



# METZLER RANCH FILING NO. 7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

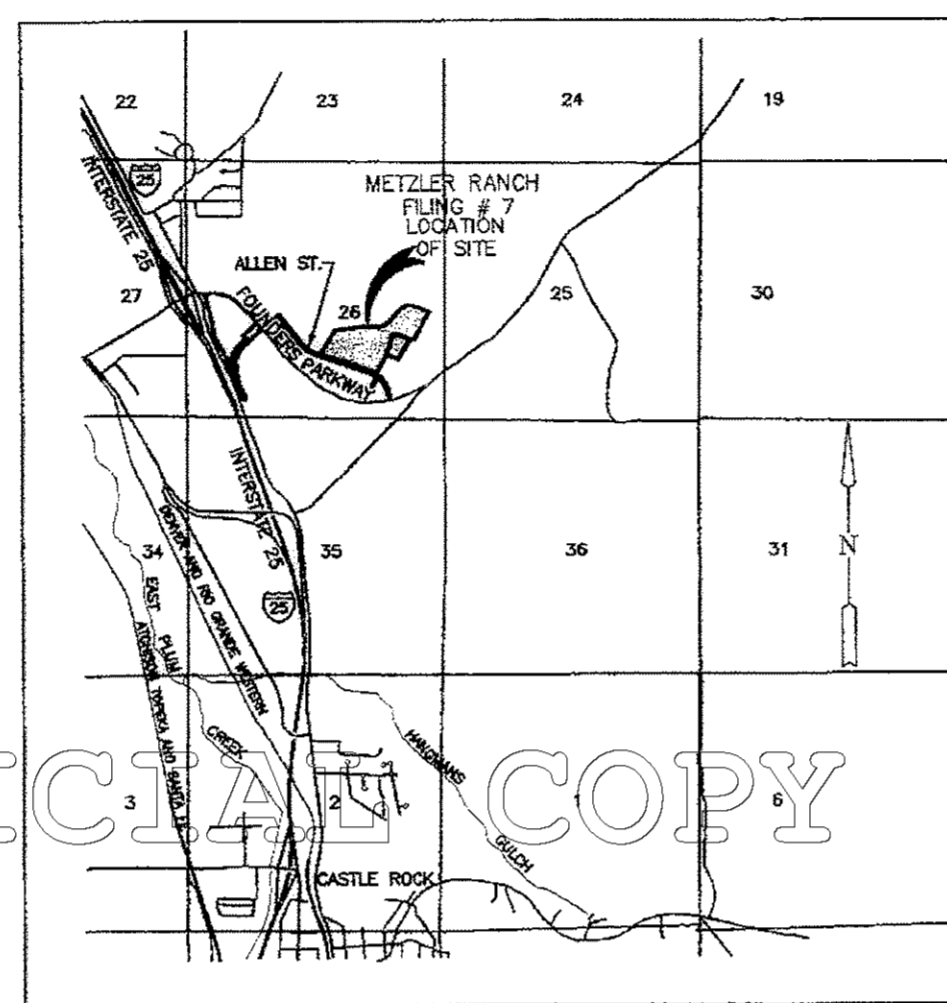
## 1 ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 1 OF 16

**VIGNETTE studios**  
Landscape Architecture  
Site Planning  
Graphics  
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



**STANDARD PACIFIC HOMES**



VICINITY MAP  
SCALE: 1" = 4000'

PREPARED FOR  
STANDARD PACIFIC HOMES  
4600 S. SYRACUSE STREET  
SUITE 400  
DENVER, COLORADO 80237  
CONTACT: STEPHEN SMITH  
PHONE: (303) 779-4100

LAND PLANNER  
VIGNETTE STUDIOS  
1115 GRANT STREET, G-5  
DENVER, COLORADO 80203  
CONTACT: KIM NELSON  
PHONE: (303) 832-2530

PROPERTY OWNER  
LATIGO HOMEOWNERS ASSOCIATION  
4600 S. SYRACUSE STREET  
SUITE 400  
DENVER, COLORADO 80237  
CONTACT: ROGER HOLLARD  
PHONE: (303) 779-4100

CIVIL ENGINEER  
NMA ENGINEERING, INC.  
2953 S. PEORIA STREET  
SUITE 201  
AURORA, COLORADO 80014  
CONTACT: MARK J. LOVATO  
PHONE: (303) 337-4700

**SITE DATA**

TOTAL AREAS OF MULTI-FAMILY	
1. TOTAL PLAN AREA.....	35.65 ACRES
2. TOTAL LOTS (MULTI-FAMILY).....	173
3. TOTAL LOT AREA.....	7.52 ACRES
4. GROSS DENSITY.....	4.85 D.U./ACRE
5. ROADWAY AREA (PRIVATE) TRACT F.....	6.13 ACRES
6. HARDSCAPE.....	1.17 ACRES
7. PRIVATE OPEN SPACE (LANDSCAPED).....	10.82 ACRES
8. PRIVATE OPEN SPACE (UNDISTURBED).....	6.32 ACRES
	18.31 ACRES = TRACTS A+B+C

MULTI-FAMILY	
1. NUMBER OF D.U. ....	173 SF ATTACHED RESIDENTIAL
2. LAND USE .....	MULTI-FAMILY ATTACHED
3. BUILDING TYPE.....	7.52 ACRES
4. LOT AREA .....	1,205 S.F.
5. MINIMUM LOT AREA .....	2,952 S.F.
6. MAXIMUM LOT AREA .....	1,893 S.F.
7. AVERAGE LOT AREA .....	20 FT
8. REQUIRED REAR SETBACK FROM NORTHERN BOUNDARY LINE .....	5 FT.
9. REQUIRED SIDE SETBACK FROM EASTERN AND WESTERN BOUNDARY LINE.....	20 FT.
10. REQUIRED FRONT SETBACK FROM ALLEN STREET .....	346/434
11. PARKING SPACES REQUIRED / PROVIDED .....	40 FT.
12. MAX. PERMITTED HEIGHT OF BUILDING .....	173
13. SINGLE FAMILY EQUIVILANTS (SFEs) .....	

TRACT	AREA	PURPOSE	OWNERSHIP	MAINTENANCE
A	14.72 AC	OPEN SPACE	HOA	HOA
B	2.84 AC	OPEN SPACE	HOA	HOA
C	0.75 AC	OPEN SPACE	HOA	HOA
D	3.40 AC	PARK (PLD)	TOC	TOC
F	0.29 AC	PARK R.O.W.	TOC	TOC
F	6.13 AC	PRIVATE*	HOA	HOA

TOTAL 28.13 AC  
\* - PRIVATE INTERNAL DRIVE ISLES, PARKING AND EMERGENCY ACCESS.  
NOTE: TOC - TOWN OF CASTLE ROCK

**SHEET INDEX**

PRELIMINARY PLAT & FINAL PD SITE PLAN
SHEET 1 OF 16 ..... COVER SHEET
SHEET 2 AND 3 OF 16 ..... PLAT
SHEET 4 AND 5 OF 16 ..... UTILITY PLAN
SHEET 6 AND 7 OF 16 ..... GRADING AND DRAINAGE PLAN
SHEET 8 OF 16 ..... STREET AND DETAIL PLAN
SHEET 9 OF 16 ..... LANDSCAPING NOTES & QUANTITIES
SHEET 10 - 14 OF 16 ..... LANDSCAPE PLANS
SHEET 15 AND 16 OF 16 ..... BUILDING ELEVATIONS

LEGAL DESCRIPTION:  
METZLER RANCH FILING 7 TRACTS A,B,C, & F.

**NOTES:**

- THE EXISTING TOPOGRAPHY, SHOWN ON THE PD SITE PLAN, WAS PRODUCED FROM AERIAL PHOTOGRAPHY WITH CONTOUR INTERVALS OF TWO (2) FEET.
- THE PRELIMINARY DRAINAGE STUDY FOR THIS AREA WAS PREPARED BY NICKLESS MCBRIDE AND ASSOCIATES, INC., AND IS INCLUDED AS A PART OF THIS SUBMITTAL.
- THE DEVELOPER WILL BE RESPONSIBLE FOR CONFORMANCE WITH THE TOWN OF CASTLE ROCK'S CURRENT WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY.
- TRACTS A, B AND C HAVE BEEN DEDICATED AS PRIVATE OPEN SPACE TO THE HOMEOWNERS ASSOCIATION FOR METZLER RANCH FILING NO. 7 AND WILL BE USED FOR UTILITIES, DRAINAGE, OPEN SPACE, TRAILS, SIGNAGE, ENTRY FEATURES AND PARK FACILITIES.
- THIS PROPERTY IS PART OF THE METZLER RANCH 3RD AMENDMENT PD, RECORDED 06/14/00 AT RECEPTION NUMBER 00040856.
- SIGNAGE: IDENTIFICATION SIGNS AND STREET SIGNS WILL COMPLY WITH THE TOWN OF CASTLE ROCK'S SIGN CODE.
- STREET LIGHTING WILL CONFORM TO THE TOWN REQUIREMENTS.
- UTILITY LINES REFLECT PRELIMINARY UTILITY STUDIES. ALIGNMENT AND SIZES MAY CHANGE DURING THE FINAL DESIGN WITH THE APPROVAL OF THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT.
- ALL INTERSECTIONS WILL HAVE HANDICAP SIDEWALK RAMPS.
- FIRM PANEL NUMBER 080049 0186C SHOWS NO FLOOD HAZARD AREA EXISTS WITHIN THIS DEVELOPMENT.
- ALL WATER MAINS ARE PUBLIC. WATER SERVICE TO METER IS PUBLIC. BEYOND METER AND WATER SERVICE LATERALS ARE PRIVATE. ALL SANITARY MAINS ARE PUBLIC. ALL SANITARY SERVICE LATERALS ARE PRIVATE. ALL STORM DRAINAGE FACILITIES ARE PRIVATE.
- ALL PRIVATE ROADS AND PRIVATE UTILITIES ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OF METZLER RANCH FILING NO. 7 WITH EASEMENTS GRANTED TO THE TOWN OF CASTLE ROCK.
- FIRE LANE SIGNS WILL BE INSTALLED PER THE REQUIREMENTS OF THE CASTLE ROCK FIRE DEPARTMENT.
- TRACT F WILL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION FOR METZLER RANCH FILING NO. 7 AND HAS BEEN USED FOR PRIVATE ACCESS FOR THE RESIDENTS OF METZLER RANCH FILING NO. 7 PARKING, UTILITIES, DRAINAGE, EMERGENCY AND MAINTENANCE ACCESS AND TEMPORARY PUBLIC ACCESS TO THE PARK SITE UNTIL PERMANENT ACCESS IS COMPLETED AT ANOTHER LOCATION FOR THE TOWN OF CASTLE ROCK.
- EASEMENTS SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK FOR UTILITIES, DRAINAGE, AND EMERGENCY ACCESS AS SHOWN ON THE PRELIMINARY PLAT.
- APPROVED BACKFLOW PREVENTION ASSEMBLIES IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK CRITERIA AND STATE GUIDELINES ARE REQUIRED FOR ALL IRRIGATION SYSTEMS.
- THE TOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDERS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS, AND A 15% FEE.
- BACKFLOW PREVENTION DEVICES APPROVED BY THE TOWN WILL BE INSTALLED DIRECTLY DOWNSTREAM OF EACH WATER METER AND ON ALL IRRIGATION SERVICES.

PURPOSE STATEMENT:  
THIS AMENDMENT REFLECTS CHANGES THAT HAVE BEEN MADE DURING CONSTRUCTION DUE TO SITE CONDITIONS. THE MAIN REVISION IS THE ADDITION OF RETAINING WALLS DUE TO STEEPER SLOPES THAN WERE ORIGINALLY ANTICIPATED.

**OWNERSHIP CERTIFICATION:**

THE UNDERSIGNED ARE ALL OWNERS OF CERTAIN LANDS KNOWN HEREIN AS METZLER RANCH FILING 7 FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK. **TRACTS A, B, C AND F**

LATIGO HOMEOWNERS ASSOCIATION, A COLORADO  
SIGNED THIS 1<sup>ST</sup> DAY OF MAY, 2006 NON-PROFIT CORPORATION

ROGER G. HOLLARD, PRESIDENT

**NOTARY:**

SUBSCRIBED AND SWORN BEFORE ME THIS 1<sup>ST</sup> DAY OF May, 2006  
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC Man Ann Miller  
MY COMMISSION EXPIRES 6-27-07

**TITLE CERTIFICATION:**

I, Sandra M. Newberry, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDERS SUBORDINATION CERTIFICATE.

SIGNED THIS 8<sup>TH</sup> DAY OF May, 2006

LAND TITLE GUARANTEE COMPANY, AUTHORIZED REPRESENTATIVE

**NOTARY:**

SUBSCRIBED AND SWORN BEFORE ME THIS 8<sup>TH</sup> DAY OF May, 2006 BY SANDRA M. NEWBERRY AS AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY

NOTARY PUBLIC Sandra M. Newberry  
MY COMMISSION EXPIRES JULY 6, 2009

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:**

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT (2:00pm) ON THE 1<sup>ST</sup> DAY OF June, 2006

RECEPTION NO. 2006048219

Doreen S. Salzman  
DOUGLAS COUNTY CLERK AND RECORDER, DEPUTY

**STATEMENT OF DEVELOPMENT SERVICES DIRECTOR'S APPROVAL**

THIS SITE PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO THE 1<sup>ST</sup> DAY OF JUNE, 2006.

Chit Corwin 6/2/06  
DIRECTOR OF DEVELOPMENT SERVICES

DATE: April 27, 2005  
March 10, 2006 April 18, 2006  
SHEET NO:  
1 OF 16

**NMA CIVIL ENGINEERING CONSULTANTS**

NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

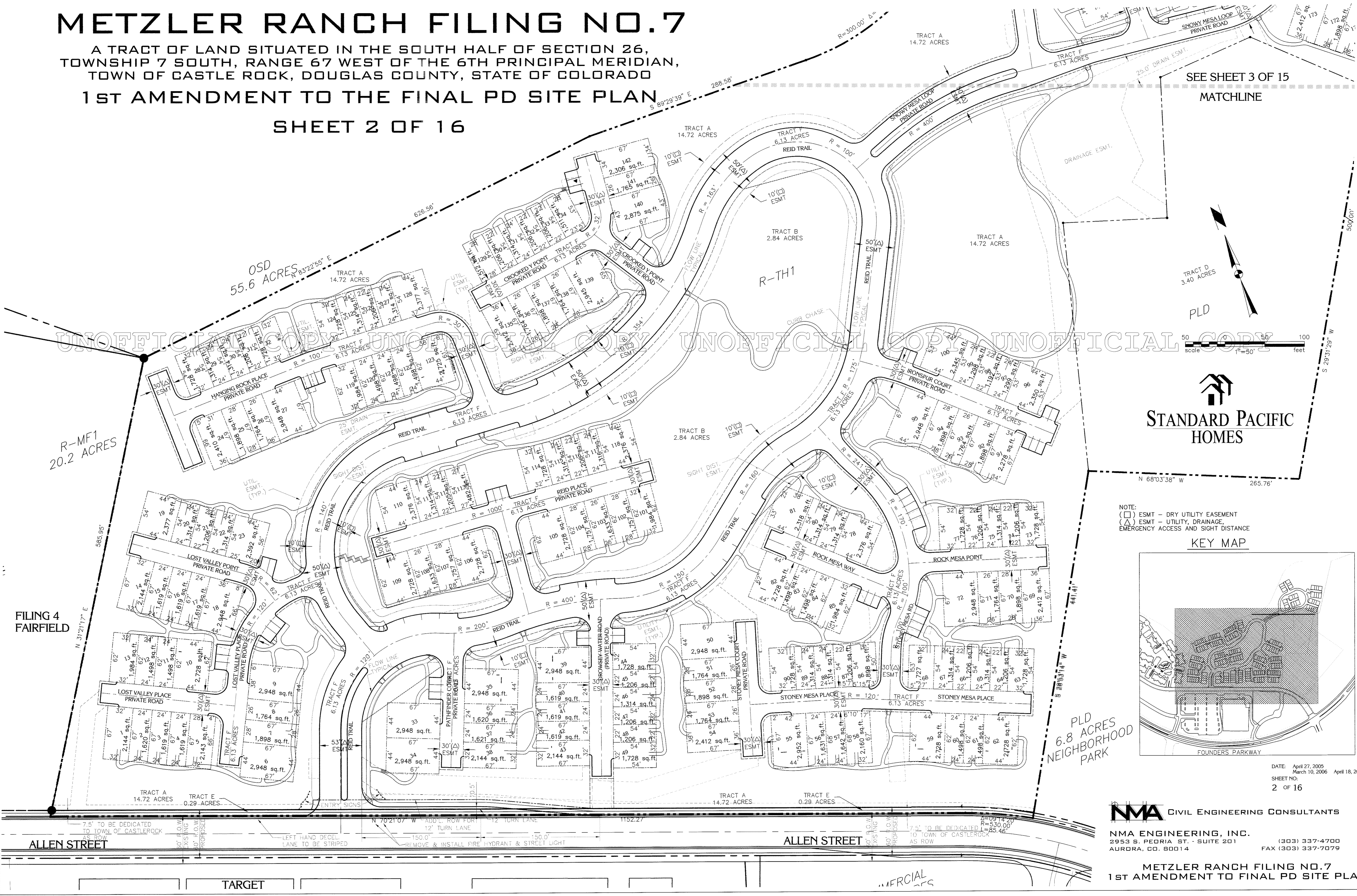
METZLER RANCH FILING NO. 7  
1 ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

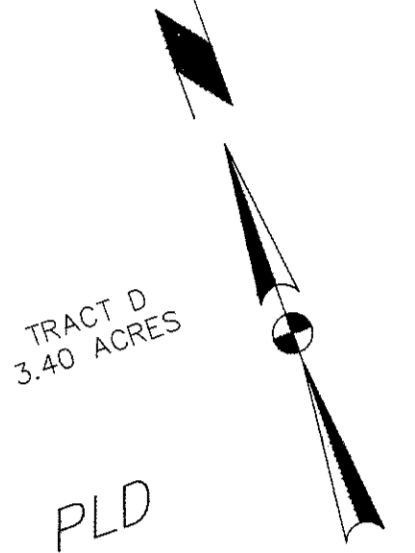
A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

## 1ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 2 OF 16



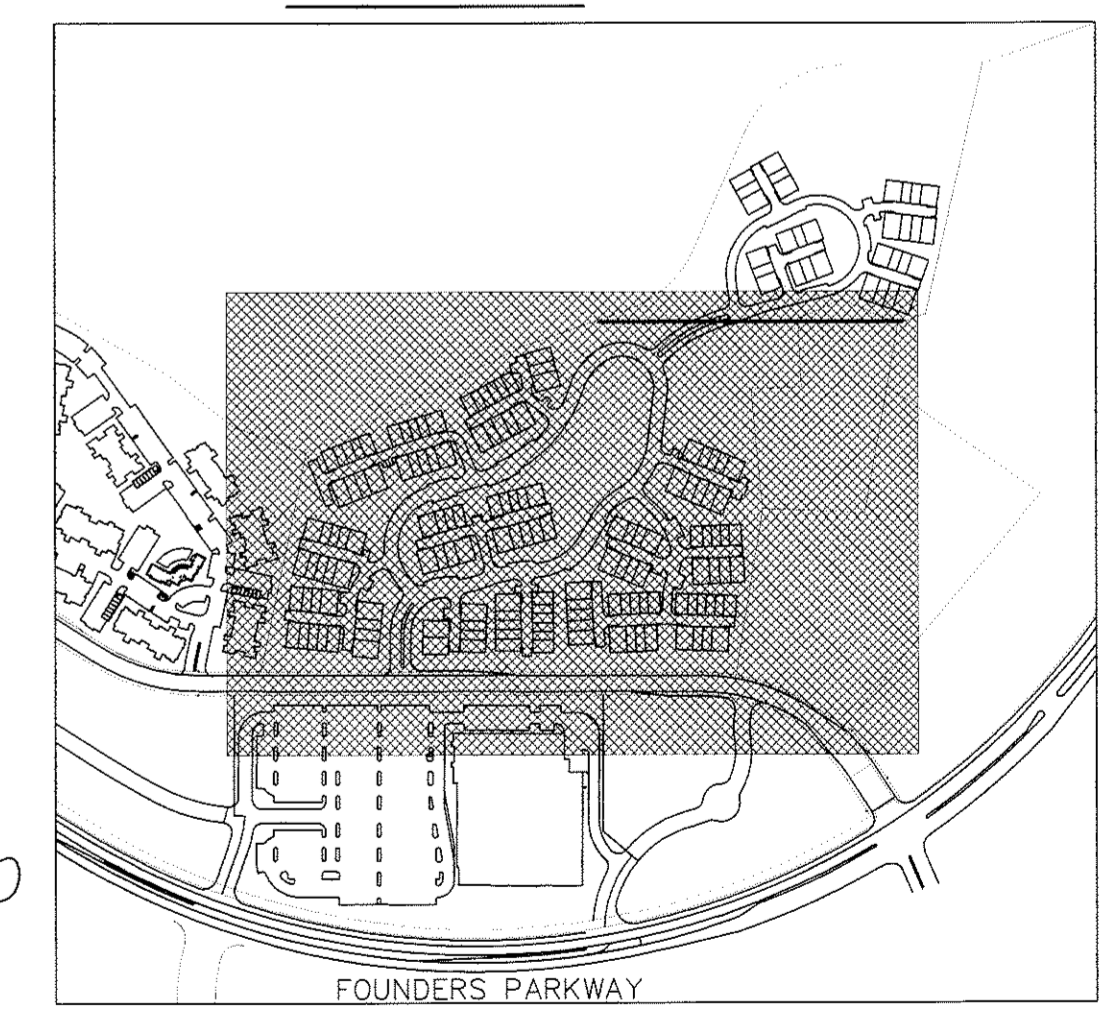
SEE SHEET 3 OF 15  
MATCHLINE



**STANDARD PACIFIC  
HOMES**

NOTE:  
 (□) ESMT - DRY UTILITY EASEMENT  
 (△) ESMT - UTILITY, DRAINAGE,  
 EMERGENCY ACCESS AND SIGHT DISTANCE

KEY MAP



DATE: April 27, 2005  
 March 10, 2006 April 18, 2006  
 SHEET NO:  
 2 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS  
**NMA ENGINEERING, INC.**  
 2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
 AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
 1ST AMENDMENT TO FINAL PD SITE PLAN

