

FINAL PD SITE PLAN FOR LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT

A PORTION OF THE SE 1/4 SEC. 26, T.7 S., R.67 W. OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT IN THE TOWN OF CASTLE ROCK.

Bennett Claid
 JUST CLOUDS, LLC, A TEXAS LIMITED LIABILITY COMPANY

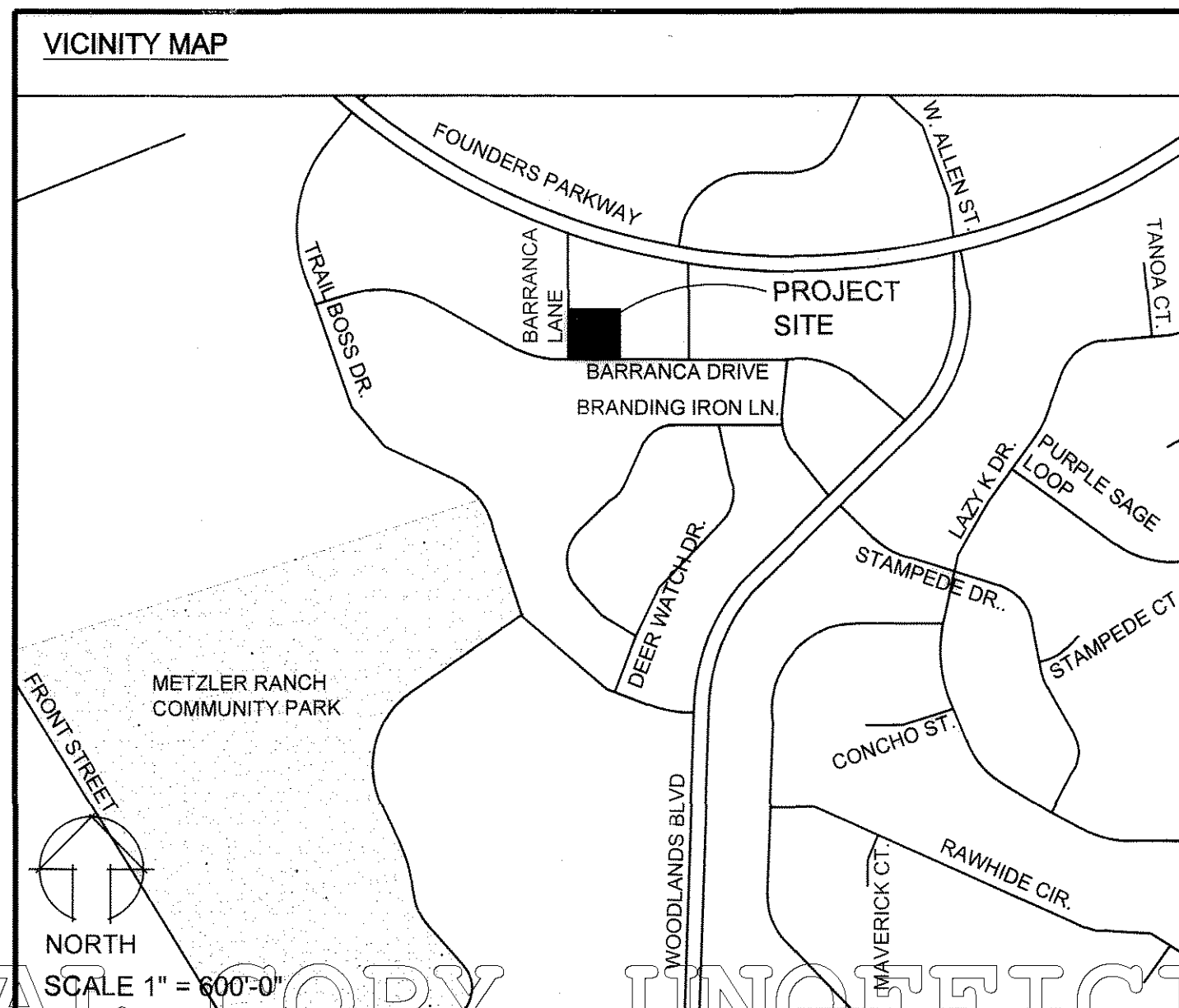
SIGNED THIS 12th DAY OF January, 20 10.

