crabapple	10	1.5" cal.	B&B
PvS	Prunus virginiana 'Schubert'	Schubert Chokecherry	19	1.5" cal.	B&B
			Total= 114		

Symbol	Scientific Name	Common Name	Quantity	Size	Comments
JsC	Juniperus scopulorum 'ColoGreen'	ColoGreen Juniper	19	6' hgt.	B&B
JvC	Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	20	6' hgt.	B&B
Pe	Pinus edulis	Pinon Pine	44	6' hgt.	B&B
Pp	Pinus ponderosa	Ponderosa Pine	17	6' hgt.	B&B
			Total= 100		

Symbol	Scientific Name	Common Name	Quantity	Size	Comments
Cm	Cercocarpus montanus	Mountain Mahogany	59	5 gal.	
CsF	Comus stolonifera 'Flaviramea'	Yellow Twig Dogwood	39	5 gal.	
CaK	Comus stolonifera 'Kelsey'	Red Twig Dogwood	44	5 gal.	
JcE	Juniperus communis 'Effusa'	Effusa Common Juniper	76	5 gal.	
Pb	Prunus besseyi	Western Sandcherry	30	5 gal.	
Ra	Ribes alpinum	Alpine Currant	65	5 gal.	
RaG	Rhus aromatica 'Grow Low'	Grow Low Sumac	92	5 gal.	
Rc	Ribes cereum	Squaw Currant	55	5 gal.	
SmP	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	47	5 gal.	
So	Symphoricarpos oreophilus	Mountain Snowberry	87	5 gal.	
SpM	Syringa patula 'Miss Kim'	Dwarf Miss Kim Lilac	24	5 gal.	
			Total= 618		

Cutters Ridge Landscape Ground Coverage

DROUGHT TOLERANT TURF (native Buffalograss)—detention only	13,307 square feet (in detention—not part of total landscape area per Code)
DROUGHT TOLERANT TURF (native Buffalograss)	109,396 square feet
PLANTED GROUND COVER	0
ORNAMENTAL NONLIVING MATERIAL	37,470 square feet (refer to note #9 on this sheet regarding short term irrigation)

Cutters Ridge Landscape Requirement Table

Total Landscape Area in Development: 146,866 square feet

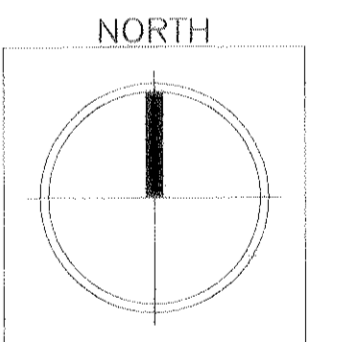
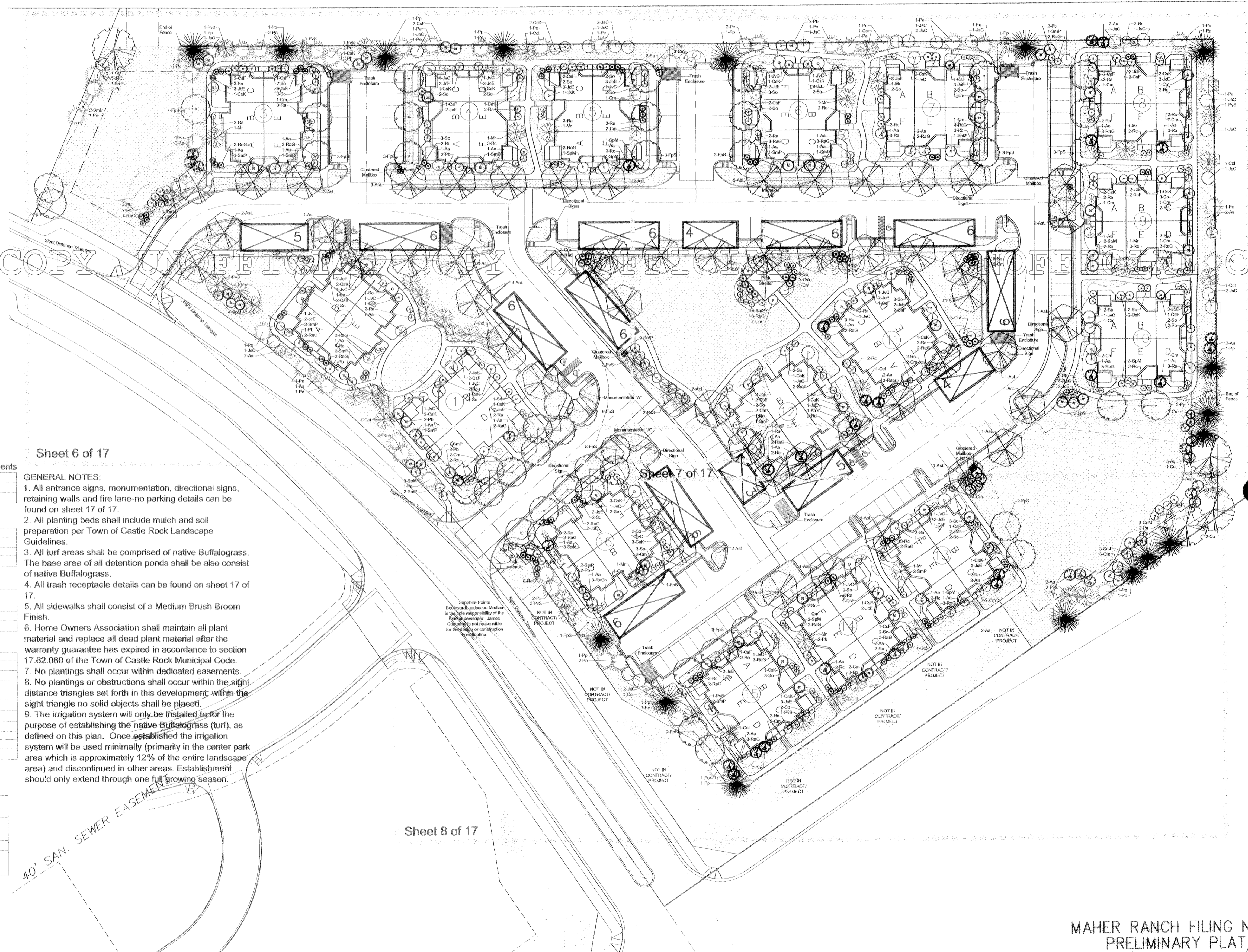
REQUIRED TREES: 305 Trees
PROVIDED TREES: 319 Trees

REQUIRED SHRUBS: 610 Shrubs
PROVIDED SHRUBS: 618 Shrubs

Sheet 6 of 17

- GENERAL NOTES:**
- All entrance signs, monumentation, directional signs, retaining walls and fire lane-no parking details can be found on sheet 17 of 17.
 - All planting beds shall include mulch and soil preparation per Town of Castle Rock Landscape Guidelines.
 - All turf areas shall be comprised of native Buffalograss. The base area of all detention ponds shall be also consist of native Buffalograss.
 - All trash receptacle details can be found on sheet 17 of 17.
 - All sidewalks shall consist of a Medium Brush Broom Finish.
 - Home Owners Association shall maintain all plant material and replace all dead plant material after the warranty guarantee has expired in accordance to section 17.62.080 of the Town of Castle Rock Municipal Code.
 - No plantings shall occur within dedicated easements.
 - No plantings or obstructions shall occur within the sight distance triangles set forth in this development; within the sight triangle no solid objects shall be placed.
 - The irrigation system will only be installed for the purpose of establishing the native Buffalograss (turf), as defined on this plan. Once established the irrigation system will be used minimally (primarily in the center park area which is approximately 12% of the entire landscape area) and discontinued in other areas. Establishment should only extend through one full growing season.

Sheet 8 of 17



Scale: One inch equals forty feet

James Company
36 North Fourth Street
Carbondale, Colorado 81623
Phone: (970) 963-1971
Fax: (970) 963-1622



MAHER RANCH FILING NO. 1, 1st Amendment
PRELIMINARY PLAT/FINAL PD SITE PLAN
OVERALL LANDSCAPE AND AMENITIES PLAN
SHEET 5 OF 17

MAHER RANCH FILING NO. 1, 1st Amendment

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
TOWNSHIP 7 SOUTH, RANGE 67, WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

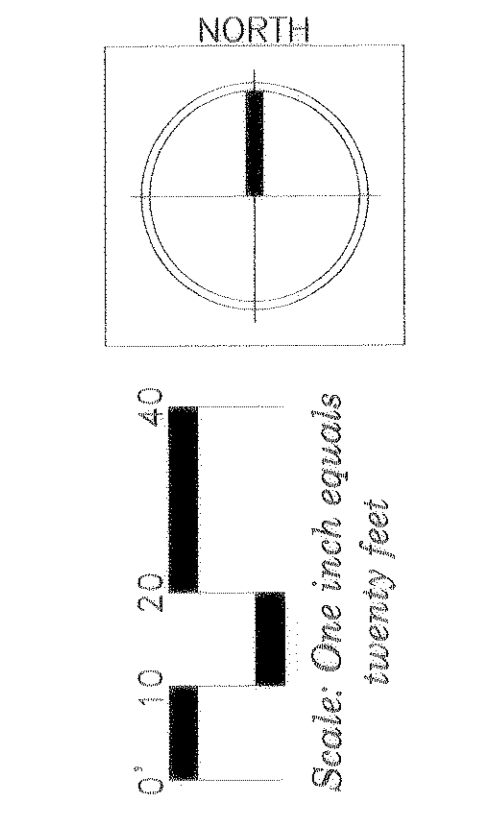
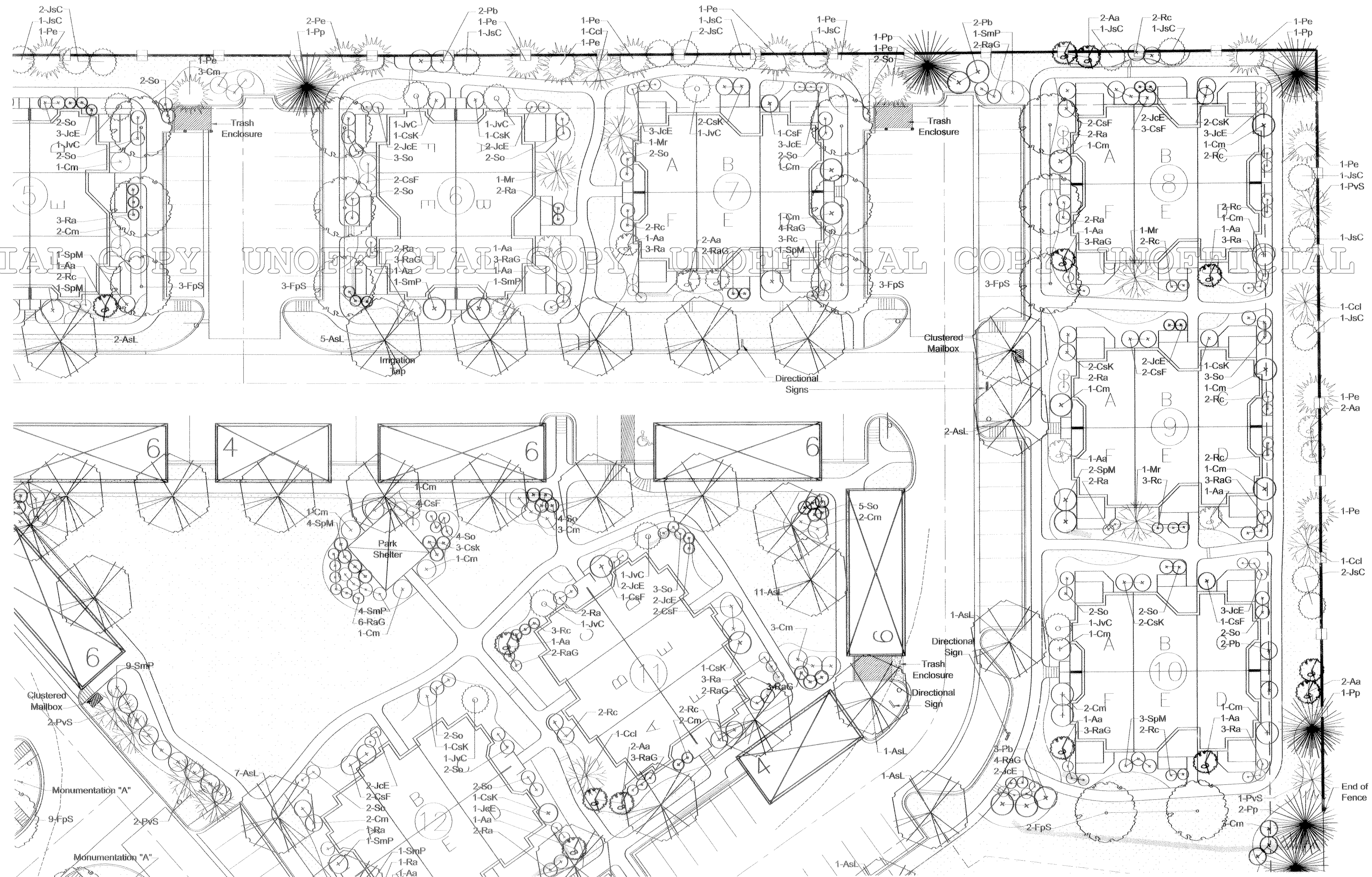
PRELIMINARY PLAT/FINAL PD SITE PLAN

DETAIL LANDSCAPE AND AMENITIES PLAN

Cutters Ridge Landscape Symbols

- Acer saccharum 'Legacy'
- Fraxinus pennsylvanica 'Summit'
- Celtis occidentalis
- Amelanchier alnifolia
- Juniperus scopulorum 'Cologreen'
- Juniperus virginiana 'Cupressifolia'
- Pinus edulis
- Pinus ponderosa
- Ornamental Tree
- Shrubs
- native Buffalograss
- Retaining Walls
- Lighting
- Wood Rail Fence

*for details of all plant material, refer to the charts and notes below.