FILING 4  
FAIRFIELD

PLD  
6.8 ACRES  
NEIGHBORHOOD  
PARK

ALLEN STREET

ALLEN STREET

TARGET

COMMERCIAL



# METZLER RANCH FILING NO.7

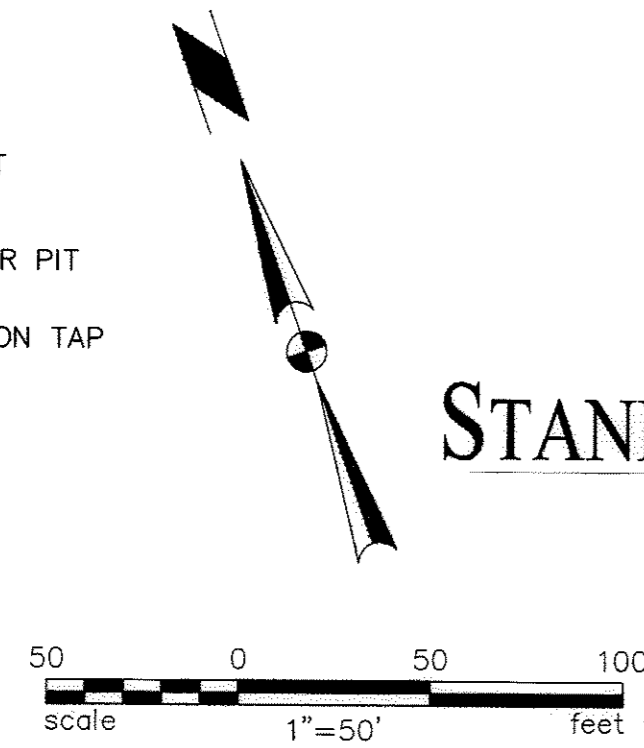
A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

## 1ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 4 OF 16

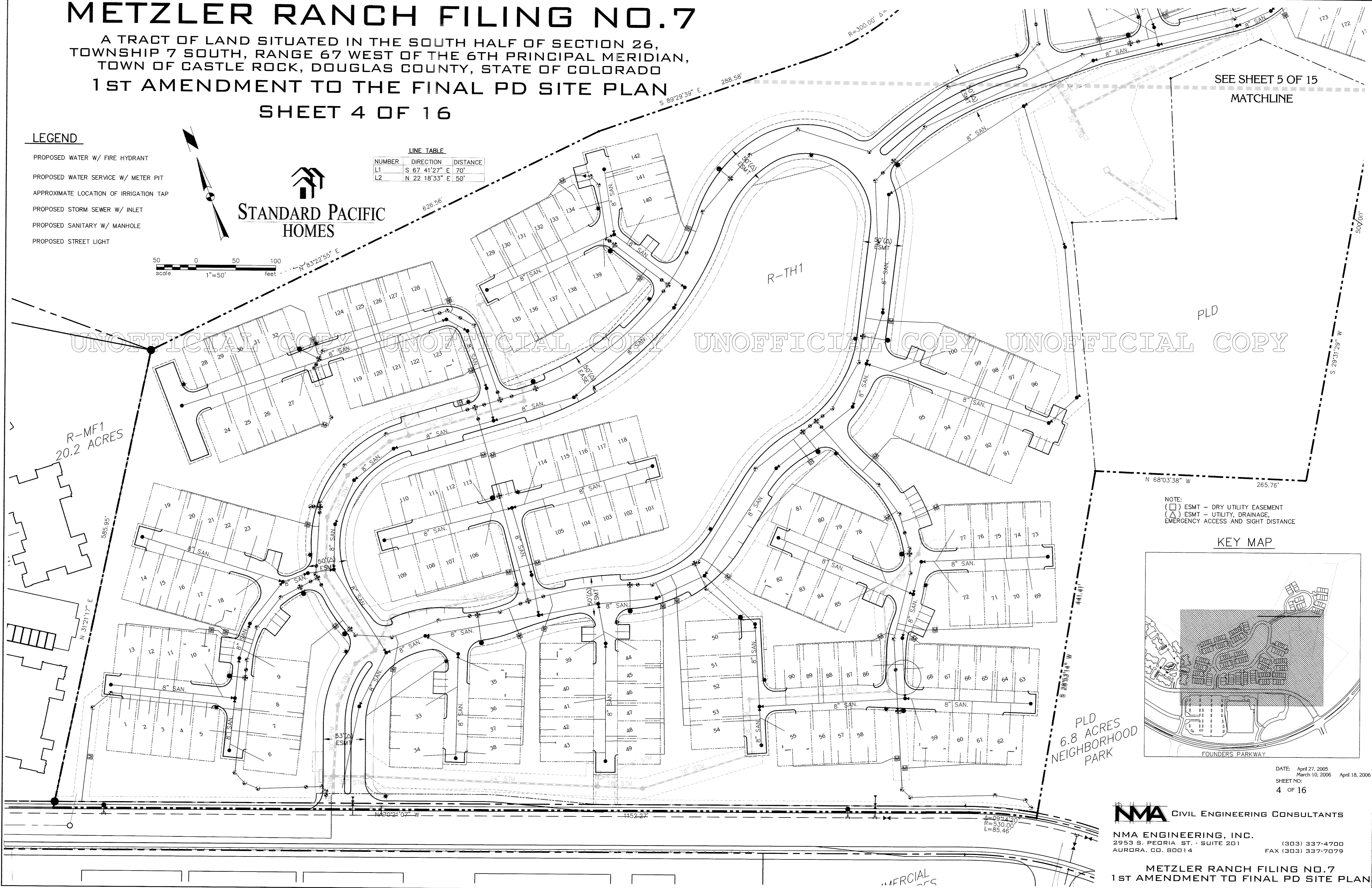
### LEGEND

- PROPOSED WATER W/ FIRE HYDRANT
- PROPOSED WATER SERVICE W/ METER PIT
- APPROXIMATE LOCATION OF IRRIGATION TAP
- PROPOSED STORM SEWER W/ INLET
- PROPOSED SANITARY W/ MANHOLE
- PROPOSED STREET LIGHT



**STANDARD PACIFIC  
HOMES**

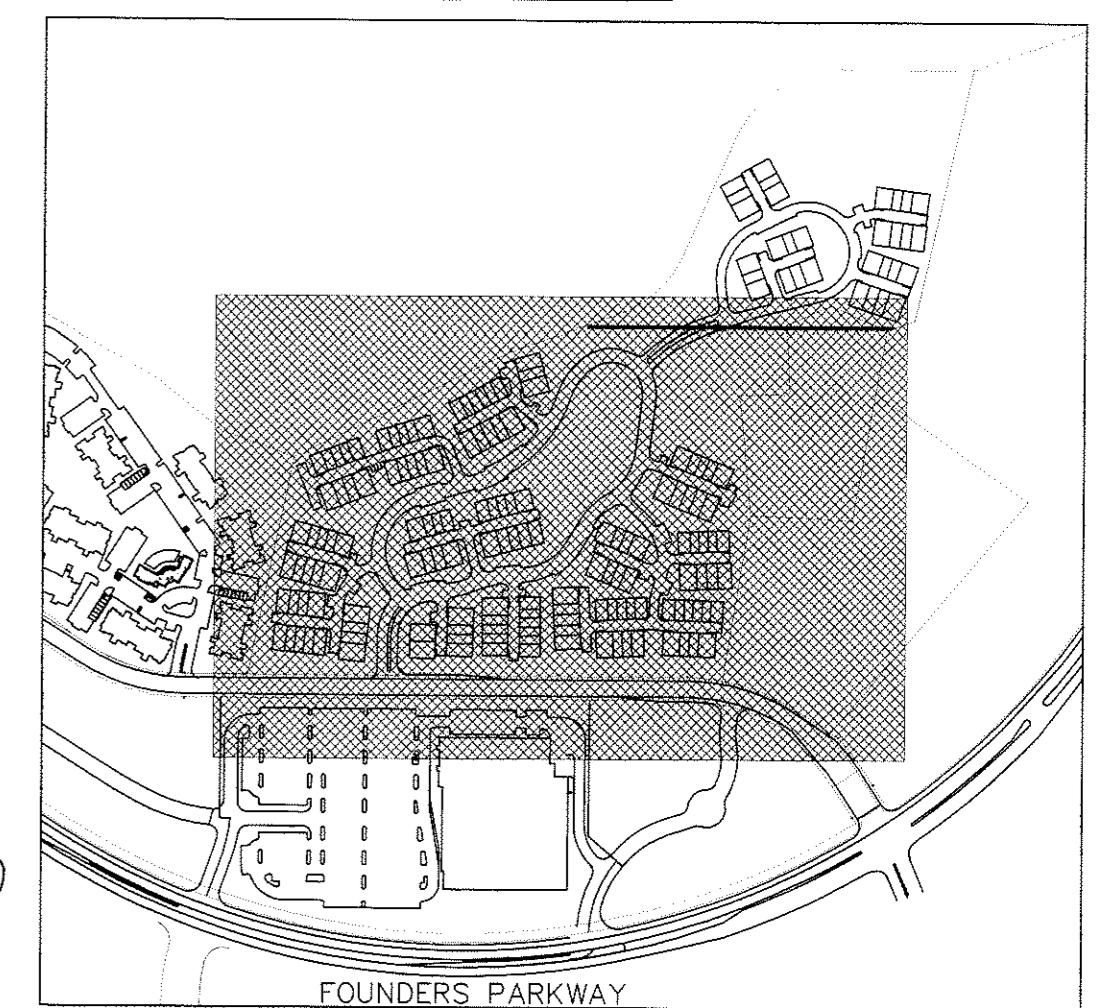
LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 67°41'27" E	70'
L2	N 22°18'33" E	50'



SEE SHEET 5 OF 15  
MATCHLINE

- NOTE:
- (□) ESMT - DRY UTILITY EASEMENT
  - (△) ESMT - UTILITY, DRAINAGE,  
EMERGENCY ACCESS AND SIGHT DISTANCE

### KEY MAP



DATE: April 27, 2005  
March 10, 2006 April 18, 2006  
SHEET NO:  
4 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS  
NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

COMMERCIAL  
SFC

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

1ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 5 OF 16



OSD  
55.6 ACRES

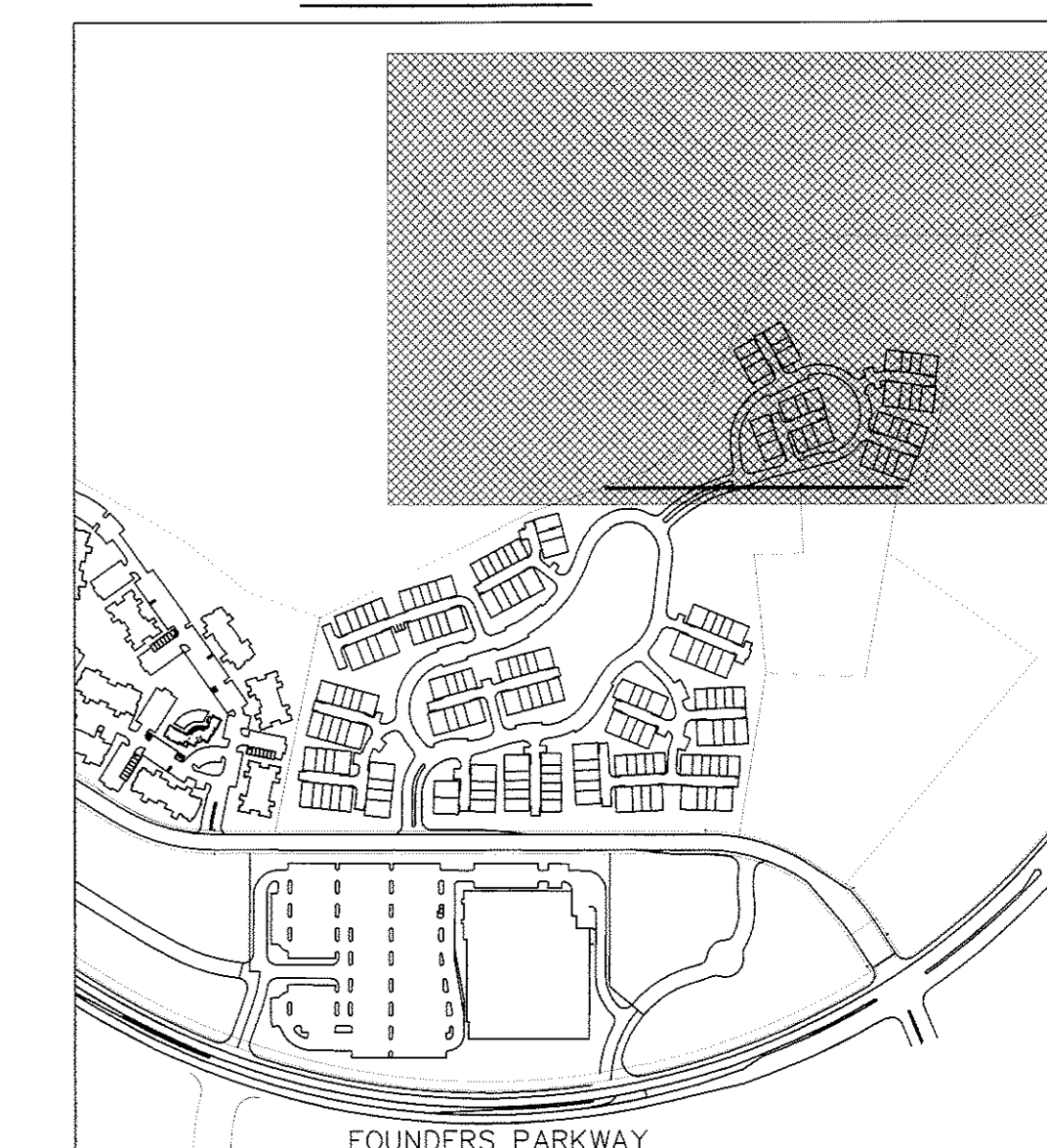
UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

### LEGEND

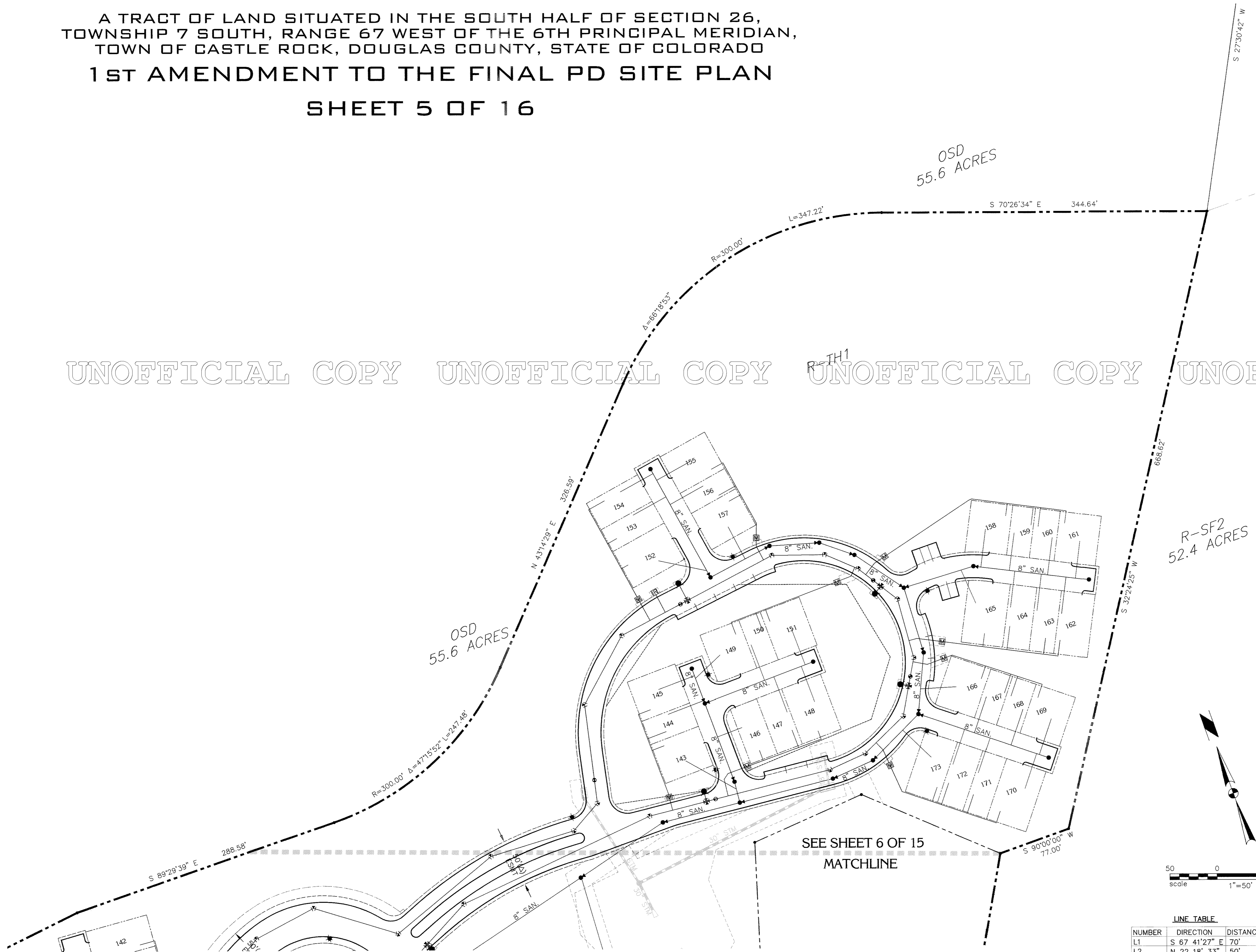
- PROPOSED WATER W/ FIRE HYDRANT
- PROPOSED WATER SERVICE W/ METER PIT
- APPROXIMATE LOCATION OF IRRIGATION TAP
- PROPOSED STORM SEWER W/ INLET
- PROPOSED SANITARY W/ MANHOLE
- PROPOSED STREET LIGHT

NOTE:  
 (□) ESMT - DRY UTILITY EASEMENT  
 (△) ESMT - UTILITY, DRAINAGE,  
 EMERGENCY ACCESS AND SIGHT DISTANCE

### KEY MAP

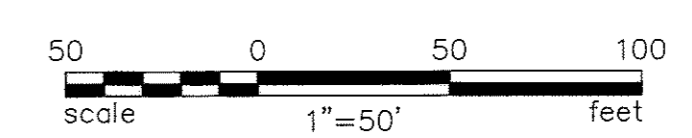
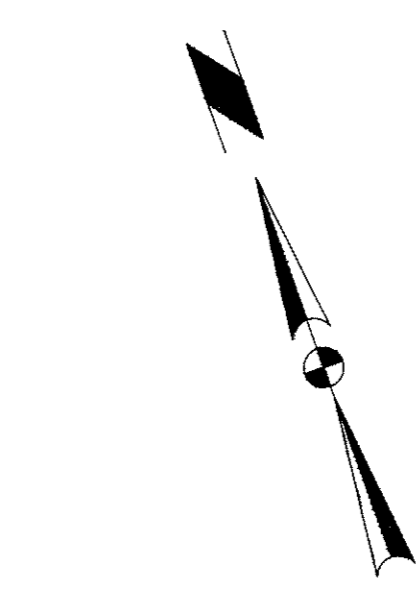


R-SF2  
52.4 ACRES



OSD  
55.6 ACRES

SEE SHEET 6 OF 15  
MATCHLINE



LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 67° 41' 27" E	70'
L2	N 22° 18' 33" E	50'
L3	N 89° 40' 33" E	77'

DATE: April 27, 2005  
 March 10, 2006 April 18, 2006  
 SHEET NO:  
 5 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS  
**NMA ENGINEERING, INC.**  
 2953 S. PEDRIA ST. - SUITE 201 (303) 337-4700  
 AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
 1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

## 1ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 6 OF 16

### LEGEND

- PROPOSED WATER W/ FIRE HYDRANT
- PROPOSED WATER SERVICE W/ METER PIT
- APPROXIMATE LOCATION OF IRRIGATION TAP
- PROPOSED STORM SEWER W/ INLET
- PROPOSED SANITARY W/ MANHOLE
- PROPOSED STREET LIGHT
- DRAINAGE CROSS PAN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- MAIL BOX

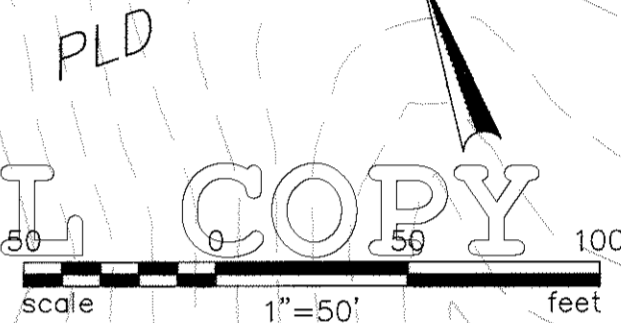
LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 67° 41' 27" E 70'	
L2	N 22° 18' 33" E 50'	

1. ALL RETAINING WALLS ARE 48" OR LESS UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALLS GREATER THAN 48" WILL NEED TO BE DESIGNED BY A STRUCTURAL ENGINEER, SUBJECT TO BUILDING CODE.



