

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT No. 1

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP No. 1
7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO

AMENDMENT No. 1

LEGAL DESCRIPTION:
LOT 3B, METZLER RANCH FILING NO.3, LOT 3,
COUNTY OF DOUGLAS, STATE OF COLORADO.
PROJECT BENCHMARK:
THE PUBLISHED VALUES OF NGS CONTROL STATION
"A 355". EL=6050.74 (NAV88)
SITE BENCHMARK:
A CHISELED X CUT IN THE TOP OF CURB ON THE
FAR EAST OF THE SURVEY AREA AS SHOWN
HEREON. EL=6291.27 (NAV88)

INDEX OF DRAWINGS	
SHEET NUMBERS	SHEET TITLE
1 OF 14	COVER SHEET
2 OF 14	SITE PLAN
3 OF 14	PROJECT SITE SHOWING IMPROVEMENT W/IN 200 FEET
4 OF 14	GRADING AND DRAINAGE PLAN
5 OF 14	UTILITY PLAN
6 OF 14	LANDSCAPE PLAN
7 OF 14	EXTERIOR ELEVATIONS
8 OF 14	EXTERIOR ELEVATIONS
9 OF 14	EXTERIOR ELEVATIONS
10 OF 14	EXTERIOR ELEVATIONS
11 OF 14	SITE DETAILS
12 OF 14	SITE SIGNAGE
13 OF 14	GENERAL LIGHTING PLAN
14 OF 14	FIRE TRUCK TURNING EXHIBIT

OWNER/DEVELOPER: RAISING CANE'S
6800 BISHOP RD
PLANO, TX 75024
972.769.3348
CONTACT: LUARON MCCORMACK/
ROBERT MONTGOMERY

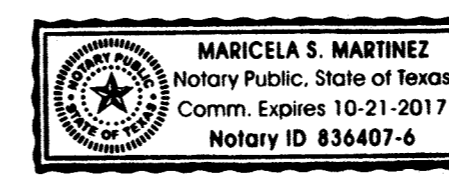
ARCHITECT: PM DESIGN GROUP
7200 S ALTON WAY
CENTENNIAL, CO 80112
303.223.7931
CONTACT: KEVIN APPELBE

ENGINEER: OLSSON ASSOCIATES
5285 McWHINNEY BLVD, STE 160
LOVELAND, CO 80538
970.461.7733
CONTACT: MIKE MAURER

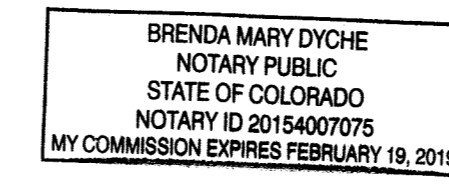
SURVEYOR: OLSSON ASSOCIATES
4690 TABLE MOUNTAIN DR. #200
GOLDEN, CO 80403
303.237.2072
CONTACT: JUSTIN C. SCHEITLER

OWNERSHIP CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF
CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
Brad Sanders
RAISING CANE'S RESTAURANTS, LLC.
SIGNED THIS 2nd DAY OF June, 2016.
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 2nd DAY OF June
2016 BY Brad Sanders AS AUTHORIZED REPRESENTATIVE
OF RAISING CANE'S RESTAURANTS, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.
Maricela Martinez
NOTARY PUBLIC
MY COMMISSION EXPIRES: 10/21/2017



TITLE CERTIFICATION
I, R. Kristofer Clap, AN AUTHORIZED REPRESENTATIVE OF
First American Title, A TITLE INSURANCE COMPANY LICENSED TO DO
BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND
STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE
CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
R. Kristofer Clap
AUTHORIZED REPRESENTATIVE
First American Title
TITLE COMPANY
SIGNED THIS 12 DAY OF July, 2016.
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 12th DAY OF July
2016 BY R. Kristofer Clap AS AUTHORIZED REPRESENTATIVE
OF First American Title Insurance Co
WITNESS MY HAND AND OFFICIAL SEAL.
Brenda Mary Dyché
NOTARY PUBLIC
MY COMMISSION EXPIRES: 2-19-2019



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:
THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY
CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:21 AM ON THE 18th DAY OF July
2016, RECEPTION NUMBER 2016046611.

DOUGLAS COUNTY CLERK AND RECORDER
BY: Tulaym Abd...
DEPUTY



STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE
TOWN OF CASTLE ROCK, COLORADO ON THE 12 DAY OF JULY, 2016
[Signature]
DIRECTOR OF DEVELOPMENT SERVICES

SURVEYOR'S CERTIFICATE:
I, JUSTIN C. SCHEITLER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF
COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS
SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN
THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN, ACCURATELY REPRESENTS THAT
SURVEY.



JUSTIN C. SCHEITLER
OLSSON ASSOCIATES, INC.
4690 TABLE MOUNTAIN DR. #200
GOLDEN, CO 80403.

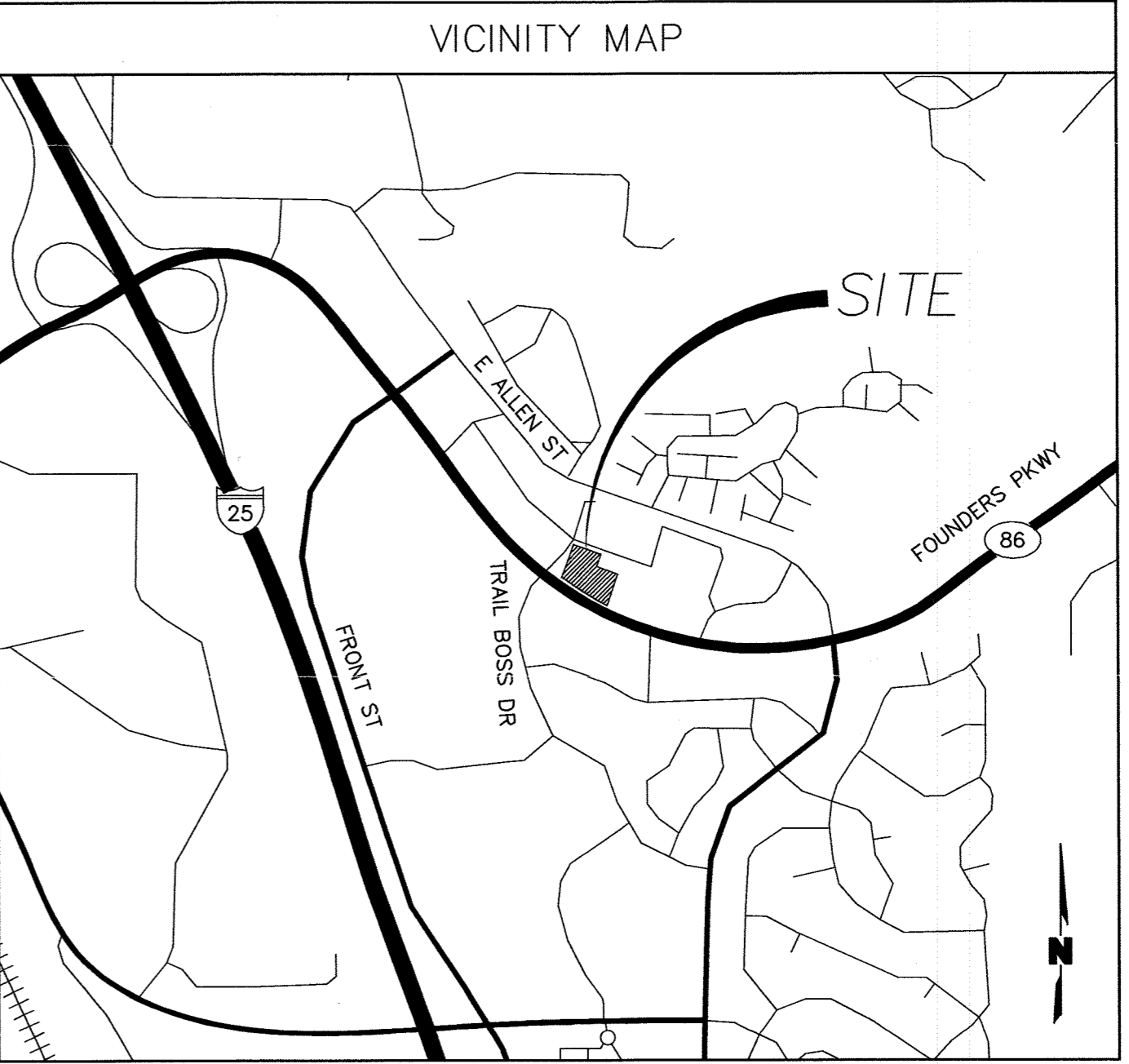
CIVIL ENGINEER'S STATEMENT
I, JOSH ERBANOUSPE, BEING A REGISTERED PROFESSIONAL ENGINEER IN
THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS
IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN
CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



REGISTERED PROFESSIONAL ENGINEER
DATE: 09 MAY 2016

SUMMARY TABLE

SITE DATA	
TOTAL SITE AREA	1.553 ACRES
HARDSCAPE COVERAGE:	
PARKING COVERAGE	0.827 ACRES
PATIO, SIDEWALK & TRASH ENCLOSURE AREA	0.13 ACRES
BUILDING FOOTPRINT	0.09 ACRES
TOTAL HARDSCAPE	1.047 ACRES
GREEN OR LANDSCAPED AREA	0.506 ACRES
PARKING DATA	
TARGET PARKING	
REQUIRED PARKING	4.5/1000 SF
TARGET SF	125,381 (ROUNDED UP)
PREVIOUS TOTAL SPACES REQUIRED:	565
EXISTING SPACES PROVIDED:	627
EXISTING SPACES REMOVED:	118
TOTAL REMAINING TARGET PARKING:	509
PARKING VARIANCE FOR TARGET:	56 SPACES (10%) PER TCV16-0012
RAISING CANE'S REQUIREMENTS	
RAISING CANE'S SF	10 SPACES PER 1,000 SQ FT OF GFA
TOTAL SPACES REQUIRED:	OUTSIDE SEATING AREA OVER 500
TOTAL SPACES PROVIDED:	SAME RULES APPLY
STACKING SPACES REQUIRED:	3,706 BUILDING SF & 600 OUTDOOR SF
STACKING SPACES PROVIDED:	44
STACKING SPACES PROVIDED:	57
STACKING SPACES PROVIDED:	8 STACKING SPACES PER DRIVE THRU
STACKING SPACES PROVIDED:	16
BUILDING DATA	
TOTAL BUILDING AREA (GROSS AREA)	3,706 G.S.F.
MAXIMUM FLOOR AREA RATIO	0.25 MAX
PROPOSED FLOOR AREA RATIO	0.005
BUILDING HEIGHT REQUIRED:	50'-0" MAX
BUILDING HEIGHT PROPOSED:	23'-4" T.O. TALLEST TOWER
MINIMUM SETBACKS REQUIRED:	15'-0" FROM WEST PROPERTY LINE 15'-0" FROM NORTH PROPERTY LINE 15'-0" FROM EAST PROPERTY LINE 25'-0" FROM ARTERIAL STREET LINE
SETBACKS PROVIDED:	±74'-8" TO WEST PROPERTY LINE ±29'-8" & ±101'-2" TO NORTH PROPERTY LINE ±140'-11" TO EAST PROPERTY LINE ±83'-8" TO ARTERIAL STREET LINE



AMENDMENT No. 1
SITE DEVELOPMENT PLAN FOR LOT 3B,
METZLER RANCH FILING NO. 3, LOT 3,
LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP 7 SOUTH,
RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO

- GENERAL NOTES:
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
 - PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
 - THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
 - THIS PROPERTY IS LOCATED IN FEMA FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 08035C0186G, DATED MARCH 16, 2015.
 - ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
 - THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
 - APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
 - NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
 - ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
 - "THIS SITE IS ZONED METZLER RANCH PD THIRD MAJOR AMENDMENT."
 - ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
 - UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
 - THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.
 - RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
 - A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

- FIRE NOTES:
- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
 - FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
 - APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
 - DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
 - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
 - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
 - "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
 - IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DEVELOPMENT AGREEMENT, RECORDED ON THE 24TH DAY OF DECEMBER, 1996 AT RECEPTION NO. 9672147 AND ACCORDINGLY 5 SFE ARE DEBITED FROM THE WATER BANK.



Store:
**5012 Founders Pkwy
Castle Rock, CO
Prototype 2
Store #RC276**

Architect Information:
PM DESIGN
Architectural Solutions Group
7200 South Allon Way
Suite B-270
Centennial, CO 80112
PH. 303.955.9040
E-MAIL:
gvtale@pmdginc.com

Prototype Issue Date:
Design Bulletin Updates:
Date Issued: 8.25.2015
Bulletin Number: 02-2015

SDP SUBMITTAL

Revisions:

#	Date	Description
A	01/19/2016	SDP SUBMITTAL
B	02/22/2016	RESUBMITTAL
C	03/25/2016	RESUBMITTAL
D	04/11/2016	RESUBMITTAL

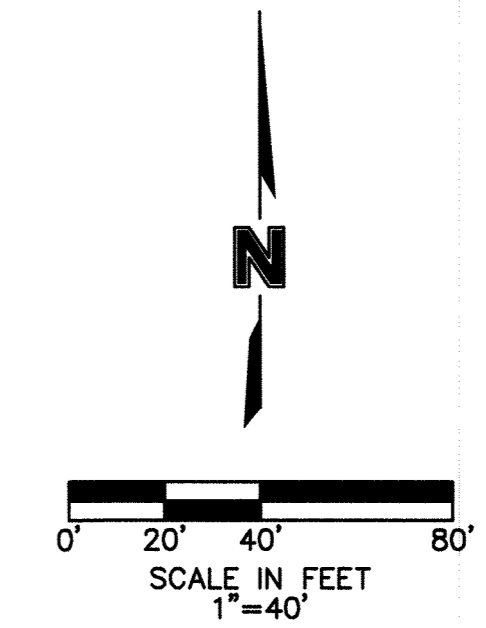
Sheet Title:
COVER SHEET
Date: 01/05/2016
Project Number: RAC15004.0
Drawn By: KTA
Sheet Number:

1 OF 14
PROJECT #:
SDP16-0003

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT NO. 1

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	LOT LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
---	SETBACK LINE	---
---	FLOWLINE	---
---	BACK OF CURB	---
---	EDGE OF ASPHALT	---
---	RETAINING WALL	---
---	RETAINING WALL RAILING	---
---	PARKING COUNT	---
---	FIRE LANE SIGN (PER TOCR)	---
---	STREET LIGHT	---

- NOTES:
- 118 PARKING SPOTS REMOVED FROM TARGET
 - 56 PARKING SPOTS ADDED FOR RAISING CANE'S
 - PROPERTY ZONED FOR COMMERCIAL PER PLAT IDENTIFICATION SHEET RECEPTION #DC00040856

