

PLAT IDENTIFICATION SHEET

RECEPTION #: DC01015580

DATE: 3-1-01

TIME 12:46

FEE: \$ 80 (S P)

GRANTOR: Lot 2 Ownership - GYM 2000, LLC
(OWNER/SIGNER) Lot 3 Ownership - Armark Educational Resources, Inc.

GRANTEE: Meadows Parkway Phase II
(SUBDIVISION NAME OR NAME OF PLAT) 2nd Amendment, Lots 2 + 3
Final PD Site Plan.

LEGAL: 27, 7, 67
(SECTION-TOWNSHIP-RANGE)

NEW SUBDIVISION ABBREV: _____

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

NOTES:

- LOTS 2 & 3 = 3.11 ACRES
- EXISTING TOPOGRAPHY IS AT A 2.0' CONTOUR INTERVAL. PROPOSED TOPOGRAPHY IS AT A 1.0' CONTOUR INTERVAL.
- NO 100 YEAR FLOODPLAIN EXISTS WITHIN BOUNDARIES OF SUBJECT PROPERTY PER FIRM MAP NO. 080049-0100, DATED SEPTEMBER 30, 1987.
- LOTS 2 & 3 WILL BE SERVICED BY THE CASTLETON CENTER WATER AND SANITATION DISTRICT, PER THE MEADOWS PARKWAY, PHASE II, FINAL PLAT
- PROPERTY OWNERS ARE REQUIRED TO MAINTAIN THE SLOPES WITHIN THEIR PROPERTIES ADJACENT TO MEADOWS PARKWAY TO ENSURE THE STRUCTURAL CAPABILITY OF THE ROADWAY FILL. NO BUILDING OR EARTHMOVING IS PERMITTED WITHIN 50 FEET OF TRACT "B" WITHOUT THE APPROVAL OF A FINAL PD SITE PLAN (MEADOWS PARKWAY).

INDEX OF SHEETS

SHEET NO.	TITLE
1	COVER SHEET
2	GEOMETRIC SITE PLAN
3	GRADING PLAN
4	LANDSCAPE PLAN
5	OVERALL SITE UTILITY PLAN
6	(LOT 3) CHILDREN'S WORLD BUILDING ELEVATION
7	(LOT 2) GYM 2000 BUILDING ELEVATION
8	EASEMENT PLAN

OWNER

LOT 2
GYM 2000
10730 E. BETHANY DR.
SUITE #105
AURORA, COLORADO 80014
(303) 750-4422 EXT. 203
(303) 750-4433 (FAX)

LOT 3
BART POLADSKY
8101 E. BELLEVUE AVENUE, SUITE F
DENVER, COLORADO 80237
(303) 746-7000
(303) 746-0203 (FAX)

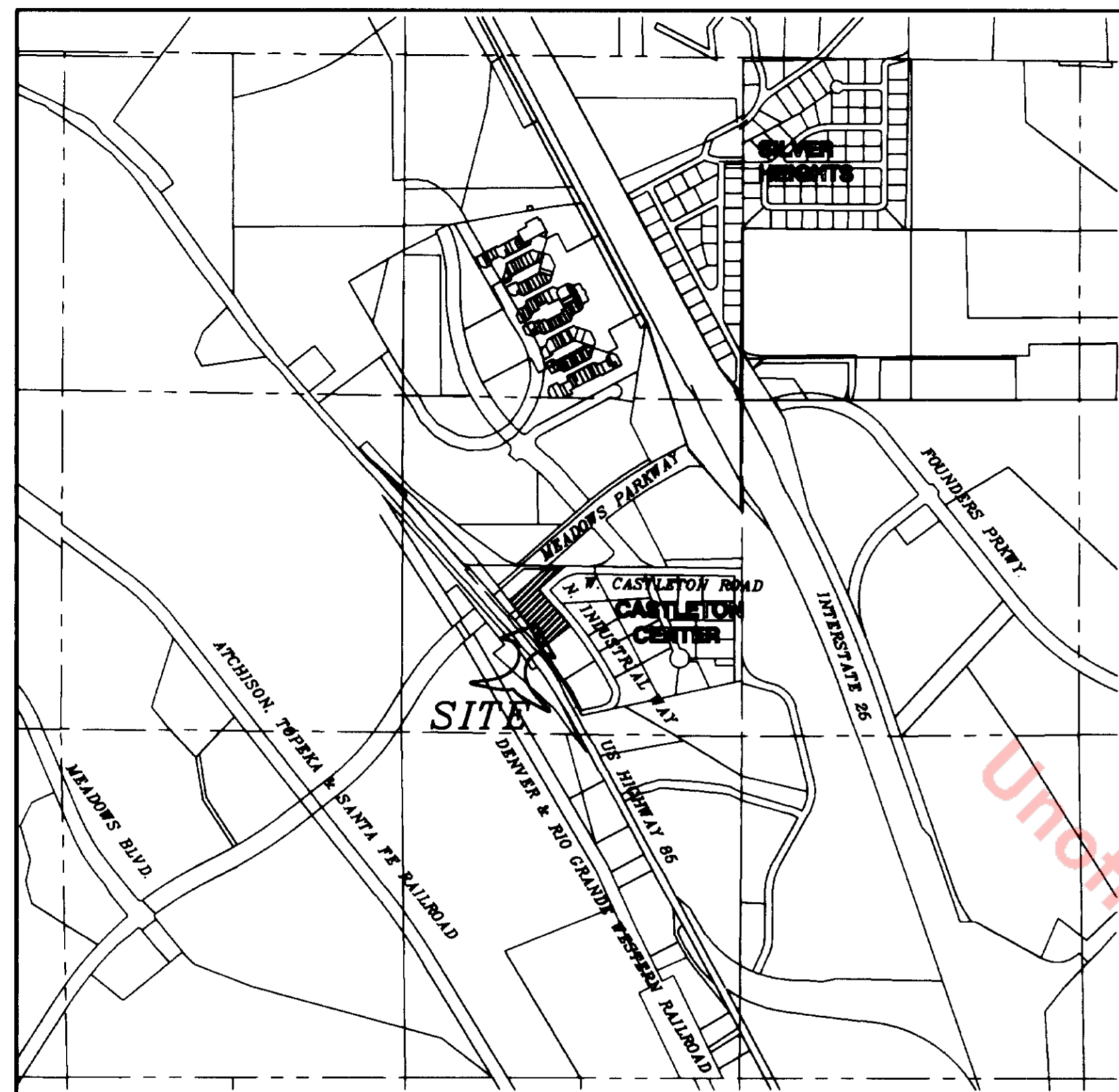
DEVELOPER

LOT 2
R. REEF COMPANIES
CONTACT: RODDY D. REEF
10730 E. BETHANY DR.
SUITE #105
AURORA, COLORADO 80014
(303) 750-4422 EXT. 203
(303) 750-4433 (FAX)

LOT 3
ARAMARK EDUCATIONAL RESOURCES
CONTACT: MICHAEL MORLOCK
573 PARK POINT DRIVE
GOLDEN, COLORADO 80401
(303) 526-3450
(303) 526-3344 (FAX)

ENGINEER/SURVEYOR

DAVID E. ARCHER & ASSOCIATES
105 WILCOX STREET
CASTLE ROCK, COLORADO 80104
(303) 688-4642
(303) 688-4675 (FAX)



VICINITY MAP

SCALE: 1"=2000'
0 2000 4000

SUMMARY TABLE

TOTAL AREA OF PROJECT = 3.11 ACRES		LOT SIZE:
LAND USE =	COMMERCIAL	AVERAGE = 1.55 ACRES
GROSS FLOOR AREA (2 BUILDINGS) =	23,450 S.F.	MINIMUM = 1.00 ACRES
LOT 2 - GYM 2000 =	14,870 S.F.	MAXIMUM = 2.11 ACRES
LOT 3 - CHILDREN'S WORLD =	8,580 S.F.	NO. OF LOTS = 2
REQUIRED PARKING (LOT 3 - CHILDREN'S WORLD)		
164 CHILDREN @ 1 SPACE/6 CHILDREN =	27 SPACES	
17 EMPLOYEE'S @ 2 SPACE/3 EMPLOYEE (MAX. SHIFT) =	12 SPACES	
	TOTAL = 39 SPACES	
PROVIDED PARKING (LOT 3 - CHILDREN'S WORLD)		
	40 SPACES	
REQUIRED PARKING (LOT 2 - GYM 2000)		
DANCE STUDIO/DRIVERS ED.		
21 STUDENTS @ 1 SPACE/2 STUDENTS =	11 SPACES	
2 EMPLOYEE'S @ 1 SPACE/EMPLOYEE =	2 SPACES	
GYMNASIUMS/DAY CARE		
50 CHILDREN @ 1 SPACE/6 CHILDREN =	9 SPACES	
6 EMPLOYEE'S @ 2 SPACE/3 EMPLOYEE (MAX. SHIFT) =	4 SPACES	
RETAIL		
5819 S.F. @ 1 SPACE/200 S.F. =	30 SPACES	
	TOTAL = 56 SPACES	
PROVIDED PARKING (GYM 2000)		
	83 SPACES	
REQUIRED LANDSCAPING (LOT 3 - CHILDREN'S WORLD)		
10% OF 43,560 S.F.	4,356 S.F.	
2 TREES/1000 S.F.	9 TREES	
4 SHRUBS/1000 S.F.	17 SHRUBS	
PROVIDED LANDSCAPING (LOT 3 - CHILDREN'S WORLD)		
INCLUDES PLAYGROUND AREA OF 13,346 S.F.	16,642 S.F.	
SOD AREA (REMAINDER RESEEDED WITH NATIVE MIX) =	1304 S.F.	
	11 TREES	
	27 SHRUBS	
REQUIRED LANDSCAPING (LOT 2 - GYM 2000)		
10% OF 91,912 S.F.	9,191 S.F.	
2 TREES/1000 S.F.	18 TREES	
4 SHRUBS/1000 S.F.	37 SHRUBS	
PROVIDED LANDSCAPING (LOT 2 - GYM 2000)		
INCLUDES PLANTED NATIVE SEED AREA OF 34,345 S.F.	16,642 S.F.	
SOD AREA (REMAINDER RESEEDED WITH NATIVE MIX) =	3202 S.F.	
	19 TREES	
	64 SHRUBS	

LOT 2 OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOTS 2 & 3, FINAL PD IN THE TOWN OF CASTLE ROCK.

Bil A. Salazar MGR
GYM 2000, L.L.C.
18002 EAST CLARKE ROAD
PARKER, COLORADO 80134

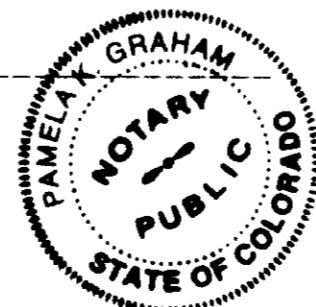
NOTARY CERTIFICATES
STATE OF COLORADO)
By: *Aracelis*) SS
COUNTY OF DOUGLAS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF December, 2000, BY Bil A. Salazar AS manager OF Gym 2000, L.L.C. (CORPORATION).

WITNESS MY HAND AND OFFICIAL SEAL THIS 1st DAY OF December, 2000.

MY COMMISSION EXPIRES 6-1-2002

Pamela X Graham
NOTARY PUBLIC



PROPERTY DESCRIPTION

PROPERTY DESCRIPTION:
A TRACT OF LAND BEING A PORTION OF "MEADOWS PARKWAY PHASE II" (RECEPTION NUMBER 8122231) SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST WESTERLY CORNER OF TRACT F;
THENCE N 48°54'06"E A DISTANCE OF 180.00 FEET;
THENCE N 48°02'43"E A DISTANCE OF 222.74 FEET;
THENCE S 88°56'45"E A DISTANCE OF 135.12 FEET;
THENCE S 49°05'55"W A DISTANCE OF 270.43 FEET;
THENCE S 40°05'04"E A DISTANCE OF 196.23 FEET TO A POINT OF CURVE;
THENCE SOUTHEASTERLY ALONG THE ARC OF A CURVE TO THE RIGHT A DISTANCE OF 180.62 FEET, SAID CURVE HAS A RADIUS OF 325.00 FEET AND A CENTRAL ANGLE OF 0°31'3"08";
THENCE S 52°19'04"W A DISTANCE OF 279.33 FEET;
THENCE N 33°35'11"W A DISTANCE OF 16.2 FEET;
THENCE N 31°04'21"W A DISTANCE OF 214.03 FEET;
THENCE N 37°04'43"W A DISTANCE OF 236.24 FEET TO THE POINT OF BEGINNING;
CONTAINING 3.11 ACRES, MORE OR LESS.
THIS PROPERTY DESCRIPTION WAS PREPARED UNDER THE DIRECT SUPERVISION OF DAVID E. ARCHER (P.L.S. 6435), 105 WILCOX STREET, CASTLE ROCK, CO 80104.