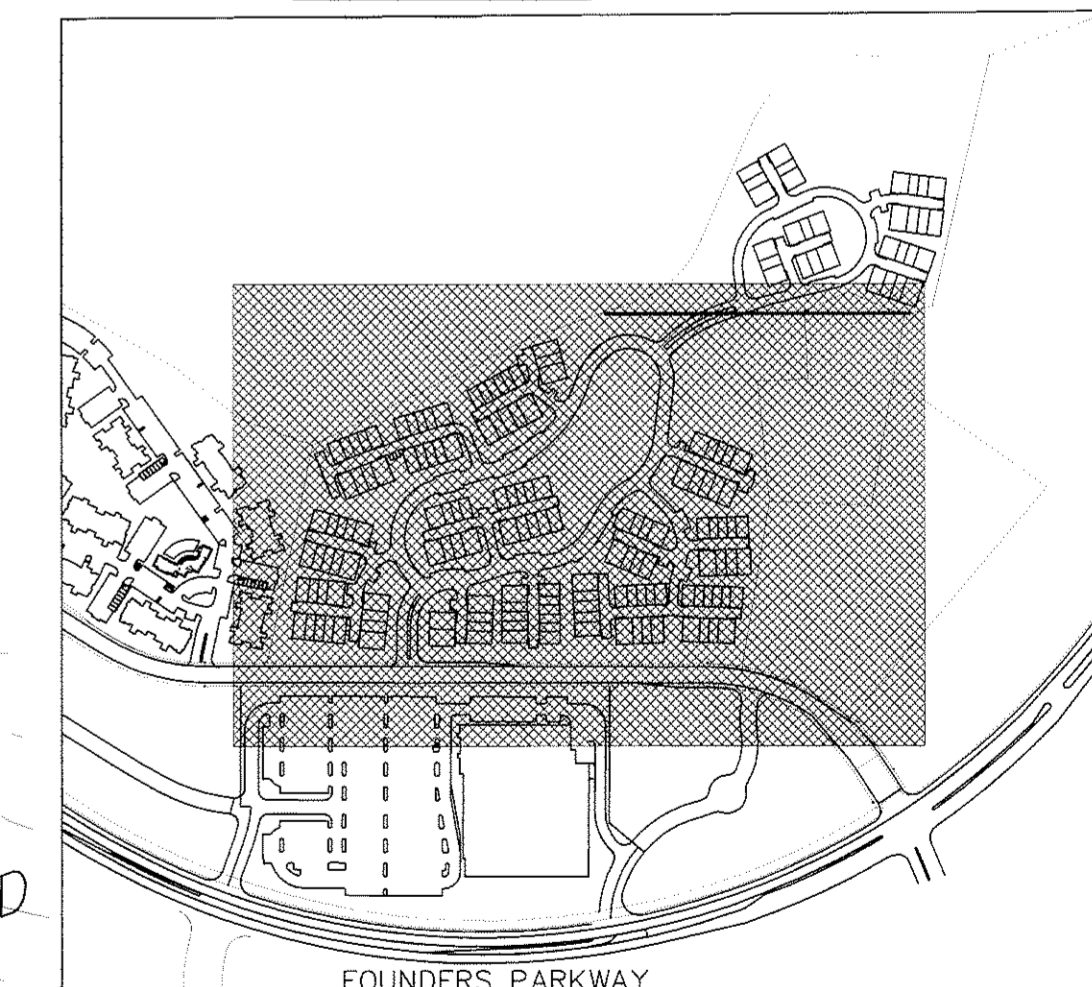
SEE SHEET 7 OF 15  
MATCHLINE



**STANDARD PACIFIC HOMES**

NOTE: SIDEWALK DESIGN AND LOCATION ARE PRELIMINARY AND MAY BE ADJUSTED PER FIELD CONDITIONS.

### KEY MAP



PLD  
6.8 ACRES  
NEIGHBORHOOD  
PARK

DATE: April 27, 2005  
March 10, 2006 April 18, 2006  
SHEET NO.  
6 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEDRIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

1ST AMENDMENT TO THE FINAL PD SITE PLAN

SHEET 7 OF 16



### LEGEND

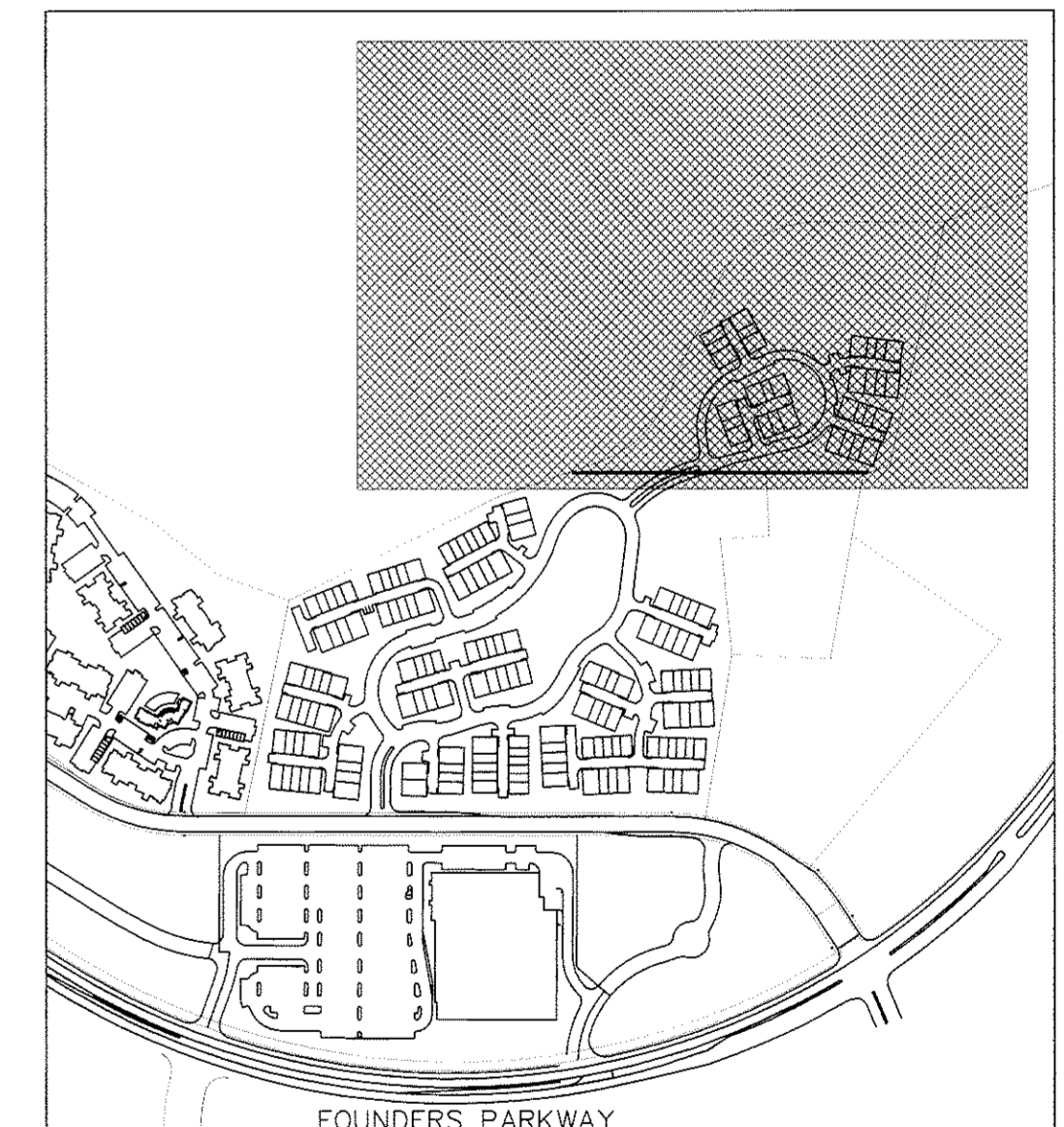
- PROPOSED WATER W/ FIRE HYDRANT
- PROPOSED WATER SERVICE W/ METER PIT
- APPROXIMATE LOCATION OF IRRIGATION TAP
- PROPOSED STORM SEWER W/ INLET
- PROPOSED SANITARY W/ MANHOLE
- PROPOSED STREET LIGHT
- DRAINAGE CROSS PAN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- MAIL BOX

1. ALL RETAINING WALLS ARE 48" OR LESS UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALLS GREATER THAN 48" TALL WILL NEED TO BE DESIGNED BY A STRUCTURAL ENGINEER, SUBJECT TO BUILDING CODE.

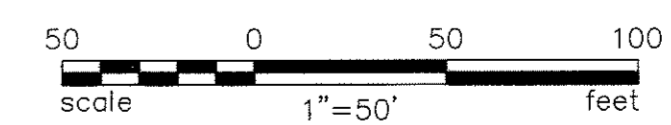
NOTE:  
 (□) ESMT - DRY UTILITY EASEMENT  
 (△) ESMT - UTILITY, DRAINAGE, EMERGENCY ACCESS AND SIGHT DISTANCE

NOTE:  
 SIDEWALK DESIGN AND LOCATION ARE PRELIMINARY AND MAY BE ADJUSTED PER FIELD CONDITIONS.

### KEY MAP



DATE: April 27, 2005  
 March 10, 2006 April 18, 2006  
 SHEET NO:  
 7 OF 16

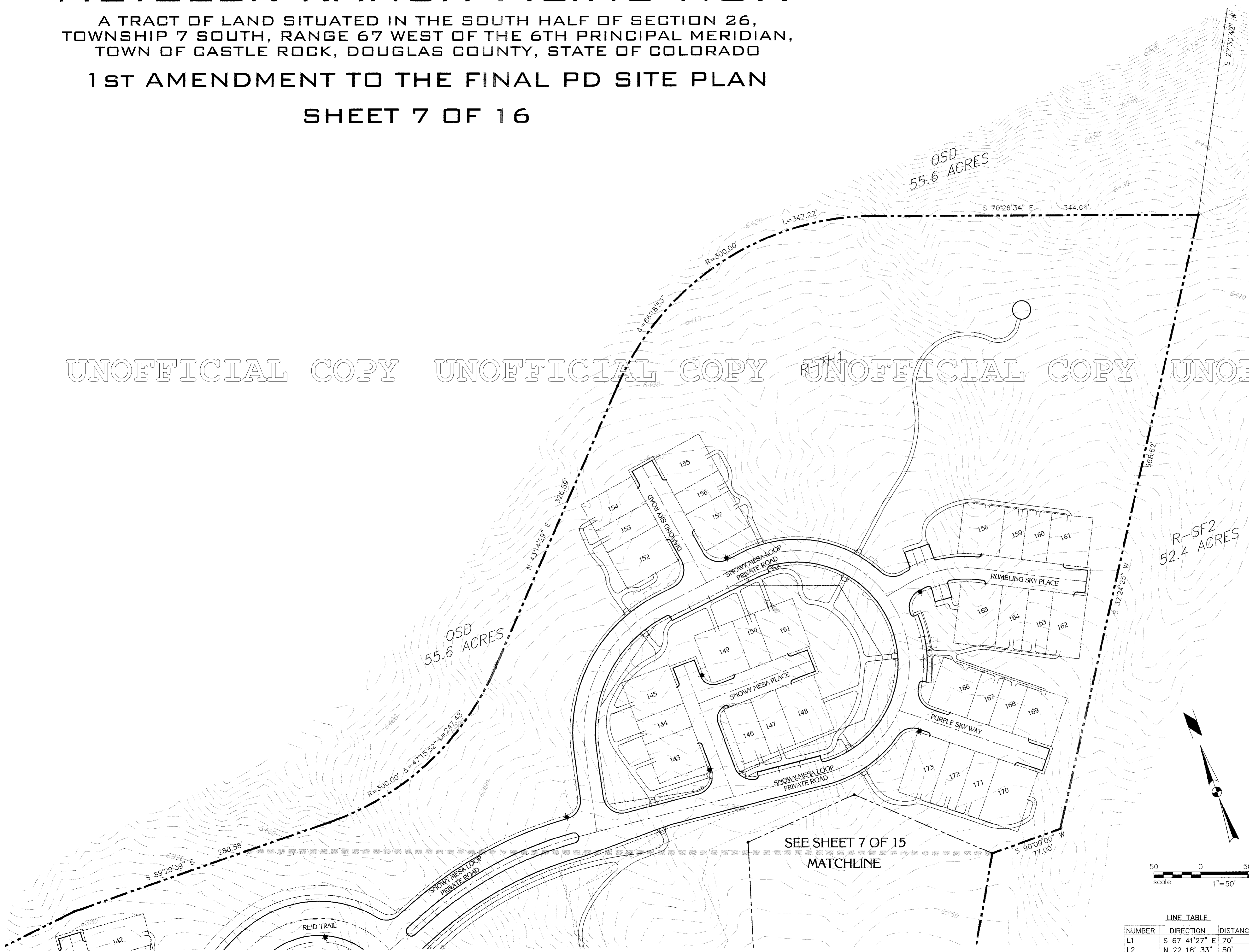


LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 67°41'27" E	70'
L2	N 22°18'33" E	50'
L3	N 89°40'33" E	77'

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
 2953 S. PEDRIA ST. - SUITE 201 (303) 337-4700  
 AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
 1ST AMENDMENT TO FINAL PD SITE PLAN



UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

SEE SHEET 7 OF 15  
 MATCHLINE

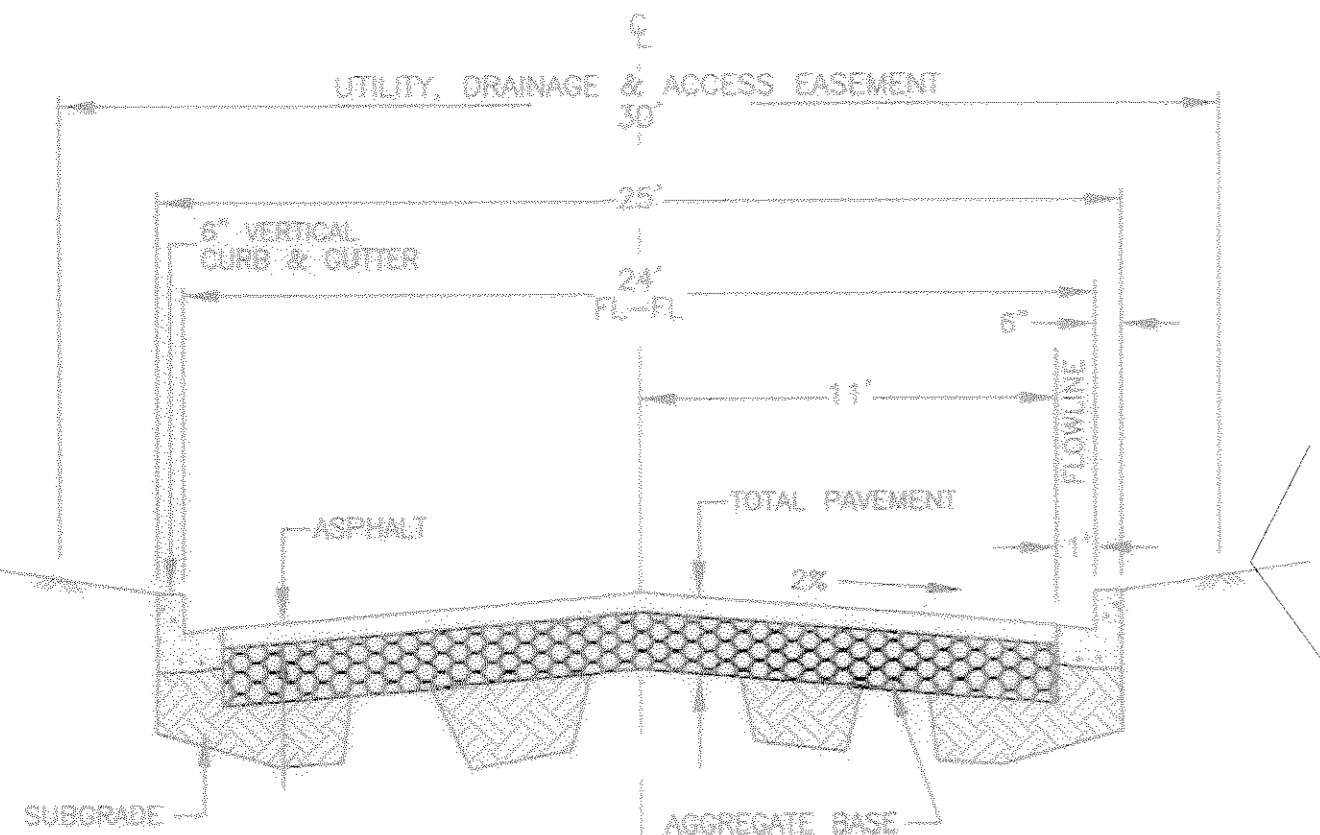
# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO  
1ST AMDENDMENT TO THE FINAL PD SITE PLAN