James Company
2018 MAHER RANCH SITE PLAN
PRELIMINARY PLAT/FINAL PD



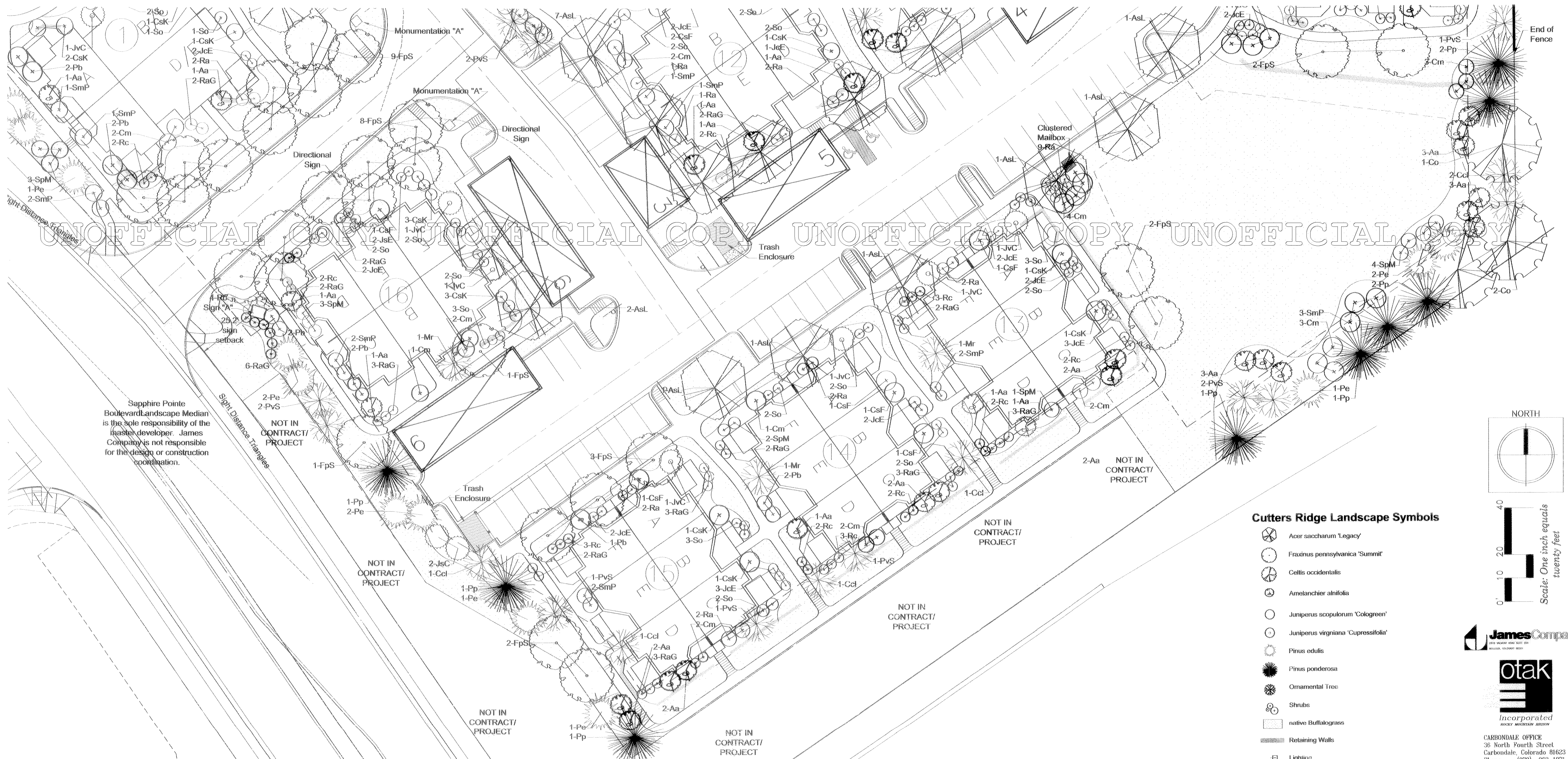
CARBONDALE OFFICE
36 North Fourth Street
Carbondale, Colorado 81623
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PRELIMINARY PLAT/FINAL PD SITE PLAN

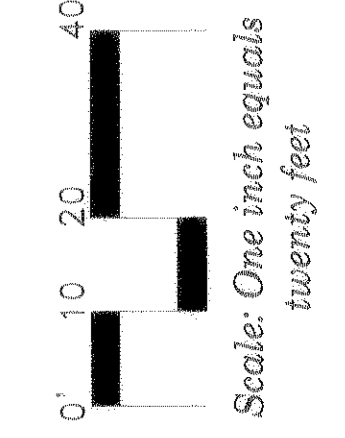
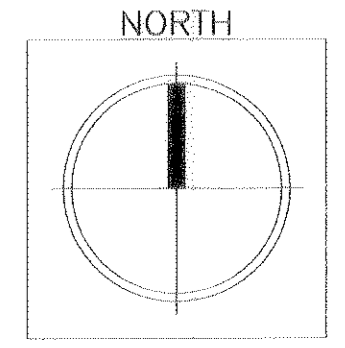
DETAIL LANDSCAPE AND AMENITIES PLAN



Sapphire Pointe
Boulevard Landscape Median
is the sole responsibility of the
master developer. James
Company is not responsible
for the design or construction
coordination.

Cutters Ridge Landscape Symbols

- Acer saccharum 'Legacy'
- Fraxinus pennsylvanica 'Summit'
- Celtis occidentalis
- Amelanchier alnifolia
- Juniperus scopulorum 'Cologreen'
- Juniperus virginiana 'Cupressifolia'
- Pinus edulis
- Pinus ponderosa
- Ornamental Tree
- Shrubs
- native Buffalo grass
- Retaining Walls
- Lighting
- Wood Rail Fence



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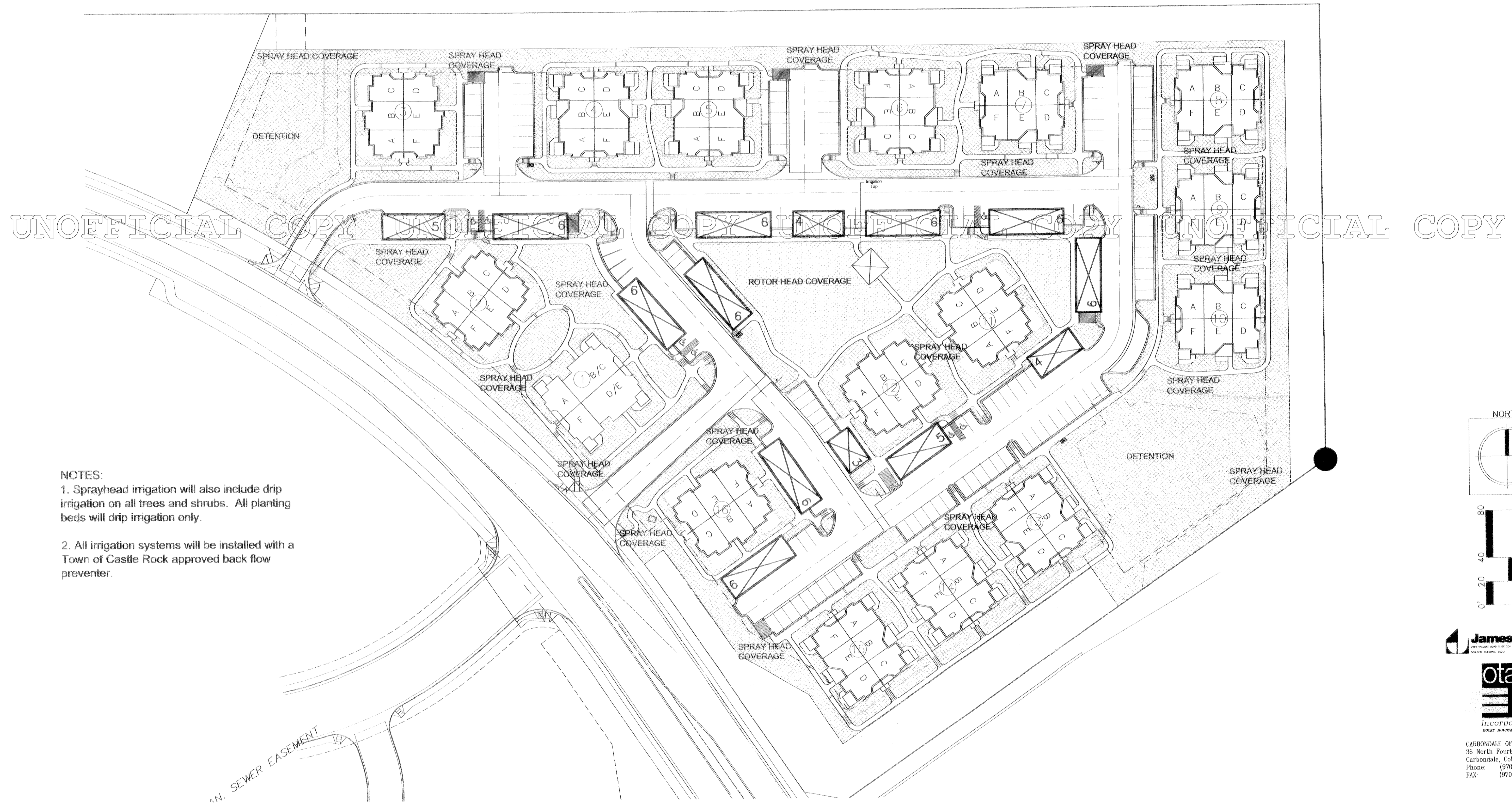
*for details of all plant material, refer to the
charts and notes below.

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CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

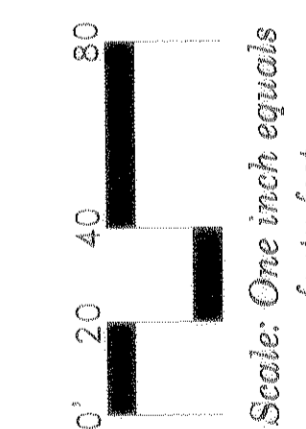
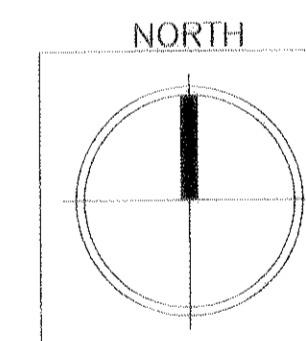
PRELIMINARY PLAT/FINAL PD SITE PLAN

OVERALL IRRIGATION PLAN



NOTES:

1. Sprayhead irrigation will also include drip irrigation on all trees and shrubs. All planting beds will drip irrigation only.
2. All irrigation systems will be installed with a Town of Castle Rock approved back flow preventer.

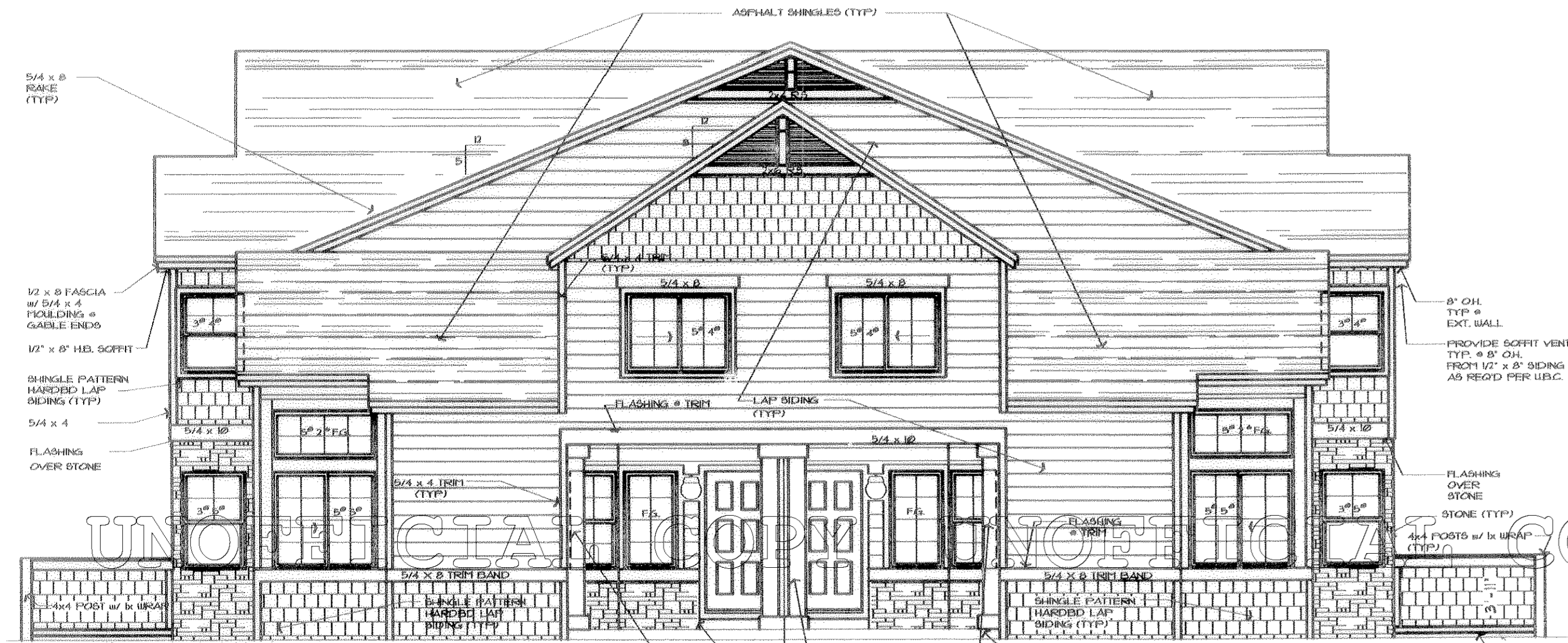


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CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN ARCHITECTURE ELEVATIONS



1 END ELEVATION
SCALE:



2 END ELEVATION
SCALE:



3 TYPICAL SIDE ELEVATIONS
SCALE:

MATERIAL AND COLOR NOTES:

COLOR SCHEMES: THERE WILL BE THREE COLOR SCHEMES. REFER TO THE SUPPLEMENTARY COLOR BOARD SUBMITTAL FOR VISUAL APPEARANCE OF COLORS.

TYPICAL MATERIALS:

LAP SIDING:	CEMENT FIBERBOARD
SHINGLE SIDING:	HARDBOARD
STONE VENEER SIDING:	CAST STONE, ASHLER PATTERN
TRIM:	FIBER BOARD
ROOFING:	ASPHALT 30 YEAR SHINGLE
WINDOWS:	WHITE VINYL
GUTTERS & DOWNSPOUTS:	GALVANIZED; PAINT TO MATCH TRIM

COLOR SCHEME #1

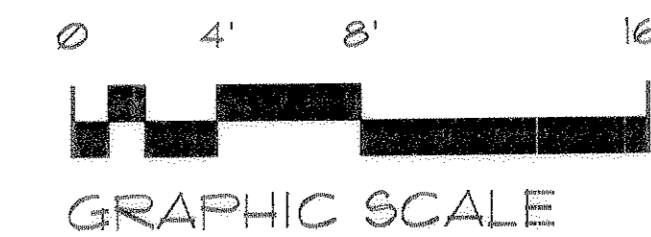
Siding Mansard Stone
Accent Autumn Wheat
Trim Smokey Candle
Door Colony Brick
Roof Weathered Wood
Stone Cultured Stone - Cedar

COLOR SCHEME #2

Siding Elkhorn Cactus
Accent Stonington
Trim Paraffin
Door Brick Shadow
Roof Rustic Slate
Stone Cultured Stone - Cedar

COLOR SCHEME #3

Siding Autumn Wheat
Accent Gristmill
Trim Honey Wind
Door Best Burgundy
Roof Black Walnut
Stone Cultured Stone - Chardonnay



ACCESSIBLE A BUILDING ELEVATIONS
SCALE: 3/16" = 1'-0"