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 12th DAY OF January, 20 10
 BY Bennett Claid
 WITNESS MY HAND AND OFFICIAL SEAL.
Monica Gallardo
 NOTARY PUBLIC
 MY COMMISSION EXPIRES August 03, 2011

SINGLE FAMILY EQUIVALENTS

WATER
 BUILDING: 4 SFE

SANITARY SEWER
 TOTAL: 1.41 SFE (3 SFE/ACRE)



SUMMARY TABLE

ZONING: PD - PLANNED DEVELOPMENT

TOTAL NET SITE AREA : 47 ACRES 20,473 S.F. (100%)

MAXIMUM GROSS FLOOR AREA: FAR .25 (20,473 SF x .25 = 5,118 SF)

DRIVES, WALKS, & PARKING 11,258 S.F. (54.99%)
 TOTAL AREA OF LANDSCAPE 5,118 S.F. (24.99%)
 BUILDING COVERAGE 4,097 S.F. (20.02%)

PROPOSED BUILDING AREA:
 AUTOMOTIVE 4,097 S.F.

PARKING REQUIRED:
 AUTOMOTIVE 4,000 S.F. 6 BAYS @ 3/BAY + 3
(6 X 3) + 3 = 21 SPACES

TOTAL PARKING REQUIRED 21 SPACES

PARKING PROVIDED:
 STANDARD PARKING STALLS 20 SPACES
 H.C. PARKING STALLS 1 SPACES
 TOTAL PARKING PROVIDED 21 SPACES

PARKING STALL WIDTHS:
 STANDARD PARKING STALLS 9' X 18'
 H.C. PARKING STALLS 9' X 18'
 H.C. LOADING 9' X 18'

BUILDING HEIGHT:
 PARAPET 23'-0"
 TOWER 33'-0"

BUILDING SETBACKS:
 SOUTH PROPERTY LINE 19'-9"
 WEST PROPERTY LINE 10'-5"
 NORTH PROPERTY LINE 79'-10"
 EAST PROPERTY LINE 26'-4"

SURVEYOR'S CERTIFICATE

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEY LICENSE # DATE
 MICHAEL C. CREGGER 22584

LEGAL DESCRIPTION

LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PLAT RECORDATION #: 2008053607

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDED OF DOUGLAS COUNTY AT 9:45 AM ON THIS 26th DAY OF MARCH, 20 10 AT RECEPTION NO. 2010018593.

DOUGLAS COUNTY CLERK AND RECORDER

BY *Christina*
 DEPUTY

TOWN CERTIFICATE

THE FINAL PD SITE PLAN AND ZONING REGULATIONS FOR LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT WERE APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 15th DAY OF January, 20 10.

MAYOR [Signature] DATE 3/5/10

ATTEST: [Signature] DATE 3/5/10
 TOWN CLERK DATE

PLANNING COMMISSION

THE FINAL PD SITE PLAN AND ZONING REGULATIONS FOR LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT WERE RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 10th DAY OF DECEMBER, 20 09.

CHAIR [Signature] DATE 12/20/09

ATTEST: [Signature] DATE 12/20/09
 DIRECTOR OF DEVELOPMENT DATE
 SERVICES

BENCHMARK

THE WEST QUARTER CORNER OF SECTION 27, T. 7 S., R. 67 W. OF THE 6TH PRINCIPAL MERIDIAN AS PUBLISHED BY THE TOWN OF CASTLE ROCK.
 ELEVATION = 6174.60 (NAVD 88)

PURPOSE STATEMENT:

- ADD CONCRETE APRON ADJACENT TO NORTH SIDE OF BUILDING.
- REMOVE BICYCLE RACK ON WEST SIDE OF BUILDING.
- EXPAND CURB AND GUTTER ON EAST SIDE OF BUILDING.
- ADD SIGN TO BUILDING.

GENERAL NOTES

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purpose of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
- Pursuant to Section 17.62.080 of the Town of Castle Rock Municipal Code, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within the public right-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be the same type of plant material as set forth in the approved Final PD Site Plan; for example, a tree must replace a tree, a shrub must replace a shrub, ground cover must replace ground cover, etc. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- No FEMA regulated floodplains or wetlands are on site.
- Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- Approval of the Final PD Site Plan does not constitute approval of any deviations from the Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object exceeding thirty (30) inches in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Site Plan.
- Retaining walls or sections of retaining walls 4-feet in height or higher must be designed by a Structural Engineer licensed in the state of Colorado and must receive a Building Permit from the Town of Castle Rock prior to the issuance of the Public Works Permit. Call the Building Department (720-733-3529) for a determination of the need for a Building Permit for tiered retaining walls.
- Unless otherwise noted, all lots shall have a 10 foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have a five-foot Utility Easement along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.

