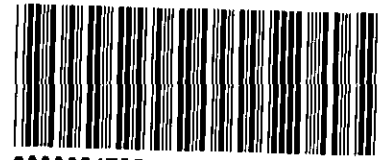


OFFICIAL RECORDS  
DOUGLAS COUNTY CO  
JACK ARROWSMITH  
CLERK & RECORDER  
RECORDING FEE: \$111.00  
12 PGS

# 2008024736  
04/07/2008 11:31 AM



2008024736 12 PGS

# PLAT IDENTIFICATION SHEET

**Halle Properties LLC**

\_\_\_\_\_  
**Grantor (owner)**

\_\_\_\_\_  
Grantor (owner)

**Metzler Ranch 3, 4<sup>th</sup> Amendment Final PD Site Plan**

\_\_\_\_\_  
**Grantee (name of plat or condo)**

UNOFFICIAL COPY

\_\_\_\_\_  
Grantee (name of plat or condo)

**Subdivision Info: Metzler Ranch Filing: 3 Lot 1-C**

**Condo Info: Phase \_\_\_\_\_ Bldg \_\_\_\_\_ Unit \_\_\_\_\_**

26

7

67

\_\_\_\_\_  
**Section**

\_\_\_\_\_  
**Township**

\_\_\_\_\_  
**Range**

**Cross Reference numbers: (reception #s or book and page)**

_____	_____	_____
_____	_____	_____
_____	_____	_____



# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

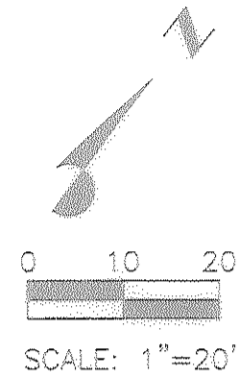
### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M.,

### TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

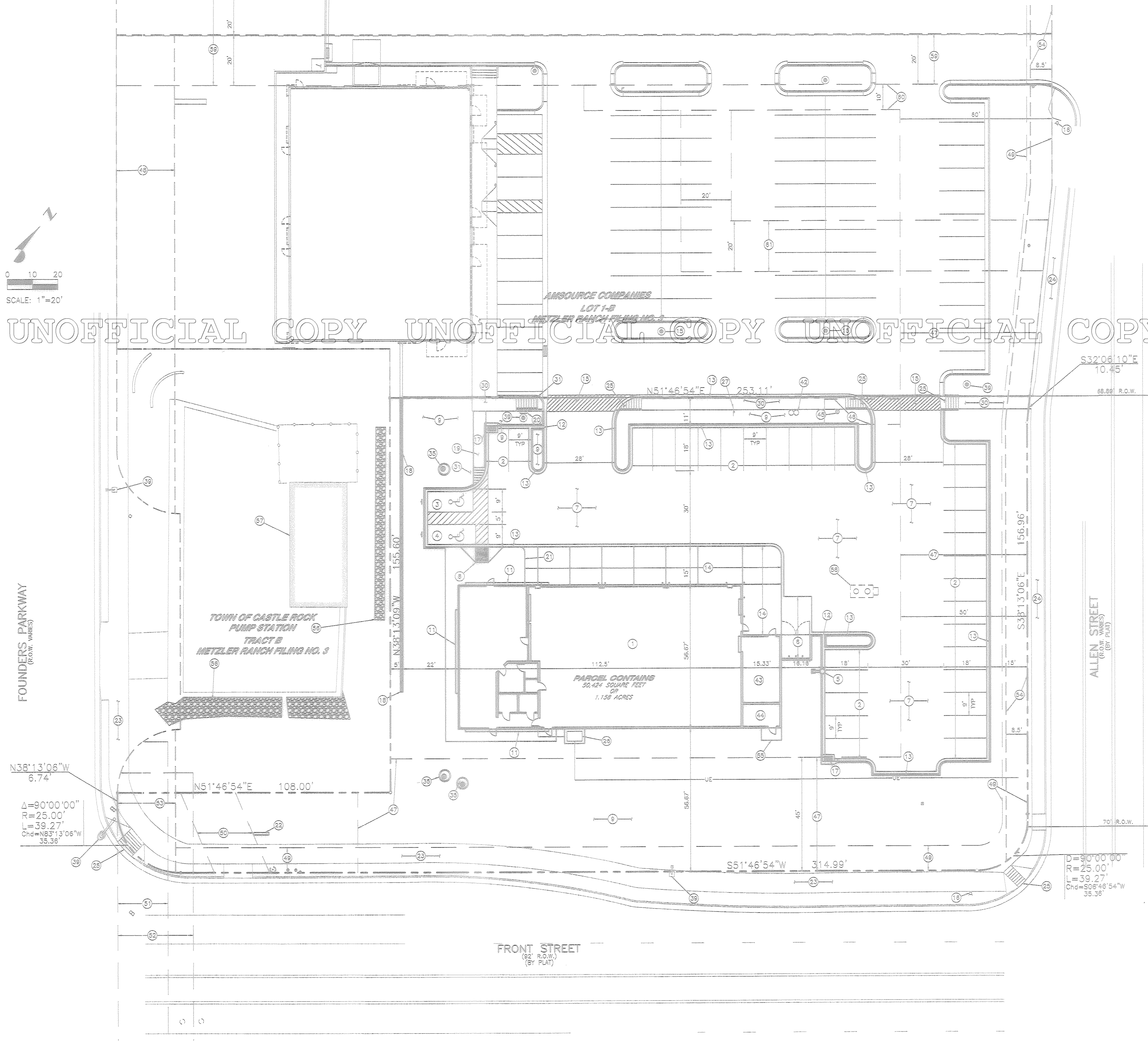
SITE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	SECTION LINE
	CENTER LINE
	EASEMENT BOUNDARY LINE
	TRAFFIC DIRECTION
	PARKING COUNT
	SITE LIGHTING
	WALL PACK LIGHT
	STREET LIGHT
	EXISTING TRAFFIC POLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING MANHOLE COVER
	PROPOSED MANHOLE COVER
	UTILITY PEDESTAL
	EXISTING INLET
	PROPOSED INLET
	EXISTING FENCE TO REMAIN
	EXISTING TO BE REMOVED
	PROPOSED NEW
	PROPOSED RETAINING WALL
	PROPOSED UNDERGROUND ELECTRIC

#### SCHEDULE

- 1 50'-8" X 112'-8" DISCOUNT TIRE STORE
- 2 8'-0" X 18'-0" PARKING SPACES (TYP. 31)
- 3 8'-0" X 18'-0" HANDICAP PARKING SPACE
- 4 8'-0" X 20'-0" HANDICAP PARKING SPACE WITH 1:12 MAX. SLOPE UNLOADING AREA INCLUDING STRIPING AND SIGNAGE
- 5 22'-0" X 23'-0" NEW SITE LIGHT (TYPE 1) PLUS LENS RIM LIGHTING MODEL RA25
- 6 12'-0" X 10'-0" MASONRY AND STONE VENEER TRASH ENCLOSURE WITH 12'-0" X 15'-0" CONCRETE PAD. BRICK TO MATCH BUILDING
- 7 ASPHALT PAVING
- 8 HANDICAP RAMP TO BUILDING FROM PARKING AREA (1:12 MAX. SLOPE)
- 9 LANDSCAPE AREA
- 10 NOT USED
- 11 BUILDING WALL SIGN 78 S.F. (TYP. 3)
- 12 PROPOSED 1" WIDE CHASE DRAIN (TYP. 2)
- 13 6" VERTICAL CURB & GUTTER
- 14 NEW 15' CONCRETE APRON TO DROP 6" FROM FINISHED FLOOR TO MATCH GRADE AT ASPHALT
- 15 EXISTING STRIPING TO SHOW ROUTE TO PUBLIC WAY.
- 16 EXISTING FIRE HYDRANT
- 17 NEW 3' TYPE-13 AREA INLET
- 18 NEW STACKED STONE RETAINING WALL (FOR BID PURPOSES ONLY GC TO OBTAIN A FINAL DESIGN)
- 19 PROPOSED 5' WIDE SIDEWALK
- 20 EXISTING MAIL BOX
- 21 MONOLITHIC SIDEWALK CURB, VARIABLE HEIGHT (SEE GRADING PLAN)
- 22 PROPOSED LOCATION OF SIGN, BOARD OF ADJUSTMENT HAS REVIEWED AND APPROVED
- 23 EXISTING 8' WIDE CONCRETE SIDEWALK
- 24 EXISTING 9' WIDE CONCRETE SIDEWALK
- 25 EXISTING HANDICAP RAMP
- 26 8' X 8' CONCRETE PAD AND ELECTRICAL CONDUIT
- 27 PROPOSED NO PARKING FIRE LANE SIGNAGE
- 28 NOT USED
- 29 NOT USED
- 30 EXISTING 5' SIDEWALK
- 31 PROPOSED HANDICAP ACCESSIBLE RAMP
- 32 NOT USED
- 33 NOT USED
- 34 NOT USED
- 35 NEW MANHOLE
- 36 NOT USED
- 37 NOT USED
- 38 NOT USED
- 39 EXISTING STREET LIGHT TO REMAIN
- 40 NOT USED
- 41 NOT USED
- 42 5' STORES FIRE DEPARTMENT CONNECTION
- 43 DEAD TIRE STORAGE ROOM
- 44 COMPRESSOR ROOM
- 45 PROPOSED FIRE HYDRANT
- 46 PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT, TO BE DEDICATED BY SEPARATE DOCUMENTS
- 47 VARYING WIDTH UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
- 48 23' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
- 49 10' UTILITY EASEMENT (REC. NO. 01055443)
- 50 20' DRAINAGE EASEMENT (REC. NO. 2004005980)
- 51 20' IREA EASEMENT (BM. 1398-PG. 1899)
- 52 30' TRAFFIC SIGNAL EASEMENT (BK. 1398-PG. 1877)
- 53 RESERVATION FOR FUTURE R.O.W.
- 54 8.5' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
- 55 5' X 8' CONCRETE PAD
- 56 EXISTING ROCK ON TOWN OF CASTLE ROCK SITE
- 57 EXISTING TOWN OF CASTLE ROCK PUMP STATION
- 58 PROPOSED OIL SEPARATOR
- 59 EXISTING ACCESS UTILITY & DRAINAGE EASEMENT (20' EACH SIDE OF LOT LINE, REC. NO. 2003094052) BY PLAT.
- 60 10' UTILITY & DRAINAGE EASEMENT (REC. NO. 2003094052)
- 61 20' UTILITY EASEMENT (REC. NO. 2003094052)



UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

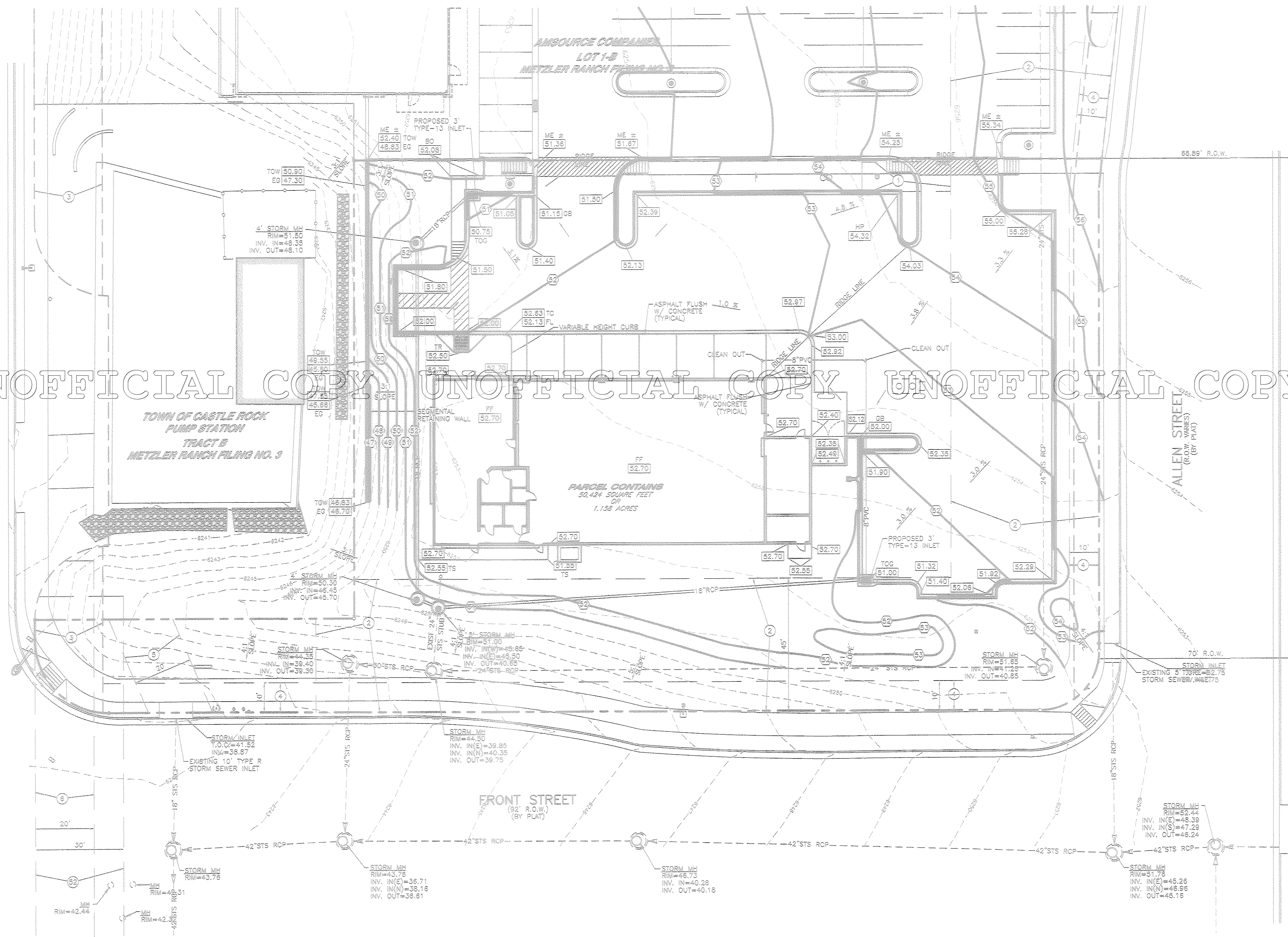
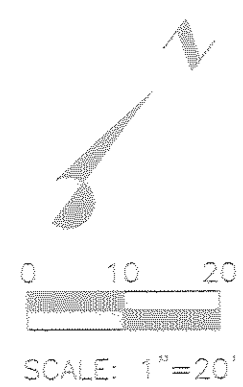


	DATE				
	DRAWN BY				
	DCS BY				
	REVISION				
No.					
<b>FINAL PD SITE PLAN</b> <b>LOT 1-C, METZLER RANCH</b> <b>FILING No. 3, 4th AMENDMENT</b>					
NWC ALLEN STREET AND FRONT STREET CASTLE ROCK, COLORADO					
Project No:	Z030				
Sheet Scale:	1"=20'				
Designed By:	JLF				
Drawn By:	CJH				
Date:	October, 2007				
File No:	Z030_P_02_Cs1.1-Site				
<b>SITE PLAN</b>					
2 OF 11					

# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



#### BASIS OF BEARINGS

BEARINGS USED ON THIS SURVEY ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO BEARS S89°58'23"E AS REFERENCED ON SAID RECORDED PLAT AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

#### BENCHMARK:

BENCHMARK: THE NORTHWEST CORNER OF THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., OF THE 6TH P.M., BEING THE TOWN OF CASTLE ROCK 3RD POINT NO. 14, PUBLISHED ELEVATION = 6174.80 FEET (NAVD 88).

#### NOTE

1. CONTRACTOR TO RESEED ALL OFF SITE DISTURBED AREAS AND PROVIDE ADEQUATE IRRIGATION AND CARE UNTIL PROPER VEGETATION IS ESTABLISHED.
2. THE MAXIMUM ALLOWABLE SLOPE IS 3:1.
3. ALL RETAINING WALLS OR MULTIPLE TIERED RETAINING WALLS THAT EXCEED A TOTAL OF FOUR FEET IN HEIGHT WILL REQUIRE A BUILDING PERMIT PRIOR TO OBTAINING A PUBLIC WORKS PERMIT.

#### LEGEND

- 20--- EXISTING CONTOUR
- 20--- PROPOSED CONTOUR
- 20.0 EXISTING SPOT ELEVATION
- 20.0 FINISHED SPOT ELEVATION
- GB GRADE BREAK
- FF FINISHED FLOOR ELEVATION
- TR TOP OF RAMP
- NCH HIGH POINT
- LOW POINT
- ME MATCH EXISTING
- FL INT FLOWLINE INTERSECTION
- TOG TOP OF GRATE
- CO CURB OPENING
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- BO BY OTHERS
- EG EXISTING GRADE ELEVATION AT FACE OF WALL
- [Symbol] GUTTER TRANSITION, 5' UNLESS NOTED OTHERWISE
- [Symbol] PROPOSED RETAINING WALL
- [Symbol] EXISTING ROCK
- [Symbol] PROPOSED STORM SEWER INLET (TYP. 2)

#### SCHEDULE

- 1 PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT
- 2 VARYING WIDTH UTILITY AND DRAINAGE EASEMENTS (REC. NO. 2003094052)
- 3 23' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENTS (REC. NO. 01055443)
- 4 10' UTILITY EASEMENT (REC. NO. 01055443)
- 5 20' DRAINAGE EASEMENT (REC. NO. 2004005960)
- 6 20' AREA EASEMENT (SM. 1396-PG. 1899)
- 7 30' TRAFFIC SIGNAL EASEMENT (BK. 1396-PG. 1877)
- 8 10' UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
- 9 20' UTILITY EASEMENT (REC. NO. 2003094052)

REV.	BY	DATE

**Galloway**  
 Planning, Architecture, Engineering  
 6350 DTC Parkway  
 Greenwood Village, CO 80111  
 303.770.8894  
 www.gallowayes.com

**DISCOUNT**  
 THE CO. INC.  
 6300 South Syracuse Way  
 Park Ridge, Colorado 80111  
 Tel: (303) 773-9884

**FINAL PD SITE PLAN**  
**LOT 1-C, METZLER RANCH**  
**FILING No. 3, 4th AMENDMENT**  
 NWC ALLEN STREET AND FRONT STREET  
 CASTLE ROCK, COLORADO

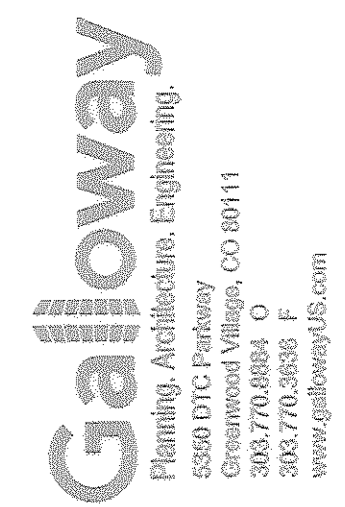
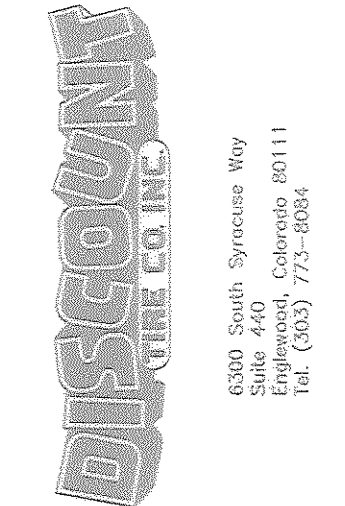
Project No:	2039
Sheet Scale:	1"=20'
Designed By:	JLF
Drawn By:	CJM
Date:	October, 2007
Disk File:	2039_P_03_Col.1-Grad

