

SITE DEVELOPMENT PLAN

Lot G1-5A, Meadows Parkway, Phase II, Amendment No. 3, Town of Castle Rock, County of Douglas, State of Colorado

SURVEYOR'S CERTIFICATE

I, DAVID L. RASMUSSEN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

David L. Rasmussen
 REGISTERED LAND SURVEYOR
 DATE June 9, 2016

CIVIL ENGINEER'S STATEMENT

I, LAUCE VAUDEMAREK, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Lauce Vaudemarek
 REGISTERED PROFESSIONAL ENGINEER
 DATE 06/09/16

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

David L. Rasmussen
 EXTRA SPACE PROPERTIES TWO, LLC, A DELAWARE LIMITED LIABILITY COMPANY
 SIGNED THIS 21 DAY OF June, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 21 DAY OF June, 2016
 BY David L. Rasmussen Manager OF
 EXTRA SPACE PROPERTIES TWO, LLC

WITNESS MY HAND AND OFFICIAL SEAL.
David Nelson
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 1-10-18

TITLE CERTIFICATION

I, Darren W. Hone, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title Co, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Darren W. Hone
 AUTHORIZED REPRESENTATIVE
Fidelity National Title Company
 TITLE COMPANY
 SIGNED THIS 28 DAY OF June, 2016

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 28 DAY OF June, 2016

2016 BY Darren W. Hone AS AUTHORIZED REPRESENTATIVE OF Fidelity National Title Company

WITNESS MY HAND AND OFFICIAL SEAL.
Mari O'Brien Alt
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 4-18-2019

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 29 DAY OF July, 2016

David L. Rasmussen
 DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:18am ON THE 11th DAY OF August, 2016 AT RECEPTION NO. 2016053860.

DOUGLAS COUNTY CLERK AND RECORDER
 BY: Merlin Klotz
 DEPUTY

PREPARED FOR:

EXTRA SPACE STORAGE, INC.
 A UTAH CORPORATION
 2795 EAST COTTONWOOD PARKWAY
 SUITE 400
 SALT LAKE CITY, UTAH 84121
 TEL. 801-365-4533

PREPARED BY:

DCB CONSTRUCTION COMPANY, INC.
 909 EAST 62ND AVENUE
 DENVER, COLORADO 80216
 TEL. 303-287-5525

CIVIL ENGINEER:

VERTEX McGLAMERY
 3734 OSAGE STREET
 DENVER, COLORADO 80211
 TEL. 303-455-8988

SURVEYOR:

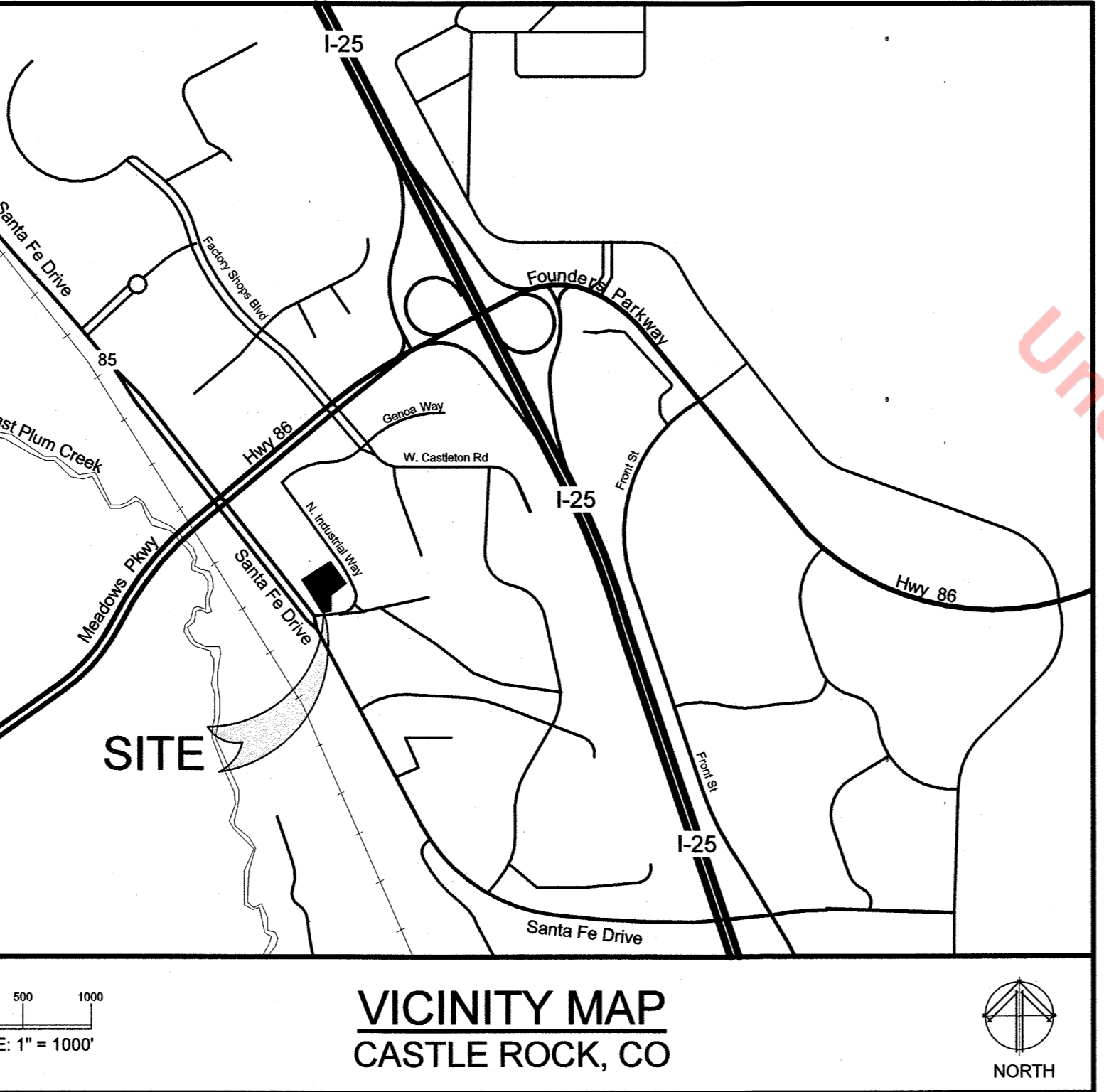
FORESIGHT WEST SURVEYING, INC.
 2755 SOUTH LOCUST STREET
 SUITE 120
 DENVER, COLORADO 80222
 TEL. 303-504-4440

LANDSCAPE ARCHITECT:

ROCKNE CORTY DESIGN, INC.
 PO BOX 3354
 CENTENNIAL, COLORADO 80161
 TEL. 303-770-6746

LIGHTING DESIGNER:

ROY JACKSON ELECTRIC, INC.
 6080 WEST 59TH STREET
 ARVADA, COLORADO 80003
 TEL. 303-420-7256



SUMMARY TABLE	
ZONING	MEADOWS PARKWAY PLANNED DEVELOPMENT
PROPOSED USE	SELF STORAGE (MINI-WAREHOUSE)
PROPOSED BUILDING INFORMATION	
SITE COVERAGE	SEE BUILDING GROUND COVERAGE AREA AND PERCENTAGE DATA BELOW
BUILDING GROSS FLOOR AREA	15,370 S.F. (LEVEL 1) + 16,925 S.F. (LEVEL 2) = 32,295 TOTAL
NUMBER OF STORIES	2 (LEVEL 1 IS PARTIALLY BELOW GRADE)
BUILDING HEIGHT	28'-0" MAXIMUM (50'-0" MAXIMUM ALLOWED)
BUILDING SETBACKS	
FRONT (EAST)	15'-0" MINIMUM REQUIRED SETBACK
REAR (WEST)	10'-0" MINIMUM REQUIRED SETBACK
SIDE (NORTH)	5'-0" MINIMUM REQUIRED SETBACK
SIDE (SOUTH)	5'-0" MINIMUM REQUIRED SETBACK
PARKING INFORMATION	
MINIMUM SPACES REQUIRED	250 STORAGE UNITS + 100 = 3 SPACES EMPLOYEE PARKING PROVIDED ON EXISTING SITE, NO OFFICE ON THIS SITE
TOTAL SPACES PROVIDED	8 SPACES TOTAL (INCLUDES H.C. BELOW)
H.C. SPACES	1 SPACE
SITE UTILIZATION INFORMATION	
LOT AREA	60,442.39 S.F. 1.39 ACRES
BUILDING GROUND COVERAGE	17,014 S.F. 28.15 % (MAXIMUM 40% ALLOWED)
PARKING LOT AND DRIVES	17,901.95 S.F. 29.62 %
OPEN SPACE AND LANDSCAPING	25,526.44 S.F. 42.23 %

SHEET INDEX

SHEET NO.	SHEET TITLE
1 of 7	COVER SHEET
2 of 7	SITE PLAN
3 of 7	GENERAL GRADING PLAN
4 of 7	GENERAL UTILITIES PLAN
5 of 7	CONCEPTUAL LANDSCAPE PLAN
6 of 7	BUILDING ELEVATIONS
7 of 7	GENERAL LIGHTING PLAN

LEGAL DESCRIPTION

LOT G1-5A, MEADOWS PARKWAY PHASE II, AMENDMENT NO. 3, AS PER THE PLAT THEREOF RECORDED JANUARY 29, 2014 AT RECEPTION NO. 2014004879, COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK INFORMATION

DESCRIPTION - NGS POINT A-355 (PID KK0201)
 A BRASS DISK STAMPED "U.S. COAST & GEODETIC SURVEY BENCH MARK A 355 1954" SET IN THE TOP OF THE NORTHWEST END OF THE NORTHEAST HEADWALL OF A CONCRETE CULVERT. DISK IS FLUSH WITH CONCRETE. THE MARK IS 10.2 FEET NORTHERLY OF THE CENTERLINE OF THE UNION PACIFIC RAILROAD TRACKS, 90.6 FEET EASTERLY OF RAILROAD LIGHT SIGNAL NUMBER 2294 AND 0.8 FEET EASTERLY OF A CD08 CARBONITE WITNESS POST. THE PUBLISHED ELEVATION IS 6050.74 FEET (NAVD88).

DESCRIPTION - (LOCAL TEMPORARY BENCHMARK)
 A CHISELED CROSS IN THE NORTHEASTERLY EDGE OF A CONCRETE SIDEWALK APPROXIMATELY 8.3 FEET NORTHEASTERLY OF THE EASTERLY TOP OF CURB OF U.S. 85 (SANTA FE DRIVE), 23.0 FEET SOUTHWESTERLY OF THE CENTER OF A STORM INLET MANHOLE LID AND 78.3 FEET NORTHWESTERLY OF THE CENTER OF A STORM INLET MANHOLE LID. TEMPORARY BENCHMARK HAS AN ELEVATION OF 6085.08 FEET (NAVD88).

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CONSIDERATION THAT THE NORTH LINE OF LOT G1-5 BEARS N58°12'52"E BETWEEN THE RECOVERED MONUMENTS IDENTIFIED HEREON.

