

# SITE DEVELOPMENT PLAN

## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

### SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

**Purpose Statement:**

It is the purpose of this project to amend 2008 approved development plan file no. FPD 07-010 as a minor amendment. We propose to construct a type IIB sprinklered building. Sized 62'x162' out to out or 10,044 SF, and develop the site associated with this building. We propose an 8'x8' water room inside the structure at the SW corner, thereby making the leasable square footage of the building 9,980 SF. The proposed building leasable SF is 700 SF larger than the previously approved building, which was 9280 SF. We are submitting for permit for a core/shell building only, with related site work, where the interior finishes will be in the future by separate building permit. All site work proposed with this plan presents the same scope as approved through the existing approved final site plan from 2008. At this time, the proposed future interior occupancy of this building is projected to be medical office when finish by separate permit by tenants.

**OWNERSHIP CERTIFICATION**

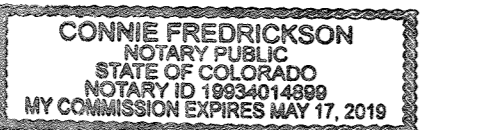
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

*Member*  
 (Name of owner) 4404 BARRANCA, LLC  
 SIGNED THIS 12<sup>th</sup> DAY OF JULY, 2016

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 12<sup>th</sup> DAY OF JULY, 2016 BY *Darren Sharp*  
 4404 BARRANCA, LLC

WITNESS MY HAND AND OFFICIAL SEAL.

*Connie Fredrickson*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 5/17/19



**TITLE CERTIFICATION**

*Don Whitmore*  
 LAND TITLE GUARANTEE COMPANY, AN AUTHORIZED REPRESENTATIVE OF BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

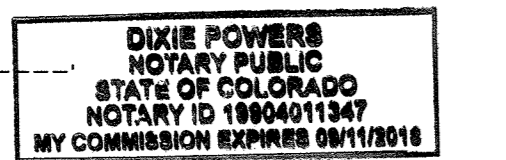
AUTHORIZED REPRESENTATIVE

*Land Title Guarantee Company*  
 TITLE COMPANY

SIGNED THIS 13<sup>th</sup> DAY OF JULY, 2016

NOTARY BLOCK  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 13<sup>th</sup> DAY OF JULY, 2016 BY *Don Whitmore* AS AUTHORIZED REPRESENTATIVE OF *Land Title Guarantee Company*  
 WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 9-11-2018



**WATER RIGHTS DEDICATION AGREEMENT**

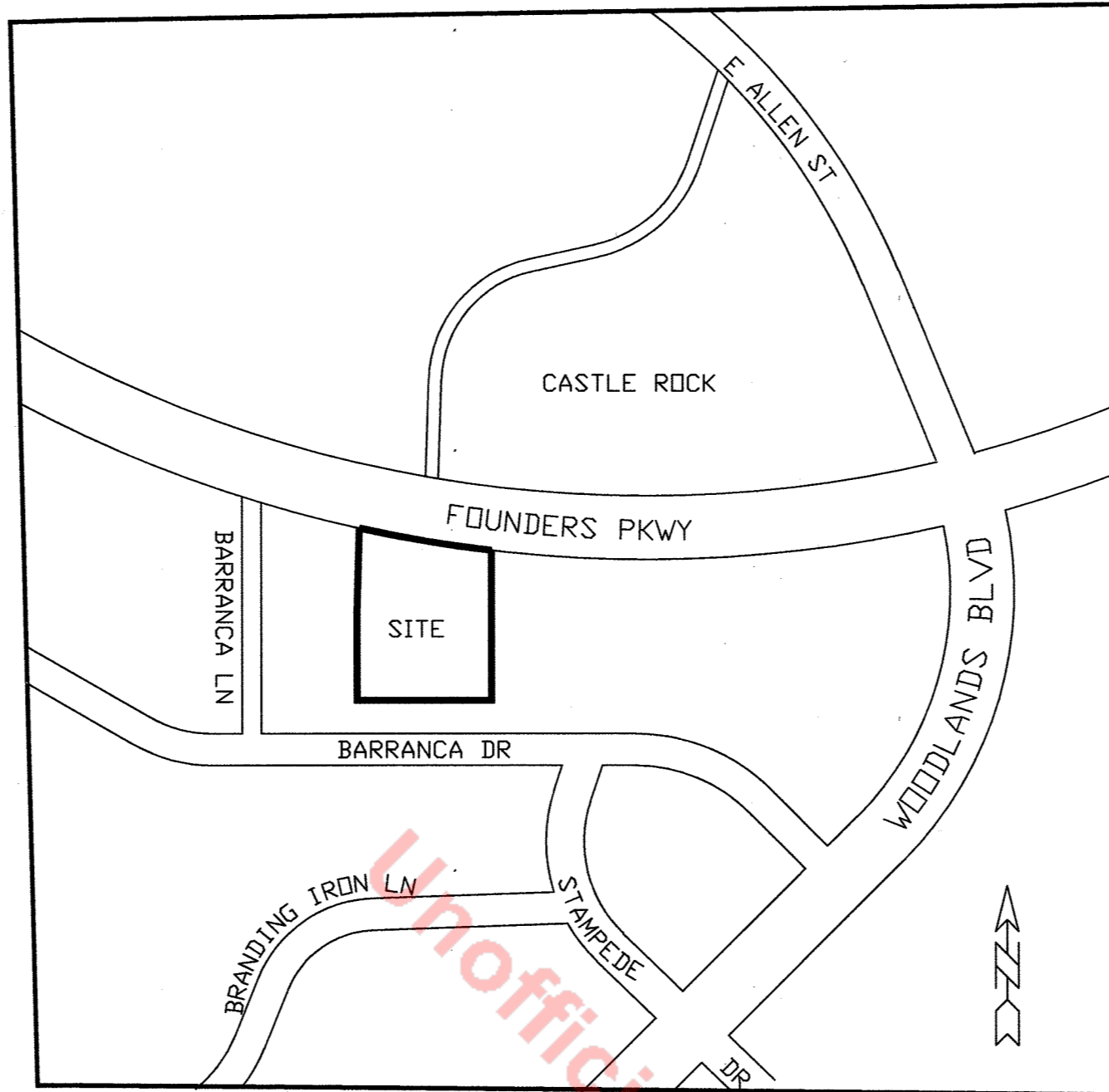
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE METZLER RANCH DEVELOPMENT AGREEMENT, RECORDED ON THE 24<sup>TH</sup> DAY OF DECEMBER, 1996 AT RECEPTION NO. 9672147 AND ACCORDINGLY 7.67 SFE ARE DEBITED FROM THE WATER BANK.

**GENERAL NOTES:**

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONAL TIES ARE FROM PROPERTY LINE TO FACE OF BUILDING.
3. SIGNS TO COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED.
4. LIGHTING WITHIN THE PROJECT SHALL COMPLY WITH TOWN OF CASTLE ROCK REQUIREMENTS.
5. REFER TO UTILITY PLANS FOR LOCATION OF UTILITIES AND DRAINAGE FACILITIES.
6. THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM THAT MEETS THE REQUIREMENTS OF THE LOCAL FIRE AUTHORITY.
7. SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. HANDICAP ACCESSIBLE ROUTES SHALL SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL.

**Legal description:**

Parcel A  
 Lot 1B, Metzler Ranch Filing No. 9, 2nd Amendment, Town of Castle Rock, County of Douglas, State of Colorado  
 Parcel B  
 An easement for ingress and egress shown at Tract A, Metzler Ranch Filing No. 9, and set forth in Declaration recorded June 20, 2003, under Reception No. 2003092456 and easement described in Reciprocal Easement Agreement dated August 4, 2003, under Reception No. 2003116731, Town of Castle Rock, County of Douglas, State of Colorado



**VICINITY MAP**

N.T.S.

**SURVEYOR'S CERTIFICATE**

I, OLIVER E. WATTS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

*Oliver E. Watts*  
 OLIVER E. WATTS COLD PELS # 9853 DATE 5-4-16 11  
 FOR AND ON BEHALF OF OLIVER E. WATTS CONSULTING ENGINEER, INC.

**CIVIL ENGINEER'S STATEMENT**

I, OLIVER E. WATTS, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

*Oliver E. Watts*  
 OLIVER E. WATTS COLD PELS # 9853 DATE 5-4-16 11  
 FOR AND ON BEHALF OF OLIVER E. WATTS CONSULTING ENGINEER, INC.

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 26 DAY OF JULY, 2016.

*[Signature]*  
 DIRECTOR OF DEVELOPMENT SERVICES

**Land use data:**

Jurisdiction Town of Castle Rock

Existing zoning Metzler Ranch Pd (Commercial)

Proposed land use Medical Office

Use	Area - SF	Percent
Building	10044	19.5
Parking	11502	22.3
Impervious	20634	40.1
Open Space/Landscaping	9315	18.1
Total Lot	51495	100.0

Net site area 51,495 sf / 1.18 ac.

**Parking:**

Proposed parking:  
 STANDARD PARKING STALLS 70 SPACES  
 ACCESSIBLE PARKING STALLS 2 SPACES  
 TOTAL PARKING PROVIDED 72 SPACES\*  
 REQUIRED PARKING 51 SPACES (5 PER 1000 GROSS SF)  
 \*\* SEE CROSS PARKING AGREEMENT AND SDP AT RECEPTION NUMBERS 2014065386 AND 2014067554 FOR SHARED PARKING BETWEEN LDES 1A AND 1B

**Building Heights**

Tower = 33'0"

Parapet = 20'4"

**BUILDING SETBACKS**

SOUTH PROPERTY LINE	17'-11"
EAST PROPERTY LINE	34'-1"
WEST PROPERTY LINE	15'-1"
NORTH PROPERTY LINE	216'-10"

**LIENHOLDER SUBORDINATION CERTIFICATE:**

The undersigned are all the mortgagees and lienholders of certain lands in the Town of Castle Rock, County of Douglas, State of Colorado described hereon. The undersigned beneficiary of the Lien created by Instrument recorded May 25, 2016 at Reception No. 216033032, Douglas County, Colorado, subordinates the subject Lien to the terms, conditions and restrictions of this document.

*Ronald Muryan Jr*  
 Eastern Colorado Bank

Signed this 12<sup>th</sup> day of July, 2016

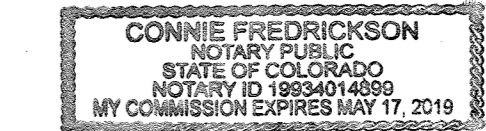
Notary block

Subscribed and sworn to before me this 12<sup>th</sup> day of July, 2016

By *Ronald Muryan Jr* As Vice President of the Eastern Colorado Bank.

Witness my hand and Official Seal

*Connie Fredrickson*



**INDEX TO DRAWINGS:**

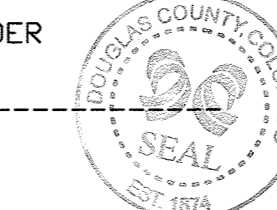
1. Cover Page
2. General Notes
3. Site Plan
4. Grading & Drainage Plan
5. Utility Plan
6. Landscaping Plan
7. Elevations
8. Lighting Photometric

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:46 am ON THE 27<sup>th</sup> DAY OF JULY, 2016 AT RECEPTION NO. 2016049360

DOUGLAS COUNTY CLERK AND RECORDER

BY: *Cambrana*  
 DEPUTY CLERK



Prepared by the office of:  
 Oliver E. Watts, Consulting Engineer, Inc.  
 614 Elkton Drive  
 Colorado Springs, CO 80907  
 (719) 593-0173  
 olliewatts@aol.com  
 Celebrating 37 years in Business

DRAWN BY: O.E. WATTS DATE: 3-4-16 DWG. NO.: 15-4805-07 BASE PLAN BY: ARCHER & ASSOCIATES, 1-25-14 SURVEYED BY: DEW, ESW, E-17-16	APPROVED BY: PROJ. NO. DWS.	REVISIONS 5-4-16 CITY REVIEW COMMENTS DEW	OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS	PROJECT LOT 1B, METZLER RANCH F#9 2ND AMENDMENT DOUGLAS COUNTY, COLORADO	SHT. NAME <b>COVER PAGE</b>	SHT. NO. 1 OF 8	PROJECT NO. SDP16-0017
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# SITE DEVELOPMENT PLAN

## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

### SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

**COVER SHEET GENERAL NOTES**

All materials, workmanship, and construction of Public Improvements shall meet or exceed the standards and specifications set forth in the Town of Castle Rock (TCR) Municipal Code, TCR Technical Manuals, and applicable State and Federal Regulations. Where there is conflict between these Plans and the Technical Manual or any applicable Standards, the higher quality Standard shall apply. All Work shall be inspected and approved by the TCR Public Works or Utilities Inspector.

