

# PLAT IDENTIFICATION SHEET

RECEPTION #:

DC01003946



DATE:

1-18-01

TIME

12:50

FEE: \$

80

(8P)

GRANTOR:

(OWNER/SIGNER)

Target Corp.

UNOFFICIAL COPY

GRANTEE:

(SUBDIVISION NAME OR NAME OF PLAT)

Metzler Ranch #3 Lot3

Final PD Site Plan

LEGAL:

(SECTION-TOWNSHIP-RANGE)

26-7-67

NEW SUBDIVISION ABBREV: \_\_\_\_\_

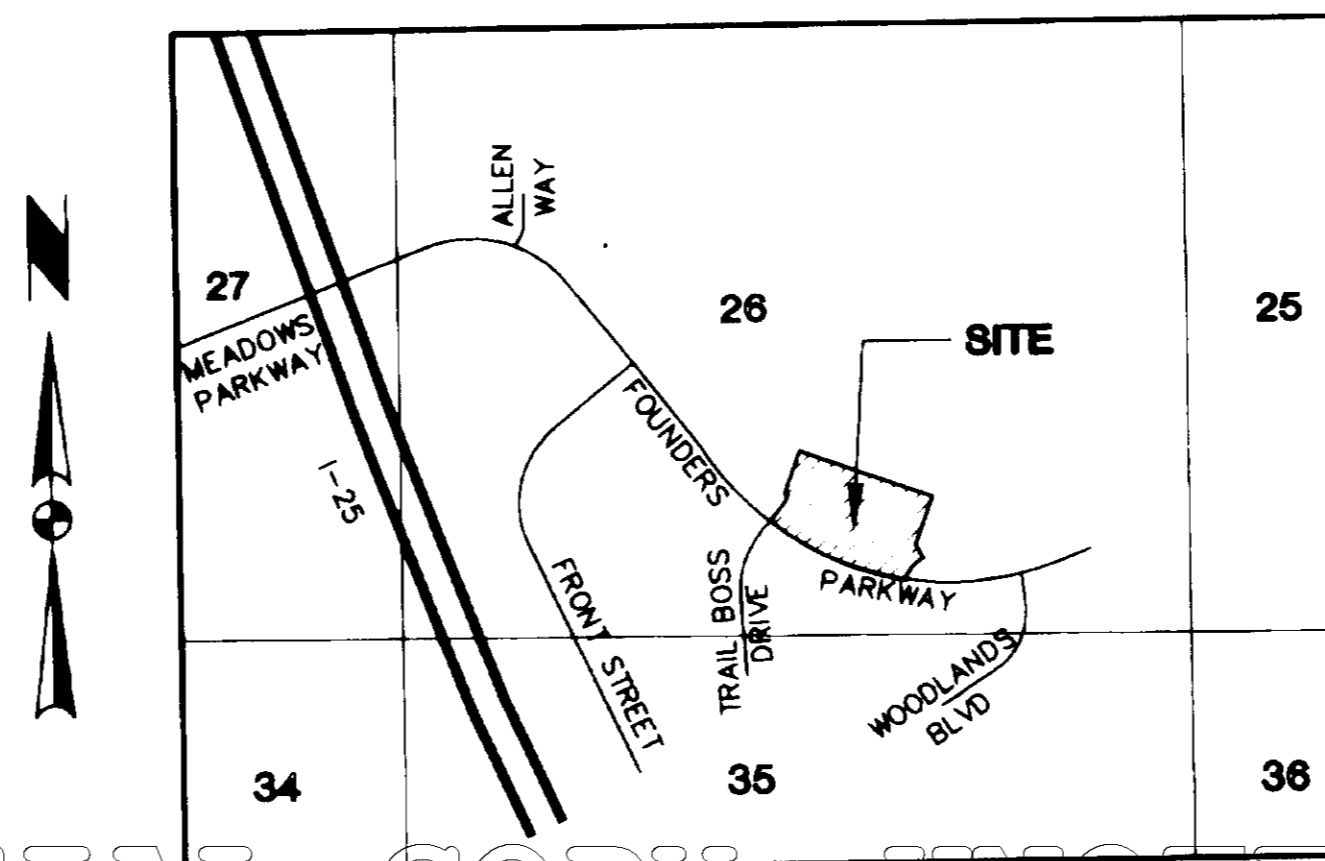
# METZLER RANCH FILING No. 3, LOT 3

## FINAL PD SITE PLAN

LOCATED IN THE SOUTH 1/2 OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO  
1 LOT - 13.50 ACRES

### GENERAL NOTES

- THERE IS NO PUBLISHED FLOODPLAIN DELINEATION WITHIN THIS PROPERTY.
- THE PUBLIC LAND DEDICATION FOR THIS PLAT WILL BE MET THROUGH CASH-IN-LIEU OF LAND.
- ACCESS RESTRICTIONS APPLY FOR BOTH ENTRY POINTS TO FOUNDERS PARKWAY. THE ACCESS SHALL NOT HAVE SECONDARY DRIVEWAY ACCESS FOR A MINIMUM OF:  
TRAIL BOSS DRIVE - (245' CL TO CL FOUNDERS) AND  
EAST ENTRANCE - (275' CL TO CL FOUNDERS)
- ACCESS EASEMENTS WILL BE GRANTED FOR THE MUTUAL BENEFIT OF LOT 3 AND OWNER(S) OF THE ADJACENT PROPERTY (AS DEFINED IN THE PRELIMINARY PLAT) FOR THE PURPOSE OF ACCESS TO LOT 3 AND THE ADJACENT PROPERTY. THESE EASEMENTS MAY BE COMBINED WITH UTILITY EASEMENTS IN AREAS AS NEEDED.
- SHEET 8 OF 8 INDICATES THE EXISTING AND PROPOSED UTILITIES AND DRAINAGE FACILITIES.
- PUBLIC UTILITY EASEMENTS WILL BE DEDICATED ALONG SIDE LOT LINES AND THE FUTURE ALLEN STREET RIGHT-OF-WAY. ALL EASEMENTS WITHIN THE LOT WILL BE DEDICATED TO THE TOWN OF CASTLE ROCK AND/OR THE UTILITY PROVIDER/MAINTAINER.
- ONLY NATIVE GRASSES OR IRRIGATED SOD WILL BE ALLOWED IN ALL PUBLIC UTILITY EASEMENTS. NO SCRUBS OR TREES WILL BE ALLOWED. REPLACEMENT OF LANDSCAPING DISTURBED DURING THE MAINTENANCE OF THE UTILITY SHALL BE THE RESPONSIBILITY OF THAT UTILITY.  
THE OWNER SHALL CONSTRUCT RETAINING WALLS IN THE REAR PORTION OF THE LOT TO MITIGATE THE ELEVATION DIFFERENCE BETWEEN THE COMMERCIAL PAD ELEVATION AND THE PROPOSED GRADE OF ALLEN STREET. THE OWNER SHALL ALSO BE RESPONSIBLE FOR AN AGREED-UPON SAFETY BARRIER ALONG THE TOP OF THE UPPER WALL.
- THE GRADING OF THE SITE SHALL BE COMPLETED TO ALLOW THE FUTURE WIDENING OF FOUNDERS PARKWAY AND ALLEN STREET. THE TOWN (OR ITS ASSIGNS) WILL RETAIN THE RIGHT TO WIDEN EITHER OR BOTH STREETS UPON ACQUIRING ADEQUATE RIGHT-OF-WAY FOR SUCH A WIDENING.
- BASED ON THE ABOVE CONDITION, A TWENTY-THREE (23) FOOT WIDE "RESERVE STRIP" WILL BE REQUIRED ALONG FOUNDERS PARKWAY AND AN EIGHT AND ONE-HALF (8-1/2) FOOT WIDE "RESERVE STRIP" WILL BE REQUIRED ALONG ALLEN STREET.
- THE MINIMUM SETBACK FOR THE SIDE AND REAR LOT LINES SHALL BE FIFTEEN (15) FEET.
- THE MAXIMUM BUILDING HEIGHT SHALL BE FIFTY (50) FEET.
- THE MAXIMUM BUILDING COVERAGE FOR THE LOT, PER THE PRELIMINARY PD, SHALL BE TWENTY-FIVE (25) PERCENT.
- THE ARCHITECTURAL TREATMENT OF THE BUILDING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF CASTLE ROCK AND THE MASTER DEVELOPER OF METZLER RANCH FILING NO. 3.
- THE REAR LOT LINE SHALL HAVE ADEQUATE SCREENING TO MITIGATE THE VIEW OF THE BUILDING AND TO MINIMIZE THE OPPORTUNITY FOR THE PUBLIC TO GAIN ACCESS TO THE SITE ABOVE THE RETAINING WALLS.
- PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT:  
CONTINUOUS ACCELERATION/DECELERATION LANE FOR THE FRONTAGE OF THE SITE AND ASSOCIATED LENGTHS FROM THE TWO SITE ENTRANCES.  
OFF-SITE STORM SEWER TO THE BOX CULVERT UNDER FOUNDERS PARKWAY AND THE EXISTING STORM SEWER IN METZLER RANCH FILING NO. 1.  
ON-SITE STORM SEWER TO SERVE FUTURE PARCELS TO THE EAST AND NORTH OF THE SITE.  
ON-SITE POTABLE WATER WITH FUTURE TIE-IN LOCATIONS ON THE EAST AND WEST ENDS.  
OFF-SITE SANITARY SEWER TO CROSS FOUNDERS PARKWAY FROM THE EXISTING SEWER ON THE SOUTH SIDE OF FOUNDERS PARKWAY.  
ON-SITE SANITARY SEWER WITH FUTURE TIE-IN LOCATION TO THE EAST.
- THE TWENTY-THREE (23) FOOT WIDE "RESERVE STRIP" WILL ALSO SERVE AS THE SETBACK LINE ALONG FOUNDERS PARKWAY.