EASEMENT NOTE TABLE		
E1	35' ACCESS AND UTILITY EASEMENT	REC# 01003945
E2	20' PRIVATE UTILITY EASEMENT	
E3	30' STORM DRAINAGE EASEMENT	REC# 01003945
E4	23' PUBLIC UTILITY EASEMENT	
E5	45' PRIVATE JOINT ACCESS ESMT BY SEPARATE INSTRUMENT	REC# 2016028700
E6	20' WATERLINE EASEMENT	REC# 01003945
E7	24' PRIVATE JOINT ACCESS ESMT BY SEPARATE INSTRUMENT	REC# 2016028700
E8	10' PRIVATE UTILITY EASEMENT	
E9	20' IREA EASEMENT	REC# 01003945
E10	23' FUTURE WIDENING EASEMENT	REC# 01003945
E11	30' PRIVATE UTILITY ESMT BY SEPARATE INSTRUMENT	REC# 2016028700
E12	33' STORM DRAINAGE EASEMENT	REC# 01003945
E13	20' PRIVATE JOINT ACCESS ESMT BY SEPARATE INSTRUMENT	REC# 2016028700
E14	20' DRAINAGE EASEMENT	REC# 2014055463

NOTE
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5285 McWhinney Boulevard, Suite 160
Loveland, CO 80538 TEL 970.461.7733 www.olssonassociates.com



Restaurant Support Office
6600 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

Store:
5012 Founders Parkway
Castle Rock, CO
Prototype 2
Store RC276

Professional of Record:

7200 South Alton Way, Suite B270
Centennial, CO 80112
303.955.9040

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Prototype Issue Date:
Design Bulletin Updates:
Date Issued: Bulletin Number:
02-2015

SDP SUBMITTAL

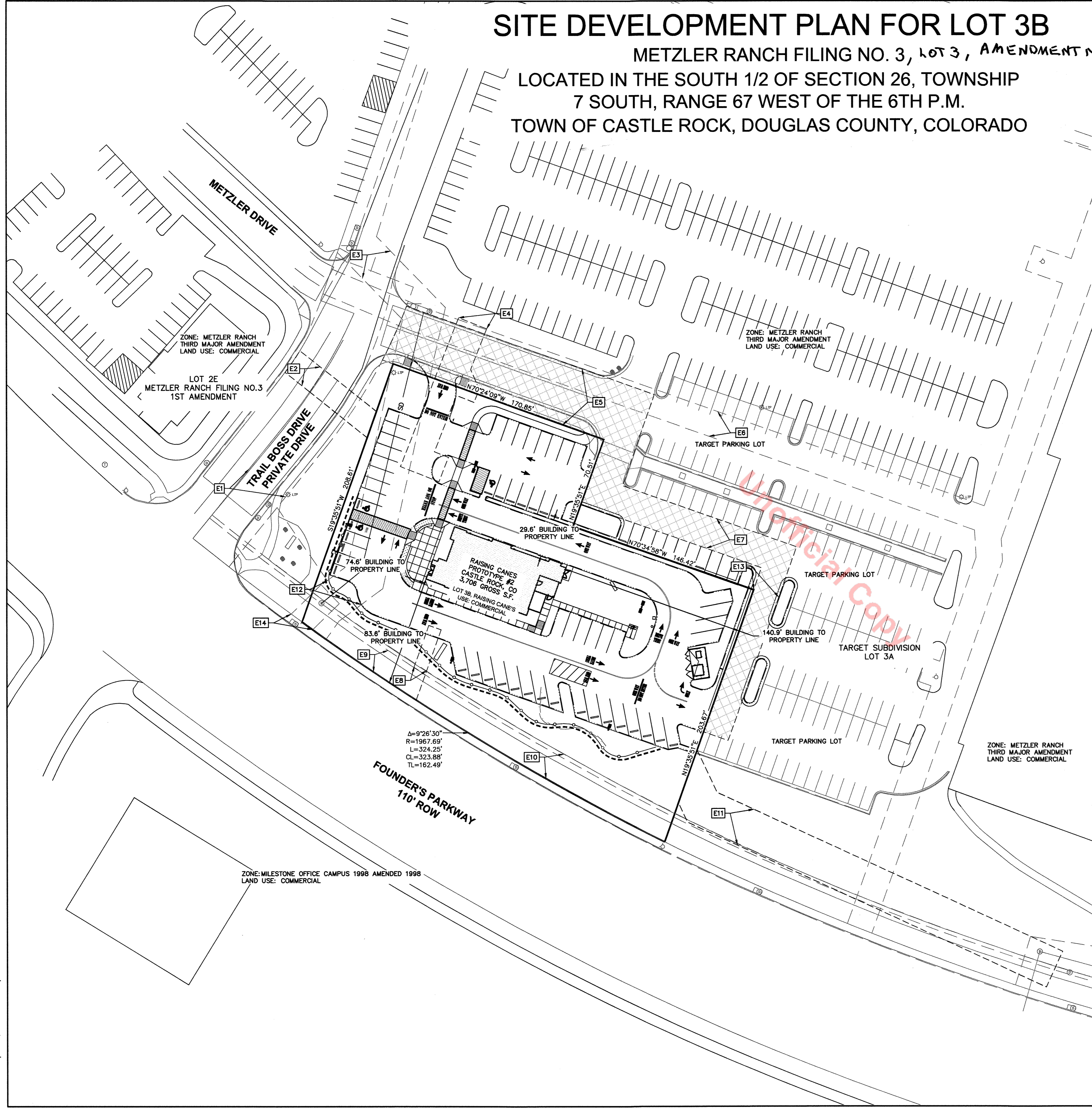
Revisions:

#	Date	Description
A	1/21/16	SDP SUBMITTAL
B	2/22/16	RESUBMITTAL
C	3/22/16	RESUBMITTAL
D	4/12/16	RESUBMITTAL

Sheet Title:
PROJECT SITE SHOWING IMPROVEMENTS WITHIN 200 FEET
Date: 4/12/2016
Project Number: TOCR: SDP16-0003
OA: 015-3305
Drawn By: MH

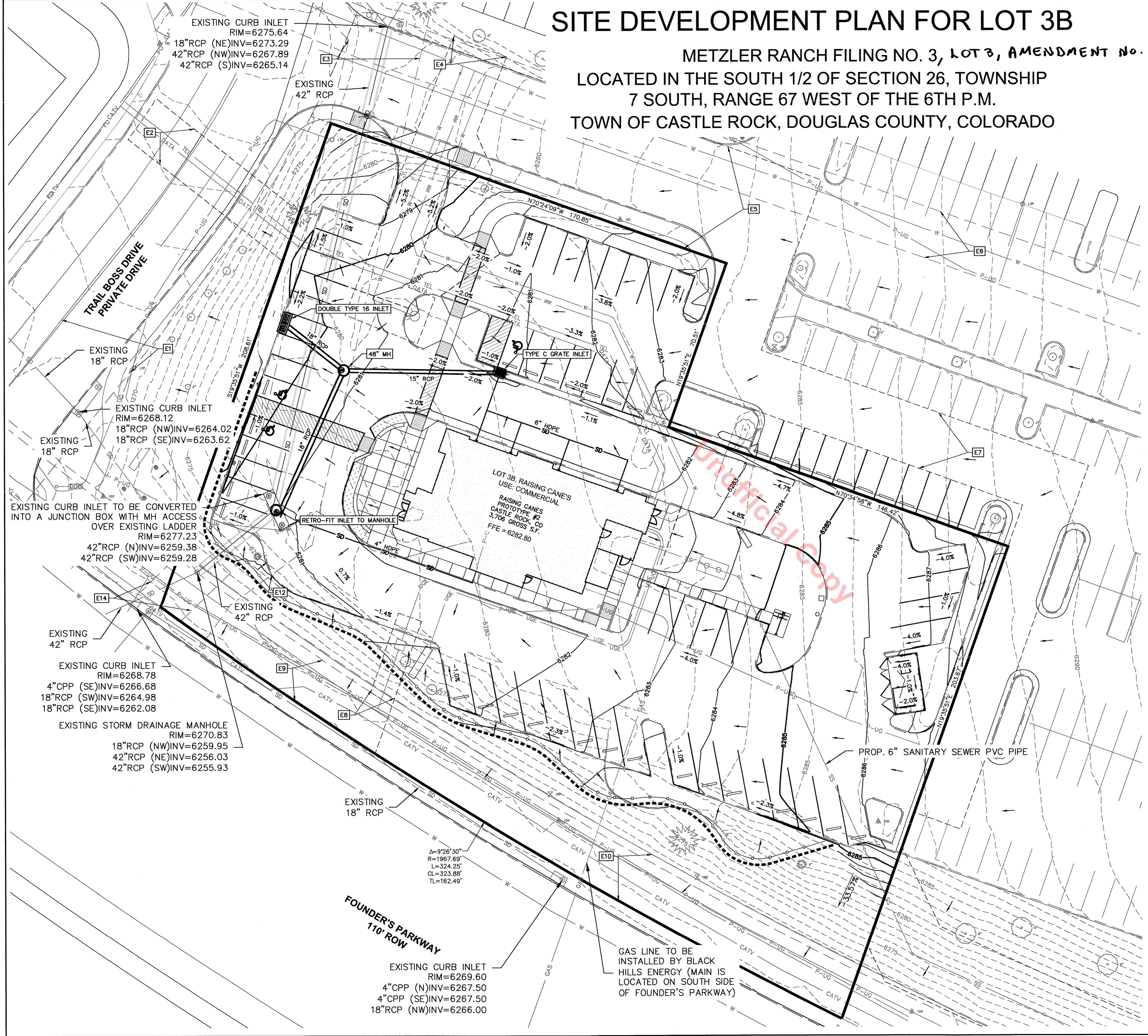
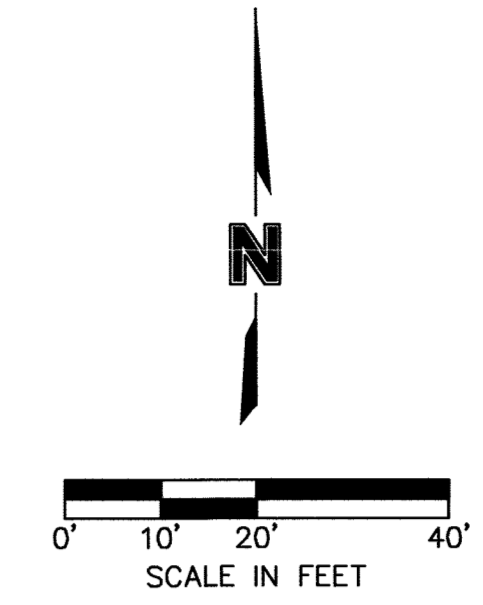
Sheet Number:
3 OF 14
TOCR PROJECT #:
SDP16-0003

DWG: F:\Projects\015-3305\40-Design\AutoCAD\Preliminary Plans\Sheets\LD\p\C_SIT2000\sheet_153305.dwg USER: chll
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SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT No. 1
 LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
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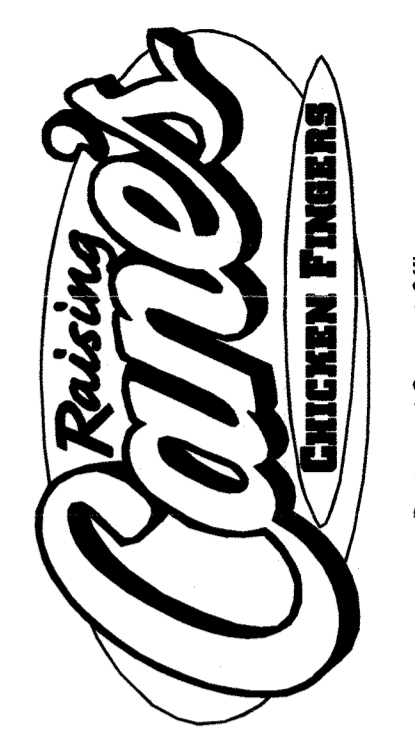
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- · - · - · - · - · - · - · -	MAJOR CONTOURS
- · - · - · - · - · - · - · - · -	MINOR CONTOURS
⊙	STORM MANHOLE
⊙	STORM SEWER
- - - - -	RETAINING WALL
- · - · - · - · - · - · - · - · -	LIMITS OF CONSTRUCTION
△	BENCHMARK
x	SPOT ELEVATION
→	FLOW ARROW
→	FINISH FLOOR ELEVATION
→	TOP OF WALL
→	BOTTOM OF WALL
HP	HIGH POINT
LP	LOW POINT

EASEMENT NOTE TABLE		
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 Tele: 972-769-3100 Fax: 972-769-3101

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 Centennial, CO 80112
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Prototype Issue Date: _____
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 Date Issued: _____ Bulletin Number: _____
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Revisions:

#	Date	Description
A	1/21/16	SDP SUBMITTAL
B	2/22/16	RESUBMITTAL
C	3/22/16	RESUBMITTAL
D	4/12/16	RESUBMITTAL
E	4/20/16	RESUBMITTAL

Sheet Title:
GRADING AND DRAINAGE PLAN

Date: 4/20/2016
 Project Number: TOCR: SDP16-0003
 OA: 015-3305
 Drawn By: MH

Sheet Number:
4 OF 14
 TOCR PROJECT #:
 SDP16-0003

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SITE DEVELOPMENT PLAN FOR LOT 3B

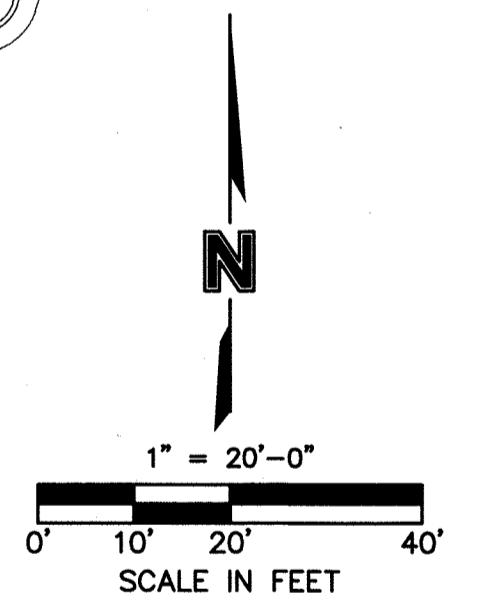
METZLER RANCH FILING NO. 3, **LOT 3, AMENDMENT No. 1**
LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
ACE A12	3		ACER X FREEMANII 'JEFFSRED' / AUTUMN BLAZE MAPLE	B & B	2"	CAL
QUE ROB	5		QUERCUS ROBUR / ENGLISH OAK	B & B	2"	CAL
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
PIC FA9	3		PICEA PUNGENS 'FAT ALBERT' / COLORADO SPRUCE	B & B	6'	HT
PIN NIG	1		PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6'	HT
PIN ST2	3		PINUS STROBIFORMIS / SOUTHWESTERN WHITE PINE	B & B	6'	HT
FLOWERING TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
ACE TAT	2		ACER TATARICUM / TATARIAN MAPLE	B & B	1.5"	CAL
MAL RAD	2		MALUS X 'RADIANT' / RADIANT CRAB APPLE	B & B	1.5"	CAL
MAL SNO	6		MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE	B & B	1.5"	CAL
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3
COT TOM	68		COTONEASTER APICULATUS 'TOM THUMB' / TOM THUMB CRANBERRY COTONEASTER	5 GAL		
EUC COM	26		EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		
FOR KOL	47		FORSYTHIA X INTERMEDIA 'KOLGOLD' / MAGICAL GOLD FORSYTHIA	5 GAL		
JUN COM	38		JUNIPERUS CHINENSIS 'ARMSTRONG' / ARMSTRONG JUNIPER	5 GAL		
JUN SP2	18		JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	5 GAL		
JUN AN3	251		JUNIPERUS HORIZONTALIS YOUNGSTOWN / ANDORRA JUNIPER	5 GAL		
JUN BL3	54		JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL		
JUN ARC	16		JUNIPERUS SABINA 'ARCADIA' / ARCADIA JUNIPER	5 GAL		
JUN BRO	27		JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	5 GAL		
JUN MO9	15		JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER	5 GAL		
ILE INK	40		MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE HOLLY	5 GAL		
PIN CO2	64		PINUS MUGO / MUGO PINE	5 GAL		
POT DRO	64		POTENTILLA FRUTICOSA 'GOLD DROP' / GOLD DROP POTENTILLA	5 GAL		
RHU GRO	48		RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		
ROS 361	45		ROSA SHRUB / RED SHRUB ROSE	5 GAL		
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3
MIS GRA	42		MISCANTHUS SINENSIS 'ORACILLIUM' / MAIDEN GRASS	5 GAL		
ANNUALS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	FIELD2	FIELD3	SPACING
221	ANNUALS ANNUALS ANNUALS	FLAT				12" o.c.