INDEX

SHEET 1 OF 3	COVER SHEET
SHEET 2 OF 3	FINAL PD SITE PLAN
SHEET 3 OF 3	ELEVATIONS

INDEX (ORIGINAL SITE PLAN - SEE RECEPTION #2008044716)

SHEET 1 OF 14	COVER SHEET (MODIFIED BY THIS AMENDMENT)
SHEET 2 OF 14	FINAL PD SITE PLAN (MODIFIED BY THIS AMENDMENT)
SHEET 3 OF 14	LANDSCAPE PLAN
SHEET 4 OF 14	LANDSCAPE DETAILS
SHEET 5 OF 14	IRRIGATION PLAN
SHEET 6 OF 14	IRRIGATION DETAILS
SHEET 7 OF 14	IRRIGATION DETAILS
SHEET 8 OF 14	GRADING PLAN
SHEET 9 OF 14	UTILITIES PLAN
SHEET 10 OF 14	PHOTOMETRIC PLAN
SHEET 11 OF 14	LIGHTING DETAIL CUT SHEETS
SHEET 12 OF 14	BUILDING A - ELEVATIONS
SHEET 13 OF 14	BUILDING B - ELEVATIONS (MODIFIED BY THIS AMENDMENT)
SHEET 14 OF 14	BUILDING C - ELEVATIONS

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1C, METZLER RANCH FILING NO. 9, 2ND AMENDMENT IN THE TOWN OF CASTLE ROCK. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON JULY 8, 2009 AT RECEPTION NO. 2009054095, DOUGLAS COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

BY *[Signature]*
 BANK OF AMERICA

THIS 14 DAY OF January, 20 10.

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 14 DAY OF January, 20 10
 BY [Signature]
 WITNESS MY HAND AND OFFICIAL SEAL.
Kelly M Lopez
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 06-25-13

TITLE CERTIFICATION

Laruce L. Nitsch, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

SIGNED THIS 15th DAY OF January, 20 10.

Laruce L. Nitsch
 AUTHORIZED REPRESENTATIVE
Land Title Guarantee Company
 TITLE INSURANCE COMPANY

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 15th DAY OF January, 20 10
 BY Laruce L. Nitsch
 WITNESS MY HAND AND OFFICIAL SEAL.
Joni L. Stimits
 NOTARY PUBLIC
 MY COMMISSION EXPIRES Sept. 19, 2011

OWNERS, MORTGAGEES, LIENHOLDERS

OWNER JUST CLOUDS, LLC 8150 N. CENTRAL EXPRESSWAY SUITE M-1008 DALLAS, TX 75206 PHONE: (214) 276-5504 CONTACT: RICH SHOEMAKER DIRECTOR OF REAL ESTATE	MORTGAGEE BANK OF AMERICA 901 MAIN STREET, 10TH FLOOR DALLAS, TX 75202 PHONE: 214.209.3212 FAX: 214.530.2752 CONTACT: ERIKA DE LA ROSA, RHOADS SENIOR CREDIT SUPPORT ASSOCIATE
---	--

CONTACT INFORMATION

APPLICANT TRAIL STAR DEVELOPMENT 413 WILCOX STREET, SUITE 20 CASTLE ROCK, CO 80104 PHONE: (303) 680-0801 CONTACT: RICK STUCY	OWNER JUST CLOUDS, LLC 8150 N. CENTRAL EXPRESSWAY, SUITE M-1008 DALLAS, TX 75206 PHONE: (214) 276-5504 CONTACT: RICH SHOEMAKER
ARCHITECT PWN ARCHITECTS AND PLANNERS, INC. 6560 GREENWOOD PLAZA BLVD. SUITE 130 ENGLEWOOD, CO 80111 PHONE: (303) 649-9880 EXT. 15 CONTACT: DAVID LASH	CIVIL LAND SURVEYOR KIMLEY HORN & ASSOCIATES, INC. 950 SEVENTEENTH STREET, SUITE 1050 DENVER, CO 80202 PHONE: (303) 228-2324 CONTACT: GABE KRELL
LANDSCAPE ARCHITECT NUSZER KOPATZ 1117 CHEROKEE STREET DENVER, CO 80204 PHONE: (303) 534-3885 CONTACT: GENTRY LOCK	ELECTRICAL ENGINEER BOULDER ENGINEERING 2430 BROADWAY, SUITE 301 BOULDER, CO 80501 PHONE: (303) 444-6038 CONTACT: ETHAN MILEY