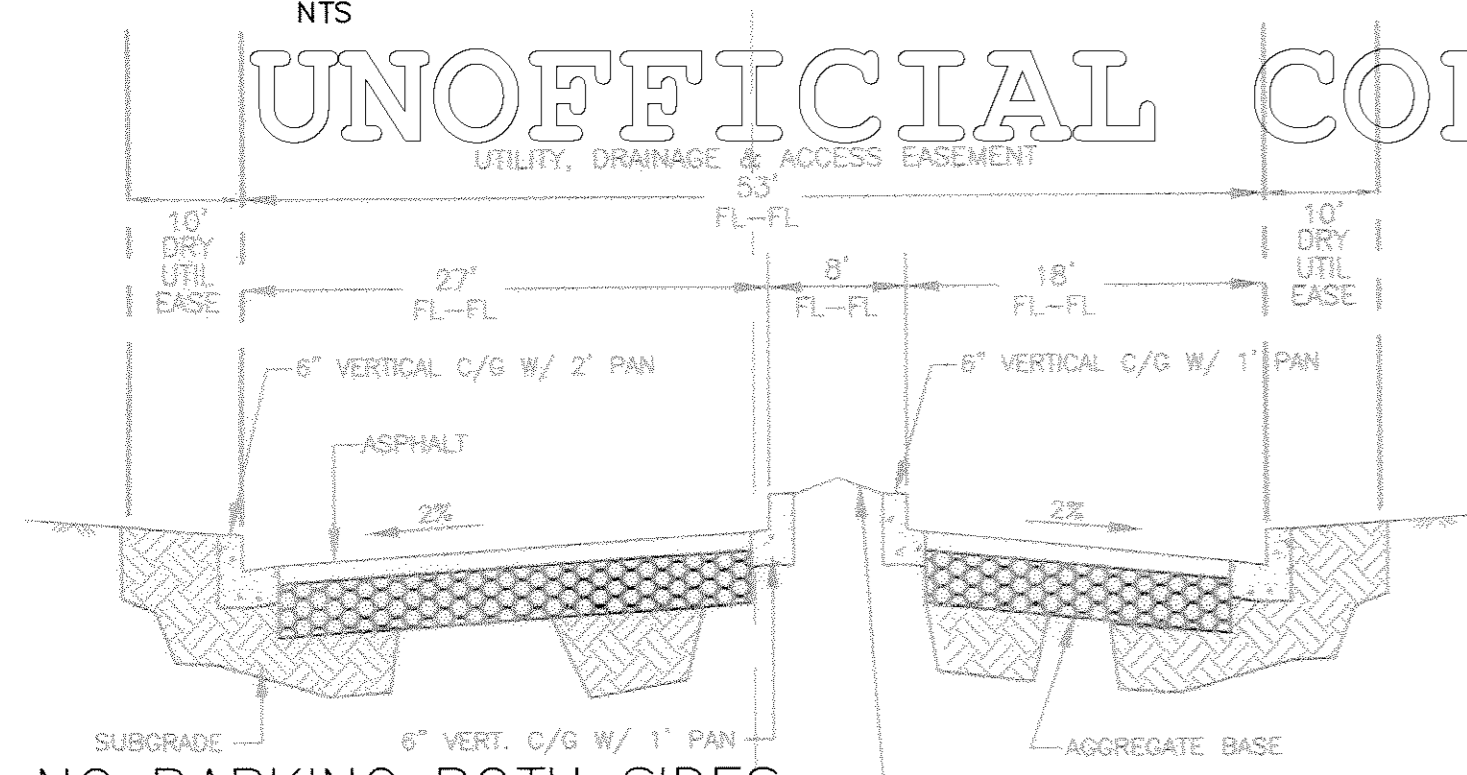
SHEET 8 OF 16



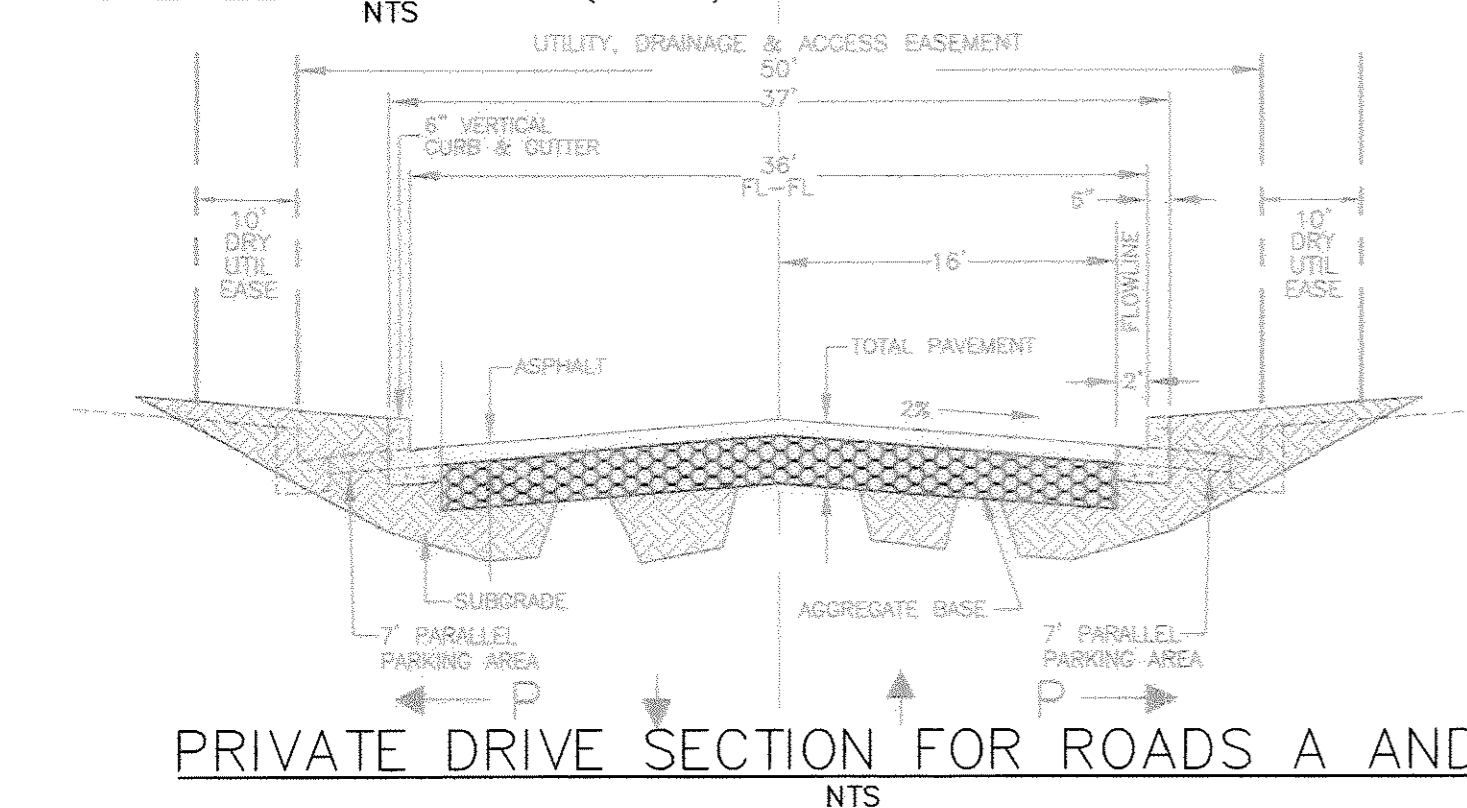
STANDARD PACIFIC  
HOMES



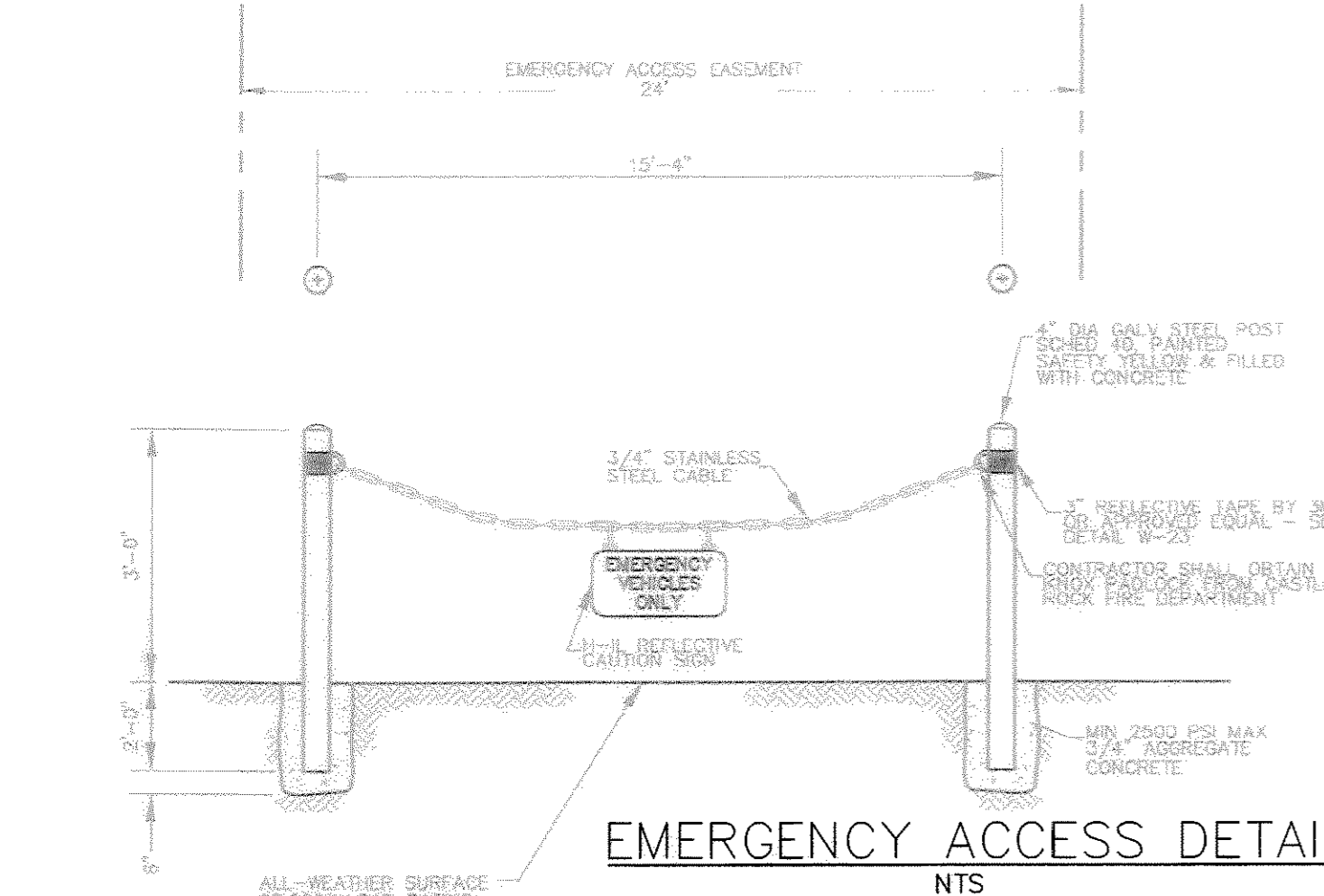
NO PARKING BOTH SIDES SECTION MULTI  
FAMILY(TYP)  
NTS



NO PARKING BOTH SIDES  
ENTRY SECTION (TYP)  
NTS



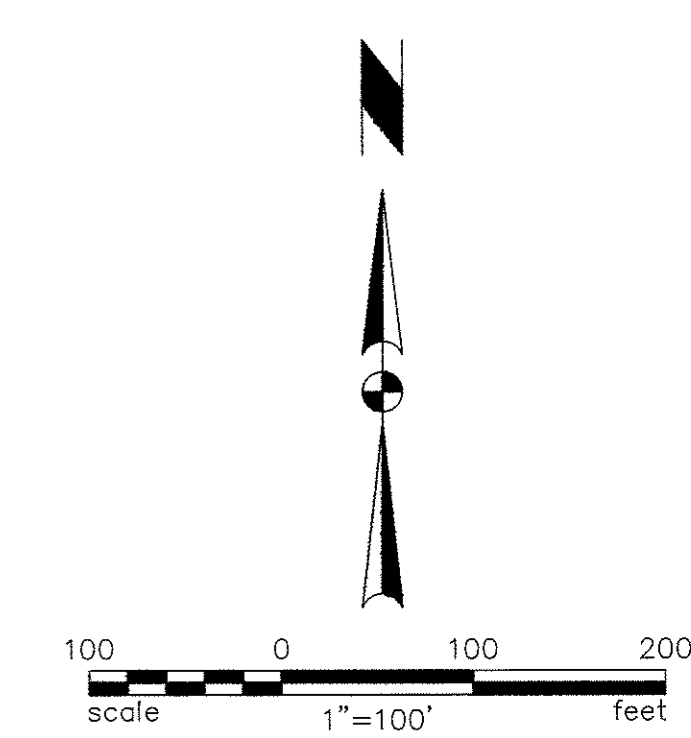
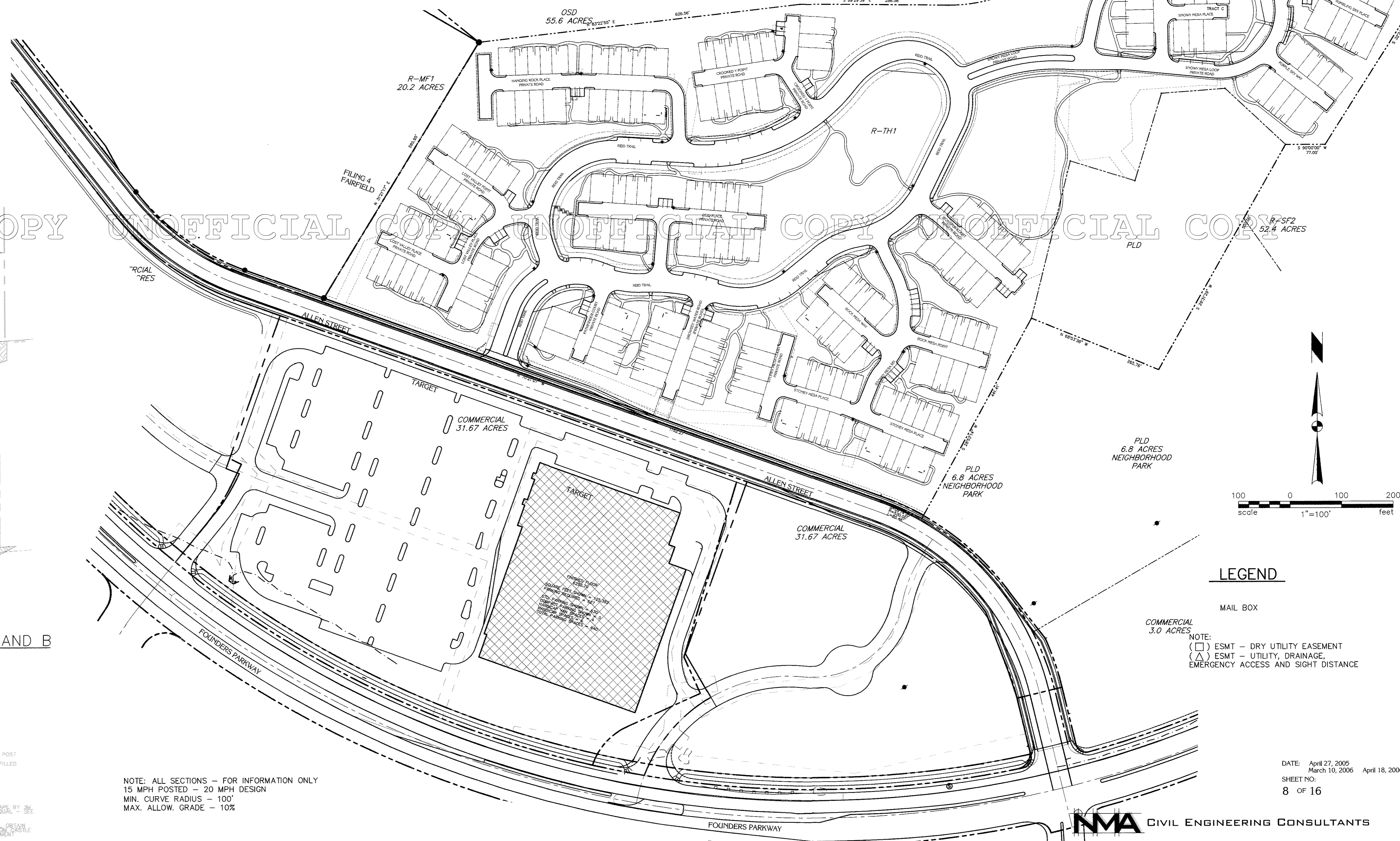
PRIVATE DRIVE SECTION FOR ROADS A AND B  
NTS



EMERGENCY ACCESS DETAIL  
NTS

NOTE: ALL SECTIONS - FOR INFORMATION ONLY  
15 MPH POSTED - 20 MPH DESIGN  
MIN. CURVE RADIUS - 100'  
MAX. ALLOW. GRADE - 10%

NOTES:  
1. CONTACT TOWN OF CASTLE ROCK FIRE DEPARTMENT  
FOR APPROVED LOCK TYPE AND MODEL (303)660-1066



**LEGEND**

MAIL BOX

COMMERCIAL 3.0 ACRES

NOTE:  
 (□) ESMT - DRY UTILITY EASEMENT  
 (△) ESMT - UTILITY, DRAINAGE, EMERGENCY ACCESS AND SIGHT DISTANCE

**NMA CIVIL ENGINEERING CONSULTANTS**  
**NMA ENGINEERING, INC.**  
 2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
 AURORA, CO. 80014 FAX (303) 337-7079

**METZLER RANCH FILING NO.7**  
**1ST AMDENDMENT TO FINAL PD SITE PLAN**

DATE: April 27, 2005  
 March 10, 2006 April 18, 2006  
 SHEET NO:  
 8 OF 16

# METZLER RANCH FILING NO. 7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO  
1ST AMENDMENT TO THE FINAL PD SITE PLAN

## SHEET 9 OF 16

### LANDSCAPE BREAKDOWN

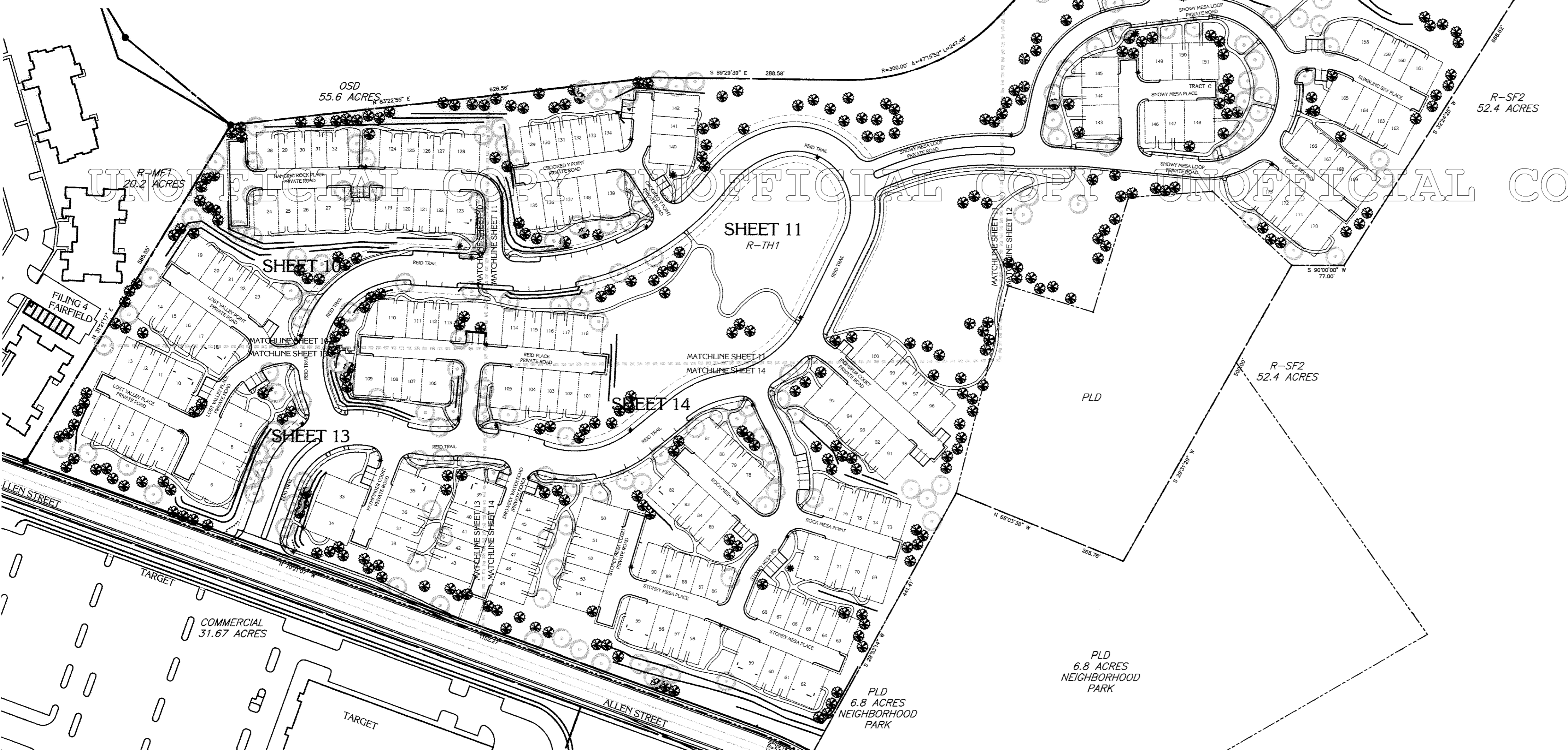
<b>DISTURBED AREAS</b>	471,319 S.F.	10.82 AC	49.8%
IRRIGATED LANDSCAPE AREA	172,337 S.F.	3.96 AC	41.8%
SHRUB BEDS	239,333 S.F.	5.49 AC	58.2%
TURF			
<b>TOTAL</b>	411,670 S.F.	9.45 AC	100%
<b>NON-IRRIGATED LANDSCAPE AREA</b>	59,649 S.F.	1.37 AC	
<b>MATIVES GRASS</b>			
<b>NON-DISTURBED AREAS</b>	275,265 S.F.	6.32 AC	29.1%
PLD PARK SITE	148,104 S.F.	3.40 AC	15.7%
<b>HARDSCAPE AREAS</b>	50,965 S.F.	1.17 AC	5.4%
<b>TOTAL</b>	945,653 S.F.	21.71 AC	100%
<b>EXISTING VEGETATION</b>	71,347 S.F.	178 TREES	
ASSUMING COVERAGE OF 1 TREE PER 400 S.F. OF AREA			
<b>REQUIRED NUMBER OF TREES</b>		823 TREES	
2 TREES PER 1,000 S.F. OF IRRIGATED LANDSCAPE AREA			
<b>TREES PROVIDED</b>		824 TREES	
646 TREES ON THE PLAN AND 178 EXISTING TREES			
<b>REQUIRED NUMBER OF SHRUBS</b>		1646 SHRUBS	
4 SHRUBS PER 1,000 S.F. OF IRRIGATED LANDSCAPE AREA			

### PLANT LIST

Code	Scientific Name	Common Name	Quantity	Size
<b>DECIDUOUS SHADE TREES - 161 TREES</b>				
APD	Acer platanoides 'Deborah'	Deborah Norway Maple	3	2.5'-Cal
APE	Acer platanoides 'Emerald Queen'	Emerald Queen Norway Maple	2	2.5'-Cal
CO	Celtis occidentalis	Hackberry	28	2.5'-Cal
CS	Catalpa speciosa	Western Catalpa	5	2.5'-Cal
FM	Fraxinus mandshurica 'Mancana'	Mancana Ash	4	2.5'-Cal
FP	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	9	2.5'-Cal
FS	Fraxinus pennsylvanica 'Summit'	Summit Ash	22	2.5'-Cal
GD	Gymnocladus dioica	Kentucky Coffeetree	5	2.5'-Cal
GT	Gleditsia tri. inermis 'Skyline'	Shademoor Honeylocust	31	2.5'-Cal
GB	Quercus bicolor	Swamp White Oak	8	2.5'-Cal
QM	Quercus macrocarpa	Burr Oak	13	2.5'-Cal
QR	Quercus Robur	English Oak	7	2.5'-Cal
TA	Tilia americana	American Linden	24	2.5'-Cal
<b>ORNAMENTAL TREES - 176 TREES</b>				
AG	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	1.5'-Cal
AT	Acer tataricum	Tatarian Maple	41	1.5'-Cal
CCI	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorne	21	1.5'-Cal
CP	Crataegus phaenopyrum	Washington Hawthorne	4	1.5'-Cal
MR	Malus Radiant	Radiant Crabapple	25	1.5'-Cal
MS	Malus 'Spring Snow'	Spring Snow Crabapple	39	1.5'-Cal
PA	Prunus americana	American Plum	3	1.5'-Cal
PU	Pyrus ussuriensis	Ussurian Pear	37	1.5'-Cal
<b>CONIFEROUS TREES - 309 TREES</b>				
PN	Pinus nigra	Austrian Pine	114	8' B&B
PP	Pinus ponderosa	Ponderosa Pine	135	8' B&B
PPG	Picea pungens 'Glauca'	Colorado Blue Spruce	53	8' B&B
PS	Pinus sylvestris	Scotch Pine	7	8' B&B