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these Plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete.

The Contractor must call the local utility location center at least 48 hours before any excavation to request exact field locations of the utilities. Prior to construction, the Contractor shall verify pertinent locations and elevations, especially at connection points and at potential utility conflicts. It shall be the responsibility of the Contractor to relocate all existing utilities that conflict with the proposed improvements shown on these Plans.

The Contractor shall coordinate and cooperate with the Town and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the Work is accomplished in a timely fashion and with a minimum disruption of service. The Contractor shall be responsible for contacting all parties affected by any disruption of any utility service.

Contractor shall provide a minimum Forty Eight (48) hour notice to, and obtain approval from Operations, Town of Castle Rock Utilities Department, (720) 733-6000, prior to making any connections/tie-ins to existing Water, Sanitary Sewer, and/or Storm Sewer systems.

The Contractor shall have one (1) signed copy of the approved Plans, one (1) copy of the appropriate criteria and specifications, and a copy of any permits and extension agreements needed for the job onsite at all times.

The Contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security.

If during the construction process conditions are encountered which could indicate a situation that is not identified in the Plans or specifications, the Contractor shall contact the TCR Public Works Inspector immediately.

All references to any published Standards shall refer to the latest revision of said Standard unless specifically stated otherwise.

The Contractor shall submit a Traffic Control Plan in accordance with MUTCD to the appropriate Right-of-Way authority (Town, County or State) responsible prior to any construction activities within or affecting the Right-of-Way. The Contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.

The Contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or as designated to be provided, installed, or constructed unless specifically noted otherwise.

The Contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.

The Contractor shall be responsible for recording As-Built information on a set of record drawings kept on the construction site and available to the TCR Public Works Inspector at all times.

Dimensions for layout and construction are not to be annotated from any drawing. If pertinent dimensions are not shown, contact the Consultant Engineer for clarification and scale from the drawing on the As-Built Record drawings.

The Contractor shall comply with all terms and conditions of the Colorado Permit For Storm Water Discharge, the Storm Water Management Plan, and the Erosion Control Plan.

All structural erosion control measures shall be installed at the limits of construction prior to any other earth-disturbing activity. All erosion control measures shall be maintained in good repair by the Contractor until such time as the entire disturbed area is stabilized with hard surface or landscaping.

The Contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, storm sewer and sanitary sewer should be constructed prior to installation of the water lines and dry utilities.

There shall be no site construction activities on Saturdays unless specifically approved by the TCR Public Works Inspector and no site construction activities on Sundays or holidays unless there is prior written approval by the Public Works Director.

No solid object (excluding fire hydrants and traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms, shall be placed within sight distance lines and sight distance easements.

Benchmark the West Quarter Corner of Section 27, T. 7 S., R. 67 W., 6th P.M.  
Elevation = 6174.60 (NAVD 88)  
Bearings are based on the record bearing of N01°44'36"E for the northwest line of the site

**STREET CONSTRUCTION NOTES**

All street construction is subject to the General Notes on the Cover Sheet of these Plans as well as the Street Construction Notes listed here.

A paving section design, signed and stamped by a Colorado registered Professional Engineer, must be submitted to the TCR Public Works Department for approval prior to any street construction activity (full-depth asphalt sections are not permitted at a depth greater than 8" asphalt). The job mix shall be submitted for approval prior to placement of any asphalt.

Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut a minimum distance of 12" from the existing edge to create a clean construction joint. The Developer shall be required to remove existing pavement to a distance where a clean construction joint can be made.

Street subgrades shall be scarified the top 12" and re-compacted prior to sub-base installation. No base material shall be laid until the subgrade has been inspected and approved by the TCR Public Works Inspector.

Valve boxes are to be brought up to grade at the time of pavement placement or overlay. Valve box adjusting rings are not allowed.

**SIGNAGE AND STRIPING NOTES**

All signage and striping is subject to the General Notes on the Cover Sheet of these Plans as well as the Signage and Striping Notes listed here.

All paint shall be 15 mil thick upon installation and 8 mil thick when dry.

All permanent longitudinal pavement striping on asphalt surfaces (centerlines, lane lines, bay lines, etc.) shall be installed using an approved reflective traffic paint or pavement marking tape. Reflective beads shall be applied in accordance with CDOT's Standard Specifications for Road and Bridge Construction and the manufacturer's requirements. When tape is used on an asphalt street, it shall be "rolled" into the final lift. On concrete surfaces tape shall be utilized with a contrasting black edge and grooved into the pavement.

Thermo-plastic applications shall be as specified in the Plans and/or per Town criteria.

All surfaces that accept paint/thermo-plastic striping or pre-formed markings shall be first sandblasted and thoroughly cleaned prior to installation of striping or markings.

All Arrow Markings shall be pre-formed tape, thermo-plastic or epoxy-painted.

Stop Bars shall be 90 mil thermo-plastic.

All roadway signage shall conform to the MUTCD and/or the Town's criteria.

All signposts shall utilize breakaway assemblies and fasteners, per the TCR Standard detail.

**FIRE NOTES**

It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal. Fire apparatus access road is required to allow access within 150' of all exterior of the building by an approved route.

Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. Access road shall be either concrete, asphalt, or other approved alternative material accompanied with an engineer's stamp stating the material will meet a 75,000 lbs imposed load.

Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of vertical construction. No Parking Fire Lane signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of Fire Department access roadways, public or private roadways or driveways less than 26 feet wide. Signs shall be posted on one side only of Fire Department access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for access roadways Fire Department access roadways, public or private roadways or driveways exceeding 32 feet wide. When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to building construction going vertical.

**WATER LINE CONSTRUCTION NOTES**

All water line construction is subject to the General Notes on the cover sheet of these plans as well as the Water Line Construction Notes listed herein.

All water lines shall be 12" ductile iron pipe (DIP), conforming to the requirements of AWWA C500, CL350 (4'-12"), CL250 (14'-20"), CL200 (O24"), with push-on gasketed joints or mechanical joint ends, in conformance with AWWA C111. Pipe shall be cement-lined in accordance with AWWA C104, and an exterior coating in accordance with C151 or 2' PVC pipe conforming to AWWA C900 for pipe sizes 4" to 12", CL305 (DR14) and AWWA C905 for pipe sizes 14" to 16", CL235 (DR18).

Water line fittings shall be DIP conforming to AWWA C153 or C110 and shall have a pressure rating not less than the pipe. All fittings shall be mechanical joint, unless specified otherwise in the Plans.

All DIP and fittings shall be encased in polyethylene to prevent corrosion. Polyethylene wrap, tape and installation kit meet the requirements of AWWA C105.

Gate valves shall be designed and manufactured in accordance with AWWA C509-1 and AWWA C515-01, as appropriate, and shall be ductile iron body and bonnet, resilient-seated wedge gate, non-rising stem type, D-ring seals, and slip-on connections (tapping valves shall be Flange x MJ). Valve ends shall be mechanical joint, unless otherwise specified in the Plans. The valves shall be suitable for a working pressure of 200 PSI. They shall be closed by turning clockwise and shall have two-inch square cast iron operating nuts with an arrow cast in the nut indicating the direction of opening. Valves shall be polyethylene wrapped in accordance with AWWA C105. They shall be of such design as to maintain the full area of the pipe through the valve when open and shall be designed to take full pressure on either face. Valve shall have type 304 stainless steel bonnet bolts and nuts and Type 304 stainless steel D-ring gland bolts and nuts. Valves shall be manufactured by American Flow Control, Kennedy or Mueller and shall have the manufacturer's name or initials and the pressure rating cast on the body.

All fire hydrants shall be "Pacer VB-100" by Watervous Co. or "Super Centurion 200" by Mueller Co., opening to the left. Refer to TCR Standard Detail W-11.

All water lines shall be buried an absolute minimum of 5 feet from final grade to the top of the water main. The maximum bury depth shall be 6 feet, unless additional depth is required for utility crossings or other conflicts. Wherever such crossings or conflicts occur, the TCR standard Detail W-17a shall be used.

All water lines shall be bedded in accordance with TCR standard Detail W-21.

Contractor shall maintain a minimum 18-inch vertical clearance and 10-foot horizontal clearance edge-to-edge between all water lines and any other piped utilities.

All bends, tees, fire hydrants and plugs at dead-end mains shall be restrained from thrust by using Megalug restraints in combination with concrete thrust blocks per the TCR standard Detail W-22.

Contractor shall be responsible for adjusting all fire hydrants and valve boxes to finish grade in accordance with TCR standard details.

All water lines shall be tested in accordance with TCR Public Works Regulations. Contractor shall furnish all materials and perform all procedures for testing, flushing and disinfecting the installed water lines. Testing shall be done in the presence of the TCR Inspector.

Distances for water lines are horizontal distance from the center of the fitting to center of the fitting. Therefore, distances shown on the plans are approximate and could vary due to vertical alignment and fitting dimensions.

All domestic service water lines shall be Type K copper from the main to the meter. The water meter shall be supplied and installed by the TCR Utilities Department, the timing of which must be coordinated by the Contractor.

Water line trenches shall be sloped or braced and sheeted as necessary for the safety of the workers and the protection of other utilities, in compliance with all applicable state and federal requirements. For all excavation operations, safety is the responsibility of the Contractor.

Water lines shall be aligned 6 feet off the north and east gutter flow lines of public streets wherever possible. See Figures 1-1 and 1-3 in Section II, Chapter 1.

Where water line improvements are difficult to locate on the surface, the Contractor shall be required to install permanent water line markers, in accordance with TCR standard Detail W-23, or at the discretion of the TCR Inspector.

Tracer wire shall be used on all DIP and PVC pipe and warning tape shall be placed 1 foot above all DIP and PVC pipe. Test stations are to be made of high impact ABS plastic and heavy duty cast iron collars and covers ASTM Class 25 or Higher. Recommended manufacturer is Test Services - VALVCO, Inc.

The minimum distance between tees, crosses, valves, and bends shall be 10 feet wherever possible.

All bends, crosses, tees, fire hydrants, and plugs at dead-end mains shall be restrained from thrust by using concrete thrust blocks per the TCR standard Detail W-22.

Maximum deflection for water mains shall not exceed one-half of the manufacturer's maximum allowable deflection or 2.5 degrees, whichever is less.

All residential water service lines shall be constructed perpendicular to the front property line in conformance with the TCR Public Works Regulations.

The size of the domestic water service tap, line, meter and backflow prevention assembly shall be the same to a minimum distance to 10 pipe diameters past the backflow prevention assembly.

The maximum deflection of domestic water service lines and irrigation lines shall not exceed the manufacturer's maximum allowable deflection.

The size of the irrigation tap, line, meter and backflow prevention assembly shall be the same to a minimum distance of 10 pipe diameters past the winterization tee.

The minimum horizontal separation between utility lines carrying the same material (e.g. water and water) shall be 5 feet.

**STORM DRAINAGE CONSTRUCTION NOTES**

All storm drainage construction is subject to the General Notes on the Cover Sheet of these Plans as well as the Storm Drainage Construction Notes listed here.