TOWN SITE DEVELOPMENT PLAN NOTES GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY. UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT, SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISPUTED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- NO FLOODPLAIN ONSITE PER FEMA FLOOD INSURANCE RATE MAP 08035C0186G.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET OR BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- ZONING: MEADOWS PARKWAY PLANNED DEVELOPMENT, APRIL 20, 1987, RECEPTION NUMBER 8711344.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4 FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY. BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

SITE DEVELOPMENT PLAN
 Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
 PROJECT NO. SDP15-0007

Revision: 1
 Date: 7/10/2015
 SITE DEVELOPMENT PLAN

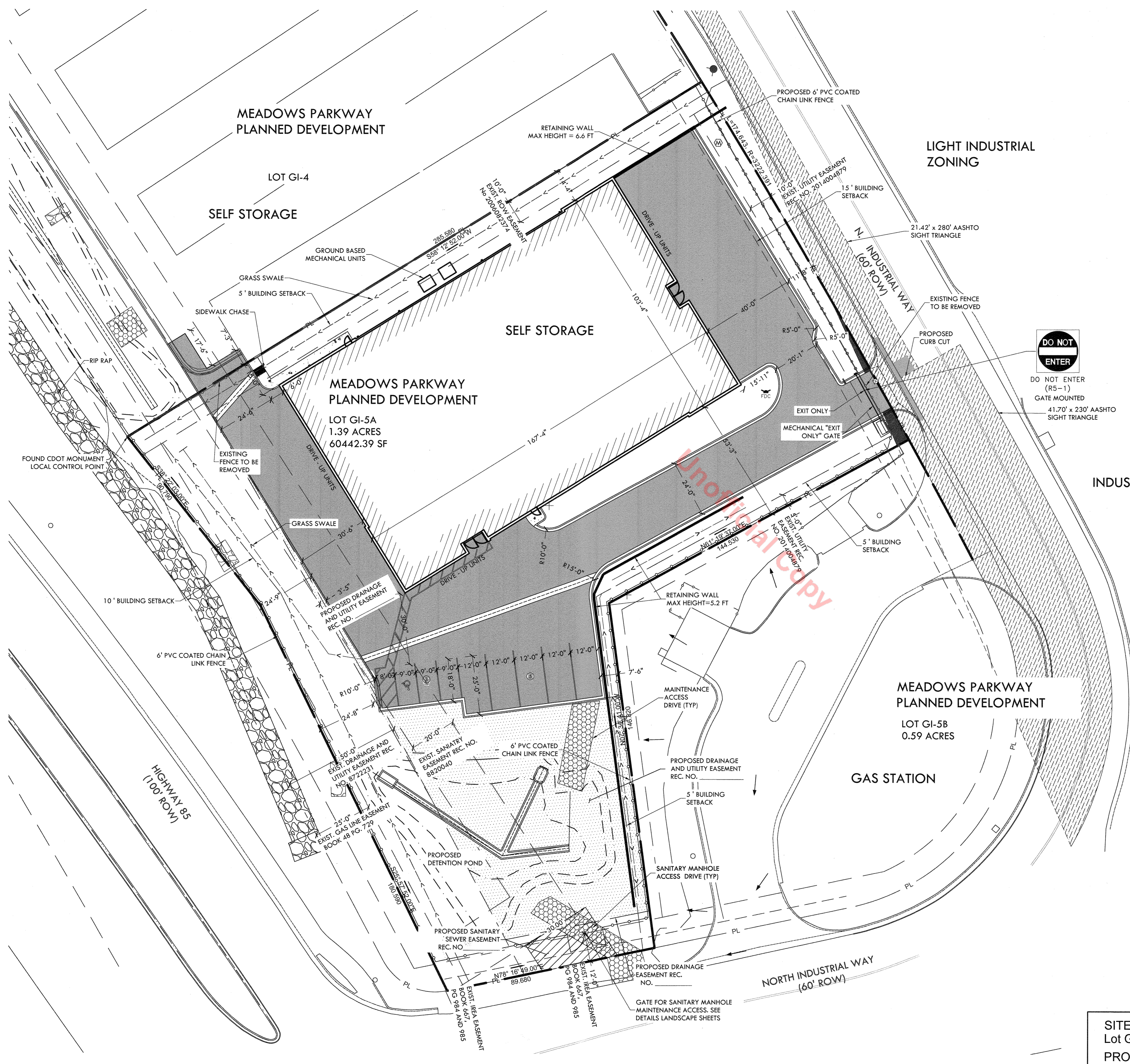
dcbb construction company, inc.
 909 East 62nd Avenue • Denver, Colorado 80226 • 303.287.5525 • Fax 303.287.3987 • www.dcb.com

These plans are an instrument of service and are the property of DCB Construction Company, Inc. They may not be reproduced, copied, or transmitted without the written and recorded consent of DCB Construction Company, Inc. Copying and using drawings without the written and recorded consent of DCB Construction Company, Inc. is prohibited.

SITE DEVELOPMENT PLAN
 EXTRA SPACE STORAGE
 INDUSTRIAL WAY - CASTLE ROCK, COLORADO

Design Project No. 15-902
 Drawing Title COVER SHEET
 Drawing No. 1 of 7

C:\Users\valcbak\Desktop\W Drive-Now & Drive Archive- Projects\31581-Extra Space Castle Rock\SDP\14-31581-EXTRA-SPACE-CASTLE-ROCK.dcd 2.dwg
 Thursday, May 19, 2016 3:24:17 PM
 Copyright: 2016 McGlamery Engineering Group

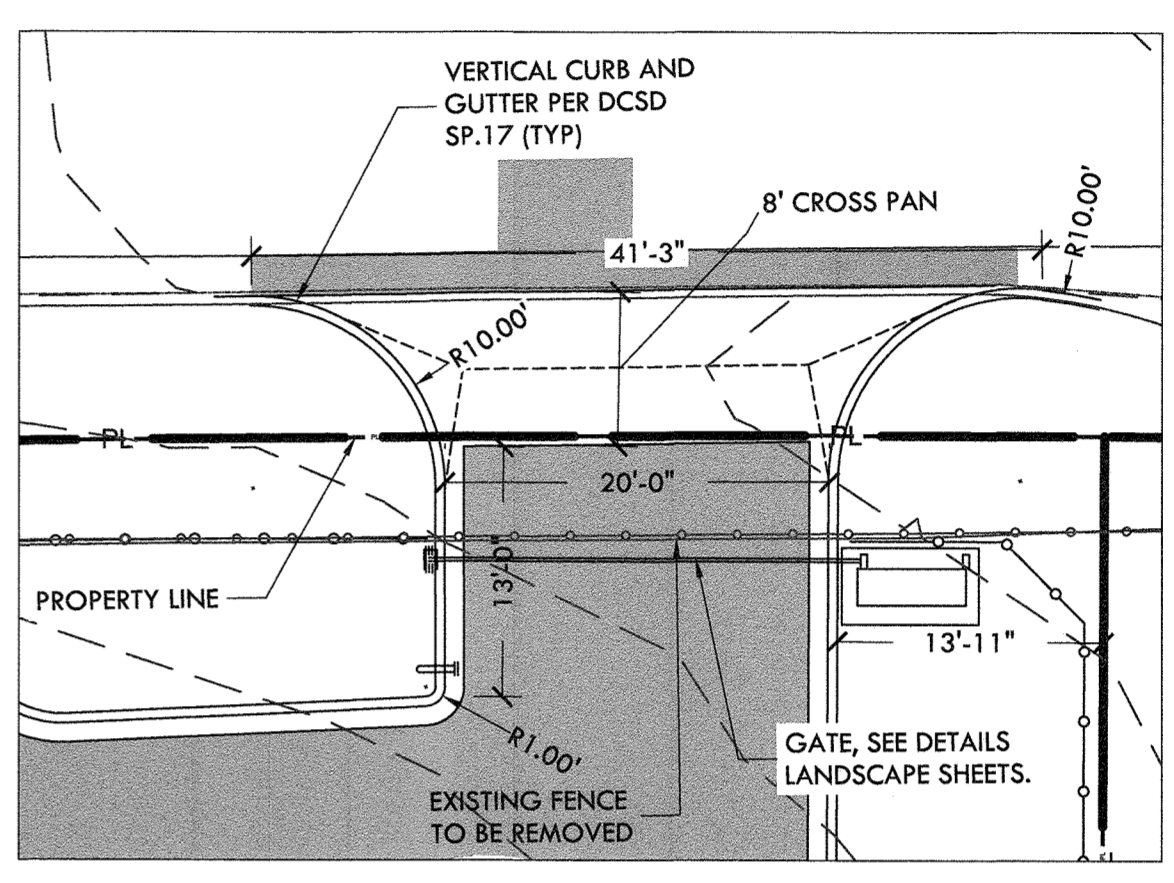


LEGEND

- PROPOSED DRAINAGE AND UTILITY EASEMENT
- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED FENCE

SITE NOTES:

1. SITE ZONING, LAND USE, AND SETBACKS ARE PER THE MEADOWS PARKWAY PRELIMINARY PD SITE PLAN. SEE COVER SHEET FOR ADDITIONAL INFORMATION.
2. PROJECT IS DESIGNED FOR CONSTRUCTION IN ONE PHASE.
3. THE PROPOSED 20' CURB CUT TO INDUSTRIAL WAY IS AN EXIT ONLY ACCESS.
4. THE EXISTING LAND USE AND ADJACENT PROPERTIES ARE ZONED PLANNED DEVELOPMENT DISTRICT (PD).



SITE EXIT DETAIL
SCALE: 1" = 10'

Revision	DATE	DESCRIPTION
7/10/2015		SITE DEVELOPMENT PLAN

dcbb construction company, inc.
 800 East 62nd Avenue • Denver, Colorado 80226 • 303.267.2625 • Fax: 303.267.2687 • www.dcb.com

These plans are an instrument of service and are the property of DCBE Construction Company, Inc. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of DCBE Construction Company, Inc. Copyrights and infringements will be enforced and prosecuted. 2015

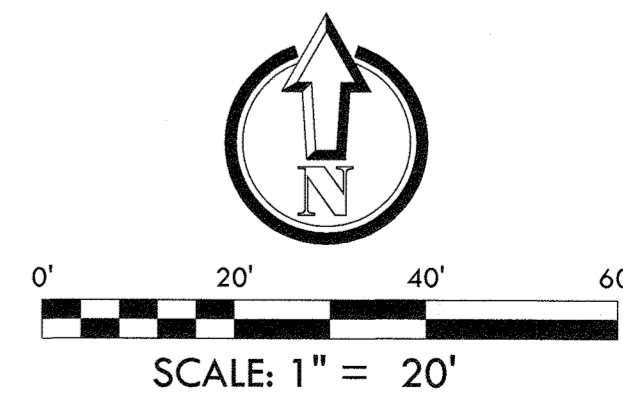
VERTEX
McGLAMERY
 303.455.9188 • Fax: 303.455.9144
 3734 Osage Street • Denver, CO 80211
 CONTACT: LANCE P. VANDENMARK, P.E.