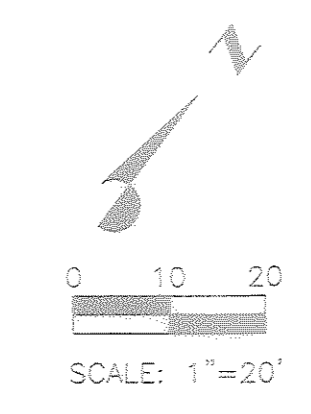
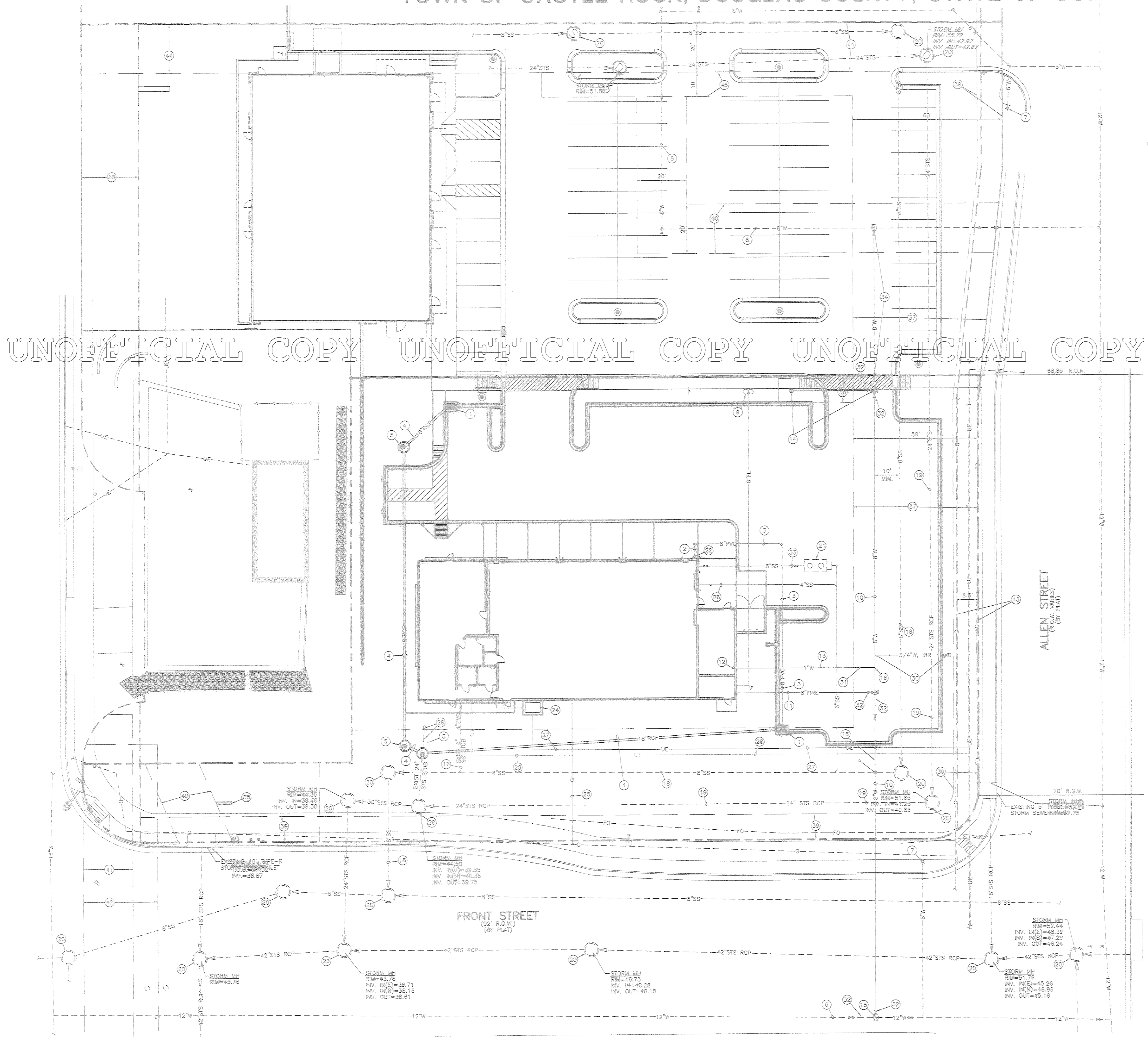
**GRADING PLAN**

# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

DATE	
DRAWN BY	
DES. BY	
REVISION	
No.	
 Galloway Planning, Architecture, Engineering 6200 DTC Parkway, CO 80111 303.770.8804 303.770.8856 F www.gallowayus.com	
 DISCOUNT UTILITY CO. INC. 6550 South Syracuse Way Suite 200 Englewood, Colorado 80111 Tel: (303) 775-0081	
<b>FINAL PD SITE PLAN</b> <b>LOT 1-C, METZLER RANCH</b> <b>FILING No. 3, 4th AMENDMENT</b> NWC ALLEN STREET AND FRONT STREET CASTLE ROCK, COLORADO	
Project No:	2030
Sheet Scale:	1"=20'
Designed By:	JLF
Drawn By:	CJH
Date:	October, 2007
Disk File:	2030_P_04_CU1.1-UII
<b>UTILITY PLAN</b>	
4 OF 11	



#### UTILITY LEGEND

	PROPOSED MANHOLE
	EXISTING MANHOLE
	VALVE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING TYPE R INLET
	PROPOSED TYPE 13 INLET
	EXISTING STORM SEWER
	PROPOSED PVC STORM SEWER
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING UNDERGROUND ELECTRICAL
	PROPOSED UNDERGROUND ELECTRICAL
	EXISTING OVERHEAD ELECTRICAL
	PROPOSED OVERHEAD ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING OVERHEAD TELEPHONE
	EXISTING FIBER OPTIC LINE

- #### SCHEDULE
- 1 PROPOSED 3' TYPE-13 AREA INLET
  - 2 PROPOSED STORM WATER ROOF DRAINS
  - 3 PROPOSED 8" STORM SEWER (SDR-35 PVC)
  - 4 PROPOSED 10" STORM SEWER (SDR-35 PVC)
  - 5 PROPOSED MANHOLE
  - 6 EXISTING 12" WATER LINE
  - 7 EXISTING FIRE HYDRANT
  - 8 EXISTING 8" WATERLINE
  - 9 PROPOSED 5" STORES FIRE DEPARTMENT CONNECTION
  - 10 PROPOSED 8" WATER LINE. INSTALLATION HAS BEEN COORDINATED WITH ADJACENT LOT.
  - 11 PROPOSED 8" FIRE LINE WITH DOUBLE BACKFLOW PREVENTOR AND METER. DOUBLE BACKFLOW PREVENTOR AND METER LOCATED IN BUILDING.
  - 12 PROPOSED 1" METER & BACKFLOW PREVENTOR INSIDE BUILDING
  - 13 PROPOSED DOMESTIC 1" SERVICE LINE TO BUILDING
  - 14 PROPOSED FIRE HYDRANT ASSEMBLY
  - 15 PROPOSED 12" X 8" X 12" WATERLINE WET TAP WITH THRUST BLOCK
  - 16 PROPOSED DOMESTIC 1" WATER LINE TAP ON 8" MAIN.
  - 17 EXISTING 8" SANITARY SEWER STUB TO BE PLUGGED & ABANDONED
  - 18 EXISTING 8" SANITARY SEWER
  - 19 EXISTING 24" STORM SEWER
  - 20 EXISTING MANHOLE
  - 21 PROPOSED OIL SEPARATOR TO BE APPROVED BY THE PLUM CREEK WASTEWATER AUTHORITY
  - 22 CONTRACTOR TO PROVIDE 5"x6" REDUCER UPON EXIT OF 5" STORM LINE FROM BUILDING
  - 23 PROPOSED 4" PVC STORM SEWER LINE
  - 24 PROPOSED 6' X 8' CONCRETE PAD AND ELECTRICAL CONDUIT
  - 25 PROPOSED 2 1/2" GAS PIPE
  - 26 PROPOSED 4" PVC SANITARY SEWER SERVICE
  - 27 PROPOSED UNDERGROUND ELECTRICAL LINE
  - 28 PROPOSED UNDERGROUND TELEPHONE LINE
  - 29 PORTION OF EXISTING 24" STS STUB TO BE ABANDONED UPSTREAM OF NEW MANHOLE
  - 30 SEPARATE 3/4" WATER TAP, METER ASSEMBLY & BACKFLOW PREVENTOR FOR LANDSCAPE IRRIGATION
  - 31 1" CURB STOP AND VALVE BOX PER TOWN OF CASTLE ROCK
  - 32 PROPOSED WATERLINE GATE VALVE
  - 33 PROPOSED 8" PVC SANITARY SEWER SERVICE
  - 34 EXISTING 8" X 8" X 8" WATER LINE TEE AND 8" WATER LINE STUBBED AT THE PROPERTY LINE
  - 35 PROPOSED LOCATION OF SIGN, BOARD OF ADJUSTMENT REVIEWED AND APPROVED ON 01/03/08
  - 36 VARYING WIDTH UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
  - 37 23' RESERVE SUB DIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
  - 38 10' UTILITY EASEMENT (REC. NO. 01055443)
  - 39 20' DRAINAGE EASEMENT (REC. NO. 2004009660)
  - 40 20' IREA EASEMENT (BM 1398-PG. 1699)
  - 41 30' TRAFFIC SIGNAL EASEMENT (BK. 1398-PG.1677)
  - 42 8.5' RESERVE FOR FUTURE R.O.W.
  - 43 EXISTING ACCESS AND DRAINAGE EASEMENT (20' EACH SIDE OF LOT LINE (REC. NO. 2003094052) BY PLATT
  - 44 10' UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
  - 45 20' UTILITY EASEMENT (REC. NO. 2003094052)

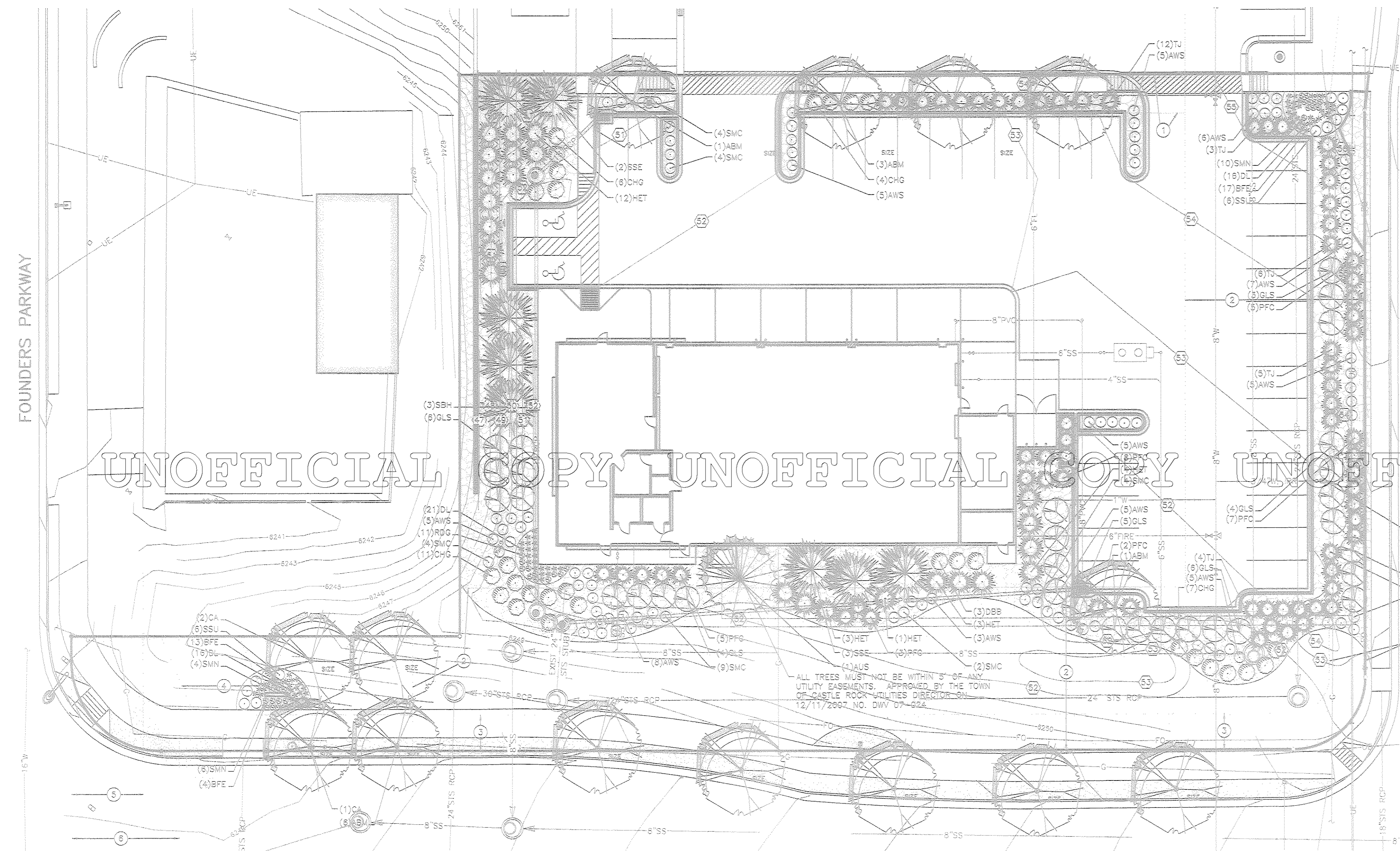
UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