All storm drainage pipes shall be reinforced concrete pipe (RCP) per ASTM C76, CL III installed with flexible plastic (bitumen) gaskets, according to the manufacturer's installation guidelines. PVC, SDR-35 shall be in accordance with ASTM D-3034; HDPE pipe shall be in accordance with the TCR Public Works Regulations. Any storm drainage pipe under a proposed or future traffic area shall be RCP CL III as a minimum. RCP to be jacked shall be CL-V as a minimum.

All storm drainage pipes shall have a minimum cover of 24' unless load calculations are provided. Under no circumstances will any pipe have less than 18' cover from the finish surface to the outside wall of the pipe.

All storm drainage pipes shall be bedded in accordance with TCR Standard detail SD-2.

All storm drainage trenches shall be sloped or braced and sheeted as necessary for the safety of the workers and the protection of other utilities and in compliance with all applicable State and Federal requirements. All excavation operation safety is the responsibility of the Contractor.

All manhole rim elevations given on these Plans are to be considered approximate. The Contractor shall set the final rim elevation based on the completed finish surface.

All storm drainage pipes shall have a minimum horizontal separation of 10' from all water lines. Where lines cross, there shall be a minimum of 18' clear vertical separation.

**SANITARY SEWER CONSTRUCTION NOTES**

All sanitary sewer construction is subject to the General Notes on the cover sheet of these plans as well as the Sanitary Sewer Construction Notes listed herein.

All sanitary sewer pipelines shall be PVC, SDR-35, in accordance with ASTM D-3034, bell and spigot with elastomeric seal.

All sanitary sewer pipelines shall have a minimum cover of 5 feet and a maximum cover of 20 feet. Any manhole with a depth exceeding 20 feet shall be constructed with an intermediate platform, per TCR standard Detail SS-5.

All sanitary sewer pipelines shall be bedded in accordance with TCR standard Detail SS-8.

All manhole rim elevations given on these plans are considered approximate. The Contractor shall set the final rim elevation based on the complete finish surface.

Sanitary sewer pipeline shall be aligned 6 feet off the south and west gutter flow lines of public streets wherever possible. See Figures 1-1 and 1-3 in Section II, Chapter 1.

All sanitary sewer lines shall have a minimum horizontal separation of 10 feet edge-to-edge from all water lines. Where lines cross, there shall be a minimum of 18' clear vertical separation.

All sanitary sewer lines must be tested in accordance with TCR Public Works Regulations in the presence of a TCR Inspector.

All sanitary sewer line trenches shall be sloped or braced and sheeted as necessary for the safety of the workers and the protection of other utilities, in compliance with all applicable state and federal requirements. All excavation operation safety is the responsibility of the Contractor.

Sanitary sewer service lines shall be connected a minimum of 5 feet outside of manholes with a wye connection in accordance with TCR standard Detail SS-2.

Minimum cover for sanitary sewer service lines shall be 5 feet and the minimum slope shall be 0.02.

All sanitary sewer service lines shall be constructed along the shortest and straightest route possible in conformance with the TCR Public Works Regulations.

The minimum horizontal separation between utility lines carrying the same material (e.g. wastewater and wastewater) shall be 5 feet.

The Plum Creek Wastewater Authority must approve all and grease interceptors for commercial installations.

**LANDSCAPE NOTES**

Non-irrigated native seed areas shall be installed using the Town of Castle Rock Grading Erosion and Sediment Control Manual (GESD) standard detail #17.

No turf and/or overhead irrigation on slopes 3:1.

No slopes greater than 3:1 are permitted.

Top soil, if disturbed shall be stock piled and reused on the site.

No more than sixty percent of the total commercial landscape area shall include irrigated turf grass.

No individual plant may have supplemental water demand greater than 15' per growing season.

**IRRIGATION NOTES**

The irrigation system shall be equipped with a backflow prevention assembly approved by the Town of Castle Rock.

Irrigation tap, line, meter and backflow prevention assembly must be the same size from the tap to a minimum distance of 10 pipe diameters past the backflow prevention assembly and winterization tee.

Water waste is not allowed per the Town of Castle Rock's Water Use Management Plan. Therefore, all nozzles are to be fine tune/adjusted so that overspray onto hard surfaces is eliminated.

Irrigation is not permitted on 3:1 slopes.

Velocity shall not exceed 7.5 FPS through the water meter.

No overhead irrigation in areas less than 10 feet wide.

There is to be neither plant material nor irrigation in areas less than 4 feet wide.

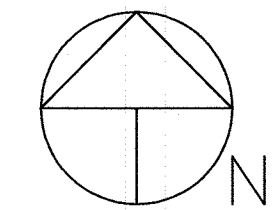
Prepared by the office of:  
Oliver E. Watts Consulting Engineer, Inc.  
614 Elkton Drive Colorado Springs, CO 80907  
719-593-0173  
oliewatts@aol.com  
Celebrating over 37 years in business

DRAWN BY: O.E. WATTS DATE: 3-11-16 DWG. NO.: 15-4805-06	APPROVED BY: PROJ. NO. DWS.	REVISIONS	OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS	PROJECT LOT 1, METZLER RANCH FIL. NO. 1 DOUGLAS COUNTY, COLORADO	SHEET NO. 2 OF 8	<h2 style="margin: 0;">GENERAL NOTES</h2>	Project No. SDP 16-0017
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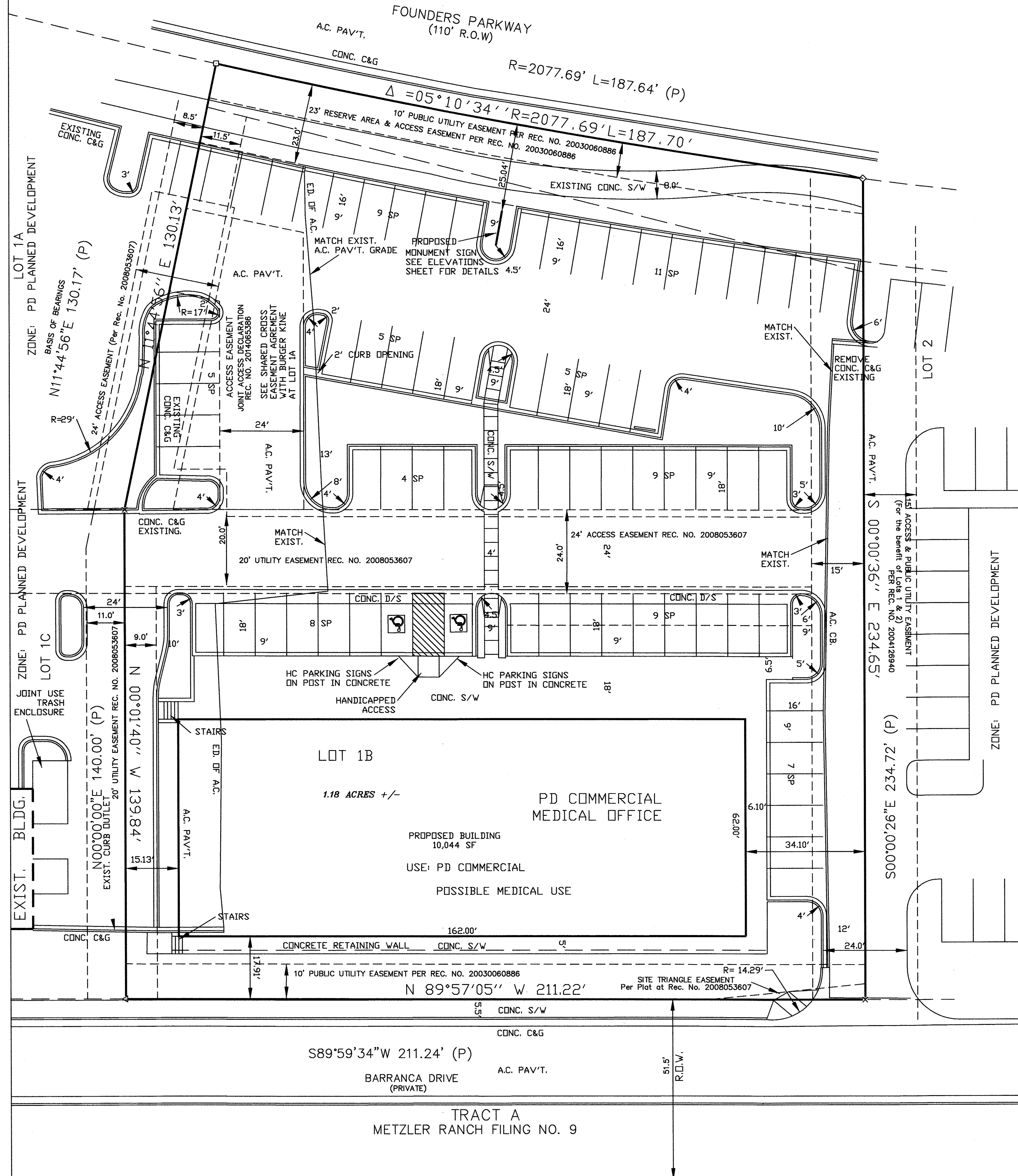
# SITE DEVELOPMENT PLAN

## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



1" = 20'



**LEGEND:**

- x FOUND SCRIBED 'X' IN CONCRETE
- FOUND ORANGE #25033 CAP ON #4 REBAR
- ◁ FOUND ORANGE #35583 CAP ON #4 REBAR
- ◇ FOUND YELLOW #22584 CAP ON #4 REBAR
- WATER METER PIT
- WATER METER
- ⊕ WATER VALVE
- ⊕ WATER STOP BOX
- ◇ FIRE HYDRANT
- FIBER OPTIC VAULT
- LIGHT POLE
- ⊠ ELECTRICAL VAULT
- SEWER MANHOLE

**Land use data:**

Jurisdiction Town of Castle Rock  
 Existing zoning Meltzer Ranch Pd (commercial)  
 Proposed land use Commercial (medical office)

Use	Area - SF	Percent
Building	10044	19.5
Parking	11502	22.3
Street	20634	40.1
Open Space/Landscaping	9315	18.1
<b>Total</b>	<b>51495</b>	<b>100.0</b>

Net site area 51,495 sf / 1.18 ac.

**Parking:**

**Proposed parking:**  
 STANDARD PARKING STALLS 70 SPACES  
 ACCESSIBLE PARKING STALLS 2 SPACES  
 TOTAL PARKING PROVIDED 72 SPACES  
 REQUIRED PARKING 51 SPACES (5 PER 1000 GROSS SF)  
 \*\*SEE CROSS PARKING AGREEMENT AND SDP AT RECEPTION NUMBERS 2014065386 AND 2014067554 FOR SHARED PARKING BETWEEN LOTS 1A AND 1B

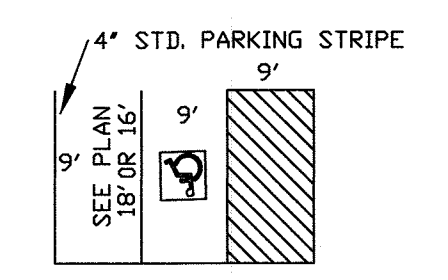
**Building Heights:**

Tower = 33'0"  
 Parapet = 20'4"

**BUILDING SETBACKS**

SOUTH PROPERTY LINE	17'-11"
EAST PROPERTY LINE	34'-1"
WEST PROPERTY LINE	15'-1"
NORTH PROPERTY LINE	216'-10"

Unofficial Copy



PARKING SPACE DETAIL  
1"=20'

**GENERAL NOTES:**

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONAL TIES ARE FROM PROPERTY LINE TO FACE OF BUILDING.
3. SIGNS TO COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED.
4. LIGHTING WITHIN THE PROJECT SHALL COMPLY WITH TOWN OF CASTLE ROCK REQUIREMENTS.
5. REFER TO UTILITY PLANS FOR LOCATION OF UTILITIES AND DRAINAGE FACILITIES.
6. THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM THAT MEETS THE REQUIREMENTS OF THE LOCAL FIRE AUTHORITY.
7. SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. HANDICAPPED ACCESSIBLE ROUTES SHALL SLIDE IN DIRECTION OF TRAVEL.
8. THE SHARED TRASH AND PARKING AGREEMENT IS RECORDED AT RECEPTION NO. 2008055431.