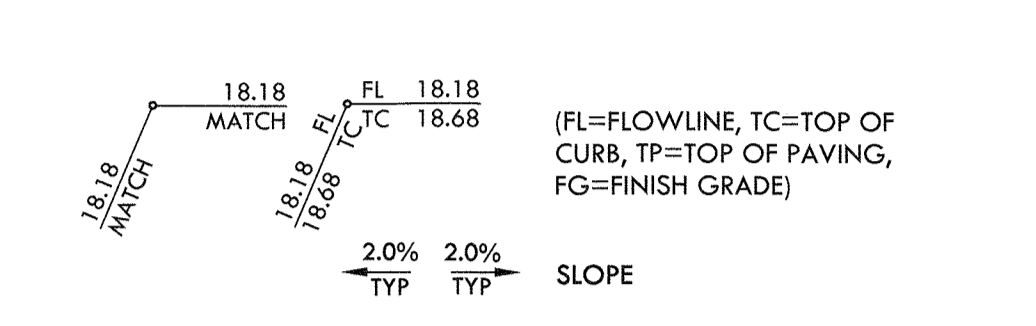
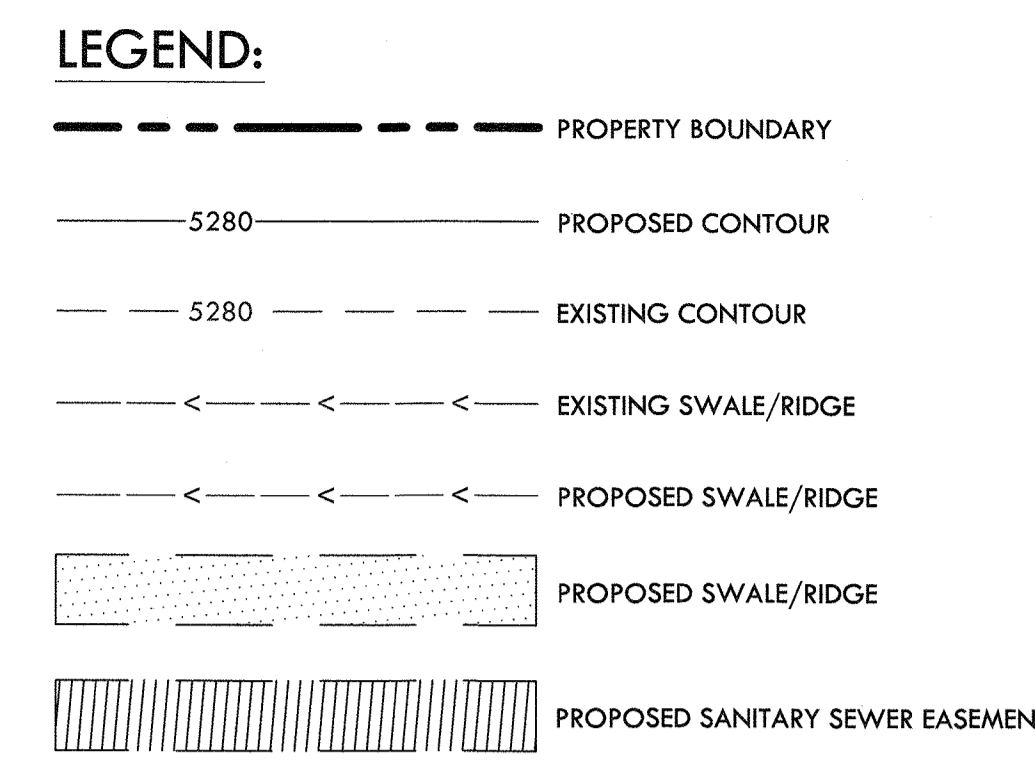
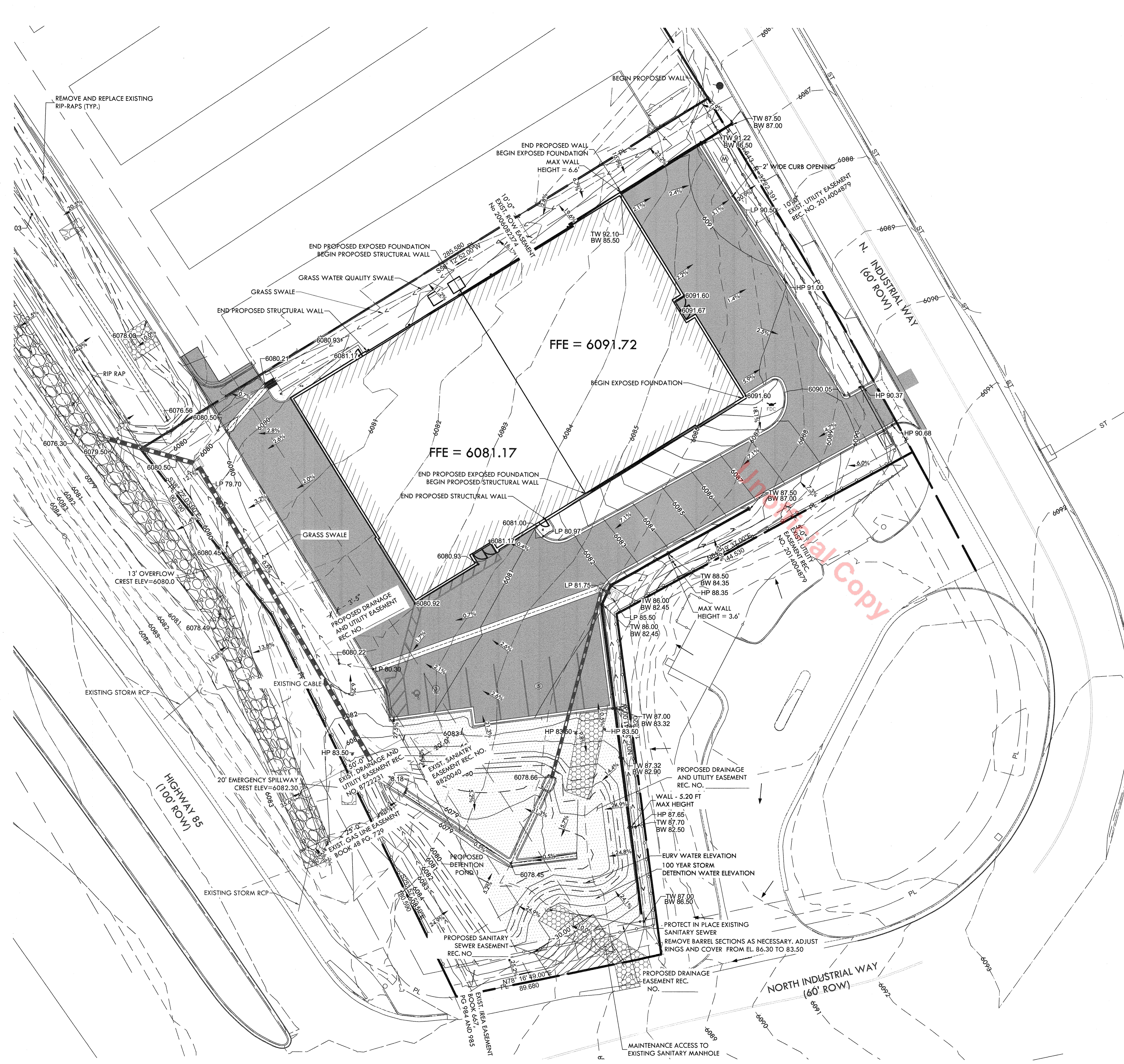
**SITE DEVELOPMENT PLAN
 EXTRA SPACE STORAGE**
 INDUSTRIAL WAY - CASTLE ROCK, COLORADO

Design Project No. 15-902
 Drawing Title
SITE PLAN

Drawing No.
2 OF 7

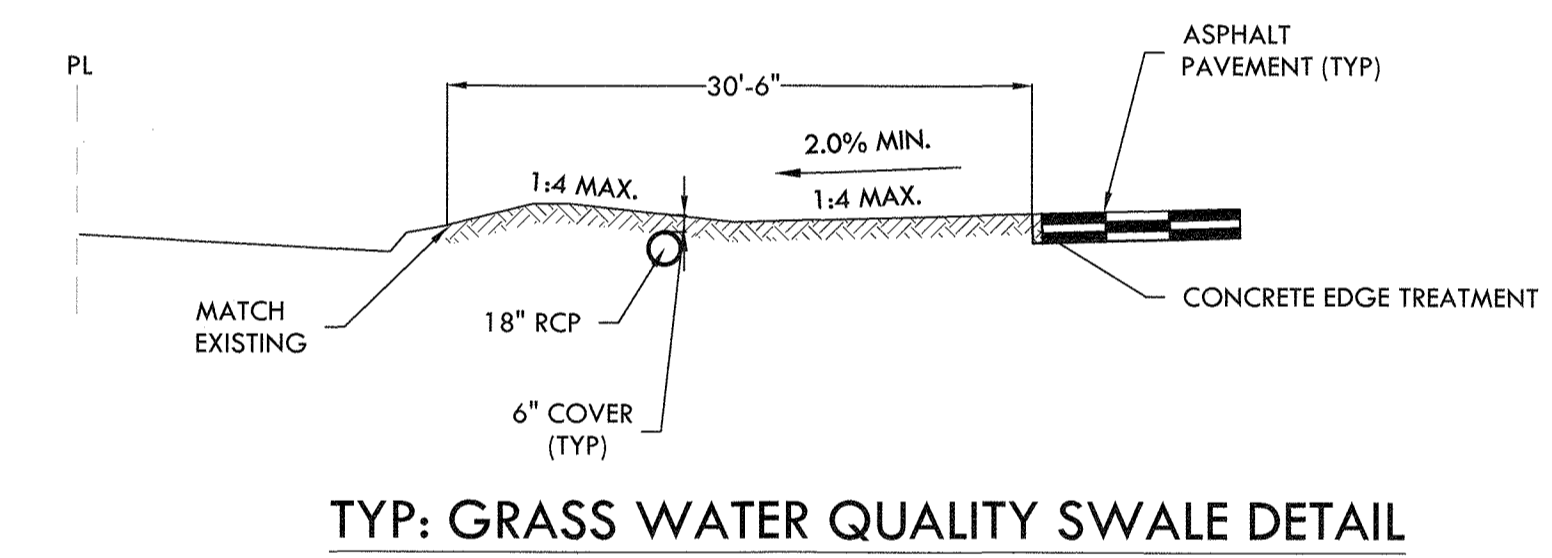
SITE DEVELOPMENT PLAN
 Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
 PROJECT NO. SDP15-0007





GRADING NOTES:

1. ALL LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING @ 10% FOR A MINIMUM OF 5'.
2. 4:1 MAXIMUM SLOPE FOR FINAL GRADES.
3. EACH PEDESTRIAN DOORWAY SHALL HAVE AN EXTERIOR CONCRETE LANDING AT A 2% SLOPE FOR A MINIMUM LENGTH OF 5.0'.
4. HANDICAP PARKING SHALL BE NO STEEPER THAN 2% IN ANY DIRECTION.
5. PAVEMENT THICKNESSES ARE PER GEOTECHNICAL REPORT.
6. VERIFY ALL UTILITY TIE-IN HORIZONTAL AND VERTICAL LOCATIONS, PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO VERIFY SPOT ELEVATIONS DELINEATED AS "MATCH".
8. 8.33% MAXIMUM SLOPE IN ANY PROPOSED CONCRETE, UNLESS NOTED OTHERWISE.
9. 2% CROSS-SLOPE ON PROPOSED SIDEWALKS
10. CONTRACTOR TO PERFORM A FORM CHECK, PRIOR TO PLACING EXTERIOR CONCRETE. NOTIFY ENGINEER OF ANY SLOPE OR ELEVATION DISCREPANCIES.