VICINITY MAP

### LEGAL DESCRIPTION - Metzler Ranch Filing No. 3, LOT 3

A tract of land situated in the South half of Section 26, Township 7 South, Range 67 West of the 6th Principal Meridian, Town of Castle Rock, Douglas County, Colorado, being described as follows:

Commencing at the Northeast corner of said South half of Section 26, as monumented by a pipe with a 2-1/2 inch diameter aluminum cap marked: L56935, and considering the North line of said South half to bear North 89°38'29" West to the Northwest corner of said South half, as monumented by a pipe with a 3-1/2 inch diameter aluminum cap marked: L514166, with all bearings contained herein, relative thereto; thence along said North line, North 89°38'29" West 3930.88 feet; thence departing said North line, South 38°3'06" East, 1546.23 feet; thence along a curve to the left having a delta of 32°08'01", a radius of 530.00 feet and an arc of 297.24 feet; thence South 70°21'07" East, 94.09 feet to the POINT OF BEGINNING of this description; thence South 30°06'06" East, 97.80 feet; thence along a non-tangent curve to the left having a delta of 38°36'23", a radius of 300.00 feet, an arc of 202.14 feet; thence South 40°35'42" West, 198.34 feet to the North right-of-way line of Founders Parkway as dedicated in City Boulevard, Filing No. 2 (Reception No. 8603133); thence along said right-of-way line along a non-tangent curve to the right having a delta of 29°25'12", a radius of 1967.50 feet, an arc of 1010.36 feet; and a chord which bears North 65°27'22" West, 999.30 feet; thence departing said right-of-way line, North 39°15'14" East, 120.00 feet; thence along a curve to the left having a delta of 15°03'45", a radius of 350.00 feet and an arc of 92.00 feet; thence along a non-tangent curve to the right having a delta of 03°08'30", a radius of 100 feet, an arc of 27.42 feet; and a chord which bears North 68°38'41" West, 27.41 feet; thence North 19°38'53" East, 312.87 feet to the POINT OF BEGINNING of this description. Containing 13.50 acres (588,044 square feet), more or less.

### OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS THE METZLER RANCH FILING NO. 3, LOT 3 FINAL PD SITE PLAN IN THE TOWN OF CASTLE ROCK.

### OWNER: TARGET CORPORATION

SIGNED THIS 22<sup>nd</sup> DAY OF November 2000  
BY: Michael J. Wahliq BY: Robert L. Nys  
TITLE: Authorized Signatory TITLE: Assistant Secretary  
STATE OF Minnesota  
COUNTY OF Hennepin  
SUSCRIBED AND SWORN TO BEFORE ME THIS 22<sup>nd</sup> DAY OF November 2000  
BY Michael J. Wahliq AND BY Robert L. Nys  
WITNESS MY HAND AND OFFICIAL SEAL:  
Karen Seglem  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 1-31-2005

### TOWN COUNCIL APPROVAL:

THE FINAL PD SITE PLAN FOR METZLER RANCH FILING NO. 3, LOT 3 WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 13<sup>th</sup> DAY OF November 2000.

Valley Muen 12-5-2000  
TOWN CLERK DATE  
SEAL  
12-5-00  
DATE

### SURVEYOR'S CERTIFICATE:

I, MICHAEL C. GREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE GRAPHIC BOUNDARY DEPICTED ON THE METZLER RANCH FILING NO. 3, LOT 3 FINAL PD SITE PLAN IS A TRUE AND ACCURATE REPRESENTATION OF THE OFFICIALLY RECORDED LEGAL DOCUMENT.

Michael C. Gregger  
MICHAEL C. GREGGER  
TST INC. OF DENVER  
102 INVERNESS TERRACE EAST, SUITE 105  
ENGLEWOOD, CO 80112



### TITLE CERTIFICATION

I, Eric Stearns, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP CERTIFICATION.

SIGNED THIS 18<sup>th</sup> DAY OF January 2001  
Eric Stearns AUTHORIZED REPRESENTATIVE  
Land Title Guarantee TITLE INSURANCE COMPANY

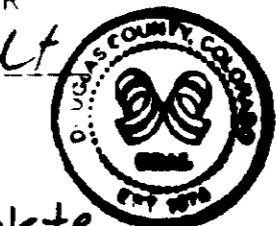
### PLANNING COMMISSION RECOMMENDATION:

THE FINAL PD SITE PLAN FOR METZLER RANCH FILING NO. 3, LOT 3 WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23<sup>rd</sup> DAY OF October 2000.

Richard 12/4/2000  
CHAIRPERSON DATE  
ATTEST: Richard 12/5/2000  
PLANNING & DEVELOPMENT DIRECTOR DATE

Douglas County Clerk & Recorder's Certificate  
THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:50P ON THE 18<sup>th</sup> DAY OF JANUARY AT RECEPTION NO. 01003946.  
Douglas County Clerk & Recorder  
BY: Sheryl Muehlholt Deputy

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE  
THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:08AM ON THE 13<sup>th</sup> DAY OF DECEMBER 2000.  
IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ MAP \_\_\_\_\_ RECEPTION NO. 00090125  
DOUGLAS COUNTY CLERK AND RECORDER  
BY: Sheryl Muehlholt DEPUTY  
This Plat is being RE-RECORDED to complete Title Certification Block



01-18-01  
Sheryl Muehlholt



FINAL PD SITE PLAN  
METZLER RANCH FILING NO. 3, LOT 3  
SHEET 1 OF 8

### SUMMARY TABLE

Metzler Ranch Filing No. 3 Development Standards for B-2 General Business District Zoning		
Minimum Setbacks		
23' from Founders ROW line to building face (or 0' from "reserve line")		
15' from Side lot line to building face		
15' from Rear lot line to building face		
Maximum Building Height: 50 feet		
Maximum Building Coverage: 25% Floor area/Lot area		
Total acreage of lot: 13.50 acres		
LAND SUMMARY	ACRES	%
Building	2.88	21.3
Asphalt / Concrete	6.92	51.2
Landscaped Area	3.44	25.5
Island Planters	0.26	2.0
Developed Total	13.50	100.0

### SHEET INDEX

- COVER SHEET
- BOUNDARY LAYOUT
- SITE PLAN
- BUILDING ELEVATIONS
- BUILDING SECTIONS
- LANDSCAPE PLAN
- LANDSCAPE DETAILS
- UTILITY PLAN

OWNERS/SUBDIVIDER:  
TARGET CORPORATION  
1000 NICOLLET MALL  
MINNEAPOLIS, MN 55403  
TELEPHONE: (612) 761-1541  
CONTACT: DEAN ZURMLEY

ENGINEER/SURVEYOR:  
TST INC. OF DENVER  
102 INVERNESS TERRACE EAST, SUITE 105  
ENGLEWOOD, CO 80112  
TELEPHONE: (303) 792-0557  
CONTACT: WARD MAHANKE P.E.  
CONTACT: MICHAEL C. GREGGER P.L.S.