PROJECT NUMBER:
 FDP 07-010

LANDSCAPE DESIGN REGISTRATION
 NUSZER-KOPATZ
 GENTRY LOCK # 8059

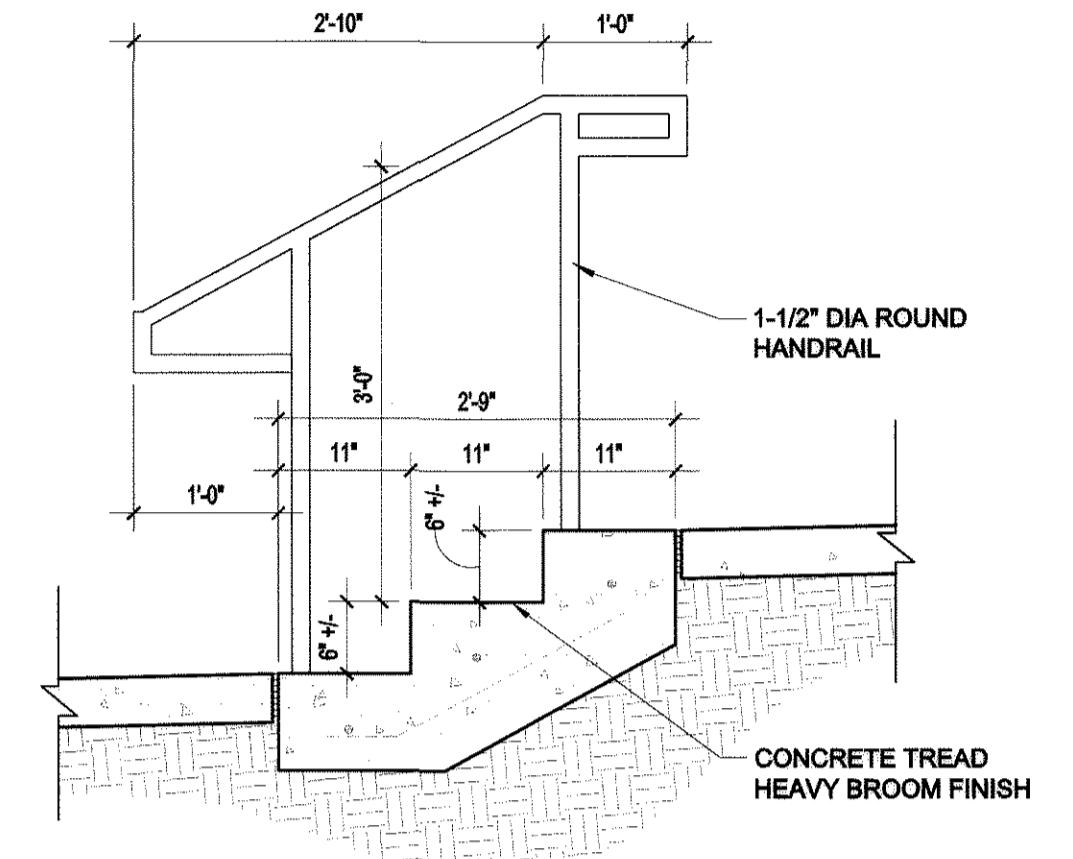
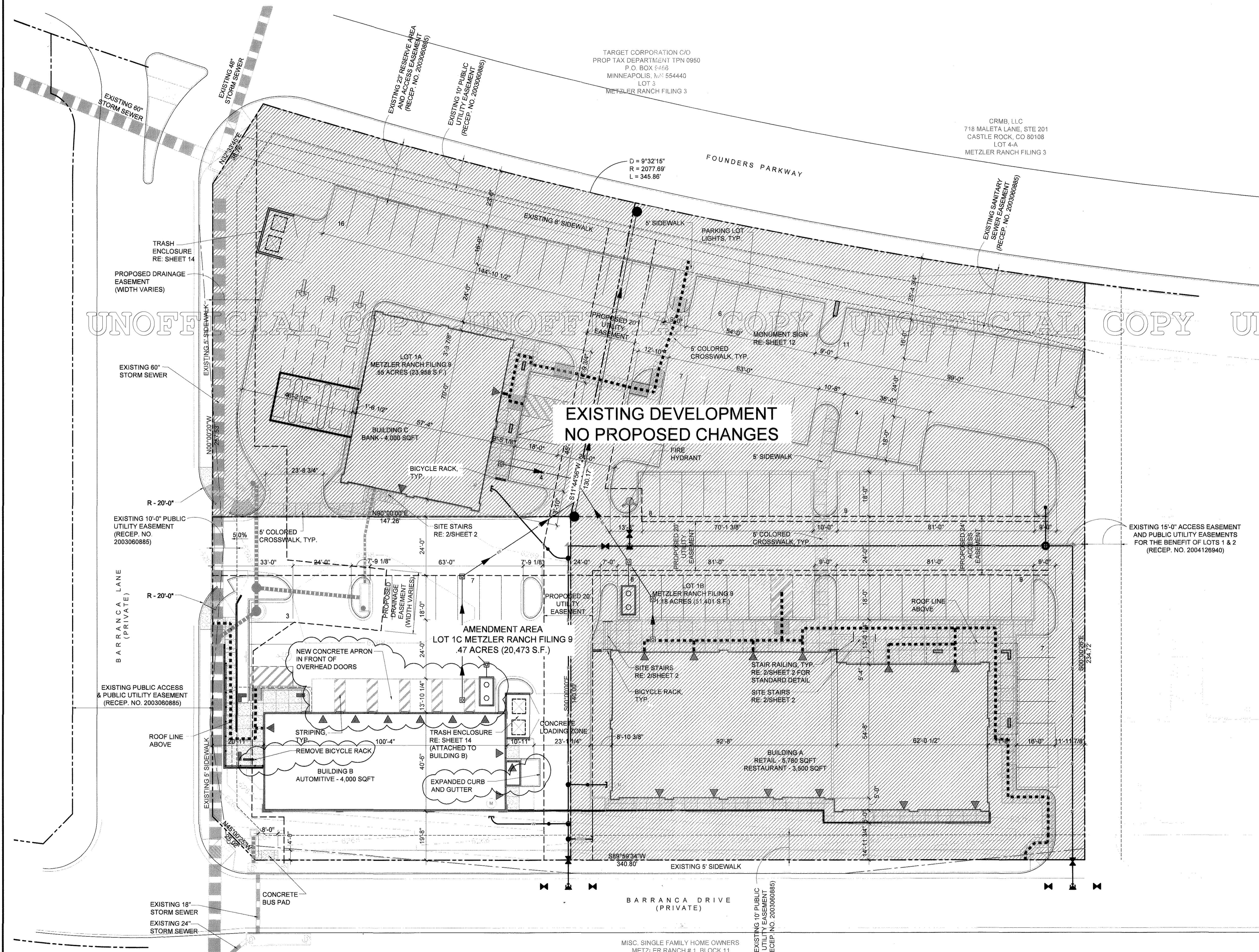
COVER SHEET