Revision	SITE DEVELOPMENT PLAN	
Date	7/10/2015	

dcb construction company, inc.
 888 East 62nd Avenue • Denver, Colorado 80219 • 303.267.6525 • Fax 303.267.3887 • www.dcb.com

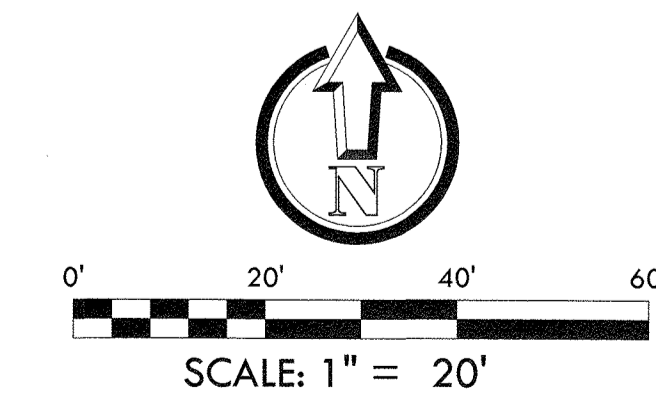
These plans are an instrument of service and are the property of DCCE Construction Company, Inc. All rights are reserved. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of DCCE Construction Company, Inc. Copyrights and infringements will be enforced and prosecuted. 2015

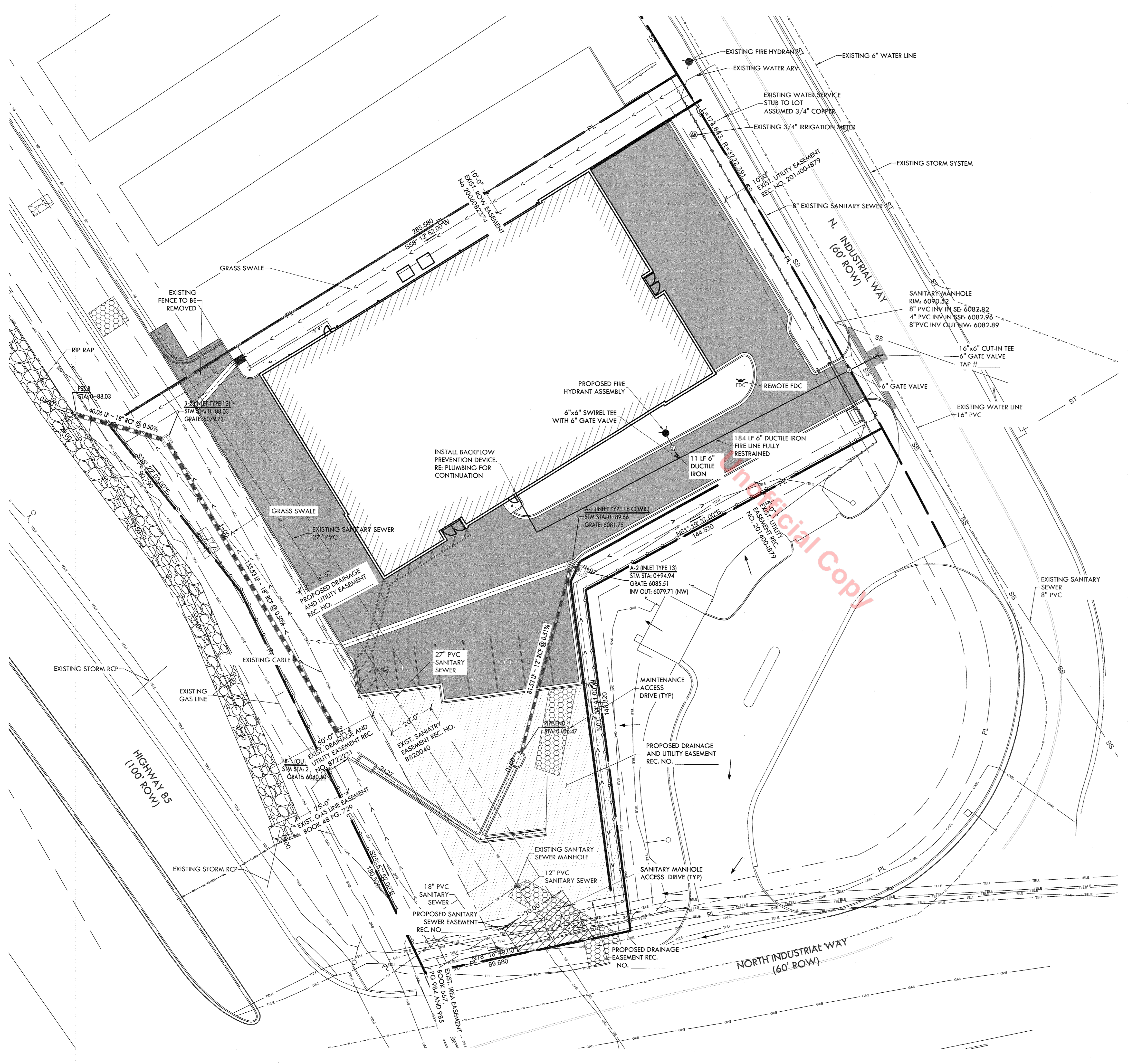
VERTX
McGLAMERY
 3734 Chape Street • Denver, CO 80211
 CONTACT: LANCE P. VANDEMARK, P.E.

SITE DEVELOPMENT PLAN
EXTRA SPACE STORAGE
 INDUSTRIAL WAY - CASTLE ROCK, COLORADO

Design Project No.	15-902
Drawing Title	GRADING PLAN
Drawing No.	3 OF 7

SITE DEVELOPMENT PLAN
 Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
 PROJECT NO. SDP15-0007





UTILITY NOTES

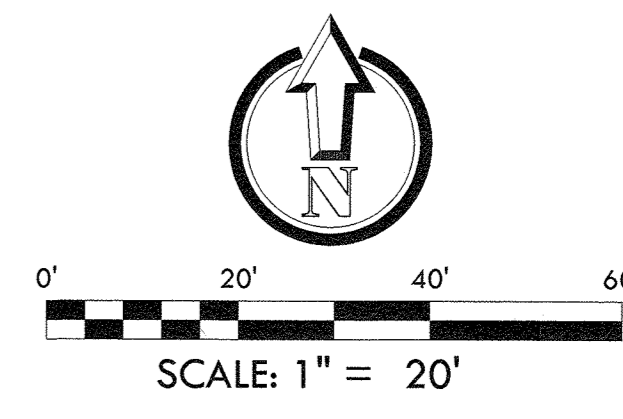
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW (6065-6230) WATER PRESSURE ZONE.

LEGEND

	PROPERTY LINE
	LOT LINE
	EXISTING ASPHALT
	ASPHALT
	CONCRETE
	SWALE - LEFT
	SWALE - RIGHT
	NEW CURB
	NEW FLOW LINE
	NEW PAN/LIP
	EXISTING CURB
	EXISTING FLOW LINE
	EXISTING PAN/LIP
	RIGHT-OF-WAY
	METAL FENCE
	EXISTING CABLE / CATV SERVICE
	EXISTING ELECTRIC SERVICE
	EXISTING NATURAL GAS SERVICE
	PROPOSED SANITARY SEWER SERVICE
	EXISTING SANITARY SEWER SERVICE
	PROPOSED STORM
	EXISTING STORM
	PROPOSED STORM SEWER
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT LINE
	EXISTING DOMESTIC WATERLINE
	PROPOSED DOMESTIC WATERLINE
	PROPOSED FIRELINE
	CORP STOP
	CURB STOP
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	EXISTING / PROPOSED WATER METER
	WATER METER PIT
	EXISTING / PROPOSED GATE VALVE
	EXISTING / PROPOSED TAP SLEEVE VALVE
	PROPOSED 45° BEND WITH KICKBLOCK
	EXISTING / PROPOSED STORM MANHOLE
	EXISTING / PROPOSED SANITARY MH

* SYMBOLS MAY NOT BE TO SCALE FOR BETTER GRAPHICAL REPRESENTATION.

	PROPOSED DRAINAGE AND UTILITY EASEMENT
	PROPOSED SANITARY SEWER EASEMENT



SITE DEVELOPMENT PLAN
 Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
 PROJECT NO. SDP15-0007

Revision	SITE DEVELOPMENT PLAN
Date	7/10/2015
 890 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5255 • Fax 303.287.2807 • www.dcb.com	
 Home 303.455.8988 • Fax 303.455.8444 3734 Osage Street • Denver, CO 80211 CONTACT: LANCE P. VANDEMARK P.E.	
SITE DEVELOPMENT PLAN EXTRA SPACE STORAGE INDUSTRIAL WAY - CASTLE ROCK, COLORADO	
Design Project No.	15-902
Drawing Title	UTILITY PLAN
Drawing No.	4 OF 7

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.

QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.

ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.

DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.

PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.

DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).

IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.

IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.