TITLE CERTIFICATION:

I, Greg Enelding, AN AUTHORIZED REPRESENTATIVE OF EMPIRE TITLE AND ESCROW CORPORATION, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 12th DAY OF DECEMBER, 2000.

Greg Enelding
AUTHORIZED REPRESENTATIVE

EMPIRE TITLE AND ESCROW CORPORATION

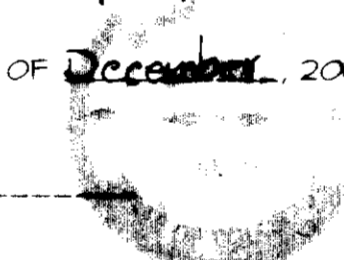
NOTARY CERTIFICATES
STATE OF COLORADO)
COUNTY OF DOUGLAS) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF December, 2000, BY Greg Enelding AS authorized representative OF EMPIRE TITLE AND ESCROW CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS 12th DAY OF December, 2000.

MY COMMISSION EXPIRES 9-15-01

Don Jallen
NOTARY PUBLIC



LOT 3 OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOTS 2 & 3, FINAL PD IN THE TOWN OF CASTLE ROCK.

JOHN ROSEN, EXECUTIVE VICE PRESIDENT
ARAMARK EDUCATIONAL RESOURCES, INCORPORATED, A DELAWARE CORPORATION
573 PARK POINT DRIVE
GOLDEN, COLORADO 80401

NOTARY CERTIFICATES
STATE OF COLORADO)
COUNTY OF DOUGLAS) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27 DAY OF November, 2000, BY John Rosen AS Exec. V.P. OF Aramark Educational Resources (CORPORATION).

WITNESS MY HAND AND OFFICIAL SEAL THIS 27 DAY OF November, 2000.

MY COMMISSION EXPIRES 8-5-03

Melodie L. Fisher
NOTARY PUBLIC



LOT 2 LIENHOLDER SUBORDINATION CERTIFICATE:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOT 3 FINAL PD IN THE TOWN OF CASTLE ROCK.

Stanley D. Puse VP
STANLEY DEPUTY VICE PRESIDENT
WELLS FARGO BANK WEST, N.A.
1450 SOUTH HAWANA STREET
AURORA, COLORADO 80012

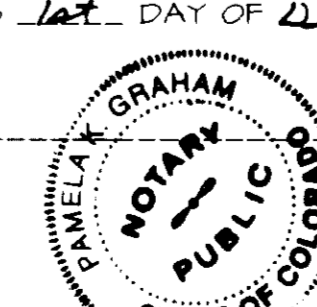
NOTARY CERTIFICATES
STATE OF COLORADO)
COUNTY OF DOUGLAS) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF December, 2000, BY Stanley Puse AS Vice President OF Wells Fargo Bank West (CORPORATION).

WITNESS MY HAND AND OFFICIAL SEAL THIS 1st DAY OF December, 2000.

MY COMMISSION EXPIRES 6-1-2002

Pamela X Graham
NOTARY PUBLIC



TOWN CERTIFICATION

A. PLANNING COMMISSION RECOMMENDATION

THE FINAL PD SITE PLAN FOR THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOTS 2 & 3 WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 28th DAY OF August, 2000.

William 2/16/2000
CHAIRMAN DATE

ATTEST:
Paula 2/15/01
PLANNING DIRECTOR DATE

B. TOWN COUNCIL APPROVAL

THE FINAL PD SITE PLAN FOR THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOTS 2 & 3 WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 14th DAY OF September, 2000.

Paula 2/26/01
MAYOR DATE

ATTEST:
Jally Man 2/26/01
TOWN CLERK DATE

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:46 P.M. ON THE 27 DAY OF MARCH, 2000, IN BOOK N/A, PAGE N/A, MAP N/A, RECEPTION NO. 01015580

DOUGLAS COUNTY CLERK AND RECORDER

By: *Sheryl Muehlfelt*
DEPUTY



SURVEYOR'S CERTIFICATE

I, DAVID E. ARCHER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE MEADOWS PARKWAY PHASE II, 2ND AMENDMENT, LOTS 2 & 3, FINAL PD SITE PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

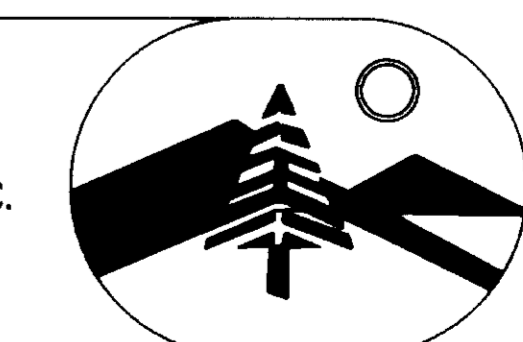
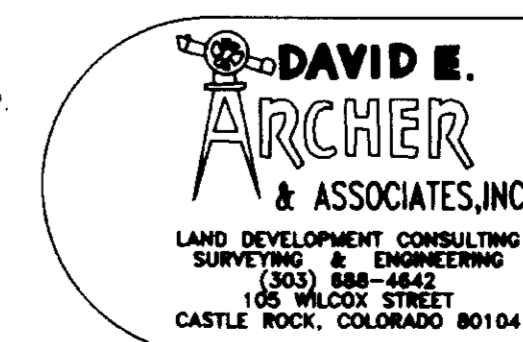
David E. Archer
6435
REGISTERED LAND SURVEYOR

CASTLETON CENTER WATER AND SANITATION DISTRICT

THIS FINAL PD SITE PLAN FOR MEADOWS PARKWAY, PHASE II, 2ND AMENDMENT, LOTS 2 & 3 WAS APPROVED BY THE CASTLETON CENTER WATER AND SANITATION DISTRICT ON THE 4th DAY OF DEC, 2000.

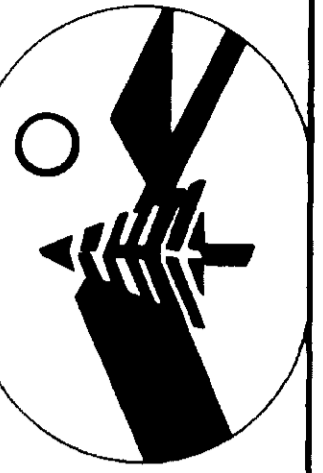
By: *William* 4/12/00
DATE

**MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3
FINAL PD SITE PLAN**



REVISIONS
PER TOWN COMMENTS 3/20/00
PER TOWN COMMENTS 04/05/00
PER PLANNING COMMISSION COMMENTS 2/24/00

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
SURVEYING & ENGINEERING
PHONE (303) 888-4642
105 W. COL. ST. CASTLE ROCK, COLORADO 80104

GENERAL NOTES

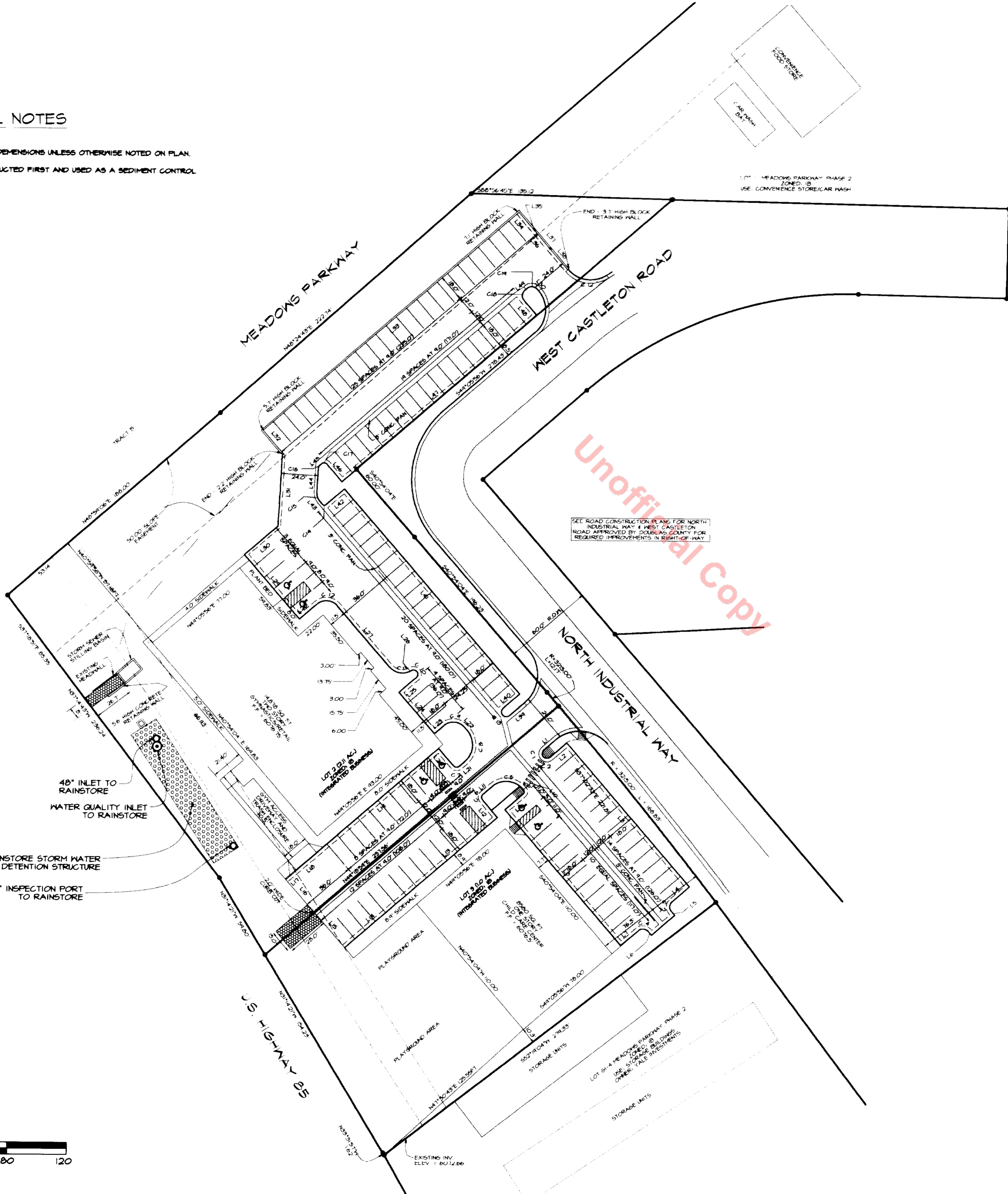
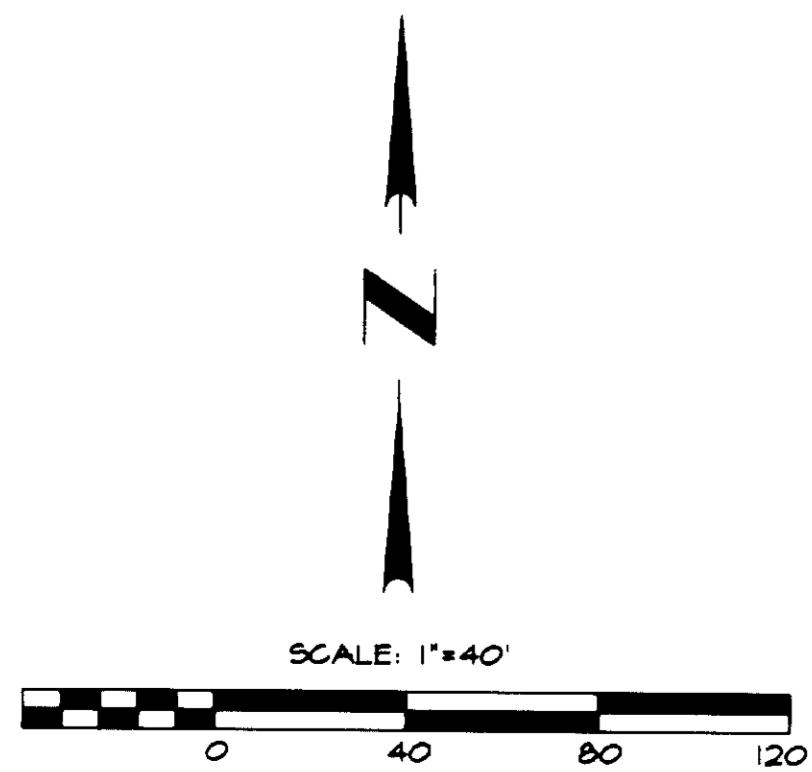
- ALL DIMENSIONS ARE FLOWLINE DIMENSIONS UNLESS OTHERWISE NOTED ON PLAN.
- DETENTION AREA TO BE CONSTRUCTED FIRST AND USED AS A SEDIMENT CONTROL BASIN DURING CONSTRUCTION.