Commercial Landscape Site Inventory

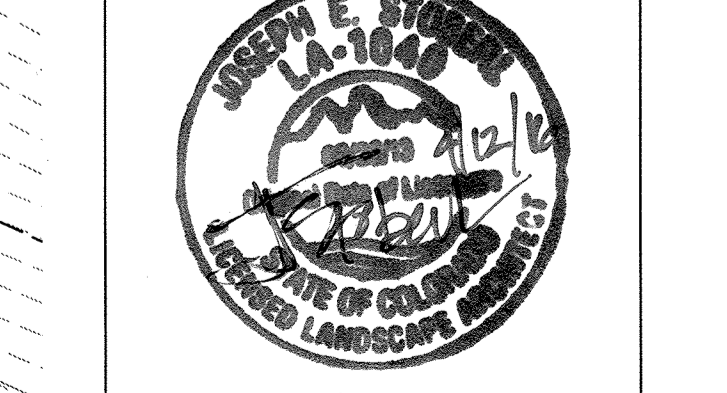
Gross Site Area	Turfgrass List Landscape Area (in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amount (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
67,667 SF (1,553 AC)	23,500 SF	7,725 SF Canadian Blue Fescue Sod Blend	700 SF	14	14	28	387	94 CY
Parking Lot (Area in Sq.Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required <td>No. of Trees Provided</td> <td>No. of Shrubs Required</td> <td>No. of Shrubs Provided</td>	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
36,024 SF (827 AC)	57	520 SF	12	8.3'	7	11	14	386



SOD NOTE:
TO BE SOD BLEND 'CANADIAN BLUE FESCUE' BY TURF MASTER, PER 'APPROVED SOD BLENDS FOR THE TOWN OF CASTLE ROCK 3.1.2015' DOCUMENT.

PROFESSIONAL LANDSCAPE ARCHITECT SIGNATURE BLOCK:

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF COLORADO.



- IRRIGATION NOTES:**
- SHRUBS BEDS TO RECEIVE IRRIGATION VIA SUBSURFACE DRIP IRRIGATION.
 - TREES TO BE RECEIVE IRRIGATION VIA ROOT WATERING SYSTEM.
 - SOD AREAS OVER 10' WIDE TO RECEIVE IRRIGATION VIA 6" POP UP SPRAY HEADS, ALL SOD AREAS LESS THE 10' WIDE TO RECEIVE IRRIGATION VIA SUBSURFACE DRIP IRRIGATION.
 - ANNUAL BEDS TO RECEIVE IRRIGATION VIA DRIP EMITTERS.

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5285 McWhinney Boulevard, Suite 160
Loveland, CO 80538
TEL 970.461.7733 www.olssonassociates.com



Store:
5012 Founders Pkwy
Castle Rock, CO
Prototype 2
Store #RC276

Professional of Record:

Architectural Solutions Group
7200 South Alton Way, Suite B270
Centennial, CO 80112
303.955.9040

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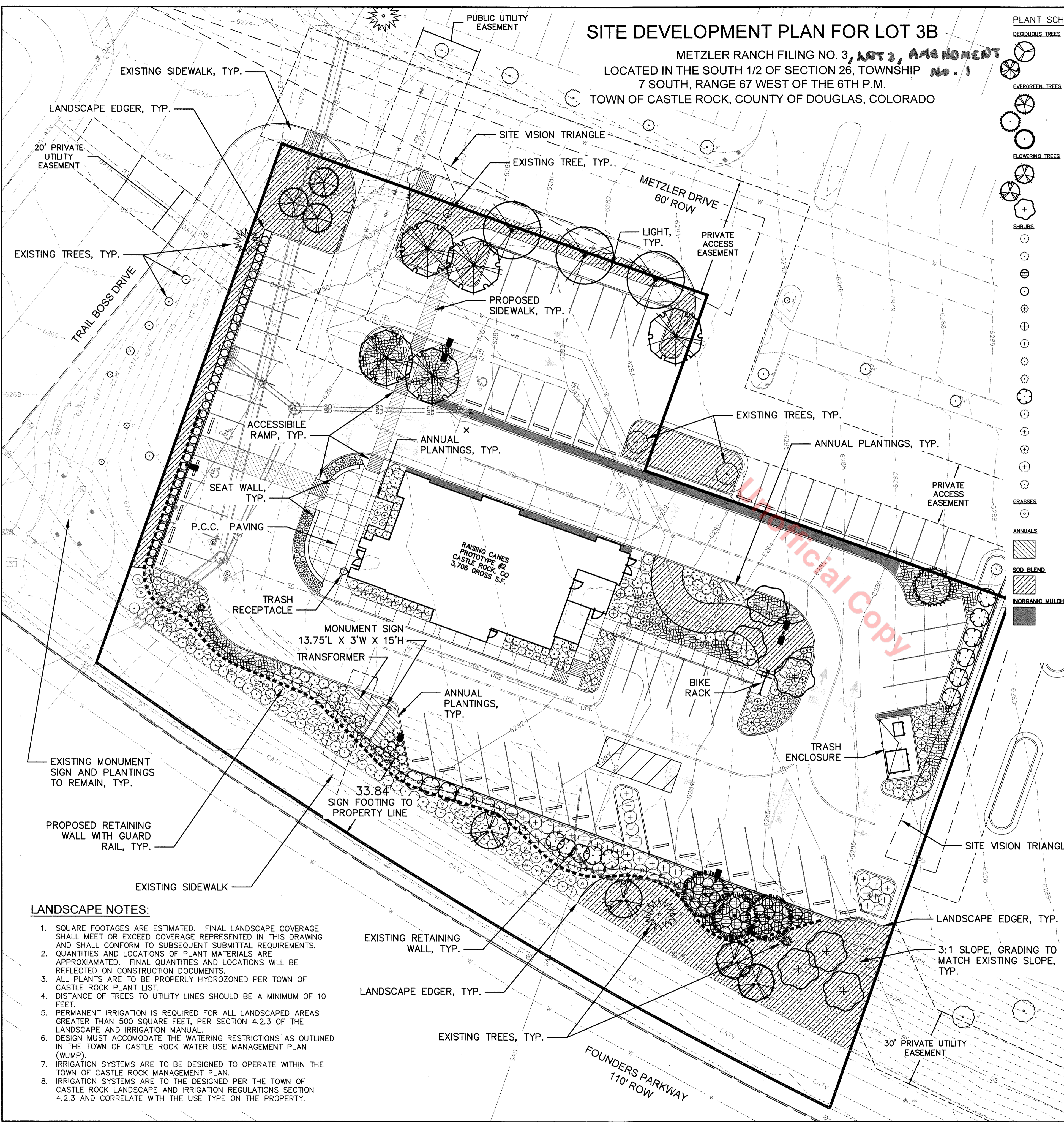
SDP SUBMITTAL

Revisions:

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C	03/22/16	RESUBMITTAL
D	04/12/16	RESUBMITTAL

Sheet Title:
LANDSCAPE PLAN
Date: 04/12/2016
Project Number: TOCR: SDP16-003
OA: 015-3305
Drawn By: JS

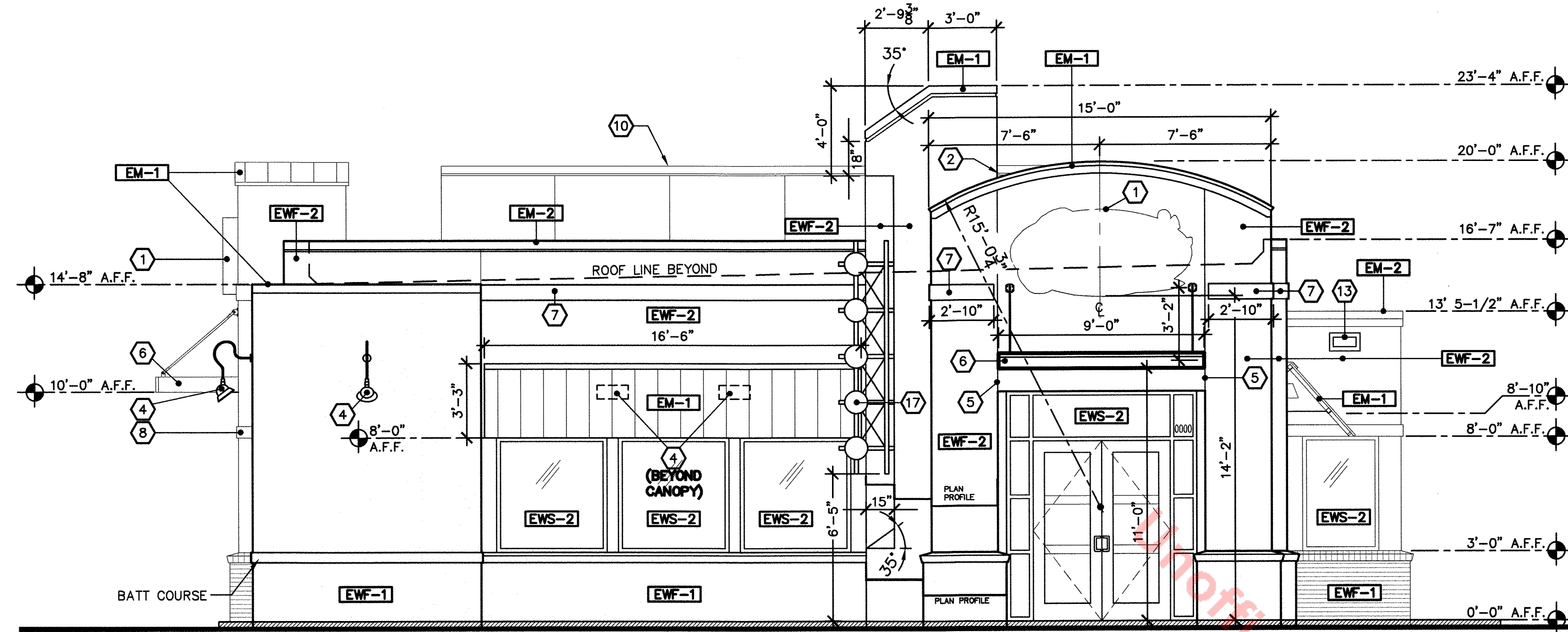
Sheet Number:
6 OF 14
PROJECT #:
SDP16-0003



- LANDSCAPE NOTES:**
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
 - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
 - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
 - DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
 - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK MANAGEMENT PLAN.
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND CORRELATE WITH THE USE TYPE ON THE PROPERTY.

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT NO. 1
 LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO



01 FRONT ELEVATION
 1/4" = 1'-0"; 22"x34" SHEET SIZE
 01/A4.1

EXTERIOR MATERIALS		KEY NOTES	
MARK	DESCRIPTION	MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.	1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. (4'-0"x8'-0" OVAL)
EM-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.	2	FLASH AND PROVIDE CRICKET TO DEFLECT WATER PER MANUFACTURER'S SPECIFICATIONS
EM-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND SCREWS PROVIDED BY OWNER INSTALLED BY G.C.	3	PAINTED MURAL, BY OWNER. (9'-0"x15'-6")
		4	EXTERIOR LIGHTING, RE: ELECTRICAL
		5	CONTROL JOINT
		6	PREFABRICATED METAL CANOPY
		7	8" STUCCO OR BRICK BAND AS SHOWN
		8	6" STUCCO OR BRICK BAND AS SHOWN
		9	ROOF SCUPPER & DOWNSPOUT; OMIT STUCCO BAN @ DOWNSPOUT (RE: 3,5,6/A10.2)
		10	ROOF SCUPPER; TO CONCEAL ROOF TOP EQUIPMENT BEYOND (RE: 1/A8.3)
		11	PIPE BOLLARD W/ SLEEVE (RE: CIVIL)
		12	METAL ROOF, GUTTER & DOWNSPOUT (RE: 1/A10.2)
		13	OVERFLOW SCUPPER (RE: 5/A10.2 SIM)
		14	WALK-IN COOLER/FREEZER BY OWNER (CONCRETE PAD & FLASHING BY G.C.) (PAINT TO MATCH STUCCO, INCLUDING ALL EXPOSED PIPING)
		15	ELECTRICAL CABINETS, PAINT TO MATCH STUCCO (PT-10). COORDINATE EXACT REQUIREMENTS WITH ELEC. SUB-CONTR.
		16	GAS METER & PIPING, PAINT TO MATCH STUCCO (PT-10)
		17	METAL ART BY OWNER. INSTALLED BY G.C. PROVIDE BLOCKING AS REQ'D.
		18	HOLD GAS LINE 6" OFF BUILDING FACADE TO BY-PASS NEON CHANNEL
		19	SURFACE MOUNTED WALL URN (RE: SCHEDULE A5.3)
		20	PAINTED METAL FLASHING AT ROOF AND OPEN ENDS OF COOLER AT WALL (MATCH STUCCO)

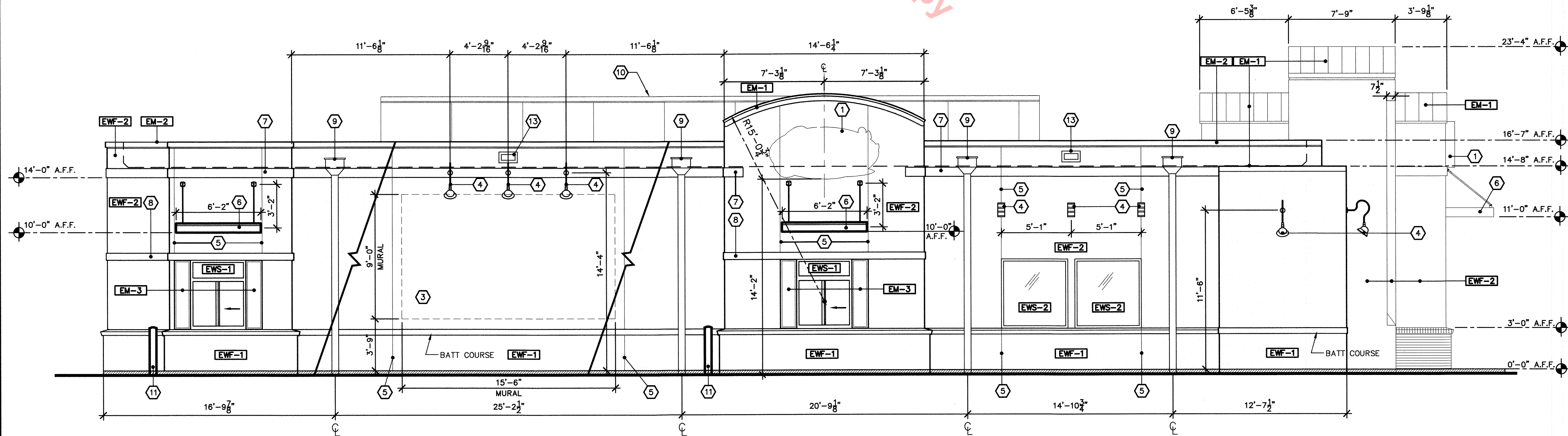
EXTERIOR WINDOW SYSTEMS	
MARK	DESCRIPTION
EWS-1	DRIVE THRU WINDOW
EWS-2	4 1/2" ALUM. STOREFRONT KAWNEER TRIFAB 451 II ANODIZED, TYP. U.N.O.

