

PLAT IDENTIFICATION SHEET

RECEPTION # : DC00044701

DATE: 6-29-00

TIME 15:52

FEE: \$60⁰⁰ (6 P)

UNOFFICIAL COPY

GRANTOR: Vista Village, LLC
(OWNER/SIGNER)

GRANTEE:
(SUBDIVISION NAME OR NAME OF PLAT)

Metzler Ranch #5
Final PD Site Plan

LEGAL:
(SECTION-TOWNSHIP-RANGE)

25, 7, 67

METZLER RANCH FILING No. 5

FINAL PD SITE PLAN

LOCATED IN SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHEET 1 OF 6

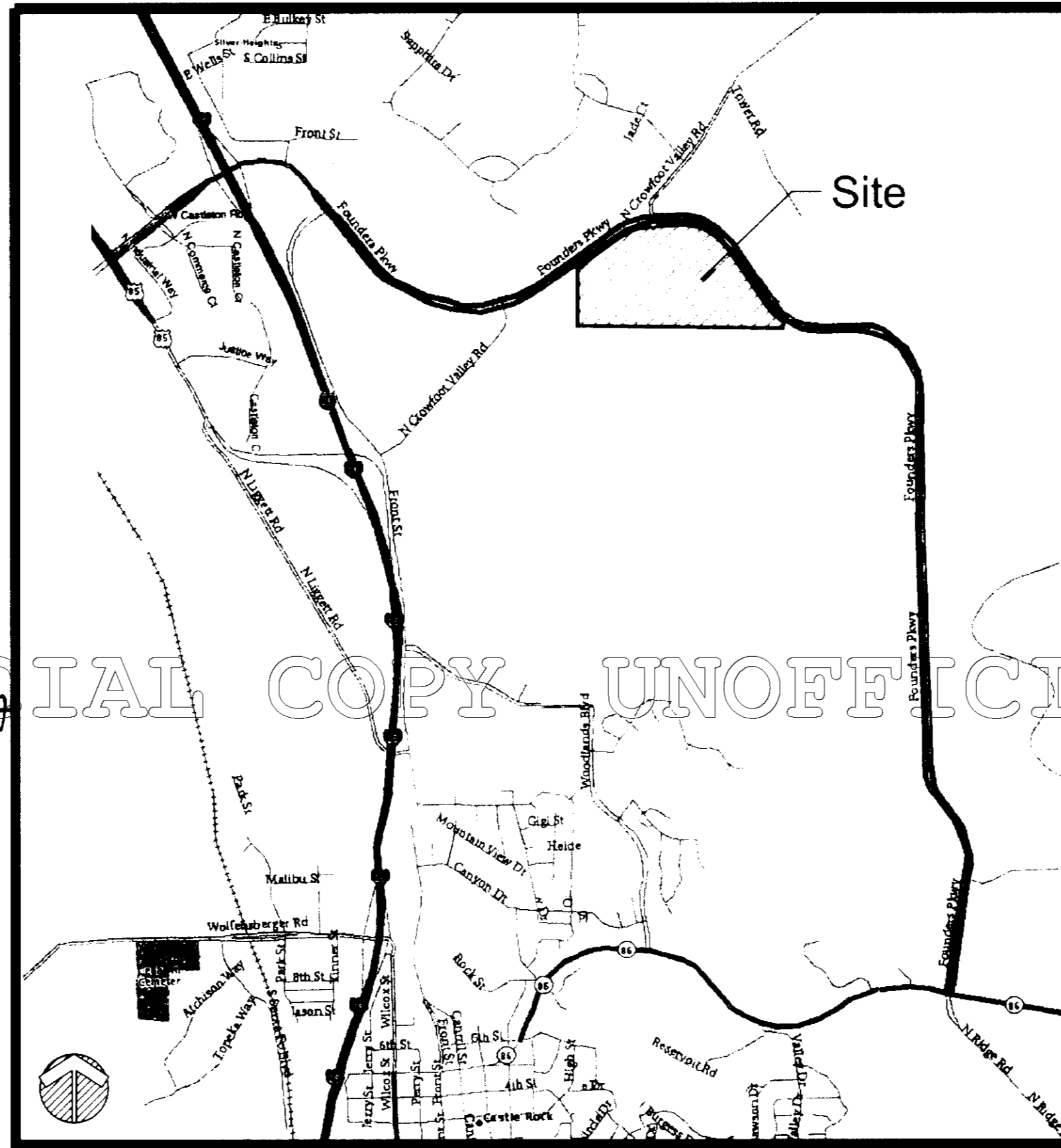
Legal Description

A TRACT OF LAND SITUATED IN THE SOUTH 1/2 OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 25 AND CONSIDERING THE SOUTH LINE OF SAID SECTION 25 TO BEAR NORTH 89 DEGREES 18 MINUTES 35 SECONDS WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE NORTH 00 DEGREES 24 MINUTES 12 SECONDS EAST, A DISTANCE OF 916.46 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF MILLER BOULEVARD, FILING NO. 2 (RECEPTION NO. 8603133) ALSO KNOWN AS FOUNDERS PARKWAY; THENCE NORTH 54 DEGREES 45 MINUTES 06 SECONDS EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 814.22 FEET, TO A POINT OF CURVE; THENCE NORTHEASTERLY CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, A DISTANCE OF 484.24 FEET, SAID CURVE HAS A RADIUS OF 895.00 FEET AND A CENTRAL ANGLE OF 31 DEGREES 00 MINUTES 00 SECONDS TO A POINT OF TANGENT; THENCE NORTH 85 DEGREES 45 MINUTES 06 SECONDS EAST, CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG SAID TANGENT, A DISTANCE OF 25.00 FEET, TO A POINT OF CURVE; THENCE SOUTHEASTERLY, CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, A DISTANCE OF 39.27 FEET, SAID CURVE HAS A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS; THENCE NORTH 85 DEGREES 45 MINUTES 06 SECONDS EAST, CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS; THENCE NORTH 85 DEGREES 45 MINUTES 06 SECONDS EAST, CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, A DISTANCE OF 937.24 FEET, SAID CURVE HAS A RADIUS OF 895.00 FEET AND A CENTRAL ANGLE OF 60 DEGREES 00 MINUTES 00 SECONDS; TO A POINT OF TANGENT; THENCE SOUTH 34 DEGREES 14 MINUTES 54 SECONDS EAST, CONTINUING ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 1039.10 FEET, TO A POINT OF CURVE; THENCE SOUTHEASTERLY, CONTINUING ALONG SAID RIGHT OF WAY LINE, ALONG A CURVE TO THE LEFT, A DISTANCE OF 397.08 FEET, SAID CURVE HAS A RADIUS OF 1005.00 FEET AND A CENTRAL ANGLE OF 72 DEGREES 38 MINUTES 16 SECONDS; THENCE SOUTH 06 DEGREES 36 MINUTES 49 SECONDS WEST, A DISTANCE OF 97.61 FEET, TO THE SOUTH LINE OF SAID SECTION 25; THENCE NORTH 89 DEGREES 18 MINUTES 35 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 3239.82 FEET, TO THE POINT OF BEGINNING.

Clark and Recorder's Certificate
State of Colorado } ss.
County of Douglas }
I hereby certify that this plat was filed in my office on this 29 day of June, 2000 A.D. at 15:52 P.M. and was recorded at Rec. No. 0004470.

Sheryl Muehlhelt, Deputy County Clerk / Recorder



Vicinity Map Scale: 1" = 2000'

In the event that on-street parking is identified to be a problem by the fire department, the Homeowners Association shall post "no parking" signs as designated by the Fire Department.