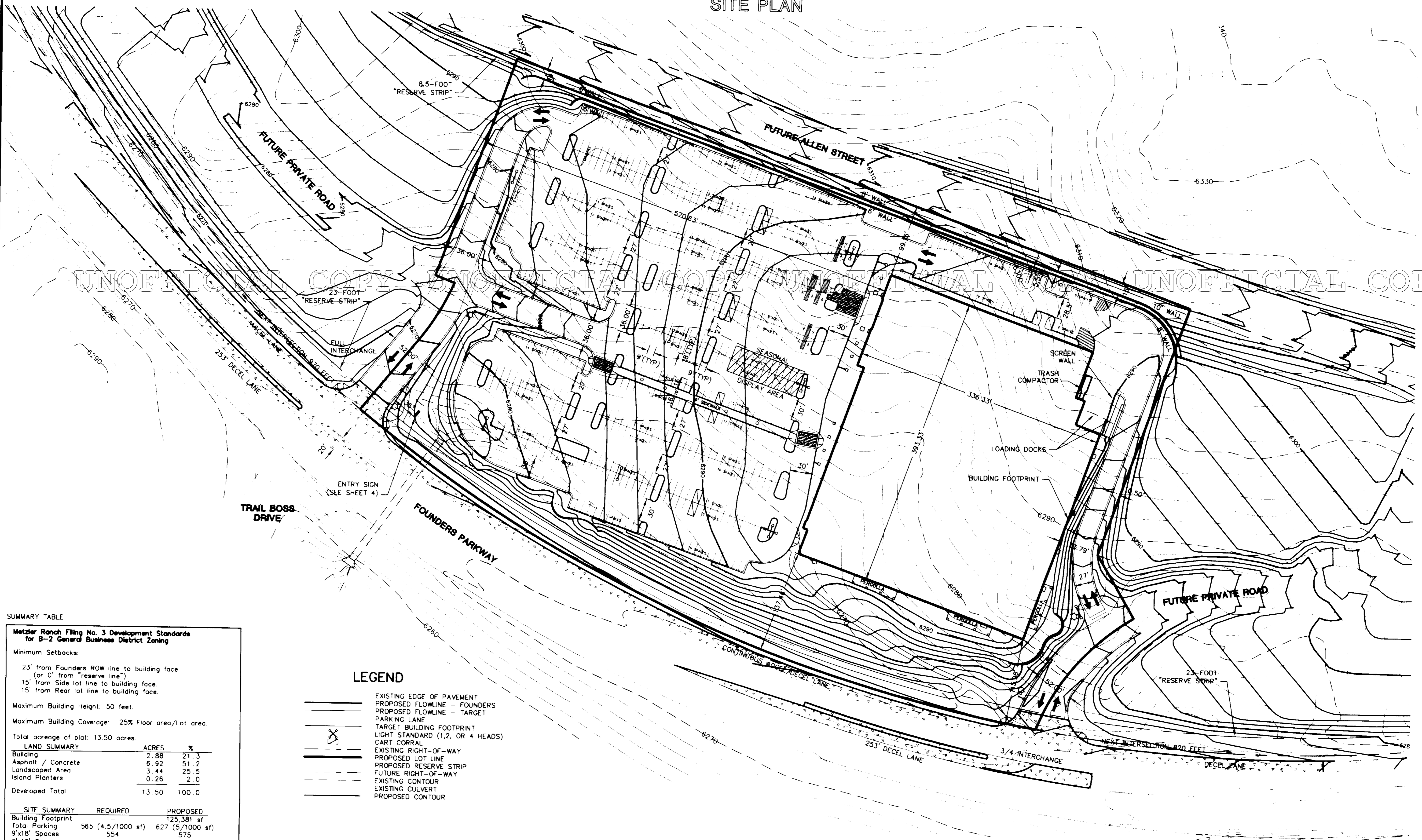


# METZLER RANCH FILING No. 3, LOT 3

FINAL PD SITE PLAN

LOCATED IN SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SITE PLAN



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**SUMMARY TABLE**

**Metzler Ranch Filing No. 3 Development Standards for B-2 General Business District Zoning**

Minimum Setbacks:

- 23' from Founders ROW line to building face (or 0' from "reserve line")
- 15' from Side lot line to building face
- 15' from Rear lot line to building face

Maximum Building Height: 50 feet.

Maximum Building Coverage: 25% Floor area/Lot area.

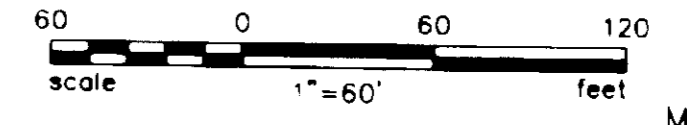
Total acreage of plat: 13.50 acres.

LAND SUMMARY	ACRES	%
Building	2.88	21.3
Asphalt / Concrete	6.92	51.2
Landscaped Area	3.44	25.5
Island Planters	0.26	2.0
<b>Developed Total</b>	<b>13.50</b>	<b>100.0</b>

SITE SUMMARY	REQUIRED	PROPOSED
Building Footprint	-	125,381 sf
Total Parking	565 (4.5/1000 sf)	627 (5/1000 sf)
9'x18' Spaces	554	575
Handicap Spaces	11 (2.0%)	14 (2.2%)
Shopping Cart Corrals	-	8

- LEGEND**
- EXISTING EDGE OF PAVEMENT
  - PROPOSED FLOWLINE - FOUNDERS
  - PROPOSED FLOWLINE - TARGET
  - PARKING LANE
  - TARGET BUILDING FOOTPRINT
  - LIGHT STANDARD (1, 2, OR 4 HEADS)
  - CART CORRAL
  - EXISTING RIGHT-OF-WAY
  - PROPOSED LOT LINE
  - PROPOSED RESERVE STRIP
  - FUTURE RIGHT-OF-WAY
  - EXISTING CONTOUR
  - EXISTING CULVERT
  - PROPOSED CONTOUR



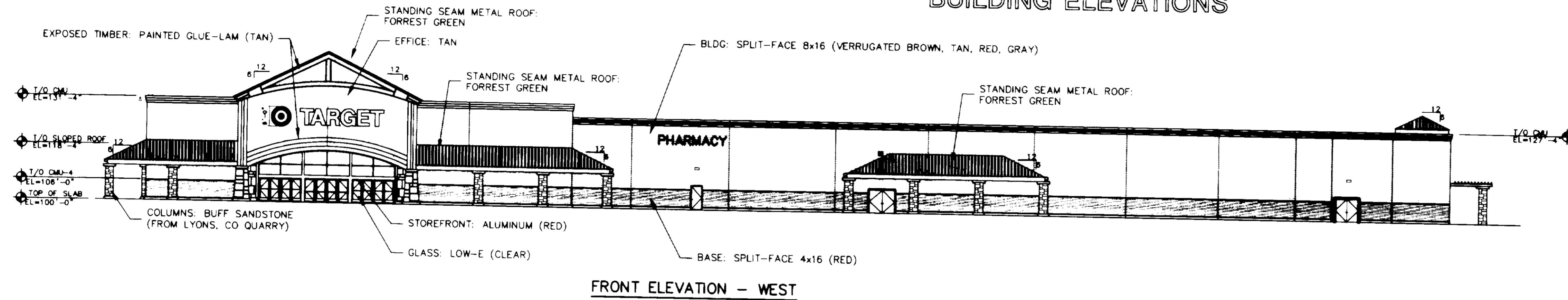
FINAL PD SITE PLAN  
REV 10-13-00  
METZLER RANCH FILING No. 3, LOT 3  
SHEET 3 OF 8

# METZLER RANCH FILING No. 3, LOT 3

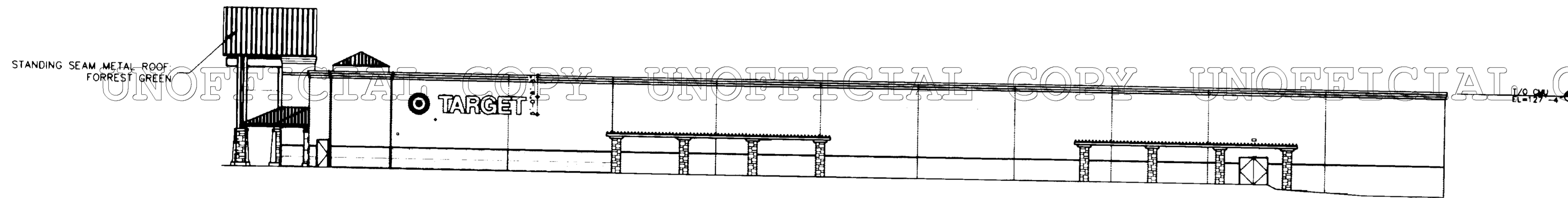
FINAL PD SITE PLAN

LOCATED IN SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.  
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