EXTERIOR WALL FINISHES	
MARK	DESCRIPTION
EWF-1	FACE BRICK
EWF-2	7/8" STUCCO FINISH ON SELF FURRING GALV. METAL LATH W/ FRY REGLET CORNERS, MOLDING & TRIM AS REQUIRED (RE: SPECIFICATIONS)

SEALANT	
1.	PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2.	TWO-PART NONSAG POLYURETHANE SEALANT BY SONNEBORN BUILDING PRODUCTS. CUSTOM COLOR TO MATCH STUCCO AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, WALL PENETRATIONS AND STUCCO TO MASONRY CONNECTIONS.

NOTES:

- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- G.C. TO PERMIT CANOPIES AND AWINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.



02 DRIVE-THRU ELEVATION
 1/4" = 1'-0"; 22"x34" SHEET SIZE
 02/A4.1



Restaurant Support Office
 6800 Bishop Road, Plano, TX 75024
 Tel: 972-769-3100 Fax: 972-769-3101

Store:
5012 FOUNDERS PKWY
Castle Rock, CO
Prototype 2
Store #RC276

Architect Information:
PM DESIGN
 Architectural Solutions Group
 7200 South Alton Way
 Suite B-270
 Centennial, CO 80112
 PH. 303.955.9040
 E-MAIL:
 gvitale@pmdginc.com

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 Date Issued: 8.25.2015 Bulletin Number: 02-2015

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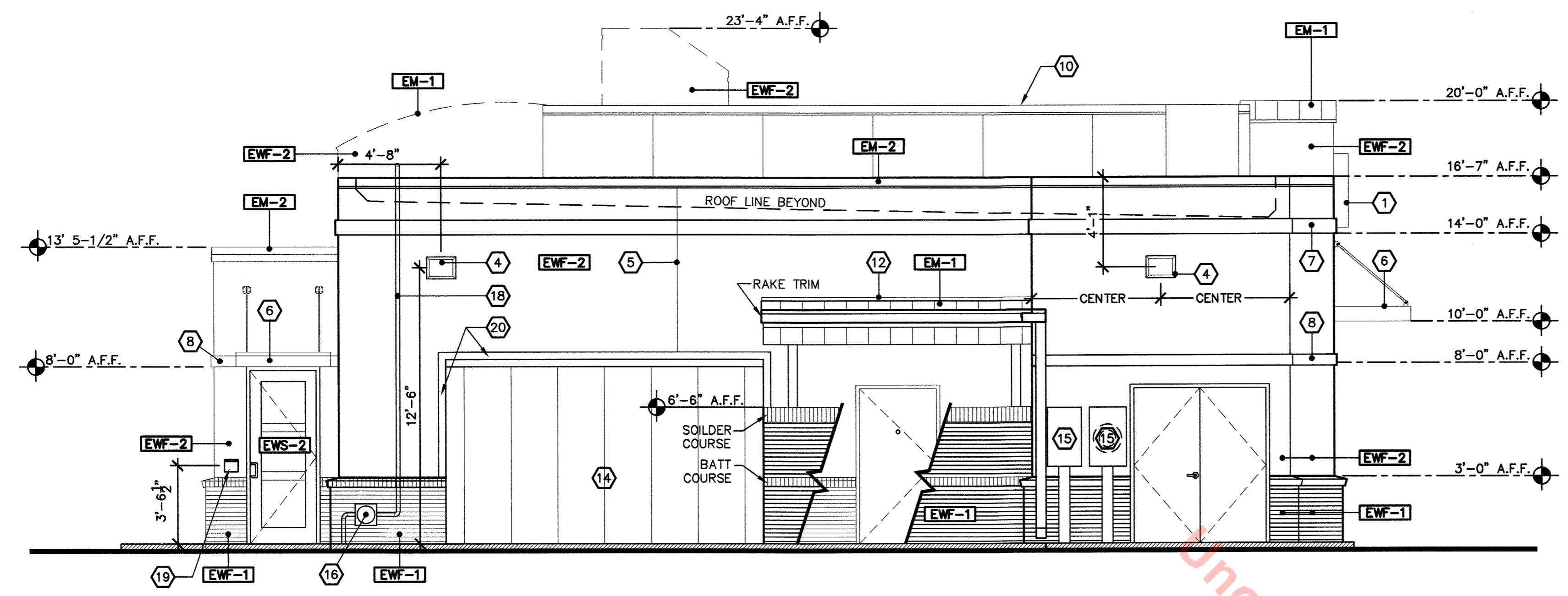
Revisions:

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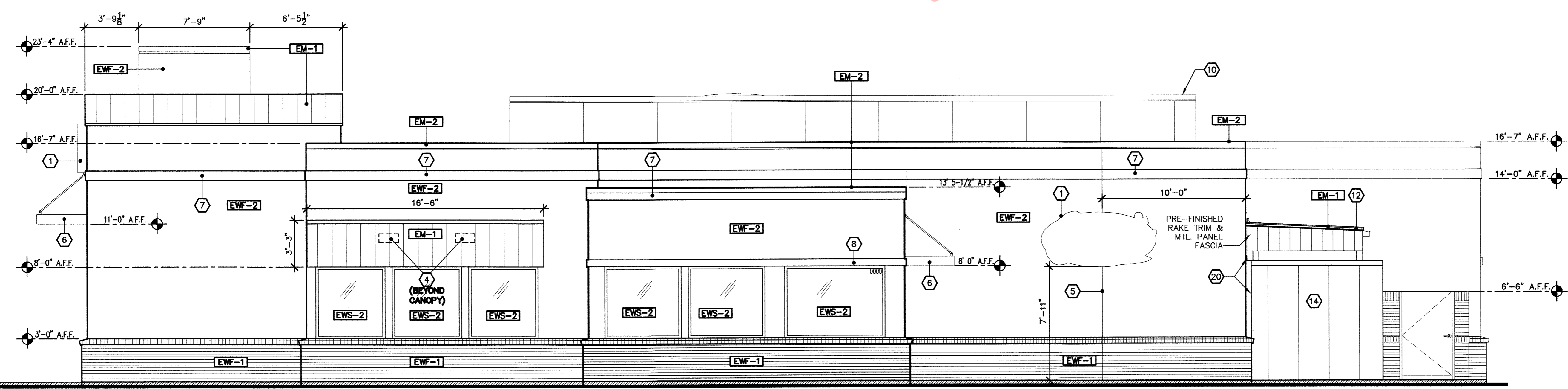
Sheet Title:
EXTERIOR ELEVATIONS
 Date: 04/11/2016
 Project Number: RAC15004.0
 Drawn By: KTA
 Sheet Number:

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT NO. 1
 LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO



01 REAR ELEVATION
 1/4" = 1'-0"; 22"x34" SHEET SIZE
 01/A4.2



02 SIDE ENTRY ELEVATION
 1/4" = 1'-0"; 22"x34" SHEET SIZE
 02/A4.2

EXTERIOR MATERIALS		KEY NOTES	
MARK	DESCRIPTION	MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.	1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D. (4'-0"x8'-0" OVAL)
EM-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.	2	FLASH AND PROVIDE CRICKET TO DEFLECT WATER PER MANUFACTURER'S SPECIFICATIONS
EM-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND SCREWS PROVIDED BY OWNER INSTALLED BY G.C.	3	PAINTED MURAL, BY OWNER. (9'-0"x15'-6")
		4	EXTERIOR LIGHTING, RE: ELECTRICAL
		5	CONTROL JOINT
EXTERIOR WINDOW SYSTEMS		6	PREFABRICATED METAL CANOPY
MARK	DESCRIPTION	7	8" STUCCO OR BRICK BAND AS SHOWN
EWS-1	DRIVE THROUGH WINDOW	8	6" STUCCO OR BRICK BAND AS SHOWN
EWS-2	4 1/2" ALUM. STOREFRONT KAWNEER TRIFAB 451 II ANODIZED, TYP. U.N.O.	9	ROOF SCUPPER & DOWNSPOUT; OMIT STUCCO BAN @ DOWNSPOUT (RE: 3,5,6/A10.2)
EXTERIOR WALL FINISHES		10	ROOF SCREEN; TO CONCEAL ROOF TOP EQUIPMENT BEYOND (RE: 1/A8.3)
MARK	DESCRIPTION	11	PIPE BOLLARD W/ SLEEVE (RE: CIVIL)
EWF-1	FACE BRICK	12	METAL ROOF, GUTTER & DOWNSPOUT (RE: 1/A10.2)
EWF-2	7/8" STUCCO FINISH ON SELF FURRING GALV. METAL LATH W/ FRY REGLET CORNERS, MOLDING & TRIM AS REQUIRED (RE: SPECIFICATIONS)	13	OVERFLOW SCUPPER (RE: 5/A10.2 SIM)
SEALANT		14	WALK-IN COOLER/FREEZER BY OWNER (CONCRETE PAD & FLASHING BY G.C.) PAINT TO MATCH STUCCO, INCLUDING ALL EXPOSED PIPING
1. PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.		15	ELECTRICAL CABINETS, PAINT TO MATCH STUCCO (PT-10). COORDINATE EXACT REQUIREMENTS WITH ELEC. SUB-CONTR.
2. TWO-PART NONSAG POLYURETHANE SEALANT BY SONNEBORN BUILDING PRODUCTS. CUSTOM COLOR TO MATCH STUCCO AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, WALL PENETRATIONS AND STUCCO TO MASONRY CONNECTIONS.		16	GAS METER & PIPING, PAINT TO MATCH STUCCO (PT-10)
		17	METAL ART BY OWNER. INSTALLED BY G.C. PROVIDE BLOCKING AS REQ'D.
		18	HOLD GAS LINE 6" OFF BUILDING FACADE TO BY-PASS NEON CHANNEL
NOTES:		19	SURFACE MOUNTED WALL URN (RE: SCHEDULE AS.3)
1. SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).		20	PAINTED METAL FLASHING AT ROOF AND OPEN ENDS OF COOLER AT WALL (MATCH STUCCO)
2. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.			



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Architect Information:

Architectural Solutions Group
 7200 South Alton Way
 Suite B-270
 Centennial, CO 80112
 PH. 303.955.9040
 E-MAIL:
 gvital@pmdginc.com

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Sheet Title:
EXTERIOR ELEVATIONS
 Date: 04/11/2016
 Project Number: RAC15004.0
 Drawn By: KTA

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT No. 1

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO



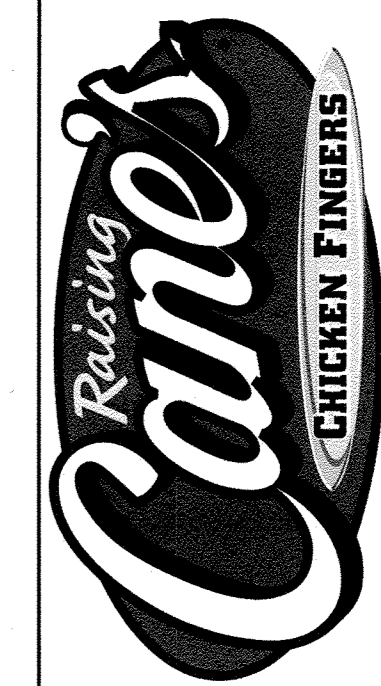
01 FRONT ELEVATION
1/4" = 1'-0"
01: A4.1



02 DRIVE-THRU ELEVATION
1/4" = 1'-0"
02: A4.1

MATERIALS LEGEND	
	DESCRIPTION
	STANDING SEAM METAL ROOF MATTE BLACK
	METAL CAP FLASHING MATTE BLACK
	PRE-FAB METAL CANOPY MATTE BLACK
	STAINLESS STEEL COVER PANEL
	BRICK BORAL - ALAMO
	STUCCO FINISH DRYVIT - HONEY TWIST 383
	ALUMINUM STOREFRONT KAWNEER TRIFAB 451 II ANODIZED
	PAINT TO MATCH DRYVIT - HONEY TWIST 383

MATERIALS CALCULATIONS		
FRONT ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	495	55%
BRICK	240	26%
GLAZING (D+W)	178	19%
TOTAL SF	913	100%
DRIVE-THRU ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	751	45%
BRICK	826	50%
GLAZING (D+W)	89	5%
TOTAL SF	1,666	100%
REAR ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	640	76%
BRICK	121	15%
GLAZING (D+W)	76	9%
TOTAL SF	837	100%
SIDE ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	1,207	74%
BRICK	261	16%
GLAZING (D+W)	168	10%
TOTAL SF	1,636	100%



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Architect Information:
PM DESIGN
Architectural
Solutions Group
710 E. PARK BLVD., SUITE 108
PLANO, TX 75074
PH. (972) 499-8084
E-MAIL:
dsunroll@pmdginc.com
ROY PEDRO, ARCHITECT