CURB FLOWLINE TABLE

LINE	BEARING	DISTANCE	LINE	RADIUS	DELTA	ARC
L1	S49°35'51"W	10.52	C1	3.50	90°30'01"	5.53
L2	N48°05'56"E	14.50	C2	3.50	90°00'00"	5.50
L3	S40°54'04"E	126.00	C3	5.00	90°00'00"	7.85
L4	S49°05'56"W	15.00	C4	5.00	90°00'00"	7.85
L5	S40°54'04"E	3.00	C5	2.00	90°00'00"	3.14
L6	N40°54'04"W	3.00	C6	3.00	90°00'02"	4.71
L7	S49°05'56"W	15.00	C7	3.00	90°00'00"	4.71
L8	N40°54'04"W	119.00	C8	15.00	90°00'00"	23.56
L9	N49°05'56"E	16.00	C9	0.00	90°00'00"	15.71
L10	N40°54'04"W	0.81	C10	3.00	80°00'00"	9.42
L11	S49°05'56"W	17.73	C11	8.00	90°00'00"	12.57
L12	S40°54'04"E	15.00	C12	0.00	90°00'00"	15.71
L13	S49°05'56"W	80.00	C13	3.50	80°00'00"	11.00
L14	S49°05'56"W	54.00	C14	3.00	90°00'00"	4.71
L15	N41°22'43"W	30.00	C15	5.00	13°55'58"	3.83
L16	N41°22'43"W	30.00	C16	3.00	46°04'02"	2.4
L17	N49°05'56"E	4.50	C17	1.00	90°00'00"	4.71
L18	N49°05'56"E	18.00	C18	5.00	84°58'58"	7.85
L19	N49°05'56"E	07.00	C19	5.00	90°00'02"	7.85
L20	S40°54'04"E	5.00				
L21	N49°05'56"E	4.71				
L22	N40°54'04"W	2.82				
L23	S49°05'56"W	8.00				
L24	N40°54'04"W	36.00				
L25	N49°05'56"E	15.00				
L26	S49°05'56"W	0.11				
L27	N40°54'04"W	51.00				
L28	S49°05'56"W	15.00				
L29	N40°54'04"W	56.01				
L30	N49°05'56"E	29.21				
L31	N03°01'52"E	49.15				
L32	N40°54'04"W	20.00				
L33	N49°05'56"E	225.00				
L34	S40°54'04"E	15.64				
L35	N40°54'04"W	1.00				
L36	S40°54'04"E	15.00				
L37	S40°54'04"E	1.00				
L38	N40°54'04"W	11.87				
L39	N49°03'31"E	13.17				
L40	S49°03'31"E	14.51				
L41	S40°54'13"E	79.94				
L42	N49°05'56"E	15.00				
L43	S40°54'04"E	3.16				
L44	S03°01'54"W	11.62				
L45	S49°05'56"W	1.54				
L46	N40°54'04"W	15.00				
L47	S49°05'56"W	17.00				
L48	S40°54'04"E	13.00				
L49	S49°05'54"W	2.00				
L50	N40°54'04"W	1.50				

LEGEND

- 60°0' — = BOUNDARY LINE
- 60°0' — = EXISTING CONTOUR
- 60°0' — = EXISTING CONTOUR INDEX
- 60°0' — = PROPOSED CONTOUR
- 60°0' — = PROPOSED CONTOUR INDEX
- EX - G — = EXISTING GAS LINE
- EX - S — = EXISTING SANITARY SEWER LINE
- EX - ST — = EXISTING STORM SEWER LINE
- EX - S* — = EXISTING STORM SEWER AND MANHOLE LINE
- EX - S — O — = EXISTING SANITARY SEWER AND MANHOLE LINE
- EX - W — = EXISTING WATER LINE
- EX - W* — = EXISTING UNDERGROUND TELEPHONE LINE
- 1 — = FLOWLINE
- = PROPOSED SPILL CURB & GUTTER
- = PROPOSED CATCH CURB & GUTTER
- = EXISTING CURB & GUTTER
- //// = ASPHALT PAVEMENT TO BE REMOVED
- = EXISTING ASPHALT TO REMAIN
- = PROPOSED ASPHALT PAVEMENT (UNDER SEPARATE CONTRACT)
- = PROPOSED RIPRAP
- = VEHICLE TRACKING CONTROL
- = RAINSTORE DETENTION STRUCTURE
- ◇ = PROPOSED WATER METER
- ⊕ = FIRE HYDRANT
- ⊙ = TELEPHONE MANHOLE
- ♿ = HANDICAP PARKING
- = FLOW DIRECTION
- = EXISTING WATER VALVE
- 6400.00 = TOP OF CONCRETE WALL ELEVATION
- 6400.00 = FLOWLINE ELEVATION
- 6400.00 = FINAL GRADE ELEVATION