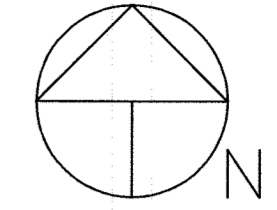
Prepared by the office of:  
 Oliver E. Watts, Consulting Engineer, Inc.  
 614 Elkton Drive  
 Colorado Springs, CO 80907  
 (719) 593-0173  
 olleiwatts@aol.com  
 Celebrating 37 years in Business

DRAWN BY: O.E. WATTS DATE: 3-4-16 DWG. NO.: 15-4805-05 <small>BASIC PLAN BY: ARCHER &amp; ASSOCIATES, I-85-14                  SURVEYED BY: DEW, ESQ., 2-17-16</small>	APPROVED BY: PROJ. NO. DWG.	REVISIONS 4-14-16 CLIENT REQUESTS DEW	OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS	PROJECT LOT 1B, METZLER RANCH F#9 2ND AMENDMENT DOUGLAS COUNTY, COLORADO	SHEET NAME <h1 style="margin: 0;">SITE PLAN</h1>	SH. NO. 3 OF 8	PROJECT NO. SDP16-0017
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# SITE DEVELOPMENT PLAN

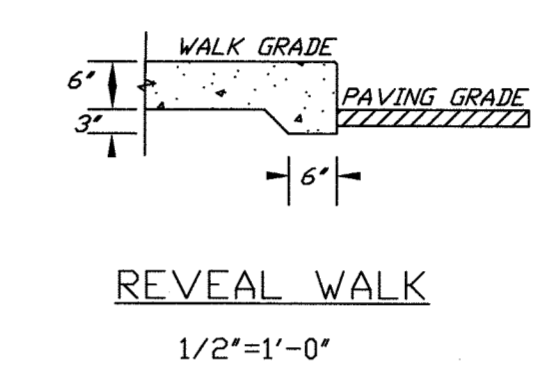
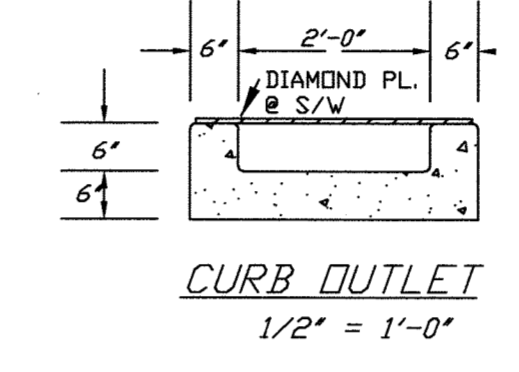
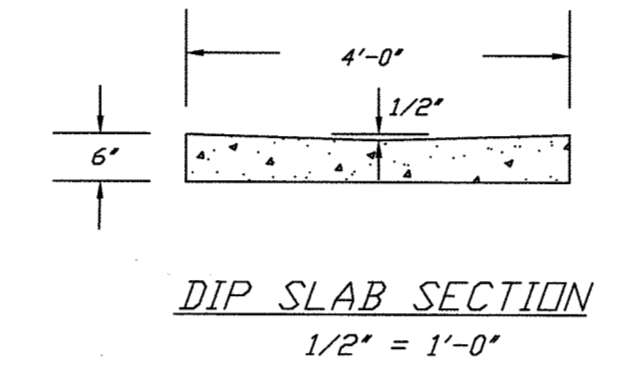
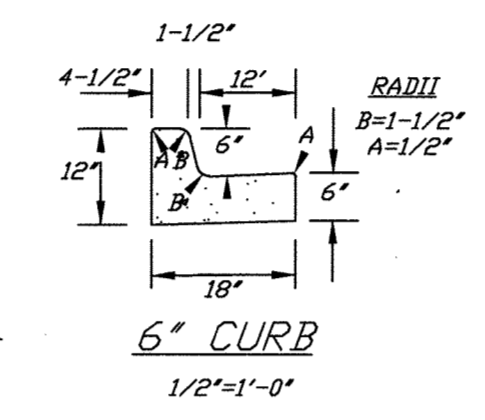
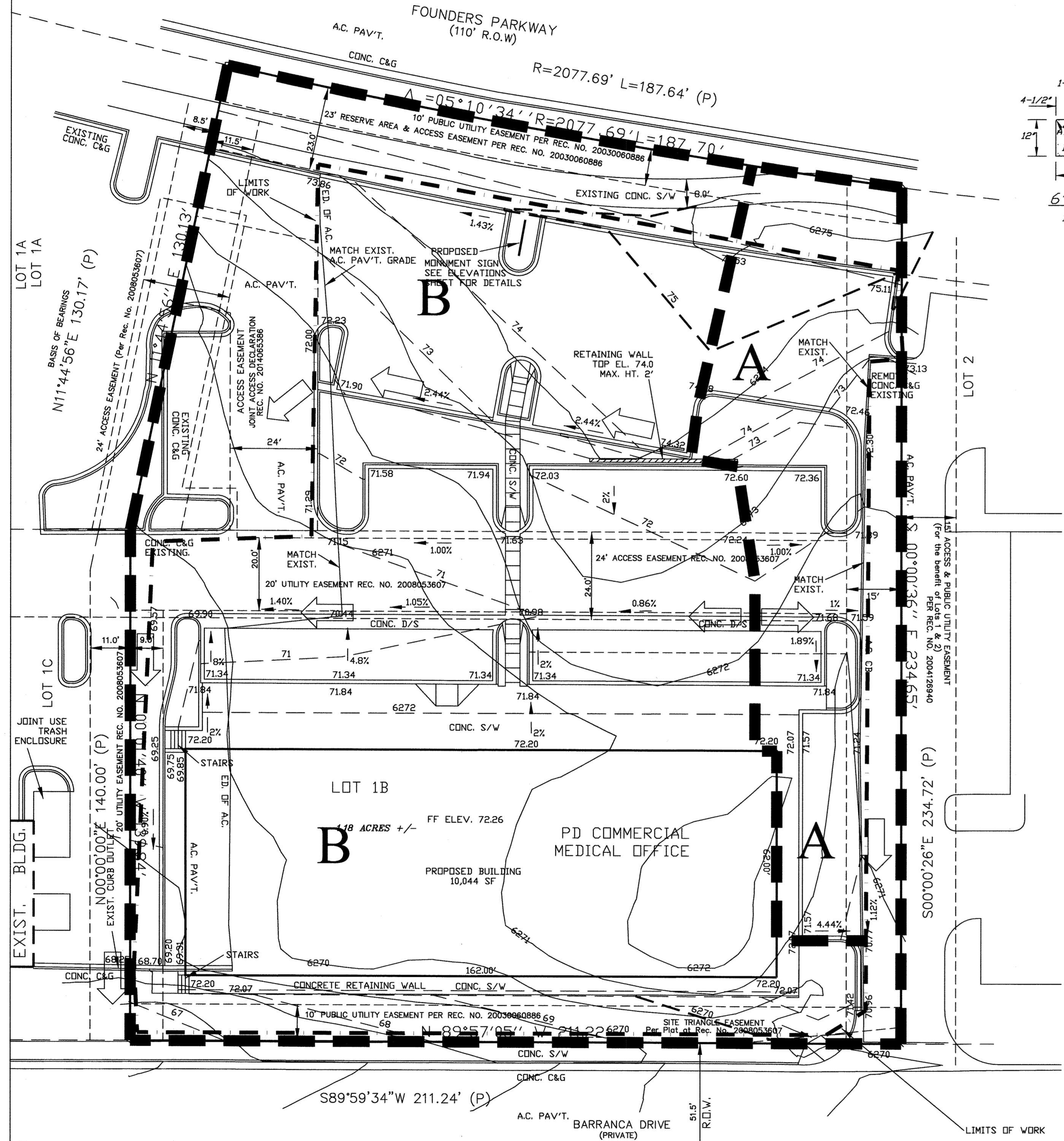
## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



Scale 1" = 20'  
Contour Interval: 1'

BENCH MARK:  
W1/4 SECTION 27, T.7S., R.67W., 6TH P.M.  
ELEV. 6174.60, NGVD 1988 DATUM



**LEGEND:**

- ✕ FOUND SCRIBED #X IN CONCRETE
- FOUND ORANGE #25033 CAP ON #4 REBAR
- ◁ FOUND ORANGE #35583 CAP ON #4 REBAR
- ◇ FOUND YELLOW #22584 CAP ON #4 REBAR
- WATER METER PIT
- WATER METER
- ✦ WATER VALVE
- ⊕ WATER STOP BOX
- ⊙ FIRE HYDRANT
- FIBER OPTIC VAULT
- LIGHT POLE
- ⊞ ELECTRICAL VAULT
- ⊙ SEWER MANHOLE

**LEGEND:**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT LINE
- - - ORIGINAL GROUND CONTOURS
- 6255 1'
- 6250 1'
- 51 1'
- LIMITS OF WORK

**LEGEND:**

- DIRECTION OF RUNOFF
- ■ A LIMIT OF DRAINAGE SUB-BASIN AND DESIGNATION

Unofficial Copy

**NOTES:**

1. ADD 6200' TO ALL SPOT ELEVATIONS
2. SPOT ELEVATIONS ARE TO FLOW LINE OF CURB UNLESS NOTED OTHERWISE.
3. ACCESSIBLE ROUTE SHALL BE CONSTRUCTED SO THAT NO CROSS SLOPES EXCEED 1:50 (2%) AND NO LONGITUDINAL SLOPES EXCEED 1:20 (5%) UNLESS THE AREA IS DESIGNATED ACCESSIBLE RAMP. ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 36' WIDE UNLESS OTHERWISE SPECIFIED.
4. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED SO THAT NO SLOPE EXCEEDS 1:50 (2%) IN ANY DIRECTION.
5. ALL AREAS IN THE PROPOSED ACCESSIBLE PARKING STALLS SHALL BE CONSTRUCTED SO THAT NO SLOPE EXCEED 1:50 (2%) IN ANY DIRECTION.
6. REFERENCE GEOTECHNICAL REPORT FOR SUBGRADE SOIL REQUIREMENTS.
7. ALL PAVING SHALL BE CONSTRUCTED PER FINAL GEOTECHNICAL RECOMMENDATIONS.
8. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR HARDSCAPE ADJACENT TO BUILDINGS (BACK OF ADJACENT CURB TO FACE OF BUILDING).
9. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR CONCRETE JOINT SPACING ADJACENT TO PROPOSED BUILDING.
10. CONTRACTOR SHALL COORDINATE ALL FIELD AND SIGN LOCATIONS WITH LOCAL FIRE MARSHALL.

**STORMWATER TREATMENT:**

1. THE METZLER RANCH COMMERCIAL CENTER HAS BEEN PREVIOUSLY DESIGNED TO ACCOMMODATE THE BUILD-OUT OF THIS PARCEL. A CDS UNIT HAS BEEN INSTALLED ON THE SITE'S DRAINAGE SYSTEM. THIS UNIT SATISFIES THE WATER QUALITY REQUIREMENT FOR THE NEW DEVELOPMENT.