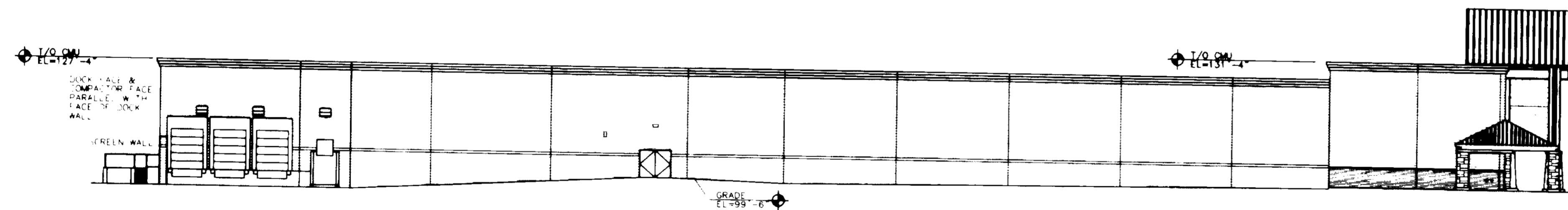
## BUILDING ELEVATIONS



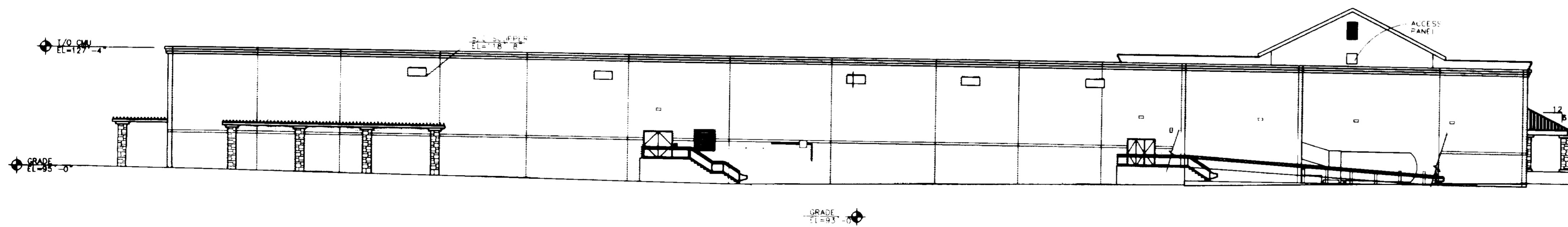
FRONT ELEVATION - WEST



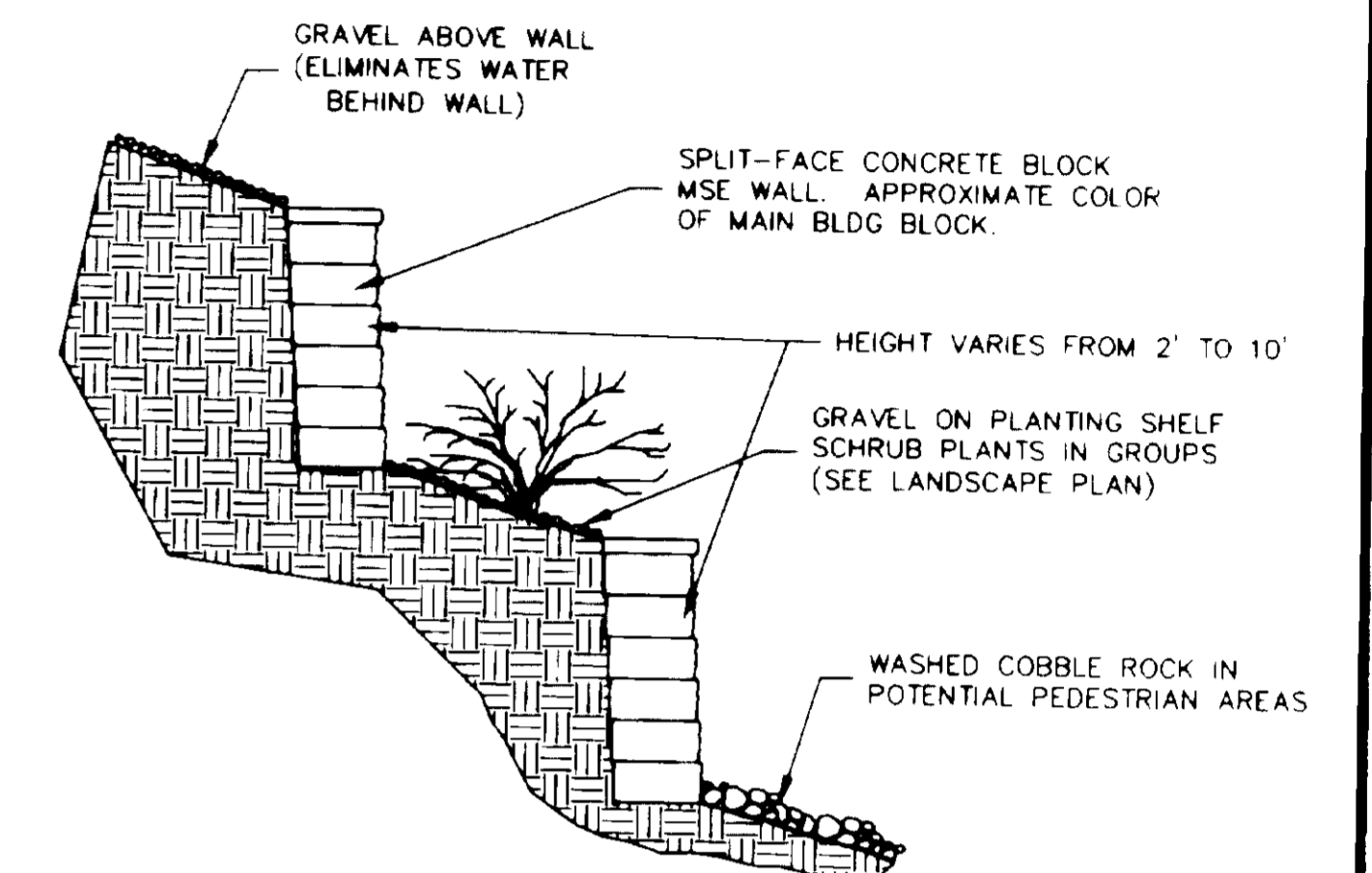
RIGHT ELEVATION - SOUTH



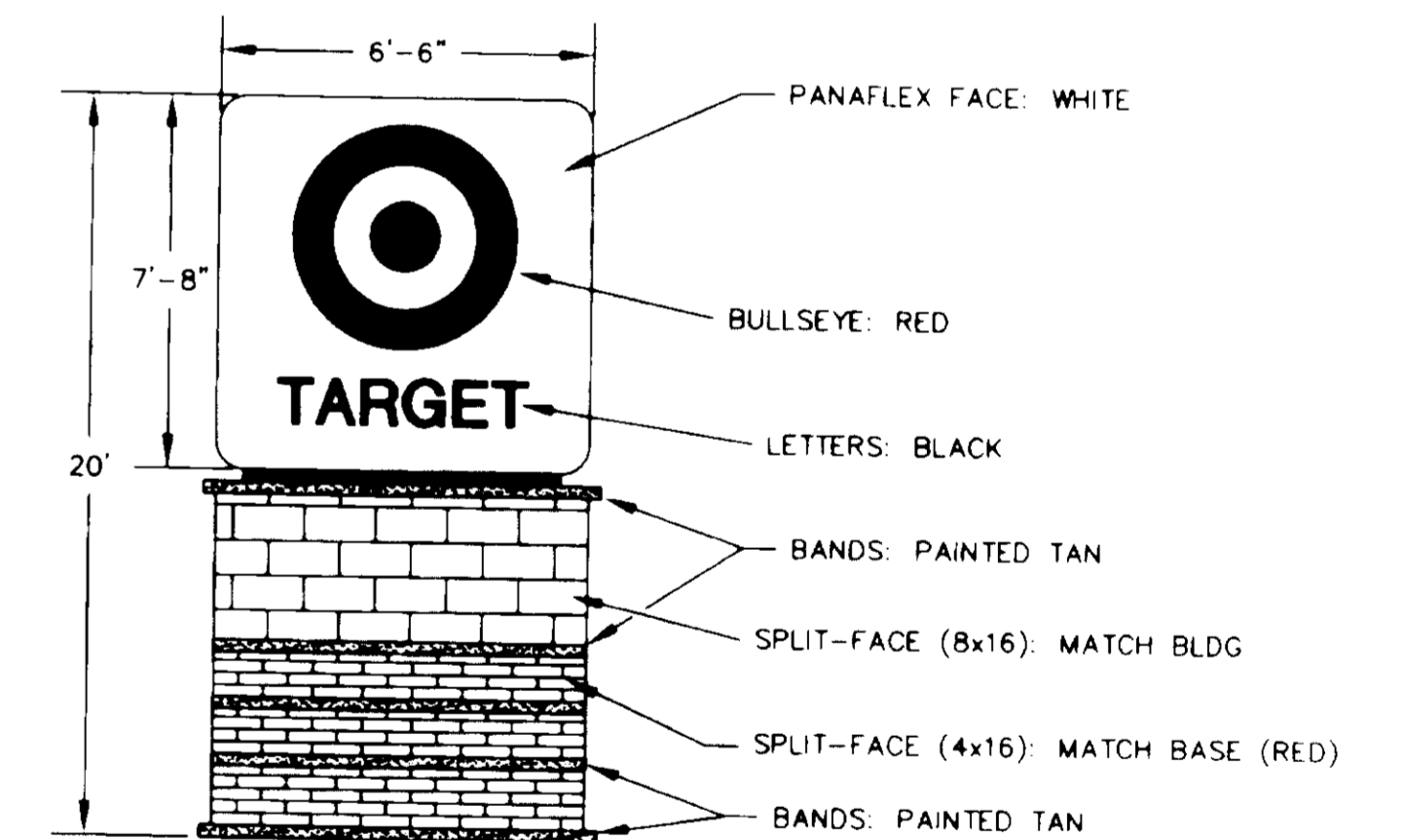
LEFT ELEVATION - NORTH



REAR ELEVATION - EAST



RETAINING WALL DETAIL  
NTS



NOTE: SIGN DEPTH IS TWO FEET.

FREE-STANDING SIGN DETAIL  
SIGN 1"=5'

NOTES:

- 1) ARCHITECTURAL TREATMENTS ARE UPGRADED ON ALL FOUR SIDES OF BUILDING FOR FOUR-SIDED VISIBILITY
- 2) COLORS INDICATED ON THIS PLAN ARE APPROXIMATE. THE ACTUAL COLORS AND MATERIALS WILL BE PART OF THE PRESENTATION TO THE PLANNING COMMISSION AND TOWN COUNCIL.
- 3) ROOFTOP EQUIPMENT SCREENING FROM ADJACENT ROADWAYS BY RAISED PARAPET WALL AROUND THE ENTIRE PERIMETER OF THE BUILDING, BUILT AT A MINIMUM OF FOUR FEET.
- 4) CARTS TO BE STORED ALONG UNDER FREE-STANDING CANOPY.

ELEVATIONS 1"=20'

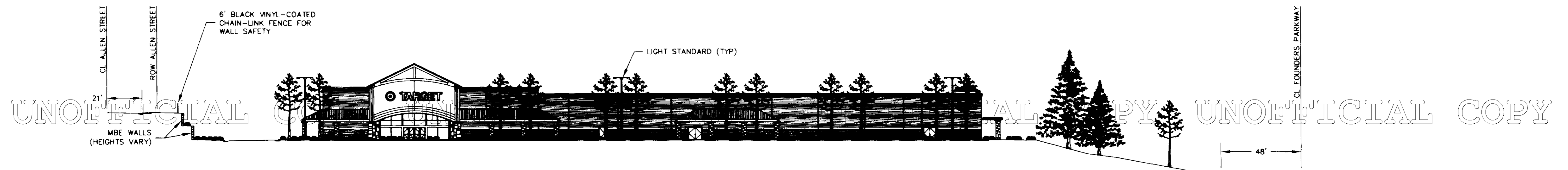
# METZLER RANCH FILING No. 3, LOT 3

FINAL PD SITE PLAN

LOCATED IN SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.