TYPICAL ELEVATIONS, DETAILS
CUTTER'S RIDGE CONDOMINIUMS

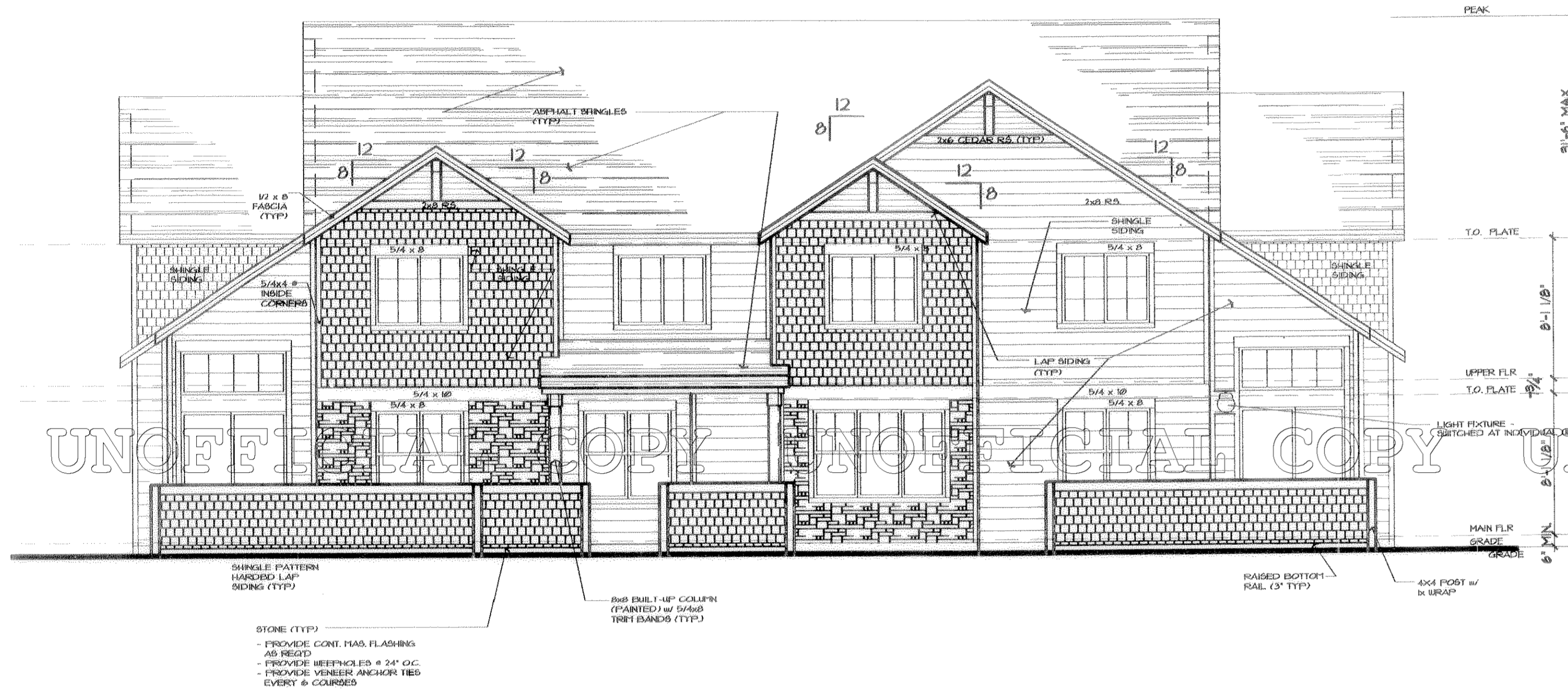


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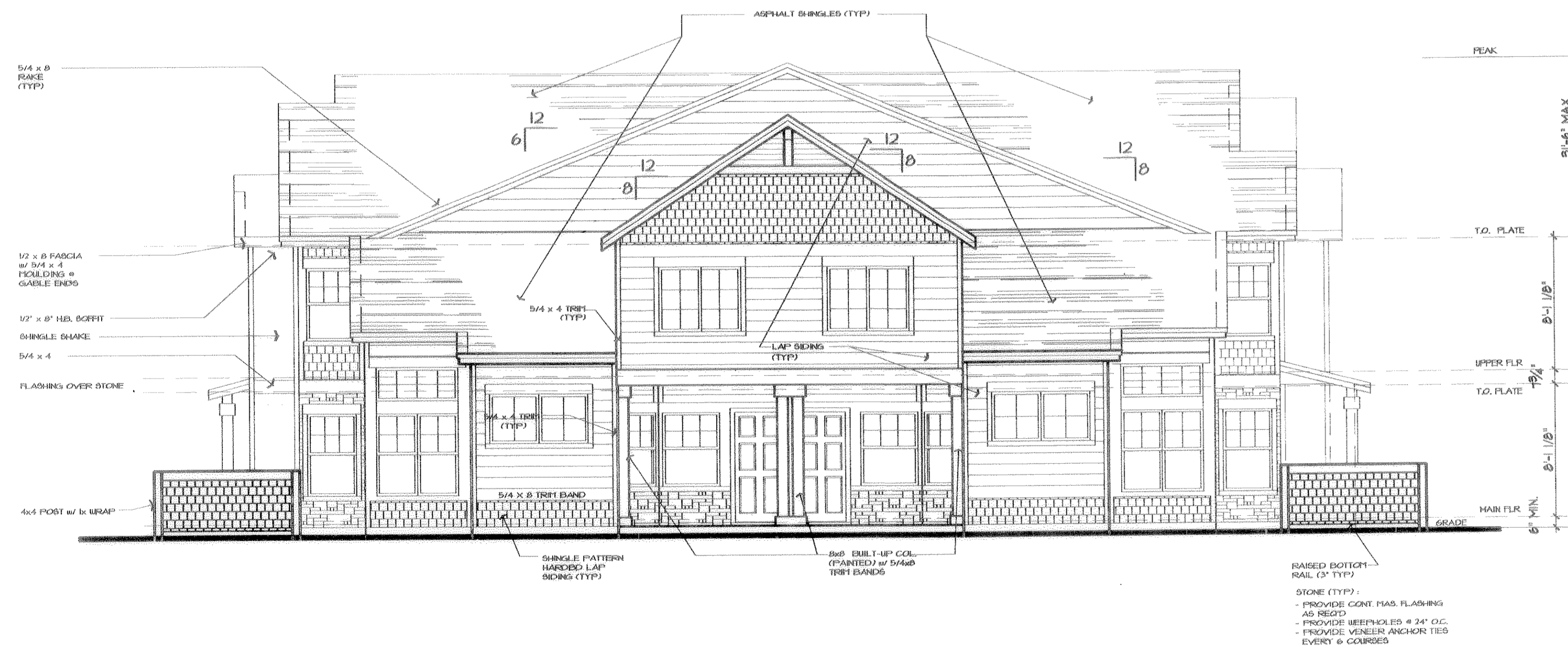
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CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN ARCHITECTURE ELEVATIONS



1 TYPICAL SIDE ELEVATIONS
SCALE: SEE GRAPHIC SCALE



2 TYPICAL END ELEVATIONS
SCALE: SEE GRAPHIC SCALE

MATERIAL AND COLOR NOTES:

COLOR SCHEMES: THERE WILL BE THREE COLOR SCHEMES. REFER TO THE SUPPLEMENTARY COLOR BOARD SUBMITTAL FOR VISUAL APPEARANCE OF COLORS.

COLOR SCHEME #1

Siding Mansard Stone
Accent Autumn Wheat
Trim Smokey Candle
Door Colony Brick
Roof Weathered Wood
Stone Cultured Stone - Cedar

COLOR SCHEME #2

Siding Elkhorn Cactus
Accent Stonington
Trim Paraffin
Door Brick Shadow
Roof Rustic Slate
Stone Cultured Stone - Cedar

COLOR SCHEME #3

Siding Autumn Wheat
Accent Gristmill
Trim Honey Wind
Door Best Burgundy
Roof Black Walnut
Stone Cultured Stone - Chardonnay

TYPICAL MATERIALS:

LAP SIDING:	CEMENT FIBERBOARD
SHINGLE SIDING:	HARDBOARD
STONE VENEER SIDING:	CAST STONE, ASHLER PATTERN
TRIM:	FIBER BOARD
ROOFING:	ASPHALT 30 YEAR SHINGLE
WINDOWS:	WHITE VINYL
GUTTERS & DOWNSPOUTS:	GALVANIZED; PAINT TO MATCH TRIM

ACCESSIBLE B BUILDING ELEVATIONS



TYPICAL ELEVATIONS, DETAILS
CUTTER'S RIDGE CONDOMINIUMS



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PRELIMINARY PLAT/FINAL PD SITE PLAN

ARCHITECTURE ELEVATIONS

MATERIAL AND COLOR NOTES:

COLOR SCHEMES: THERE WILL BE THREE COLOR SCHEMES. REFER TO THE SUPPLEMENTARY COLOR BOARD SUBMITTAL FOR VISUAL APPEARANCE OF COLORS.

COLOR SCHEME #1

Siding Mansard Stone
Accent Autumn Wheat
Trim Smokey Candle
Door Colony Brick
Roof Weathered Wood
Stone Cultured Stone - Cedar

COLOR SCHEME #2

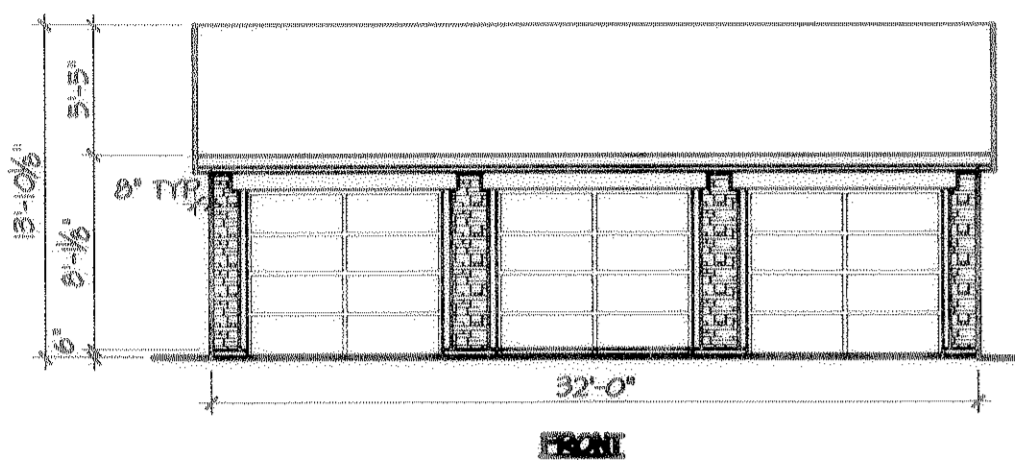
Siding Elkhorn Cactus
Accent Stonington
Trim Paraffin
Door Brick Shadow
Roof Rustic Slate
Stone Cultured Stone - Cedar

COLOR SCHEME #3

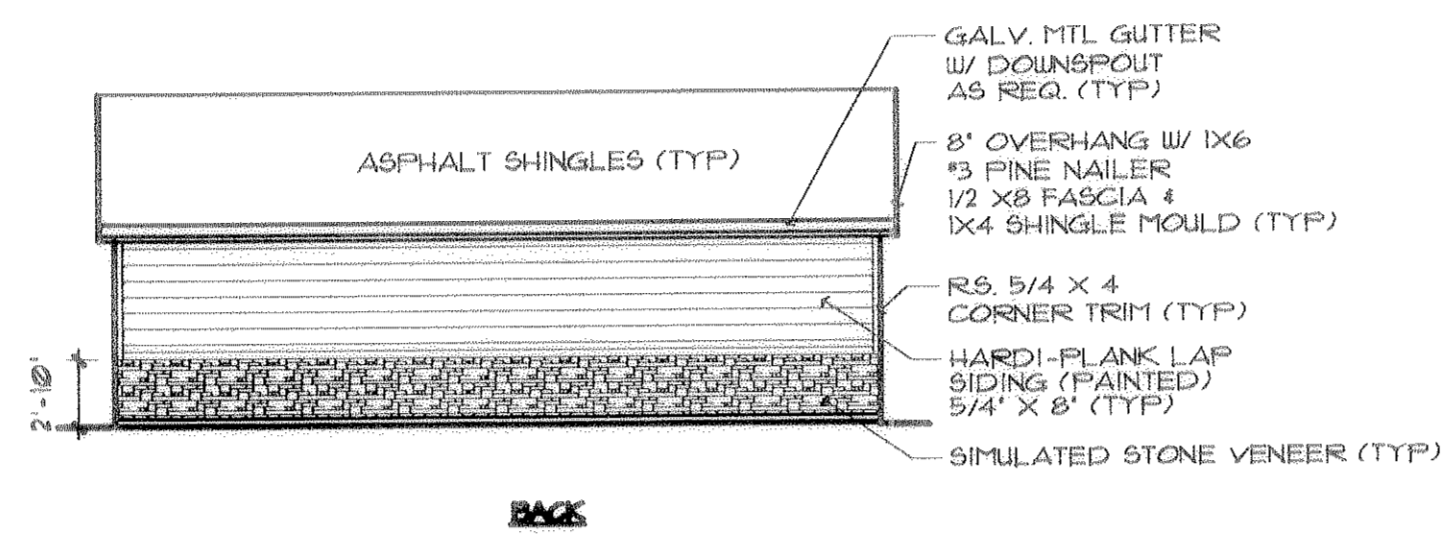
Siding Autumn Wheat
Accent Gristmill
Trim Honey Wind
Door Best Burgundy
Roof Black Walnut
Stone Cultured Stone - Chardonnay

TYPICAL MATERIALS:

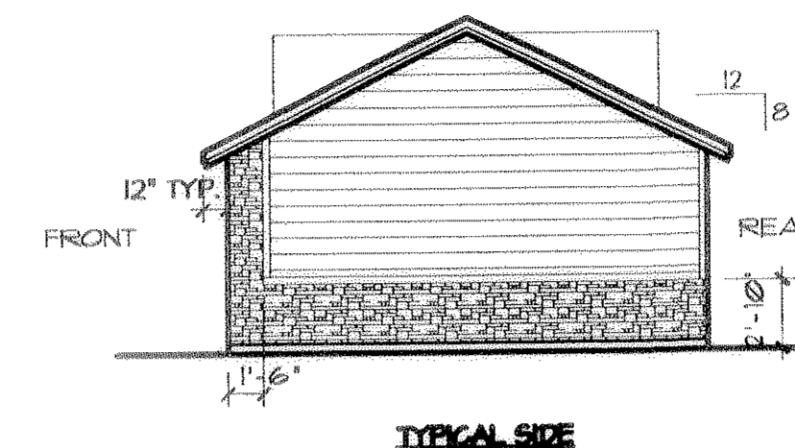
LAP SIDING: CEMENT FIBERBOARD
TRIM: FIBER BOARD
ROOFING: ASPHALT 30 YEAR SHINGLE
GUTTERS & DOWNSPOUTS: GALVANIZED; PAINT TO MATCH TRIM



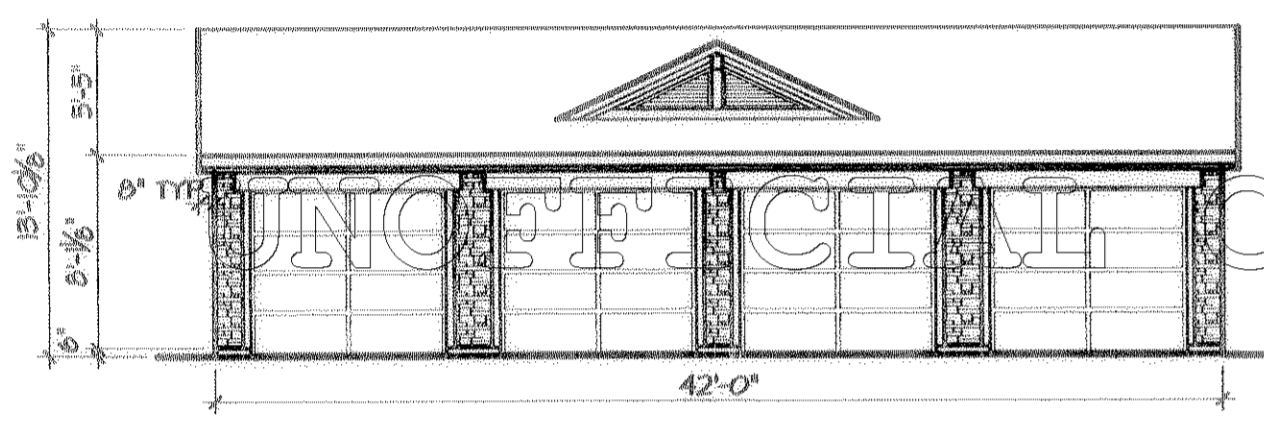
TYPICAL 3 BAY GARAGE



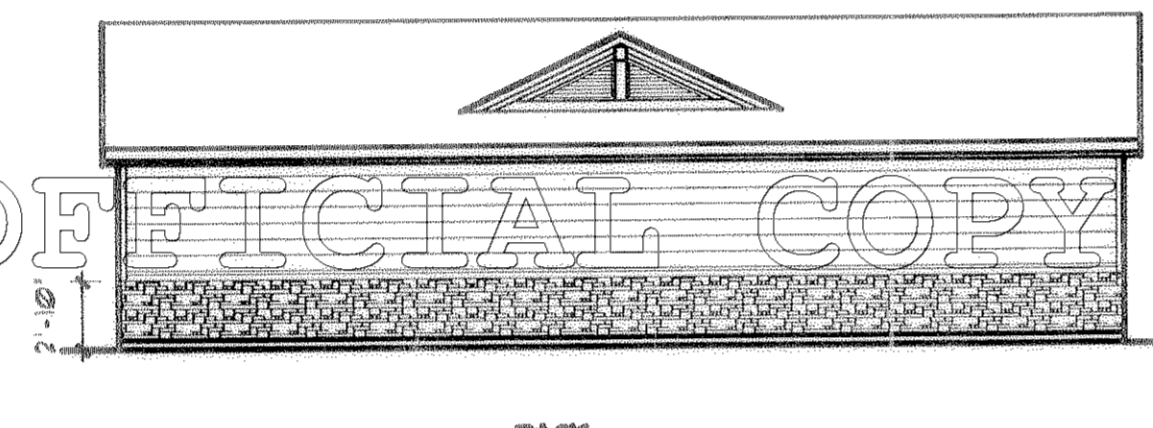
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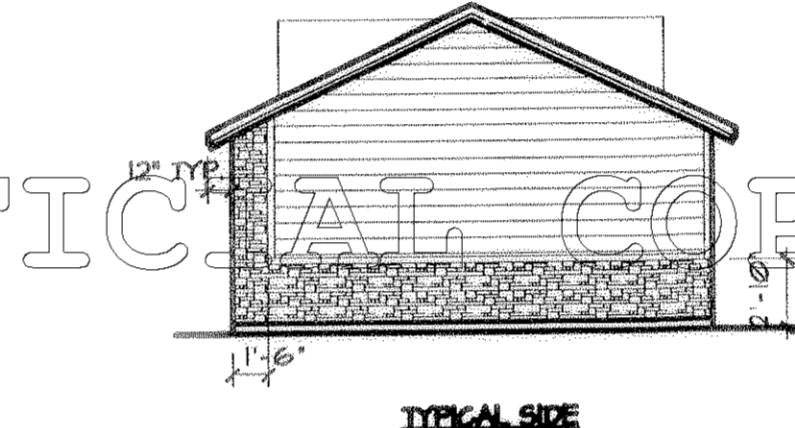
TYPICAL SIDE