Prototype Issue Date:	-
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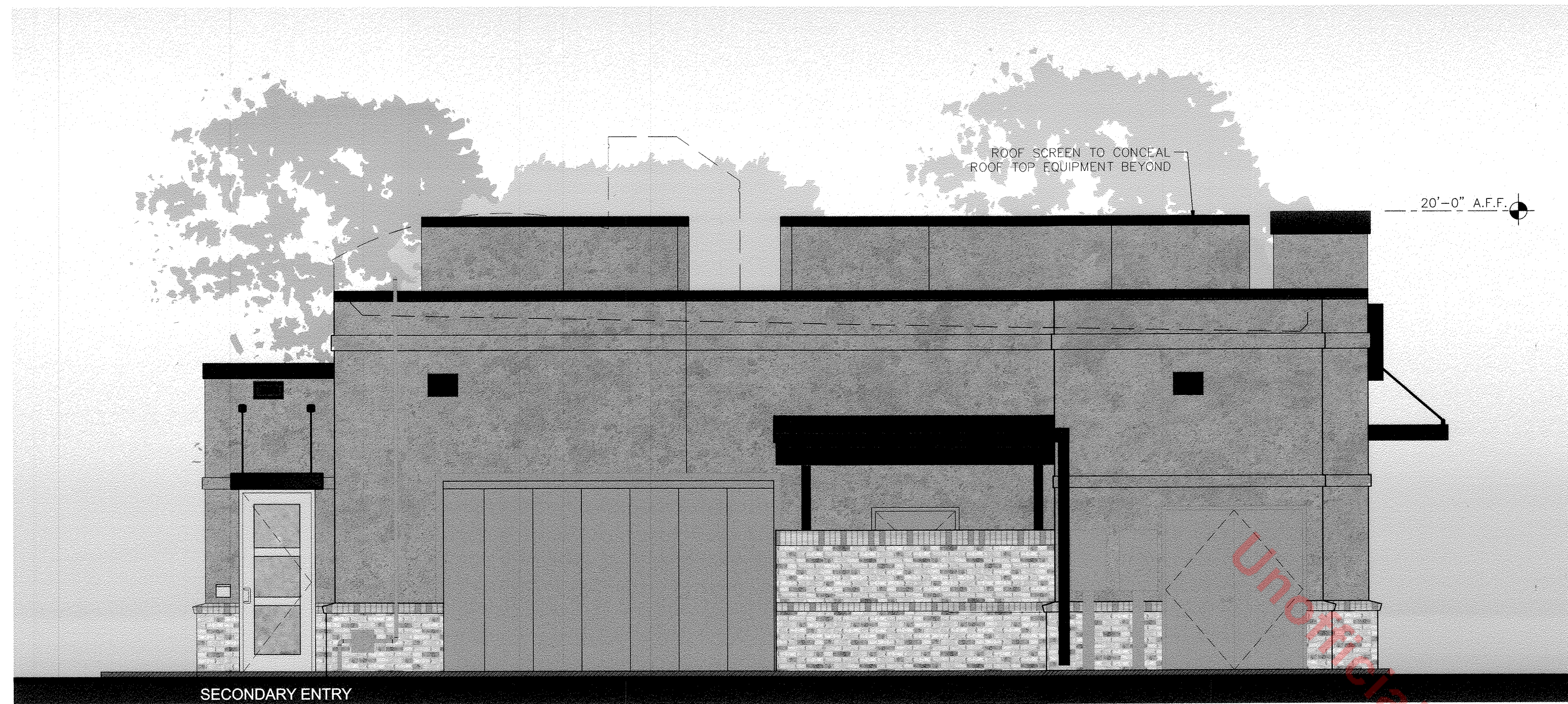
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EXTERIOR ELEVATIONS
Date: 03/22/2016
Project Number: SDP16-0003
Drawn By: KTA
Sheet Number:

SITE DEVELOPMENT PLAN FOR LOT 3B

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LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO



01 REAR ELEVATION
1/4" = 1'-0"
01-A4.2



02 SIDE ENTRY ELEVATION
1/4" = 1'-0"
02-A4.2

MATERIALS LEGEND	
	DESCRIPTION
	STANDING SEAM METAL ROOF MATTE BLACK
	METAL CAP FLASHING MATTE BLACK
	PRE-FAB METAL CANOPY MATTE BLACK
	STAINLESS STEEL COVER PANEL
	BRICK BORAL - ALAMO
	STUCCO FINISH DRYVIT - HONEY TWIST 383
	ALUMINUM STOREFRONT KAWNEER TRIFAB 451 II ANODIZED
	PAINT TO MATCH DRYVIT - HONEY TWIST 383

MATERIALS CALCULATIONS		
FRONT ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	495	55%
BRICK	240	26%
GLAZING (D+W)	178	19%
TOTAL SF	913	100%
DRIVE-THRU ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	751	45%
BRICK	826	50%
GLAZING (D+W)	89	5%
TOTAL SF	1,666	100%
REAR ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	640	76%
BRICK	121	15%
GLAZING (D+W)	76	9%
TOTAL SF	837	100%
SIDE ELEVATION:		
MATERIAL	AREA (SQ. FT)	COVERAGE
STUCCO	1,207	74%
BRICK	261	16%
GLAZING (D+W)	168	10%
TOTAL SF	1,636	100%



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972 769-3557 Fax: 972 769-3101

Store:
5012 FOUNDERS PKWY
Castle Rock, CO
Prototype 2
Store #RC276

Architect Information:
PM DESIGN
Architectural
Solutions Group
710 E. PARK BLVD., SUITE 108
PLANO, TX 75074
PH. (972) 499-8084
E-MAIL:
dsumroll@pmdginc.com
ROY PEDRO, ARCHITECT

Prototype Issue Date: -
Design Bulletin Updates:
Date Issued: 8.25.2015 Bulletin Number: 02-2015

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B	03/22/2016	RESUBMITTAL

Sheet Title:
EXTERIOR ELEVATIONS
Date: 03/22/2016
Project Number: SDP16-0003
Drawn By: KTA

Sheet Number:

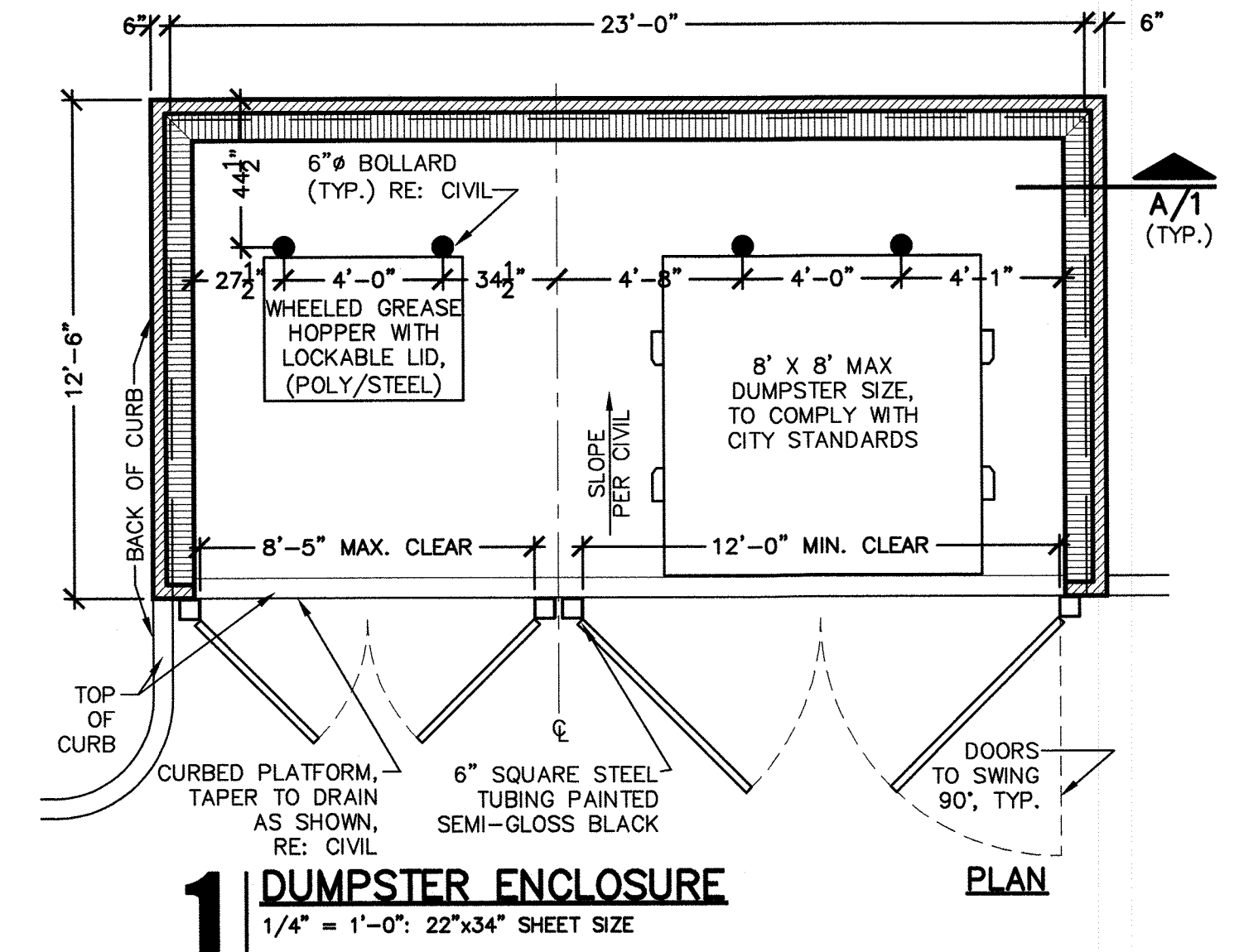
SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT NO. 1