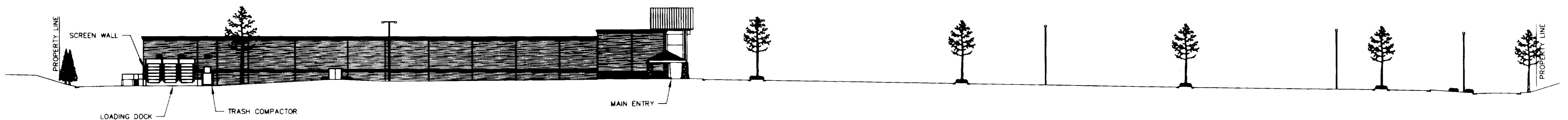
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

BUILDING SECTIONS



**SECTION THROUGH FRONT OF BUILDING**

ELEVATIONS 1"=30'



**SECTION THROUGH NORTH SIDE OF BUILDING**

ELEVATIONS 1"=30'

**NOTES:**

- 1) SECTIONS ARE SHOWN AS 1"=30' FOR BOTH VERTICAL AND HORIZONTAL.
- 2) GRADES BASED ON SUBMITTED GRADING PLAN.
- 3) LOCATIONS OF TREES ARE BASED ON LANDSCAPE PLAN (SHEET 6).
- 4) SIZE OF TREE SHOWN AT MATURE GROWTH.
- 5) SCREENING OF DOCK AREA BY WALL AND FENCE TO NORTH AND SCREEN WALL AND CONIFEROUS TREES TO THE EAST.



# METZLER RANCH FILING No. 3, LOT 3

## FINAL PD SITE PLAN

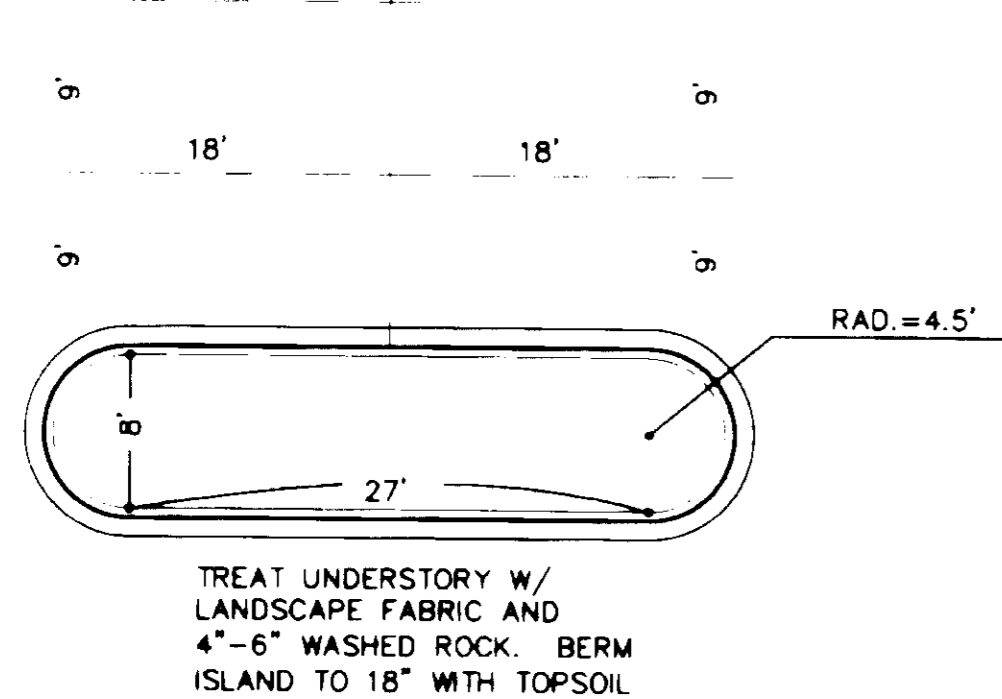
LOCATED IN SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

## LANDSCAPE DETAILS

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	
GO	6	Quercus gambelii	Gambel Oak	5 GAL
GC	15	Ribes aureum	Golden Currant	5 GAL
WSC	18	Euonymus alatus Compactus	Dwarf Burning Bush	5 GAL
CBC	52	Cornus sericea Isanti	Isanti Dogwood	5 GAL
MB	14	Viburnum trilobum Compactum	American Comp. Cranberry	5 GAL
DBB	28	Euonymus alatus Compactus	Dwarf Burning Bush	5 GAL
VS	8	Spiraea Vanhouttei	Vanhoutte Spiraea	5 GAL
<b>DECIDUOUS TREES</b>				
EO	15	Quercus robur	English Oak	2"
WH	8	Celtis occidentalis	Western Hackberry	2"
PA	8	Fraxinus pennsylvanica	Patmore Ash	2"
HL	18	Gleditsia triacanthos	Thornless Honeylocust	2"
APA	17	Fraxinus pennsylvanica	Autumn Purple Ash	2"
SA	9	Celtis occidentalis	Western Hackberry	2"
BW	3	Juglans nigra	Black Walnut	2"
NP	24	Prunus cerasifera Newport	Newport Plum Cherry	2"
FP	14	Pyrus calleryana Chanticleer	Flowering Pear	2"
NC	8	Catalpa speciosa	Northern Catalpa	2"
<b>EVERGREEN SHRUBS</b>				
AJ	152	Juniperus horizontalis Andora	Andora Juniper	5 GAL
BCJ	111	Juniperus horizontalis	Blue Chip Juniper	5 GAL
BJJ	26	Juniperus sibirica Buffalo	Buffalo Juniper	5 GAL
OGJ	40	Juniperus chinensis Old Gold	Old Gold Juniper	5 GAL
SBJ	22	Juniperus chinensis	Chinese Juniper Armstrong	5 GAL
<b>FLOWERING PLANTS/PERRENIALS</b>				
DFG	238	Pennisetum alopecuroides Hameln	Dwarf Fountain Grass	1 GAL
SWJ	20		St Johns Wort	1 GAL
SD	182		Shasta Daisy	1 GAL
BF	259		Blanket Flower	1 GAL
PS	17	Erianthus ravennae	Pompas Grass	1 GAL
DL	130		Day Lily	1 GAL
<b>EVERGREEN TREES</b>				
AP	15	Pinus nigra	Austrian Pine	6'
WCF	4	Abies concolor	White concolor fir	6'
DF	9	Pseudotsuga menziesii	Douglas Fir	6'
CS	13	Picea Pungens	Colorado Blue Spruce	6'
BMJ	14	Juniperus scopulorum Blue Haven	Rocky Mtn. Juniper	6'
Total Trees 175				
Total Shrubs 504				
Total Perennials 844				

DESCRIPTION	AREA (SF)	% SITE	% LANDSCAPE
Gross Site Area	588,060	100	
Bldg Coverage	125,381	21.3	
Paved Area	301,360	51.2	
Landscaped Area	161,319	27.5	100
Crushed Rock, Planting Beds	23,692	4.0	14.7
Washed Rock, Planting Beds	25,075	4.3	15.5
Parking Lot Islands	11,585	2.0	7.2
Irrigated Turf	100,967	17.2	62.6
Parking Lot Coverage	246,480		
Parking Lot Landscape	11,585		
Parking Lot Trees	69	6/1000	
Parking Lot Shrubs	293	25.3/1000	



TYPICAL PARKING ISLAND & SPACES

N.T.S.

### LANDSCAPE NOTES:

- UTILITIES - DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND DIG TREE PITS IN UTILITY EASEMENTS.
- PERMITS - CONTRACTOR SHALL OBTAIN ALL PERMITS, INSPECTIONS, AND PAY REQUIRED FEES TO ANY AGENCY HAVING JURISDICTION OVER LANDSCAPE WORK.
- CLEANUP AND PROTECTION - DURING LANDSCAPE WORK, KEEP ALL PAVEMENTS CLEAN AND THE WORK AREA IN AN ORDERLY CONDITION. TREAT, REPAIR, OR REPLACE DAMAGE RESULTING FROM LANDSCAPE OPERATIONS.
- LAYOUT - NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE TO REVIEW BED LAYOUT, PLACEMENT AND TREE/SHRUB LOCATIONS.
- NO IRRIGATION ZONES - DO NOT PLANT SHRUBS OR GROUND COVER PLANTS WITHIN 5 FT. OF FOUNDATION WALLS. DO NOT IRRIGATE SOIL WITHIN 5 FT. OF FOUNDATION WALLS, OR AS PER SOILS AND FOUNDATION INVESTIGATION REPORT.
- PLANT MATERIAL:
  - PLANT MATERIAL TO MEET OR EXCEED MOST CURRENT ISSUE OF AMERICAN STANDARDS FOR NURSERY STOCK.
  - PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND /OR SPACING SHOWN ON THE LANDSCAPE PLAN. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICATE.