General Notes

- Sheet 4 of 6 indicates the existing and proposed utilities and drainage facilities.
- Public utility easements will be dedicated along all streets and along side and rear lot lines where necessary. Drainage easements will be dedicated to the town where necessary for storm water piping, channels and detention facilities.
- Protection of significant vegetation - the design of the subdivision is considerate of the stands of gambel oak and mature trees on site. All tree and oak clusters to be preserved adjacent to improvements shall be identified and tagged prior to any construction. Temporary snow-fencing shall be placed at the drip line of tree and oak clusters for the duration of construction activity. Storage of building materials and vehicle parking is not permitted within areas protected by the temporary fencing. Building envelopes are provided for the express purpose and intent of ensuring that home construction within the individual lots occurs in a sensitive manner. The locations of the building envelopes are based on lot access, steep slopes, view corridors and the avoidance of the mature pines located throughout the site. 80% of all main structure improvements shall be located within the designated building envelopes provided that detailed site investigations may require revisions to the designated building envelope locations. The building envelopes may be amended as approved by the Design Review Board for the Homeowner's Association to better site individual homes to meet the stated criteria, and most importantly to minimize impacts to the mature pines.
- Utility easements are granted for the use of specified utilities. Only native grasses will be allowed in all utility easements; no shrubs or trees will be allowed. Replacement of landscape disturbed during maintenance of the utilities will be the responsibility of the Owner of the property affected.
- Disturbed areas will be protected from erosion by measures as approved the Town of Castle Rock. At the completion of construction, all developed areas will be reseeded or landscaped.
- There is no known 100 year flood plain on this site.
- Cut slopes within the filing are 2:1 to minimize damage to the treed slopes and will be stabilized with non-irrigated native seed erosion blankets.
- The Owner agrees to mitigate the Founders Parkway view corridor by providing intensive pine tree plantings (i.e. eight (8) pines at least 10' in height in each lot) within the tree buffer areas for lots 4, 9, 10, Block 1. These trees shall be planted on each lot prior to issuance of building permit for that lot. Trees may be placed within the slope easement on lot number 4.
- Tracts A and E will be maintained by and dedicated to the Town of Castle Rock. Tracts B, C and D will be maintained by and dedicated to the Homeowners Association for recreational and open space uses, including landscape features. Tracts F, G, and H are dedicated to Vista Village LLC as reserve tracts with future usage as additional right-of-way for Founders Parkway and additional drainage improvements.
- Along Founders Parkway, permanent drainage easements and slope easements will be dedicated to the Town of Castle Rock for the purpose of maintenance of the slopes and existing surface drainage.
- The Owner shall construct retaining walls as generally depicted, inside the Avenida del Sol and Tierra Alta Drive rights-of-way, to mitigate the impact of the grading on the adjacent slopes. These walls will be one or more of the following: Stacked Rock, Landscape Block and Form-lined Concrete. The walls shall be maintained by the H.O.A.
- Approved waivers/variances approved at Preliminary Plat consistent with the large lot concept and to protect the natural character of the site include:
 - Street grades shall exceed 10% (a maximum of 12%) and cut slopes shall exceed 3:1 (a maximum of 2:1) in locations where this variance will help reduce the amount of cut slope and thus reducing the amount of clearing of the existing vegetation.
 - The accepted section for the local roadway is twenty-eight (28) feet wide, flowline to flowline, with one five (5) foot sidewalk. No parking will be allowed in the street. A sign at the entrance to the site will post this condition.
 - The water system layout has been shown to have adequate pressure and flow with the four (4) dead-end cul-de-sacs.
 - The storm sewer system shall have a minimum of eighteen (18) inches of cover from finished grade.
 - The size of the detention pond has been reduced from the master drainage report's requirements.
 - Construction of private retaining walls, to be maintained by the H.O.A., within the right-of-way. Location of wall to be directly behind attached sidewalk.
 - Location of water, sanitary sewer, and storm sewer to vary from the standard section location. Storm sewer to be located predominantly under sidewalk side of section.
- Due to the wooded character of the site and at the recommendation of the Castle Rock Fire Department:
 - Non-combustible exterior materials, such as tile roofs, stucco, stone, and brick facing shall be predominantly required on all houses.
 - An interior sprinkler system shall be required by the Design Covenant and Controls for each home on the site.
 - The Owner will work with the Castle Rock Fire Department to develop guidelines for site analysis and vegetation mitigation to reduce the chance of major fires.
- Maintenance of all entry features will be the responsibility of the Homeowners Association.
- Maintenance of the detention area in Tract E will be the responsibility of the Homeowners Association.
- Maintenance of Tracts F, G, and H will be the responsibility of the Homeowners Association.
- The Preservation Area/No-Build Area shown on Sheet 2 will serve as a building setback line for individual lots. No dwellings shall be constructed within this area. The delineation of this area shall serve as a building setback line for the individual lots on which it applies. No dwelling shall be constructed within this area. In addition, the removal of trees for reasons other than fire prevention or disease control is prohibited. Tree removal due to utility crossings shall be minimized and all trees removed shall be replaced on a one for one basis.

- Ten foot (10') Public Utility Easements will be dedicated within the rights-of-way. Gas, electric, cable, and phone will all be supplied from the front of each lot.
- Should signal warrants ever be met at the intersection of Founders Parkway and the entry to Filing No. 5, the Metzler Ranch Filing No. 5 Homeowners Association shall be responsible for such a signal and shall:
 - Bear the entire cost of the signal if there is no development on the north side of Founders Parkway which would use the signal to access Founders Parkway, or
 - Share the cost of the signal on a pro rata basis on unit count if said development occurs.
- Boundaries for the Skyline/Ridgeline Protection Areas are indicated on Sheet 2 of 5. Within these areas, buildings on Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 14, 15, 16, 19, 20, Block 1; Lots 4, 5, 6, 7, 9, 10, 11, 12, 13, Block 2; and Lots 12, 13, 14, 15, 16, 17, Block 3 shall provide mitigation to visual impacts per the requirements of the Skyline/Ridgeline Protection ordinance including colors, vegetation, floodlighting and exposed basements. With mitigation, building heights are not restricted.

Land Use Summary

Land Use	Acreage	Dwelling Units	% of Site
Residential	61.38	62	79.1%
Open Space (Tracts B, C, & D)	4.70		6.1%
R.O.W.	9.13		11.8%
Reserved (Tracts F, G & H)	1.20		1.5%
Detention (Tract E)	1.17		1.5%
Developed Total	77.58	62	100%
OSD (Tract A)	12.04		
Totals	89.62		

Water Requirement Summary

Land Use	Acreage/Number	SFE
Residential Single-family (RSF)	62 Lots	62 SFE
Irrigated Open Space (PRK)	0.28 AC	1.4 SFE
Total	77.58	63.4 SFE

Sheet Index

Sheet	Cover Sheet
Sheet 1	Final PD Site Plan
Sheet 2	Final PD Site Plan - Grading and Easements
Sheet 3	Utility Plan
Sheet 4	Entry Landscape Plan
Sheet 5	Entry Landscape Plan
Sheet 6	Entry Landscape Plan

Notes

- Existing Zoning: PD Planned Development Metzler Ranch Filing #5
- Existing Land Use: Vacant
- Number of Lots: 62
- Minimum Building Setbacks:
 - Front: 20 feet
 - Rear: 30 feet
 - Side: 15 feet
 - Corner Side: 30 feet
- Parking Standards:
 - A minimum of five (5) off street parking spaces shall be provided for each lot. Two spaces minimum must be provided in an attached garage.
- Maximum Building Height: 35 feet
- There is no published 100 year flood plain delineation within the property.
- No structural improvements shall be permitted within the minimum building setbacks indicated on the Final PD Site Plan for each lot.

Certifications

Ownership Certification:

The undersigned is the owner of the certain lands know herein as Metzler Ranch Filing No. 5 in the Town of Castle Rock.

By: Vista Village, LLC
By: *Act K. Weinstein*
Notarized By: *Kathleen B. Kling*
My Commission Expires: 3-4-2002



Surveyor's Certificate:

I, Michael C. Cregger, being a Registered Professional Land Surveyor in the State of Colorado do hereby attest that the graphic boundary depicted on the Metzler Ranch Filing No. 5 Final PD Site Plan is a true and accurate representation of the officially recorded legal description.

Michael C. Cregger
Michael C. Cregger
TST Inc. of Denver
102 Inverness Terrace East, Suite 105
Englewood, CO 80112



Planning Commission Recommendation:

The Final PD Site Plan for Metzler Ranch Filing No. 5 was recommended for approval by the Planning Commission of the Town of Castle Rock, Colorado, on the 22nd day of May, 2000.

John S. ... 6/26/2000
Chairperson Date:
Shirley Ann ... 6-16-00
Attest: Planning Director Date:

Town Council Approval:

The Final PD Site Plan for Metzler Ranch Filing No. 5 was approved by the Town Council of the Town of Castle Rock, Colorado, on the 8th day of June, 2000.