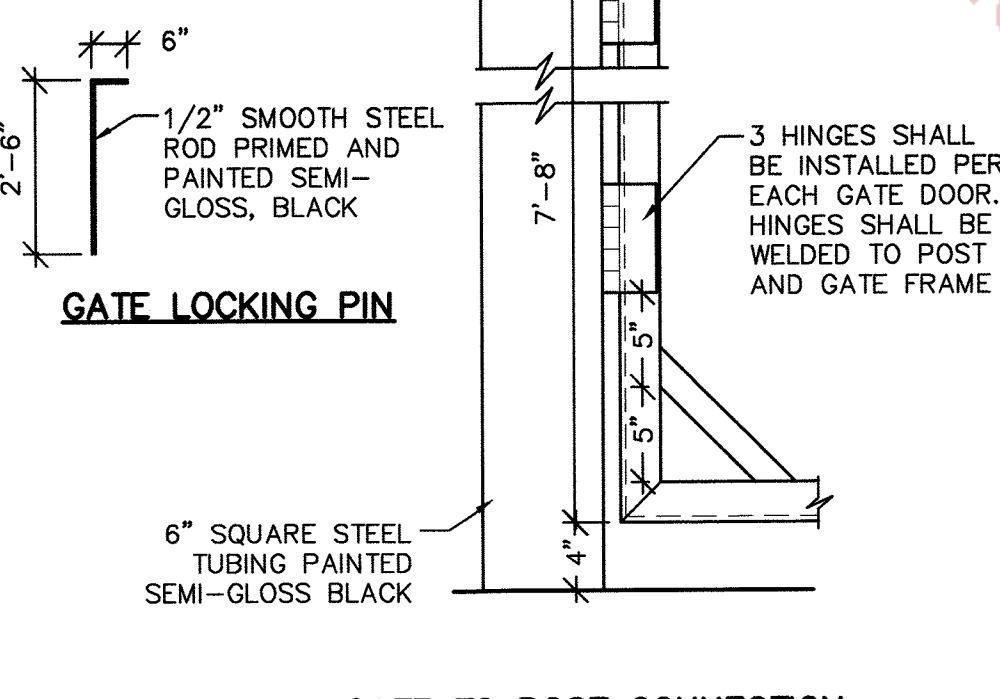
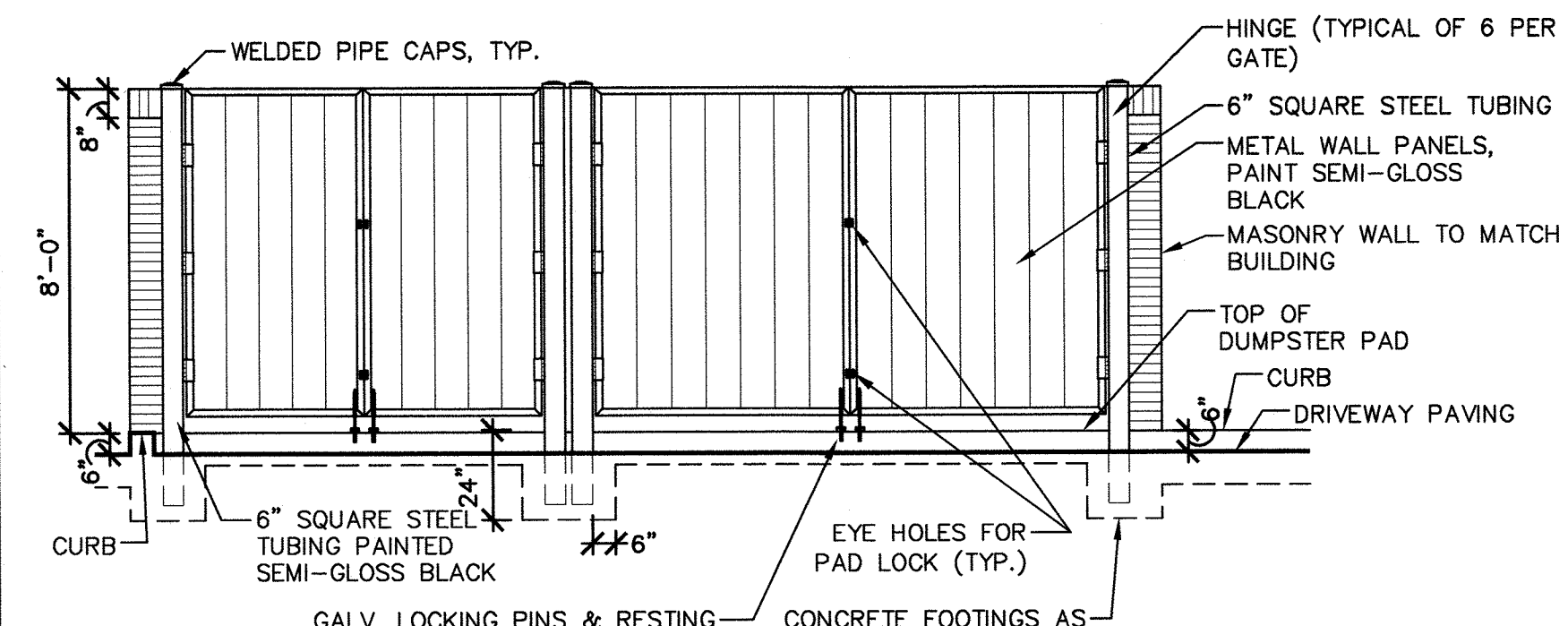
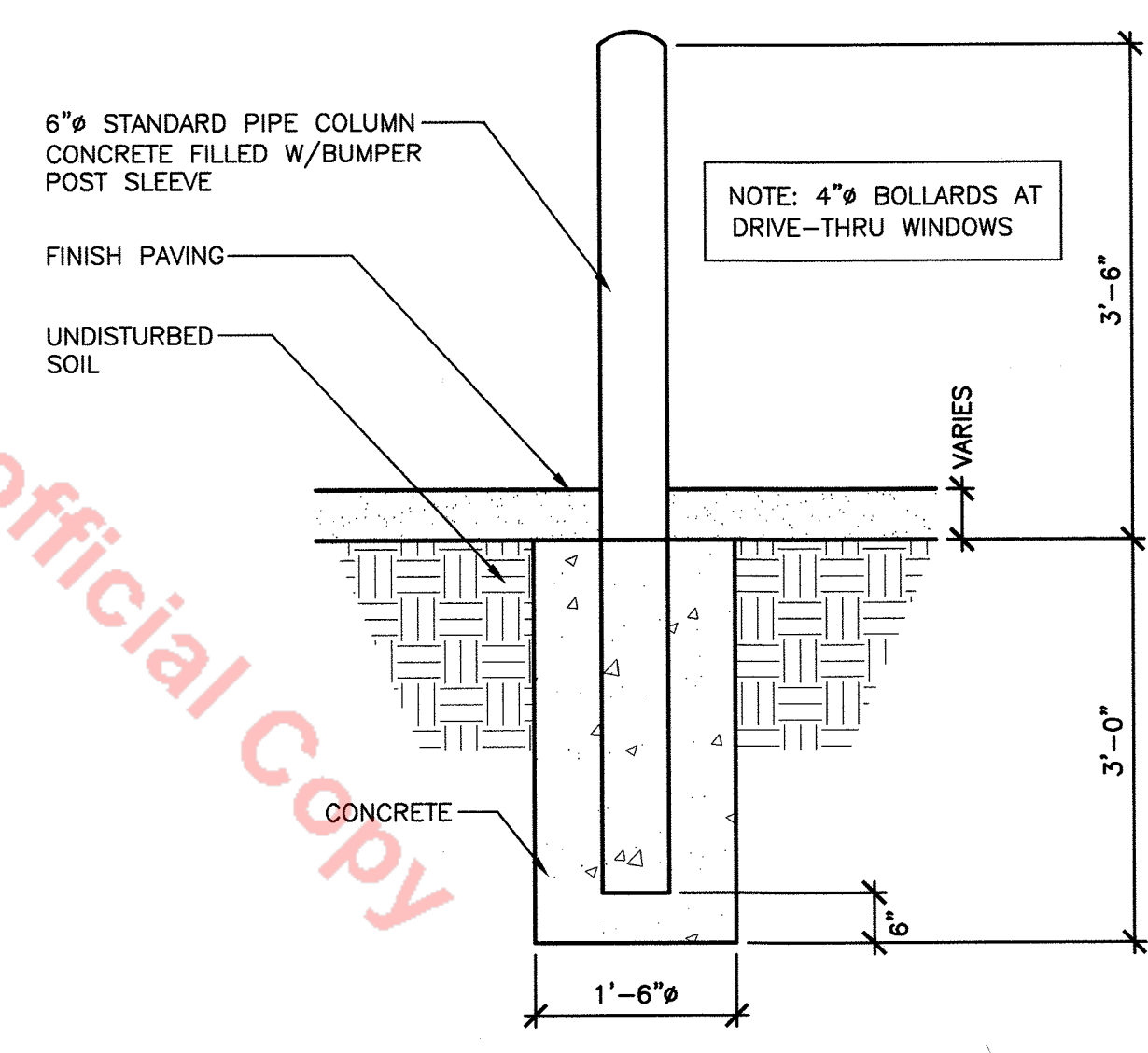
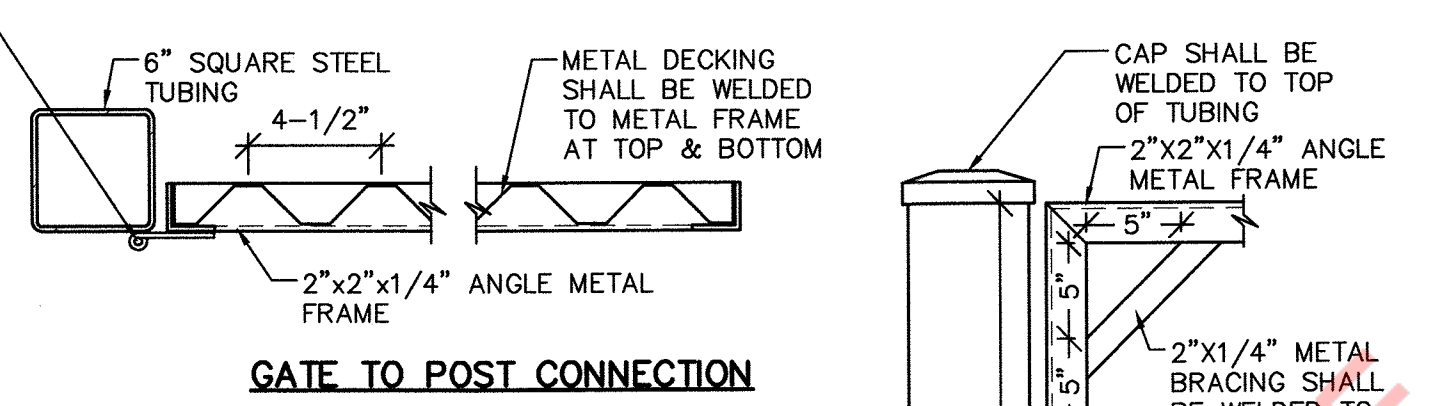
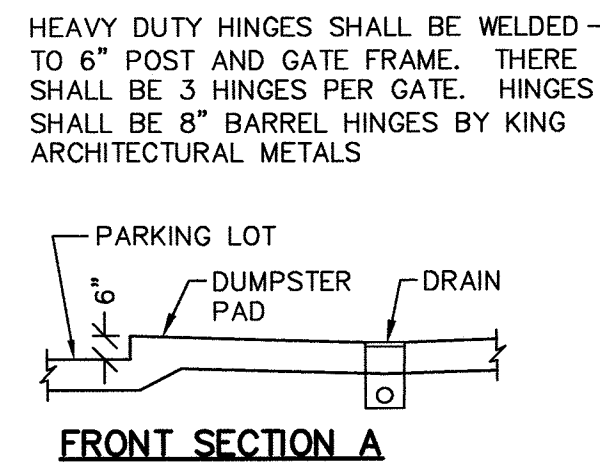
LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP

7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, COLORADO

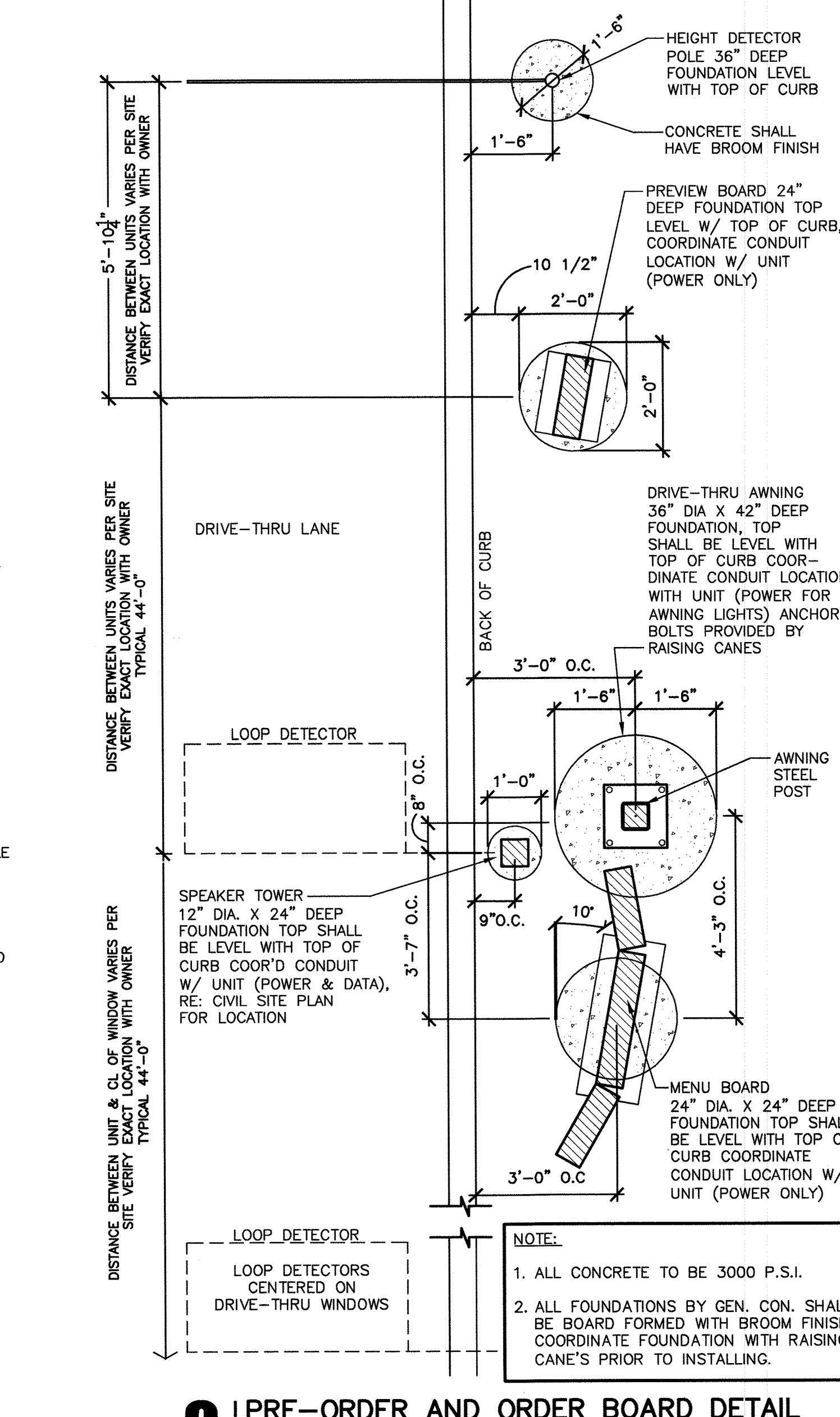
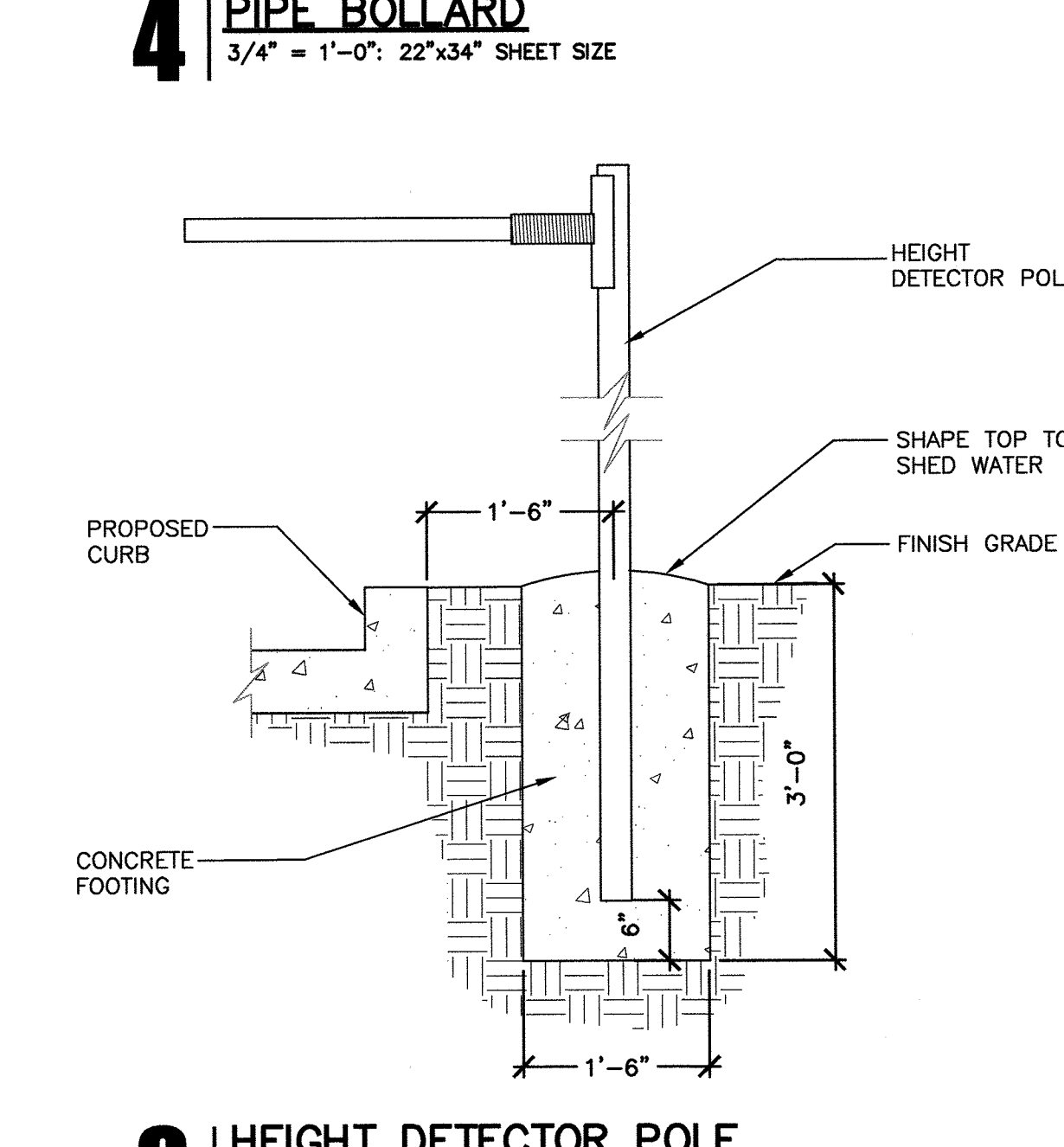
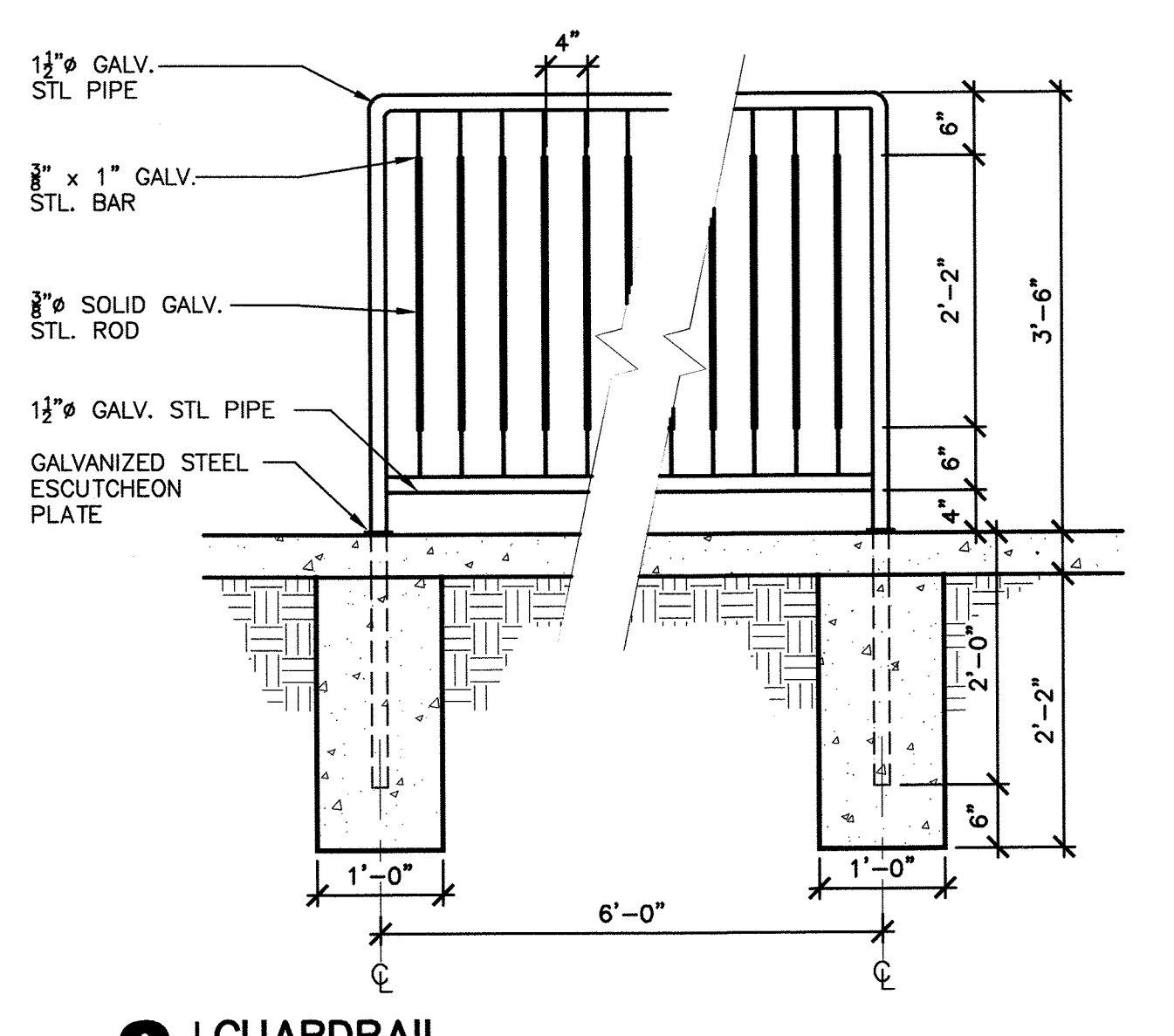
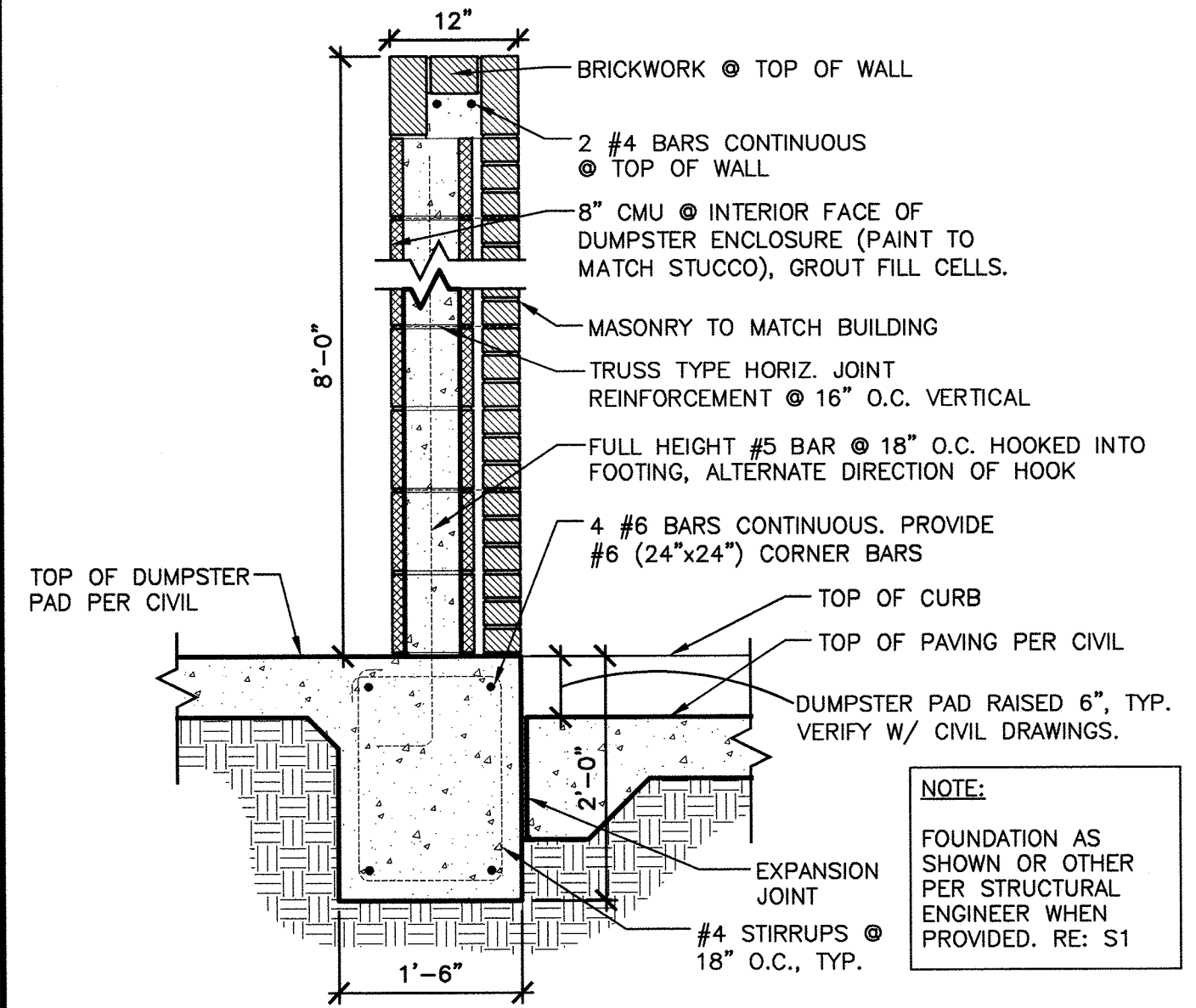