### PROPOSED SHRUB & PERENNIAL LIST

Code	Scientific Name	Common Name	Quantity	Size
<b>DECIDUOUS SHRUBS - 1602 SHRUBS</b>				
AA	Amelanchier alnifolia	Saskatoon Serviceberry	5-Gal	
AC	Amorpha canescens	Leadplant	5-Gal	
AF	Amorpha fruticosa	Indigobush Amorpha	5-Gal	
AFS	Artemisia frigida	Fringed Sage	5-Gal	
ASS	Artemisia filifolia	Sand Sage	5-Gal	
BCP	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	5-Gal	
BD	Buddleia davidii nanhoensis 'Pettie Plum'	Butterfly Bush	5-Gal	
BT	Berberis thunbergii 'Atropurpurea'	Japanese Redleaf Barberry	5-Gal	
BTG	Berberis thunbergii 'Green'	Green Barberry	5-Gal	
BXT	Berberis x Tara'	Emerald Carousel Barberry	5-Gal	
CA	Cotoneaster apiculatus	Cranberry Cotoneaster	5-Gal	
CL	Cotoneaster lucidus	Peking Cotoneaster	5-Gal	
CD	Cotoneaster divaricatus	Spreading Cotoneaster	5-Gal	
CC	Caryopteris x clandonensis	Blue Mist Spirea	5-Gal	
CK	Cornus sericea 'Kelsey'	Kelsey Dogwood	5-Gal	
CSB	Cornus sericea var. 'bailey'	Bailey Redtwig Dogwood	5-Gal	
CSI	Cornus sericea 'Isanti'	Isanti Dogwood	5-Gal	
EAC	Euonymus alata 'Compactus'	Dwarf Burning Bush	5-Gal	
MA	Mahonia aquifolium	Oregon Grape Holly	5-Gal	
MAC	Mahonia aquifolium compacta	Compact Oregon Grape Holly	5-Gal	
PA	Perovskia atriplicifolia	Russian Sage	5-Gal	
PAP	Prunus americana	American Plum	5-Gal	
PB	Prunus besseyi	Western Sandcherry	5-Gal	
PC	Prunus x cistena	Cistena Plum	5-Gal	
PT	Prunus tomentosa	Nanking Cherry	5-Gal	
PF	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5-Gal	
PM	Physocarpus monogynus	Mountain Ninebark	5-Gal	
RA	Ribes aureum	Golden Currant	5-Gal	
RAG	Ribes alpinum 'Greenmound'	Greenmound Alpine Currant	5-Gal	
RAH	Rosa 'Adelaide Hoodless'	Adelaide Hoodless Rose	2-Gal	
RAL	Ribes alpinum	Alpine Currant	5-Gal	
RD	Rubus deliciosus	Boulder Raspberry	5-Gal	
RG	Rhus glabra	Smooth Sumac	5-Gal	
RGL	Rhus aromatica 'Gro-low'	Gro-Low Sumac	5-Gal	
ROB	Rosa x 'Bonica'	Bonica Rose	2-Gal	
ROCB	Rosa 'Carefree Beauty'	Carefree Beauty Rose	2-Gal	
ROM	Rosa x 'Morden Blush'	Morden Blush Rose	2-Gal	
RR	Rosa rugosa	Redleaf Rose	5-Gal	
RS	Ribes silvestre 'Red Lake'	Red Lake Currant	5-Gal	
RT	Rhus trilobata	Three-leaf Sumac	5-Gal	
RTL	Rhus typhina 'Lancinata'	Cutleaf Staghorn Sumac	5-Gal	
RW	Rosa woodsii	Woods Rose	5-Gal	
SA	Symphoricarpos albus	White Snowberry	5-Gal	
SB	Spiraea x bumalda 'Froebel'	Froebel Spirea	5-Gal	
SBG	Spiraea x bumalda 'Gumball'	Gumball Spirea	5-Gal	
SCH	Symphoricarpos x chenaultii 'hancock'	Hancock Coralberry	5-Gal	
SM	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5-Gal	
SN	Spiraea nipponica 'Snowmound'	Snowmound Spirea	5-Gal	
SV	Syringa vulgaris	Common Lilac	5-Gal	
VL	Viburnum lantana	Wayfaring Tree	5-Gal	
VLE	Viburnum lentago	Nannyberry	5-Gal	
VTC	Viburnum trilobum 'Compactum'	Compact Amer. Cran. Viburnum	5-Gal	
<b>EVERGREEN SHRUBS</b>				
JA	Juniperus chinensis 'Armstrongii'	Armstrong Juniper	5-Gal	
JBC	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5-Gal	
JCC	Juniperus sabinna 'Calgary Carpet'	Calgary Carpet Juniper	5-Gal	
JCO	Juniperus chinensis 'Old Gold'	Old Gold Juniper	5-Gal	
JH	Juniperus horizontalis 'Hughes'	Hughes Juniper	5-Gal	
JSG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5-Gal	
PMM	Pinus mugo var. mugo	Mugo Pine	5-Gal	
<b>ORNAMENTAL GRASSES/ PERENNIALS/ GROUND COVERS</b>				
AVE	Helictotrichon sempervirens	Blue Avena Grass	1-Gal	
CAS	Calamagrostis acut. 'Karl Foerster'	Feather Reed Grass	1-Gal	
COR	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1-Gal	
DAY	Hemerocallis spp.	Daylily	1-Gal	
EP	Echinacea purpurea	Purple Coneflower	1-Gal	
GAY	Liatris spicata	Gayfeather	1-Gal	
IRIS	Iris (Tall Bearded)	Bearded Iris	5-Gal	
MIS	Miscanthus sinensis	Miscanthus Grass	1-Gal	
PE	Pennisetum alopecuroides	Fountain Grass	1-Gal	
PN	Potentilla neumanniana	Creeping Potentilla	1-Gal	
RUD	Ratibida columnifera	Goldsturm Black-eyed Susan	1-Gal	
SED	Sedum 'Autumn Joy'	Autumn Joy Sedum	1-Gal	
VM	Vinca minor 'Bowles Variety'	Bowles Periwinkle	1-Gal	

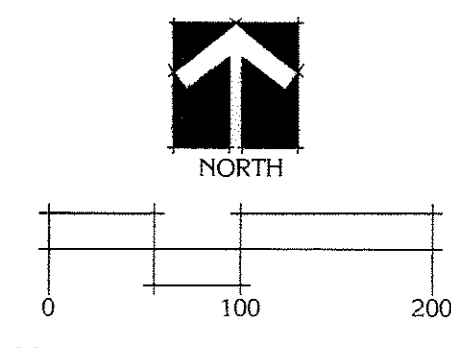


### PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- THE ENTIRE IRRIGATION SYSTEM USED FOR THE PROJECT WILL HAVE BACKFLOW PREVENTION DEVICES INSTALLED AS APPROVED BY THE TOWN.
- ALL TURF AREAS TO BE IRRIGATED WITH A POP UP SPRAY IRRIGATION SYSTEM. DISTURBED PORTIONS OF THE NATURAL AREAS WILL BE RESEED WITH A NATIVE SEED MIX AND IRRIGATED WITH A TEMPORARY POP UP SPRAY OR ROTOR SYSTEM FOR ONE YEAR TO ALLOW FOR GERMINATION OF THE SEED.
- ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL TREES TO BE BALLED & BURLAPPED, ROOT CONTROL BAG, OR CONTAINERIZED.
- ALL SHRUB BEDS TO BE MULCHED WITH BARK MULCH (3" AVERAGE DEPTH) ON TYRAN FILTER FABRIC AS PER SPECIFICATIONS.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE CONSTRUCTION AS REQUIRED BY SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED.
- NO LANDSCAPING (EXCEPT GRASS AND PRIVATE IRRIGATION SYSTEMS), NOR PERMANENT STRUCTURES (MAILBOXES, SHEDS, BUILDINGS, ETC) SHALL BE PLACED IN THE UTILITY OR DRAINAGE EASEMENTS PER PWR, SECTION 8, CHAPTER 14.3.13, CHAPTER 15.5.6 AND CHAPTER 10.1.3.7.
- NO OBJECT WITHIN ANY SIGHT TRIANGLES MORE THAN 36" ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET ARE ALLOWED SINCE THEY CONSTITUTE SIGHT OBSTRUCTIONS. SUCH OBJECTS INCLUDE BUILDINGS, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS, ETC.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED. ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED AT A RATE OF AT LEAST 3 CUBIC YDS. PER 1,000 SF AS PER THE SPECIFICATIONS.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- WHERE PLANTS OF THE SAME SPECIES ARE GROUPED TOGETHER, THE PLANTS SHALL BE MATCHING IN FORM, SIZE, AND CHARACTER.
- LOCATE ALL UTILITIES PRIOR TO PLANTING.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPING SHALL BE INSTALLED, OR SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, ESCROW, OR OTHER FINANCIAL INSTRUMENT ACCEPTABLE TO THE CITY, FOR 125% OF THE VALUATION OF MATERIALS AND LABOR PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- IF REPAIRS TO WATER AND OR SEWER SERVICE LINES CAUSES PLANT MATERIAL TO BE REMOVED, THAT PLANT MATERIAL SHALL BE REPLACED BY THE HOA PER THESE PLANS.
- EXISTING VEGETATION ON THE SITE IS PONDEROSA PINE TREES AND SCRUB OAK STANDS. THE EXISTING VEGETATION WILL BE LEFT UNDISTURBED WHEREVER POSSIBLE.
- SIDEWALK DESIGN AND LOCATIONS ARE PRELIMINARY AND MAY BE ADJUSTED PER FIELD CONDITIONS.

### KEY MAP

SCALE: 1"=100'



SCALE 1"=100'

JOB NO: V-80543  
ACAD FILE: PDSP\_1AMEND  
DRAWN: KN\_SEW  
CHECKED: KN  
DATE: April 27, 2005  
REVISIONS: March 10, 2006  
April 18, 2006

SHEET NO: 9 OF 16

**NMA CIVIL ENGINEERING CONSULTANTS**

NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

**METZLER RANCH FILING NO. 7  
1ST AMENDMENT TO FINAL PD SITE PLAN**

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

1ST AMENDMENT TO THE FINAL PD SITE PLAN  
SHEET 10 OF 16

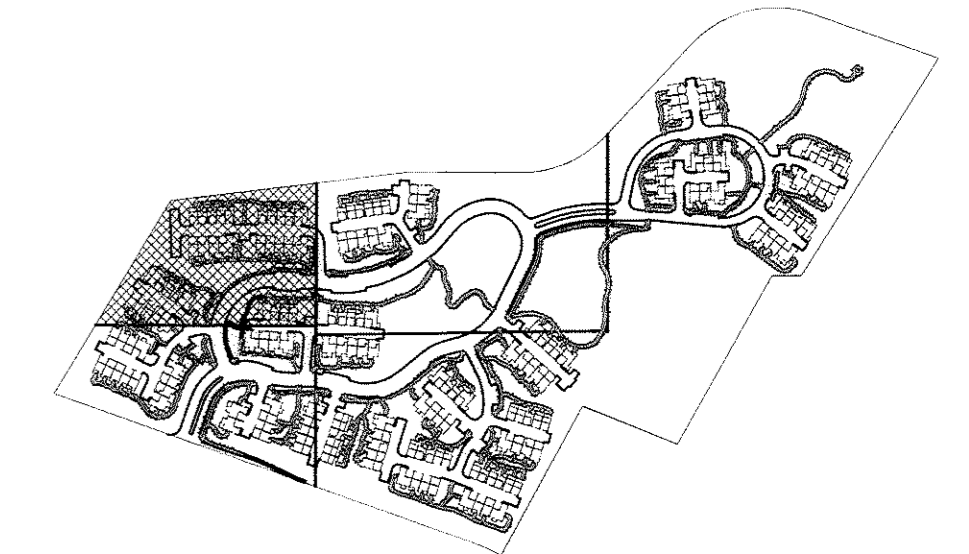
**VIGNETTE**  
studios

Landscape Architecture  
Site Planning  
Graphics

144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



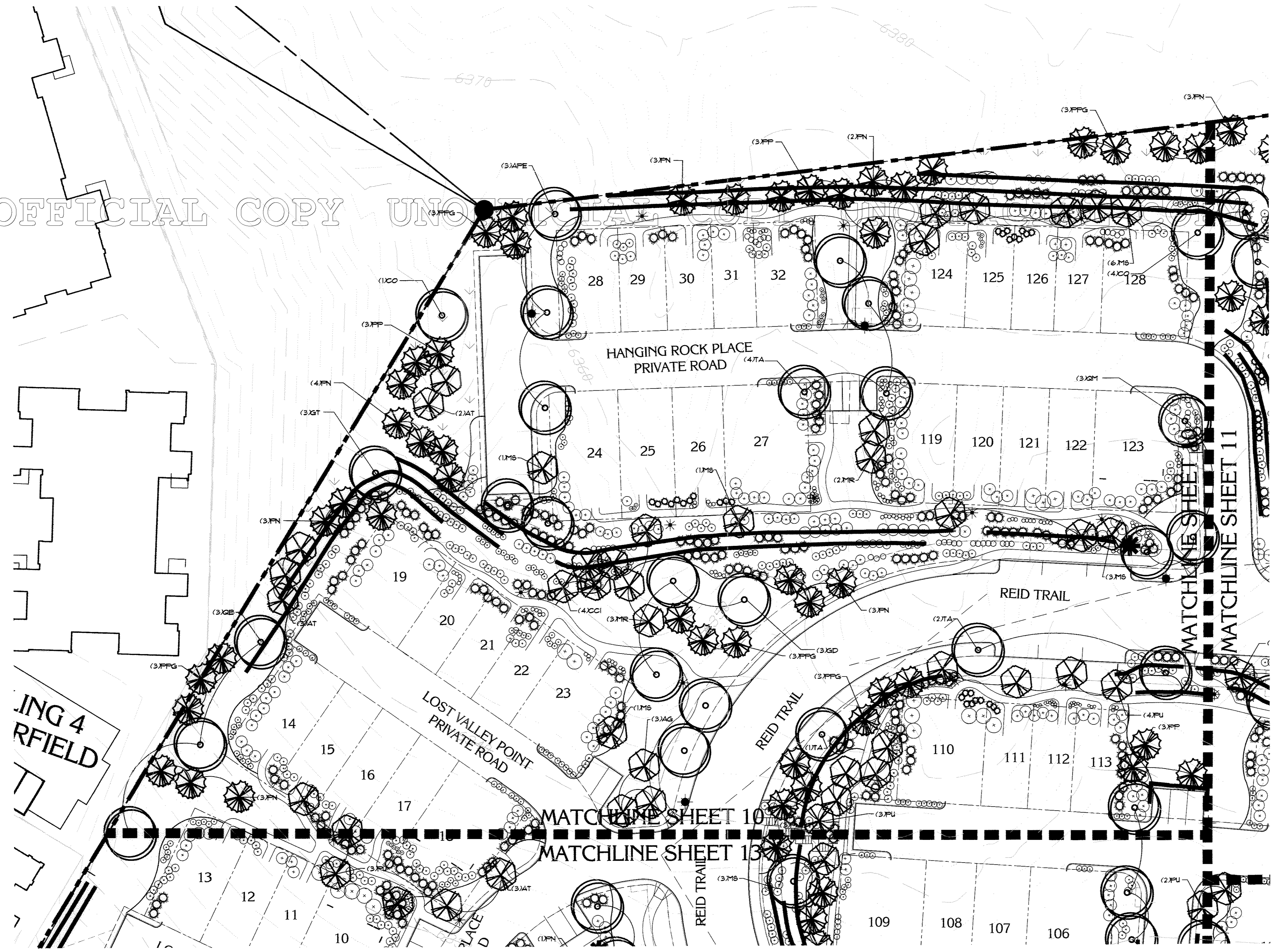
STANDARD PACIFIC  
HOMES



SHEET KEY MAP

UNOFFICIAL COPY

UNOFFICIAL COPY

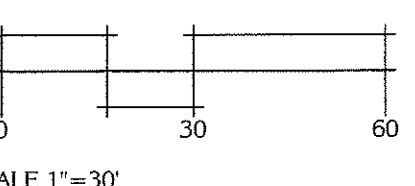


LEGEND

- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED DRYLAND GRASS
- PROPOSED SEEDED TURF
- PROPOSED SHRUB BEDS
- PROPOSED MAIL BOX KIOSKS
- PROPOSED RETAINING WALLS
- PROPOSED PEDESTRIAN LIGHTS
- PROPOSED PEDESTRIAN LIGHTS
- SHRUBS AND PERENNIALS



NORTH



SCALE 1"=30'

JOB NO:	V-80543
ACAD FILE:	PDSP_1AMEND
DRAWN:	KN_SEW
CHECKED:	KN
DATE:	April 27, 2005
REVISIONS:	March 10, 2006
	April 18, 2006

SHEET NO:  
10 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEDRIA ST., SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO  
1ST AMENDMENT TO THE FINAL PD SITE PLAN

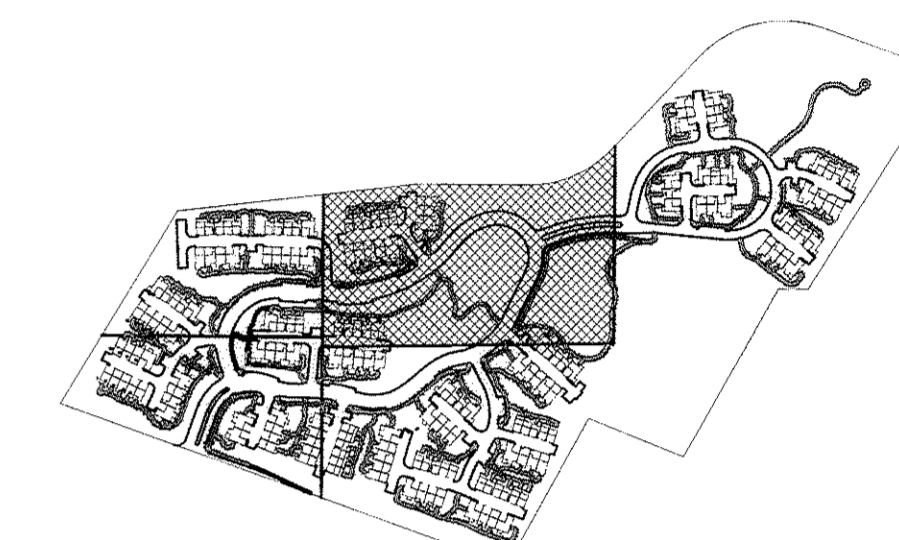
SHEET 11 OF 16

**VIGNETTE**  
studios

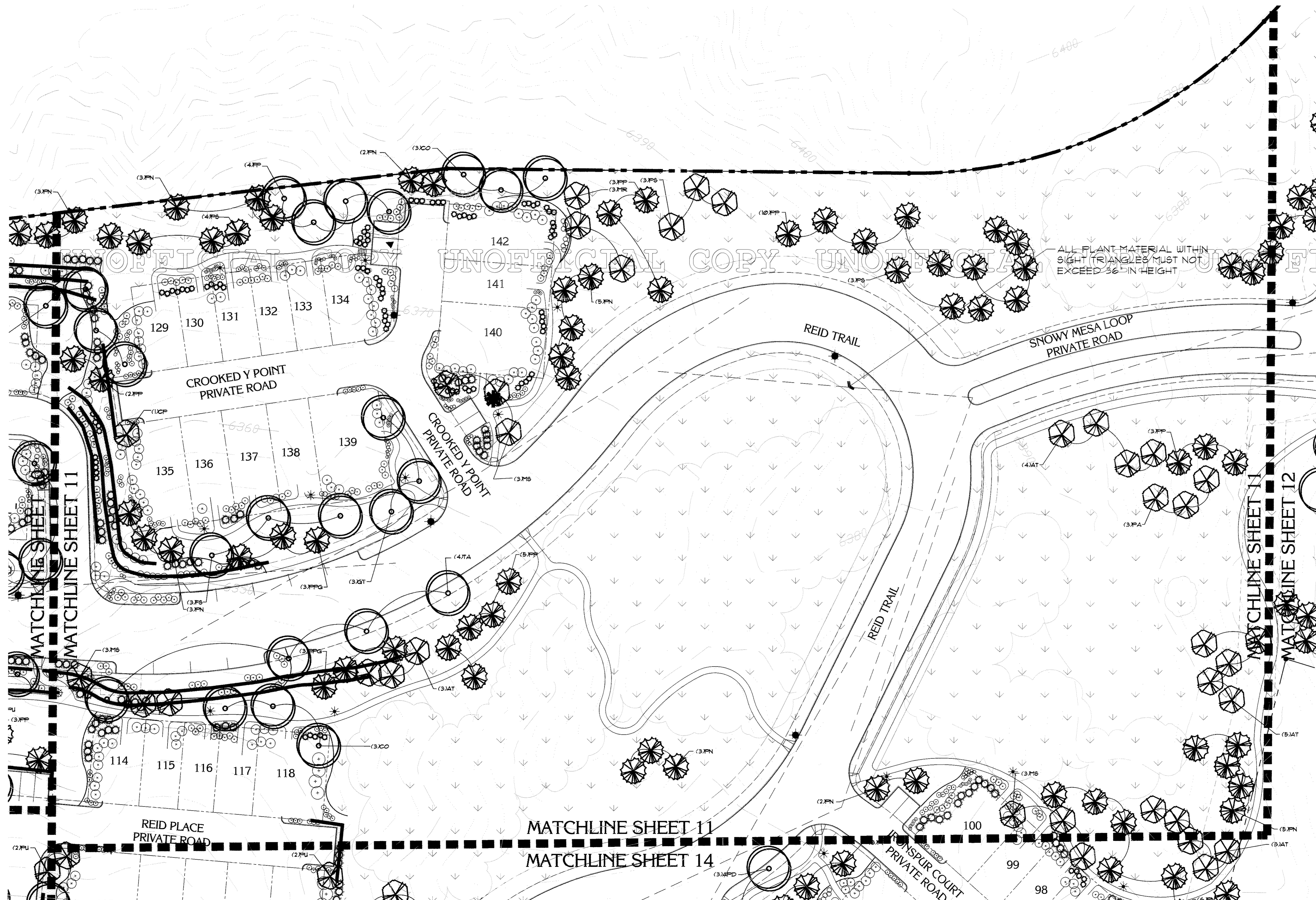
Landscape Architecture  
Site Planning  
Graphics  
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