John S. ... 6/21/00
Mayor Date:
Sally Mann ... 6/21/00
Town Clerk Date:
Town Council ATTEST

Lienholder Subordination Certificate:

The undersigned are all the Mortgages and Lienholders of certain lands known herein as the Metzler Ranch Filing No. 5 PD in the Town of Castle Rock.

Town of Castle Rock
U.S. Bank National Association
Robert F. Metzler & Rosemary Metzler
Commission expires: 10-31-02

The undersigned beneficiary of the Lien subordinate the subject lien to the terms, conditions and restrictions of this document.

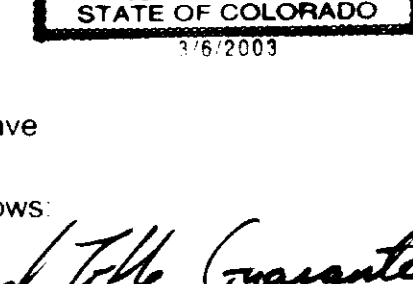
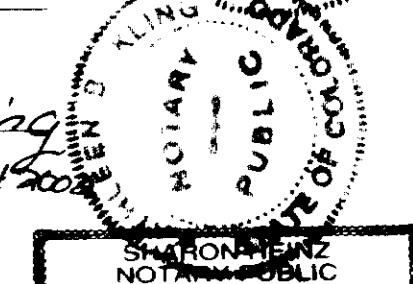
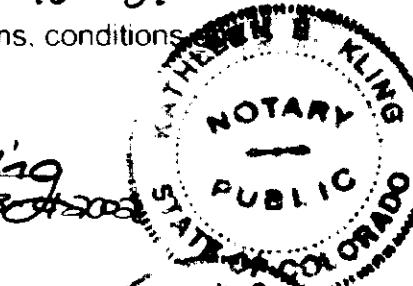
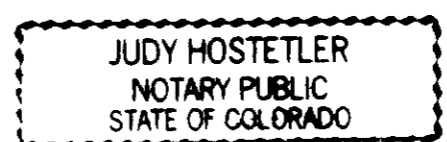
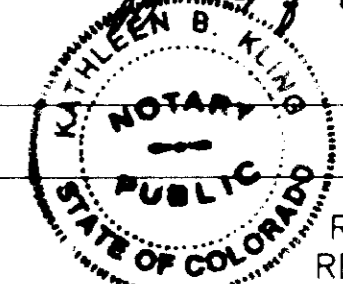
Robert F. Metzler Mortgage Lienholder
U.S. Bank Mortgage Lienholder
William R. Patterson, V.P. Mortgage Lienholder
Rosemary Metzler Mortgage Lienholder
Kathleen B. Kling Notarized By
Sharon Kling Notarized By
Kathleen B. Kling Notarized By

Signed this 14th day of June, 2000 My Commission expires:

Title Verification:

I, *Wendell H. ...* a title insurance company, do hereby certify the I/we have examined the title of all land platted hereon and that title to such land is in the dedicator(s) free and clear of all liens, taxes and encumbrances, except as follows:

6/15/00 *Wendell H. ...* as Title Officer of *Standard Title Guaranty*
Date Company Name
Notarized By: *Kathleen B. Kling*
My Commission Expires: 3-4-2002



REVISED: MAY 15, 2000
REVISED: APRIL 26, 2000
REVISED: FEBRUARY 25, 2000
DATE: OCT. 8, 1999
FINAL PD SITE PLAN
METZLER RANCH FILING No. 5
SHEET 1 OF 6

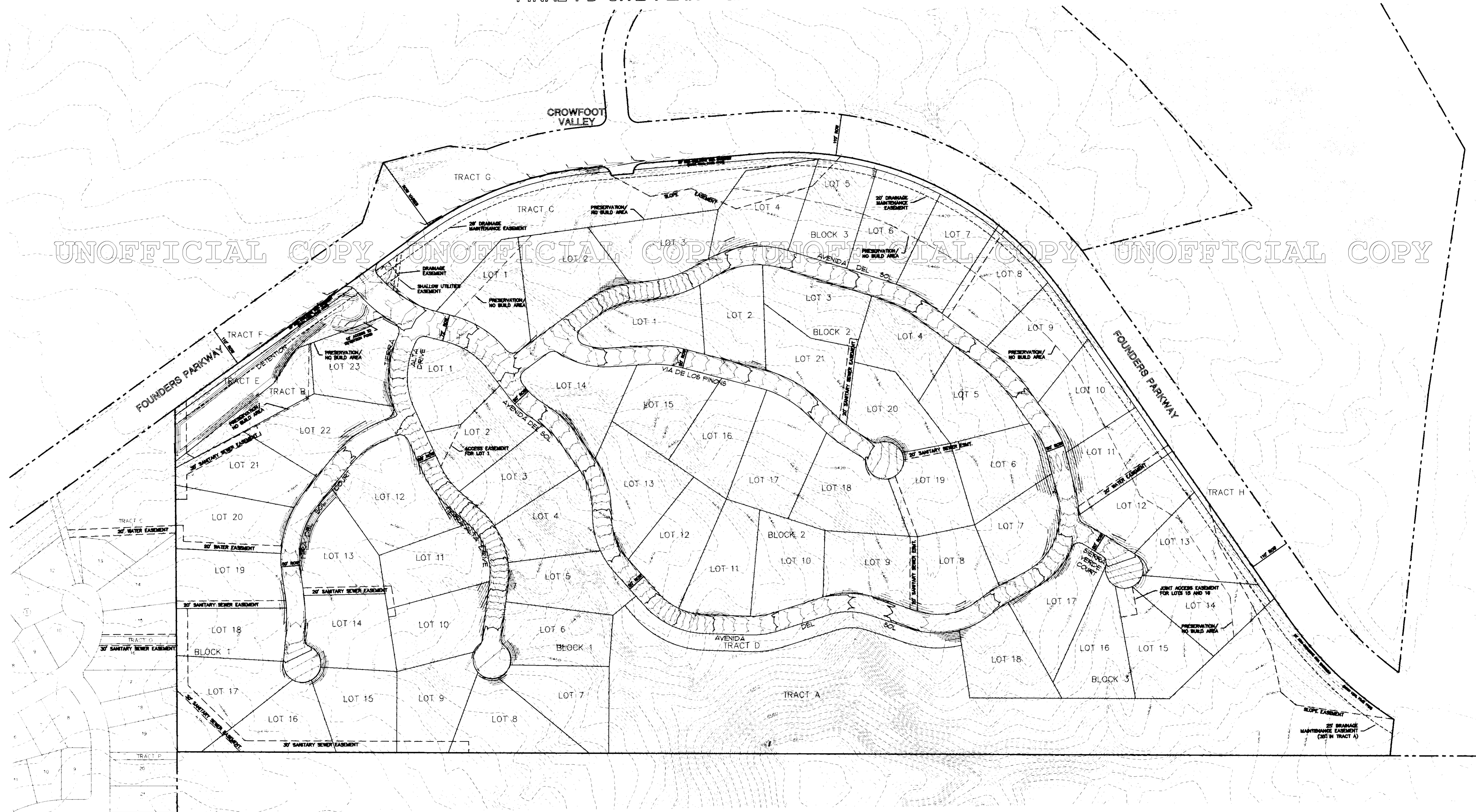
METZLER RANCH FILING No. 5

FINAL PD SITE PLAN

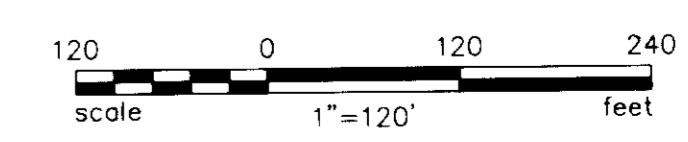
LOCATED IN SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