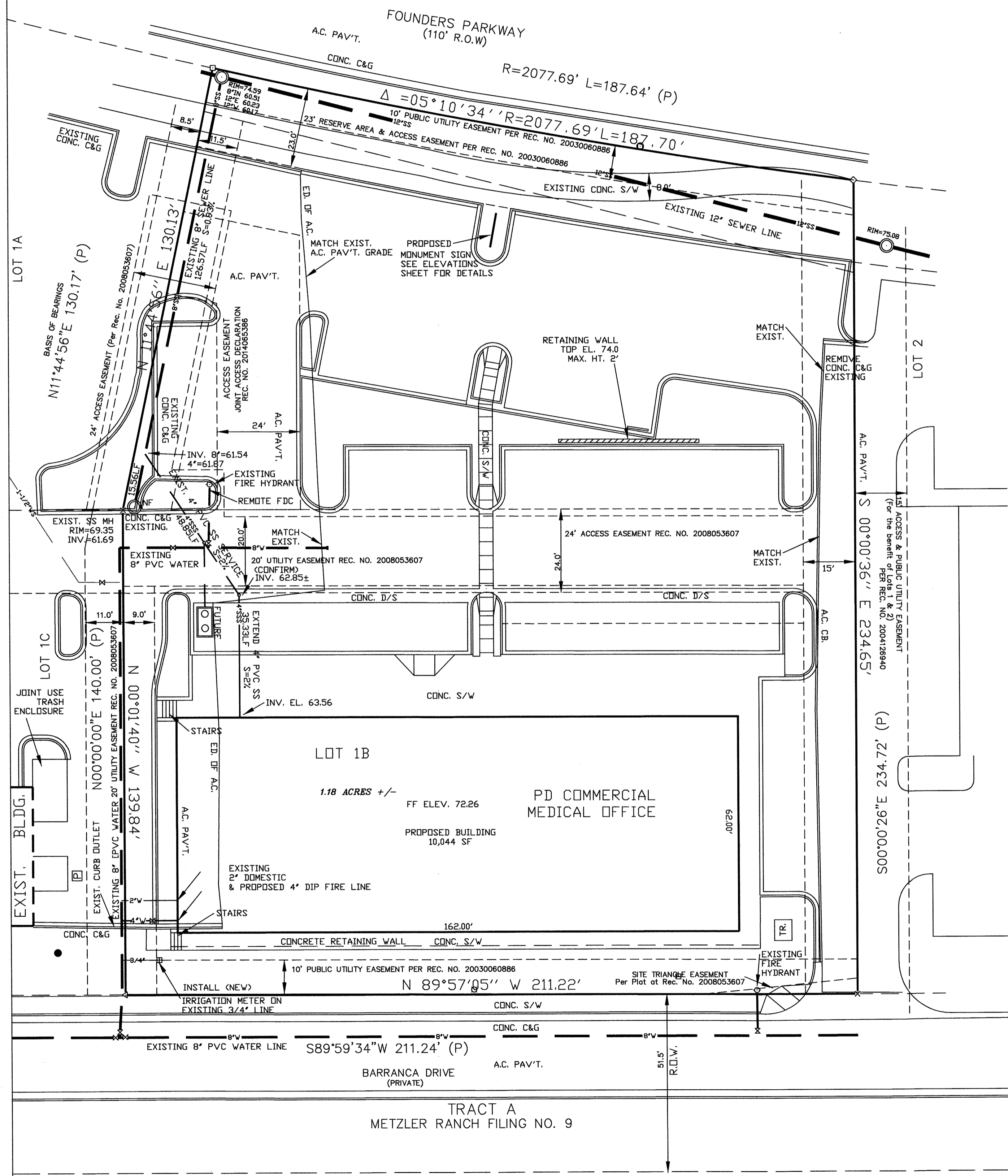
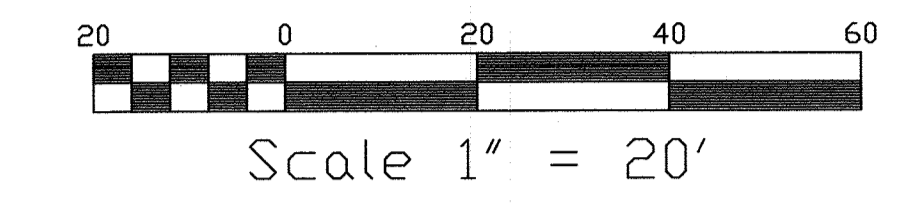
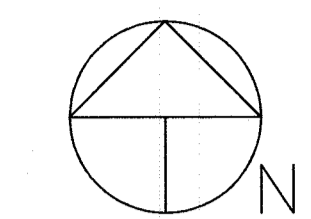
Prepared by the office of:  
Oliver E. Watts, Consulting Engineer, Inc.  
614 Elkton Drive  
Colorado Springs, CO 80907  
(719) 593-0173  
oliewatts@aol.com  
Celebrating 37 years in Business

DRAWN BY: O.E. WATTS	APPROVED BY:	REVISIONS 4-14-16 CLIENT REQUESTS	DEW	PROJECT	SHT. NAME
DATE: 3-4-16	PROJ. NO.			LOT 1B, METZLER RANCH F#9 2ND AMENDMENT DOUGLAS COUNTY, COLORADO	GRADING AND DRAINAGE PLAN
DWG. NO.: 15-4805-02 A	DWG.				
BASE PLAN BY: ARCHER & ASSOCIATES, 1-25-14 SURVEYED BY: DEW, ESW, S-17-16					

# SITE DEVELOPMENT PLAN

## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



**LEGEND:**

- ✕ FOUND SCRIBED 'X' IN CONCRETE
- ◻ FOUND ORANGE #25033 CAP ON #4 REBAR
- ◁ FOUND ORANGE #35583 CAP ON #4 REBAR
- ◇ FOUND YELLOW #22584 CAP ON #4 REBAR
- WATER METER PIT
- WATER METER
- ⊕ WATER VALVE
- ⊞ WATER STOP BOX
- ◇ FIRE HYDRANT
- FIBER OPTIC VAULT
- LIGHT POLE
- ⊞ ELECTRICAL VAULT
- SEWER MANHOLE

**LEGEND:**

- 8" — WATER LINE - EXIST
- 8" — WATER LINE - NEW
- ⊕ ● FIRE HYDRANT - NEW
- ⊕ ○ FIRE HYDRANT - EXIST.
- ⊞ ○ REDUCER - EXIST
- ⊞ — REDUCER - NEW
- ⊞ — PLUG - EXIST

**FIRE NOTES**

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
7. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

**UTILITY NOTES**

1. All proposed easements must be recorded prior to issuance of construction permits.
2. The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
3. The minimum separation between water service lines is 5 feet.
4. This site is located within the Town of Castle Rock (blue) water pressure zone

**FIRE FLOW NOTES:**

Minimum required fire flow = 2,250 GPM  
 \*Exception: Flow reduction by 75% is allowed with auto-sprinkler system is installed. Resulting fire flow shall not be less than 1,500 GPM

Prepared by the office of:  
 Oliver E. Watts, Consulting Engineer, Inc.  
 614 Elkton Drive  
 Colorado Springs, CO 80907  
 (719) 593-0173  
 olleewatts@aol.com  
 Celebrating 37 years in Business

DRAWN BY: O.E. WATTS DATE: 3-4-16 DWG. NO.: 15-4805-04 BASE PLAN BY: ARCHER & ASSOCIATES, 1-25-14 SURVEYED BY: DEW, ESS, 2-17-16	APPROVED BY: PROJ. NO. DWG.	REVISIONS 4-14-16 CLIENT REQUESTS 5-3-16 IRRIGATION METER	DEW DEW	OLIVER E. WATTS CONSULTING ENGINEER COLORADO SPRINGS	PROJECT LOT 1B, METZLER RANCH F#9 2ND AMENDMENT DOUGLAS COUNTY, COLORADO	SHEET NAME <h2 style="text-align: center;">UTILITY PLAN</h2>	SHEET NO. 5 OF 8 PROJECT NO. SDP16-0017
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# SITE DEVELOPMENT PLAN

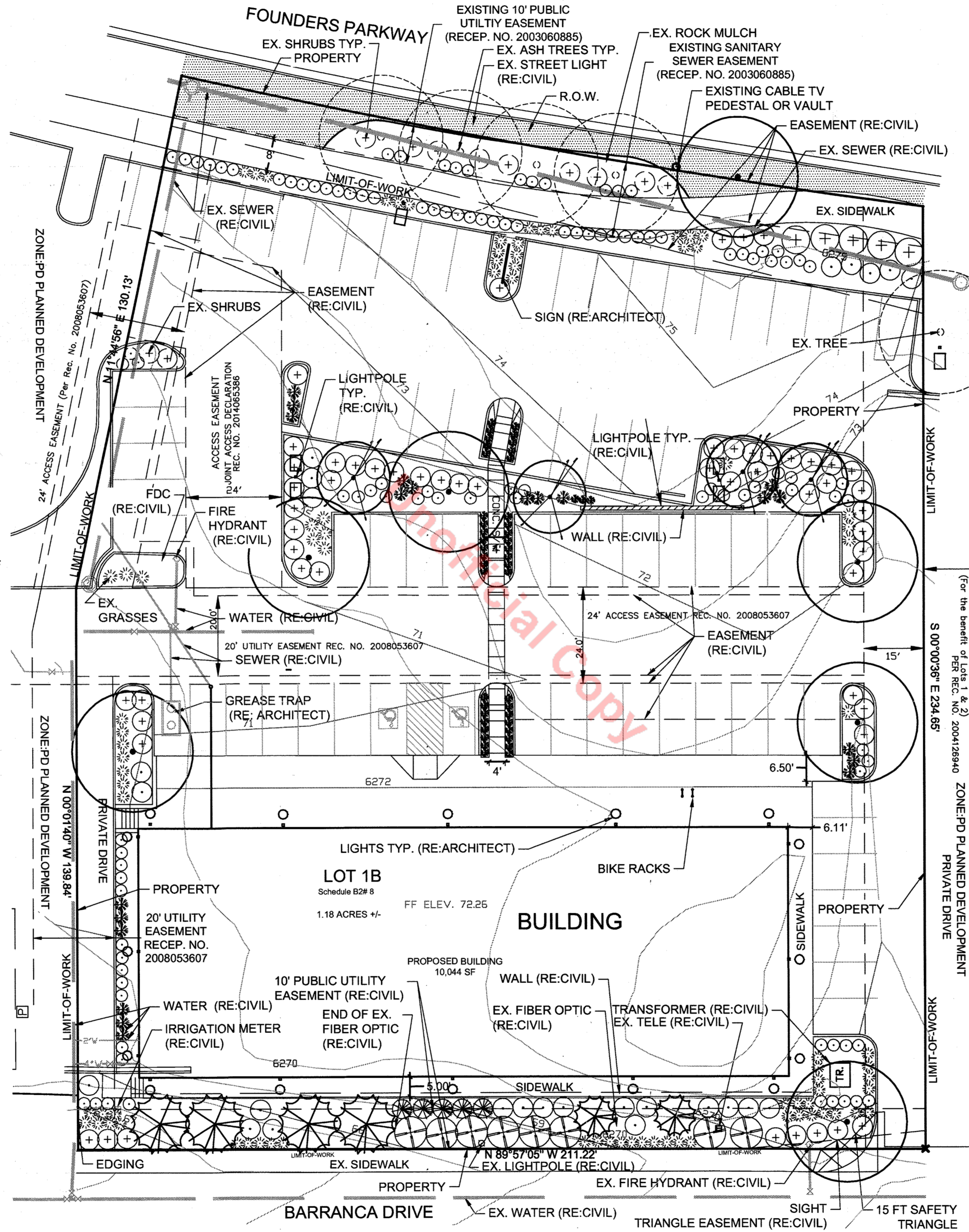
## LOT 1B METZLER RANCH FILING NO. 9, 2ND AMENDMENT SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PLANT SCHEDULE	
SYMBOL	TAG
DECIDUOUS CANOPY TREES (LARGE CANOPY)	2 & 3
	LOW TO MODERATE
DECIDUOUS ORNAMENTAL TREES	2 & 3
	VERY LOW TO LOW
EVERGREEN TREES	1 & 2
	VERY LOW TO LOW
GROUNDCOVERS	2
	LOW
COLUMNAR EVERGREEN TREES	1 & 2
	VERY LOW
DECIDUOUS SHRUBS	1 & 2 & 3
	VERY LOW TO MODERATE
PERENNIALS	2 & 3
	VERY LOW TO MODERATE
ORNAMENTAL GRASSES	1 & 2 & 3
	VERY LOW TO MODERATE

EXISTING BLUE GRASS MIX (IRRIGATED)  
\* EXISTING TURF GRASS & EXISTING SHRUBS ALONG FOUNDERS PKWY METER IS LOCATED AT 682 BARRANCA DRIVE.