TOPSOIL - TOPSOIL SHALL BE STRIPPED FROM THE PROJECT'S CONSTRUCTION AREAS AND STOCKPILED AT THE SITE FOR REDISTRIBUTION DURING FINISHING GRADING OPERATIONS. REDISTRIBUTION DEPTH SHALL BE THREE TO FOUR INCHES.

### SOIL PREPARATION:

- BACKFILL - (TREES AND SHRUBS) - 75% SOIL FROM FROM PIT EXCAVATION, AND 25% COMPOST OR ASPEN HUMUS THOROUGHLY BLENDED.
  - FERTILIZER - FERTILIZE ALL TREES, B&B, AND 5 GAL. SHRUBS WITH 21 GRAM, 20-10-5 SLOW RELEASE FERTILIZER TABLETS: 1 TABLET PER 1/2" TREE CALIPER; 3 TABLETS PER B&B SHRUB; AND 2 TABLETS PER 5 GAL. SHRUB.
- SOIL PREPARATION: ADD THE FOLLOWING SOIL AMENDMENTS PER 1000 SQFT.: 3 CUBIC YARDS OF COMPOST OR ASPEN HUMUS ORGANIC MATTER AND 5 POUNDS OF 18-46-0 COMMERCIAL FERTILIZER. ROTOTILL OR DISK SOIL AMENDMENTS THOROUGHLY INTO THE SOIL TO A MINIMUM DEPTH OF SIX INCHES. RAKE SMOOTH TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET ENGINEER'S FINISH GRADES. POSITIVE SURFACE DRAINAGE SHALL BE ASSURED WITHOUT SUBSEQUENT SETTLING OR IRREGULARITIES IN THE FINISH GRADE.

- IRRIGATION SYSTEM WILL BE AN AUTOMATIC, UNDERGROUND SYSTEM. TREES AND SHRUBS IN BEDDED AREAS, PARKING ISLANDS AND WALKWAY PLANTERS WILL BE DRIP IRRIGATED. TURF AND FLOWER BEDS WILL BE SPRAY IRRIGATED WITH POP-UP SPRAY HEADS.

- BED EDGING - SHALL BE "PERMALOC" OR "CURV RITE" ALUMINUM EDGING, 3/16" X 4", MILL FINISH, OR APPROVED SUBSTITUTION. PERMALOC PHONE: (800) 356-5660. CURV RITE PHONE: (800) 531-4130.

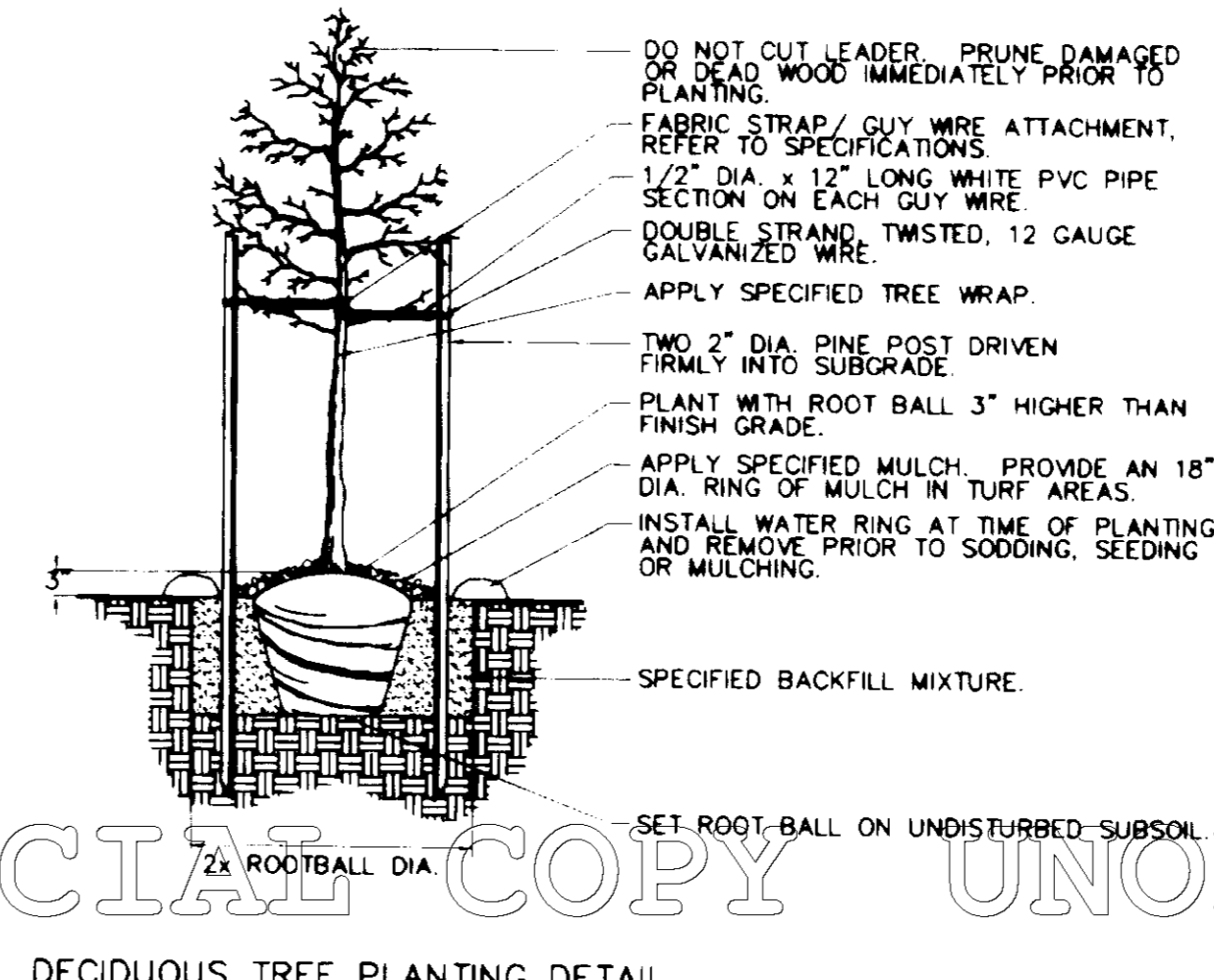
- SOIL - SHALL BE FREE OF WEEDS AND UNDESIRABLE GRASSES. PROVIDE SOIL CAPABLE OF GROWTH AND DEVELOPMENT WHEN PLANTED (VIABLE, NOT DORMANT). SOIL ROLLS SHALL BE KEPT MOIST, PROTECTED FROM DRYING, SUN, HEAT AND WIND, AND PROPERLY PROTECTED IN TRANSPORT. SOIL SHALL BE A STRONGLY ROOTED BLEND COMPOSED OF TURF-TYPE TALL FESCUE AND KENTUCKY BLUEGRASS OR A BLEND OF THREE IMPROVED KENTUCKY BLUEGRASS VARIETIES.

- MULCH - CEDAR FIBER MULCH 3" DEPTH IN SHRUB BEDS, AND AROUND TREES IN SOIL AREAS, NO FABRIC. (BROWN IN COLOR, NO ARTIFICIAL COLORINGS).

COBBLE/GRAVEL MULCH (PARKING ISLANDS): A BLEND OF 50% (BY VOLUME) 2" TO 4" DIAMETER SMOOTH RIVER COBBLE, 25% 1/2" DIAMETER SMOOTH RIVER GRAVEL, AND 25% 3/4" DIAMETER SMOOTH RIVER GRAVEL. ALL SIZES WASHED AND SCREENED. PLACE OVER GEO-TEXTILE FABRIC. TO BE PLACED IN 5' NO IRRIGATE ZONES.

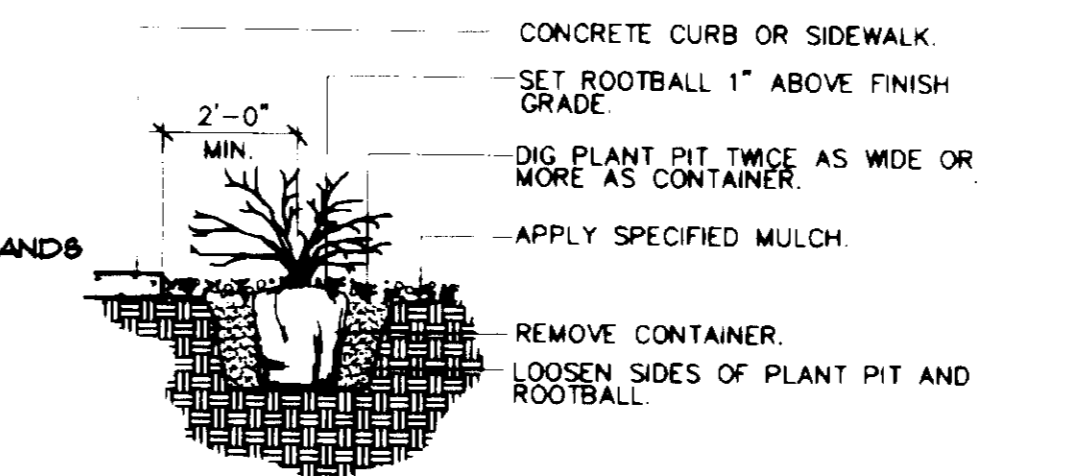
### LANDSCAPE AND GROUND MAINTENANCE:

- THE OWNER OF THE PROPERTY, THEIR SUCCESSORS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL LANDSCAPED AREAS WITHIN THEIR LOT, SUBJECT TO THE APPROVED LANDSCAPE PLAN. SUCH AREAS SHALL BE DEEMED TO INCLUDE THE INDIVIDUAL LOTS ON THE SUBJECT PROPERTY AND THAT PORTION OF ANY ADJACENT PUBLIC STREET RIGHT-OF-WAY, FROM THE PROPERTY LINE TO THE BACK OF ADJACENT CURB.
- LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED WITH NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, REPLACEMENT OF DEAD PLANT MATERIAL, AND REPLACEMENT OF DISEASED PLANT MATERIAL. REPLACEMENT PLANT MATERIAL SHALL BE THE SAME SIZE AND OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE APPROVED LANDSCAPE PLAN. SUBSTITUTIONS WITH OTHER TYPES OF PLANT MATERIAL MAY BE MADE ONLY WITH COUNTY APPROVAL. ALL REPLACEMENTS SHALL OCCUR WITHIN ONE GROWING SEASON.
- GROUNDS SHALL BE MAINTAINED IN A SAFE, CLEAN, AND NEAT CONDITION WITH NO RUBBISH OR WEEDS. LAWN SHALL BE KEPT IN A MOWED CONDITION. ROADS AND PAVEMENT SHALL BE MAINTAINED IN GOOD



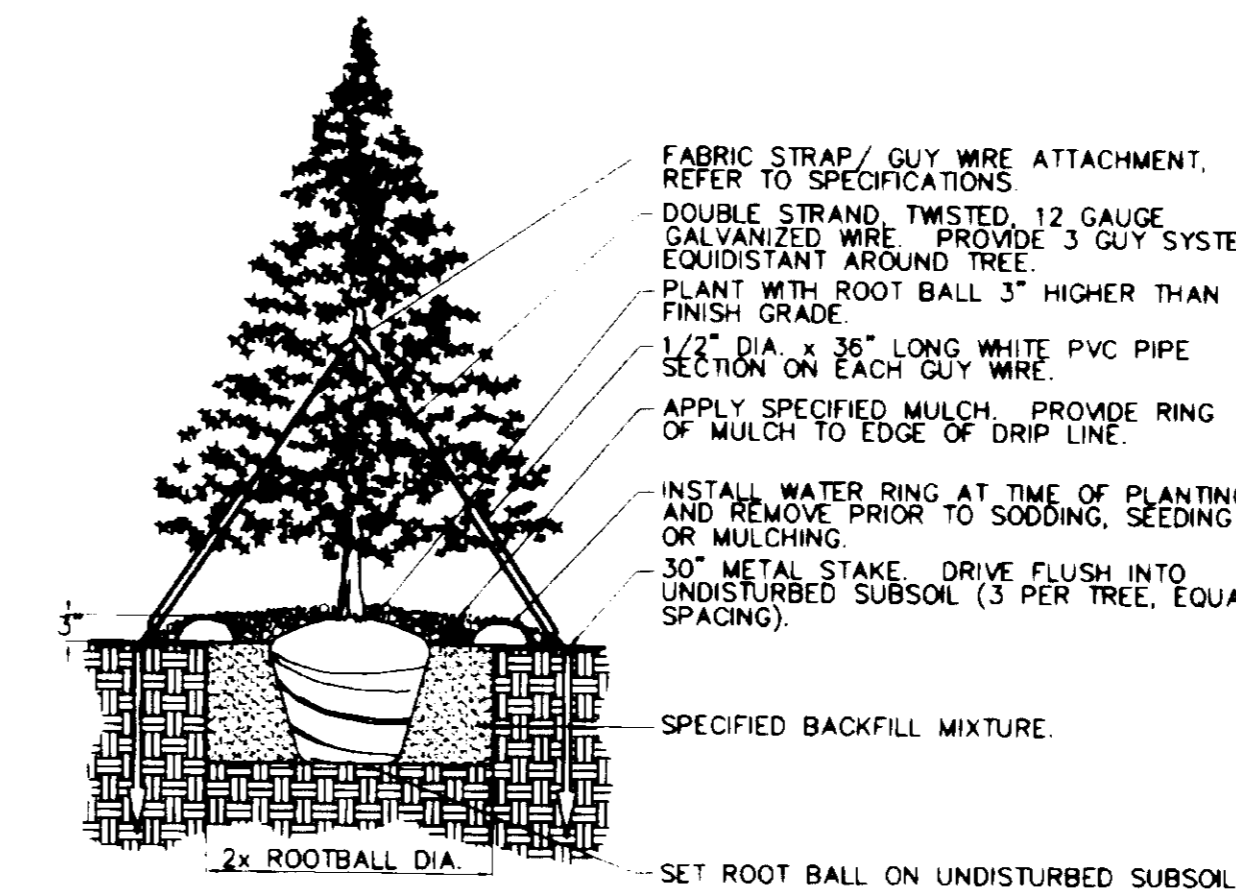
DECIDUOUS TREE PLANTING DETAIL

N.T.S.



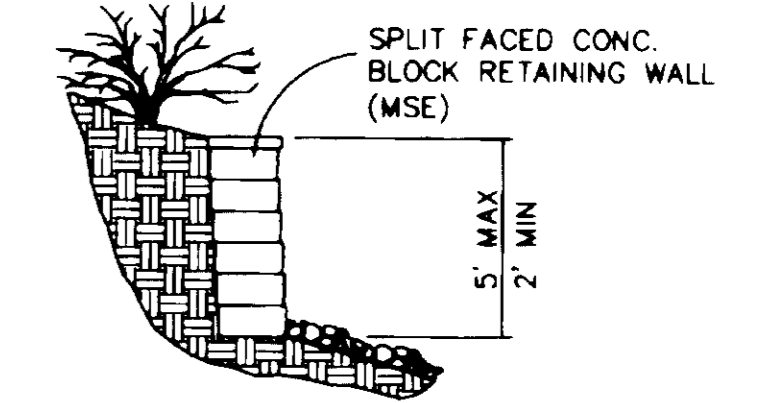
SHRUB PLANTING DETAIL

N.T.S.



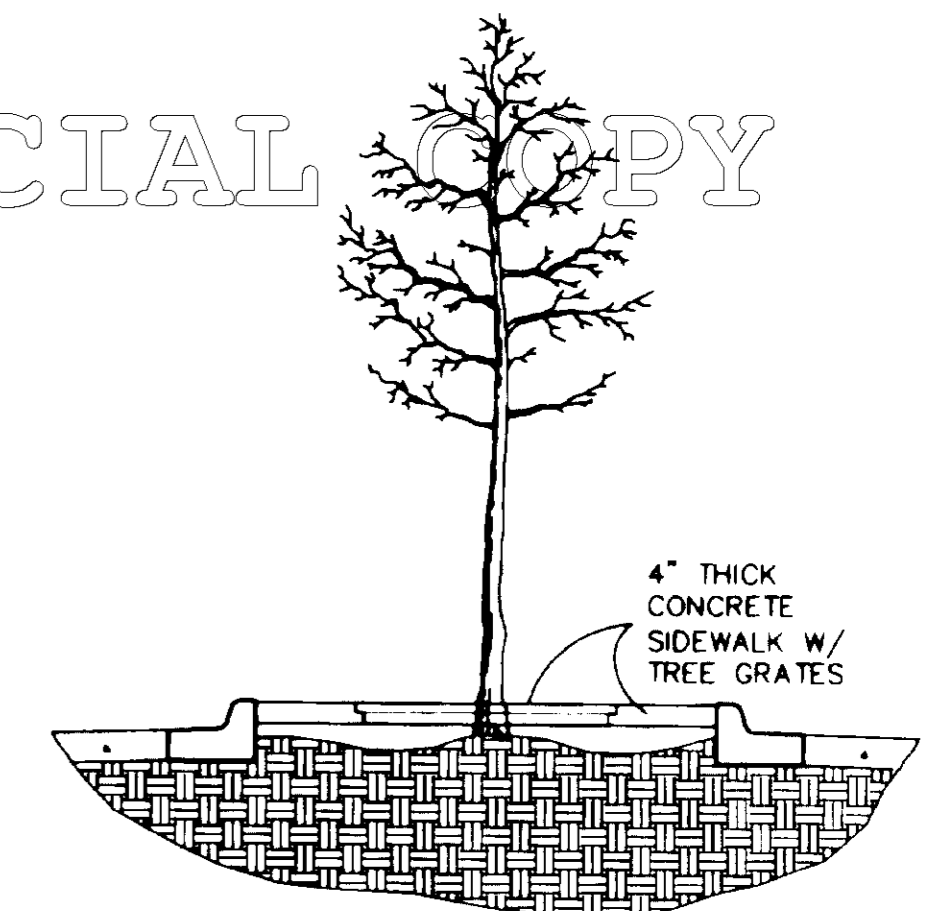
EVERGREEN TREE PLANTING DETAIL

N.T.S.