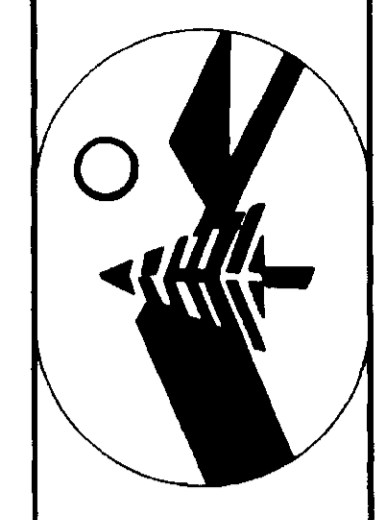


GEOMETRIC SITE PLAN
 MEADOWS PARKWAY PHASE II, 2nd AMENDMENT - LOTS 2 & 3
 FINAL PD SITE PLAN

SCALE	1"=40'
DATE	9-30-99
DRN	PBS
APP'D	KEA
JOB NUMBER	196-1107
SHEET	2 of 8

Wed Feb 14 08:22:18 2001
 G:\1196\1107\FINAL PD\FD FINAL REV.DWG

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

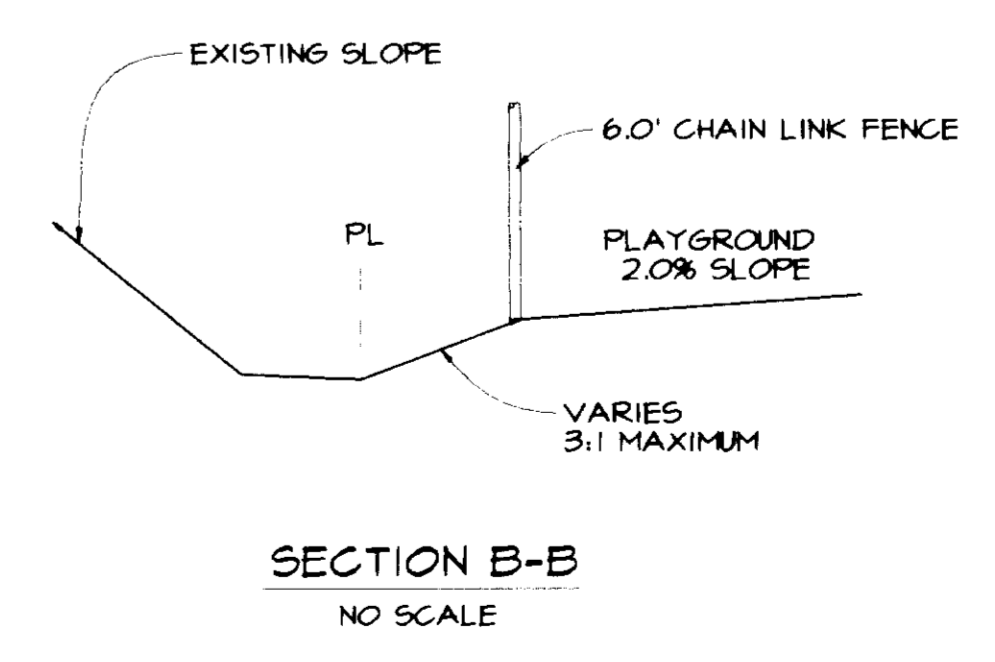
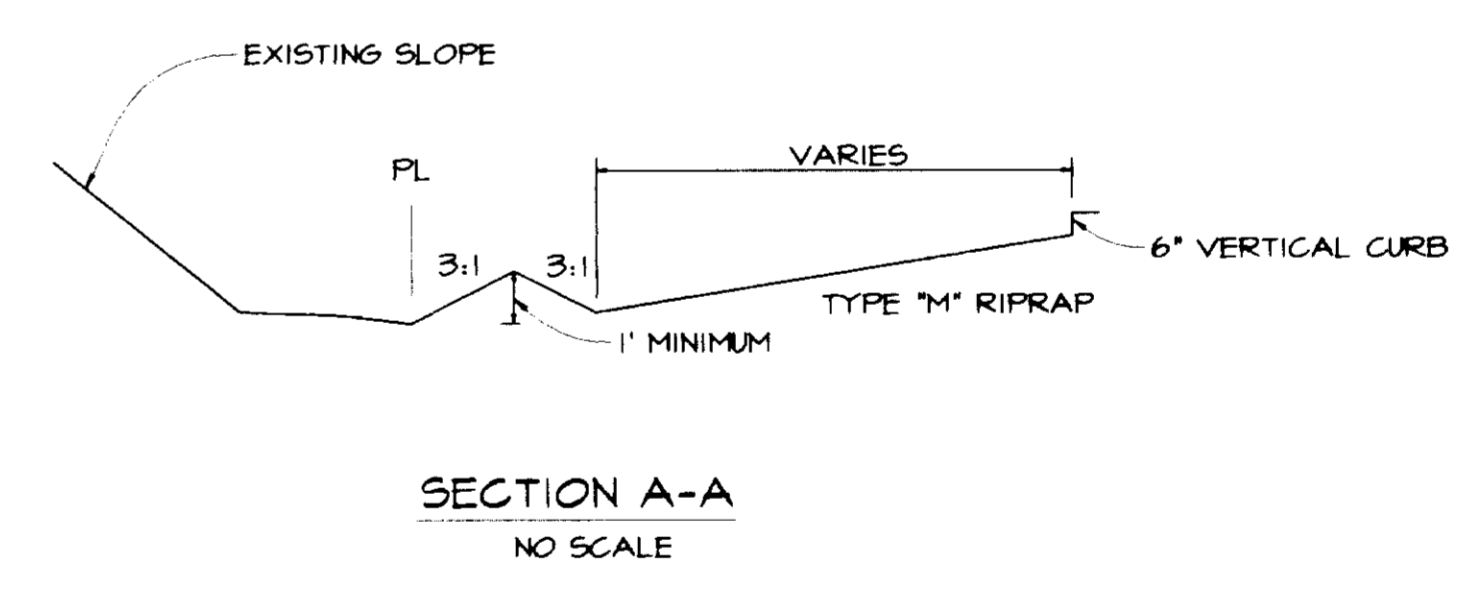
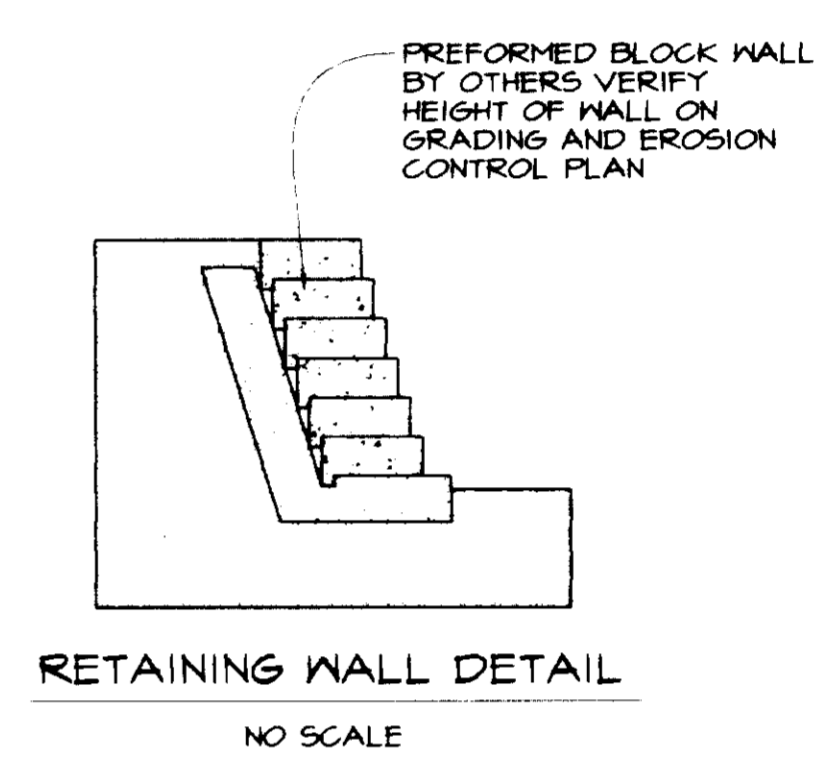
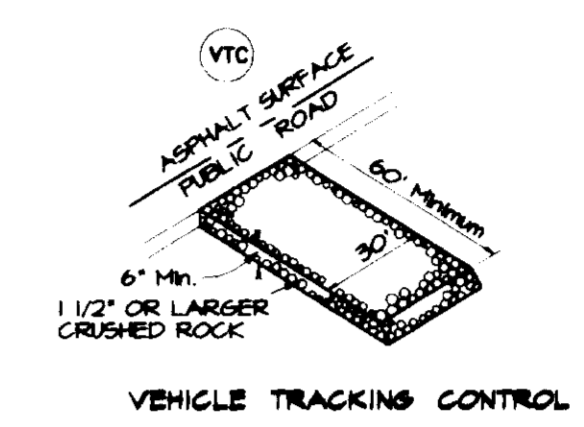
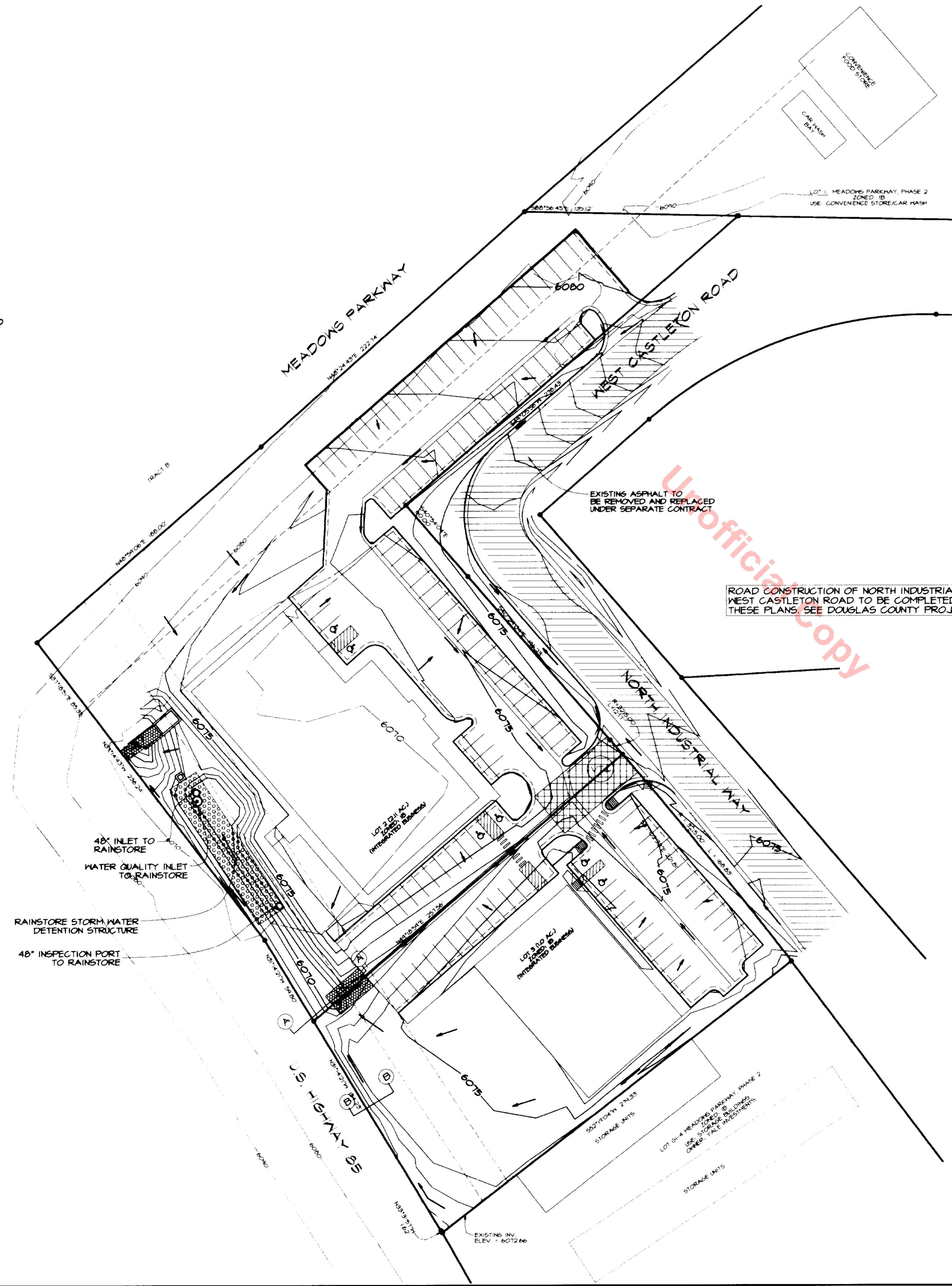
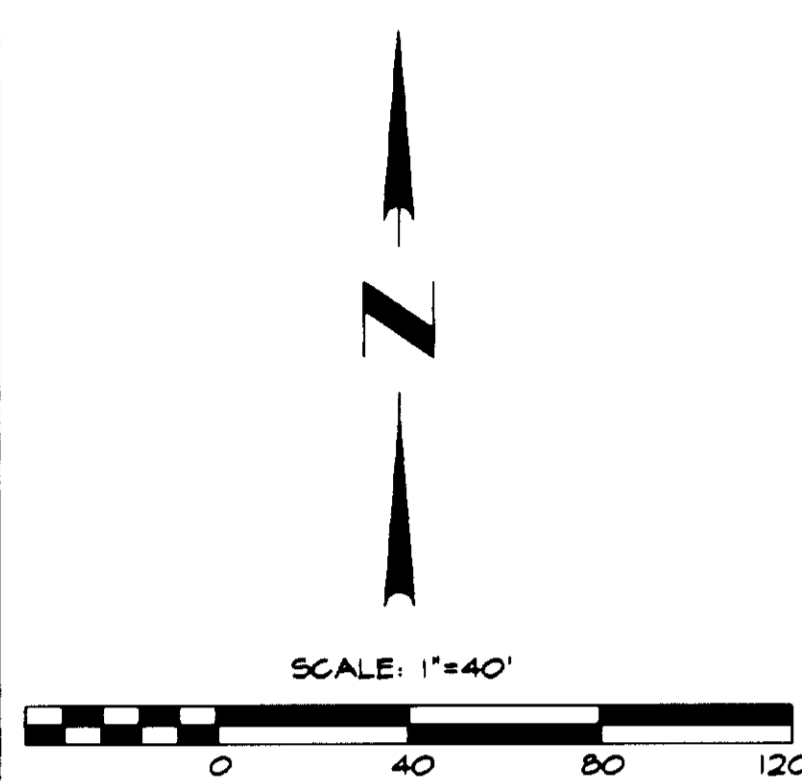


DAVID E. ARCHER & ASSOCIATES, INC.
LAND DEVELOPMENT CONSULTING
105 WILCOX ST., CASTLE ROCK, COLORADO 80104
PHONE (303) 488-4842

REVISOR: PER TOWN COMMENTS (3/28/00)
PER TOWN COMMENTS (5/24/00)
PER PLANNING COMMISSION COMMENTS (2/24/00)
REVISED PER TOWN COMMENTS (2/27/00)

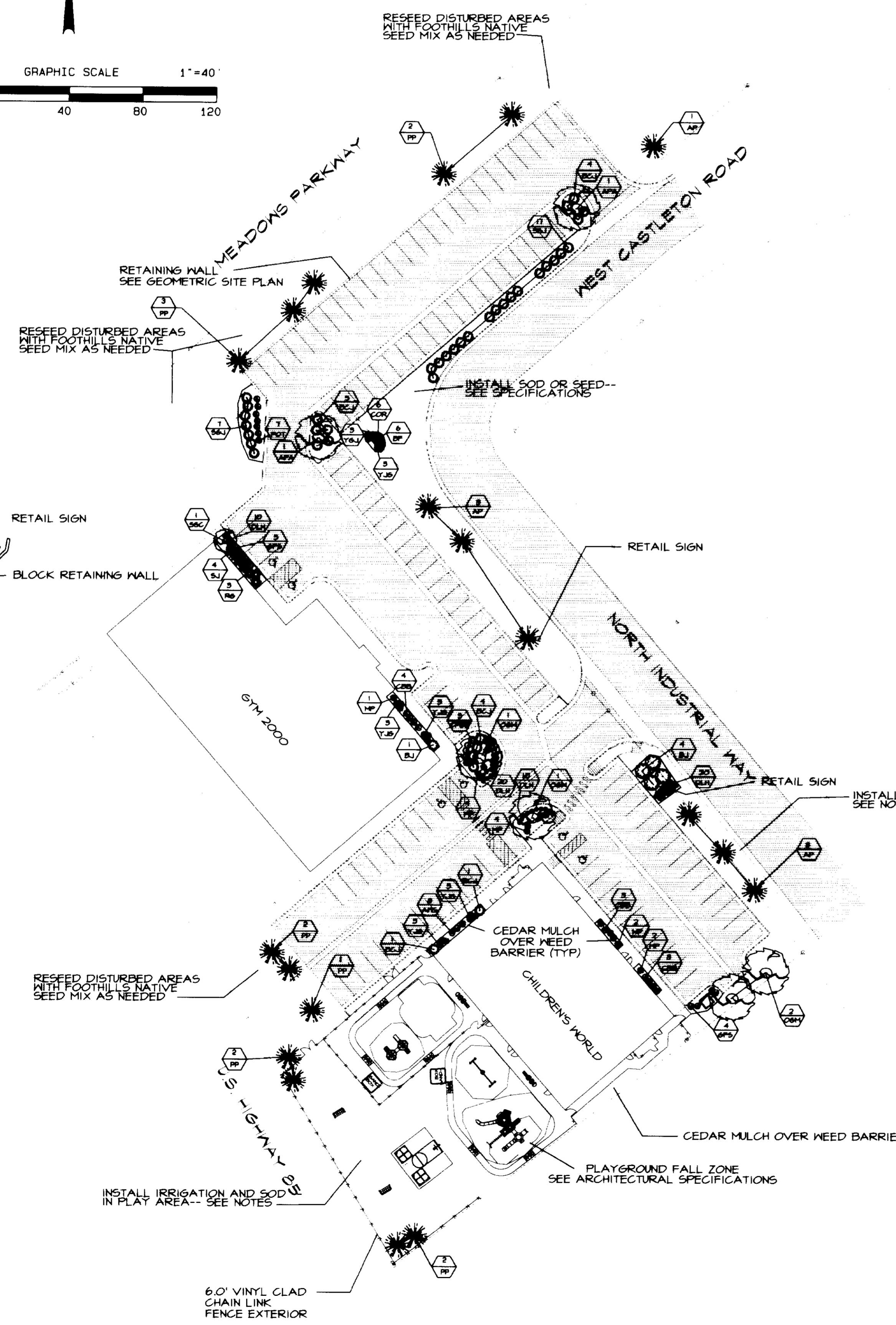
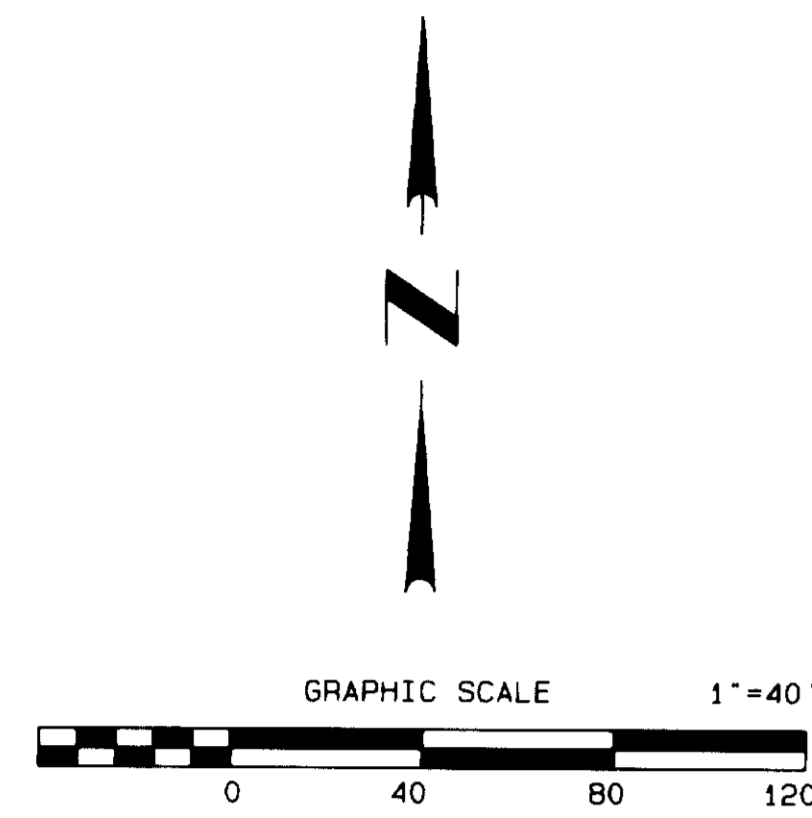
GRADING PLAN
MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3
FINAL PD SITE PLAN