FINAL PD SITE PLAN - GRADING AND EASEMENTS



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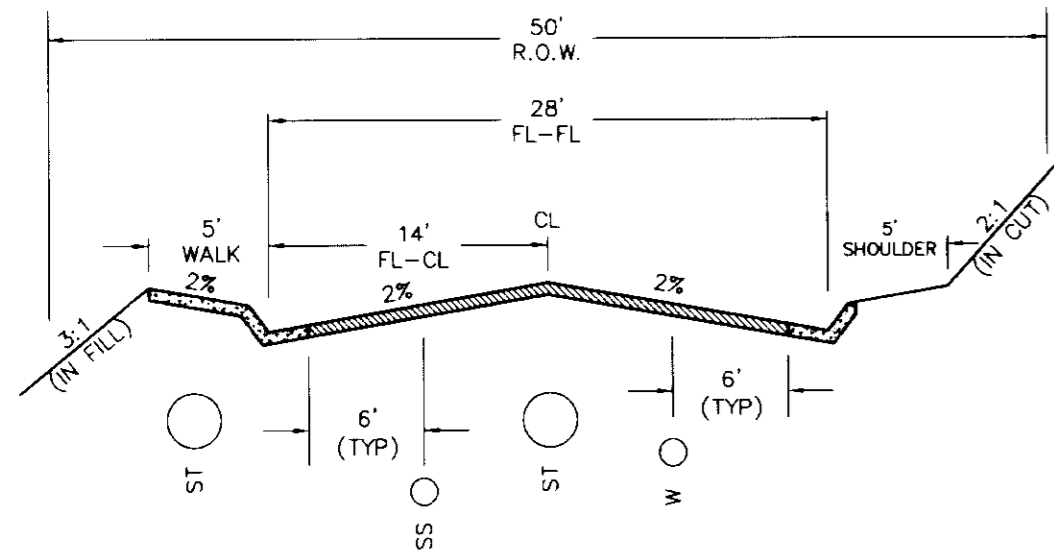
METZLER RANCH FILING No. 5

FINAL PD SITE PLAN

LOCATED IN SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

UTILITY PLAN



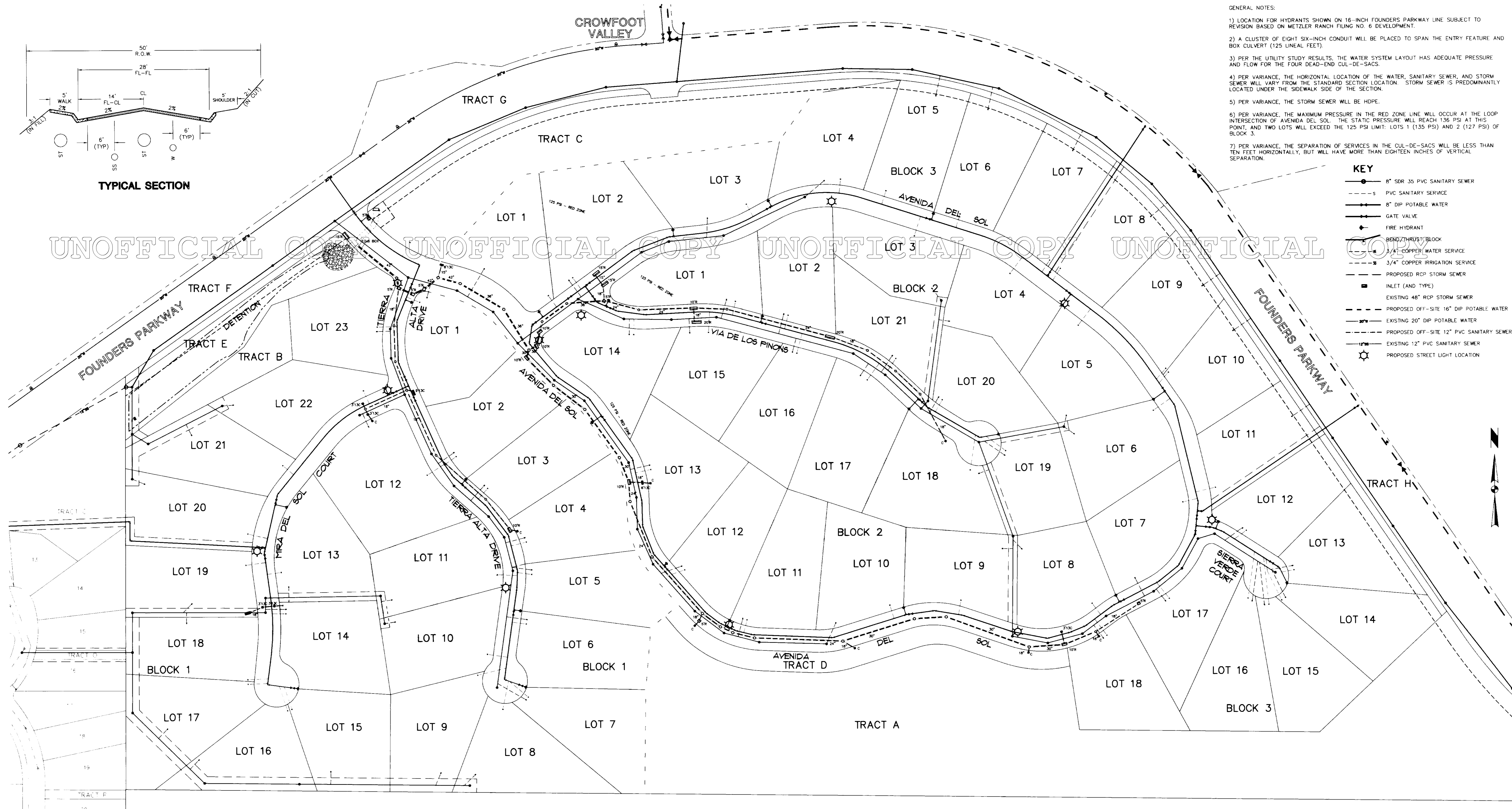
TYPICAL SECTION

GENERAL NOTES:

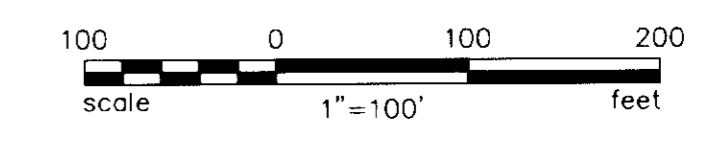
- 1) LOCATION FOR HYDRANTS SHOWN ON 16-INCH FOUNDERS PARKWAY LINE SUBJECT TO REVISION BASED ON METZLER RANCH FILING NO. 6 DEVELOPMENT.
- 2) A CLUSTER OF EIGHT SIX-INCH CONDUIT WILL BE PLACED TO SPAN THE ENTRY FEATURE AND BOX CULVERT (125 LINEAL FEET).
- 3) PER THE UTILITY STUDY RESULTS, THE WATER SYSTEM LAYOUT HAS ADEQUATE PRESSURE AND FLOW FOR THE FOUR DEAD-END CUL-DE-SACS.
- 4) PER VARIANCE, THE HORIZONTAL LOCATION OF THE WATER, SANITARY SEWER, AND STORM SEWER WILL VARY FROM THE STANDARD SECTION LOCATION. STORM SEWER IS PREDOMINANTLY LOCATED UNDER THE SIDEWALK SIDE OF THE SECTION.
- 5) PER VARIANCE, THE STORM SEWER WILL BE HDPE.
- 6) PER VARIANCE, THE MAXIMUM PRESSURE IN THE RED ZONE LINE WILL OCCUR AT THE LOOP INTERSECTION OF AVENIDA DEL SOL. THE STATIC PRESSURE WILL REACH 136 PSI AT THIS POINT, AND TWO LOTS WILL EXCEED THE 125 PSI LIMIT: LOTS 1 (135 PSI) AND 2 (127 PSI) OF BLOCK 3.
- 7) PER VARIANCE, THE SEPARATION OF SERVICES IN THE CUL-DE-SACS WILL BE LESS THAN TEN FEET HORIZONTALLY, BUT WILL HAVE MORE THAN EIGHTEEN INCHES OF VERTICAL SEPARATION.