LANDSCAPE LEGEND

- SYMBOL INDICATES PLANT TYPE AND SIZE AT TIME OF PLANTING
- (○) DECIDUOUS SHADE TREES
 - (●) EVERGREEN TREES
 - (⊙) DECIDUOUS ORNAMENTAL TREES
 - (⊗) DECIDUOUS SHRUBS
 - (⊘) EVERGREEN SHRUBS
 - (⊙) DROUGHT TOLERANT TURFGRASS SOD OVER PREPARED SOIL
 - (⊙) DETENTION FOND WETLAND GRASSES (SEE MIX ON SHEET 22)
 - (⊙) NATIVE GRASS
- CIRCLE SIZE INDICATES SIZE OF PLANT AT 5-7 YEARS OF GROWTH

HARDSCAPE LEGEND

- (—) 6' GREEN CHAIN LINK FENCE
- (▨) GRAVEL MULCH OVER WEED BARRIER FABRIC
- (▨) 4" - 8" GRAY COBBLESTONE OVER WEED BARRIER FABRIC
- (▨) REINFORCED TURFGRASS ACCESS PATH TO DETENTION FOND AND SANITARY SEWER MANHOLE
- (▨) BURIED RIP RAP DRAINAGE SWALE WITH APPROX. 12" OF TOPSOIL

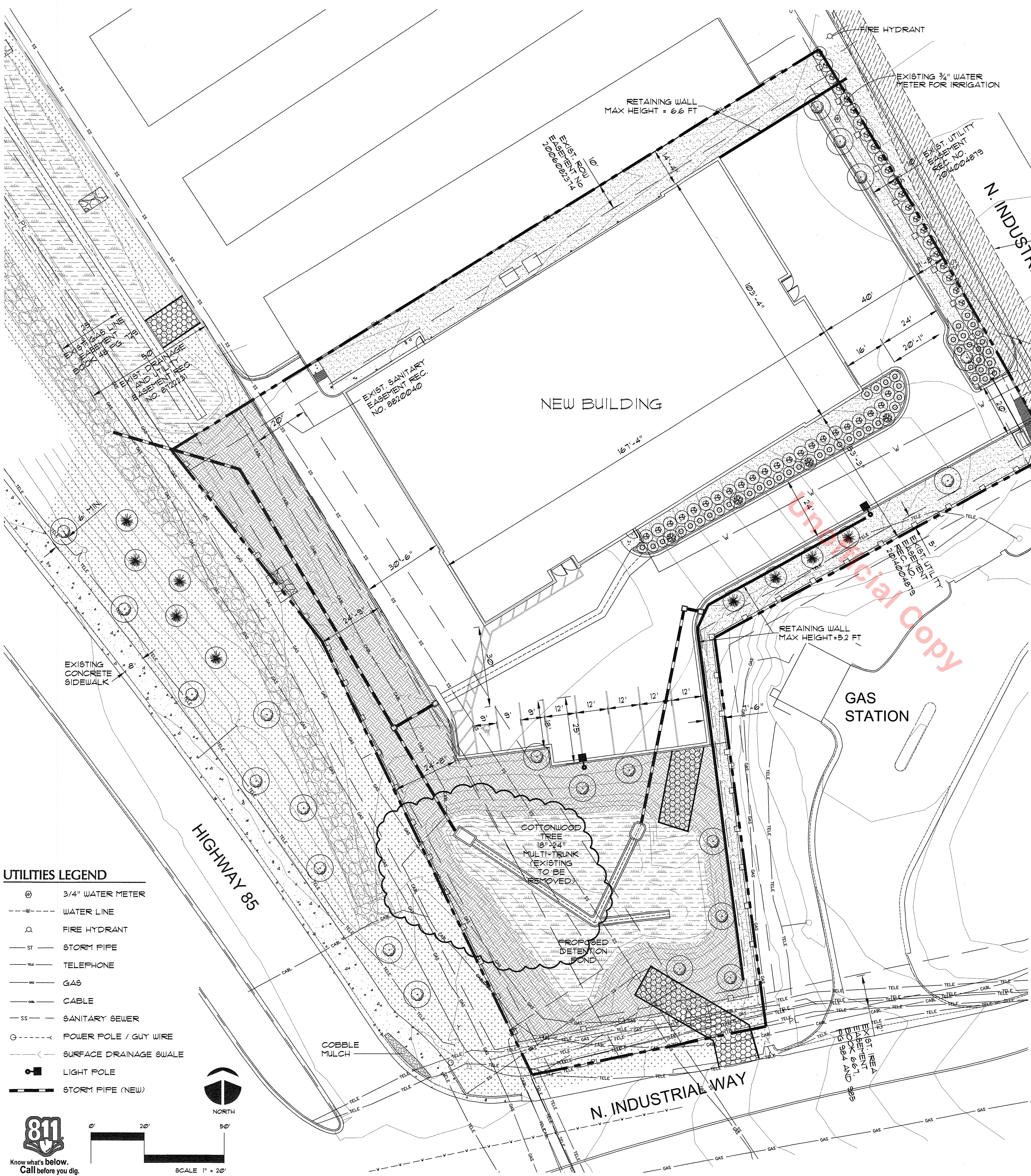
IRRIGATION INTENT

- HYDROZONE DESCRIPTION
- (▨) LOW WATER USE DROUGHT TOLERANT TURFGRASS THAT WILL PROVIDE A LIVING GROUND COVER. WATERING WILL BE BY SPRAY HEADS WITHIN THE FENCED AREA.
 - (▨) VERY LOW WATER USE EXISTING AND NEW NATIVE GRASS. TEMPORARY IRRIGATION IS PROPOSED FOR ESTABLISHMENT AND HEALTH. TREES LOCATED IN THIS AREA WILL BE DRIP WATERED INDIVIDUALLY.
 - (▨) NO WATER USE EXCEPT FOR PLANTS THAT ARE PROPOSED IN THESE AREAS. TREES AND SHRUBS WILL BE INDIVIDUALLY WATERED WITH DRIPPER LINE.
- TREES WILL HAVE MORE DRIPPER LINE THAN SHRUBS TO BALANCE WATER DISTRIBUTION ON THE SAME ZONE. PLANT SELECTION WILL BE APPROPRIATE FOR EACH HYDROZONE.

STREET TREE REQUIREMENTS

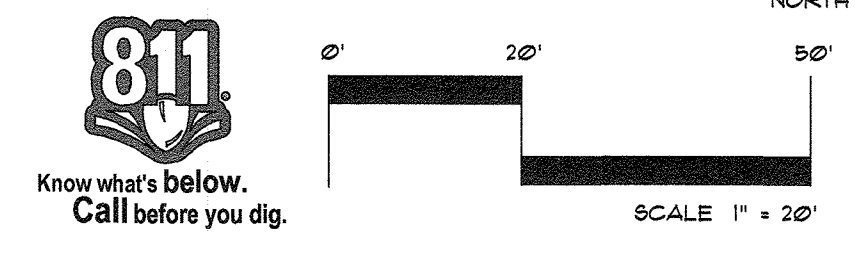
STREET	FRONTAGE	TREE REQUIREMENT LF / 40' X 1	PROVIDED LF / 40' X 1	SHRUB REQUIREMENT LF / 40' X 4	PROVIDED LF / 40' X 4
HIGHWAY 85	210 LF	7	14*	28	0
N. INDUSTRIAL WAY (SOUTH)	90 LF	2	4*	8	0
N. INDUSTRIAL WAY (EAST)	176 LF	4	4	18	40

* 1 TREE IS ALLOWED TO SUBSTITUTE FOR 4 REQUIRED SHRUBS



UTILITIES LEGEND

- (⊙) 3/4" WATER METER
- (---) WATER LINE
- (⊙) FIRE HYDRANT
- (---) STORM PIPE
- (---) TELEPHONE
- (---) GAS
- (---) CABLE
- (---) SANITARY SEWER
- (---) POWER POLE / GUY WIRE
- (---) SURFACE DRAINAGE SWALE
- (---) LIGHT POLE
- (---) STORM PIPE (NEW)



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional DOUGLAS G. ROCKNE

Town of Castle Rock Registration # 5154 State of Colorado License Landscape Architect # 193

Company Name ROCKNE CORTY DESIGN, INC. Address PO BOX 3354 CENTENNIAL CO 80161

Phone 303-581-6746 Email DGR@ROCKNE.COM Date MAY 13, 2015

PROJECT NAME EXTRA SPACE STORAGE - CASTLE ROCK

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
60,443 SF	24,223 SF 10% REQUIRED = 6,044 SF	10,040 SF BUFFALO GRASS SOD	8,994 SF GRAVEL MULCH AND FOND ACCESS PATH	12 2 TREES PER 1,000 SF OF RGD. LDKP'D AREA 6,044 / 1,000 = 6 (X 2 = 12)	12	24 4 SHRUBS PER 1,000 SF OF RGD. LDKP'D AREA 6,044 / 1,000 = 6 (X 4 = 24)	51	4 CY	Yes X No EXISTING 3/4" METER
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
5,058 SF	506 SF	8	0 SF	0	N/A	1 2 TREES PER 1,000 SF OF RGD. LDKP'D AREA 506 / 1,000 = 5 (5 X 1 = 1)	2 1 ADD'L. TREE WAS PROVIDED IN LIEU OF 4 SHRUBS	4 4 SHRUBS PER 1,000 SF OF RGD. LDKP'D AREA 506 / 1,000 = 5 (5 X 4 = 4)	0 1 ADD'L. TREE WAS PROVIDED IN LIEU OF 4 SHRUBS

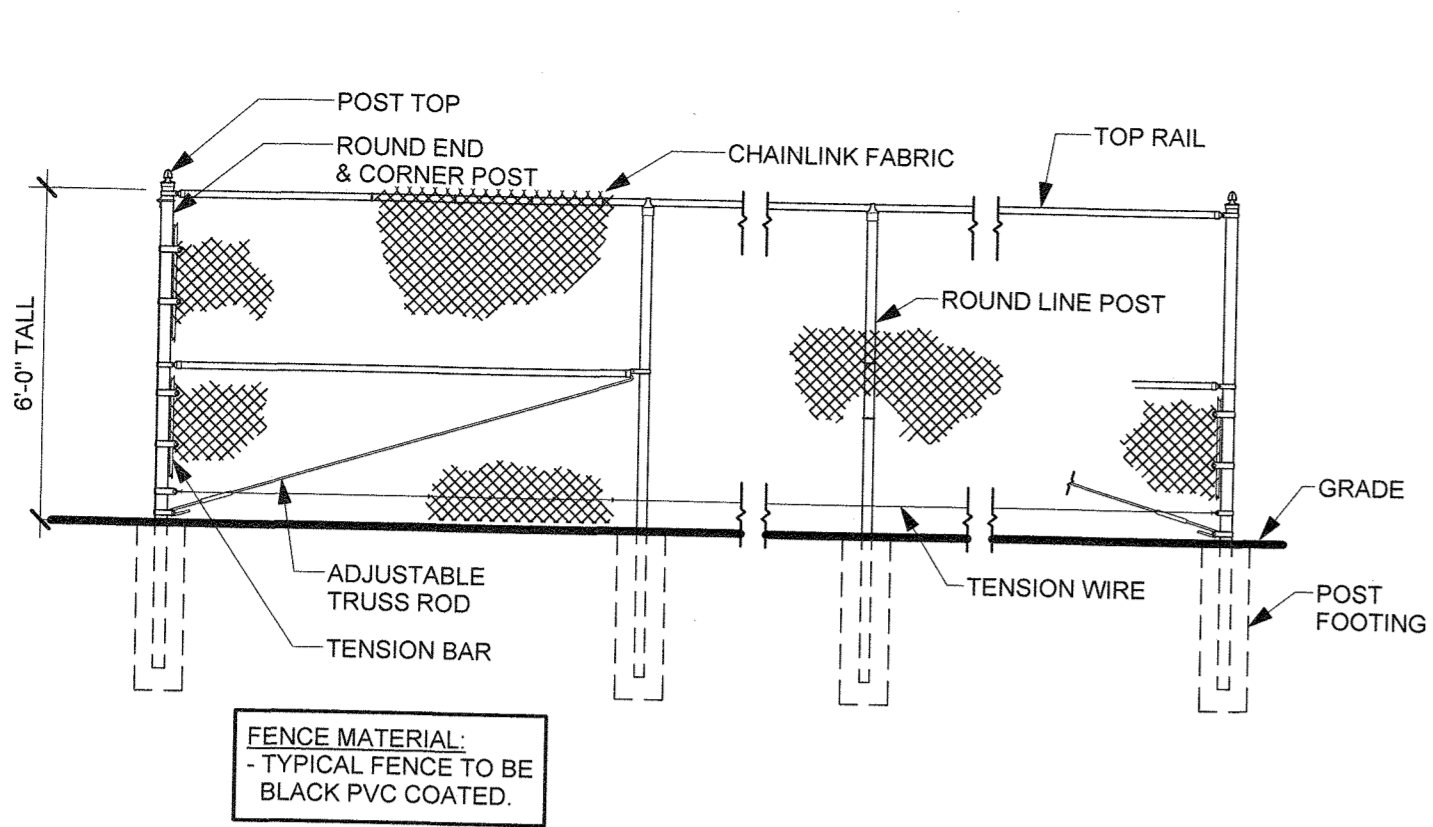
SITE DEVELOPMENT PLAN
Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
PROJECT NO. SDP15-0007