H:\Discount\TravCO-Castle Rock - 7433V\Plan\metzler\2030\_P\_04\_CU1.1-UII.dwg, 2/25/2008 1:39:11 PM, Corey, Bowen

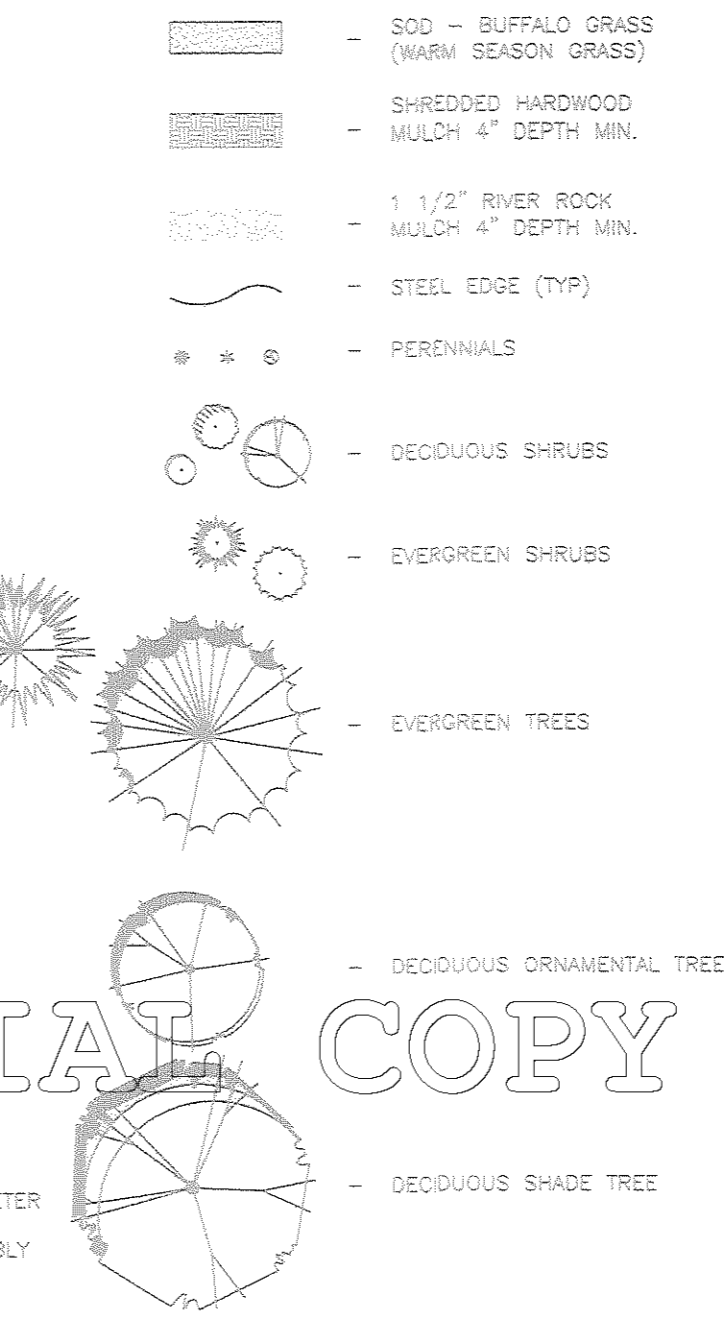
# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

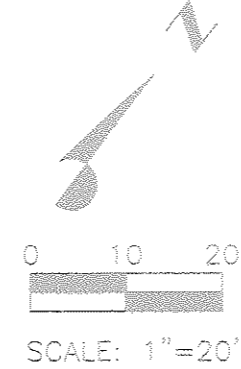


#### LANDSCAPE LEGEND



#### EASEMENT SCHEDULE

- PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT TO BE DEDICATED BY SEPARATE DOCUMENTS
- 20' DRAINAGE EASEMENT, REC. NO. 2004005660
- 10' UTILITY EASEMENT, REC. NO. 21055443
- 20' IREA EASEMENT, REC. NO. 1398-PG. 1999
- 20' IREA EASEMENT, REC. NO. 1398-PG. 1999
- 30' TRAFFIC SIGNAL EASEMENT, REC. NO. 1298-PG. 1877



#### PLANTING NOTES

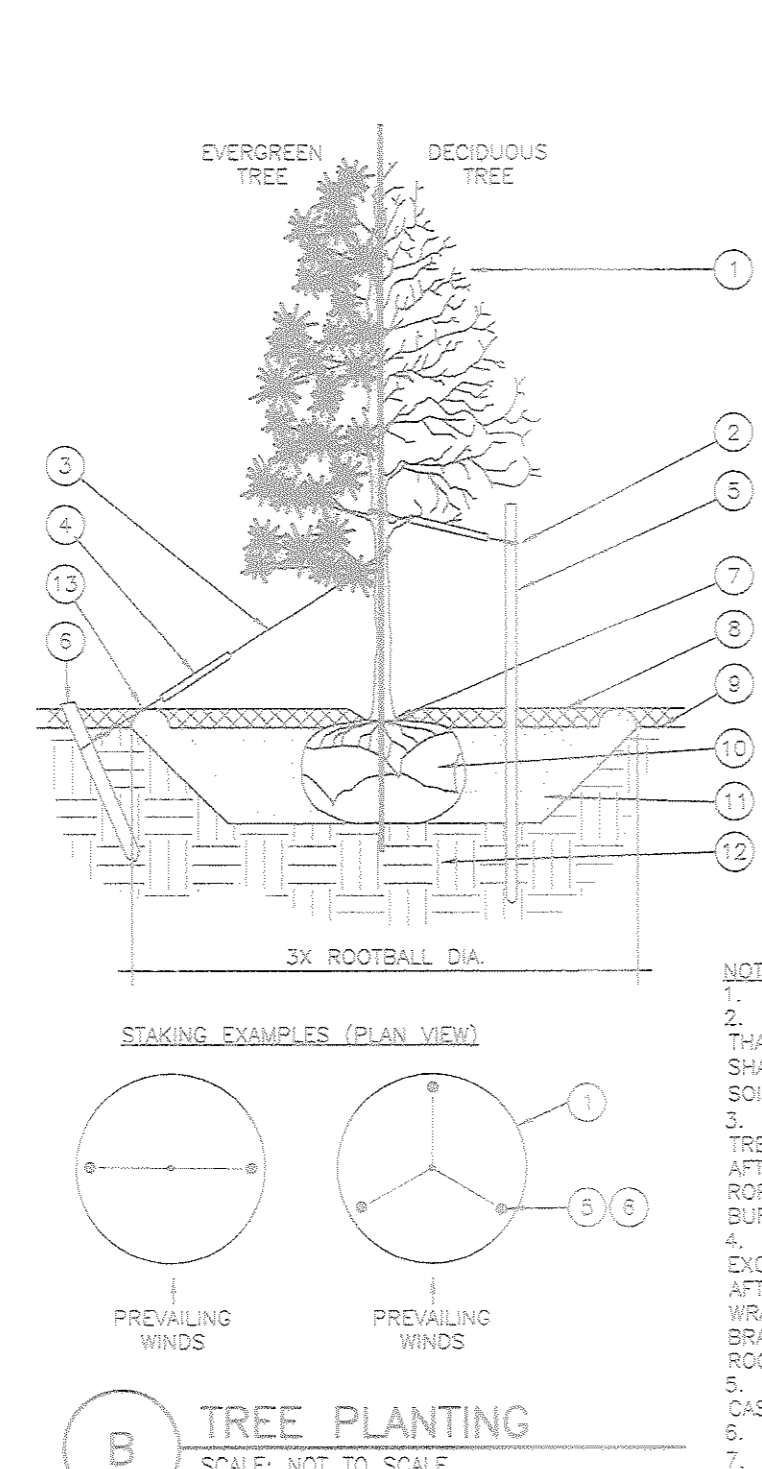
- GENERAL**
- CALL UNCC AT (303) 232-1991 PRIOR TO ANY EXCAVATION.
  - ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES.
  - THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON.
  - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY DAMAGE TO EXISTING PLANTS SHALL BE REPAIRED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
  - ALL LANDSCAPING SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT. AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
  - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY; ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLAN LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS AND AFTER RECEIVING A CHANGE ORDER FROM THE OWNER. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT. REFER TO SPECIFICATIONS FOR SOIL PREPARATION METHODS.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:  
TUBE (INCORPORATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING, AND NOT INCLUDING SLOPED OR SHRUB-PLANTED BEDS):  
NITROGEN STABILIZED ORGANIC AMENDMENT - 1 CU. YDS. PER 1,000 S.F.  
1 LB. P-20 PER 1,000 S.F.
  - TREES, SHRUBS AND PERENNIALS - BACKFILL ONLY:  
2 PARTS BY VOLUME ON-SITE SOIL  
2 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT  
1 LB. P-20 PER 1,000 S.F.  
NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING**
- PLANT QUANTITIES SHOWN ON LEGENDS ARE FOR GENERAL INFORMATION. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
  - ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT. PLANTS WITHIN RESPECTS SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE REMOVED FROM THE SITE AND REPLACED WITH AN ACCEPTABLE PLANT OF THE SAME TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - NO TREES OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS EXCEPT AS APPROVED BY VARIANCE (DWC 07-024) APPROVED ON 12/11/07.
- MULCHES**
- AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" RIVER ROCK MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ROOT BARRIERS**
- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE EQUIVALENT TO "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS. BARRIERS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.
- LANDSCAPE GUARANTEE AND MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL MEET ALL TOWN OF CASTLE ROCK MAINTENANCE REQUIREMENTS AND SHALL REPLACE AT HIS OWN EXPENSE ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULED ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
  - DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- SITE ANALYSIS**
- THE SITE IS LOT 1-C OF THE METZLER RANCH FILING NO. 3, 4TH AMENDMENT AND IS LOCATED ALONG FRONT STREET BETWEEN FOUNDERS PARKWAY AND ALLEN STREET IN THE TOWN OF CASTLE ROCK.
- THE PHYSICAL CHARACTERISTICS OF THE SITE ARE SUCH THAT IT IS ROUGHLY AT GRADE ALONG ALLEN STREET AND UP SLOPE FROM FOUNDERS PARKWAY AND FRONT STREETS. THE SITE HAS BEEN BUILT ON GRASS AND UTILITIES AND SIDEWALKS INSTALLED. THE SITE SOILS HAVE BEEN DISTURBED AND THEIR CAPACITY WILL BE ESTABLISHED THROUGH TESTING AND AMENDED FOR CONSTRUCTION. THE SITE HAS A FULL SOUTHERN ASPECT/EXPOSURE WITH NO OUTSTANDING NATURAL FEATURES OR ADJACENT ARCHITECTURE THAT WOULD BLOCK OR IMPACT SOLAR ACCESS OR PREVAILING SOUTHERLY AND NORTHWESTERLY WINDS.
- THERE IS NO EXISTING VEGETATION ON-SITE OTHER THAN THE EXISTING SOD BETWEEN THE SIDEWALK AND THE CURB ALONG FRONT STREET.
- ALL STORM WATER RUNOFF FROM THE SITE WILL BE PICKED UP ON SITE BY STORM SEWERS AND TRANSPORTED TO THE EXISTING REGIONAL BASIN.
- SITE USE/NARRATIVE**
- THE PROPOSED DEVELOPMENT OF THE 50,424 SQ. FT. LOT WITH A 7,853 SQ. FT. DISCOUNT TIRE FACILITY WILL CREATE APPROXIMATELY 18,455 SQ. FT. OR 36.80% OF VISUALLY PLEASING, WATER CONSERVING LANDSCAPING.
- THE SITE HAS BEEN DESIGNED TO PULL THE BUILDING UP TO THE STREET EDGE ALONG FRONT STREET WHILE ORIENTING THE USE AREAS, SERVICE BAYS AND OFFICE, INTERNAL TO THE SITE. PARKING HAS BEEN PROVIDED ON-SITE IN SUCH A MANNER SO AS TO SCREEN IT FROM THE STREET AND MINIMIZE THE IMPACTS OF LONG RUNS OF PARKING STALLS.
- THE PHYSICAL CHARACTERISTICS OF THE SITE AS MENTIONED ON THE SITE ANALYSIS TOGETHER WITH THE PROPOSED BUILDING ORIENTATION ARE SUCH THAT THE ACTIVITY AREAS WILL EFFECTIVELY BE SCREENED FROM FOUNDERS PARKWAY, AND FRONT STREET, WHILE NOT TOTALLY SCREENED FROM ALLEN STREET, THE ORIENTATION IS SUCH THAT THE ACTIVITY IS AT RIGHT ANGLES TO THE STREET USING THE BUILDING ITSELF TO SCREEN THE WORK IN THE SERVICE BAYS.
- SITE SOILS DESCRIPTION**
- THE SITE SOILS CAN BE CHARACTERIZED AS A SANDY CLAY LOAM WITH .3% ORGANIC MATTER, A 7.8 PH DESIGNATION THAT ALLOWS FOR ADEQUATE PLANT GROWTH. FURTHERMORE, THE SITE SOIL RATES LOW IN THE FOLLOWING CATEGORIES: ORGANIC MATTER, NITROGEN, PHOSPHORUS, AND LIME. THE SOIL DRAINS AT A MODERATE RATE. THE SOIL TEST WAS PERFORMED ON OR ABOUT 10/11/2004 BY COLORADO STATE UNIVERSITY, SOIL WATER AND PLANT NUTRITION TESTING LABORATORY, LAB NUMBER: #234. THE FULL TEST IS ON FILE AS PART OF THIS PROJECT. PLEASE REFER TO THE LANDSCAPE NOTES FOR SOIL AMENDMENT AND FERTILIZER APPLICATION RATES.