STANDARD PACIFIC  
HOMES



SHEET KEY MAP

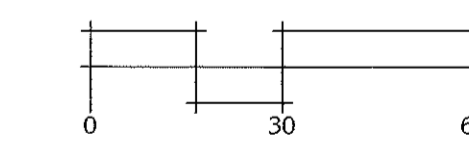


LEGEND

- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED DRYLAND GRASS
- PROPOSED SEEDED TURF
- PROPOSED SHRUB BEDS
- PROPOSED MAIL BOX KIOSKS
- PROPOSED RETAINING WALLS
- PROPOSED PEDESTRIAN LIGHTS
- SHRUBS AND PERENNIALS



NORTH



SCALE 1"=30'

JOB NO: V-80543  
ACAD FILE: PDSP\_1AMEND  
DRAWN: KN\_SEW  
CHECKED: KN  
DATE: April 27, 2005  
REVISIONS: March 10, 2006  
April 18, 2006

SHEET NO:  
11 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO  
1ST AMENDMENT TO THE FINAL PD SITE PLAN

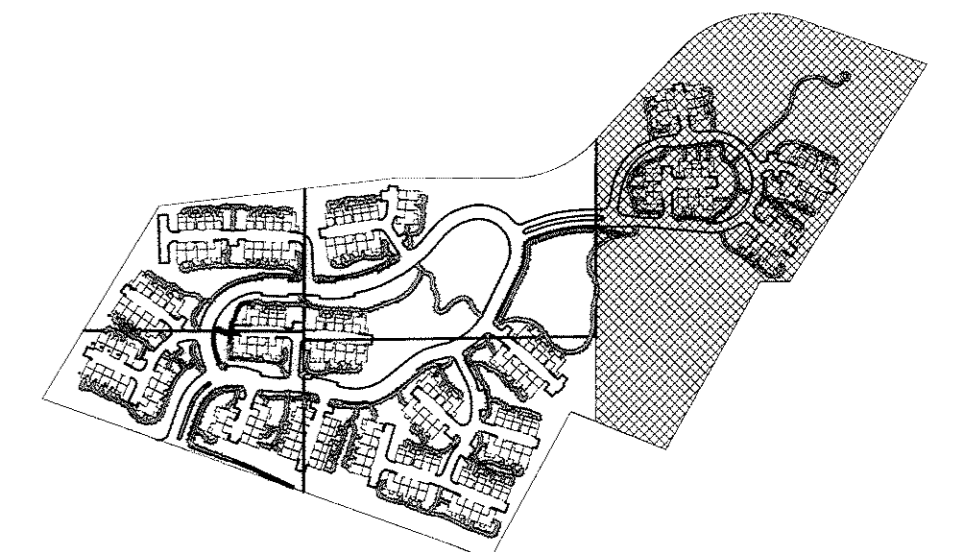
SHEET 12 OF 16

**VIGNETTE**  
studios

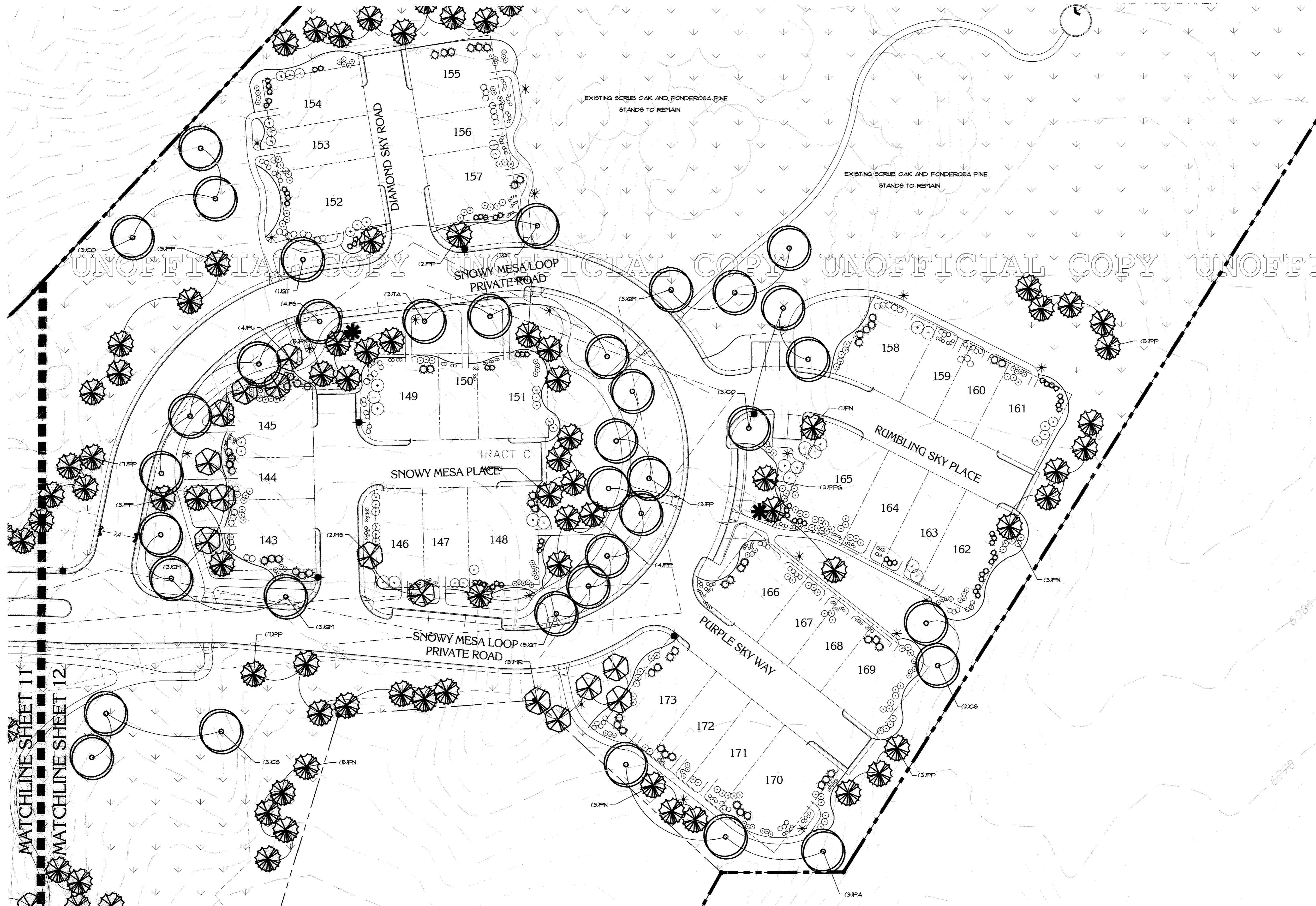
Landscape Architecture  
Site Planning  
Graphics  
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



STANDARD PACIFIC  
HOMES



SHEET KEY MAP



UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

LEGEND

- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED DRYLAND GRASS
- PROPOSED SEEDED TURF
- PROPOSED SHRUB BEDS
- PROPOSED MAIL BOX KIOSKS
- PROPOSED RETAINING WALLS
- PROPOSED PEDESTRIAN LIGHTS
- SHRUB BED EDGING
- SHRUBS AND PERENNIALS



NORTH

SCALE 1"=30'

JOB NO:	V-80543
ACAD FILE:	PDSP_1AMEND
DRAWN:	KN, SEW
CHECKED:	KN
DATE:	April 27, 2005
REVISIONS:	March 10, 2006
	April 18, 2006

SHEET NO:  
12 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO  
1ST AMENDMENT TO THE FINAL PD SITE PLAN

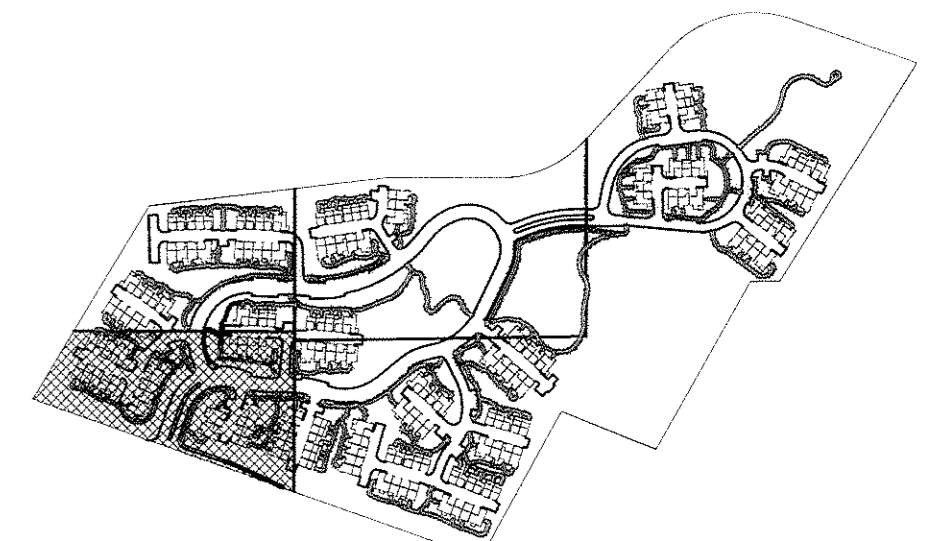
SHEET 13 OF 16

**VIGNETTE**  
studios

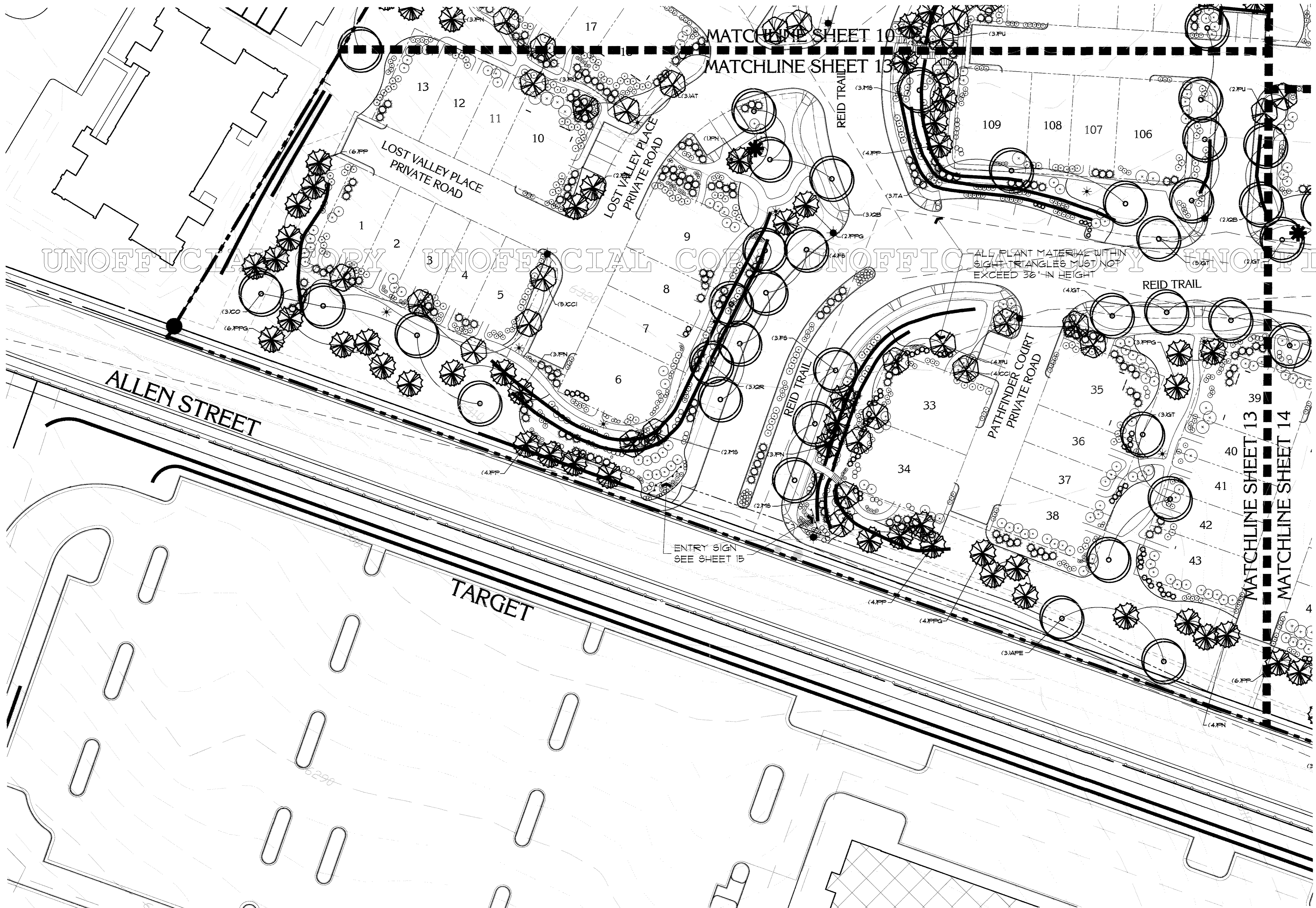
Landscape Architecture  
Site Planning  
Graphics  
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



STANDARD PACIFIC  
HOMES

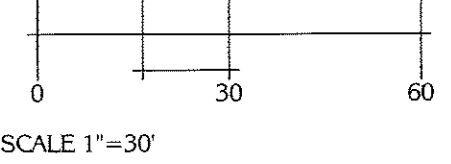


SHEET KEY MAP



**LEGEND**

- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED DRYLAND GRASS
- PROPOSED SEEDED TURF
- PROPOSED SHRUB BEDS
- PROPOSED MAIL BOX KIOSKS
- PROPOSED RETAINING WALLS
- PROPOSED PEDESTRIAN LIGHTS
- SHRUB BED EDGING
- SHRUBS AND PERENNIALS



JOB NO:	V-80543
ACAD FILE:	PDSP_1AMEND
DRAWN:	KN_SEW
CHECKED:	KN
DATE:	April 27, 2006
REVISIONS:	March 10, 2006
	April 18, 2006

SHEET NO:  
13 of 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

1ST AMENDMENT TO THE FINAL FD SITE PLAN

SHEET 14 OF 16

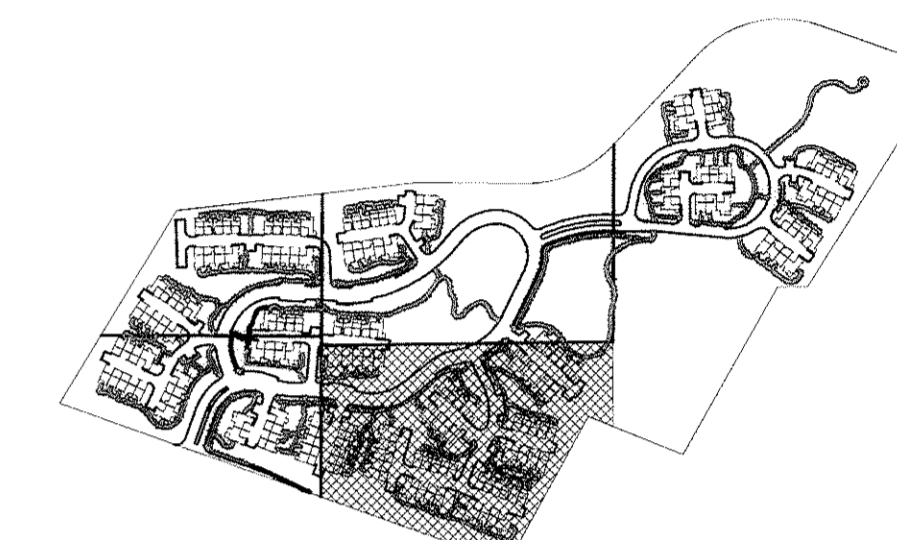
**VIGNETTE**  
studios

Landscape Architecture  
Site Planning  
Graphics

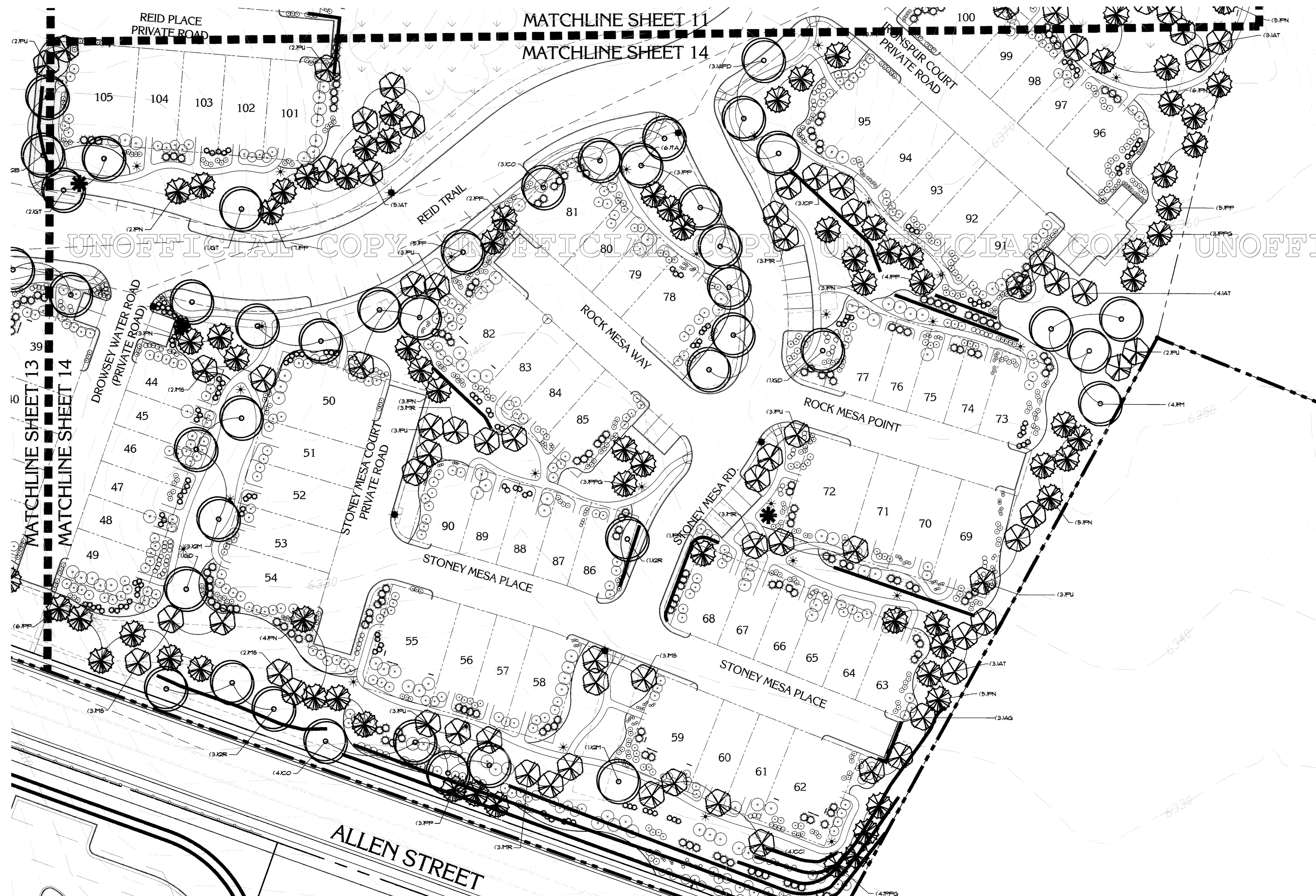
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



STANDARD PACIFIC  
HOMES



SHEET KEY MAP



**LEGEND**

- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED DRYLAND GRASS
- PROPOSED SEEDED TURF
- PROPOSED SHRUB BEDS
- PROPOSED MAIL BOX KIOSKS
- PROPOSED RETAINING WALLS
- PROPOSED PEDESTRIAN LIGHTS
- SHRUB BED EDGING
- SHRUBS AND PERENNIALS



NORTH

SCALE 1"=30'

JOB NO:	V-80543
ACAD FILE:	PDSP_1AMEND
DRAWN:	KN, SEW
CHECKED:	KN
DATE:	April 27, 2005
REVISIONS:	March 10, 2006
	April 18, 2006

SHEET NO:  
14 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS

NMA ENGINEERING, INC.  
2953 S. PEDRIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO.7  
1ST AMENDMENT TO FINAL PD SITE PLAN

# METZLER RANCH FILING NO.7

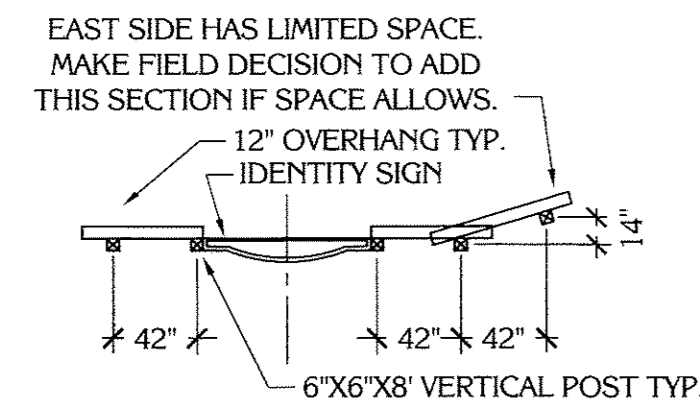
A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