SCALE	1"=40'
DATE	9-30-99
DRN	PBS
APP'D	KEA
JOB NUMBER	196-1107
SHEET	3 of 8



Wed Feb 14 08:41:08 2001
G:\196p16-1107\FINAL PD\FPD FINAL REV.PDS

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



SEED AND MULCH SPECIFICATIONS FOR SANDY AND SANDY LOAM SOILS

SEEDBED PREPARATION: THE SEEDBED SHALL BE FRIABLE ENOUGH TO ALLOW PLACEMENT OF SEED AT THE PROPER DEPTH. SOILS THAT HAVE BEEN OVER-COMPACTED BY TRAFFIC OR HEAVY EQUIPMENT SHALL BE RIPPED OR TILLED TO BREAK UP RESTRICTIVE LAYERS AND THEN NARROWED OR ROLLED TO FIRM THE SEEDBED. THE PREPARED SURFACE SHALL BE RELATIVELY FREE FROM WEEDS, CLODS, STONES, ROOTS, STICKS, RIVULETS AND GULLIES.

SANDY & SANDY LOAM SOILS, GRASS SEED MIXTURE. ALL DISTURBED LANDS SHALL USE THE FOLLOWING DRY LAND GRASS MIXTURE WITH SEED BEING PLANTED AT A DEPTH OF 1/2 TO 1 INCH.

SPECIES	VARIETY	PERCENT MIX
SMOOTH BROME	LINCOLN OR MANCHAR	20
SWITCHGRASS	GREENVILLE	20
PUBESCENT WHEATGRASS	PASTURA	15
PRAIRE SANDREED	GODDEN	20
BLUE GRAMA	LOVINGTON	20

PLS = PURE LIVE SEED

DRILLED RATES ARE FOR SLOPES 4:1 OR LESS AND FAVORABLE TOPSOIL. BROADCAST RATES OF SEED ON 4:1 OR LESS SLOPES SHALL BE DOUBLE THE DRILLED RATES. FOR SLOPES GREATER THAN 4:1, BROADCAST RATES SHALL BE FOUR TIMES THE DRILLED RATES. IF THE MIXTURE IS TO BE BROADCASTED THE SOIL MUST BE RAKED TO COVER THE SEED AFTER PLANTING OCCURS.

PLANTING OF SEED BY A DRILL SHALL BE COMPLETED ALONG (NOT DOWN) THE CONTOURS OF A HILL. LIKEWISE WHEN SEED IS APPLIED BY BROADCASTING THE SOIL SHALL BE RAKED ALONG THE CONTOURS OF THE HILL. ONLY IF IRRIGATION PROVIDED FOR AT THE TIME OF GROWING SEASON SHALL PLANTING BY HYDROSEEDING BE ACCEPTED.

SEED LABELING, QUALITY AND TESTING SHALL BE IN ACCORDANCE WITH COLORADO DEPARTMENT OF AGRICULTURE SEED LAWS, CHAPTER 35, ARTICLE 21. THE SEED SHALL BE NO MORE THAN SIX MONTHS OLD, CONTAIN NO MORE THAN 0.1% WEED SEEDS AND BE FREE FROM NOXIOUS WEEDS. SEED TAGS SHALL BE ATTACHED TO SEED BAGS AT THE TIME OF DELIVERY TO THE SITE FOR VERIFICATION AND DOCUMENTATION.

MULCH: TO INCREASE EROSION PROTECTION AND ENHANCE GERMINATION RATES, ALL PLANTED LANDS WILL BE MULCHED. AS A MINIMUM, FOR SLOPES GREATER THAN 10:1, MULCH SHALL BE APPLIED ON LANDS WHERE SEED HAS BEEN PLANTED. THE FOLLOWING DATES ARE TO BE USED FOR ACCEPTABLE MULCHING TECHNIQUES:

NOV 16 - APR 15: HAY OR STRAW MULCH APPLIED AT 2 TONS/ACRE AND HELD IN PLACE BY CRIMPING OR USING A TACKIFIER, OR HYDRAULIC MULCH APPLIED AT 1.5 TONS/ACRE.

APR 16 - NOV 15: HAY OR STRAW MULCH APPLIED AT 2 TONS/ACRE AND HELD IN PLACE BY CRIMPING OR USING A TACKIFIER. THE HAY OR STRAW MULCH SHALL BE FREE OF NOXIOUS WEEDS WITH AT LEAST 30% OF THE FIBER BEING 10 INCHES OR MORE IN LENGTH.

LANDSCAPE NOTES:

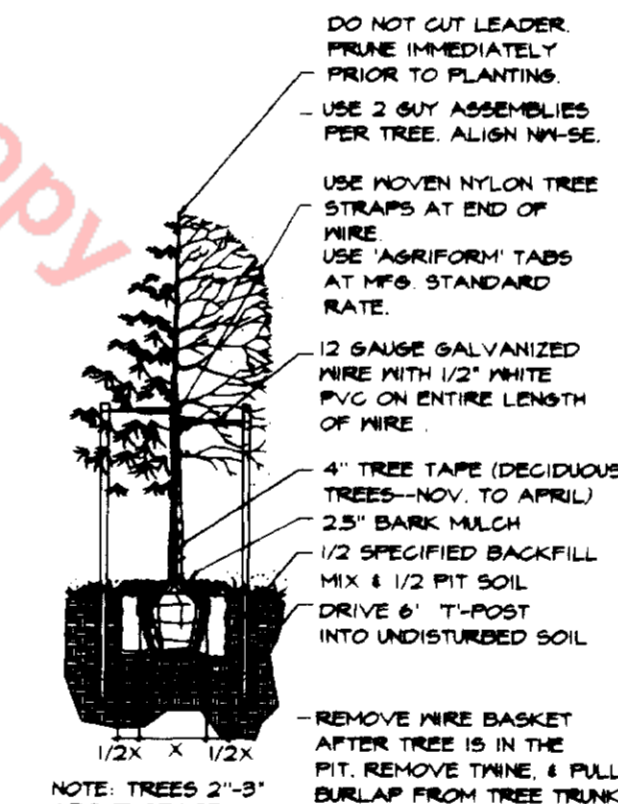
THIS PROJECT INCLUDES TWO SITES WITH SEPARATE BUILDINGS AND LANDSCAPE PROJECTS. THE LANDSCAPING IS DESIGNED TO COMPLEMENT THE STRUCTURES AND PROVIDE LANDSCAPING AGAINST THE ADJACENT STREETS. TO CONSERVE WATER, THE PROPOSED TREES AND SHRUBS ARE HARDY TO THIS AREA. BLUEGRASS SOD IS PROPOSED IN THE PLAYGROUND AREA WHICH IS NEEDED TO WITHSTAND THE HEAVY FOOT TRAFFIC. THE SOD ALONG THE STREET SHOULD BE OF A DROUGHT-TOLERANT MIX OF FINE FESCUE, RYE, AND LOW BLUEGRASS OR A MIXTURE OF THREE IMPROVED VARIETIES OF FESCUE. ALL TREES SHOULD BE A MINIMUM OF FIVE FEET FROM ANY BURIED UTILITIES AND AT LEAST 42 INCHES FROM ANY CURB. ALL PLANTING BEDS ADJACENT TO THE BUILDINGS ARE TO BE COVERED WITH 3 INCHES OF SHREDDED CEDAR MULCH OVER TYPAR WEED BARRIER. ALL OTHER BEDS ARE TO BE 3 INCHES OF ROCK MULCH, 1-1/2" ROUNDED RIVER ROCK OVER TYPAR WEED BARRIER.

LANDSCAPE IRRIGATION WILL BE DONE WITH DRIP AND SPRINKLER SYSTEMS.

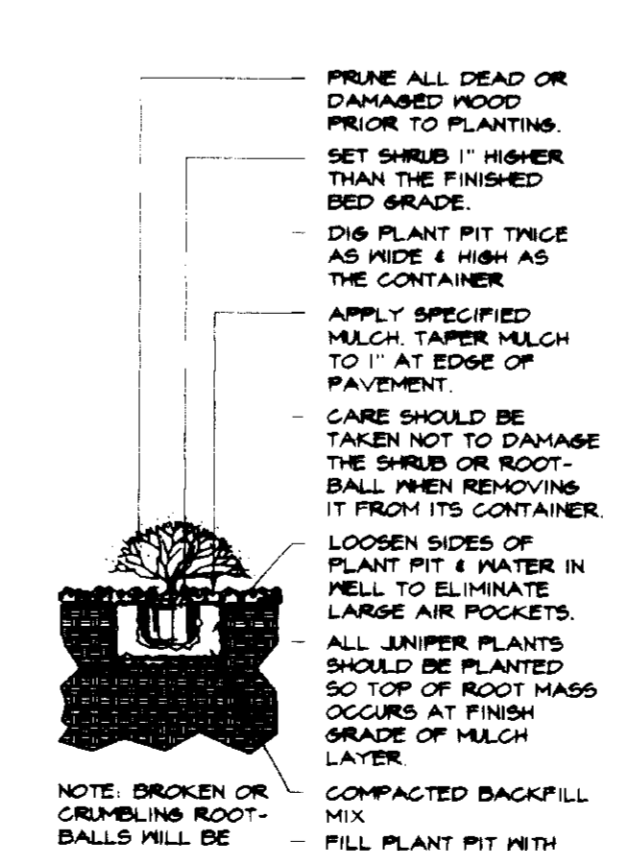
CONSTRUCTION NOTES:

- CONTRACTOR SHALL MAKE A VISIT TO THE SITE AND TAKE ALL MEASUREMENTS AND OBTAIN ANY OTHER INFORMATION AS NECESSARY FOR A COMPLETE AND CONCLUSIVE BID.
- CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION. CALL 1-800-422-1987 TWO BUSINESS DAYS IN ADVANCE BEFORE DIGGING, GRADING OR EXCAVATING.
- ROTOTILL SOIL TO A DEPTH OF 6"-8". WORKING IN PREMIUM 3 BY A-1 ORGANICS OR APPROVED EQUAL MIX IS TO BE AT LEAST 50% ORGANIC MATTER, A MIX OF COMPOST AND COW MANURE AT A RATE OF 4 CUBIC YARDS PER 1000 SQ. FT. (1-INCH DEEP), 6 TO 8 CUBIC YARDS PER 1000 SQ. FT. IN PERENNIAL BEDS. CONTRACTOR IS RESPONSIBLE TO REGRADE THE SITE AS PER THE DEVELOPER'S ORIGINAL GRADING PLAN.
- IRRIGATION PLANS TO BE DESIGNED BY THE CONTRACTOR. AUTOMATIC SPRINKLER SYSTEM MUST BE INSTALLED. INSTALL A DRIP SYSTEM TO ALL SHRUB BEDS. MINIMUM OF ONE EMITTERS PER SHRUB OR 1 GALLON PLANT, 3 EMITTERS PER TREE, OR PER MANUFACTURER'S SPECIFICATIONS. SPRINKLER SYSTEM TO BE GUARANTEED FOR ONE YEAR.
- ALL STEEL EDGING TO BE 10 GAGE GALVANIZED STEEL WITH PLASTIC CAPPING, WITH 3 PINS PER 10 FOOT SECTION. NO EDGING IS ALLOWED IN THE PLAYGROUND AREA.
- MULCH TO BE 3" WOOD OR ROCK MULCH OVER FABRIC WEED BARRIER, AS PER OWNER'S REQUEST OR AS NOTED ON THE DRAWINGS. DO NOT INSTALL WEED BARRIER ON PERENNIAL OR GROUND COVER AREAS.
- PLANT TREES AS PER COLORADO NURSERYMEN'S ASSOCIATION RECOMMENDATIONS. REMOVE WIRE BASKETS FROM TOP 2/3 OF PLANT BALL. CONTRACTOR MUST CUT AND REMOVE ALL TWINE FROM TRUNKS OF TREES. BACKFILL AROUND ROOT BALL WITH 1/3 PLANTER'S MIX (2/3 MOIST PEAT MOSS, MANURE MIX) AND 2/3 OF EXISTING SOIL. DOUBLE STAKE TREES WITH 6-FOOT LODGEPOLE POSTS OR STEEL T-SHADES. ATTACH TO TREE WITH 12 GAGE WIRE AND 12" NOVEN TREE STRIPS BY FORESIGHT INDUSTRIES. ALL TREES AND SHRUBS TO BE GUARANTEED FOR ONE YEAR. REMOVE STAKING AFTER ONE YEAR.
- QUANTITIES SHOWN FOR GROUND COVERS AND PERENNIALS ARE ESTIMATED AT 18"-24" SPACING UNLESS OTHERWISE NOTED. SPACING MAY VARY DEPENDING ON PLANT TYPE, SIZE AND THE SPEED OF DESIRED COVERAGE. PLANT ONE GALLON ON 18"-24" CENTERS, 6"-12" FOR 2"-1/4" OR 4" POTS.
- SOD TO BE A BLUEGRASS BLEND, OF GOOD QUALITY AND FREE FROM WEEDS. REMOVE ALL MATERIALS 1" SHD OVER FROM SOD BED BEFORE LAYING SOD. SOD TO BE GUARANTEED FOR ONE YEAR.
- BACKFLOW INTERCEPTORS ARE REQUIRED WHEN LANDSCAPING IS INSTALLED. BACKFLOW INTERCEPTORS SHALL MEET CASTLETON WATER AND SANITATION DISTRICT SPECIFICATIONS.

Unofficial Copy



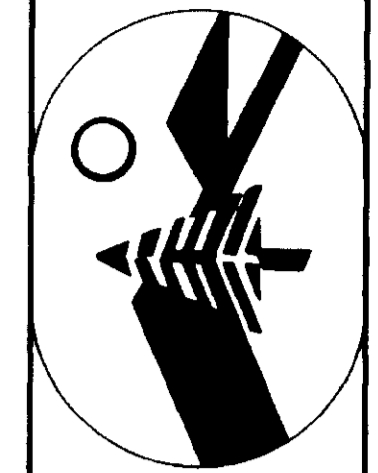
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	NOTES
TREES				
DECIDUOUS TREES				
APA	2	FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2' DBH
AP	7	ABUTRIAN PINE	PINE NIGRA	6 FT. BB*
OSM	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	2' BB*
PP	12	PINUS PONDEROSA	PONDEROSA PINE	6 FT. BB*
SL	4	JUNIPERUS CHINENSIS 'SPEARMINT'	SPEARMINT JUNIPER	6 FT. BB*
SSC	1	MALUS X SPRINGS SNOW	SPRINGS SNOW CRABAPPLE	2' DBH*
TOTAL	30			
SHRUBS				
AWS	3	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#5 CONT.
BCJ	15	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT.
BU	5	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT.
GBB	10	BUONNYMUS ALATUS 'COMPACTA'	COMPACT BURNING BUSH	#5 CONT.
GPBB	5	BARBERIS THUNBERGII VAR. ATROPURPUREA	CRIMSON PYGMY BARBERRY	#5 CONT.
SFS	4	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIREA	#5 CONT.
SP	18	PINES 'MASHO MASHO'	MASHO PINE	18-24" CONT.
POT	7	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA	#5 CONT.
SSJ	7	JUNIPERUS X MEDIA 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.
SSJ	17	JUNIPERUS HORIZONTALIS 'SIERRA SPREADER'	SIERRA SPREADER JUNIPER	#5 CONT.
TOTAL	41			
PERENNIALS AND GRASSES				
DF	6	GALLIARDIA 'DAZZLER'	BLANKET FLOWER 'DAZZLER'	#1 CONT.
COR	6	COREOPSIS GRANDIFLORA 'EARLY SUNRISE'	COREOPSIS 'EARLY SUNRISE'	#1 CONT.
DLH	60	HEBERGALLIS SF	DAILY WYPERION OR OTHER	#1 CONT.
RNS	3	ERIANthus RAVENNIAE	HARDY PLUME GRASS	#5 CONT.
YJG	18	MISCANTHUS SINENSIS 'YAKI JIMA'	YAKI JIMA GRASS	#5 CONT.
TOTAL	43			

* BALLED AND BURLAPPED, GUY AND STAKE.



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LANDSCAPE ARCHITECTURE, ENGINEERING & PLANNING
105 W. COLBY ST., CASTLE ROCK, COLORADO 80104
PHONE (303) 688-4842
FAX (303) 688-4842

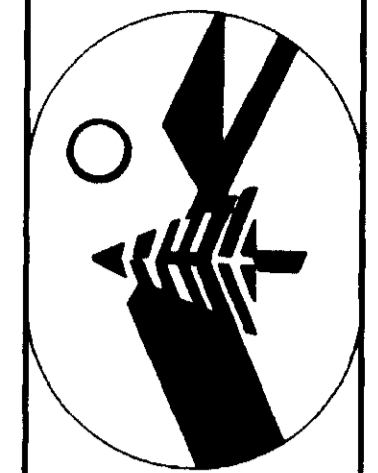
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NO. DATE BY
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2 09/20/00 JLD
3 10/02/00 JLD
4 10/02/00 JLD
5 10/02/00 JLD
6 10/02/00 JLD
7 10/02/00 JLD
8 10/02/00 JLD
9 10/02/00 JLD
10 10/02/00 JLD

LANDSCAPE PLAN
MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3
FINAL PD SITE PLAN

SCALE: 1"=40'
DATE: 9-30-99
DWN: PPS, KEB
APP'D: KEA
JOB NUMBER: 196-1107
SHEET: 4 of 8

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR 534-6700 IN METRO
DENVER
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

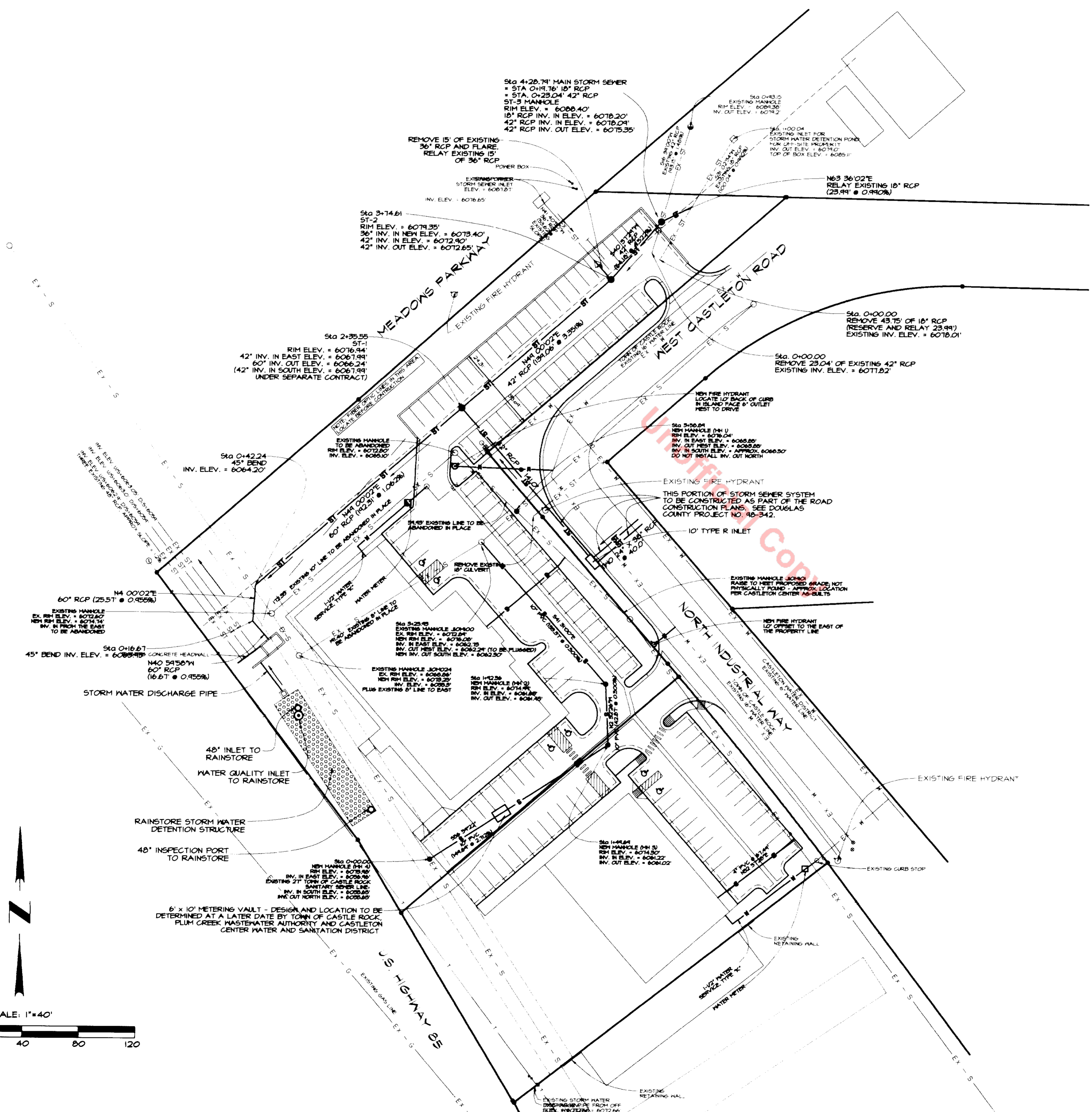


DAVID E. ARCHER & ASSOCIATES, INC.
 LAND DEVELOPMENT CONSULTING
 SURVEYING & ENGINEERING
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 105 W. MCCOY ST., CASTLE ROCK, COLORADO 80104