#### PLANT SCHEDULE

ABB	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	REMARKS	IRRIGATION DEMAND
<b>EVERGREEN TREES</b>						
AUS	PINUS NIGRA	AUSTRIAN PINE	1	5 GAL.	CONT.	LOW
SBH	PICEA BUNGENS 'HOOPS'	HOOPS SPRUCE	3	5'	20# CONT.	MODERATE
SSE	PINUS EDULIS	PINON PINE	5	5'	B & B	LOW
<b>DECIDUOUS TREES</b>						
ABM	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	11	2"	B & B	VERY LOW
CA	FRAXINUS PENNSYLVANICA 'CINNAMON'	CINNAMON ASH	3	2"	B & B	VERY LOW
<b>EVERGREEN SHRUBS</b>						
PPC	JUNIPERUS X MEDIA 'FRITERANA COMPACT'	COMPACT FITZGERALD JUNIPER	39	5 GAL.	CONT.	LOW
HET	JUNIPERUS X MEDIA 'HETZI GLAUCA'	HETZ JUNIPER	23	5 GAL.	B & B	LOW
TU	JUNIPERUS SABINA TAMARISCOLOUM	TAMMY JUNIPER	30	5 GAL.	B & B	LOW
<b>DECIDUOUS SHRUBS</b>						
AW5	CHRYOPTERIS X CLAUDONENSIS	BLUE MIST SPIREA	59	5 GAL.	CONT.	VERY LOW
CHG	ARGYTOXYPHYLOS X COLORADENSIS	COLORADO MANZANITA	28	5 GAL.	CONT.	VERY LOW
DBS	RIBES CROURATI	CLOVE CURRANT	3	5 GAL.	CONT.	LOW
GLS	ROSA ARDMATICA 'GRO-LOW'	'GRO-LOW' SUIAG	31	5 GAL.	CONT.	VERY LOW
SMC	PEROVSKIA ARTIPUDIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	31	(CA) 1# GAL.	CONT.	VERY LOW
<b>PERENNIALS</b>						
BFE	FESTUCA GLAUCA 'ELVAH BLUE'	BLUE FESCUE	34	1 GAL.	CONT.	LOW
DL	HEMEROCALIS SPP	DAY LILY	53	1 GAL.	CONT.	LOW
RDN	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTRUM'	GOLDSTRUM CONEFLOWER	11	1 GAL.	CONT.	LOW
SMG	SALVIA X SUPERBA 'MAY NIGHT'	MAY NIGHT SAGE	20	1 GAL.	CONT.	MODERATE
SSU	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER	12	1 GAL.	CONT.	LOW

TOTAL PERENNIALS PROVIDED 134

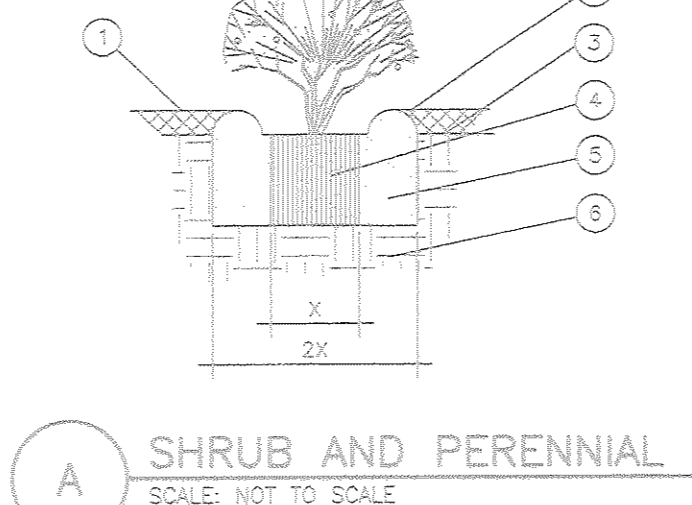
#### FRONT STREET



- TREE CANOPY
- NYLON TREE STRAPS AT ENDS OF WIRES - SECURE TO STAKE OR DEADMAN WITH NAILS
- 12 GAUGE GALVANIZED WIRE, SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- PRESSURE-TREATED WOOD STAKE, 2" DIA., EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE.
- MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 4" HIGH EARTHEN WATERING BASIN.

**NOTES:**

- SHRUB, PERENNIAL OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.



#### SHRUB AND PERENNIAL PLANTING

**CALL UTILITY NOTIFICATION CENTER OF COLORADO**  
1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

**FINAL PD SITE PLAN**  
**LOT 1-C, METZLER RANCH**  
**FILING No. 3, 4th AMENDMENT**

NWC ALLEN STREET AND FRONT STREET  
CASTLE ROCK, COLORADO

**DISCOUNT TIRE CO. INC.**  
6240 South Syracuse Way  
Greenwood Village, CO 80111  
303.770.8884  
www.discounttire.com

**Galloway**  
Planning, Architecture, Engineering  
5590 DTC Parkway, CO 80111  
303.770.8884  
www.gallowayus.com

Project No: 2030  
Sheet Scale: 1"=20'  
Designed By: JLP  
Drawn By: CcH  
Date: October, 2007  
Disk File: 7830\_P\_05\_C111-1-LAND

**LANDSCAPE PLAN**

5 OF 11

# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

#### IRRIGATION SCHEDULE

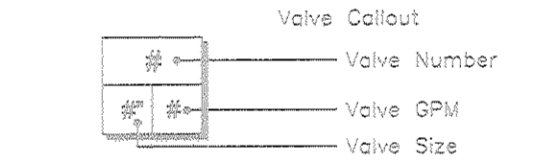
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ESL
	RAIN BIRD 1808-SAM-PRS 10 SERIES MPR TURF SPRAY 8" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR.	33	30
	RAIN BIRD 1808-SAM-PRS 12 SERIES MPR TURF SPRAY 8" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR.	42	30
	RAIN BIRD 1808-SAM-PRS 15 SERIES MPR TURF SPRAY 8" POPUP WITH CHECK VALVE AND PRESSURE REGULATOR.	28	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XEZ-100-B-COM DRIP 1" RAIN BIRD PRESS VALVE, QUICK CHECK FILTER, AND 40PSI PRESSURE REGULATOR KIT.	1	
	RAIN BIRD XEZ-100-PRF DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER.	3	
	RAIN BIRD MD0FCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	8	
	RAIN BIRD XBS DRIP BLACK STRIPE TUBING WITH GREEN STRIPE		
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-08-18 LANDSCAPE DRIPLINE WITH 0.90GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN.	192 S.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB ELECTRIC REMOTE CONTROL VALVE	22	
	RAIN BIRD 33D3C 3/4" QUICK COUPLER VALVE, TWO PIECE BODY, LOCKING COVER.	4	
	KSI LT-S BRASS BALL VALVE, SLIP X SLIP	2	
	RAIN BIRD ESP-100 1" RAIN BIRD 100' WIRELESS MODULAR RAIN SENSOR, INSTALL WITHIN 300 FT OF CONTROLLER, IN LINE OF SIGHT. 22-28 VAC/VDC 100 MA POWER FROM TIMER TRANSFORMER. MOUNT AS NOTED	1	
	FEB0 82SYA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1	
	WATER METER 3/4"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 ONLY LATERALS PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	2,090 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	720 L.F.	