## 1ST AMENDMENT TO THE FINAL PD SITE PLAN SHEET 15 OF 16

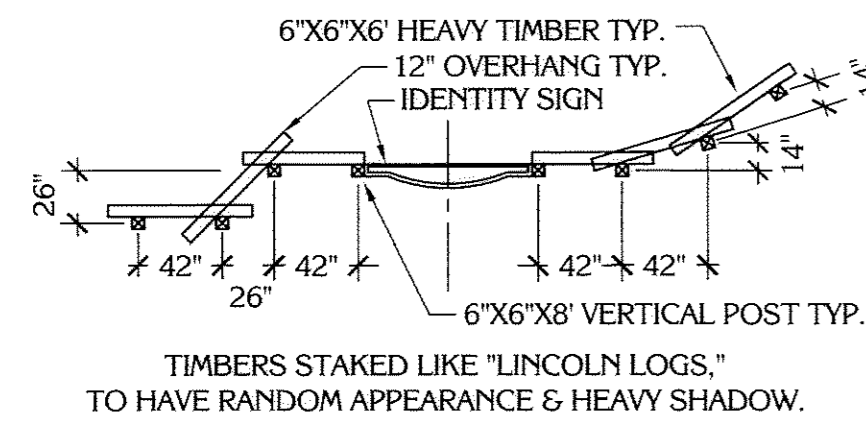
**STANDARD PACIFIC HOMES**

**VIGNETTE STUDIOS**

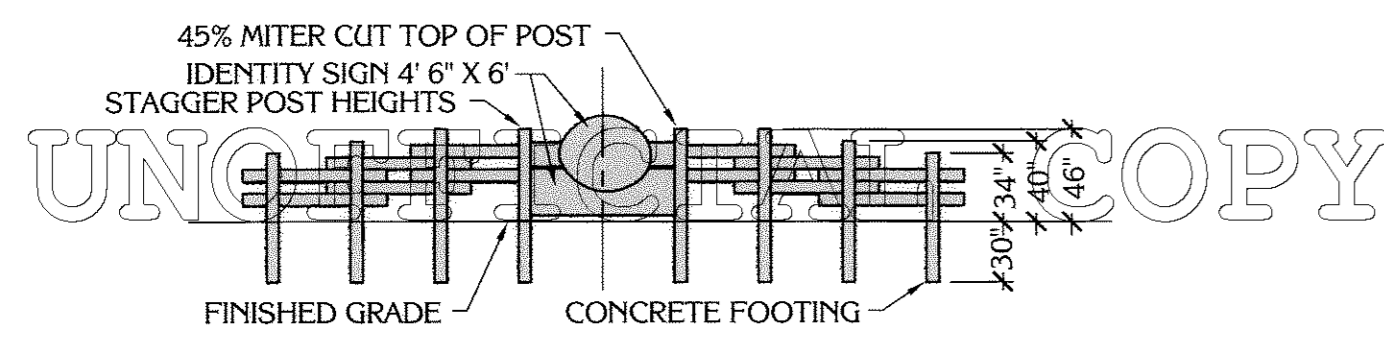
Landscape Architecture  
Site Planning  
Graphics  
144 N. Mason Street Suite 2 Fort Collins, CO 80524  
Tel: (970) 472-9125 Fax: (970) 494-0728



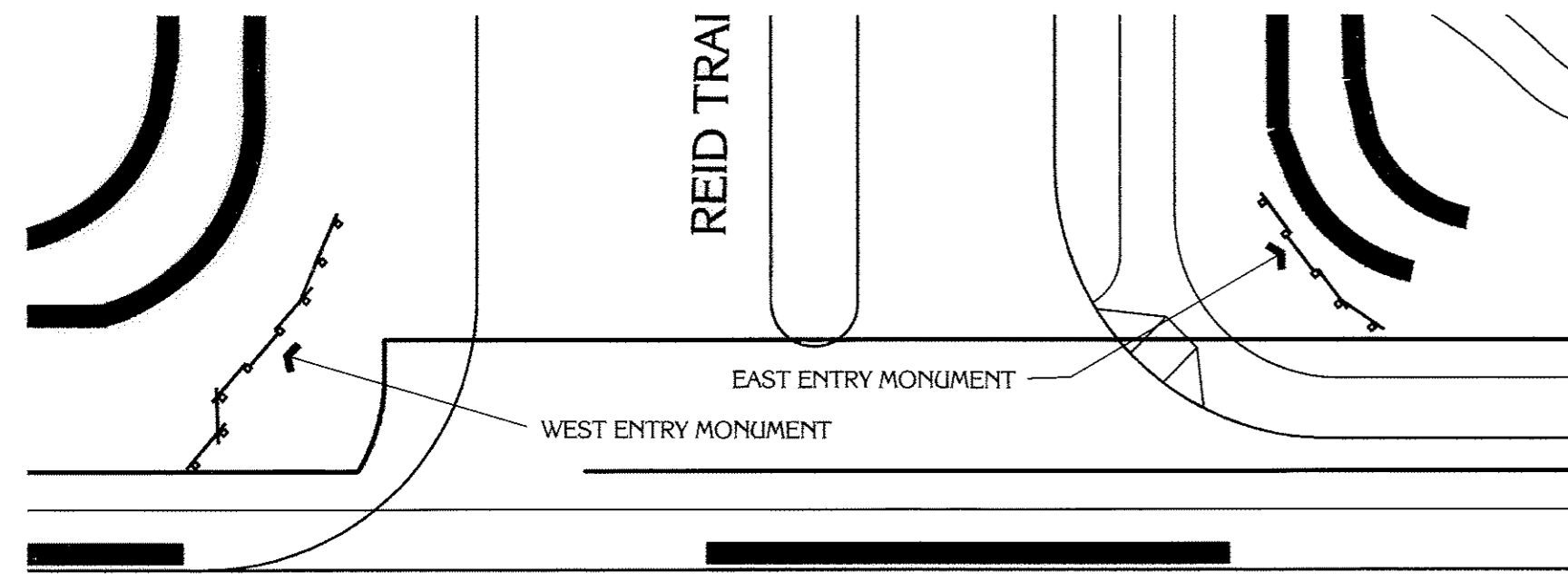
EAST ENTRY MONUMENT DETAIL PLAN  
SCALE 1/8" = 1'-0"



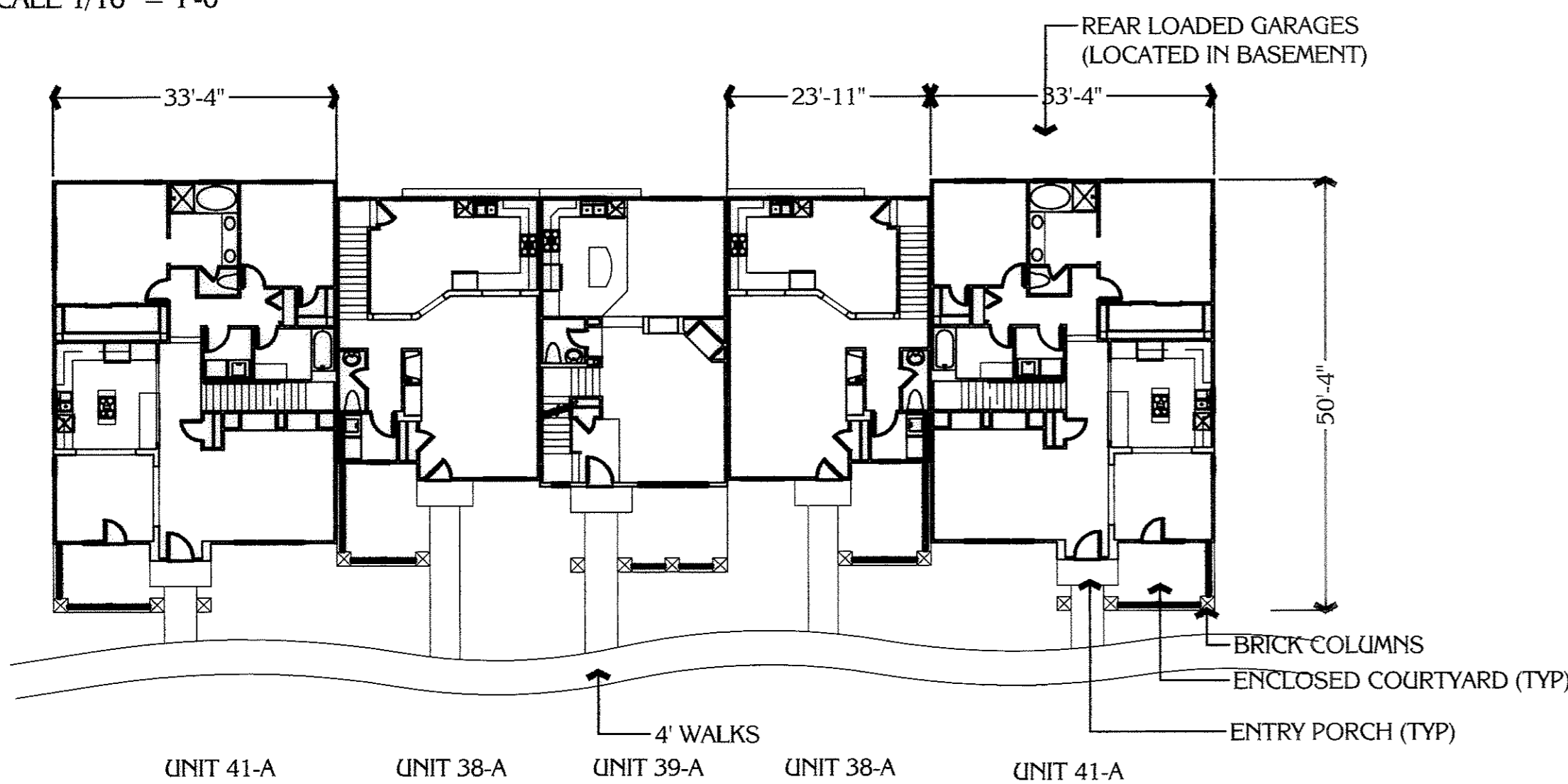
WEST ENTRY MONUMENT DETAIL PLAN  
SCALE 1/8" = 1'-0"



ENTRY MONUMENT ELEVATION  
SCALE 1/8" = 1'-0"



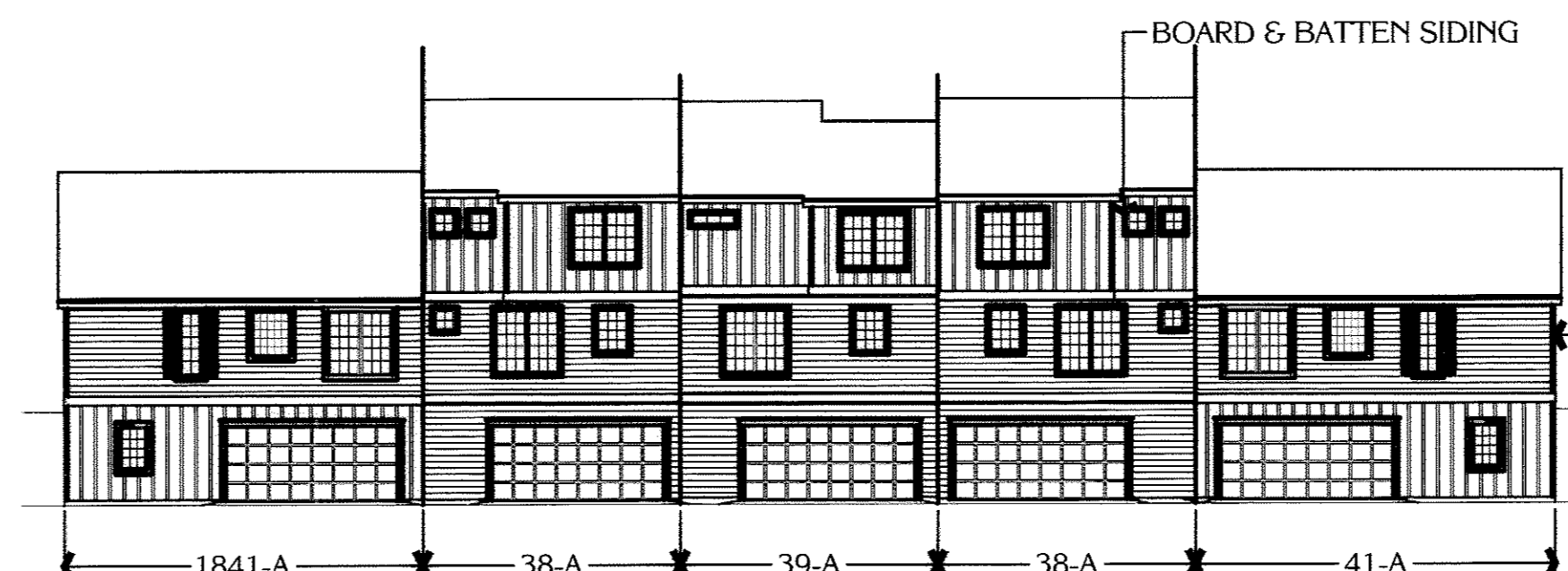
ENTRY MONUMENT LOCATION PLAN  
SCALE 1/16" = 1'-0"



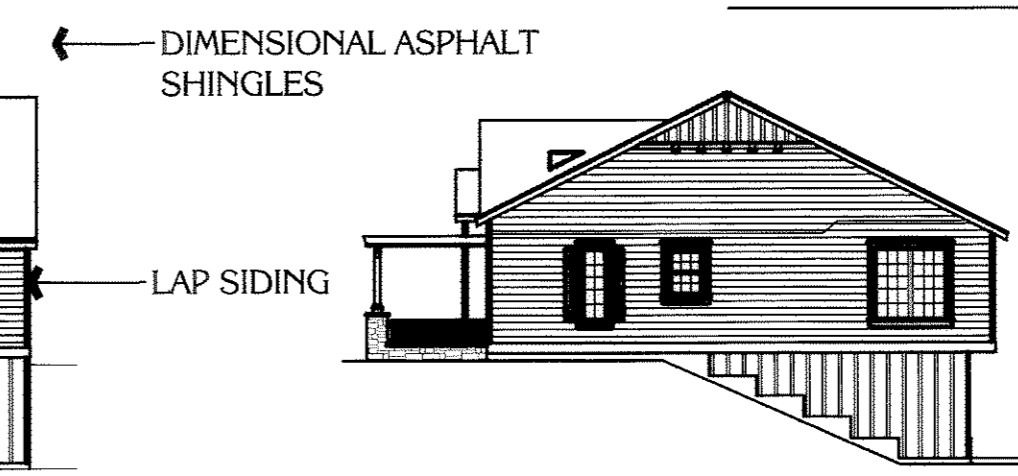
TYPICAL UNIT LAYOUT (5 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"



TYPICAL FRONT BUILDING ELEVATIONS (5 UNIT BUILDING ILLUSTRATED)  
SCALE 1/8" = 1'-0"



TYPICAL REAR BUILDING ELEVATIONS (5 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"



TYPICAL SIDE BUILDING ELEVATION  
SCALE 1/16" = 1'-0"

**COLORS**

SCHEME	B-1 BODY	T-1 TRIM	T-2 TRIM	P-1 PUNCH
1	COGSWELL CEDAR*	8181W MADONNA LILY	RUSSET**	8776N BLACK SMITH
2	TOFFEE*	8181W MADONNA LILY	RUSSET**	8186N SCRUBGUM GREEN
3	BRITCHES*	8181W MADONNA LILY	RUSSET**	POINTED FIR
4	BOARDMAN*	8181W MADONNA LILY	RUSSET**	8286N BURNSIDE
5	WARREN TAVERN*	8181W MADONNA LILY	RUSSET**	8266N BRAZILIAN BROWN
6	ASIAN JUTE*	8181W MADONNA LILY	RUSSET**	PETTINGILL SAGE*
7	WOOLY THYME*	8181W MADONNA LILY	RUSSET**	CANYON GOLD*
8	OTTIS MADIERA*	8181W MADONNA LILY	RUSSET**	8646N FLAXEN FIELD

B-1 BODY: Siding  
T-1 TRIM: Window Trim, Door Trim, Fascias, Soffits & Railings  
T-2 TRIM: Board and Batten, & Pergola  
P-1 PUNCH: Shutters & Doors

PAINT BY KWAL-HOWELLS  
\* = HISTORIC COLORS OF AMERICA  
\*\* = WOODKRAFT STAIN

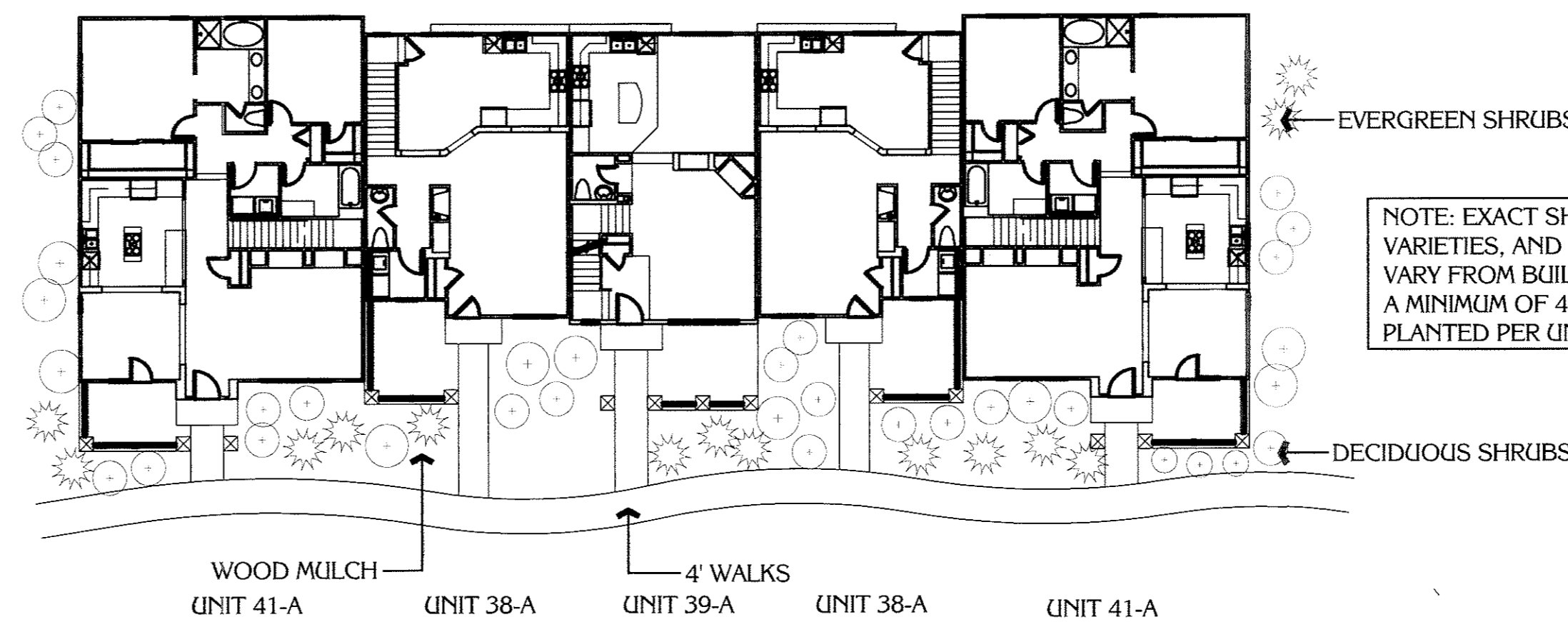
ROOF IS BY TAMKO. COLOR: RUSTIC REDWOOD  
STONE IS ENVIRONMENTAL MATERIALS, COLOR: SHADOW OAK (COBBLE / LEDGE MIX)



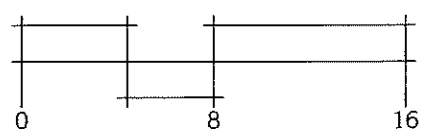
NOTE: THESE ELEVATIONS DEPICT THE OVERALL CHARACTER TO BE EXPECTED.

ADDITIONAL ELEVATIONS MAY BE OFFERED WITH DIFFERING FLOORPLANS, BUILDING GROUPINGS AND MASSING, AND TO CREATE DIVERSITY IN THE STREETSCAPE. THE GENERAL CHARACTER ILLUSTRATED HERE SHALL BE MAINTAINED.

NOTE: EXACT SHRUB PLACEMENT, VARIETIES, AND QUANTITIES WILL VARY FROM BUILDING TO BUILDING. A MINIMUM OF 4 SHRUBS WILL BE PLANTED PER UNIT.