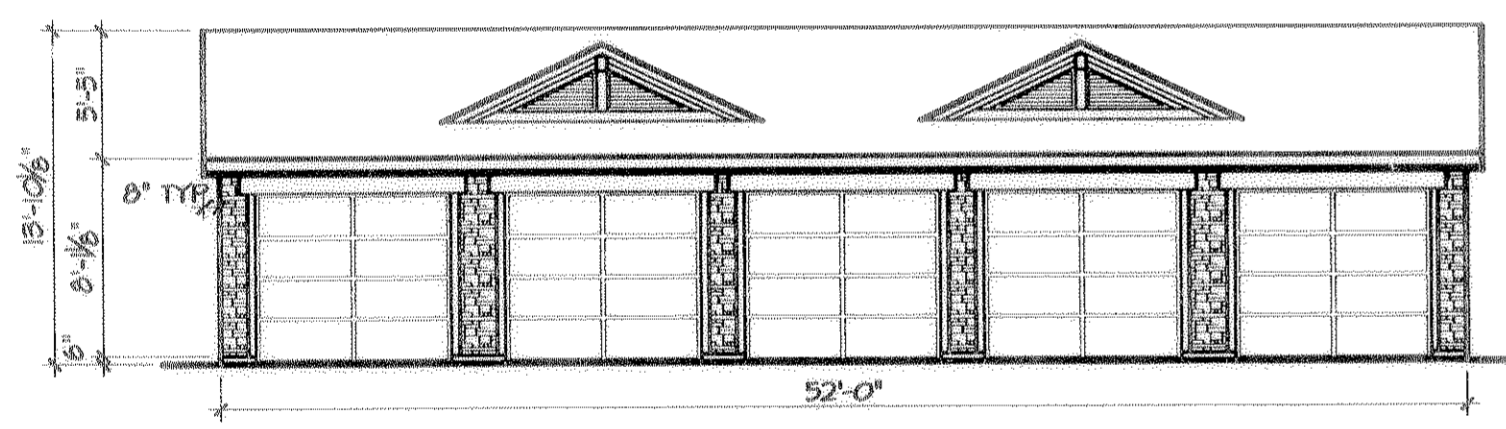
TYPICAL 4 BAY GARAGE



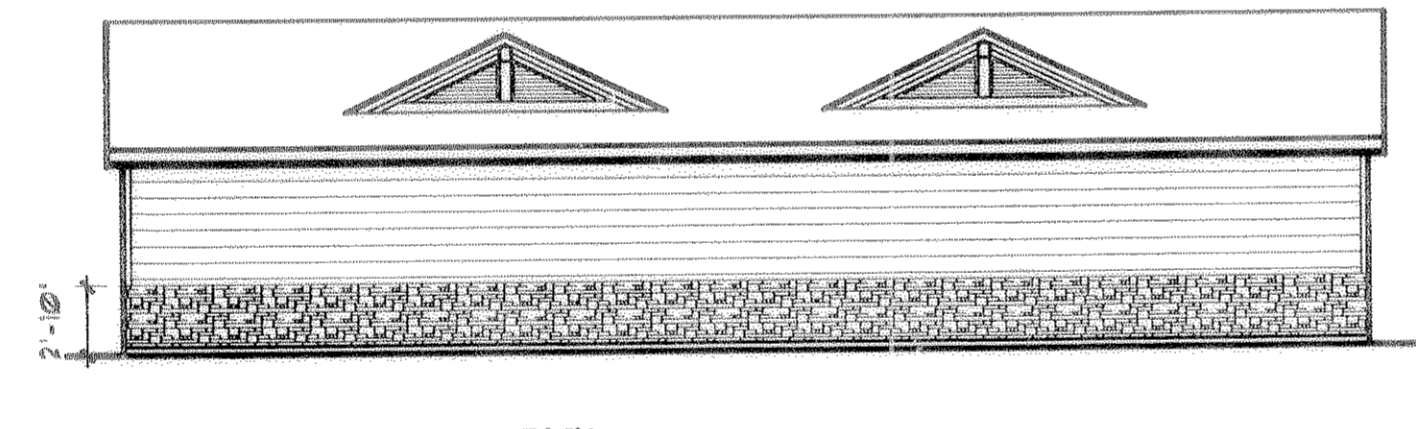
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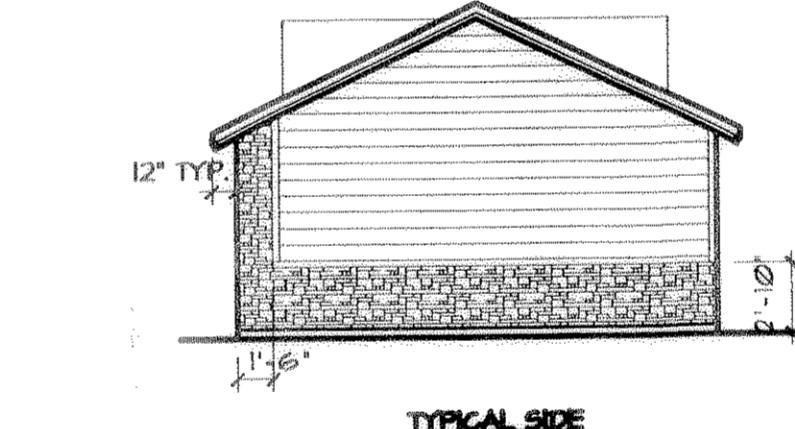
TYPICAL SIDE



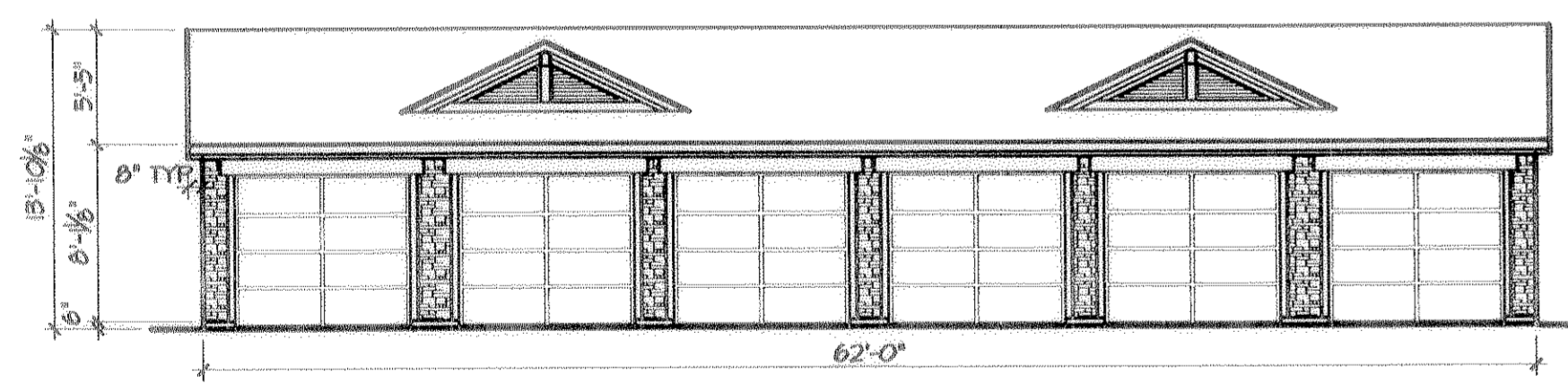
TYPICAL 5 BAY GARAGE



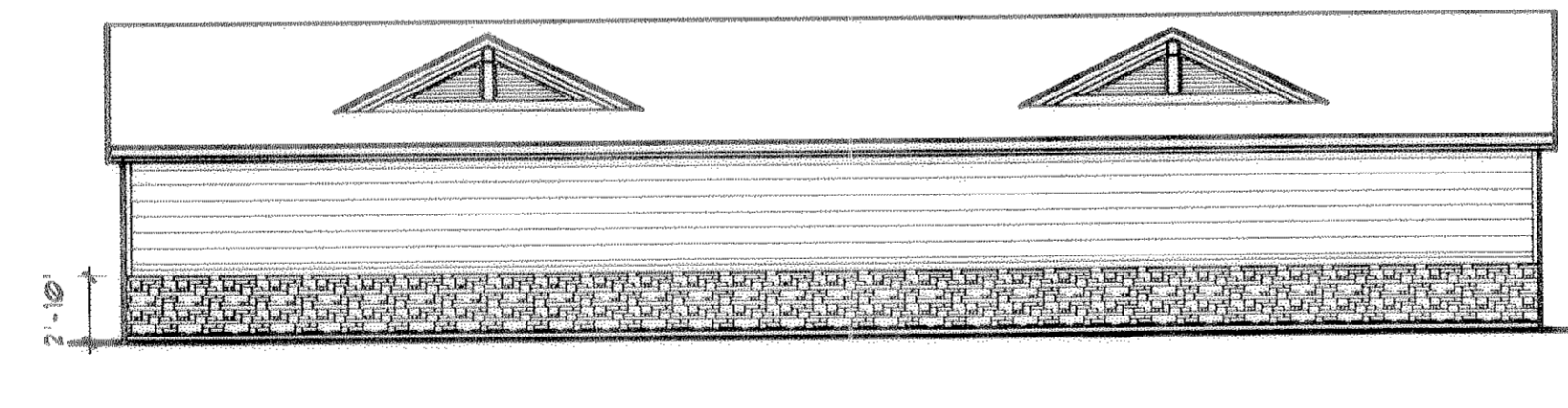
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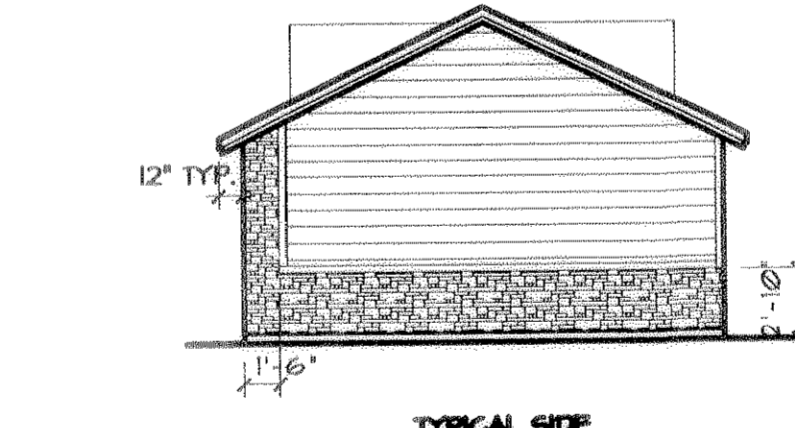
TYPICAL SIDE



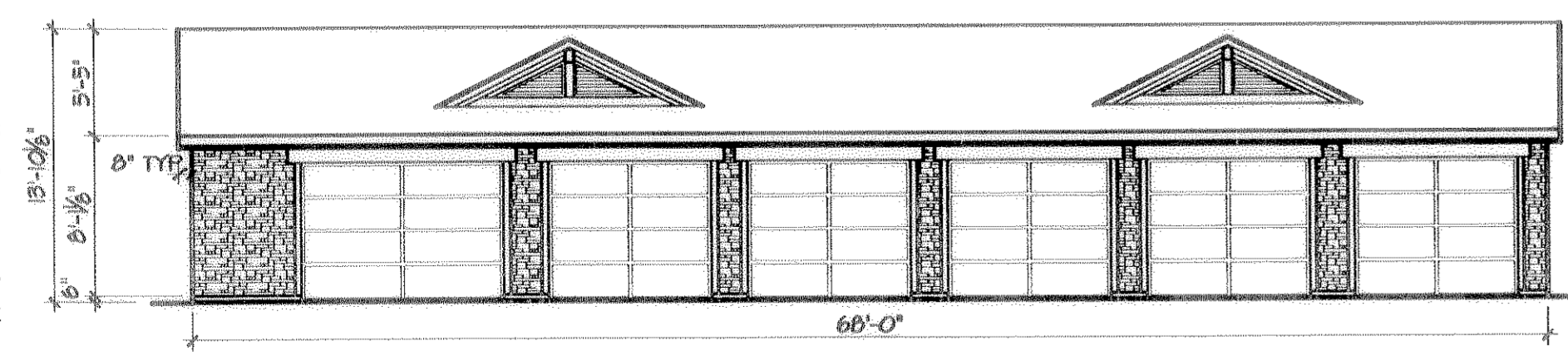
TYPICAL 6 BAY GARAGE



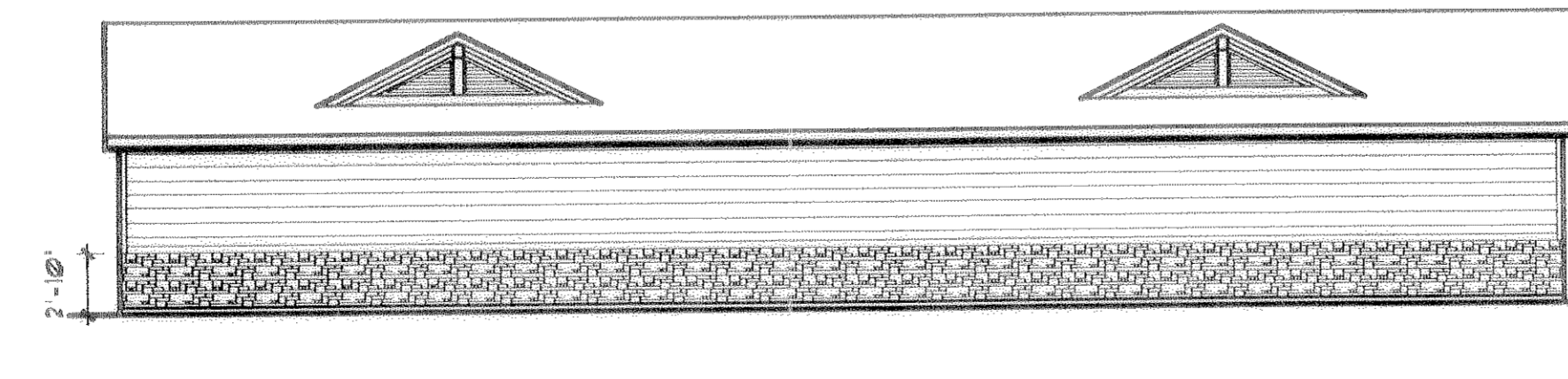
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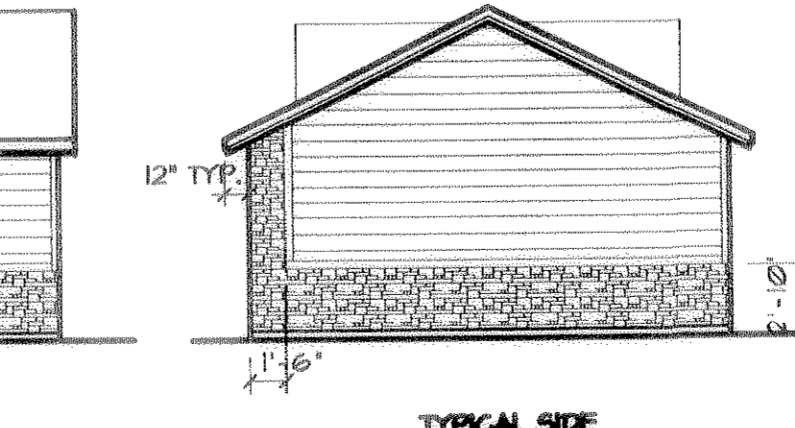
TYPICAL SIDE



6 BAY ACCESSIBLE GARAGE



BACK



TYPICAL SIDE



GRAPHIC SCALE

TYPICAL ELEVATIONS, DETAILS
CUTTER'S RIDGE CONDOMINIUMS
COPYRIGHT 2000 BY JERRY N. MILLER - ALL RIGHTS RESERVED.