#### EASEMENT SCHEDULE

- PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT TO BE DEDICATED BY SEPARATE DOCUMENTS
- DRAINAGE & PUBLIC UTILITY EASEMENT, REC. NO. 2003094053
- 10' UTILITY EASEMENT, REC. NO. 01055443
- 20' DRAINAGE EASEMENT, REC. NO. 2004005960
- 20' TREA EASEMENT SH. 1396-PD 1899
- 30' TRAFFIC SIGNAL EASEMENT BK. 1396-PD. 1877

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.



#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

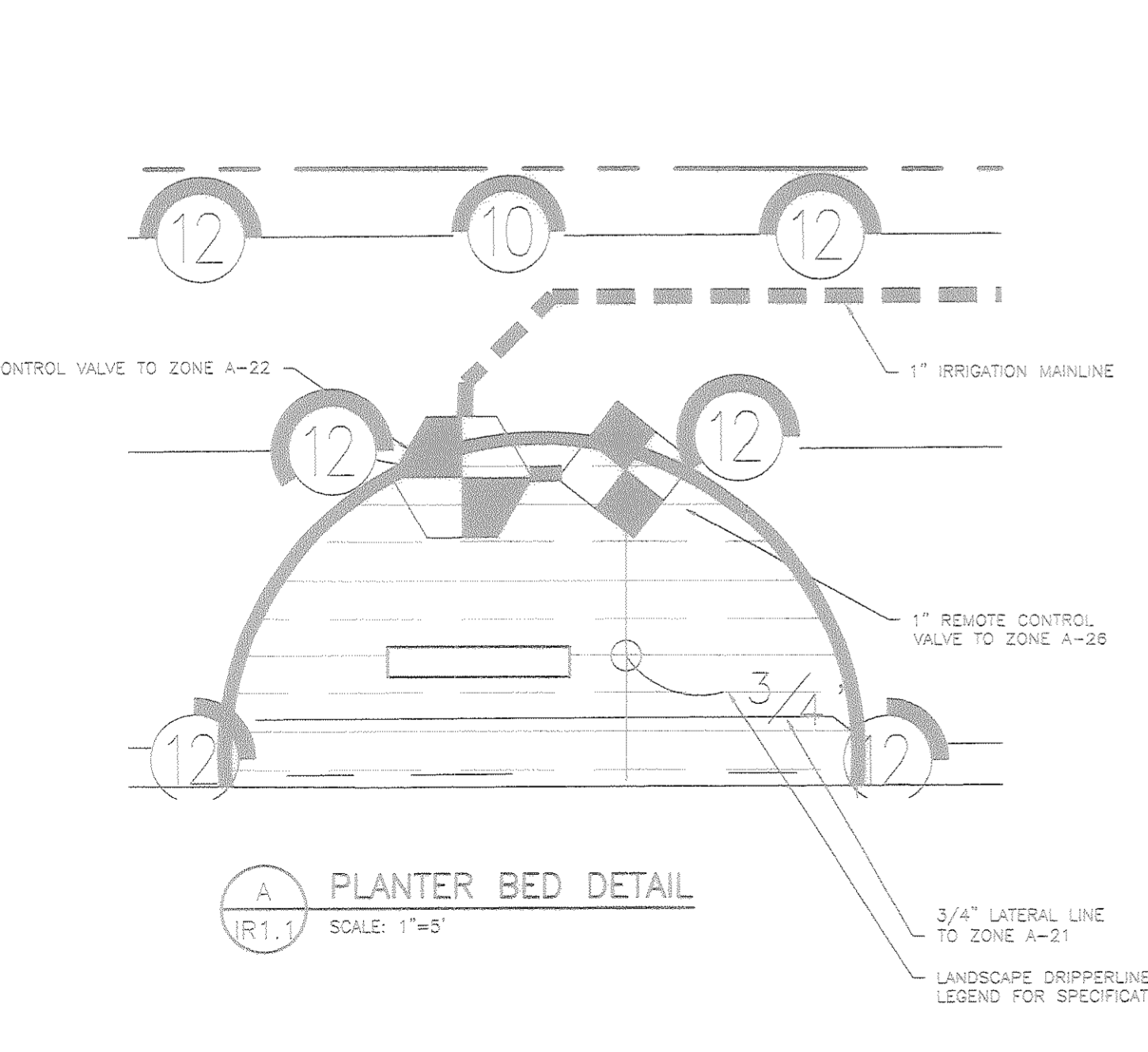
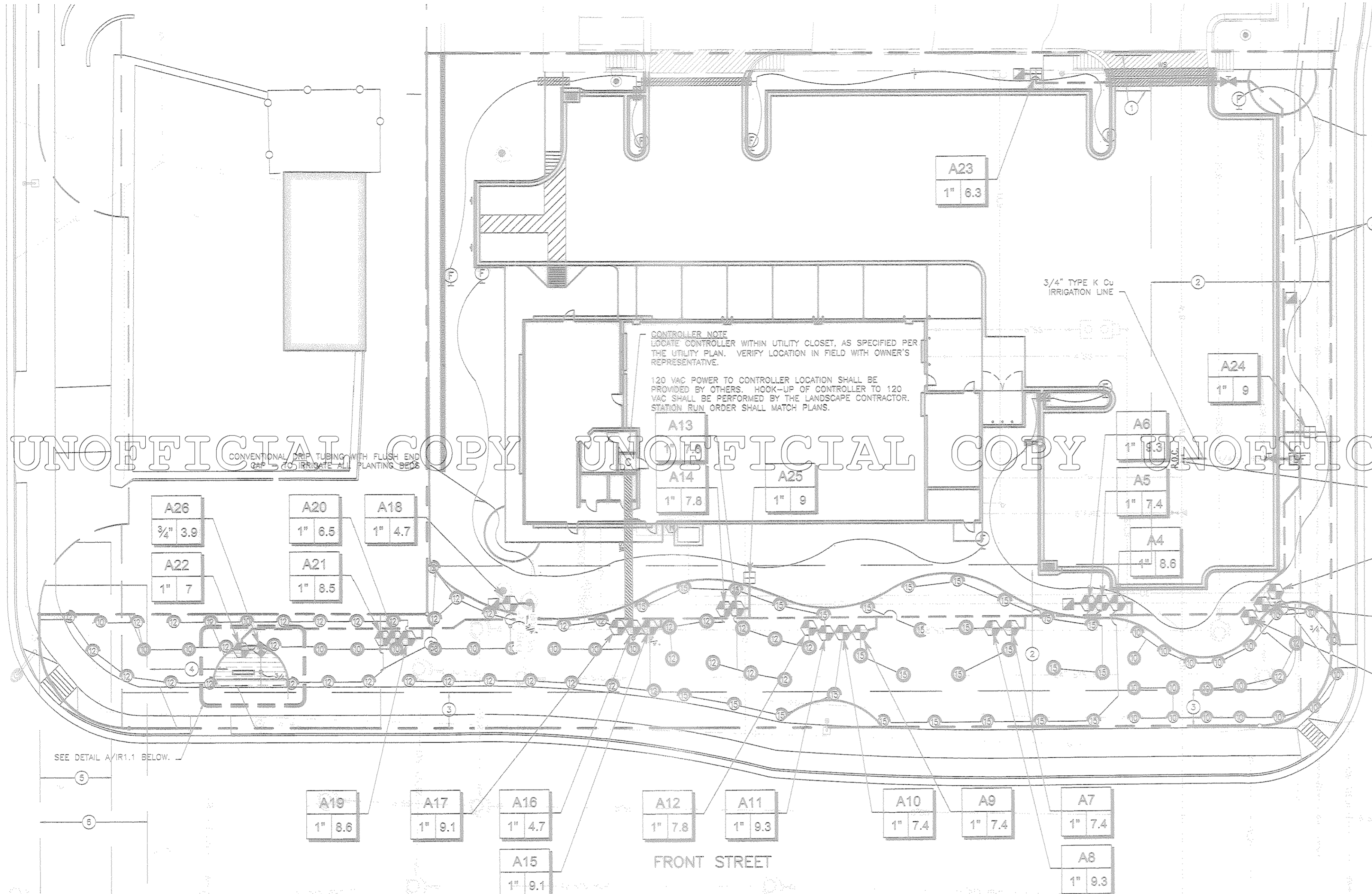
#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

#### DRIP EMITTER SCHEDULE

- DRIP EMITTER XB-20PC (20PH) PER 1 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 5 GALLON AND SMALLER
- DRIP EMITTERS XB-20PC (20PH) PER 15 GALLON AND SMALLER
- DRIP EMITTERS PC-07 (70PH) PER 1" TO 2-1/2" CALIPER TREE.