SHEET
 1 of 3

Issue Date: 11.30.07
Project: MISC
Drawn By: DAVID LASH
Revisions:
 BUILDING B UPDATE 11.5.09

FINAL PD SITE PLAN AMENDMENT FOR LOT 1C, METZLER RANCH FILING 9, 2ND AMENDMENT

A PORTION OF THE SE 1/4 SEC. 26, T.7 S., R.67 W. OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

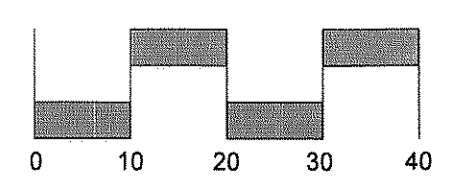


2 Handrail Detail
3/4" = 1'-0"

- GENERAL NOTES**
1. Surfaced access roads capable of withstanding the imposed loads of fire apparatus and all required fire hydrants shall be installed and servicable prior to and during all construction.
 2. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. The term all-weather driving capabilities have been interpreted to mean either concrete or asphalt.
 3. When fire protection, including fire apparatus roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made servicable prior to and during the time of construction.
 4. All proposed easements must be recorded by separate document prior to approval of CDs.

SITE PLAN KEY

	ADA PARKING SIGNAGE		PARKING LOT LIGHT
	ADA STRIPING		DOUBLE PARKING LOT LIGHT
	FIRE HYDRANT		BUILDING MOUNTED LIGHT
	ADA RAMP		DOOR LOCATION
	EXISTING ADA RAMP		HANDICAP PATH
	RAMP		PROPERTY BOUNDARY
	TRASH CONTAINER		PROPOSED EASEMENT
	LANE SIGNAGE		EXISTING EASEMENT
	CAR		SITE TRIANGLE
	SAND/OIL SEPARATOR GREASE TRAP		CONCRETE
			RETAINING WALL
			SS - SANITARY SEWER LINE
			W - WATER LINE
			U-SHAPED BICYCLE RACK (CAPACITY 2)
			MONUMENT SIGN