RETAINING WALL SECTION

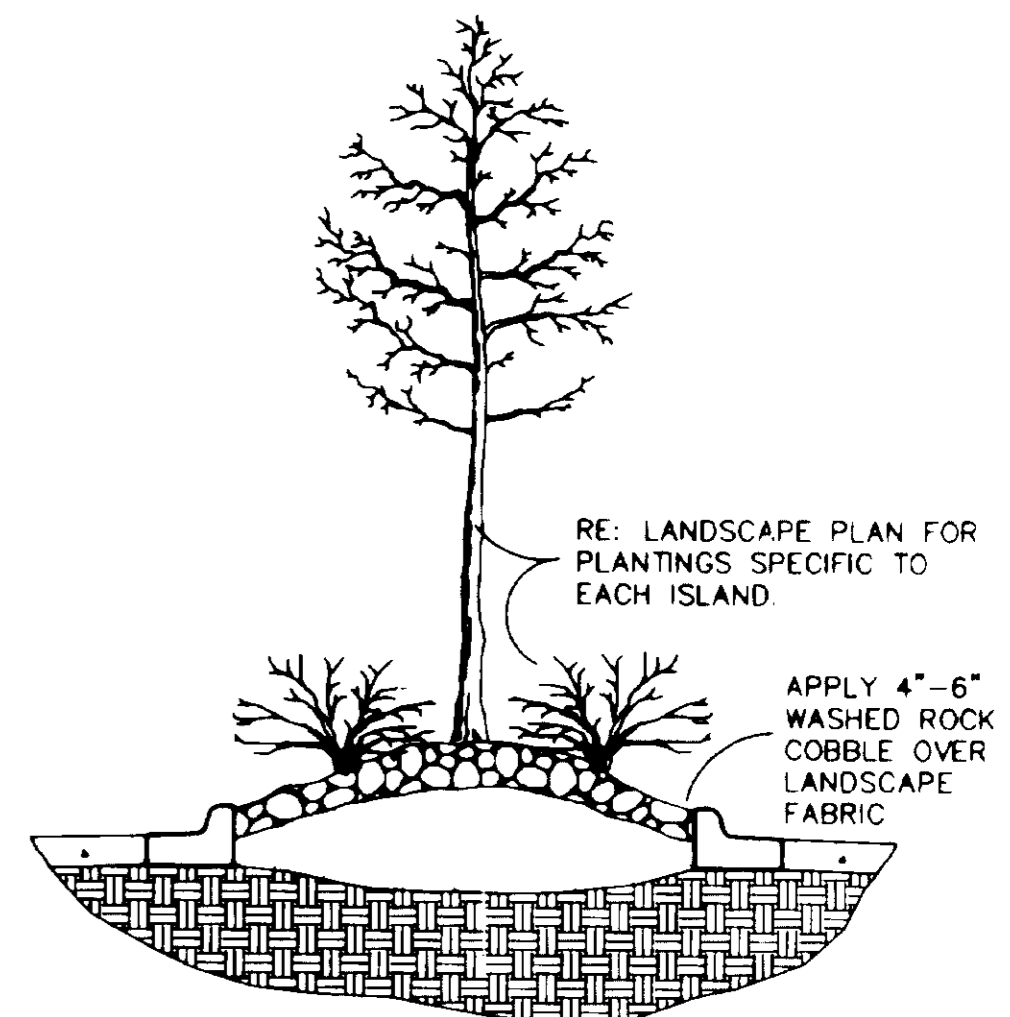
N.T.S.



RE: LANDSCAPE PLAN FOR LOCATION OF TREE GRATES.  
GRATE DESIGN SHALL BE APPROVED BY OWNER  
INSTALL GRATE PER MANUFACTURERS RECOMMENDATION

TYPICAL ISLAND SIDEWALK

N.T.S.



TYPICAL ISLAND SECTION

N.T.S.

# METZLER RANCH FILING No. 3, LOT 3

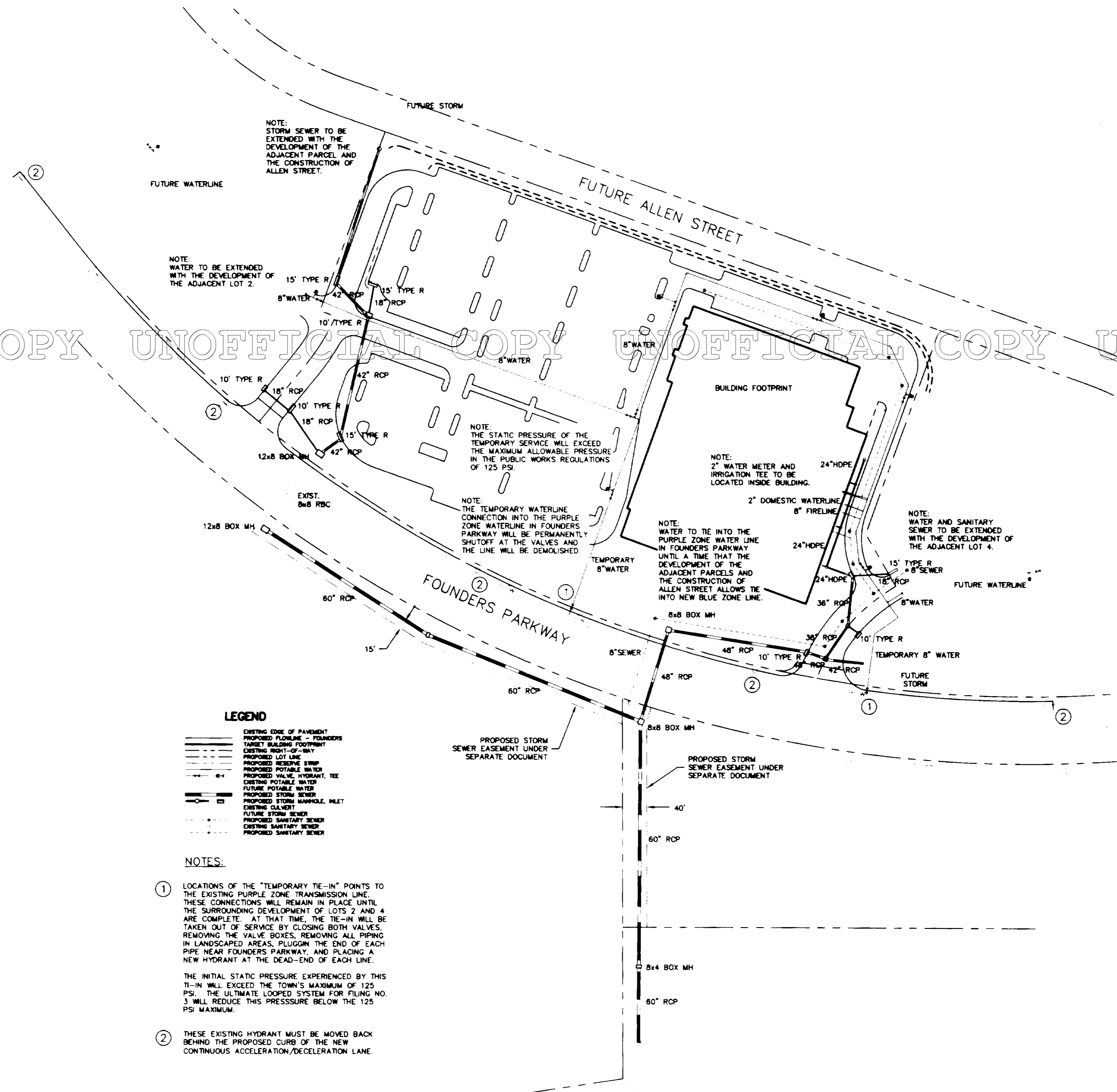
## FINAL PD SITE PLAN

LOCATED IN SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6th P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

## UTILITY PLAN

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**LEGEND**

---	EXISTING EDGE OF PAVEMENT
---	PROPOSED FLOWLINE - FOUNDERS
---	TAKING BUILDING FOOTPRINT
---	EXISTING RIGHT-OF-WAY
---	PROPOSED LOT LINE
---	PROPOSED RESERVE STRIP
---	PROPOSED POTABLE WATER
---	PROPOSED VALVE, HYDRANT, TEE
---	EXISTING POTABLE WATER
---	FUTURE POTABLE WATER
---	PROPOSED STORM SEWER
---	PROPOSED STORM MANHOLE INLET
---	EXISTING GLEIST
---	FUTURE STORM SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER

- NOTES:**
- LOCATIONS OF THE "TEMPORARY TIE-IN" POINTS TO THE EXISTING PURPLE ZONE TRANSMISSION LINE. THESE CONNECTIONS WILL REMAIN IN PLACE UNTIL THE SURROUNDING DEVELOPMENT OF LOTS 2 AND 4 ARE COMPLETE. AT THAT TIME, THE TIE-IN WILL BE TAKEN OUT OF SERVICE BY CLOSING BOTH VALVES, REMOVING THE VALVE BOXES, REMOVING ALL PIPING IN LANDSCAPED AREAS, PLUGGING THE END OF EACH PIPE NEAR FOUNDERS PARKWAY, AND PLACING A NEW HYDRANT AT THE DEAD-END OF EACH LINE.  
THE INITIAL STATIC PRESSURE EXPERIENCED BY THIS TIE-IN WILL EXCEED THE TOWN'S MAXIMUM OF 125 PSI. THE ULTIMATE LOOPED SYSTEM FOR FILING NO. 3 WILL REDUCE THIS PRESSURE BELOW THE 125 PSI MAXIMUM.
  - THESE EXISTING HYDRANT MUST BE MOVED BACK BEHIND THE PROPOSED CURB OF THE NEW CONTINUOUS ACCELERATION/DECELERATION LANE.