SITE DEVELOPMENT PLAN
 7/10/2015
 construction company, inc.
 800 East 62nd Avenue • Denver, Colorado 80218 • 303.297.5525 • Fax 303.297.3997 • www.dcb.com
5 of 7

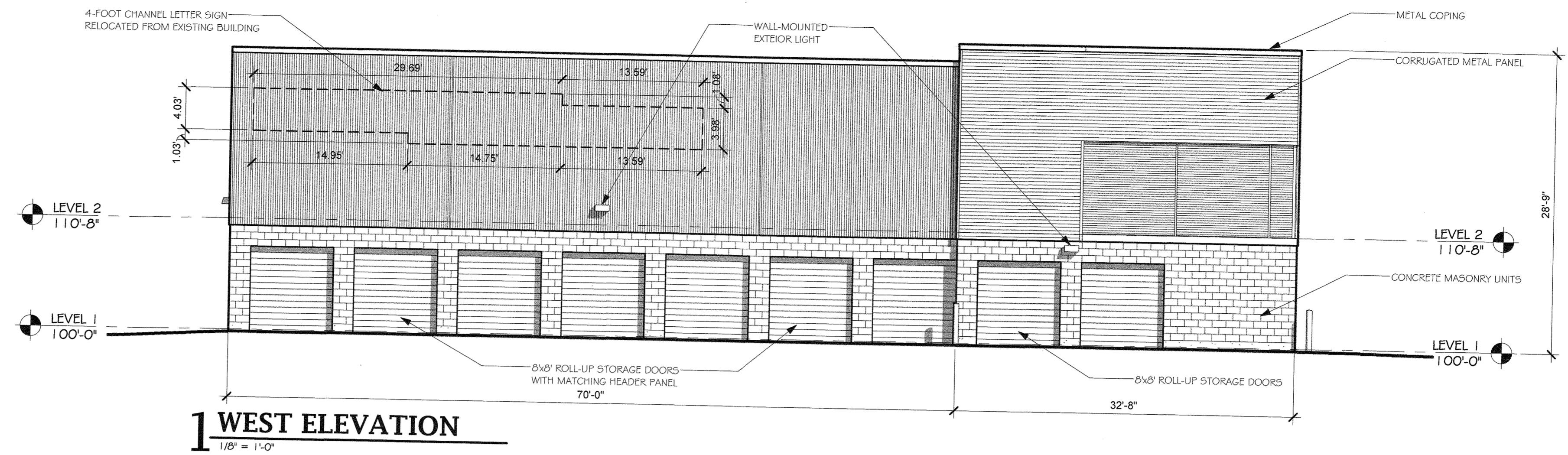
CONCEPTUAL LANDSCAPE PLAN

INDUSTRIAL WAY - CASTLE ROCK, COLORADO

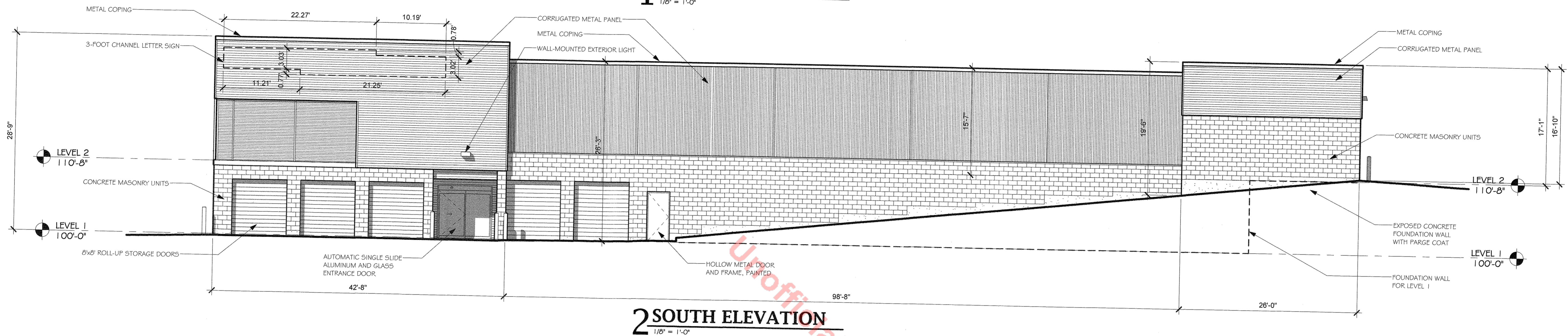
Design Project No. 15-902
 Drawing Title
 Drawing No.



PERIMETER CHAINLINK FENCE
1/4" = 1'-0"

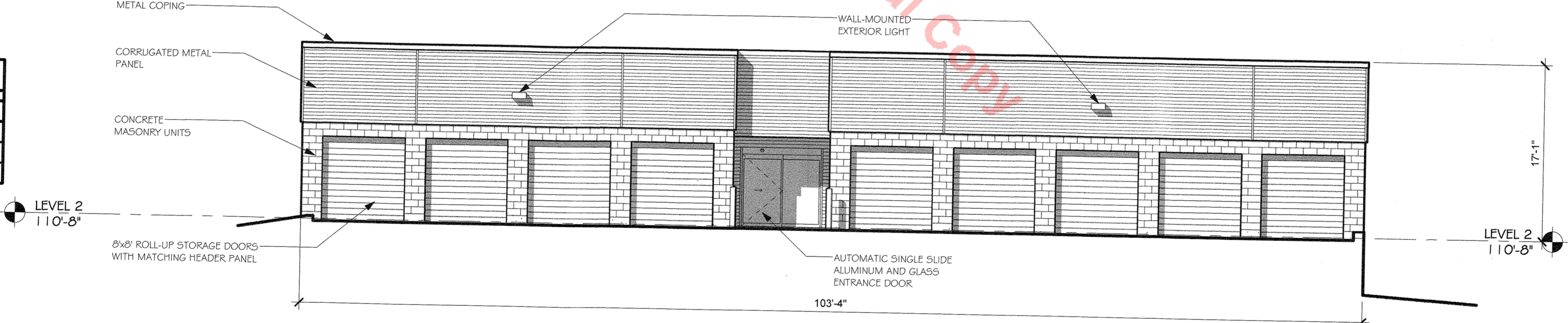


1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

SIGNAGE TABLE	
SIGN TYPE	AREA
WALL SIGN (NORTH ELEVATION)	48.85 SQ. FEET
WALL SIGN (SOUTH ELEVATION)	106.69 SQ. FEET
WALL SIGN (WEST ELEVATION)	189.07 SQ. FEET



3 EAST ELEVATION
1/8" = 1'-0"

BUILDING EXTERIOR FINISHES

CONCRETE MASONRY UNITS (CMU)
SPLIT FACE CMU TO MATCH COLOR OF SPLIT FACE CMU AT EXISTING FACILITY. 8" HIGH x 16" WIDE, RUNNING BOND PATTERN.

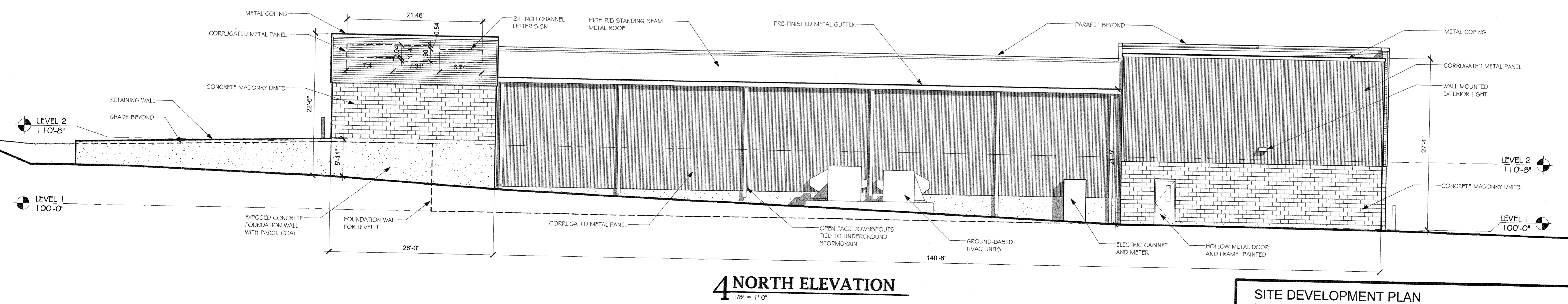
CORRUGATED METAL PANEL
HORIZONTAL ORIENTATION.

METAL COPING
COLOR TO MATCH METAL WALL PANEL.

GUTTER AND DOWNSPOUTS
COLOR TO MATCH METAL WALL PANEL.

ROLL-UP DOORS AND HEADER PANELS
COLOR TO BE EXTRA SPACE GREEN.

AUTOMATIC DOORS
ALUMINUM FRAME WITH CLEAR ANODIZED FINISH. CLEAR GLAZING.