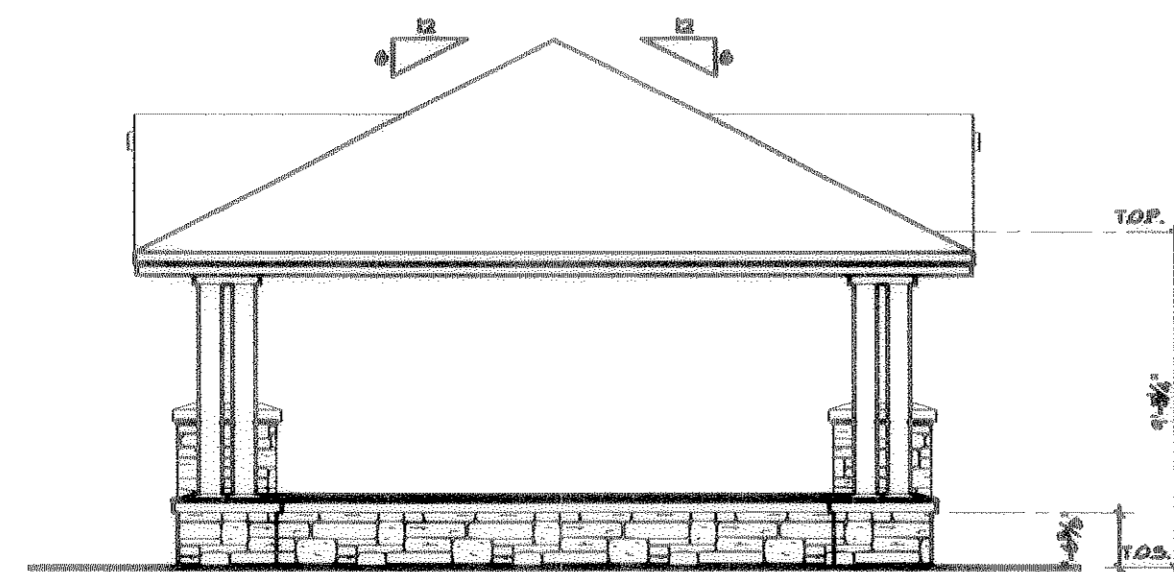
INCORPORATED
CARBONDALE OFFICE
36 North Fourth Street
Carbonade, Colorado
Phone: (970) 963-1971
FAX: (970) 963-1822

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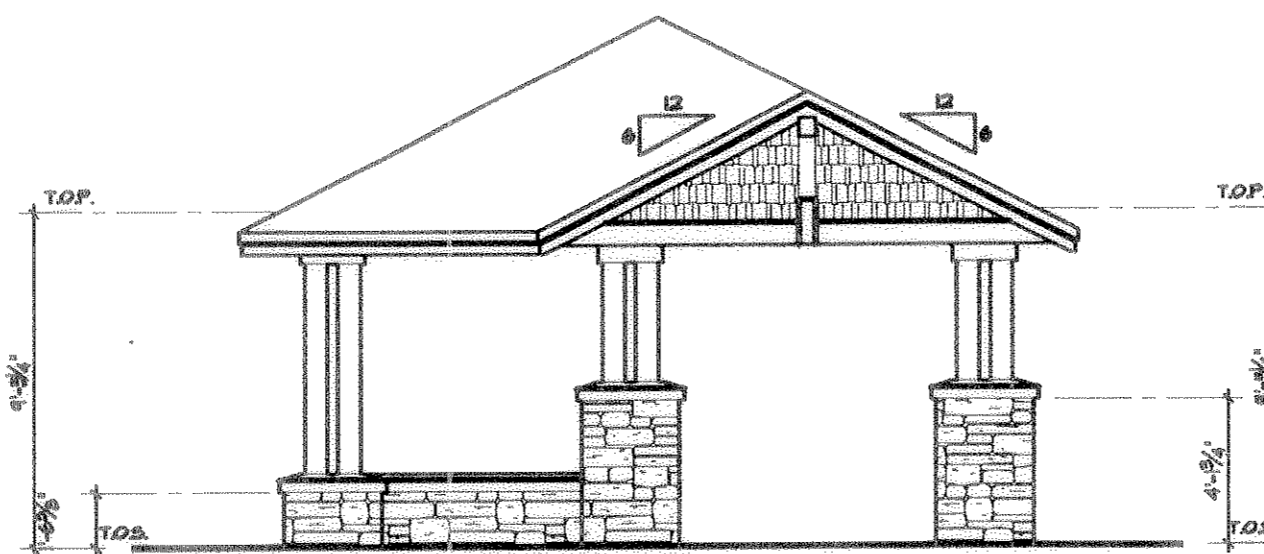
A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
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PRELIMINARY PLAT/FINAL PD SITE PLAN

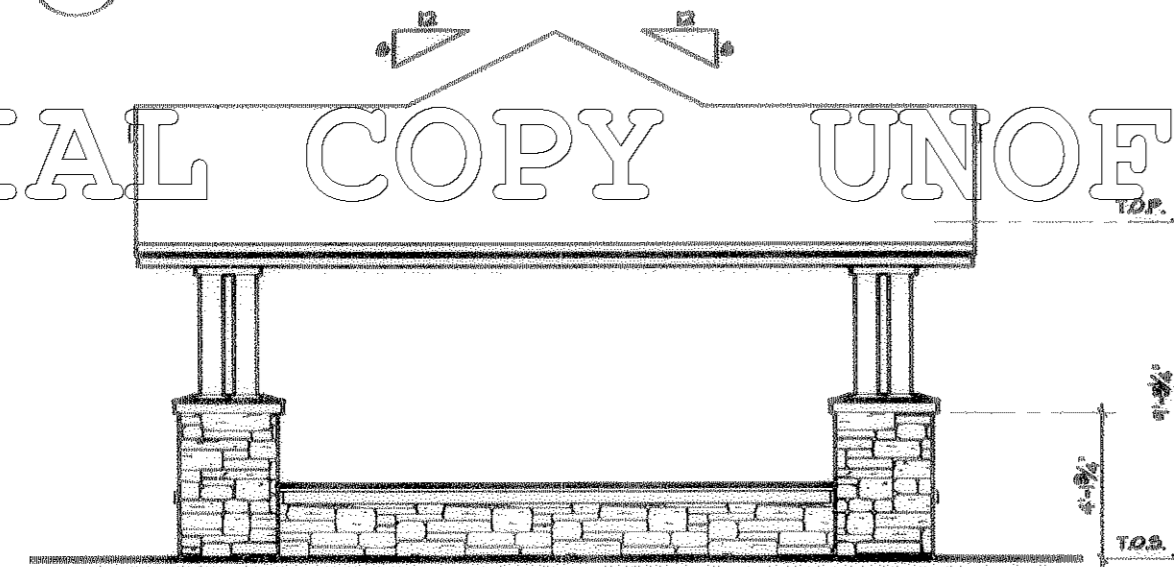
PARK SHELTER ELEVATIONS AND DETAILS



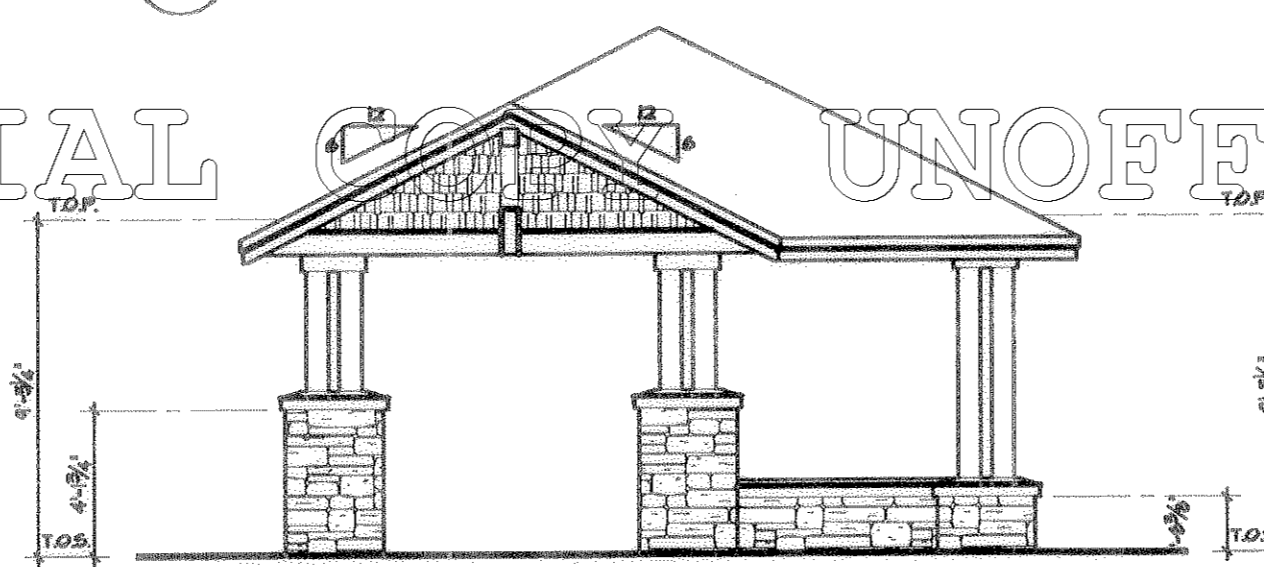
6 RIGHT SIDE ELEVATION



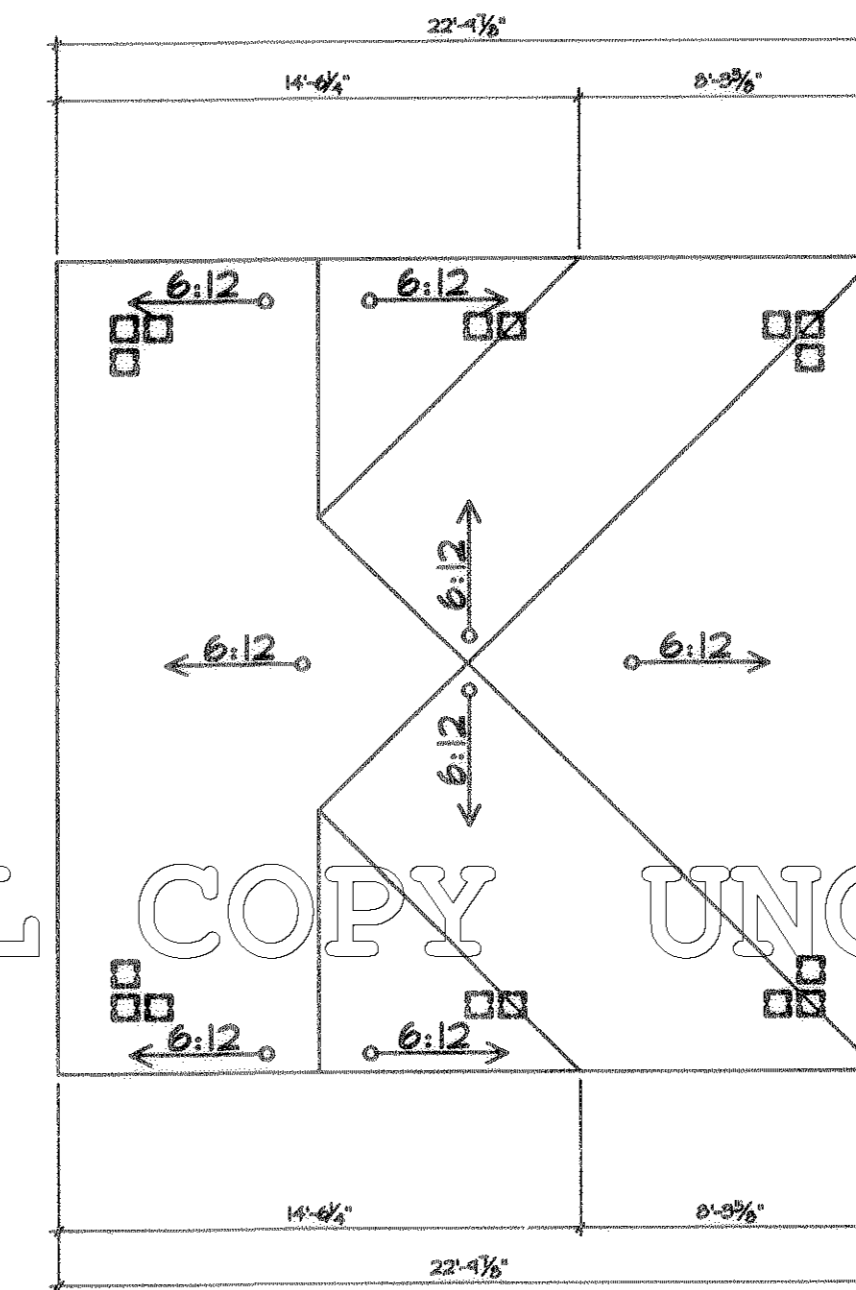
4 REAR ELEVATION



5 RIGHT/ LEFT SIDE ELEVATION

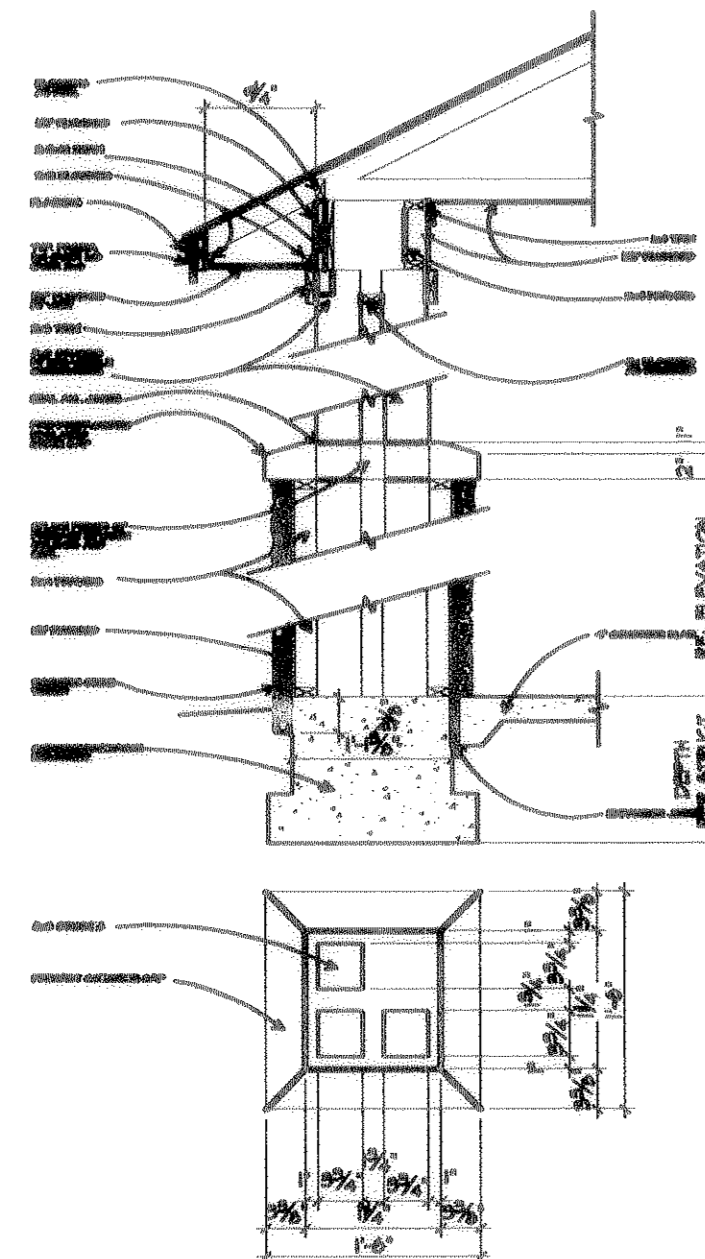


3 FRONT ELEVATION



2 ROOF PLAN

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



1 COLUMN DETAIL

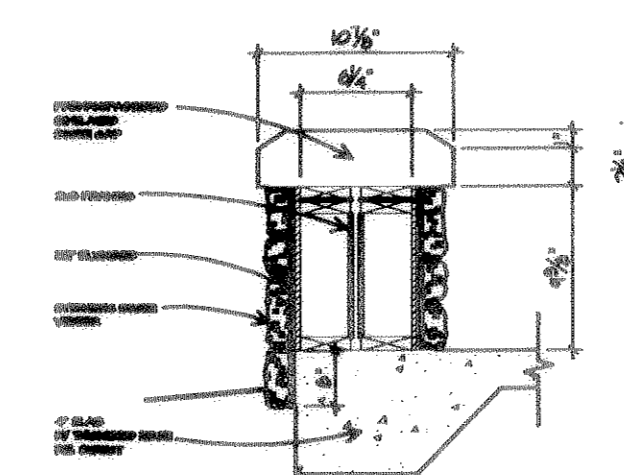
GRAPHIC SCALE
3/4" = 1'-0"

MATERIAL AND COLOR NOTES:
COLOR SCHEME: THE PARK SHELTER SHALL MATCH SCHEME #2 OF THE RESIDENCE SCHEMES. REFER TO THE SUPPLEMENTARY COLOR BOARD SUBMITTAL FOR VISUAL APPEARANCE OF COLORS.