REVISIONS	DATE	DESCRIPTION

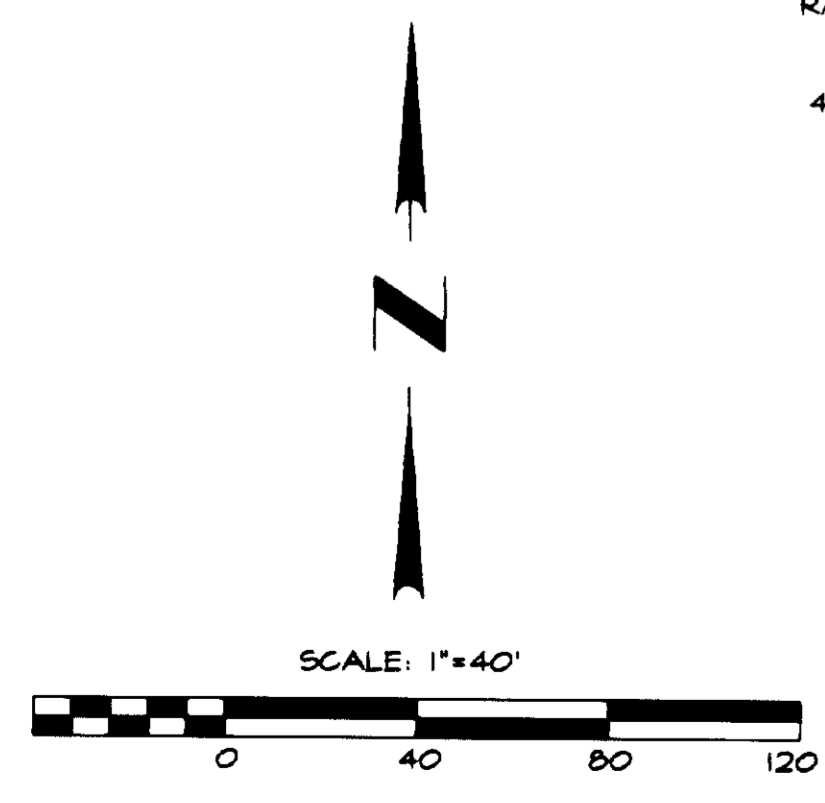
OVERALL SITE UTILITY PLAN
 MEADOWS PARKWAY PHASE II, 2nd AMENDMENT - LOTS 2 & 3
 FINAL PD SITE PLAN

SCALE	1"=40'
DATE	9-30-99
DRN	PBS
PKD	KEA
APPROV	
JOB NUMBER	196-1107
SHEET	5 of 8



LEGEND

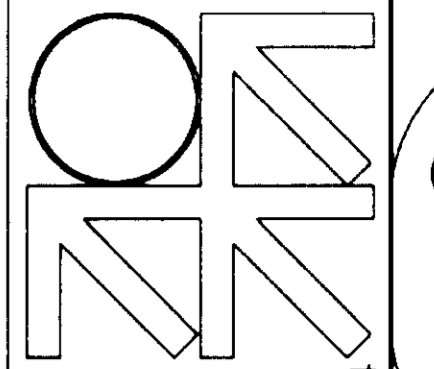
- = BOUNDARY LINE
- = EXISTING CONTOUR
- = EXISTING CONTOUR INDEX
- = PROPOSED CONTOUR
- = PROPOSED CONTOUR INDEX
- = EXISTING GAS LINE
- = EDGE OF EXISTING ASPHALT PAVEMENT
- = PROPOSED STORM SEWER LINE
- = PROPOSED STORM SEWER AND MANHOLE LINE
- = EXISTING STORM SEWER AND MANHOLE LINE
- = EXISTING SANITARY SEWER AND MANHOLE LINE
- = PROPOSED WATER LINE
- = EXISTING WATER LINE
- = EXISTING UNDERGROUND TELEPHONE LINE
- = FLOWLINE
- = PROPOSED SPILL CURB & GUTTER
- = PROPOSED CATCH CURB & GUTTER
- = EXISTING CURB & GUTTER
- = ASPHALT PAVEMENT TO BE REMOVED
- = EXISTING ASPHALT TO REMAIN
- = PROPOSED ASPHALT PAVEMENT (UNDER SEPARATE CONTRACT)
- = PROPOSED RIPRAP
- = VEHICLE TRACKING CONTROL
- = RAINSTORE DETENTION STRUCTURE
- = PROPOSED WATER METER
- = FIRE HYDRANT
- = TELEPHONE MANHOLE
- = HANDICAP PARKING
- = FLOW DIRECTION
- = EXISTING WATER VALVE
- = TOP OF CONCRETE WALL ELEVATION
- = FLOWLINE ELEVATION
- = FINAL GRADE ELEVATION



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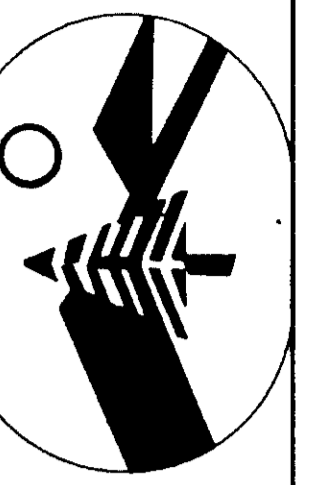
**MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3
FINAL PD SITE PLAN
LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO**

NW-5429

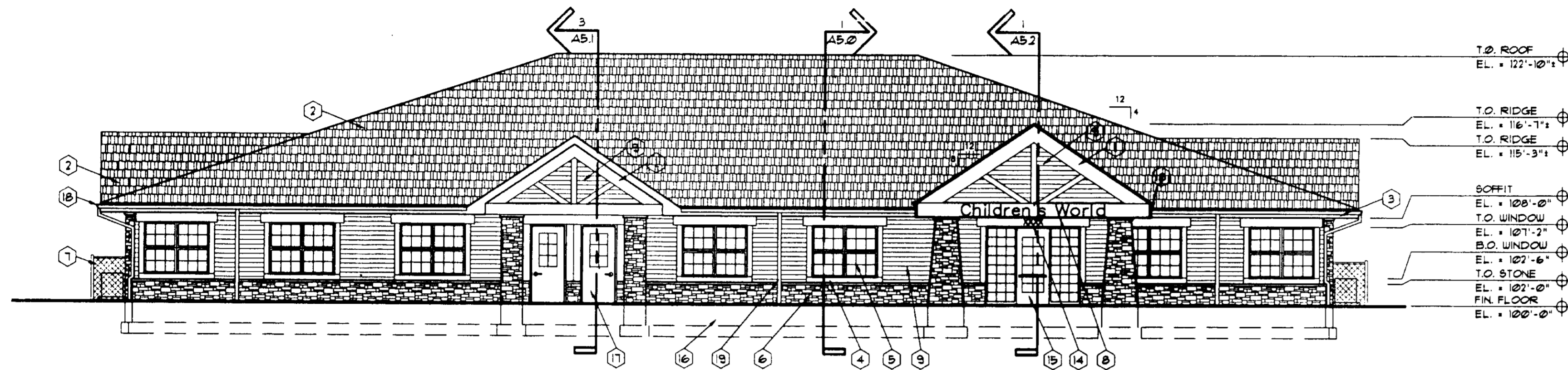


INTERGROUP
ARCHITECTURE
PLANNING - INTERIOR DESIGN

2000 WEST LITTLETON BOULEVARD
LITTLETON, COLORADO 80120
(303) 738-8877 FAX: (303) 738-2294



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LAND DEVELOPMENT CONSULTING
SURVEYING & ENGINEERING
105 WILCOX ST. CASTLE ROCK, COLORADO 80104



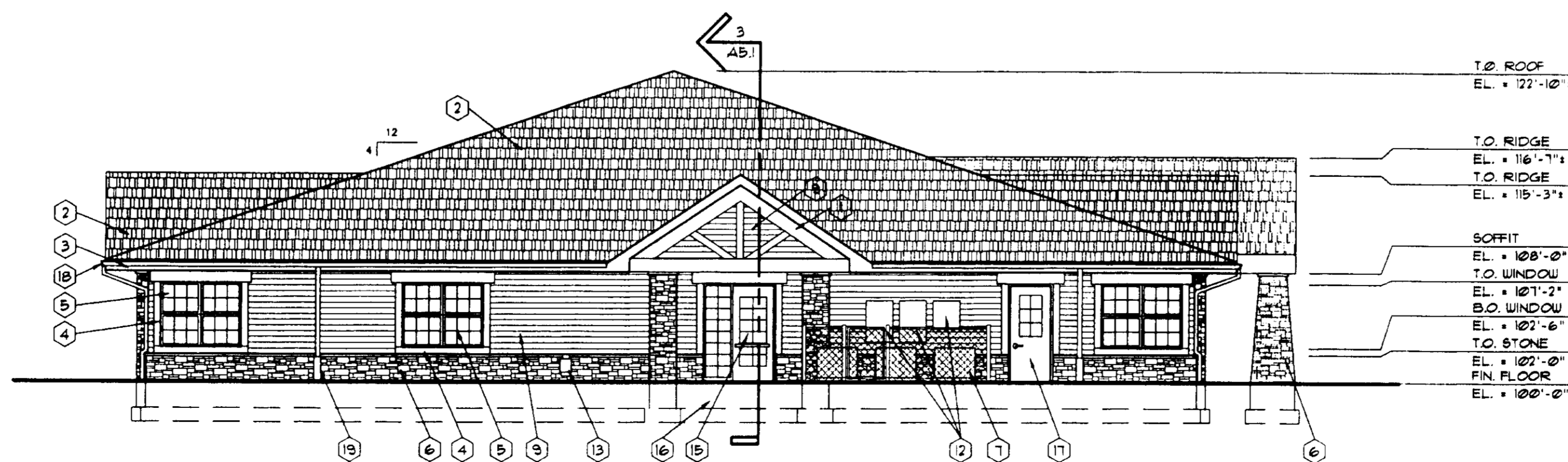
FRONT ELEVATION
1/8" = 1' - 0"



RIGHT ELEVATION
1/8" = 1' - 0"



REAR ELEVATION
1/8" = 1' - 0"



LEFT ELEVATION
1/8" = 1' - 0"

GENERAL NOTES:

ALL ROOF PENETRATIONS TO BE PAINTED TO MATCH ROOF SHINGLE COLOR.

KEY NOTES:

1. DECORATIVE CEDAR TRUSS - STAIN OLYMPIC SEMI-TRANSPARENT COLOR #121 CINNAMON.
2. TAMKO HERITAGE 30 LAMINATED ASPHALT SHINGLES, COLOR: RUSTIC SLATE.
3. 1"x8" FASCIA BOARD, PRIMETRIM BY GEORGIA PACIFIC, PAINT IC1 COLOR #133 NEW ENGLAND GREEN.
4. 1"x10" AND 1"x6" TRIM BOARDS, PRIMETRIM BY GEORGIA PACIFIC, PAINT IC1 COLOR #1016 WHITE ON WHITE.
5. 3'-0" W x 4'x8" H, SINGLE HUNG VINYL WINDOWS BY MILGARD WITH HUNTING AND GREEN TINTED INSULATED GLAZING.
6. SILVERADO WEATHER EDGE LEDGESTONE CULTURED STONE #65V-2061 WITH DRIP EDGE SILL CONTINUOUS.
7. 4 FOOT HIGH BLACK VINYL COATED WIRE FABRIC FENCE AROUND CONDENSER UNITS. SEE DETAIL X/AX.
8. CHILDRENS WORLD LOGO SIGNAGE BY OWNER'S VENDOR. SEE SPEC.
9. HARDIPLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS, INC. COLOR: DESERT SAND. PROVIDE ALL NECESSARY TRIM PIECES AND ACCESSORIES. SEE SPEC.
10. EXTERIOR ELECTRIC WATER COOLER. SEE SPEC AND MECHANICAL DRAWINGS.
11. HOSE BIB. SEE MECHANICAL DRAWINGS.
12. ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS. PAINT TO MATCH BUILDING.
13. GAS METER. SEE MECHANICAL DRAWINGS. PAINT TO MATCH BUILDING.
14. 6" HIGH (MIN) 1" STROKE ANODIZED NUMBERS TO INDICATE BUILDING ADDRESS FOR FIRE DEPARTMENT IDENTIFICATION. MUST BE LEGIBLE FROM STREET.
15. ANODIZED ALUMINUM STOREFRONT WITH 1" SOLAR GREEN INSULATED GLAZING. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE. SEE SPEC.
16. REINFORCED CONCRETE FOUNDATION - SEE STRUCTURAL.
17. HOLLOW METAL DOOR AND FRAME WITH INSULATED GLAZING. PAINT DOOR & FRAME TO MATCH VINYL SIDING. LITE FRAME & MUNTIN BARS TO BE PAINTED TO MATCH WINDOW FRAMES.
18. 4"x4" x 6'W 26 GA. G1. GUTTER - TYPICAL. PAINT TO MATCH FASCIA.
19. 3" x 4" 26 GA. G1. CORRUGATED RECTANGULAR DOWNSPOUT. PAINT TO MATCH ADJACENT WALL SURFACE. CONNECT TO PVC PIPE STUBBED FROM UNDER SIDEWALK TO 24" ABOVE SIDEWALK. SEE CIVIL DRAWINGS.
20. DECORATIVE LIGHT FIXTURE. SEE ELECTRICAL.