EX. PLANT SCHEDULE	
+	EXISTING DECIDUOUS CANOPY TREES
+	EXISTING GROUNDCOVERS
+	EXISTING DECIDUOUS SHRUBS
+	EXISTING ORNAMENTAL GRASSES

- TOWN OF CASTLE ROCK CONCEPT PLAN NOTES:**
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
  - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
  - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
  - KEEP ALL TREES MINIMUM 10' CLEAR FROM WATER, SANITARY SEWER MAINS, PUBLIC STORM LINES AND 5' CLEAR FROM GAS, ELECTRIC, AND 5' CLEAR FROM PRIVATE STORM LINES.
  - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
  - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
  - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
  - SIGHT DISTANCE TRIANGLE AREAS MUST BE KEPT FREE OF VISUALLY OBSTRUCTING LANDSCAPE FEATURES (30 INCHES OR TALLER) AT MATURE SIZE.
  - NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FINISH ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTING, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
  - SLOPE CALLOUTS & SIDEWALK DIMENSIONS SHOWN ON LANDSCAPE PLANS ARE PLACED FOR INFORMATIONAL PURPOSES ONLY. SEE CIVIL PLANS FOR GRADING AND HARDSCAPE LAYOUT.



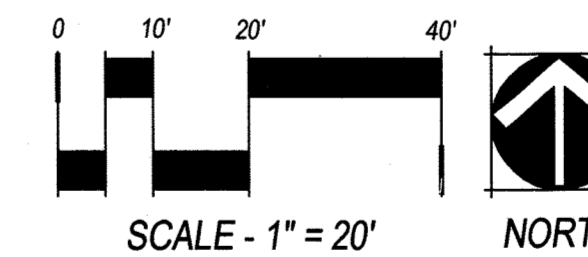
SITE DATA TABLE					
Site Data	Actual SF	Min Area SF Required	% Required	% Provided	CY Compost Req'd @ 4/1000 SF
Gross Site Area:	51,495	N.A.	N.A.	100%	N.A.
Building Coverage:	10,044	N.A.	N.A.	20%	N.A.
Hard Surface Area:	32,136	N.A.	N.A.	62%	N.A.
Total Landscaped Area (Excluding R.O.W.):	9,315	5,150	10	18%	N.A.
Landscaped Area (Shrubs, Perennials, Ornamental Grasses):	8,739	N.A.	N.A.	N.A.	N.A.
Irrigated Turf (Existing & Currently on Separate Tap & Includes R.O.W.):	1,056				
Irrigated Turf (Existing & Currently on Separate Tap & Excludes R.O.W.):	576				
Shrubs (Existing & currently on Separate Taps):	1,232				
Total Non-Living Ornamental:	118	N.A.	N.A.	N.A.	N.A.
Permanently Irrigated Landscape (Excluding Existing Turf and Existing Shrubs):	7,389	N.A.	N.A.	N.A.	30
ROW	1,123	N.A.	N.A.	N.A.	N.A.
TOTAL CY OF COMPOST:					30

LANDSCAPE REQUIREMENTS											
Area	Square Footage	Min. 10% SF Landscaped	Min. 10% SF Landscaped	Square Foot Landscaped	Trees Required 2/1000 SF	Linear Feet	Trees Required 1/40 LF	Trees Provided	Shrubs Required 4/1000 SF	Shrubs Required 4/Tree	Shrubs Provided
Parking Lot Area	22,015	N.A.	2,202	3,296	5.0	N.A.	N.A.	9	9	N.A.	80
Gross Site Area	51,495	5,150	N.A.	9,315	11.0	N.A.	N.A.	11	21	N.A.	176
Founder's Pkwy R.O.W. Landscaped Area	1,081	N.A.	N.A.	N.A.	N.A.	188	5	5	N.A.	20	20
Barranca Drive R.O.W. Landscaped Area	41	N.A.	N.A.	N.A.	N.A.	198	5	5	N.A.	20	20

### Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Scott Ohm**  
 Town of Castle Rock Registration # 15-1161 State of Colorado License Landscape Architect # 830  
 Company Name **Grounded by Design, LLC** Address **P.O. Box 1953**  
 Phone **303.872.7807** Email **design-info@groundedbydesign.com** Date **6/1/2016**  
 PROJECT NAME **4404 BARRANCA**

Gross Site Area	Landscaped Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
51,495	9,328		118	11	11	21	176	4	Yes X No
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscaped Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscaped Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
22,015	3,296	72	0	12	4	5	9	9	80



**BEFORE YOU DIG**  
CALL UTILITY NOTIFICATION  
**811**  
CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**NOT FOR CONSTRUCTION**

**grounded by design**  
LANDSCAPE ARCHITECTURE  
P.O. Box 1953  
Wheat Ridge, CO 80034  
Office: (303) 872-7807  
www.groundedbydesign.com

SCOTT OHM, RLA  
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT #830  
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUND BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUND BY DESIGN, LLC.

## SHEET 6 OF 8

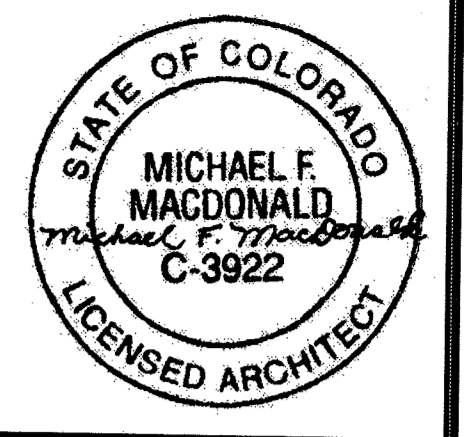
### LANDSCAPE PLAN & SCHEDULES

PLANS PREPARED FOR: **4404 BARRANCA, LLC**  
422 E. VERMIJO AVE.  
COLORADO SPRINGS, CO 80903

4404 BARRANCA DRIVE  
LOT 1B METZLER RANCH FILING NO. 9, 2ND AMENDMENT  
DOUGLAS COUNTY, COLORADO  
SITE DEVELOPMENT PLAN  
SPD # 16-0017

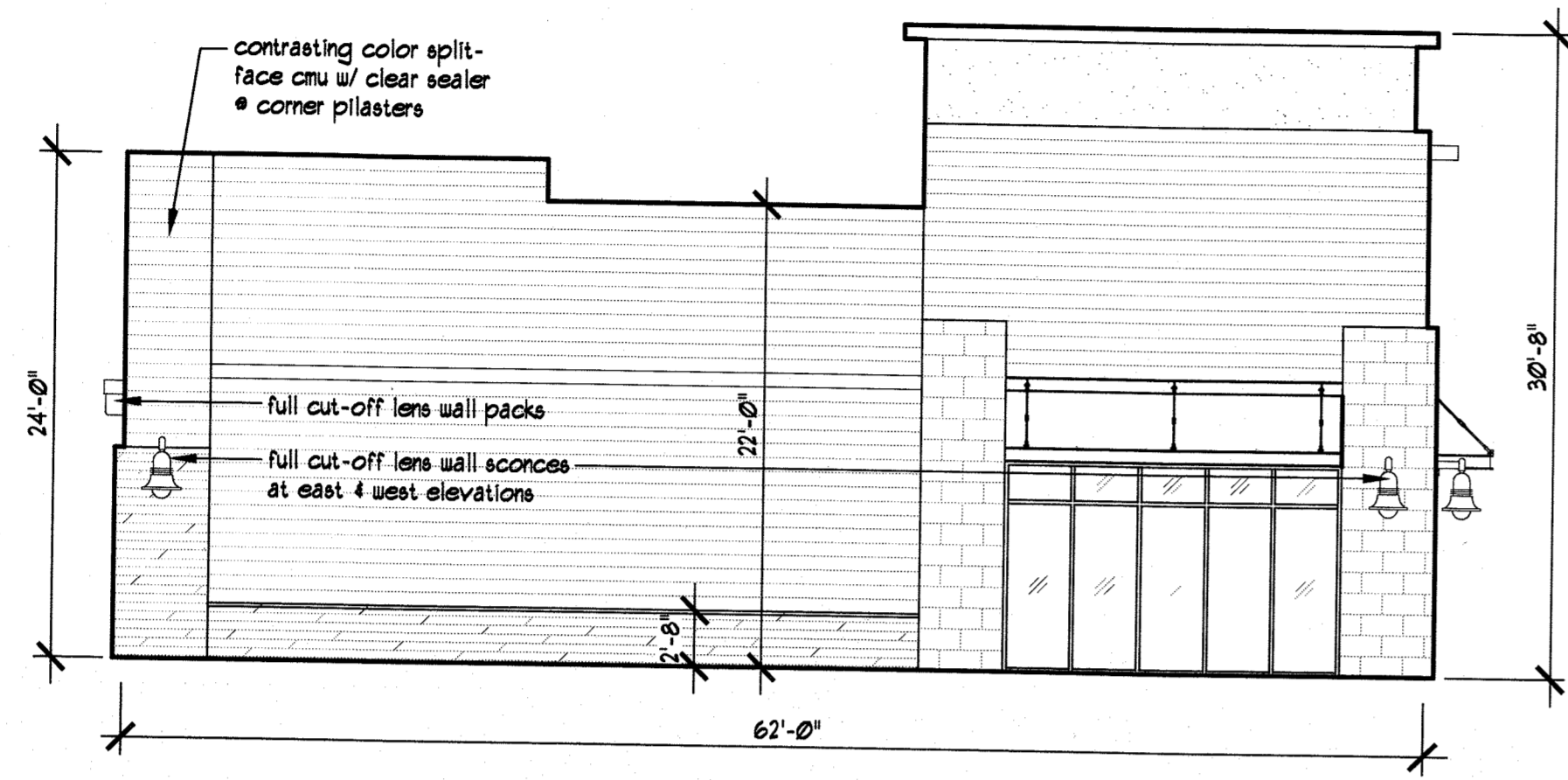
# SITE DEVELOPMENT PLAN

LOT 18 METZLER RANCH FILING NO. 9, 2ND AMENDMENT  
 SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6th P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