RE: CIVIL NOTE:
FLIP DUMPSTER ENCLOSURE PLAN PER
DUMPSTER LOCATION ON SITE PLAN. CURB
CONNECT TO RAISED DUMPSTER PAD PER
SITE PLAN. CURBS SHOWN FOR SCHEMATIC
USE ONLY.

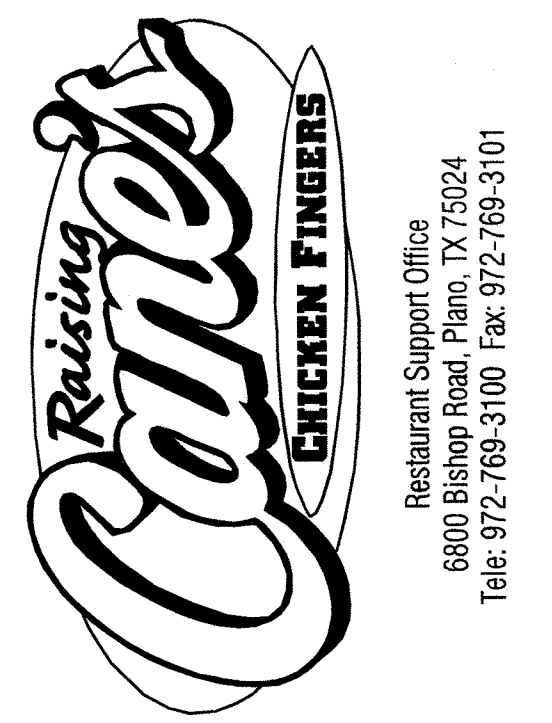


GALV. LOCKING PINS & RESTING
POSTS. PROVIDE PINS & RESTING
FOR PINS. VERIFY LOCATION OF
OPEN POSITION PINS W/ OWNER

CONCRETE FOOTINGS AS
REQUIRED FOR GATE POSTS



NOTE:
1. ALL CONCRETE TO BE 3000 P.S.I.
2. ALL FOUNDATIONS BY GEN. CON. SHALL
BE BOARD FORMED WITH BROOM FINISH.
COORDINATE FOUNDATION WITH RAISING
CANE'S PRIOR TO INSTALLING.



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Architect Information:
PM DESIGN
Architectural
Solutions Group
7200 South Alton Way
Suite B-270
Centennial, CO 80112
PH. 303.955.9040
E-MAIL:
gvtale@pmdginc.com

Prototype Issue Date: -
Design Bulletin Updates:
Date Issued: 8.25.2015 Bulletin Number: 02-2015

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D	04/11/2016	RESUBMITTAL

Sheet Title:
SITE DETAILS
Date: 04/11/2016
Project Number: RAC15004.0
Drawn By: KTA
Sheet Number:

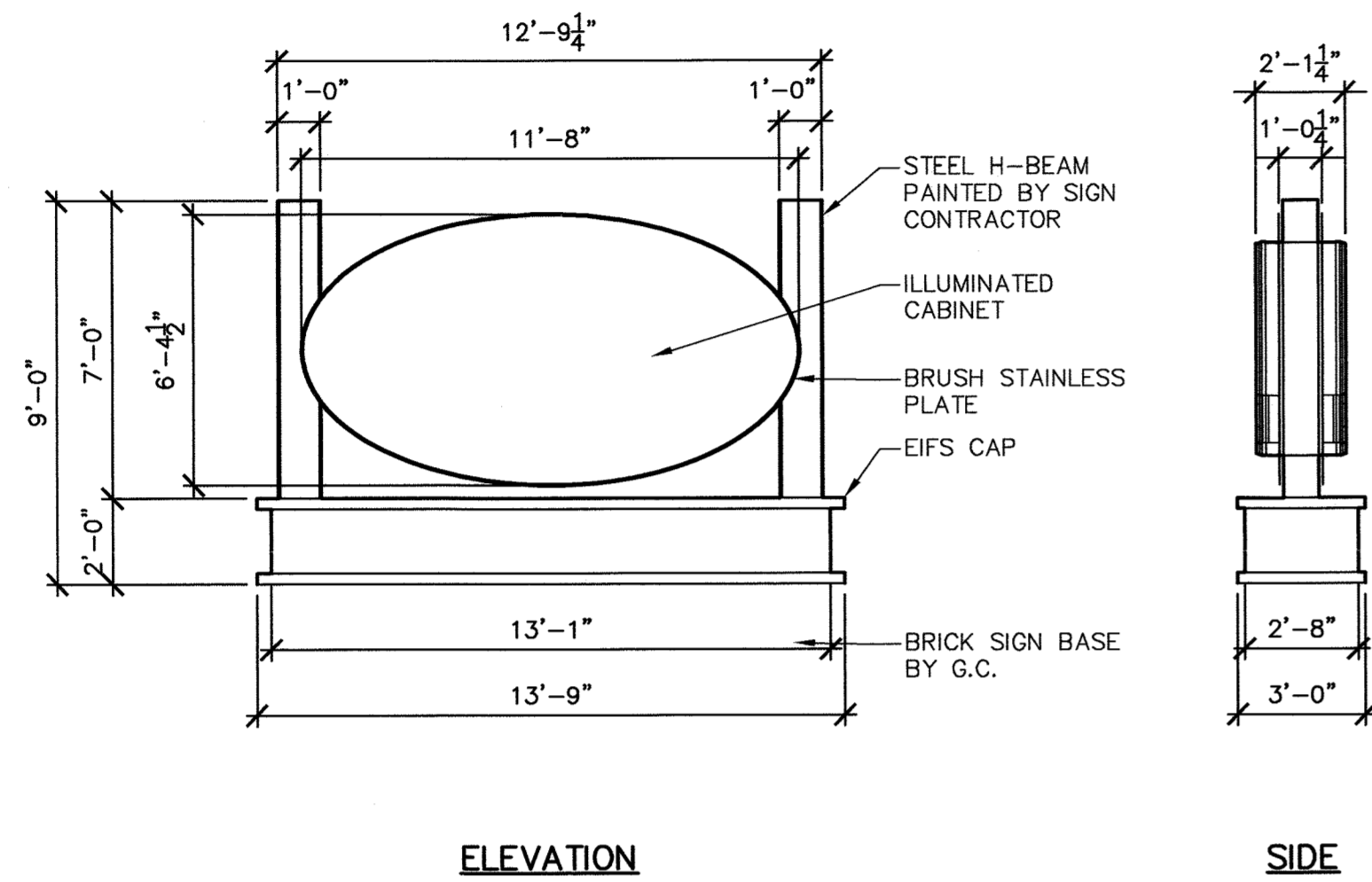
SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOTS 3, AMENDMENT NO. 1

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP

7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

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1 MONUMENT SIGN
1/4" = 1'-0"; 22"x36" SHEET SIZE

SIGNAGE TABLE				
QTY.	SIGN TYPE:	ALLOWABLE SIZE	PROPOSED SIZE	DESIGN
-	ALLOWABLE WALL SIGN AREA EQUALS 25% OF WALL AREA. WALL AREA = 4,017 SF	4,017 SF x 25% = 1,004.25 SF	-	-
3	RAISING CANES WALL SIGN (AT FRONT ENTRY, AT DRIVE-THRU PICK-UP WINDOW & AT SIDE ENTRANCE)	-	(4'-0" x 8'-0" OVAL) 24.09 SF EA x 3 = 72.27 SF	ALUMINUM BACK FRAME WITH THERMO FORMED CLEAR POLYCARBONATE FACE
-	NOT USED			
1	PAINTED WALL MURAL	-	(15'-6" x 9'-0") 139.50 SF	MURAL PAINTED ON BRICK
1	MONUMENT SIGN	-	116 SF (58 SF/SIDE)	STAINLESS STEEL RECTANGLE WITH VINYL COVER
	TOTAL SIGN AREA	416 SF	327.77 SF	
-	ALLOWABLE MONUMENT SIGN AREA EQUALS 2.5 SF PER LINEAR FOOT OF BUILDING FRONTAGE FOR THE FIRST 200' OF BUILDING FRONTAGE ALONG A STREET AND 0.5 SF FOR EACH ADDITIONAL LINEAR FOOT. BUILDING FRONTAGE = 166'-6"	166'-6" x 2.5 = 416 SF	116 SF	-

Unofficial Copy



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Architect Information:
PM DESIGN
Architectural Solutions Group
7200 South Alton Way
Suite B-270
Centennial, CO 80112
PH: 303-955-9040
E-MAIL:
gvitale@pmdginc.com

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Project Number: RAC15004.0
Drawn By: KTA

SITE DEVELOPMENT PLAN FOR LOT 3B

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LIGHT SYMBOL SCHEDULE

- WALL MOUNTED LIGHTING FIXTURE
- LIGHTING FIXTURE
- POLE MOUNTED LIGHTING FIXTURE.