TOWN OF CASTLE ROCK REGISTRATION INFORMATION:  
CERTIFIED LANDSCAPE ARCHITECT TOM E. KUPCHO  
TOWN OF CASTLE ROCK REGISTRATION NUMBER #4198



#### NOTES:

- THE IRRIGATION LINE SHALL BE THE SAME SIZE FROM THE TAP, AT THE MAIN, TO A DISTANCE OF 10 PIPE DIAMETERS PAST THE BACKFLOW PREVENTION ASSEMBLY AND WINTERIZATION TEE. BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY TOWN OF CASTLE ROCK.
- SYSTEM DESCRIPTION: THE PLAN IS MIX OF CONVENTIONAL DRIP AND TRADITIONAL TURF SPRAY IRRIGATION. CONVENTIONAL DRIP IS EMPLOYED IN SPARSE PLANTING AREAS TARGETING INDIVIDUAL PLANTS WITH INDIVIDUAL EMITTERS. TRADITIONAL SPRAYS ARE TO BE USED FOR TURF GRASS AREAS.
- SYSTEM REQUIREMENTS: CONTRACTOR TO VERIFY STATIC AND WORKING PRESSURES AVAILABLE FOR THE IRRIGATION SYSTEM. PRESSURES SHALL BE A MINIMUM OF 30 PSI AND A MAXIMUM OF 80 PSI. SHOULD THE AVAILABLE PRESSURE FALL BELOW THE ACCEPTABLE RANGE THE CONTRACTOR SHALL RESIZE ZONES OR INCREASE THE SIZE OF THE IRRIGATION TAP TO BRING THE PRESSURE INTO ACCEPTABLE RANGE.
- PRODUCT/MATERIALS INFORMATION: CONTRACTORS UNFAMILIAR WITH IRRIGATION SYSTEM COMPONENTS SPECIES ARE ENCOURAGED TO CONTACT:  
MARK AUSTIN, RAIN BIRD CORPORATION  
(720)842-1848, E-mail: maustin@rainbird.com

#### GENERAL IRRIGATION NOTES

- REFER TO THE GENERAL CONSTRUCTION NOTES FOR GENERAL WORK PROCEDURES.
- REFER TO SPECIFICATIONS (AS APPROPRIATE) FOR SUBMITTALS, INSPECTIONS AND OTHER APPLICABLE INFORMATION.
- THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE EXISTED AT THE TIME OF THE IRRIGATION DESIGN PREPARATION. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT GIVEN, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY TO BRING THE SYSTEM TO A PROPER WORKING CONDITION, AND TO THE OWNER'S SATISFACTION.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, RETAINING WALLS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALL, UNDER ROADWAY PAVING, ETC.
- SEE UTILITY PLANS FOR IRRIGATION POINTS OF CONNECTION (TAP).
- THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION, AND SHALL REPORT ANY DIFFERENCES BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF THE IRRIGATION SYSTEM CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL CORRECT AND PAY FOR ANY WORK NECESSARY TO BRING THE SYSTEM TO A PROPER WORKING CONDITION.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN ON THE PLANS AND DETAILS. NO SUBSTITUTIONS OF EQUIPMENT WILL BE ACCEPTABLE WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE ALL UNAPPROVED SUBSTITUTED EQUIPMENT AT HIS OWN COST IF SO DIRECTED BY THE OWNER.
- WHEN INSTALLING IRRIGATION PIPE AND EQUIPMENT NEXT TO HARDSCAPE (SUCH AS WALLS, CURBS, OR WALKS), PLACE PIPE AS CLOSE AS POSSIBLE TO HARDSCAPE TO AVOID CONFLICTS WITH PLANTING.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLERS AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
- THE RAIN SENSOR SHALL BE LOCATED NEAR THE IRRIGATION CONTROLLER, AND SHALL BE MOUNTED AS SHOWN ON THE DETAIL. LOCATE SENSOR AWAY FROM TALL TREES, SHRUBS, AND OTHER POTENTIAL OBSTRUCTIONS.
- ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 10" ROUND VALVE BOXES WITH 3M'S "DRY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.

- CONTRACTOR SHALL PROVIDE #10 COMMON WIRE, DIRECT BURIAL TO ALL REMOTE CONTROL VALVES.
- CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DRY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).
- PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING - SEE SLEEVING NOTES.
- TRENCH BACKFILL MATERIAL SHALL BE FREE OF ROCKS, GLASS, AND OTHER EXTRANEOUS MATERIALS LARGER THAN 1" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO 80% MAXIMUM DRY DENSITY.
- WHERE VALVES ARE LOCATED IN CLOSE PROXIMITY TO EACH OTHER, CLUSTER VALVES INTO MANIFOLDS. INSTALL NO MORE THAN ONE VALVE PER VALVE BOX.
- AUTOMATIC DRAIN VALVES FOR FREEZE PROTECTION ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE THE LOW POINT IS AT THE END OF THE LINE, LOCATE DRAIN VALVE A MINIMUM OF 12' DOWNSTREAM FROM THE LAST SPRINKLER HEAD. SEE DETAIL FOR VALVE ORIENTATION.
- USE TEFLON TAPE ON ALL PVC MALE PIPE THREADS ON ALL SWING JOINT AND VALVE ASSEMBLIES.
- ALL IRRIGATION HEADS, INCLUDING FIXED-SPRAY, ROTOR, BUBBLER, AND DRIP DEVICES, SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED.
- EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, IT IS THE INTENT OF THE IRRIGATION DESIGN TO INDICATE ALL SPRAY AND ROTOR HEADS AS "POP-UP'S". IN THE EVENT THAT POP-UP HEADS HAVE NOT BEEN SPECIFIED IN TURF AREAS, IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING AND CONSTRUCTION.
- ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEAD STAKING SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION. STAKED LOCATIONS SHALL BE SPACED TO PROVIDE HEAD-TO-HEAD COVERAGE.
- FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERTSPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST NOZZLE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED 80 THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH THE ADJACENT SIDEWALK, OR PAVING. ALL POP-UP HEADS AWAY FROM HARDSCAPE EDGES IN TURF SHALL BE 1" ABOVE THE FINISH GRADE TO PREVENT CONTACT WITH MOWERS.
- UPON COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM, IRRIGATION CONTRACTOR SHALL PROVIDE THE FOLLOWING:
  - ACCURATE AND COMPLETE "AS BUILT" PLANS OF IRRIGATION SYSTEM INCLUDING 8-1/2" X 11" ZONE MAP TO BE PLACED INSIDE CONTROLLER BOX.
  - ONE HOUR OF TRAINING TO OWNER ON IRRIGATION SYSTEM AND CONTROLLER OPERATION.
  - THREE OF EACH TYPE OF HEAD AND EMITTER INSTALLED.
  - 100 LINEAR FEET OF DRIPPERLINE.
  - ONE OF EACH TYPE OF VALVE INSTALLED.
- THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ANYTHING DAMAGED BY HIS WORK, UNLESS OTHERWISE SPECIFIED, AT NO ADDITIONAL COST TO THE OWNER.

DATE	
DRAWN BY	
DES. BY	
REVISION	
No.	

**Galloway**  
Planning, Architecture, Engineering  
6500 DTC Parkway, Suite 200, Castle Rock, CO 80111  
303.770.8864  
303.770.3535 F  
www.gallowaylls.com

**DISCOUNT**  
THE CO. INC.

5400 S. York Street, Suite 100, Castle Rock, CO 80111  
303.770.8864  
303.770.3535 F  
www.discountthe.com

**FINAL PD SITE PLAN**  
**LOT 1-C, METZLER RANCH**  
**FILING No. 3, 4th AMENDMENT**

NWC ALLEN STREET AND FRONT STREET  
CASTLE ROCK, COLORADO

Project No: 7230  
Sheet Scale: 1"=20'  
Designed By: TEK  
Drawn By: CWG  
Date: OCTOBER, 2007  
Disk File: 0319\_P\_06\_IR1.X-irr.dwg

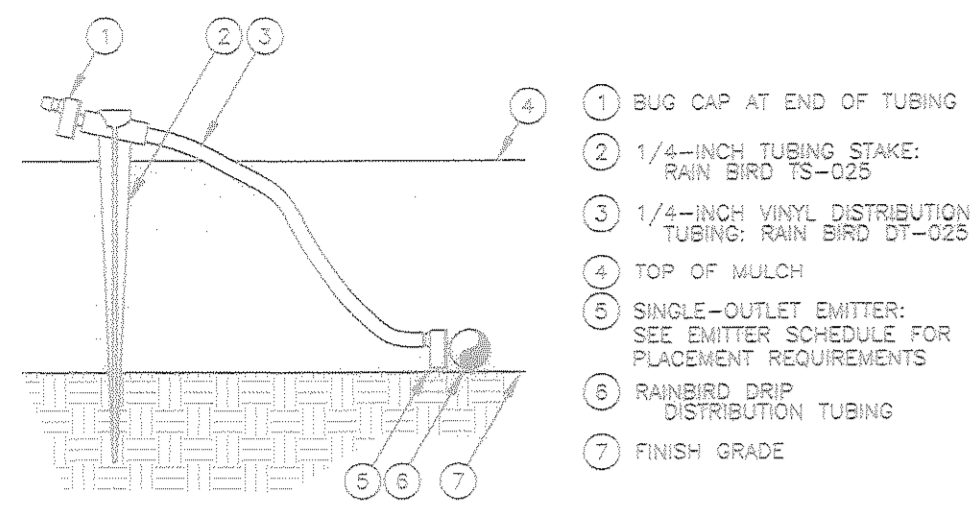
**IRRIGATION PLAN & NOTES**

6 OF 11

# FINAL PD SITE PLAN

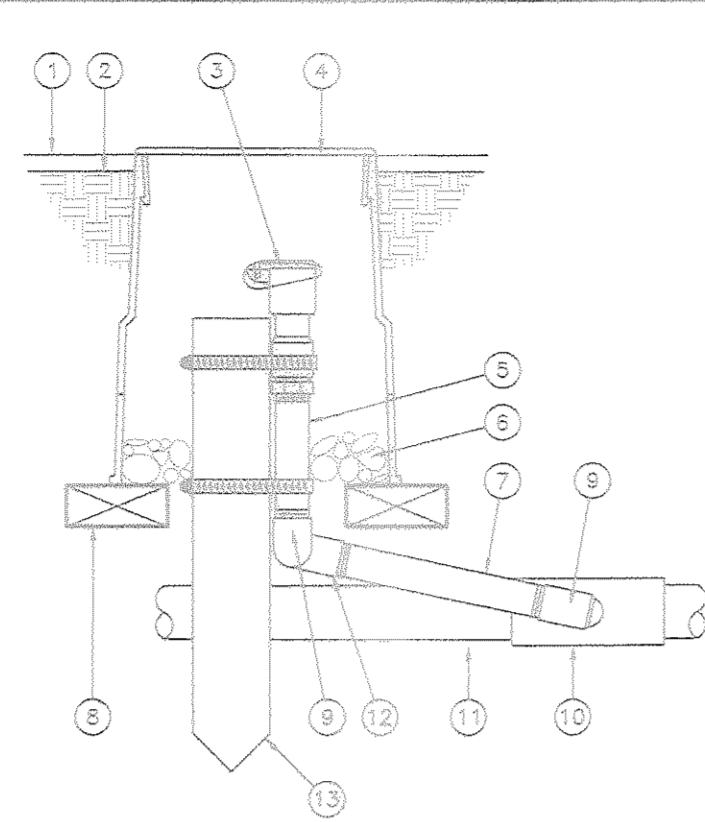
## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