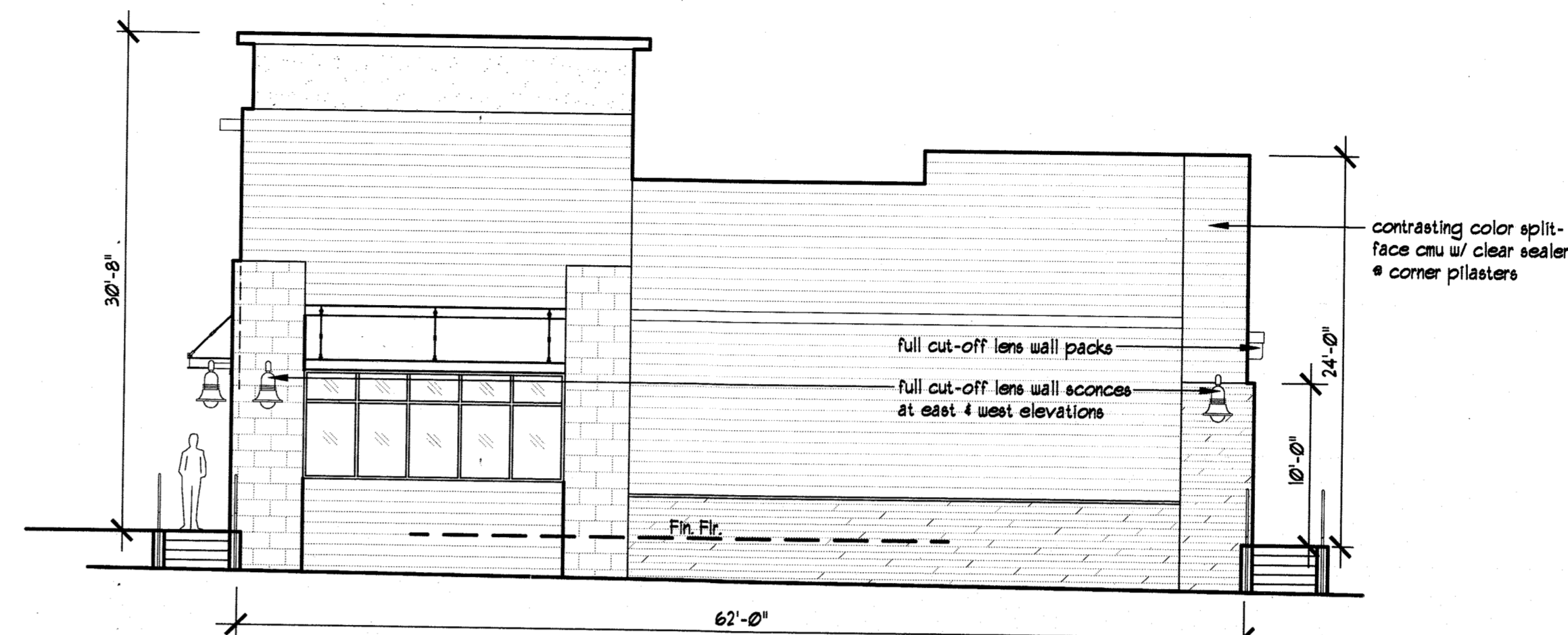


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DATE: 6/12/16
DRAWN BY: MFY
CHECKED BY: MFY
SCALE: AS NOTED

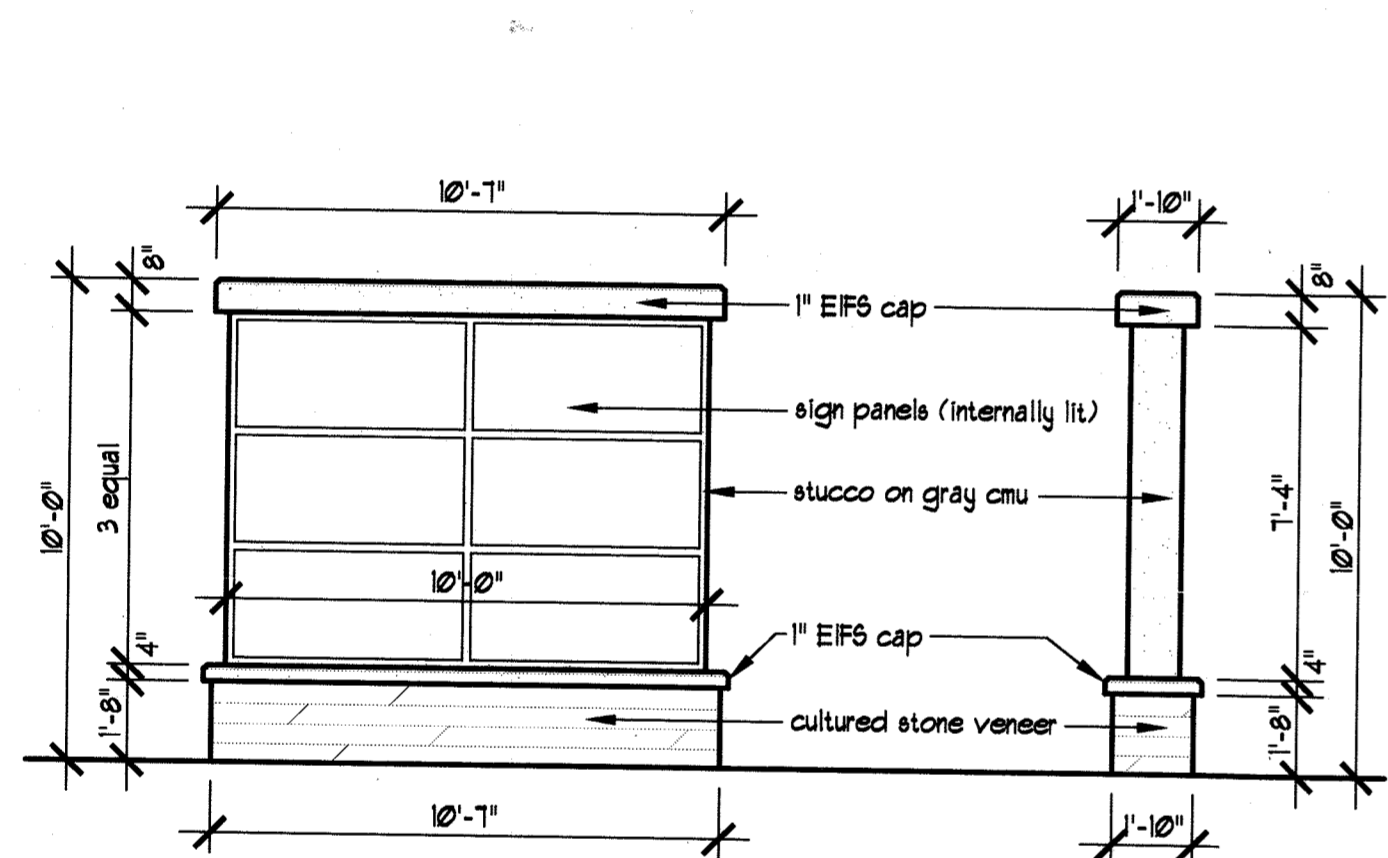
REVISIONS:
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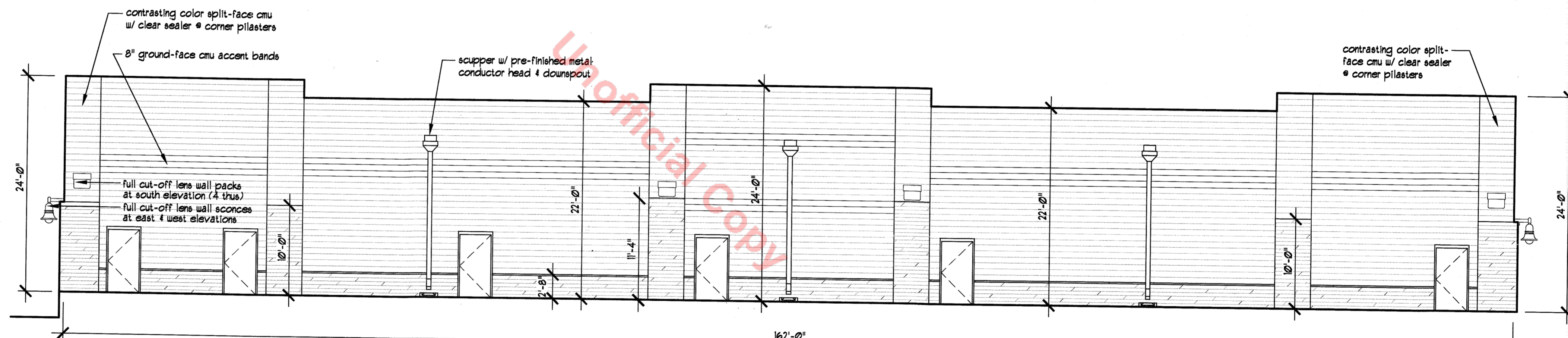
**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



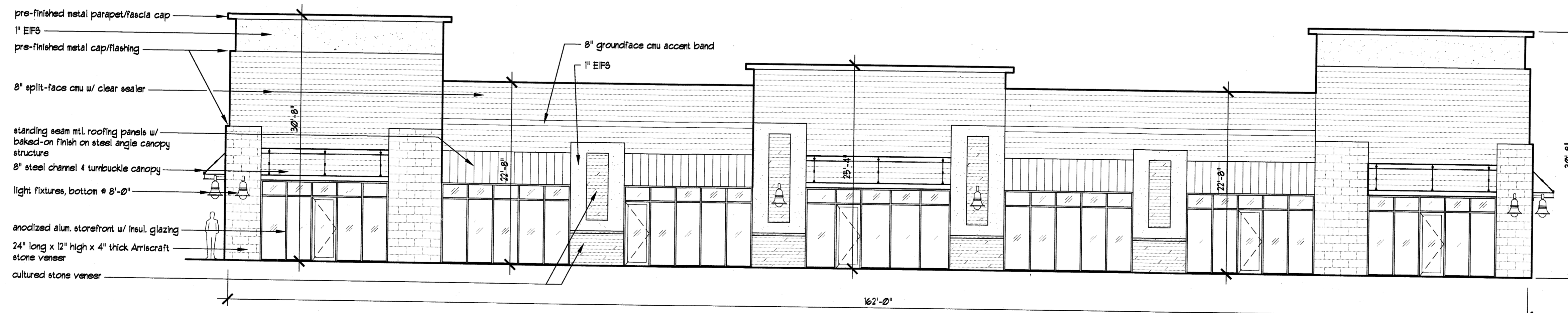
**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**MONUMENT SIGN**  
 SCALE: 1/4" = 1'-0"



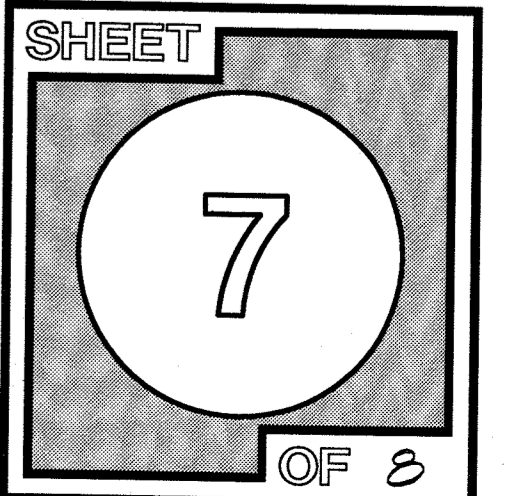
**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**MACDONALD & associates**  
 architects/planners  
 422 E. Vermo, Suite 205  
 Colorado Springs, Colorado 80903  
 (719) 473-1123