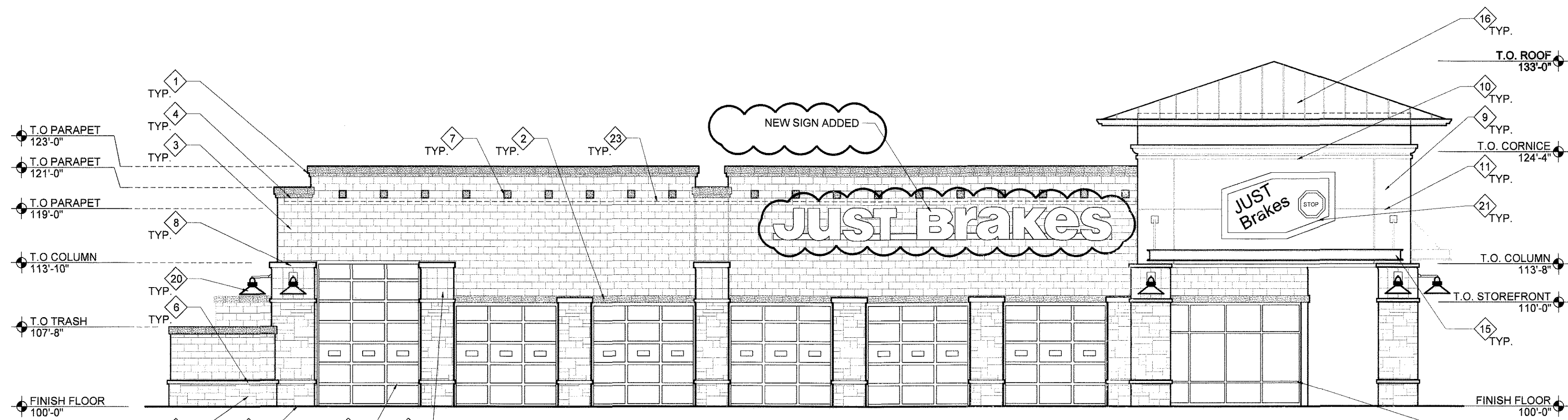


DWA Architects and Planners, Inc.
Two Greenwood Plaza, 6550 Greenwood Plaza Blvd., Suite 130, Englewood, Colorado 80111
760.303.6462 Fax: 760.303.6462 www.dwaarchitects.com

Issue Date:	11.30.07
Project:	MPC
Drawn By:	DAVID LASH
Revisions:	
1ST RE-SUBMITTAL	4.13.08
2ND RE-SUBMITTAL	6.5.08
FINAL MTLAR	6.18.08
BUILDING B UPDATE	11.9.09

FINAL PD SITE PLAN AMENDMENT FOR LOT 1C, METZLER RANCH FILING 9, 2ND AMENDMENT

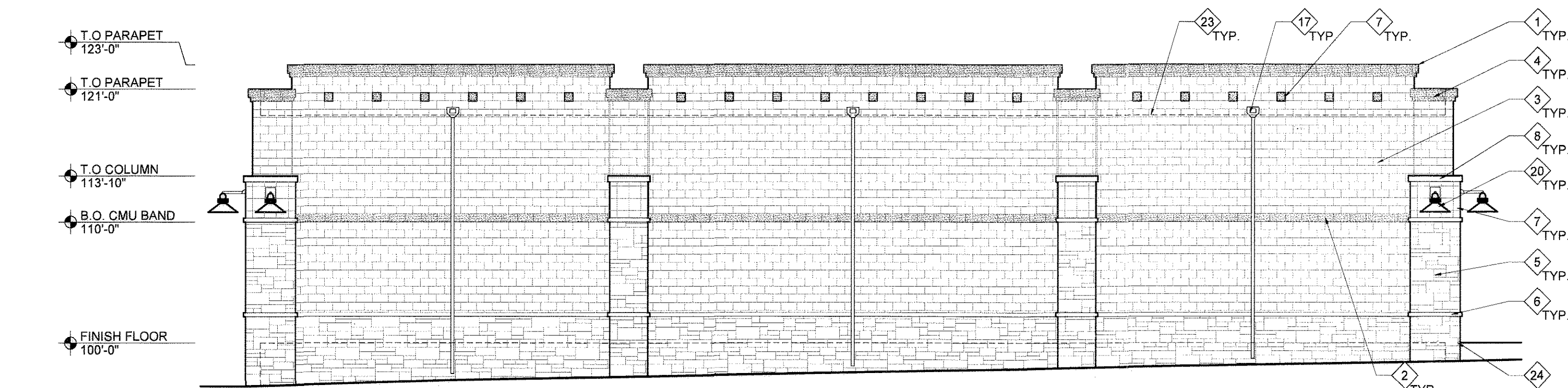
A PORTION OF THE SE 1/4 SEC. 26, T.7 S., R.67 W. OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