TYPICAL MATERIALS:
SHINGLE SIDING: HARDBOARD
STONE VENER SIDING: CAST STONE, ASHLER PATTERN
TRIM: FIBER BOARD
ROOFING: ASPHALT 30 YEAR SHINGLE

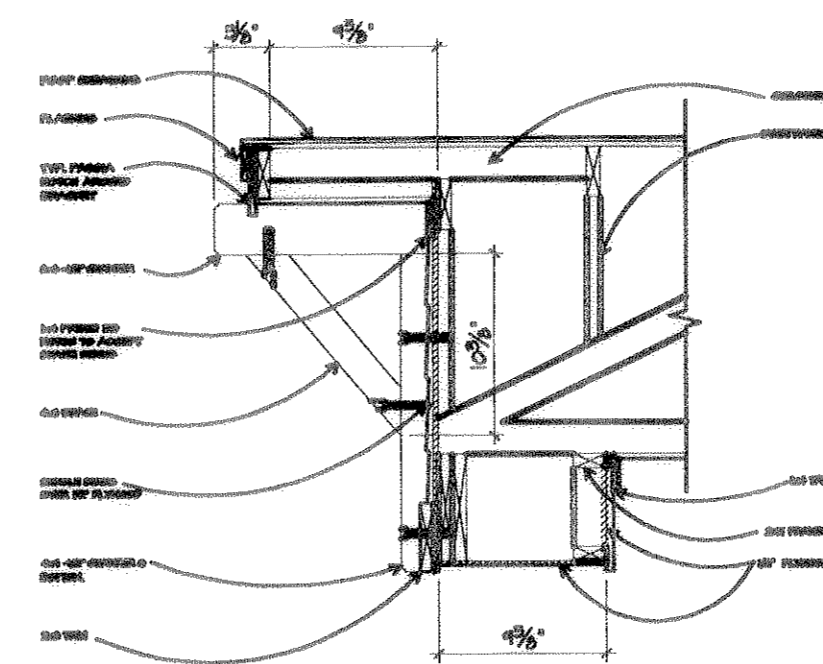
COLOR SCHEME #2
Siding Elkhorn Cactus
Accent Stonington
Trim Paraffin
Roof Rustic Slate
Stone Cultured Stone - Cedar

0 4' 8' 16'
GRAPHIC SCALE
3/16" = 1'-0" UNLESS OTHERWISE NOTED



2 LOW WALL DETAIL

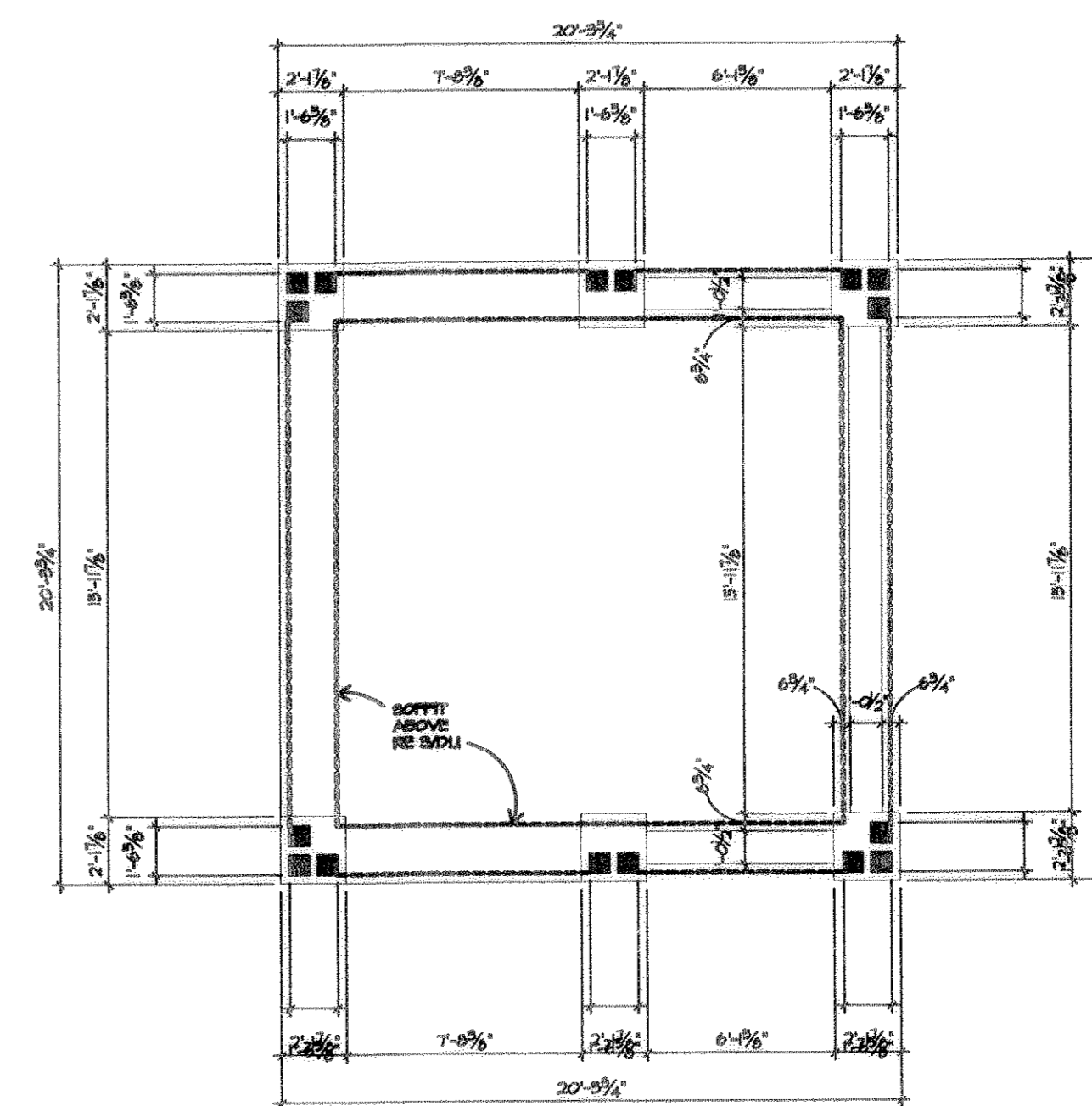
GRAPHIC SCALE
1/8" = 1'-0"



3 BRACKET & SOFFIT DETAIL

GRAPHIC SCALE
1/8" = 1'-0"

INFORMATION PROVIDED BY DOWNING THORPE AND JAMES. FOR FURTHER INFORMATION PLEASE CONTACT DOWNING THORPE AND JAMES. CONTRACTOR IS REQUIRED TO SUBMIT STRUCTURAL DRAWINGS TO THE OWNER FOR APPROVAL.



1 FLOOR PLAN

James Company
INCORPORATED

otak
INCORPORATED
ROCKY MOUNTAIN REGION

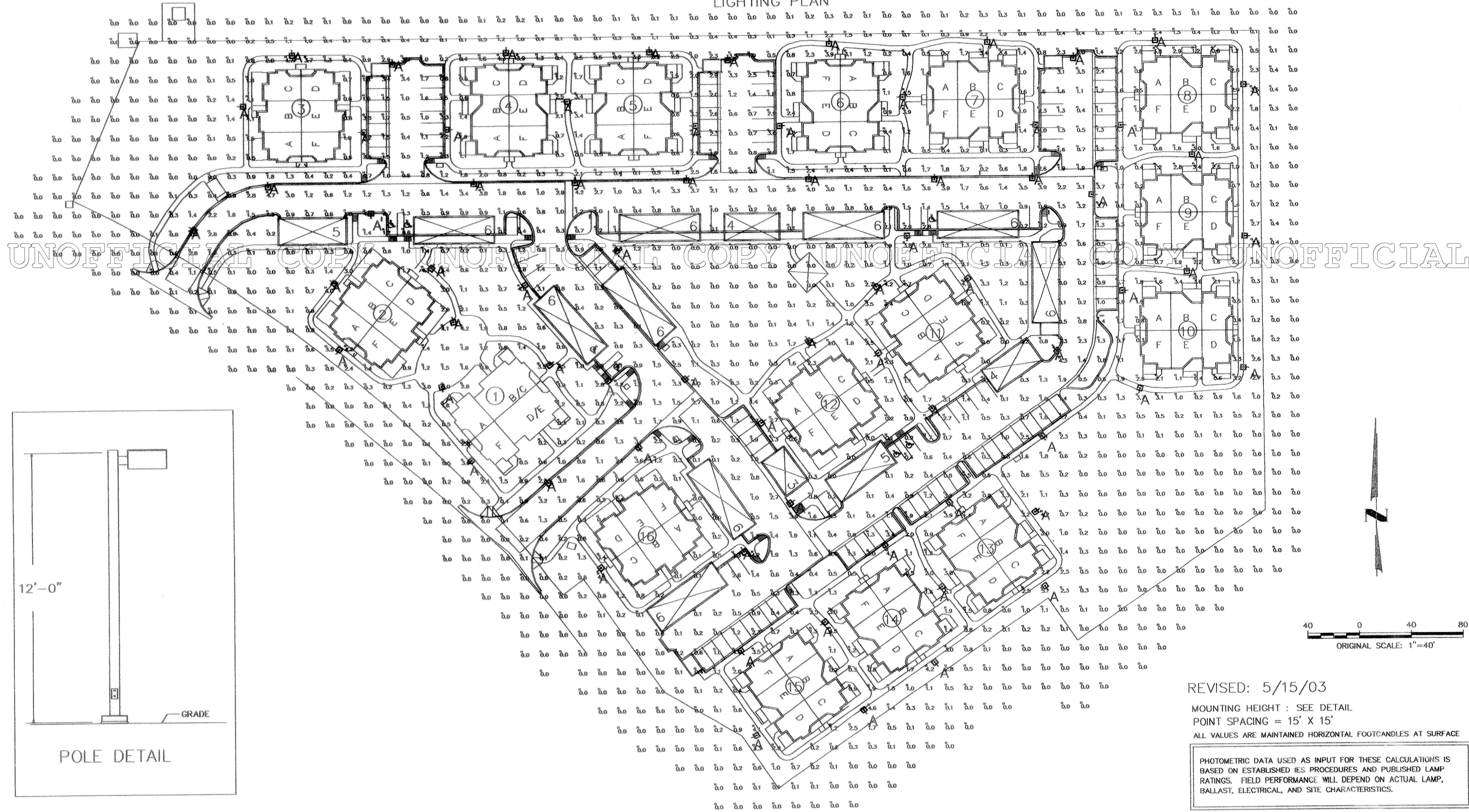
CARBONDALE OFFICE
36 North Fourth Street
Carbonade, Colorado
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PRELIMINARY PLAT/FINAL PD SITE PLAN

LIGHTING PLAN



REVISED: 5/15/03

MOUNTING HEIGHT : SEE DETAIL
POINT SPACING = 15' X 15'
ALL VALUES ARE MAINTAINED HORIZONTAL FOOTCANDLES AT SURFACE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS
BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP
RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP,
BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Luminis	LLF	Description
☐	70	A	SINGLE	9500	0.800	EMCO ECA141-3H-100HPS-240-BRP-PCT-LU100 ON FIBERGLASS POLE

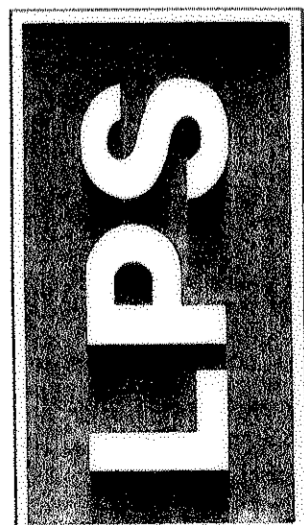
MAHER RANCH FILING NO. 1, 1ST AMENDMENT
PRELIMINARY PLAT/FINAL PD SITE PLAN
LIGHTING PLAN
SHEET 15 OF 17