4 NORTH ELEVATION
1/8" = 1'-0"

SITE DEVELOPMENT PLAN
Lot G1-5A, Meadows Parkway Phase II, Amendment No. 3
PROJECT NO. SDP15-0007

SITE DEVELOPMENT PLAN

EXTRA SPACE STORAGE

INDUSTRIAL WAY - CASTLE ROCK, COLORADO

Revision: 7/10/2015


Design Project No: 15-902

Drawing Title: BUILDING ELEVATIONS

Drawing No: 6 of 7

dcbb construction company, inc.
898 East 82nd Avenue • Denver, Colorado 80231 • 303.297.2626 • Fax: 303.297.2897 • www.dcbbi.com

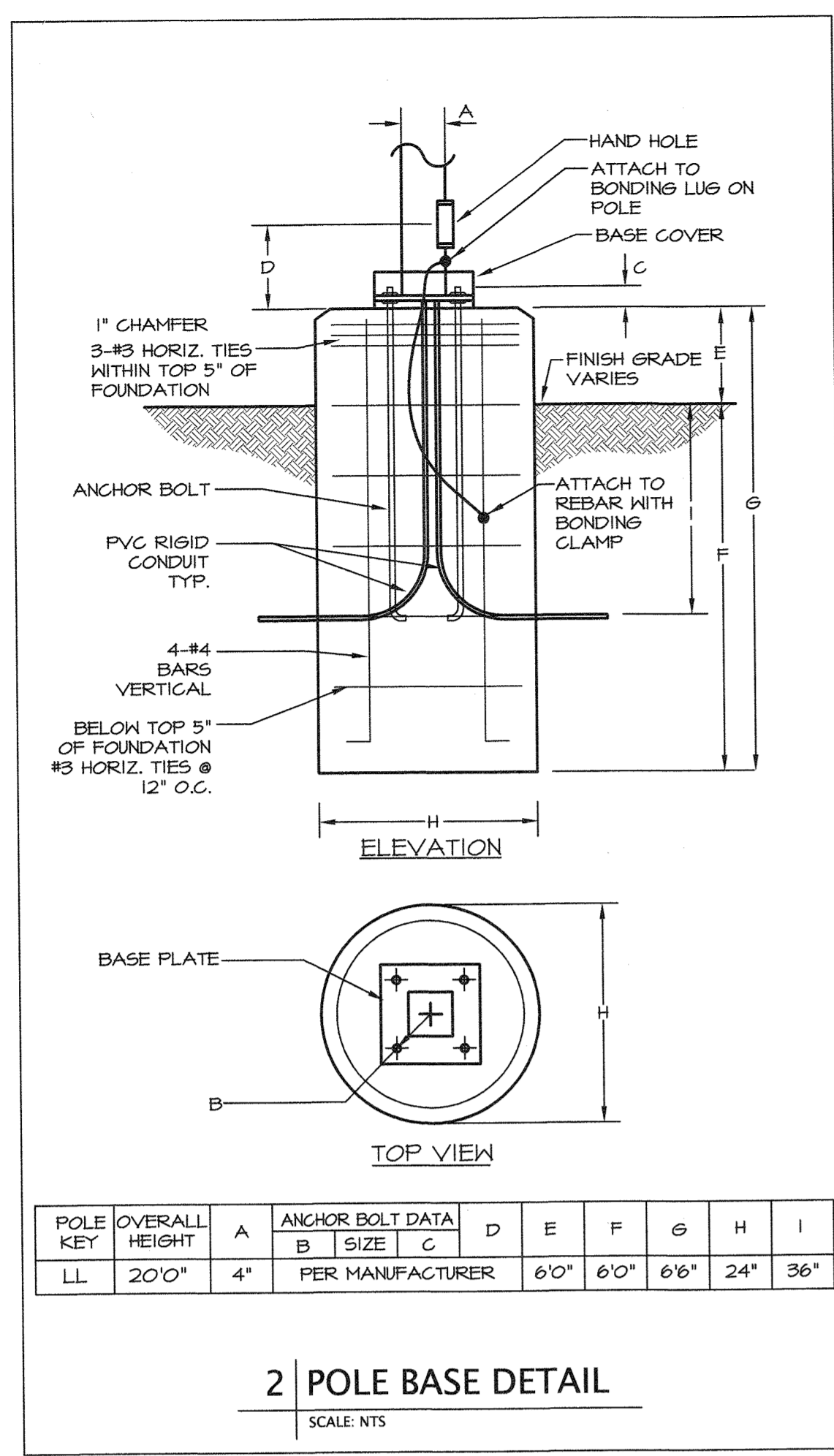
These plans are an instrument of service and are the property of DCB Construction Company, Inc. Construction Company, Inc. Copyrights and all rights reserved. No part of these plans may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of DCB Construction Company, Inc.



1900 Wazee Street, Suite #350
Denver, Colorado 80202
303.296.3034 VOICE
303.296.3035 FAX
aedesign@aedesign-inc.com
www.aedesign-inc.com

**ARCHITECTURAL ENGINEERING
DESIGN GROUP, INC.**

ROY JACKSON
ELECTRIC, INC.



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA			D	E	F	G	H	I
LL	20'0"	4"	B	C	PER MANUFACTURER	6'0"	6'0"	6'6"	24"	36"	

2 | POLE BASE DETAIL
SCALE: NTS

- GENERAL NOTES**
- ALL EXTERIOR LIGHTING IS FULL-CUTOFF, DIRECTED TO THE STORAGE FACILITY PROPERTY, AND IS CONTROLLED VIA ASTRONOMICAL TIMELOCK.
 - THE FOLLOWING IS THE PLANNED EXTERIOR LIGHTING CONTROL SCHEME, VIA ASTRONOMICAL TIMELOCK WITH PHOTOCELL:
 - LIGHT FIXTURES AT DOORS ARE TO OPERATE FROM DUSK TILL DAWN.
 - 1/2 OF BUILDING MOUNTED LIGHT FIXTURES ARE TO OPERATE FROM DUSK TILL DAWN.
 - 1/2 OF BUILDING MOUNTED LIGHT FIXTURES ARE TO OPERATE FROM DUSK TILL 10PM.
 - SITE POLE LIGHTS ARE TO OPERATE FROM DUSK TILL 10PM.
 - NONE OF THE FOLLOWING LIGHT FIXTURES ARE BEING USED: FORWARD THROWN (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT THE BUILDING FACADE, AND UNSHIELDED WALL PACKS.
 - NO SIGN LIGHTING IS PROPOSED AT THIS TIME.

TYPE L2



Project	Type
Catalog #	

DESCRIPTION
Soft Light is an LED luminaire designed for installation in 1" x 1" notch spacing for new construction or retrofit projects. Featuring superior, evenly dispersed lighting that sets the standard in performance for solid state soffit luminaires. Soft Light can also significantly reduce the number of fixtures needed to light a given area. Custom fixture and power supply kit design allows for quick and easy installation, reducing costly labor time. The superior thermal design and sealed both the life of the luminaire and power supply. And by still emitting 70% of the original light output after more than 173,000 hours*, Soft Light will last many years without the need for costly replacement or maintenance.

FEATURES
Phenomenal light output using only 28.5 Watts
Sealed, low heat CCT fixture
Class 2 compliant design (low voltage, limited power)
Lifetime of more than 173,000 hours**
Fixture dimmable via Mark 7 0-10V dimming interface
5 year warranty

CERTIFICATION
UL, ETL, IEC, CE, FCC, RoHS, REACH, EN60598-1, EN60598-2-22, EN60598-2-23, EN60598-2-24, EN60598-2-25, EN60598-2-26, EN60598-2-27, EN60598-2-28, EN60598-2-29, EN60598-2-30, EN60598-2-31, EN60598-2-32, EN60598-2-33, EN60598-2-34, EN60598-2-35, EN60598-2-36, EN60598-2-37, EN60598-2-38, EN60598-2-39, EN60598-2-40, EN60598-2-41, EN60598-2-42, EN60598-2-43, EN60598-2-44, EN60598-2-45, EN60598-2-46, EN60598-2-47, EN60598-2-48, EN60598-2-49, EN60598-2-50, EN60598-2-51, EN60598-2-52, EN60598-2-53, EN60598-2-54, EN60598-2-55, EN60598-2-56, EN60598-2-57, EN60598-2-58, EN60598-2-59, EN60598-2-60, EN60598-2-61, EN60598-2-62, EN60598-2-63, EN60598-2-64, EN60598-2-65, EN60598-2-66, EN60598-2-67, EN60598-2-68, EN60598-2-69, EN60598-2-70, EN60598-2-71, EN60598-2-72, EN60598-2-73, EN60598-2-74, EN60598-2-75, EN60598-2-76, EN60598-2-77, EN60598-2-78, EN60598-2-79, EN60598-2-80, EN60598-2-81, EN60598-2-82, EN60598-2-83, EN60598-2-84, EN60598-2-85, EN60598-2-86, EN60598-2-87, EN60598-2-88, EN60598-2-89, EN60598-2-90, EN60598-2-91, EN60598-2-92, EN60598-2-93, EN60598-2-94, EN60598-2-95, EN60598-2-96, EN60598-2-97, EN60598-2-98, EN60598-2-99, EN60598-2-100

SOFFIT LIGHT
1" x 1" Standard Flux
28.5W 2800K

ENERGY DATA

CCF (W)	3500	4000/5000
Input Voltage (VAC)	120-277	120-277
System Level Power (W)	28.5	28.5
Delivered Lumens (lm)	2000	2000
System Efficiency (lm/W)	70	71
Color Rendering Index	80 min	80 min
L70 Coefficient (lm/1000h)	173,000	173,000
L80 Coefficient (lm/1000h)	78,000	78,000
Operating Temp. (C)	30 to 50	30 to 50

SPECIFICATIONS

Dimensions (in)	12.7 x 12.7 x 3.2
Installation	1
Net weight	6.1 lbs
Environmental Rating	Wet

FIXTURE ORDERING INFORMATION

GTR2	11	Color Temp (K)	Diffuser
GTR2	11 1' x 1'	35 3500K	0 Standard
		40 4000K	
		50 5000K	

POWER SUPPLY INFORMATION

Series	Type	Drive Current
PUB	UNV2	1050

TYPE L4

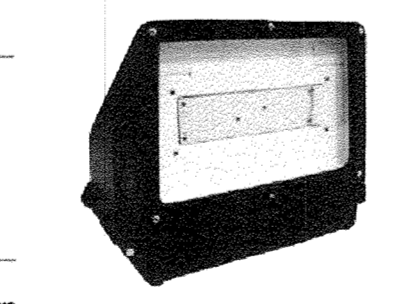


DESCRIPTION
EcoNight is a wall-mounted LED luminaire designed for outdoor area lighting applications. Using a series SS/A Watts of power and delivering 5700 lumens, the EcoNight is an ideal replacement for 70-100 Watt metal halide wall pack fixtures. The EcoNight is long life expectancy and has only 1/10th the energy consumption and replacement costs, but will also protect environmental resources through reduced CO2 emissions and reduced water footprint. Backed by US LED's standard 5-year warranty, EcoNight is a sound investment in performance, longevity and cost-savings to the global green movement.