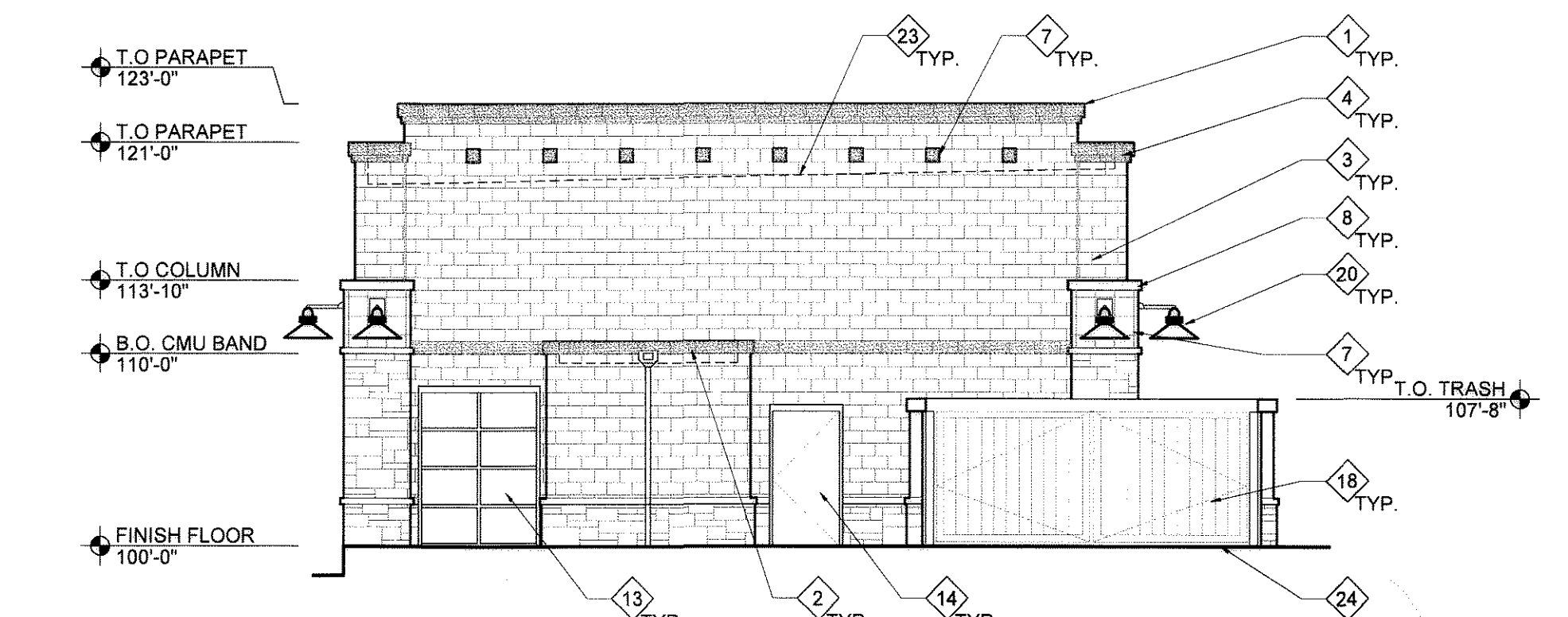
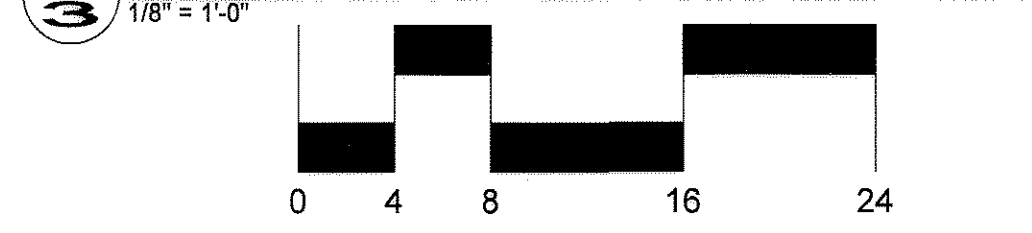
1 NORTH ELEVATION