QUOTE NUMBER
A9216

DRAWING NUMBER
L-01

REVISION
D

Lumen Power Sources West, Inc.
2775 W. Hampden Avenue



SHEET 1 OF 1

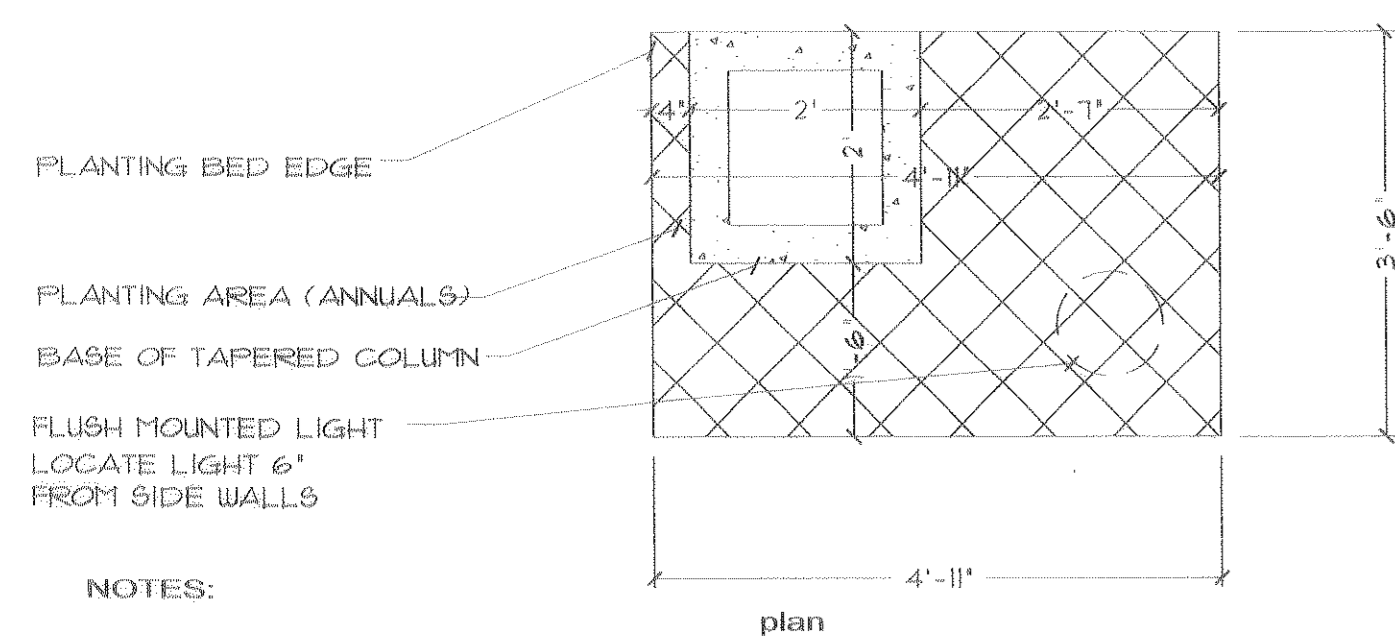
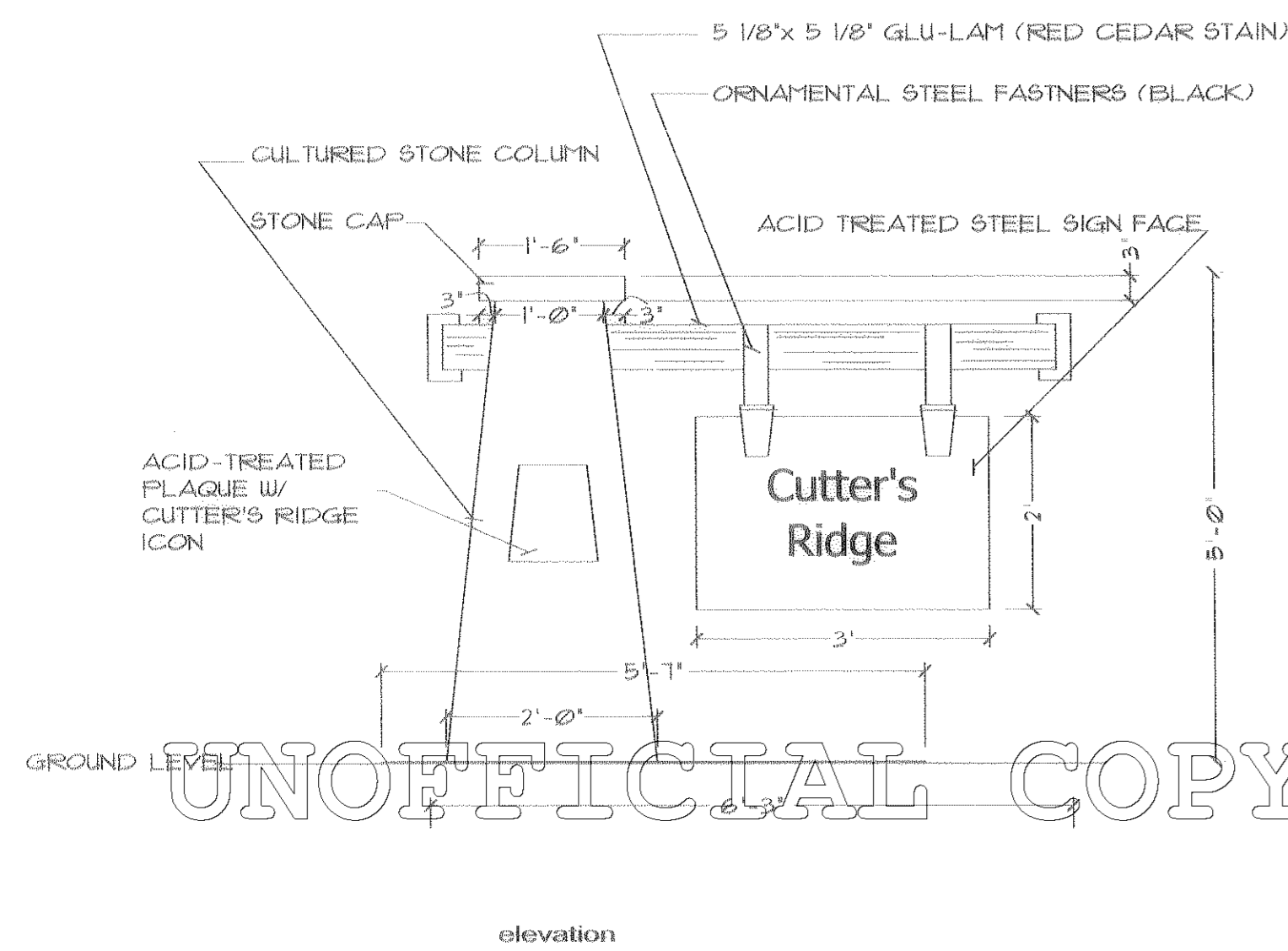
Filename: f:\PROJECTS - DEN\Sopshire Point_Townhomes\A9216_D.A32

COMPANY: JAMES COMPANY
SCALE: 1"=40'-0"
DRAWN BY: B. PAPESH
CHECKED BY:
Date: 5/15/2003

MAHER RANCH FILING NO. 1, 1st Amendment

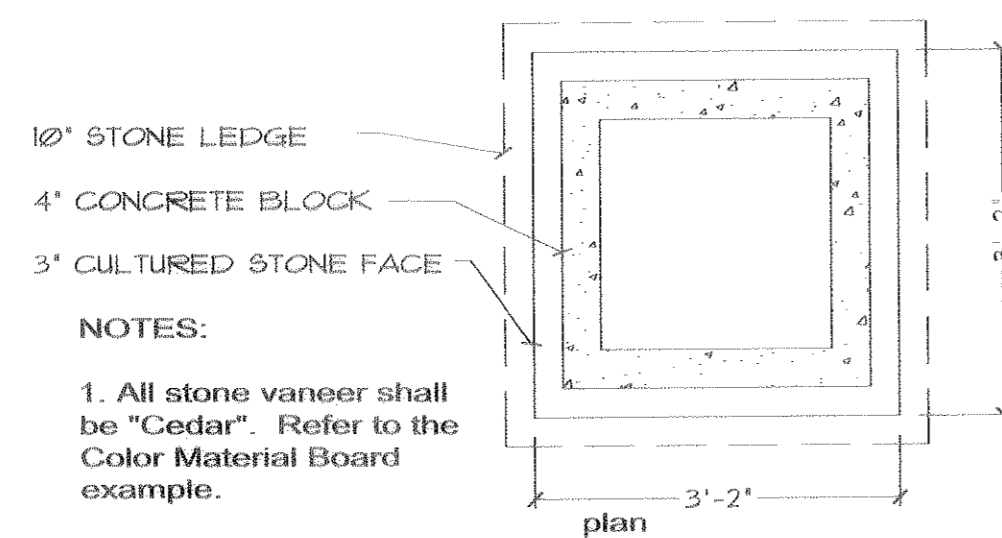
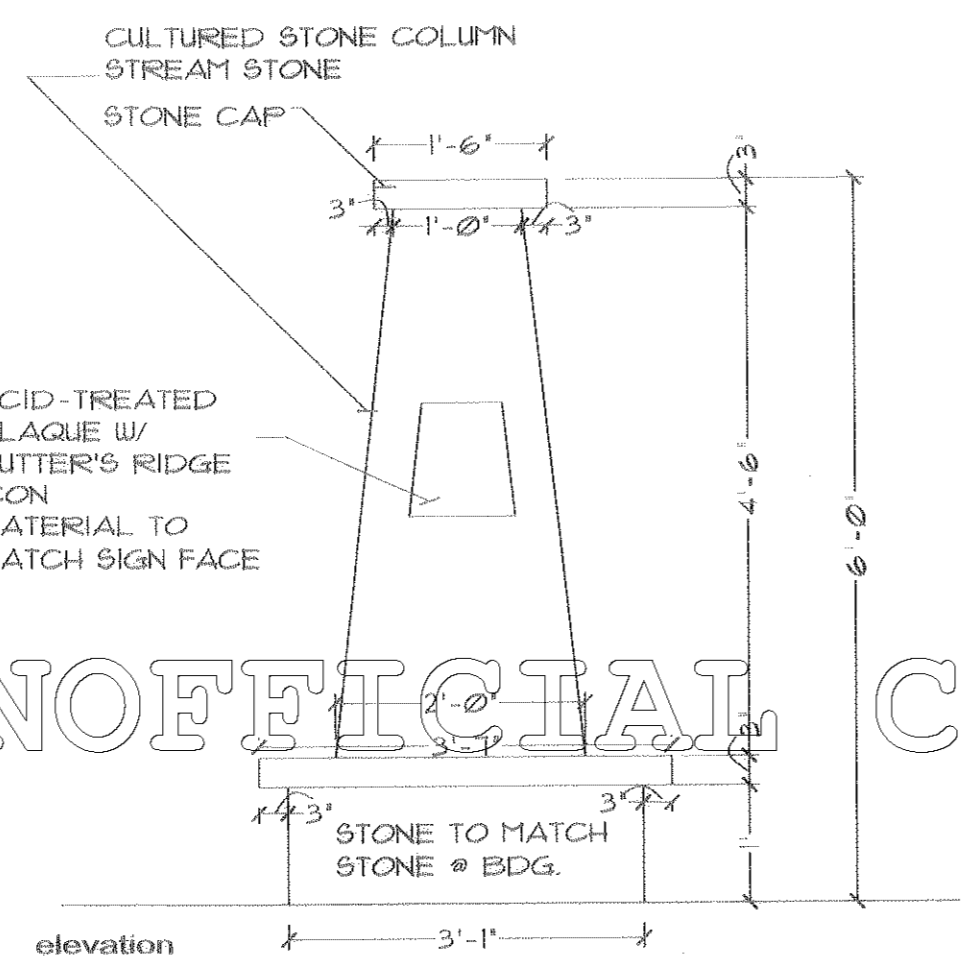
A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 25,
TOWNSHIP 7 SOUTH, RANGE 67, WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

PRELIMINARY PLAT/FINAL PD SITE PLAN SITE IMPROVEMENT DETAILS



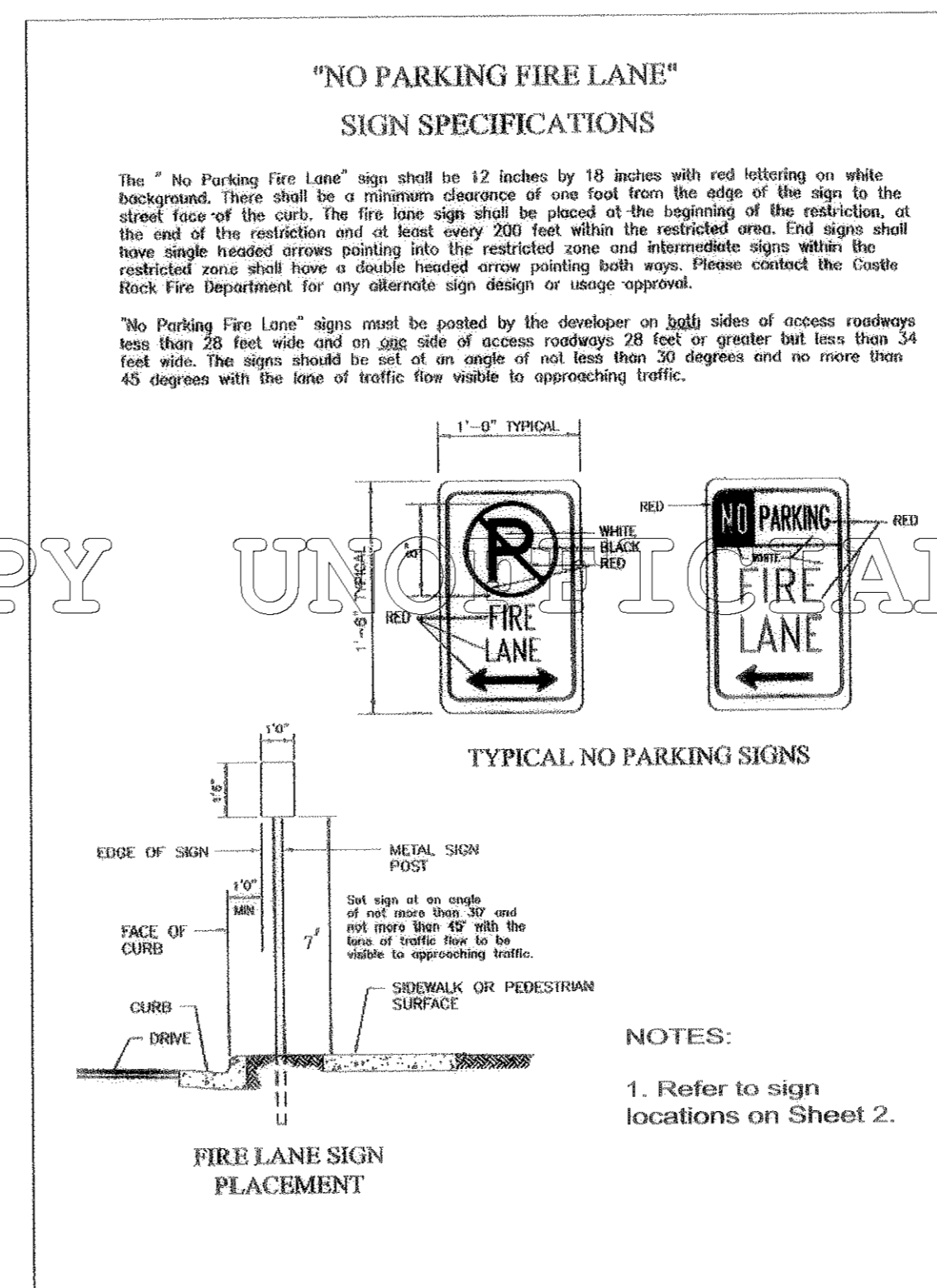
NOTES:
1. All stone veneer shall be "Cedar". Refer to the Color Material Board example.

SIGN "A"
not to scale



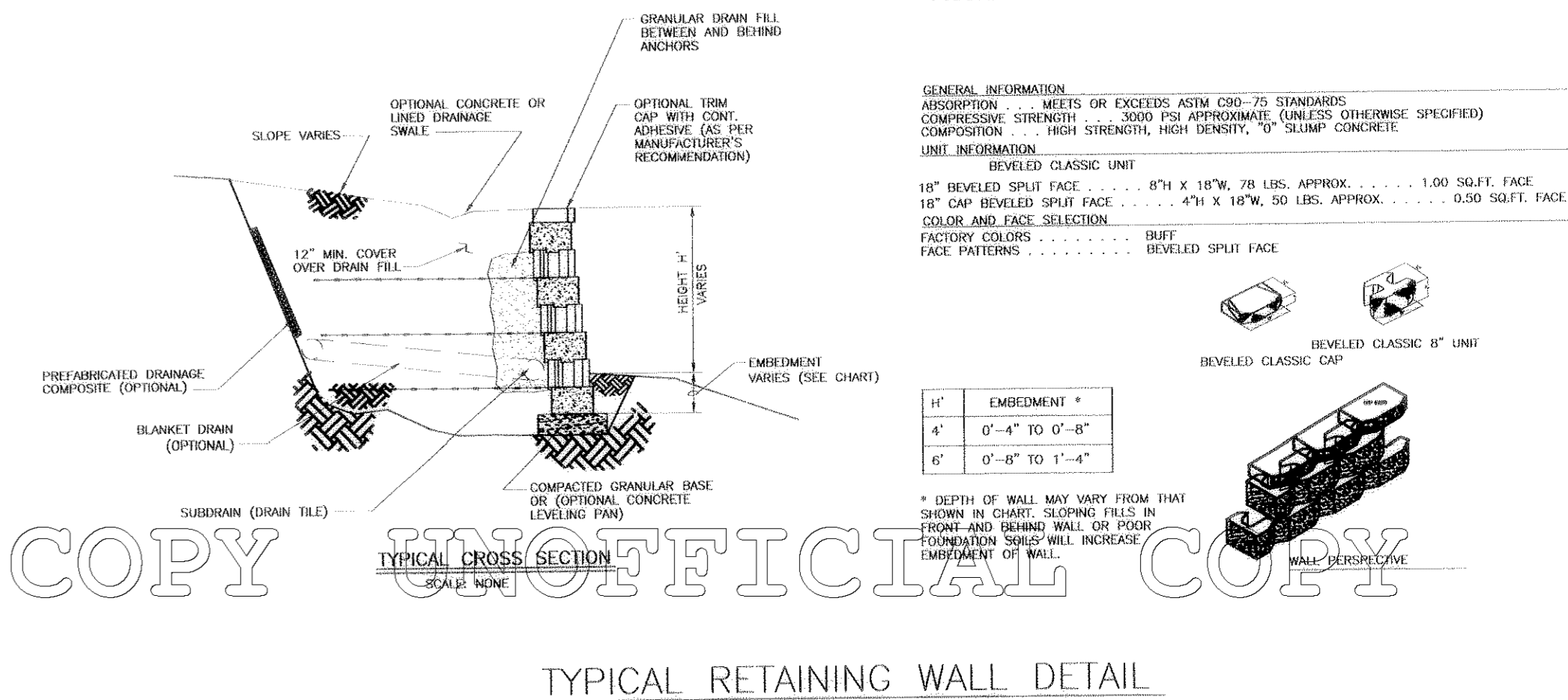
NOTES:
1. All stone veneer shall be "Cedar". Refer to the Color Material Board example.