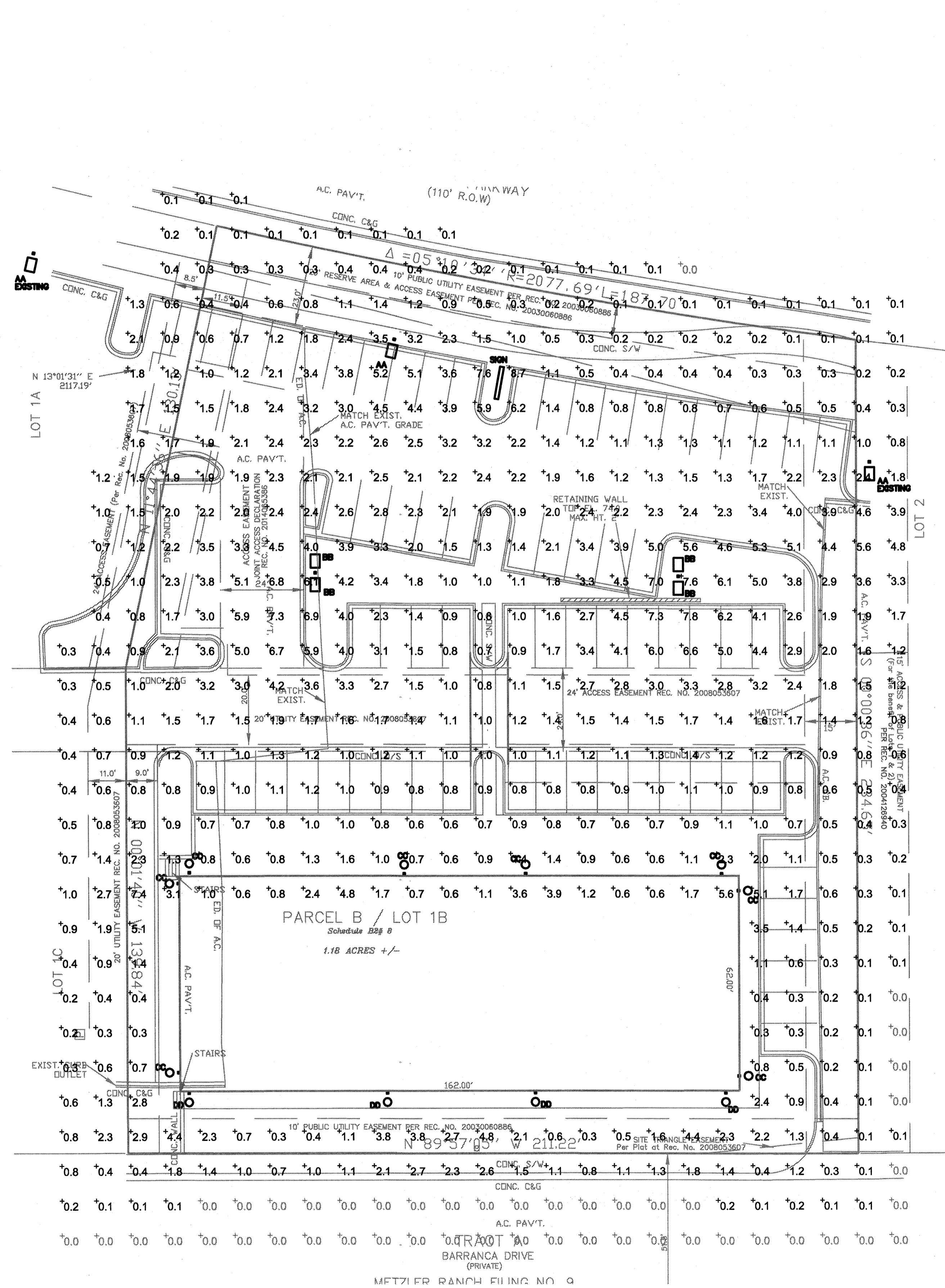
**BARRANCA SHELL BLDG.**  
 4404 BARRANCA DR.  
 CASTLE ROCK, COLORADO



# SITE DEVELOPMENT PLAN

## LOT 1B METZLER RANCH FILING NO. 9 2ND AMENDMENT

SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST, 6TH P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



TYPE	FIXTURE QUANTITY	MFR	CATALOG NO.	LAMPS				LLF	MTG	DESCRIPTION	NOTES	VOLTS	FIXTURE WATTS
				QTY	WATT	TYPE	LUMENS						
AA	1	KIM	1A RA254 250MH 120 TYPE IV DISTRIBUTION, HOUSE SIDE SHIELD	1	250	MH	28,500	1	POLE 20'-0"	FULL CUTOFF SINGLE HEAD, SWEEP ARM MOUNT SINGLE POLE	2	120	250
BB	2	KIM	1A RA254 250MH 120 TYPE IV DISTRIBUTION	2	250	MH	28500	1	POLE 20'-0"	FULL CUTOFF DOUBLE HEAD, SWEEP ARM MOUNT SINGLE POLE	2	120	500
CC	8	COOPER INVUE	EMM 50 MH MT MA X	1	50	MH	4300	1	WALL 12'0"	FULL CUTOFF CONTEMPORARY WALL SCONCE BATTERY BACKUP	1,2	120	50
DD	4	LITHONIA	W240	2	40	LED	2800	1	WALL 12'0"	FULL CUT OFF WALL PACK		120	84

**GENERAL NOTES:**  
 1. FLUORESCENTS SHALL HAVE 0.125" LENS & 10% INSTANT START ELECTRONIC BALLASTS.  
 2. FLUORESCENT LAMPS SHALL BE LOW-MERCURY, 3500K, 85 CRI OR BETTER.

**LIGHTING OBJECTIVES:**

FIXTURES AA & BB ARE PRIMARILY FOR PARKING LOT LIGHTING WITH A MINIMUM OF 1 FOOTCANDLE. FIXTURE CC IS PRIMARILY FOR BUILDING FACADE DECORATIVE LIGHTING AND ENTRY EGRESS AND PATHWAY ILLUMINATION. FIXTURE DD IS PRIMARILY FOR EGRESS AND PATHWAY ILLUMINATION.

HOURS OF LIGHT ILLUMINATION WILL BE DUSK UNTIL MIDNIGHT AND 6 AM TIL DAWN. CONTROLLED BY PHOTOCELL.

LIGHTING LEVELS HAVE BEEN DESIGNED TO LIMIT IMPACT TO THE RESIDENTIAL NEIGHBORHOOD TO THE SOUTH.

FULL CUTOFF FIXTURES HAVE BEEN USED ON FIXTURES AA AND BB. WALL MOUNTED FIXTURES CC AND DD HAVE TYPE III OPTICS TO CONTROL LIGHT SPILL.

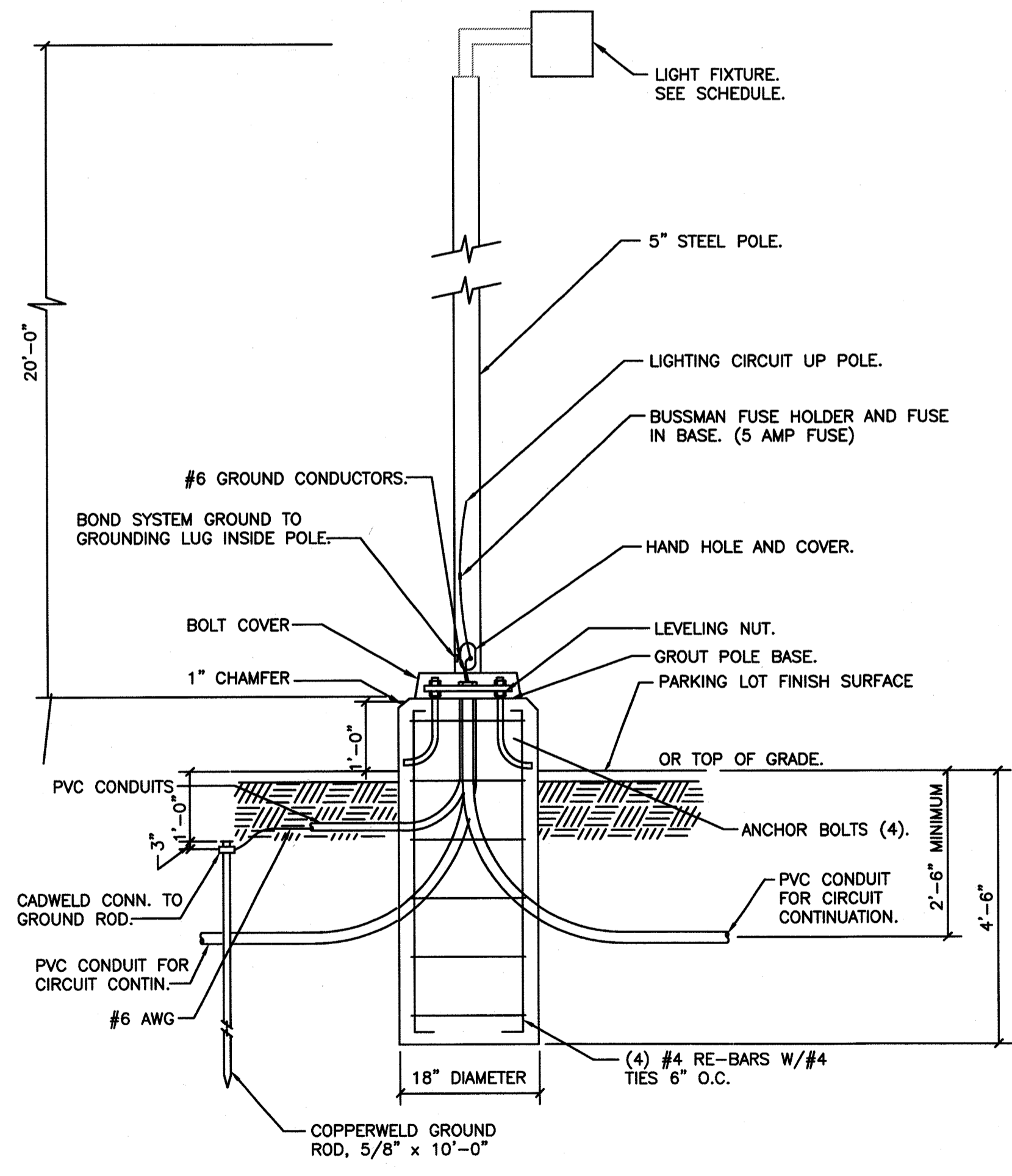
**FIXTURE NOTE:**

LUMEN RATING FOR LUMINAIRES WILL BE REQUIRED AT THE TIME OF CD SUBMITTAL.

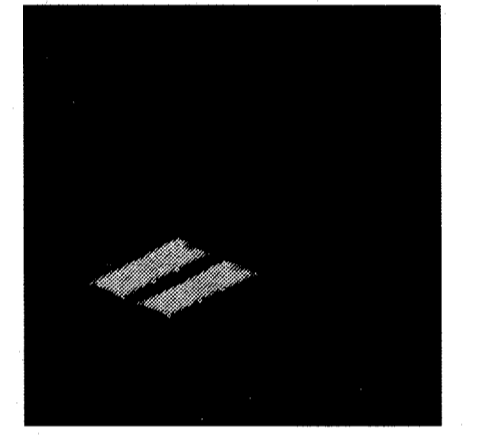
THE FOLLOWING FIXTURE TYPES ARE PROHIBITED:

FORWARD THROW (TYPE IV) DISTRIBUTION POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE. UNSHIELDED WALL PACKS.

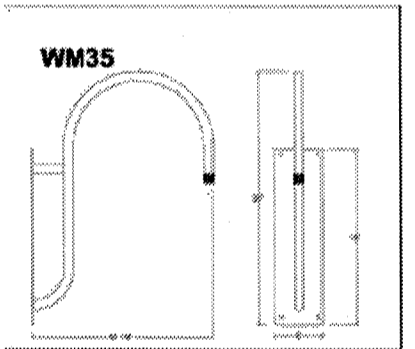
STATISTICS					
Description	Symbol	Avg	Max	Min	Avg/Min
Calc Zone	+	1.6 fc	14.3 fc	0.1 fc	1.60:1 fc



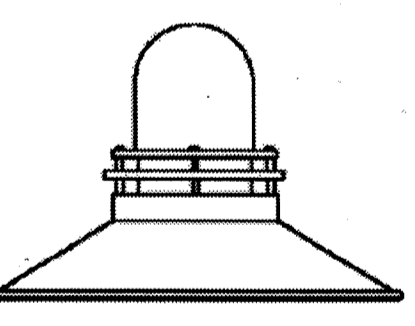
**1 ELECTRICAL POLE DETAIL**  
SCALE: NONE



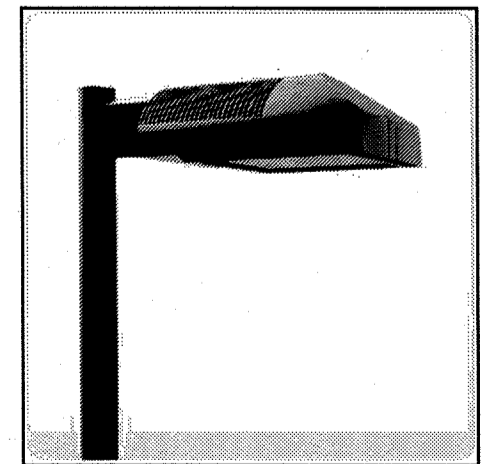
**5 TYPE "DD" FIXTURE**  
SCALE: NONE



**4 TYPE "CC" MOUNT**  
SCALE: NONE



**3 TYPE "CC" FIXTURE**  
SCALE: NONE



**2 TYPE "AA" & "BB" FIXTURE**  
SCALE: NONE