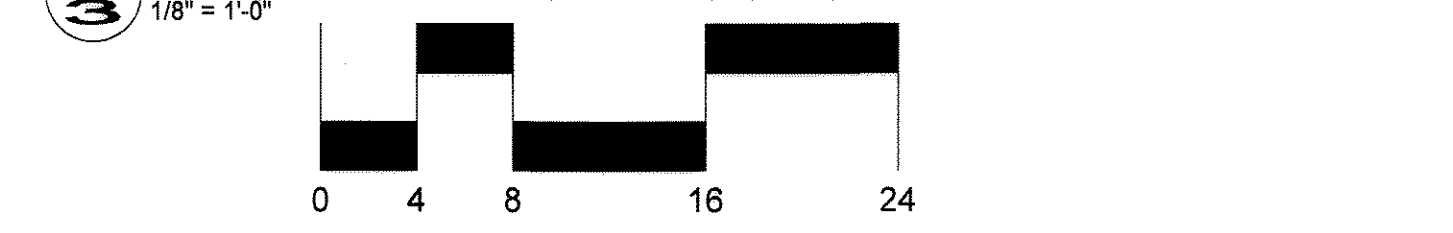
2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION



ELEVATION FLAG NOTES:

- | | |
|---|--|
| <ol style="list-style-type: none"> 1. METAL COPING: PAINTED SW 6208 PEWTER GREEN BY SHERWIN WILLIAMS 2. SMOOTH FACE CMU ACCENT BAND: BEST BLOCK, COLOR: EASTERN TAN 3. SPLIT FACE CMU BLOCK: BEST BLOCK # 305 4. SMOOTH FACE CMU CORNICE: BEST BLOCK, COLOR: EASTERN TAN 5. CULTURED STONE BY OWENS CORNING: COUNTRY LEDGESTONE, COLOR - CHARDONNAY 6. CULTURED STONE WATER TABLE: MATCH ADJACENT STONE 7. SLATE TILE ACCENT: EVERGLADE BY PETRA SLATE 8. PRE-CAST COLUMN CAP 9. STUCCO: EL-REY, COLOR: SANDLEWOOD - COURSE FINISH 10. STUCCO CORNICE: EL-REY, COLO: COTTONWOOD - COURSE FINISH 11. 1" STUCCO REVEAL 12. KAWNEER TRIFAB VG 451 STOREFRONT (MEDIUM BRONZE FINISH) 13. OVERHEAD DOOR, PAINTED SW 6207 RETREAT BY SHERWIN WILLIAMS FRAME, PAINTED SW 6209 RIPE OLIVE BY SHERWIN WILLIAMS 14. METAL UTILITY DOOR, PAINTED SW 6207 RETREAT BY SHERWIN WILLIAMS FRAME, PAINTED SW 6209 RIPE OLIVE BY SHERWIN WILLIAMS 15. HORIZONTAL METAL SUNSHADE, COLO: SHERWIN WILLIAMS - SW 6208 PEWTER GREEN 16. STANDING SEAM METAL ROOF: HARTFORD GREEN BY BERRIDGE 17. SCUPPER WITH OPEN FACED DOWNSPOUT, PAINTED TO MATCH ADJACENT SURFACE | <ol style="list-style-type: none"> 18. TRASH SCREEN WALL WITH PAINTED METAL DOOR, SW 6207 19. FABRIC AWNING, COLOR #4631 - BURGANDY BY SUNBRELLA 20. EXTERIOR DECORATED LIGHTING 21. TENANT SIGNAGE 22. FEATURE BEYOND 23. ROOF LINE BEYOND 24. GRADE 25. ROOF ACCESS LADDER: PAINTED TO MATCH ADJACENT MATERIAL 26. RETAINING WALL |
|---|--|

ELEVATION SYMBOLS:

- | | |
|--|---|
| | SPLIT FACE CMU: BEST BLOCK # 305 |
| | SMOOTH FACE CMU: BEST BLOCK: EASTERN TAN |
| | CULTURED STONE: BY OWENS CORNING, COUNTRY LEDGESTONE. COLOR: CHARDONNAY |

DWA Architects and Planners, Inc.
Two Greenwood Plaza, 6550 Greenwood Plaza Blvd., Suite 130, Englewood, Colorado 80111
voice: 303.546.8900 fax: 303.546.9870 www.pensardirect.com

Issue Date:	11.30.07
Project:	MISC
Drawn By:	DAVID LASH
Revisions:	
1ST RE-SUBMITTAL	4.13.08
2ND RE-SUBMITTAL	6.5.08
FINAL MYLARS	6.19.08
BUILDINGS UPDATE	11.9.09
COMMENTS	12.18.09