MONUMENTATION "A"
not to scale



NOTES:
1. Refer to sign locations on Sheet 2.

FIRE LANE / NO PARKING
not to scale



NOTES:

1. All walls more than 4' high shall be designed by a structural engineer and shall be approved by the Town of Castle Rock.

GENERAL INFORMATION:
ABSORPTION: MEETS OR EXCEEDS ASTM C80-75 STANDARDS
COMPRESSIVE STRENGTH: 3500 PSI APPROXIMATE (UNLESS OTHERWISE SPECIFIED)
COMPOSITION: HIGH STRENGTH, HIGH DENSITY, "D" SLUMP CONCRETE

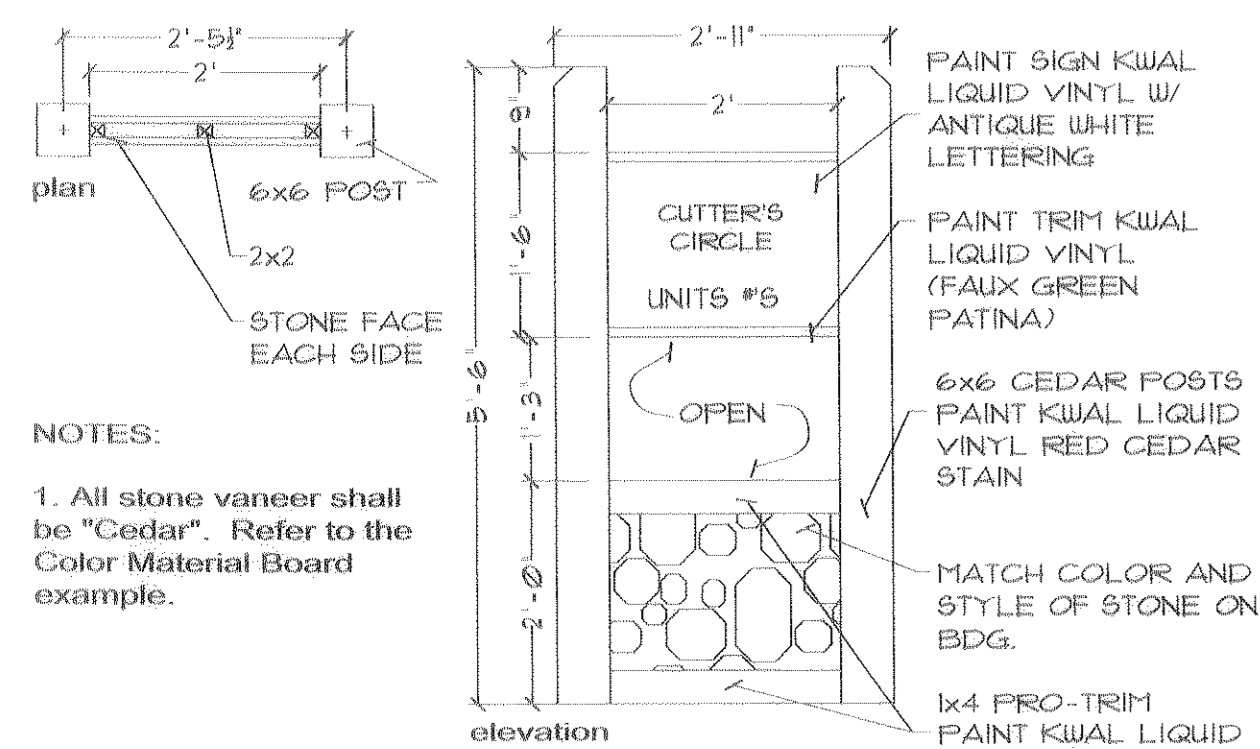
UNIT INFORMATION:
BEVELED CLASSIC UNIT
18" BEVELED SPLIT FACE: 8 1/4" x 18"W, 76 LBS. APPROX. 1.00 SQ/FT. FACE
18" CAP BEVELED SPLIT FACE: 4 1/4" x 18"W, 50 LBS. APPROX. 0.50 SQ/FT. FACE
COLOR AND FACE SELECTION:
FACTORY COLORS: BUET
FACE PATTERNS: BEVELED SPLIT FACE

H'	EMBEDMENT *
4'	0'-4" TO 0'-8"
6'	0'-8" TO 1'-4"

* DEPTH OF WALL MAY VARY FROM THAT SHOWN IN CHART. SLOPPED FILLS IN FRONT AND BEHIND WALL OR POOR FOUNDATION SOLES WILL INCREASE EMBEDMENT OF WALL.

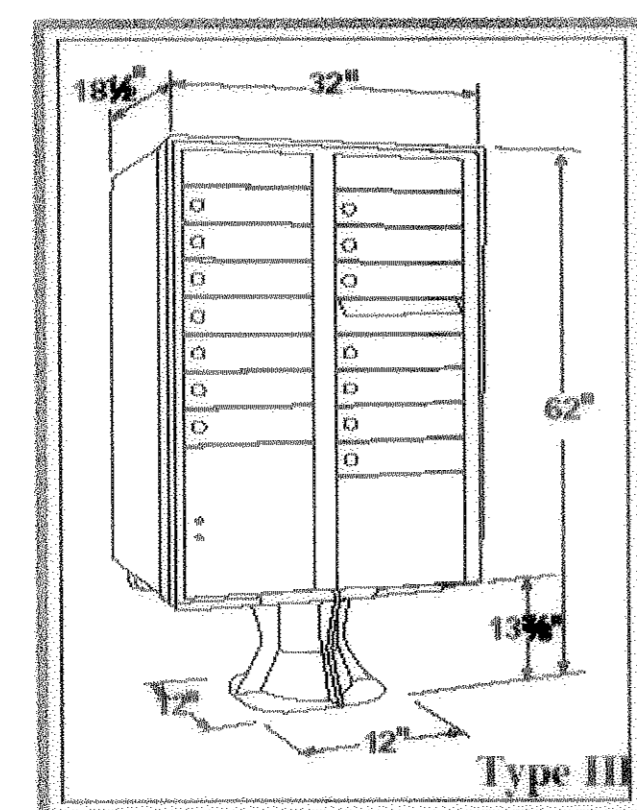
TYPICAL RETAINING WALL DETAIL

TYPICAL RETAINING WALL
not to scale



NOTES:
1. All stone veneer shall be "Cedar". Refer to the Color Material Board example.

DIRECTIONAL SIGN
not to scale



Locks: Stainless steel, key lock assembly with removable cylinder. Provide tamper resistant border to shield lock.

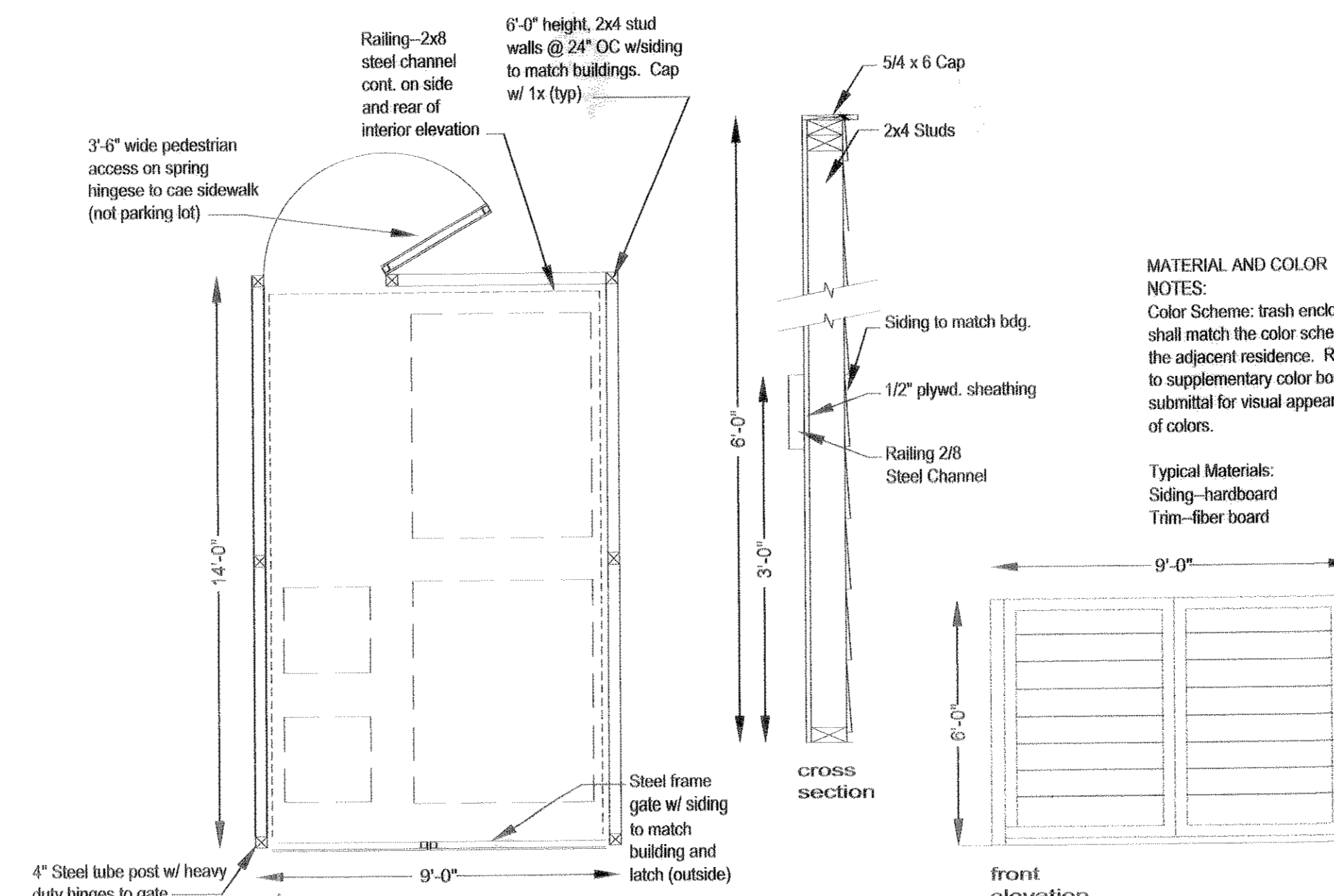
Fabrication: Completely factory assembled from molded, high impact, chemical resistant, all weather polycarbonate plastic with stainless steel fittings and aluminum base.

Doors: Hinged doors with pry resistant lips. Provide master load door for accessing all compartments with 3 point latching and lock mechanism.

Base: Tubular pedestal with mounting flanges.

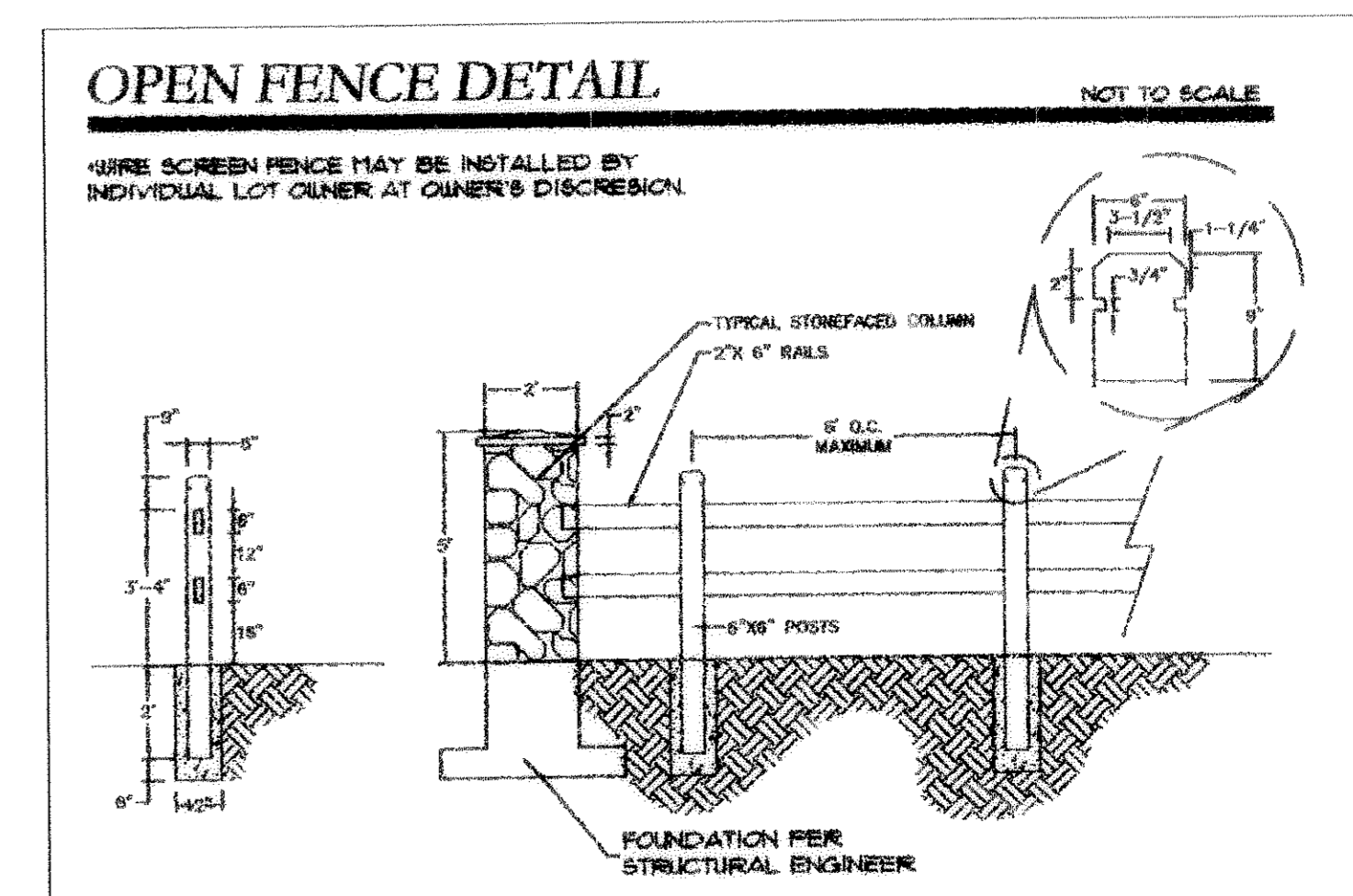
Color: Platinum Silver: Color extends through full plastic thickness.

MAIL KIOSK
not to scale



MATERIAL AND COLOR NOTES:
Color Scheme: trash enclosures shall match the color scheme of the adjacent residence. Refer to supplementary color board submittal for visual appearance of colors.
Typical Materials: Siding-hardboard Trim-fiber board

TRASH ENCLOSURE
not to scale



1. All post and rails are to be constructed of pressure treated lumber.
2. All lumber shall be stained and sealed with a natural color finish.
3. Stone veneer columns occur ever 100' OC and at prominent corners.
4. 'Cedar' stone will be used as the veneer on all columns. Refer to color board for example.

FENCE DETAIL
not to scale



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