KEY

- 8" SDR 35 PVC SANITARY SEWER
- PVC SANITARY SERVICE
- 6" DIP POTABLE WATER
- GATE VALVE
- FIRE HYDRANT
- BEND/THRU/BLOCK
- 3/4" COPPER WATER SERVICE
- 3/4" COPPER IRRIGATION SERVICE
- PROPOSED RCP STORM SEWER
- INLET (AND TYPE)
- EXISTING 48" RCP STORM SEWER
- PROPOSED OFF-SITE 16" DIP POTABLE WATER
- EXISTING 20" DIP POTABLE WATER
- PROPOSED OFF-SITE 12" PVC SANITARY SEWER
- EXISTING 12" PVC SANITARY SEWER
- PROPOSED STREET LIGHT LOCATION



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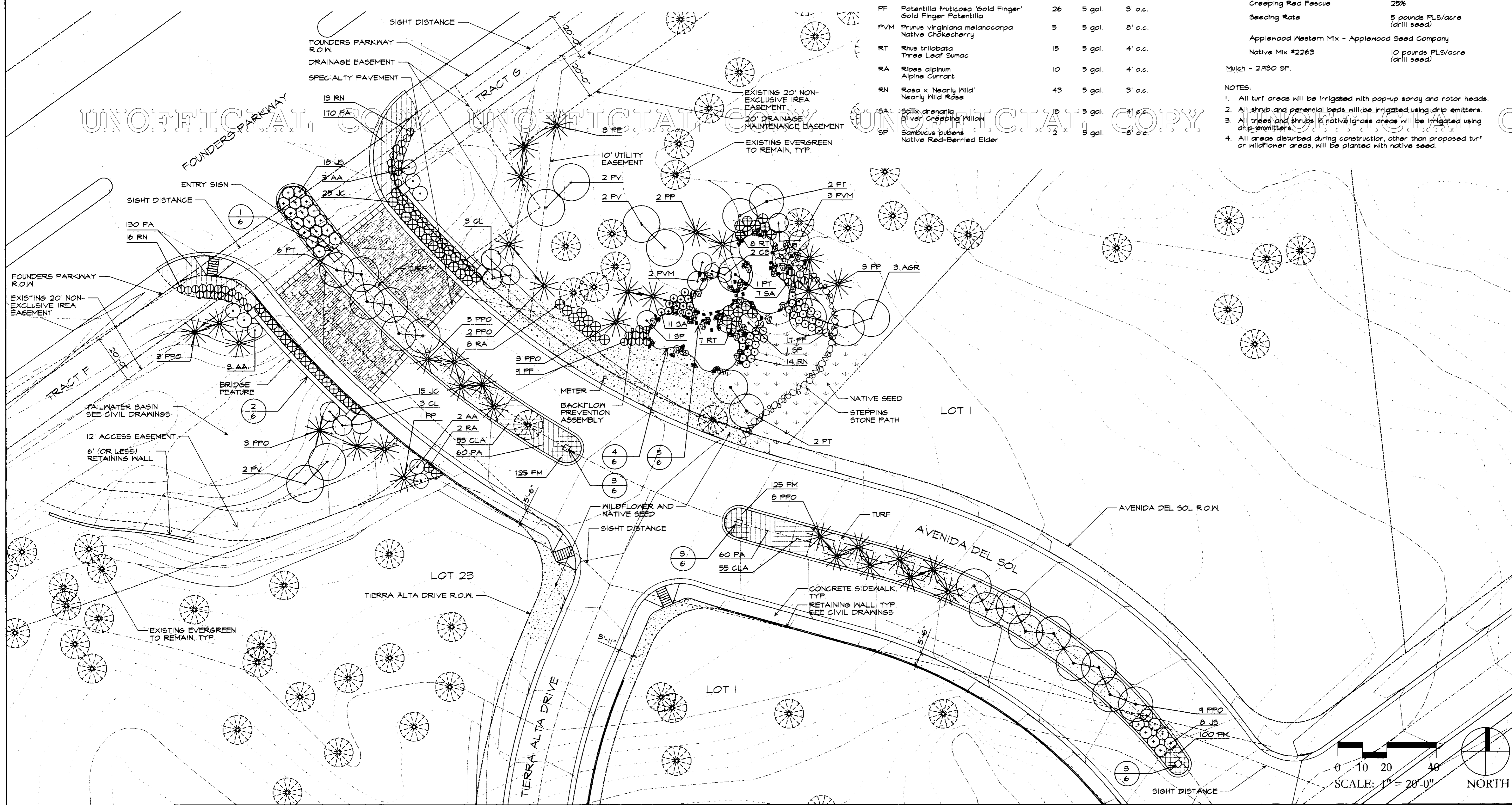


PLANTING NOTES

- Landscape Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for the field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- If conflicts arise between size of areas and plans, Landscape Contractor to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate materials.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on Landscape Plans. Unit cost to include the plant material itself and installation including all labor, amendments, fertilizers, etc., as detailed and specified for each size.
- The Landscape Contractor shall notify Landscape Architect 72 hours prior to commencement of work to coordinate project inspection schedules.
- Final location of all plant material shall be subject to the approval of the Landscape Architect.
- See details and notes for planting requirements, materials, and execution.
- Plant names are abbreviated on drawings. See plant list for key and classification.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant material for one year after final acceptance.
- Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- All plant material shall be acclimated to nearest conditions for minimum of 6 months before planting.
- Stake/Guy all trees as per detail for a period of one year.
- Landscape Contractor to receive site graded to +/- 10 ft.
- The Landscape Contractor shall be responsible for positive drainage throughout planting and turf areas with accurately set flow lines. No low spots or ponding surface water will be accepted in the final work.
- Final grades are to be approved by the Landscape Architect prior to installation of the irrigation and the landscaping.
- If additional soil is required to bring the site to the finish grades, the import soil shall be topsoil.
- The contractor shall be responsible for the repair of any of their trenches or excavations that settle.
- Edging to be black or dark green 1/4"x4" steel, location as shown on plan.
- All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- All shrub and perennial beds to be mulched with medium wood bark mulch at a 3" depth over weed barrier.

PLANT SCHEDULE

Sym	Botanic Name/Common Name	Qty.	Size	Spacing	Perennials
Ornamental Trees					
AGR	Amelanchier graciflora 'Autumn Brilliant'	3	5-6' clump	As Shown	PM Fenestem x mexicalle 'Red Rocks' Fenestem 225 1 gal. 12" o.c.
FT	Populus tremuloides Quaking Aspen	11	1 1/2" clump	As Shown	CL Chasmanthum latifolium Northern Sea Oats 110 1 gal. 24" o.c.
PV	Prunus virginiana Shubert' Canada Red Chokecherry	6	1 1/2"	As Shown	PA Pennisetum alopecuroides 'Hamel' Dwarf Fountain Grass 420 1 gal. 18" o.c.
Evergreen Trees					
PP	Picea pungens Colorado Spruce (Green)	9	6' ht.	As Shown	Turf Grass - 2,425 SF. Lawn - Dwarf Type Tall Fescue Sod Sod
PPO	Pinus ponderosa Ponderosa Pine	33	6' ht.	As Shown	Native Grass Seed Mix - 2,000 SF. MIN. Low Grow Grass Mix - Pannee Buttes Seed, Inc. Alpine Bluegrass 25% Canada Bluegrass 25% Sheep Fescue 25% Creeping Red Fescue 25% Seeding Rate 5 pounds PLS/acre (drill seed)
Deciduous / Evergreen Shrubs					
AA	Amelanchier alnifolia Saskatoon Serviceberry	8	5 gal.	6' o.c.	Wildflower & Native Grass Seed Mix - 2,450 SF. Low Grow Grass Mix - Pannee Buttes Seed, Inc. Alpine Bluegrass 25% Canada Bluegrass 25% Sheep Fescue 25% Creeping Red Fescue 25% Seeding Rate 5 pounds PLS/acre (drill seed)
GL	Cercocarpus ledifolius Cutleaf Mountain Mahogany	6	5 gal.	8' o.c.	Applwood Western Mix - Applwood Seed Company Native Mix #2263 10 pounds PLS/acre (drill seed)
CS	Cornus stolonifera coloradoensis Colorado Redtwig Dogwood	2	5 gal.	6' o.c.	Mulch - 2,930 SF.
JC	Juniperus communis 'Salt Lake' Salt Lake Common Juniper	40	5 gal.	4' o.c.	NOTES: 1. All turf areas will be irrigated with pop-up spray and rotor heads. 2. All shrub and perennial beds will be irrigated using drip emitters. 3. All trees and shrubs in native grass areas will be irrigated using drip emitters. 4. All areas disturbed during construction other than proposed turf or wildflower areas, will be planted with native seed.
JS	Juniperus sabinia 'Broadmoor' Broadmoor Juniper	26	5 gal.	5' o.c.	
PF	Potentilla fruticosa 'Gold Finger' Gold Finger Potentilla	26	5 gal.	3' o.c.	
PVM	Prunus virginiana melanocarpa Native Chokecherry	5	5 gal.	8' o.c.	
RT	Rhus trilobata Three Leaf Sumac	15	5 gal.	4' o.c.	
RA	Ribes alpinum Alpine Currant	10	5 gal.	4' o.c.	
RN	Rosa x 'Nearly Wild' Nearly Wild Rose	43	5 gal.	3' o.c.	
SA	Salix arenaria Silver Creeping Willow	8	5 gal.	4' o.c.	
SP	Sambucus pubens Native Red-Berried Elder	2	5 gal.	8' o.c.	