TYPICAL BUILDING LANDSCAPE PLAN (5 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"



JOB NO: 80543  
ACAD FILE: 80543E3  
DRAWN: CB/BG/TCH  
CHECKED: TCH, KY  
DATE: 7/20/01  
REVISIONS:  
4/18/02  
6/26/02  
8/07/02  
9/16/02  
4/26/06  
3/10/06  
4/18/06

SHEET NO: 15 OF 16

**NMA CIVIL ENGINEERING CONSULTANTS**

NMA ENGINEERING, INC.  
2953 S. PEDRIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

METZLER RANCH FILING NO. 7  
1ST AMENDMENT TO FINAL PD SITE PLAN

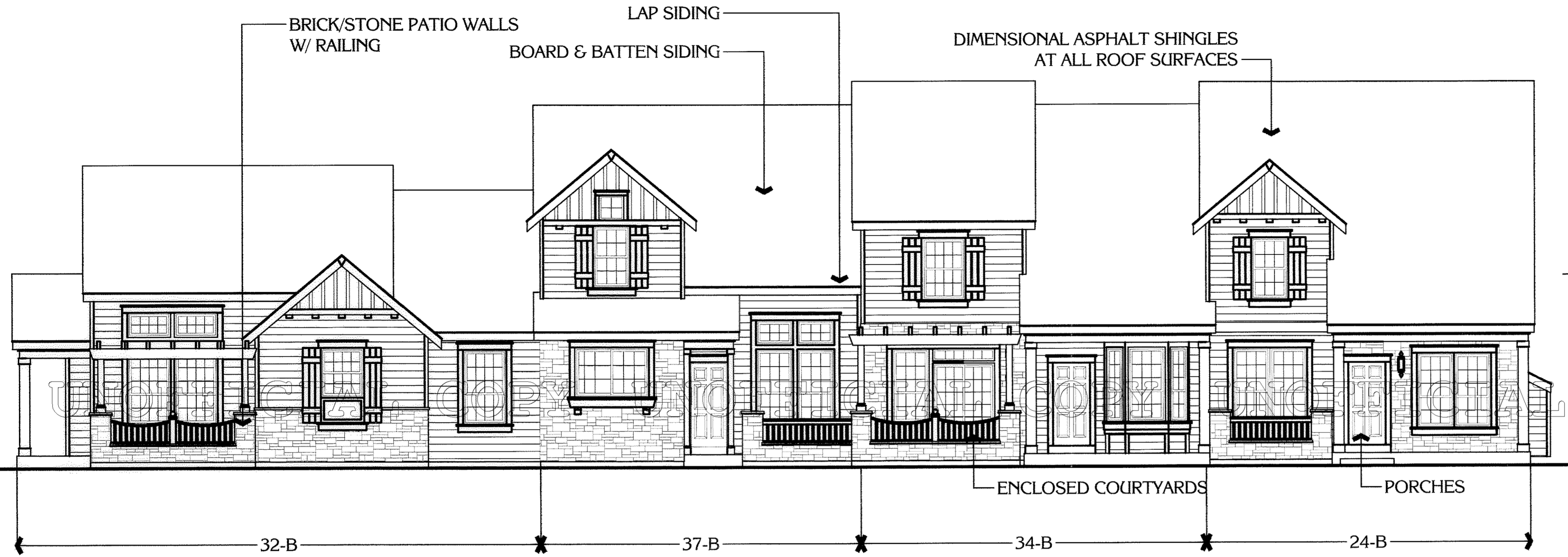
# METZLER RANCH FILING NO.7

A TRACT OF LAND SITUATED IN THE SOUTH HALF OF SECTION 26,  
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

## 1ST AMENDMENT TO THE FINAL PD SITE PLAN SHEET 16 OF 16



**NOTE:**  
THE LIGHTS SHOWN ARE  
PRELIMINARY AND MAY BE REVISED.  
THE FINAL LIGHT SELECTION WILL  
MEET THE REQUIREMENT OF THE TOWN OF  
CASTLE ROCK RIDGELINE DESIGN GUIDELINES.



TYPICAL FRONT BUILDING ELEVATIONS (4 UNIT BUILDING ILLUSTRATED)  
SCALE 1/8" = 1'-0"

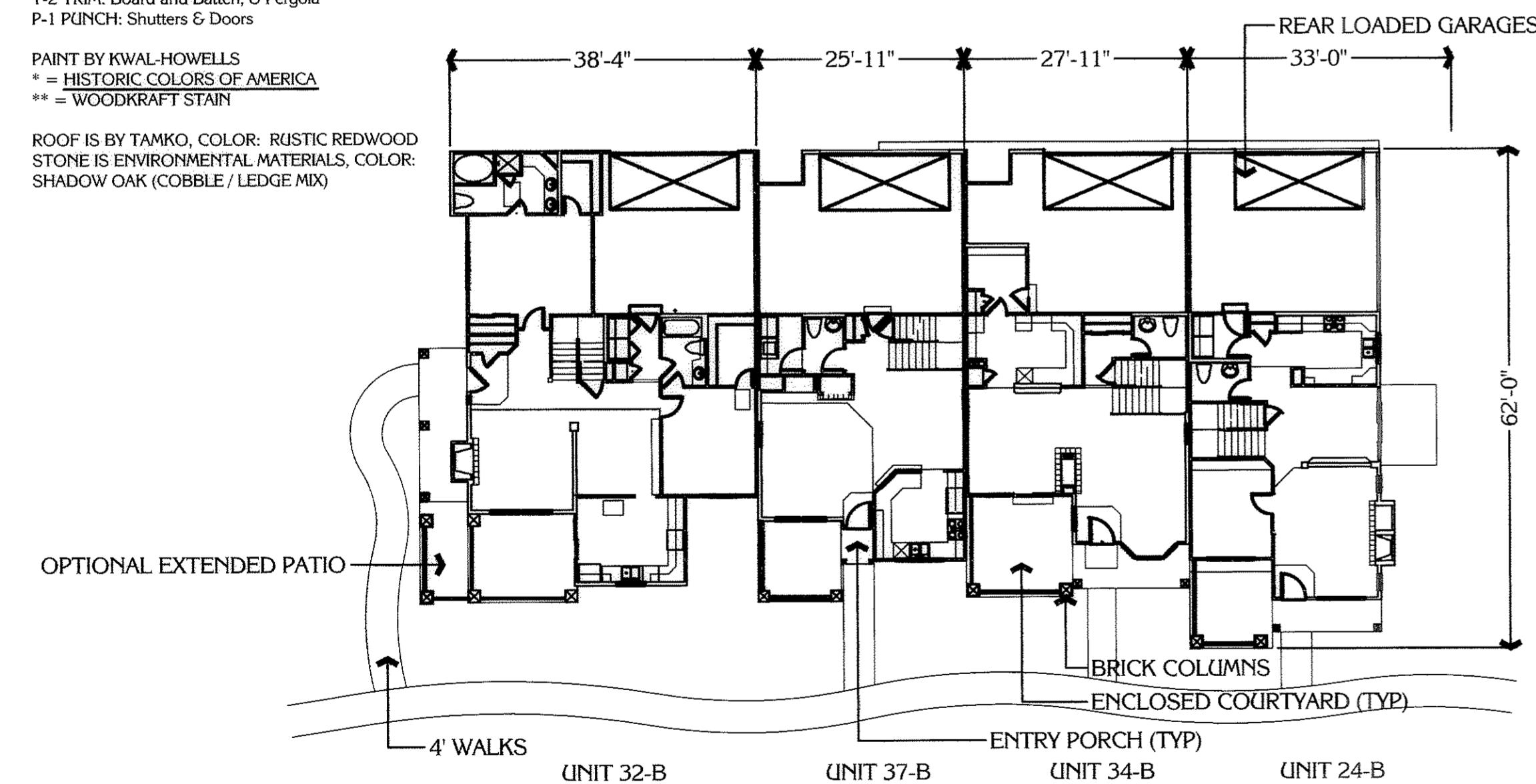
**COLORS**

SCHEME	B-1 BODY	T-1 TRIM	T-2 TRIM	P-1 PUNCH
1	COGSWELL CEDAR*	8181W MADONNA LILY	RUSSET**	8776N BLACK SMITH
2	TOPFEEL*	8181W MADONNA LILY	RUSSET**	8186N SCRUBGUM GREEN
3	BRITCHES*	8181W MADONNA LILY	RUSSET**	POINTED FIR
4	BOARDMAN*	8181W MADONNA LILY	RUSSET**	8286N BURNTSIDE
5	WARREN TAVERN*	8181W MADONNA LILY	RUSSET**	8266N BRAZILIAN BROWN
6	ASIAN JUTE*	8181W MADONNA LILY	RUSSET**	PETTINGIL SAGE*
7	WOOLY THYME*	8181W MADONNA LILY	RUSSET**	CANYON GOLD*
8	OTIS MADJERA*	8181W MADONNA LILY	RUSSET**	8646N FLAXEN FIELD

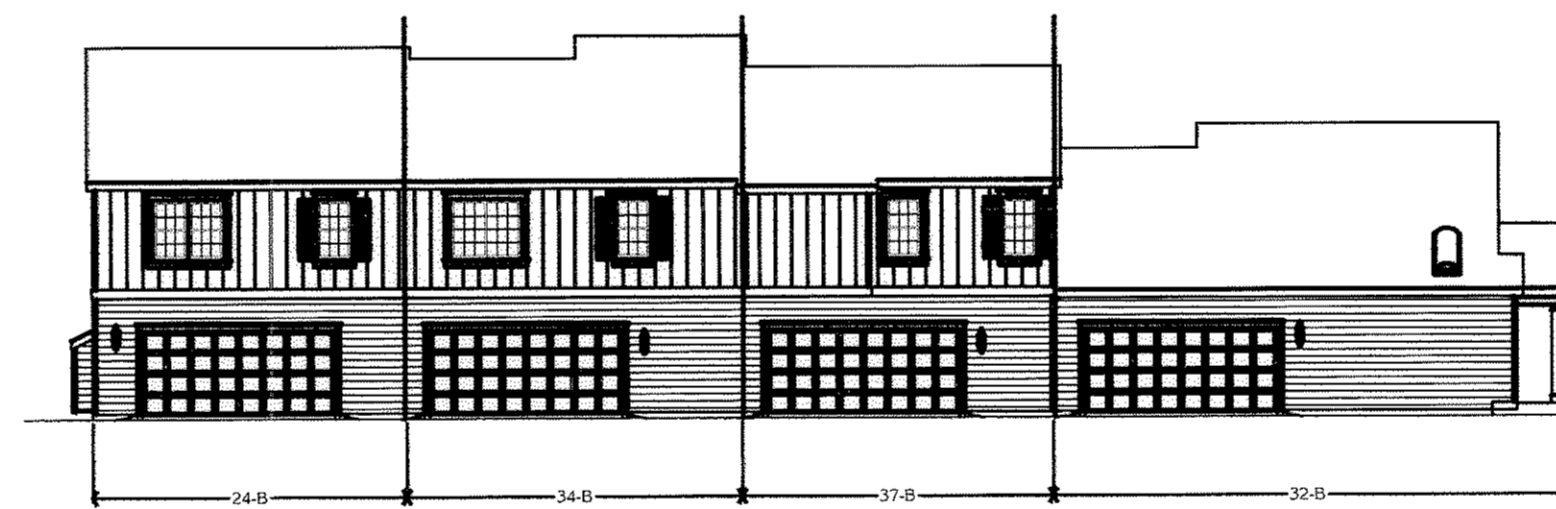
B-1 BODY: Siding  
T-1 TRIM: Window Trim, Door Trim, Fascias, Soffits & Railings  
T-2 TRIM: Board and Batten, & Pergola  
P-1 PUNCH: Shutters & Doors

PAINT BY KWAL-HOWELLS  
\* = HISTORIC COLORS OF AMERICA  
\*\* = WOODKRAFT STAIN

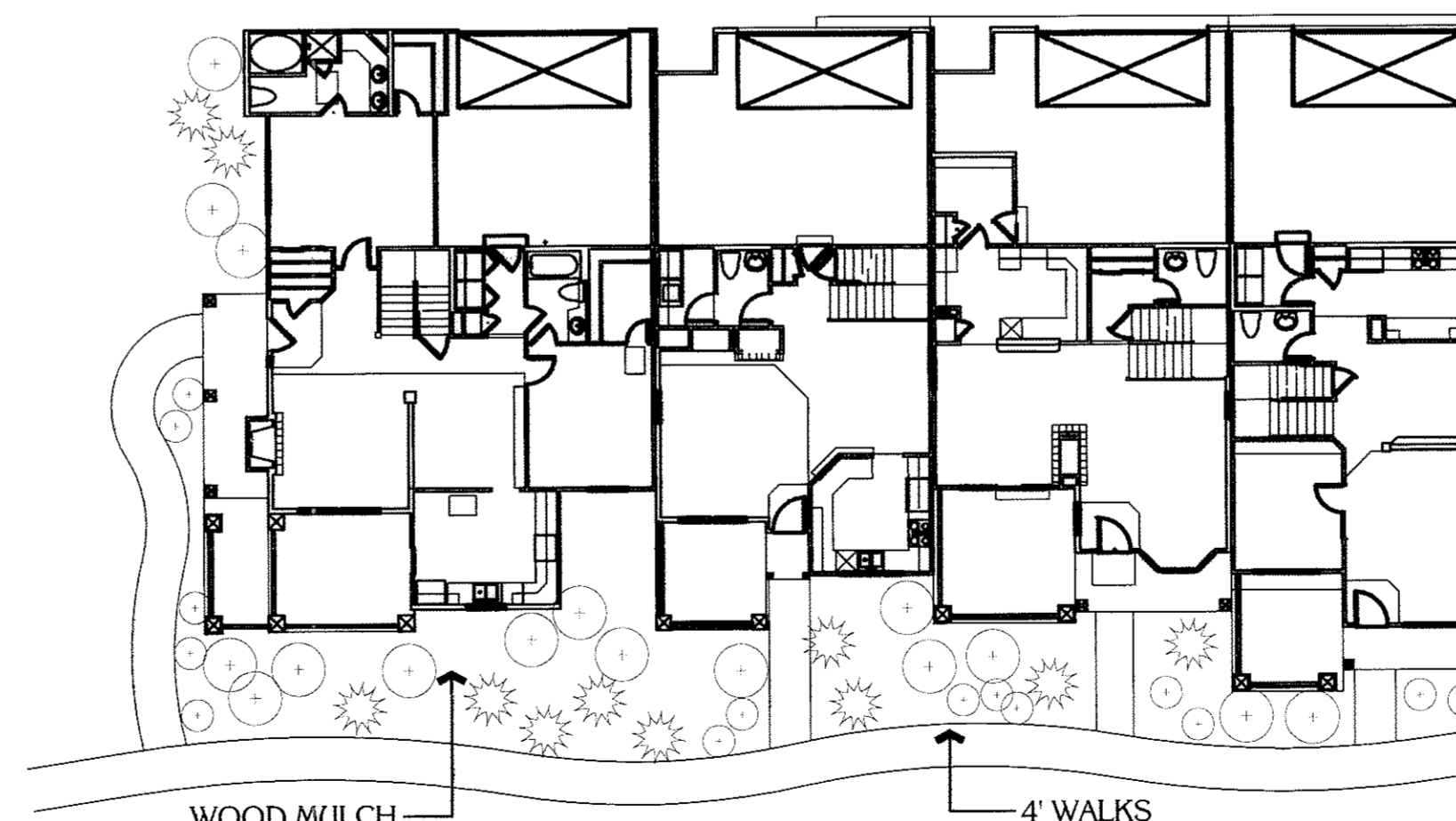
ROOF IS BY TAMKO. COLOR: RUSTIC REDWOOD  
STONE IS ENVIRONMENTAL MATERIALS. COLOR: SHADOW OAK (COBBLE / LEDGE MIX)



TYPICAL UNIT LAYOUT (4 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"



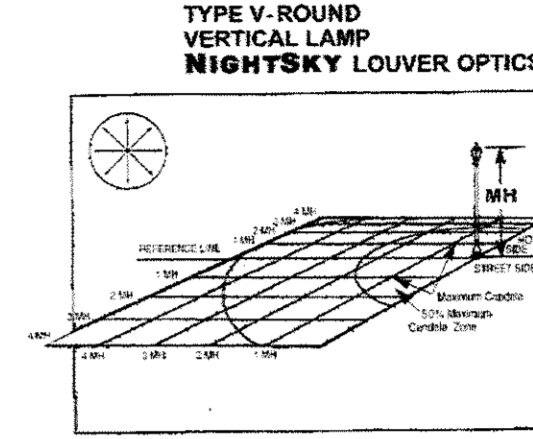
TYPICAL REAR BUILDING ELEVATIONS (4 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"



TYPICAL BUILDING LANDSCAPE PLAN (4 UNIT BUILDING ILLUSTRATED)  
SCALE 1/16" = 1'-0"

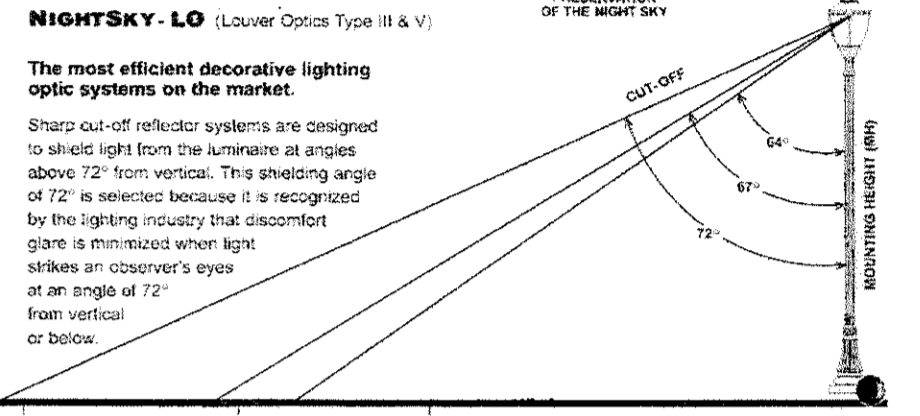


TYPICAL SITE LIGHT FIXTURE  
STERNBERG 1290 HOMESTEAD 175W METAL HALIDE  
ON 4SQ-14' SQUARE POLES  
33" HIGH, 24" WIDE

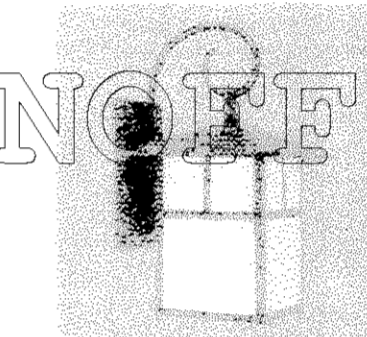


Louwer Optic Systems NIGHTSKY increase foot-candles on the ground by providing sharp cut-off, complying with dark sky ordinances. Basic unit provides asymmetric (Type V and asymmetric) patterns. Available in most fixtures, consult factory for specific applications.

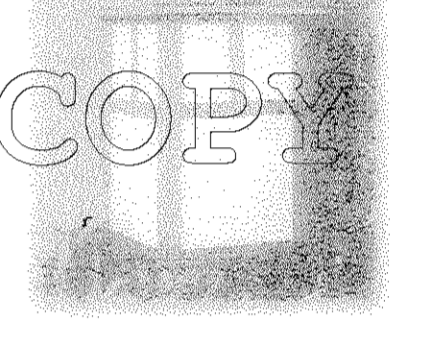
New NIGHTSKY OPTICAL SYSTEMS State-Of-The-Art Reflector Systems



COPY UNOFFICIAL COPY



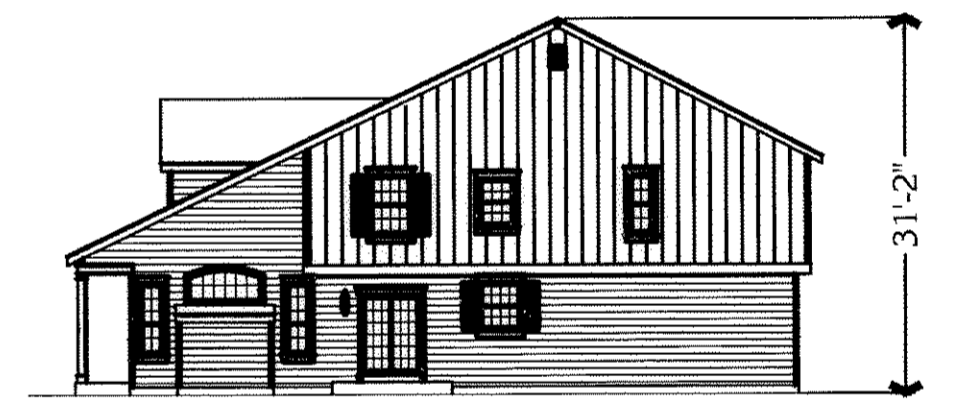
TYPICAL WALL LIGHT FIXTURE - PORCH  
SCALE N.T.S. 100W INCANDESCENT  
16" HIGH, 10" WIDE



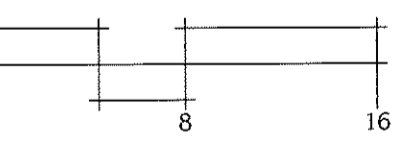
TYPICAL WALL LIGHT FIXTURE - ALLEY  
SCALE N.T.S. 60W INCANDESCENT  
7.25" HIGH, 6" WIDTH, 6" DEPTH



TYPICAL SIDE BUILDING ELEVATIONS  
SCALE 1/16" = 1'-0"



**NOTE:**  
THESE ELEVATIONS DEPICT THE OVERALL CHARACTER TO BE EXPECTED.  
ADDITIONAL ELEVATIONS MAY BE OFFERED WITH DIFFERING FLOORPLANS, BUILDING GROUPINGS AND MASSING, AND TO CREATE DIVERSITY IN THE STREETSCAPE. THE GENERAL CHARACTER ILLUSTRATED HERE SHALL BE MAINTAINED.



SCALE 1/8" = 1'-0"

JOB NO:	80543
ACAD FILE:	80543e3
DRAWN:	CB/BG/TCH
CHECKED:	TCH, KN
DATE:	7/20/01
REVISIONS:	4/18/02
	6/26/02
	8/07/02
	9/16/02
	4/27/05
	3/10/06
	4/18/06

SHEET NO:  
16 OF 16

**NMA** CIVIL ENGINEERING CONSULTANTS  
NMA ENGINEERING, INC.  
2953 S. PEGORIA ST. - SUITE 201 (303) 337-4700  
AURORA, CO. 80014 FAX (303) 337-7079

**METZLER RANCH FILING NO. 7  
1ST AMENDMENT TO FINAL PD SITE PLAN**