REVISIONS	NO.	DATE	DESCRIPTION

CHILDREN'S WORLD BUILDING ELEVATIONS
 MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3
 FINAL PD SITE PLAN

SCALE	AS NOTED
DATE	9-30-99
DRN	PBS CKP KEA
APP'D	
JOB NUMBER	196-1107
SHEET	6 OF 8

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN

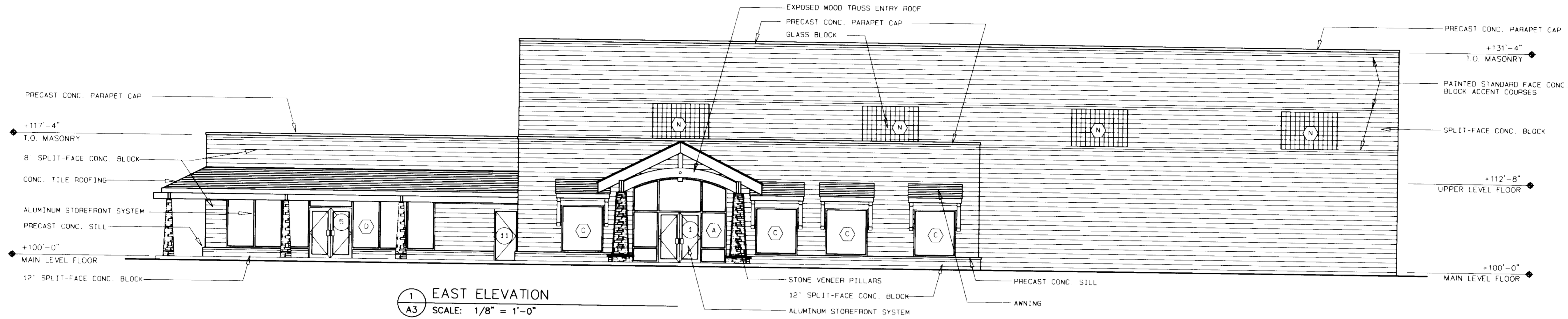
LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

MACDONALD
& associates
architects/planners

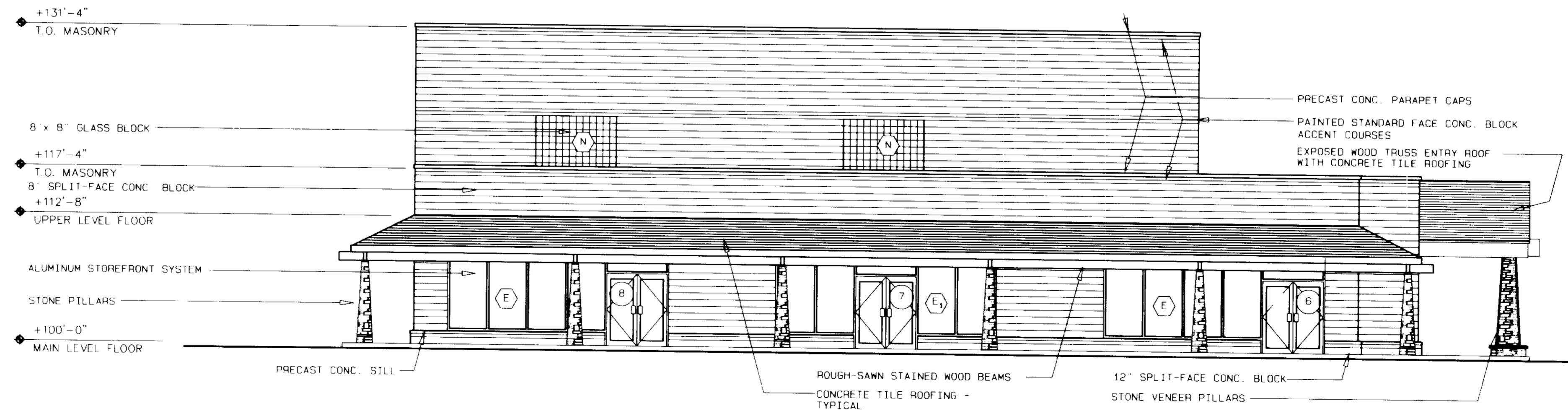
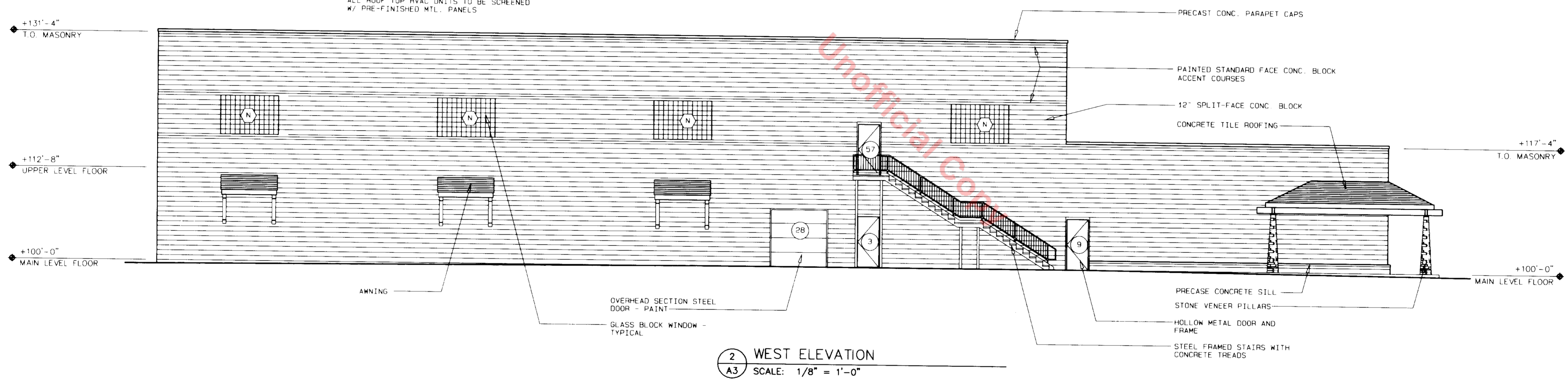
110 South Weber Street, Suite #102
Colorado Springs, Colorado 80903
(719) 473-1123



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LAND DEVELOPMENT CONSULTING
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NOTE:
ALL ROOF TOP HVAC UNITS TO BE SCREENED
W/ PRE-FINISHED MTL. PANELS

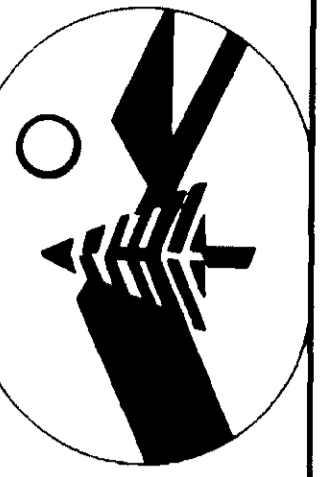
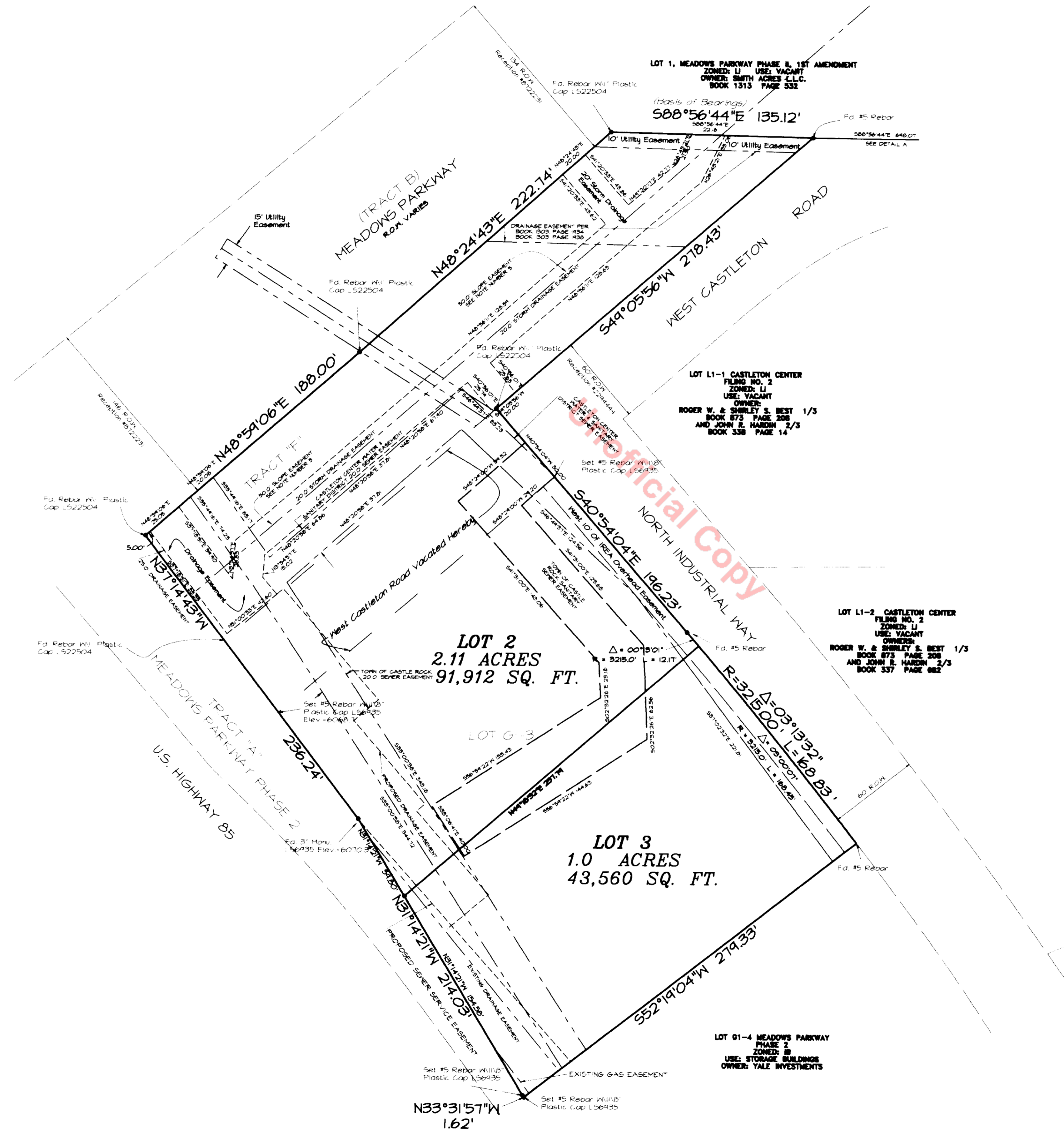


(LOT 2)
GYM 2000 BUILDING
ELEVATIONS
MEADOWS PARKWAY PHASE II, 2nd AMENDMENT LOTS 2 & 3
FINAL PD SITE PLAN

SCALE	1" = 40'
DATE	4-30-99
DRAWN	PBS
APPROVED	KEA
JOB NUMBER	196-1107
SHEET	7 of 8

Mon Nov 20 07:19:21 2000
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MEADOWS PARKWAY PHASE II, 2nd AMENDMENT, LOTS 2 & 3 FINAL PD SITE PLAN LOCATED IN SE1/4 OF SECTION 27, T7S, R67W, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



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105 WEST ST. CASTLE ROCK, COLORADO 80104

REVISIONS	DATE	BY	DESCRIPTION

EASEMENT PLAN

MEADOWS PARKWAY PHASE II, 2nd AMENDMENT - LOTS 2 & 3
FINAL PD SITE PLAN

SCALE	1"=40'
DATE	9-30-99
DRN	PBS
APP'D	KEA
JOB NUMBER	196-1107
SHEET	8 of 8

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