SITE LIGHTING PHOTOMETRIC DATA

ALL PHOTOMETRIC DATA IS TAKEN FROM JUNO LIGHTING CALCULATIONS. SEE SHEET E1.2 FOR POINT BY POINT PHOTOMETRICS.

- MAX POLE HEIGHT FOR SITE: 27.5 FT
- AVERAGE FOOT CANDLES FOR SITE: 3.03 FC
- MAXIMUM FOOT CANDLES FOR SITE: 9.4 FC
- MINIMUM FOOT CANDLES FOR SITE: .1 FC

UTILITY CONTACTS

NOTE: EC TO COORDINATE WITH UTILITIES FOR ALL REQUIREMENTS (INCLUDING BUT NOT LIMITED TO, TRENCHING, METERING, CONDUIT SIZE AND QUANTITY, ETC.) WITHIN TWO WEEKS OF AWARDED CONTRACT.

POWER:

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION (IREA)
KATE
• 720-733-5502 (PHONE)
• TBD (EMAIL)

TELEPHONE:

CENTURY LINK
DANIALLE
• 885-891-4083 (PHONE)
• TBD (EMAIL)



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Architectural
Solutions Group
7200 South Alton Way
Suite B-270
Centennial, CO 80112
PH. 303.955.9040
E-MAIL:
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Sheet Title:

GENERAL LIGHTING PLAN

Date: 04/11/2016

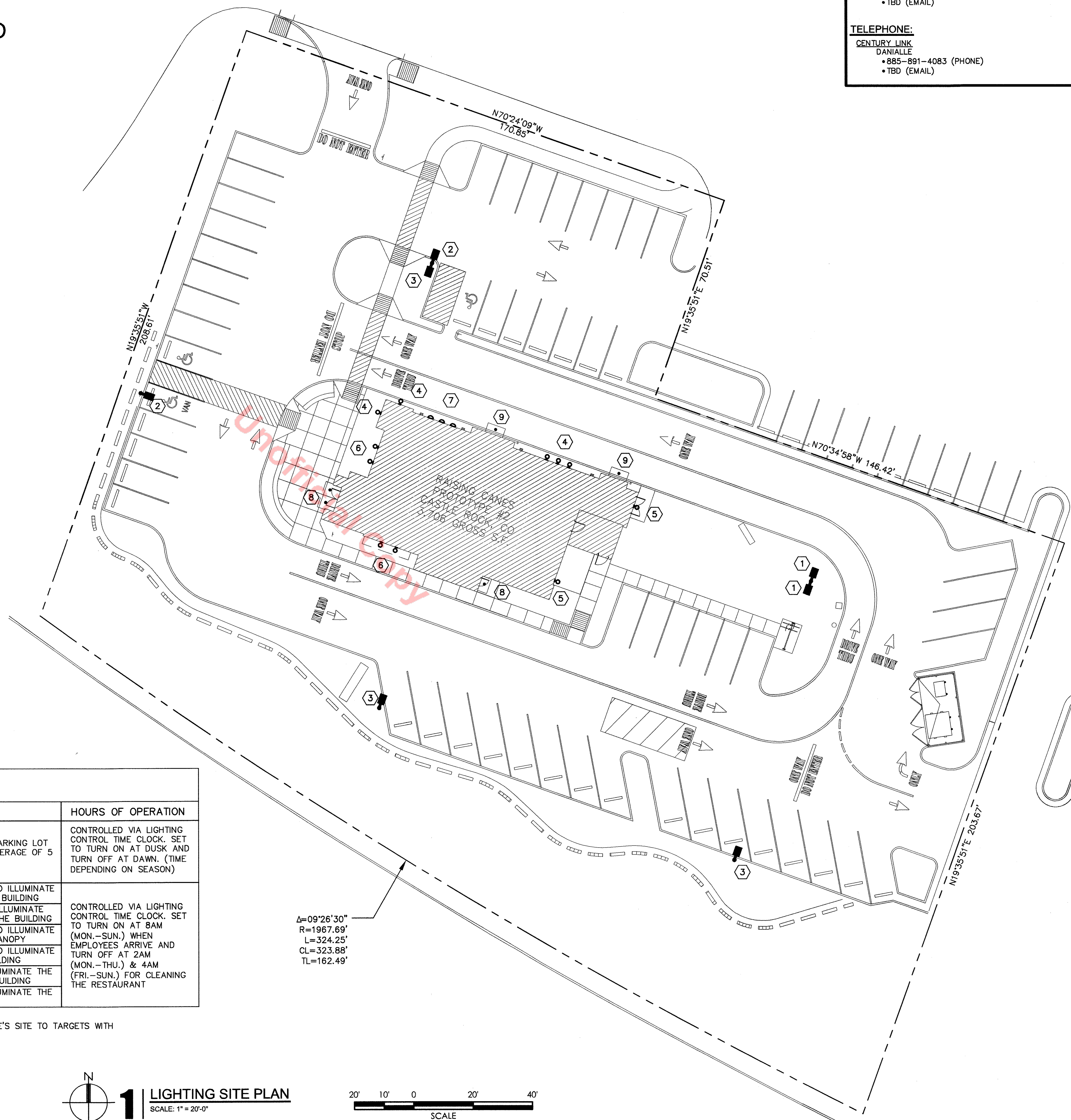
Project Number: RAC15004.0

Drawn By: KTA

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PROJECT #:
SDP16-0003



LUMINARY SCHEDULE

MARK	QTY	DESCRIPTION	HEIGHT	INITIAL LUMENS	WATTAGE	TYPE	OBJECTIVE	HOURS OF OPERATION
①	2	LIGHT POLE: SS2-B16-6K-UN-5-NL	25'-0"	40,000	200	DD	TO ILLUMINATE THE PARKING LOT AND SITE WITH AN AVERAGE OF 5 FT CANDLES	CONTROLLED VIA LIGHTING CONTROL TIME CLOCK. SET TO TURN ON AT DUSK AND TURN OFF AT DAWN. (TIME DEPENDING ON SEASON)
②	2	LIGHT POLE: SS2-B16-6K-UN-3B-NL	25'-0"	40,000	200	EE		
③	3	LIGHT POLE: SS2-B16-6K-UN-2B-NL	25'-0"	40,000	200	FF		
④	5	WALL MOUNTED DECORATIVE LAMP: B-2 & H-1B114	11'-6"	1,070	75	T	DECORATIVE LIGHTS TO ILLUMINATE THE SIGNAGE ON THE BUILDING	CONTROLLED VIA LIGHTING CONTROL TIME CLOCK. SET TO TURN ON AT 8AM (MON.-SUN.) WHEN EMPLOYEES ARRIVE AND TURN OFF AT 2AM (MON.-THU.) & 4AM (FRI.-SUN.) FOR CLEANING THE RESTAURANT
⑤	2	WALL MOUNTED SECURITY LIGHT: ACCUPAK WP2 150PS (FULL CUT-OFF LUM.)	12'-8"	14,000	150	P	SECURITY LIGHTS TO ILLUMINATE THE REAR AREA OF THE BUILDING	
⑥	4	DECORATIVE WALL-MOUNTED LIGHT: LITHONIA LIGHTING WST 42TRT MD 120V	10'-0"	3,200	42	Q	DECORATIVE LIGHTS TO ILLUMINATE THE INSIDE OF THE CANOPY	
⑦	3	WALL MOUNTED DECORATIVE LAMP: LIGHTCRAFTERS, INC. #102M	11'-6"	1,070	75	TI	DECORATIVE LIGHTS TO ILLUMINATE THE SIDE OF THE BUILDING	
⑧	3	CANOPY SOFFIT LIGHT: JUNO/C6V-126/32T-BN/C600-CS-BN	11'-0"	2,450	32	V	SOFFIT LIGHTS TO ILLUMINATE THE ENTRANCES TO THE BUILDING	
⑨	2	CANOPY SOFFIT LIGHT: JUNO/C6V-126/32T-BN/C600-CS-BN	11'-0"	2,450	32	W	SOFFIT LIGHTS TO ILLUMINATE THE DRIVE THRU AREAS	

MITIGATION NOTE:
THE SITE LIGHTING WILL HAVE LITTLE TO NO AFFECT ON THE SURROUNDING PROPERTIES. THERE WILL BE A TRANSITION FROM RAISING CANE'S SITE TO TARGETS WITH .74 FT/CANDLES AT THE PROPERTY LINE ON RAISING CANE'S SITE. THE EXISTING LIGHTING ON TARGET'S SITE WILL REMAIN AS IS. SEE PHOTOMETRIC STUDY

THE FOLLOWING LIGHTING TYPES ARE PROHIBITED:
FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT BUILDING'S FACADE AND UNSHIELDED WALL PACKS.



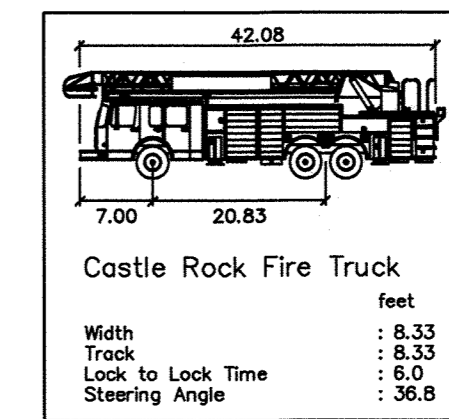
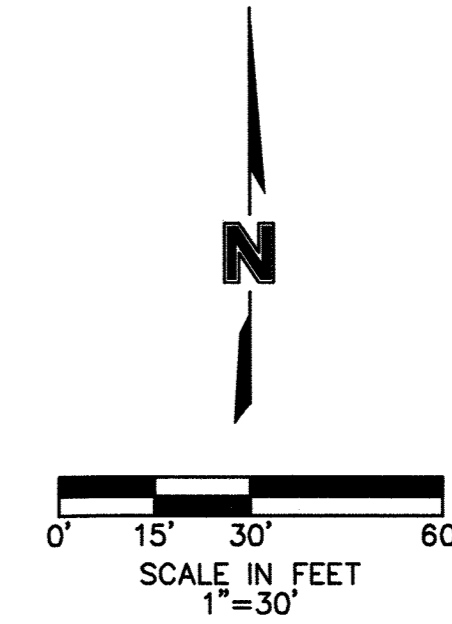
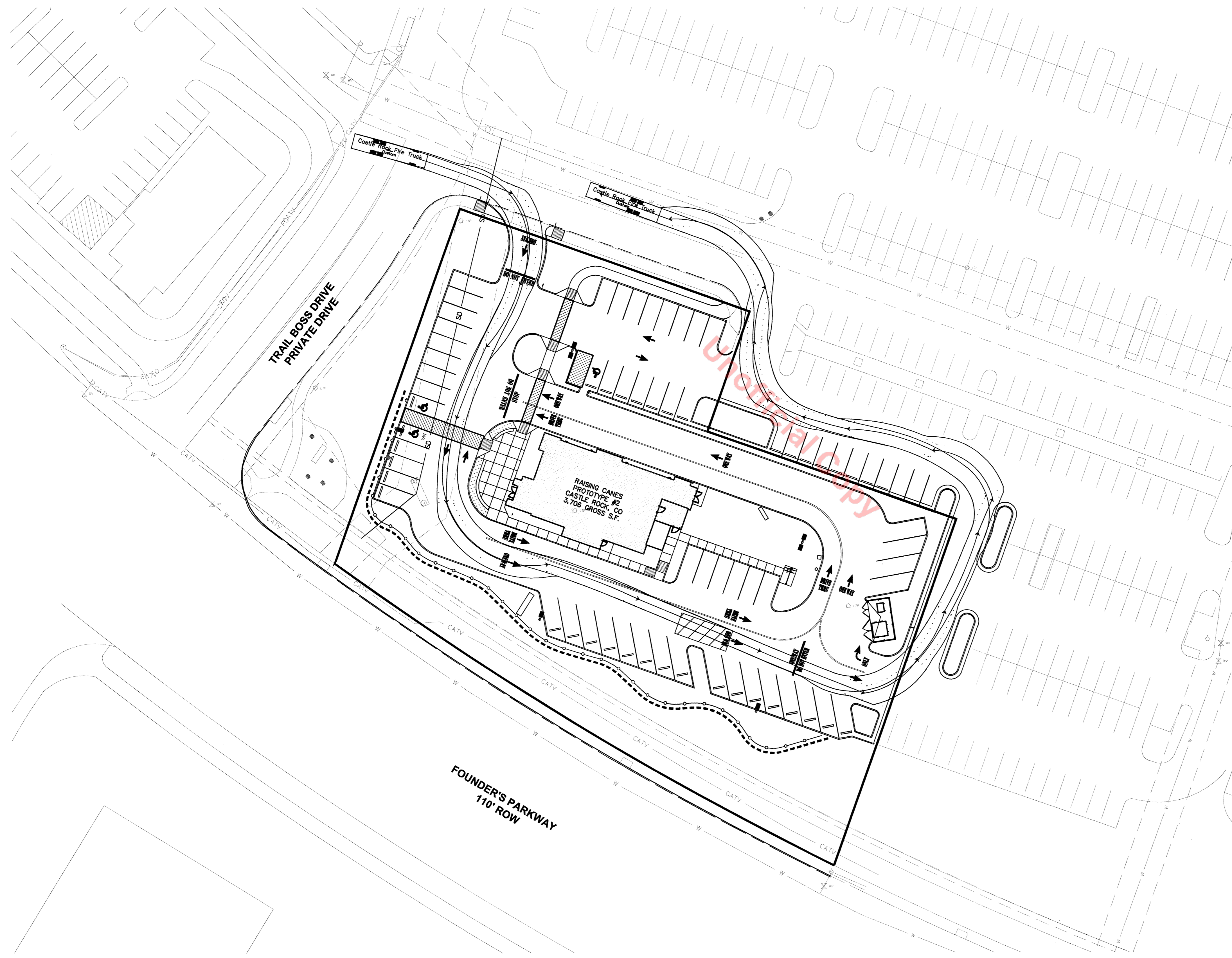
$\Delta = 09^{\circ}26'30''$
 $R = 1967.69'$
 $L = 324.25'$
 $CL = 323.88'$
 $TL = 162.49'$

SITE DEVELOPMENT PLAN FOR LOT 3B

METZLER RANCH FILING NO. 3, LOT 3, AMENDMENT No. 1

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP
7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



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5285 McWhinney Boulevard, Suite 160 Loveland, CO 80538 TEL 970.461.7733 www.olssonassociates.com



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

Store:
**5012 Founders Parkway
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Prototype 2
Store RC276**

Professional of Record:



7200 South Alton Way, Suite B270
Centennial, CO 80112
303.955.9040

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Sheet Title:
FIRE TRUCK TURNING EXHIBIT

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Project Number:	TOCR: SDP16-0003
QA:	015-3305
Drawn By:	MH

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14 OF 14
TOCR PROJECT #:
SDP16-0003