BRITINA
DESIGN GROUP
Landscape Architecture and Land Planning

7512 Grandview Avenue
Arvada, CO 80002
Tel: 303/456-2887
Fax: 303/431-1039
britina@rmi.net

Project Name:
METZLER RANCH

FILING NO. 5
FINAL PD SITE PLAN

Developed By:
DAKOTA VENTURE, LLC

5400 South Park
Terrace Avenue #22-202
Englewood, Colorado 80111
303/773-0090

No.	Date	Revisions
10/08/99	ORIGINAL	SUBMITTAL
02/18/00	RESUBMITTAL	
04/21/00	RESUBMITTAL	
04/27/00	RESUBMITTAL	

Project No: DR902

Designed By: TP/BC

Drafted By: TP

Checked By:

All drawings and written material appearing hereon constitute original and unpublished work of BRITINA DESIGN GROUP, INC. and may not be duplicated, used or disclosed without written consent.

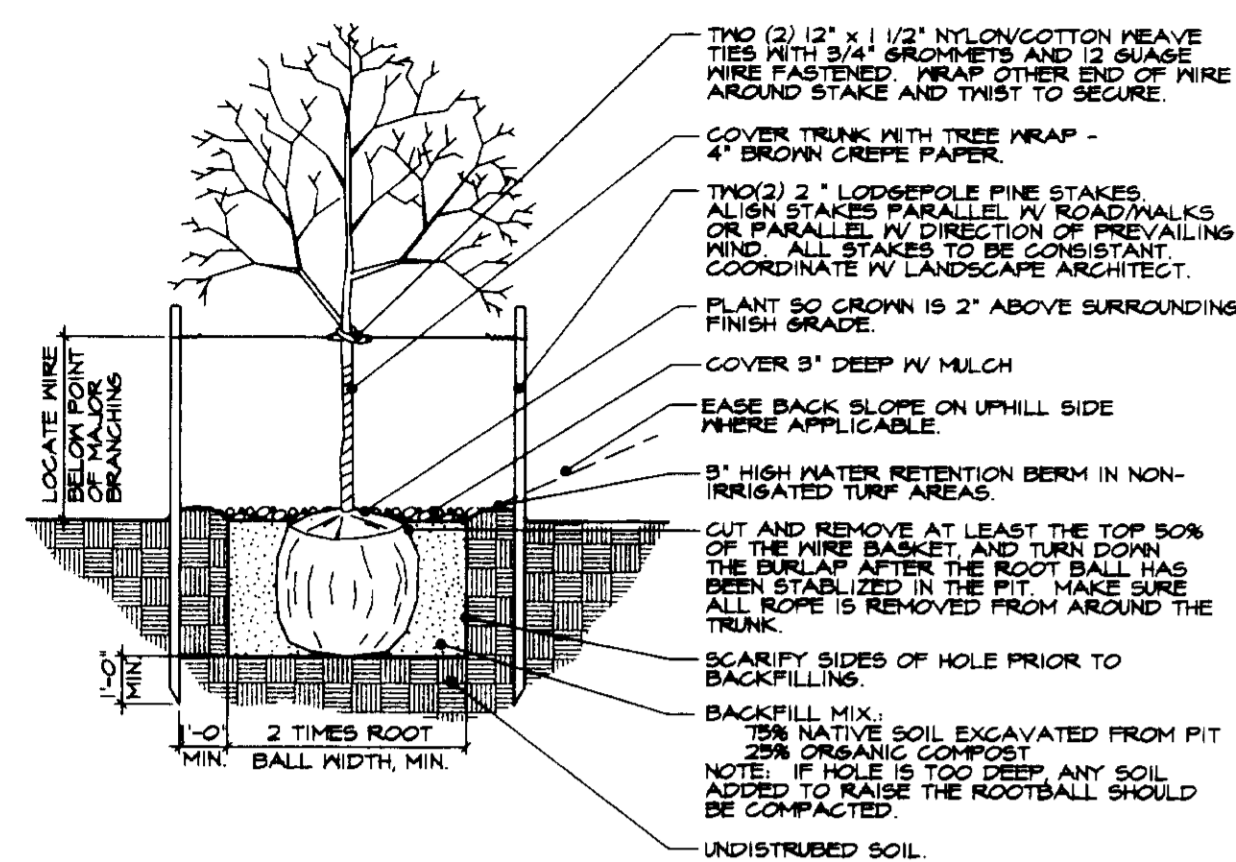
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Scale: 1" = 20'-0"

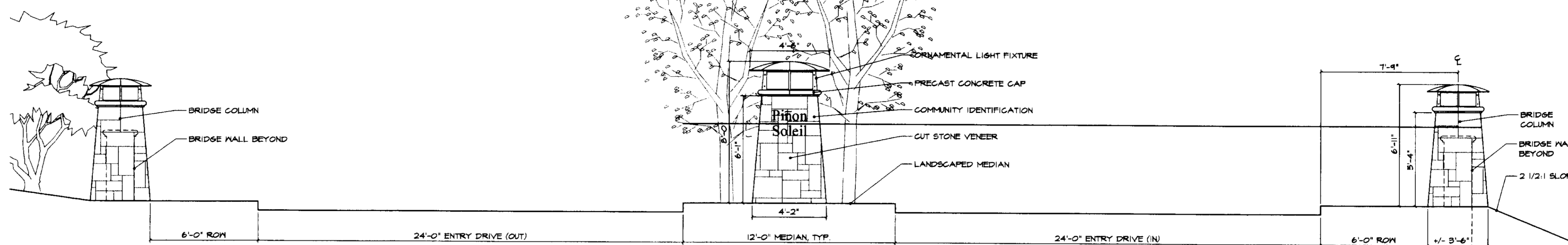
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FINAL PD SITE PLAN
METZLER RANCH
FILING NO. 5
Sheet No. SHEET 5 OF 6