FEATURES AND SPECIFICATIONS

- Low voltage Class 2 design
- Interior Q-Box LED module features advanced heat sink
- Base at least 70% less power than equivalent metal halide
- 5-year warranty

ECONIGHT
Wall Pack Luminaire
1-Cube, 120-277V Input
iCube2



CERTIFICATION

- UL, ETL, IEC, CE, FCC, RoHS, REACH, EN60598-1, EN60598-2-22, EN60598-2-23, EN60598-2-24, EN60598-2-25, EN60598-2-26, EN60598-2-27, EN60598-2-28, EN60598-2-29, EN60598-2-30, EN60598-2-31, EN60598-2-32, EN60598-2-33, EN60598-2-34, EN60598-2-35, EN60598-2-36, EN60598-2-37, EN60598-2-38, EN60598-2-39, EN60598-2-40, EN60598-2-41, EN60598-2-42, EN60598-2-43, EN60598-2-44, EN60598-2-45, EN60598-2-46, EN60598-2-47, EN60598-2-48, EN60598-2-49, EN60598-2-50, EN60598-2-51, EN60598-2-52, EN60598-2-53, EN60598-2-54, EN60598-2-55, EN60598-2-56, EN60598-2-57, EN60598-2-58, EN60598-2-59, EN60598-2-60, EN60598-2-61, EN60598-2-62, EN60598-2-63, EN60598-2-64, EN60598-2-65, EN60598-2-66, EN60598-2-67, EN60598-2-68, EN60598-2-69, EN60598-2-70, EN60598-2-71, EN60598-2-72, EN60598-2-73, EN60598-2-74, EN60598-2-75, EN60598-2-76, EN60598-2-77, EN60598-2-78, EN60598-2-79, EN60598-2-80, EN60598-2-81, EN60598-2-82, EN60598-2-83, EN60598-2-84, EN60598-2-85, EN60598-2-86, EN60598-2-87, EN60598-2-88, EN60598-2-89, EN60598-2-90, EN60598-2-91, EN60598-2-92, EN60598-2-93, EN60598-2-94, EN60598-2-95, EN60598-2-96, EN60598-2-97, EN60598-2-98, EN60598-2-99, EN60598-2-100

ORDERING INFORMATION

DSC01	1	UNV	50	1	00
Series	Variant	Input Voltage (V)	Color Temp	# of Quads	Options
DSC01	1	UNV	50 5000K	1	00 Standard

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	WATT TYPE	MAX MATTS	LUMENS	LLF	LOCATION	BOF/RFD/OFH	NOTES
L2	RECESSED LED CANOPY LIGHT, 12"x12"x3.2"	USBRITE	GTR2-11-XX-0 PUB-UNV2-1050	120	1	LED 28.5	28.5	2100	1.0	RECESSED CEILING	10'-0" ABOVE FINISH GRADE	
L4	LED FULL-CUTOFF WALL MOUNT FIXTURE	USBRITE	DSC02-1-UNV-50-2-00	120	1	LED 50.0	50.0	3200	1.0	SURFACE WALL	SEE PLANS	2
L11	LED AREA POLE LIGHT FIXTURE	RAB LIGHTING	ALED-3T-78	120	1	LED 78	78	6411	1.0	POLE	20'-0" ABOVE FINISH GRADE	1

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

- ALL FLUORESCENT LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNLESS NOTED OTHERWISE.
- ALL REFLECTOR LAMPS TO BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UNLESS NOTED OTHERWISE.
- ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS AS DESCRIBED IN NEC 410.130(G).

SPECIFIC NOTES:

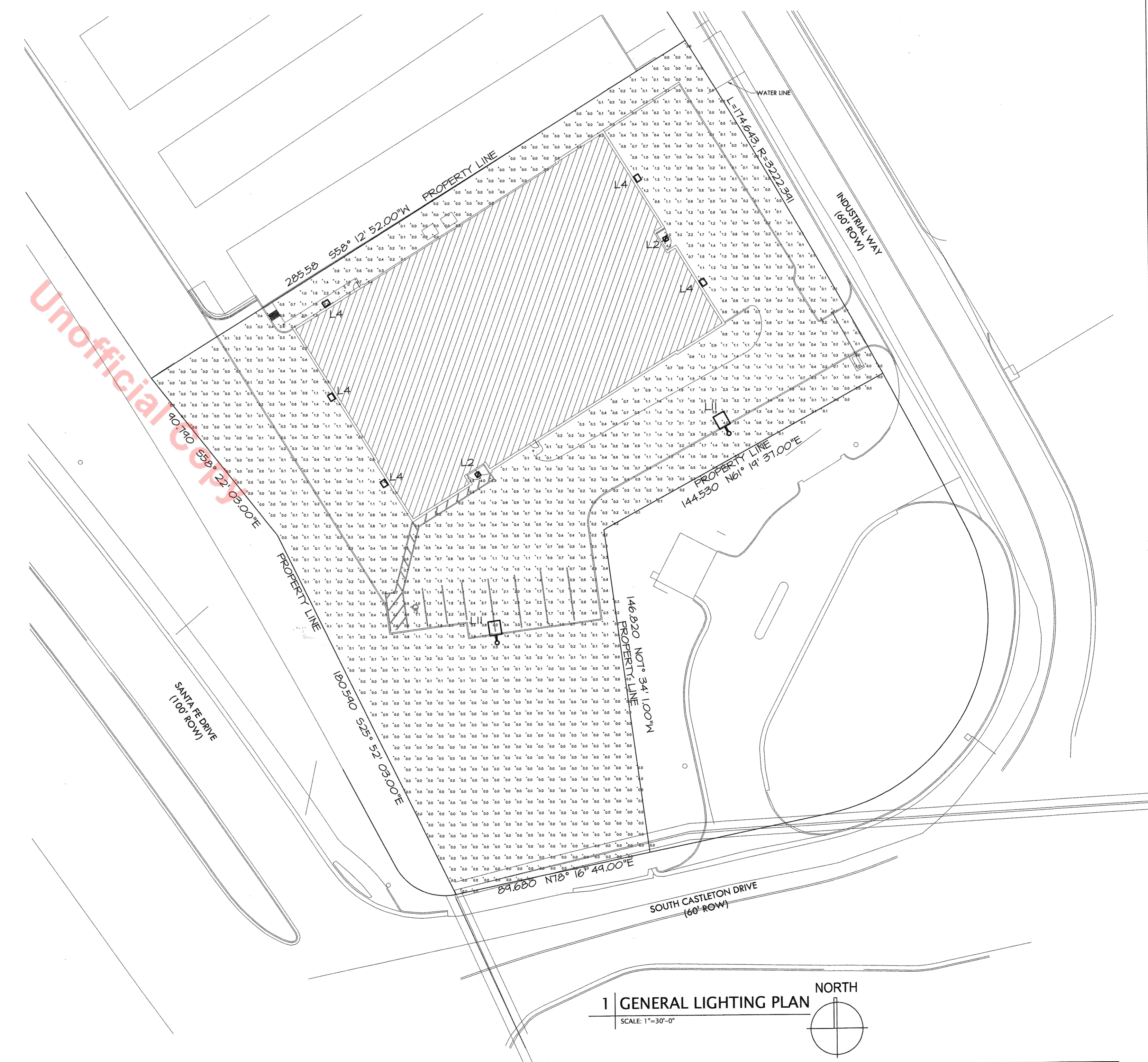
- EG TO PROVIDE POLE LIGHT FOR TOTAL ABOVE GRADE HEIGHT OF 20'-0".
- LIGHT FIXTURES ARE TO BE MOUNTED AT EITHER 12'-0" AFG OR 15'-0" AFG.

Luminaire Locations

Type	Label	X	Y	Z	HH	Orientation	Tilt	X	Y	Z
Pole	L11	36.33	-52.61	20.00	20.00	352.55	0.00	36.16	-51.33	0.00
Pole	L11	142.97	38.24	20.00	20.00	327.04	0.00	142.27	34.33	0.00
Wall	L2	24.53	20.08	10.00	10.00	54.78	0.00	24.53	20.08	0.00
Wall	L2	115.41	125.40	10.00	10.00	147.78	0.00	115.41	125.40	0.00
Wall	L4	101.84	152.20	15.00	15.00	54.95	0.00	102.25	152.48	0.00
Wall	L4	131.05	97.04	12.00	12.00	352.33	0.00	-37.58	97.53	0.00
Wall	L4	-11.11	16.48	15.00	15.00	247.40	0.00	-11.58	16.74	0.00
Wall	L4	-35.48	55.23	15.00	15.00	236.51	0.00	-35.90	55.56	0.00

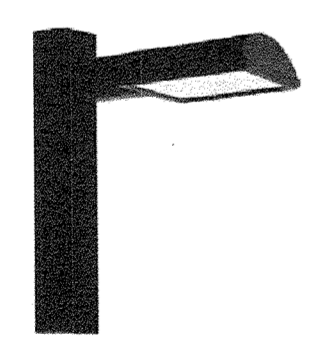
Statistics

Description	Symbol	Avg	Max	Htn	Max/Min	Avg/Min	Avg/Max
PROPERTY LINE	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A	0.1:1
WHOLE SITE	+	0.5 fc	4.2 fc	0.0 fc	N/A	N/A	0.1:1



TYPE L11

ALED3T78



RAB

Project	Type
Prepared By	Date

Driver Info

Type	Constant Current	Watt	78W
120V	0.6A	Color Temp	5000K (Cool)
240V	0.3A	Color Accuracy	67 CRI
277V	0.3A	L70 Lifetime	100,000
Input Watts	78W	L80 Lifetime	63,000
Efficiency	95%	Efficiency	84 LPW

Technical Specifications

Optical
Lumen Maintenance: 100,000-hour (L70) based on IES LM-80 results and T82.1 calculations.
Replacement: The ALED3T78 replaces 250W Metal Halide Area Lights.
IES Classification: The type III attention is due for marking, general lighting and other area lighting applications where a lesser pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.
IP Rating: Ingress Protection rating of IP65 for dust and water.
Ambient Temperature: Suitable for use in 40°C ambient temperatures.
Cold Weather Starting: The minimum starting temperature is -40°F to 40°C.
Thermal Management: Superior heat sinking with external Air-Flow Fan.
Effective Projected Area: 84" x 75"
Housing: Die-cast aluminum housing, lens frame and mounting arm.

Reflector: vacuum-metallized polycarbonate
Gasket: high-temperature silicone gaskets.
Finish: Our environmentally friendly polyester powder coating is formulated for high-contrast and long-lasting color, and contains no VOC or hex heavy metals.
Green Technology: An environmentally friendly polyester powder coating is formulated for high-contrast and long-lasting color, and contains no VOC or hex heavy metals.
For use on LEED Buildings: ICA Dark Sky Approval means that this fixture can be used in LEED buildings for Light Pollution Reduction.
LED Characteristics: 50-55 (typical) 120V, high-voltage, long-life LEDs.
Color Consistency: 3-step MacAdam Ellipse tuning to achieve consistent fixture-to-fixture color.
Color Stability: LED color temperature is warranted to shift no more than 2000K CCT over a 5-year period.
Color Uniformity: RAB's range of CCT (Correlated color temperature) allows for a wide range of color options for the University of Solid State Lighting (SSL) Products. ANSI LM-79-02.

Electrical
Driver: Constant Current, Class 2, 200mA, 100-277V, 50-60Hz, 1-1A, Power Factor 95%
THD: 0.1% @ 120V, 1.1% @ 277V
Surge Protection: 4kV
Surge Protector: ALED3T78 is compatible with 8kV surge protector (SPK) 30% available.
RESNALM-79 & RESNALM-80 Testing: ALED3T78 is certified with an independent laboratory in accordance with RESNALM-79 and RESNALM-80.
UL Listing: This product is the Design Light Consortium (DLC) Qualified Product List and is eligible for rebates from DLC Member Utilities.
Dark Sky Approved: The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.
UL Listing: Suitable for use outdoors as a downlight.

5225 Katy Freeway, Suite 350 • Houston, Texas 77007 • www.usbrite.com

SITE DEVELOPMENT PLAN

7/10/2015

Revision

Date

construction company, inc.

909 East 63rd Avenue • Denver, Colorado 80216 • 303.297.5505 • Fax: 303.297.2897 • www.dcbi.com

SITE DEVELOPMENT PLAN

EXTRA SPACE STORAGE

INDUSTRIAL WAY - CASTLE ROCK, COLORADO

Design Project No. 15-902

Drawing Title

GENERAL LIGHTING PLAN

Drawing No.

7 of 7