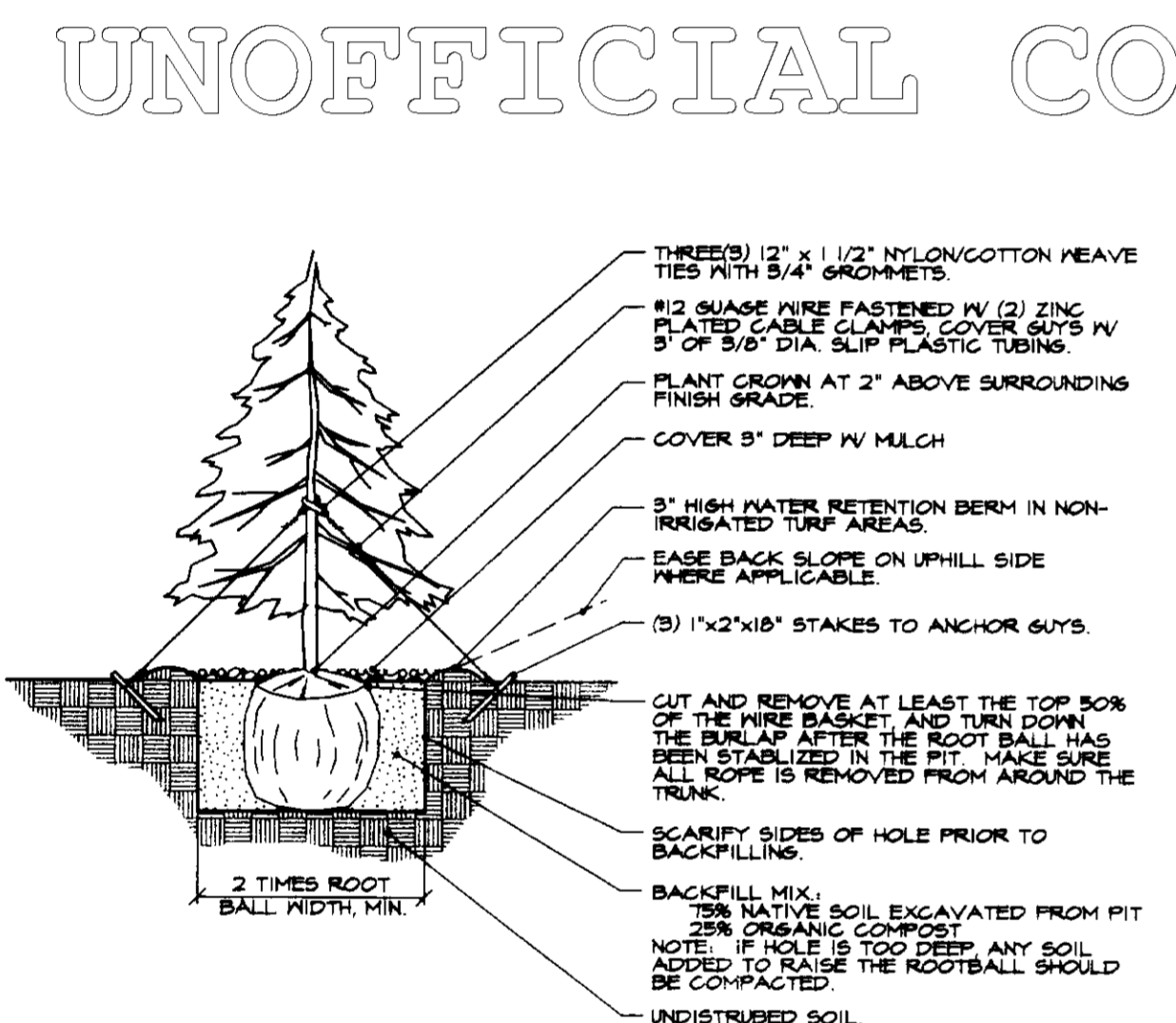
NOT FOR CONSTRUCTION



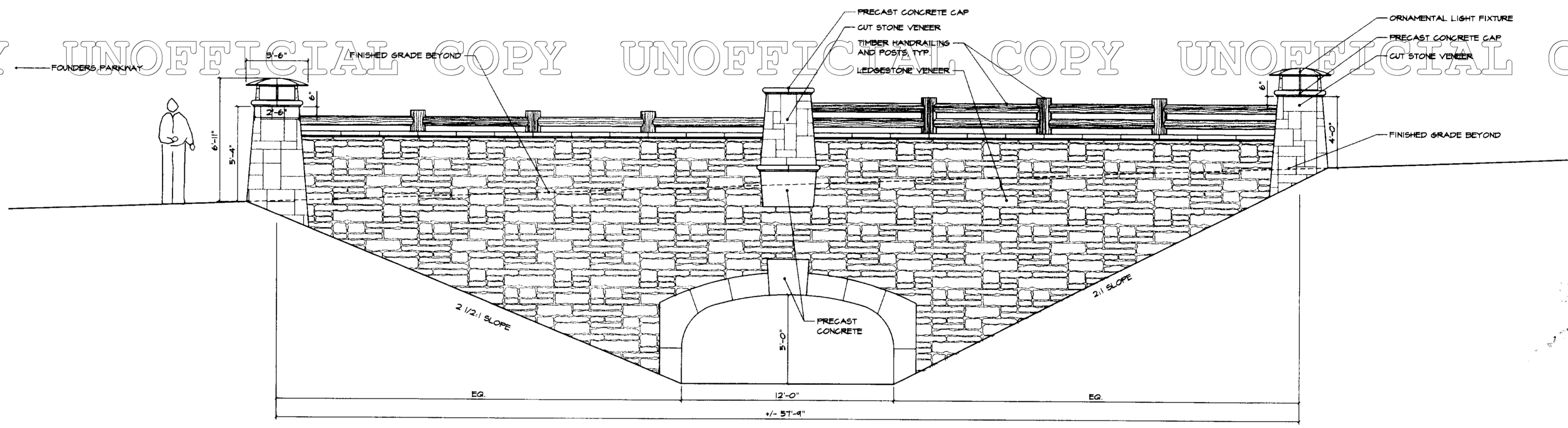
6 DECIDUOUS TREE PLANTING AND STAKING
SCALE: 1/4" = 1'-0"



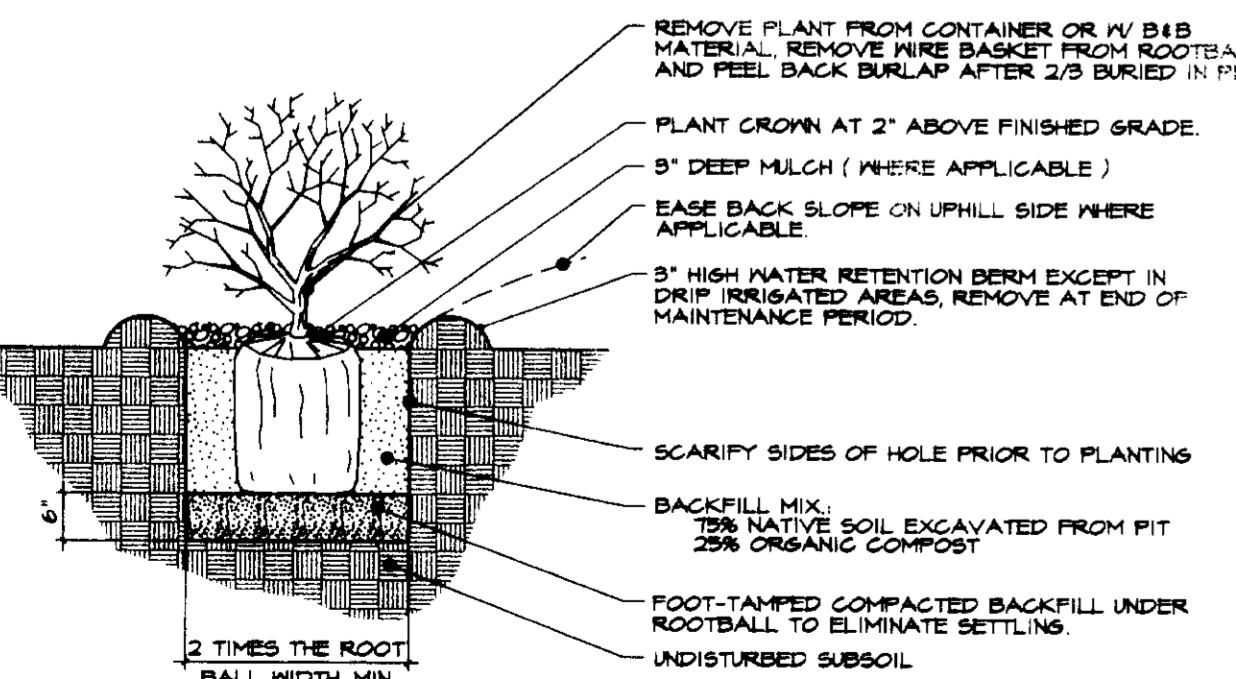
1 COMMUNITY ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



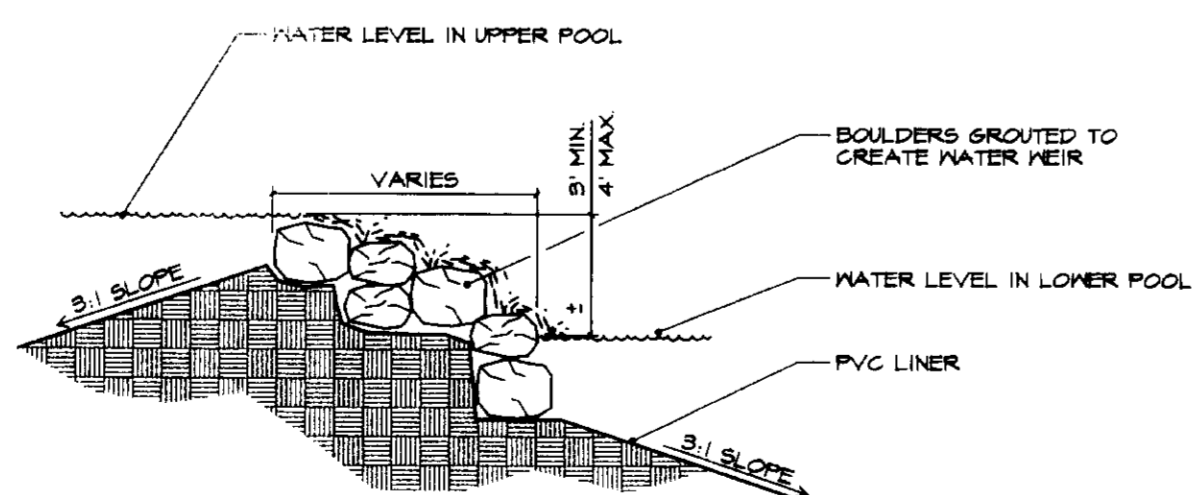
7 EVERGREEN TREE PLANTING AND GUYING
SCALE: 1/4" = 1'-0"



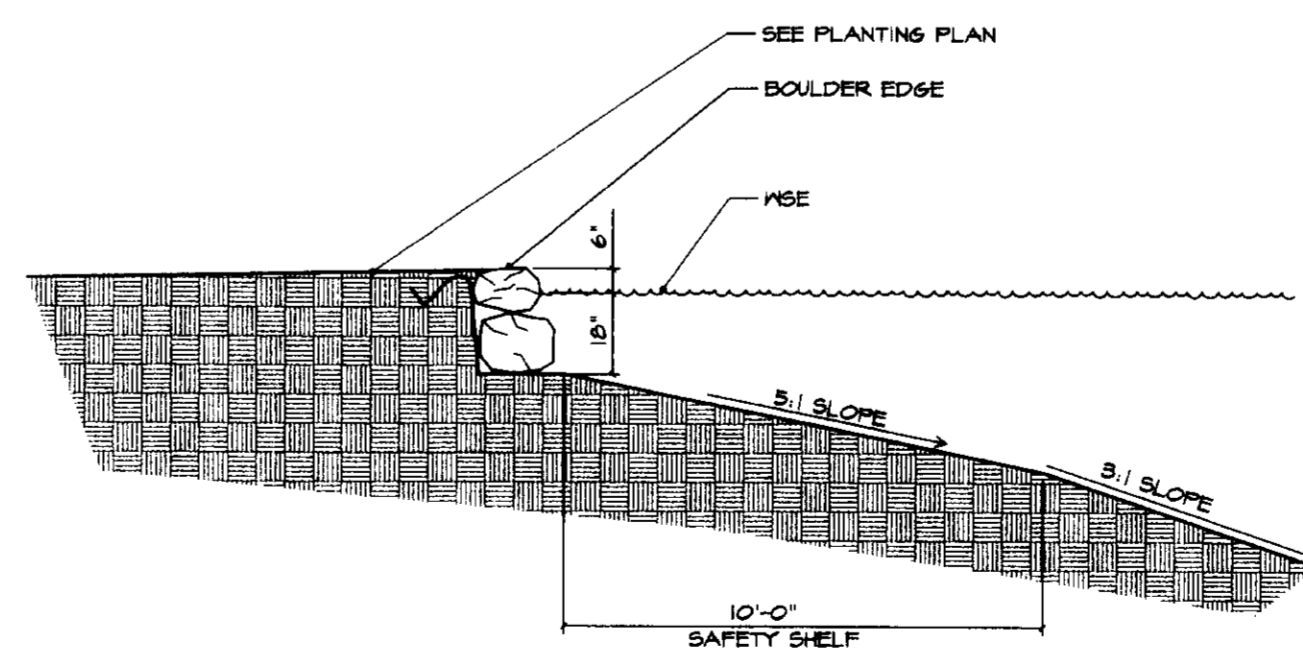
2 CONCEPTUAL BRIDGE ELEVATION
SCALE: 1/4" = 1'-0"



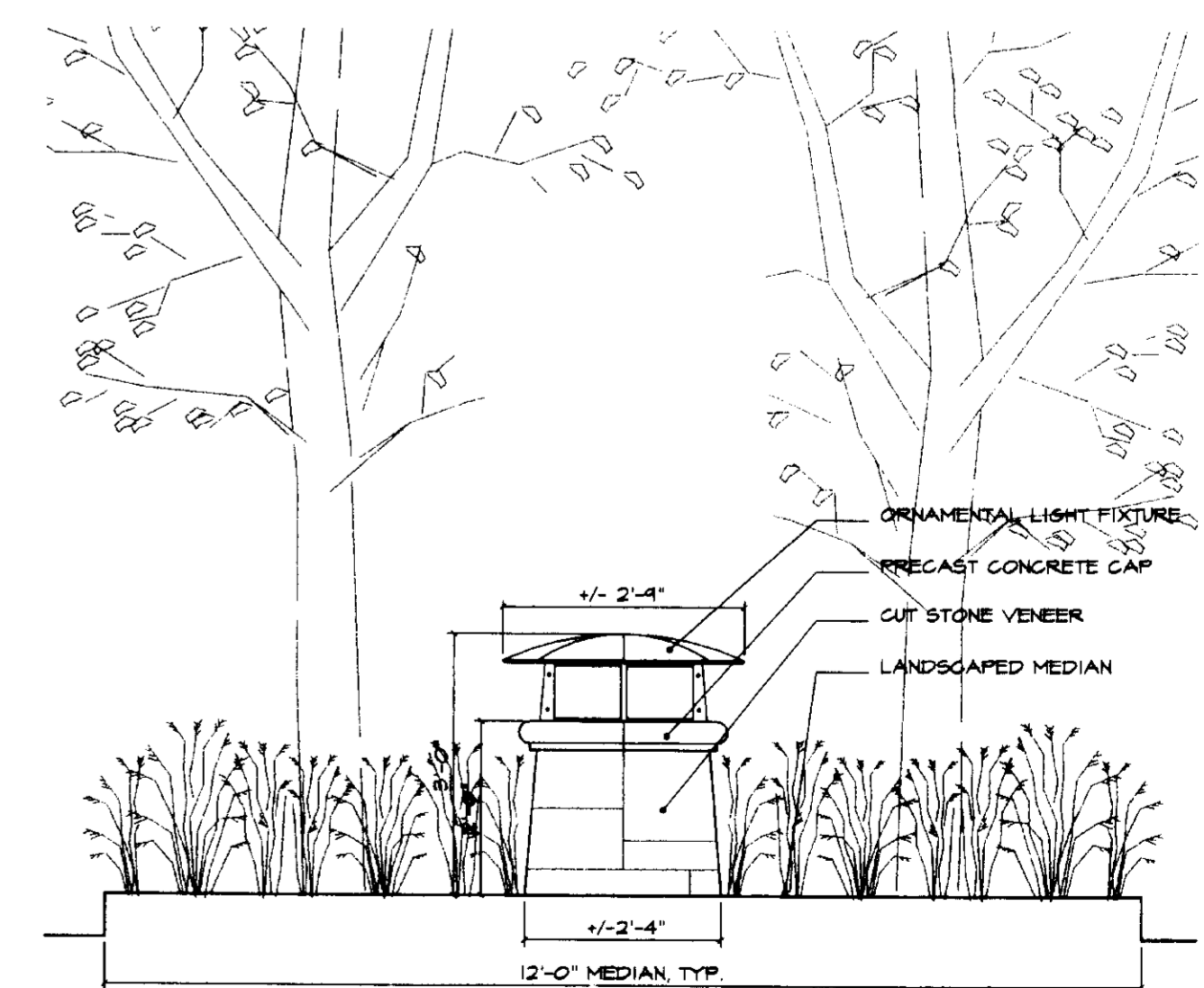
8 TYPICAL SHRUB PLANTING
SCALE: 1/2" = 1'-0"



5 WATER WEIR
SCALE: 1/4" = 1'-0"



4 POND EDGE
SCALE: 1/4" = 1'-0"



3 CONCEPTUAL MEDIAN BOLLARD ELEVATION
SCALE: 1/2" = 1'-0"