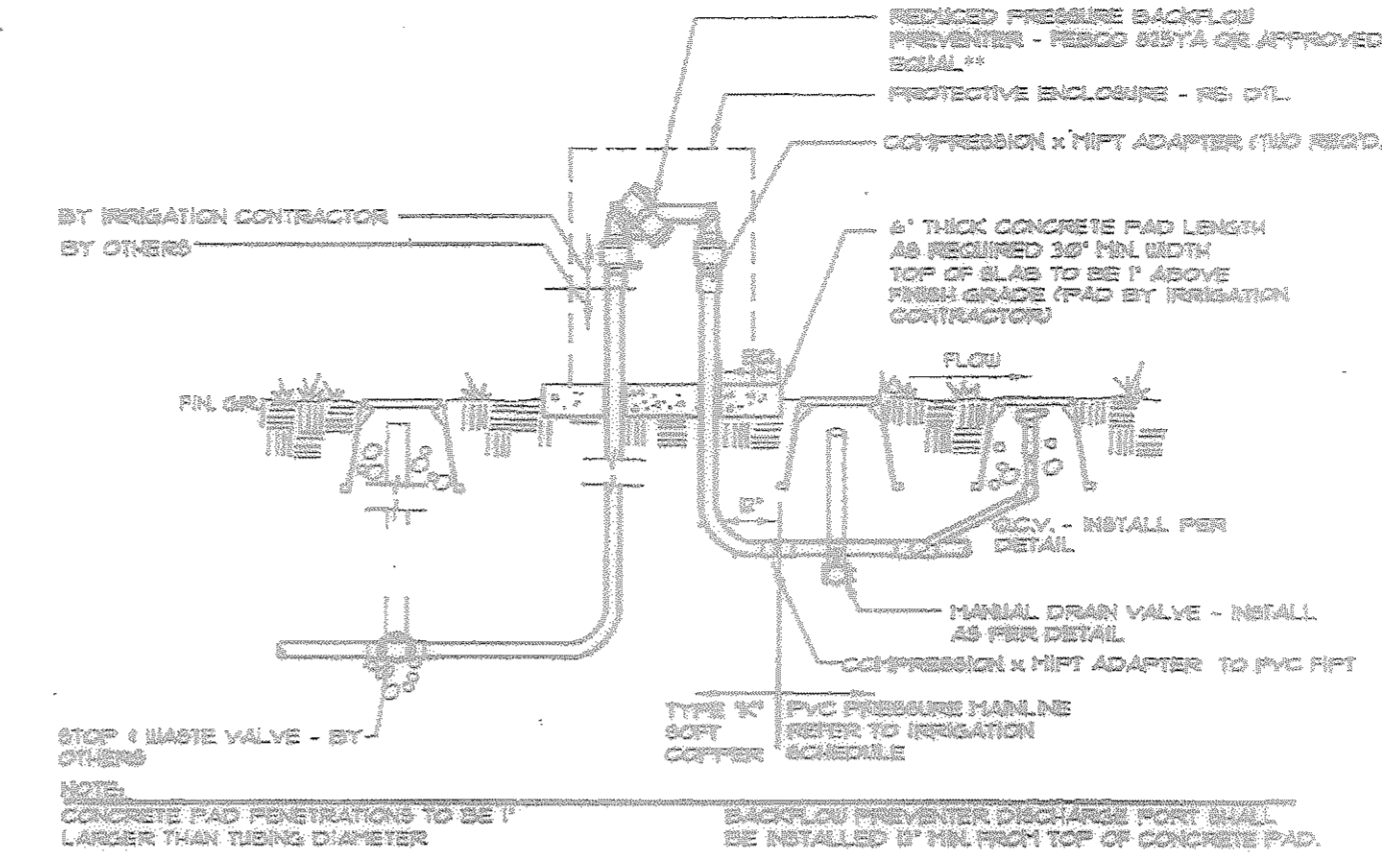


NOTE: 1. USE RAIN BIRD BUG GUN MODEL EMA-BG TO INSERT BARB CONNECTOR DIRECTLY INTO XERITUBE.

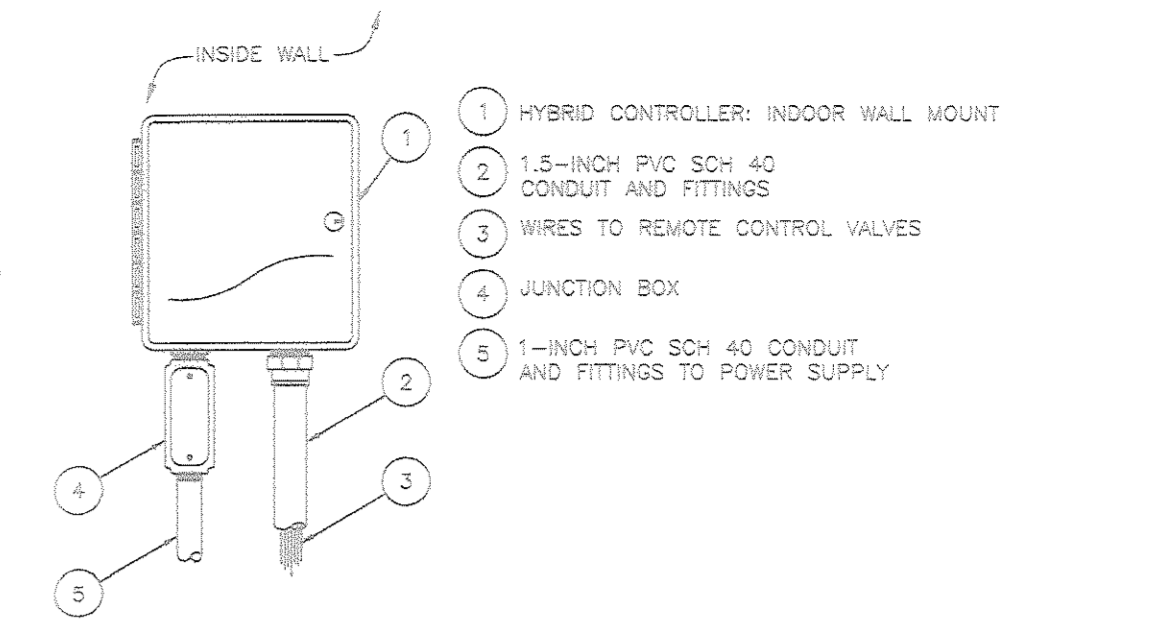
**J SINGLE-OUTLET DRIP EMITTER WITH BUG EMITTER & STAKE**  
SCALE: NOT TO SCALE



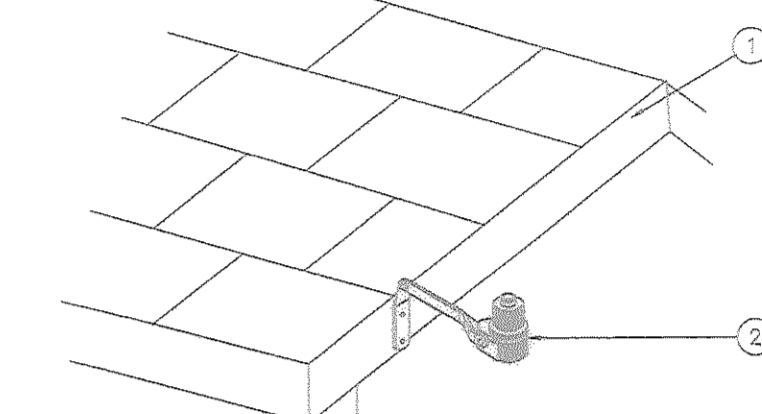
**G QUICK COUPLER**  
SCALE: NOT TO SCALE



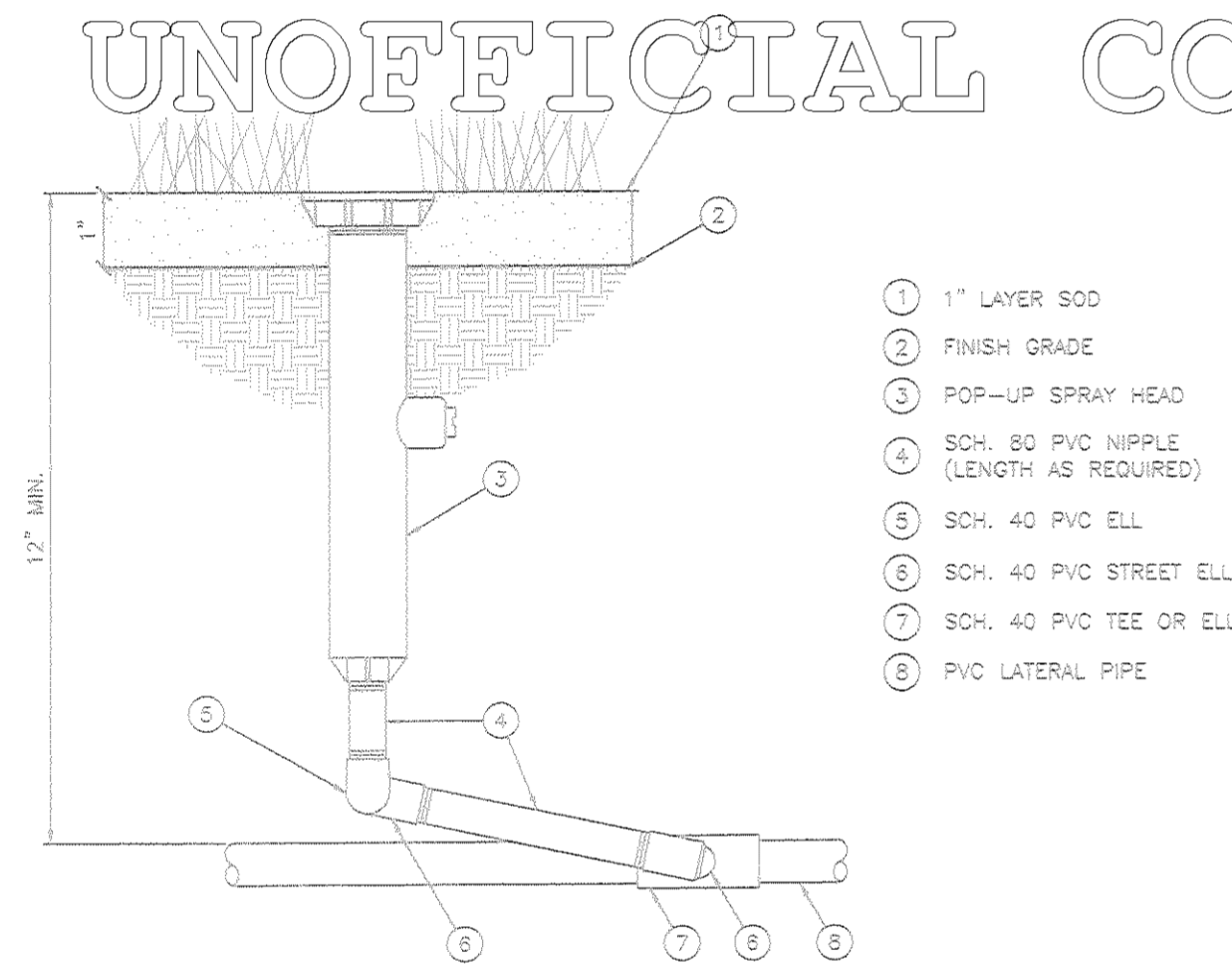
**E CASTLE ROCK 3/4" IRRIGATION TAP DIAGRAM**  
SCALE: NOT TO SCALE



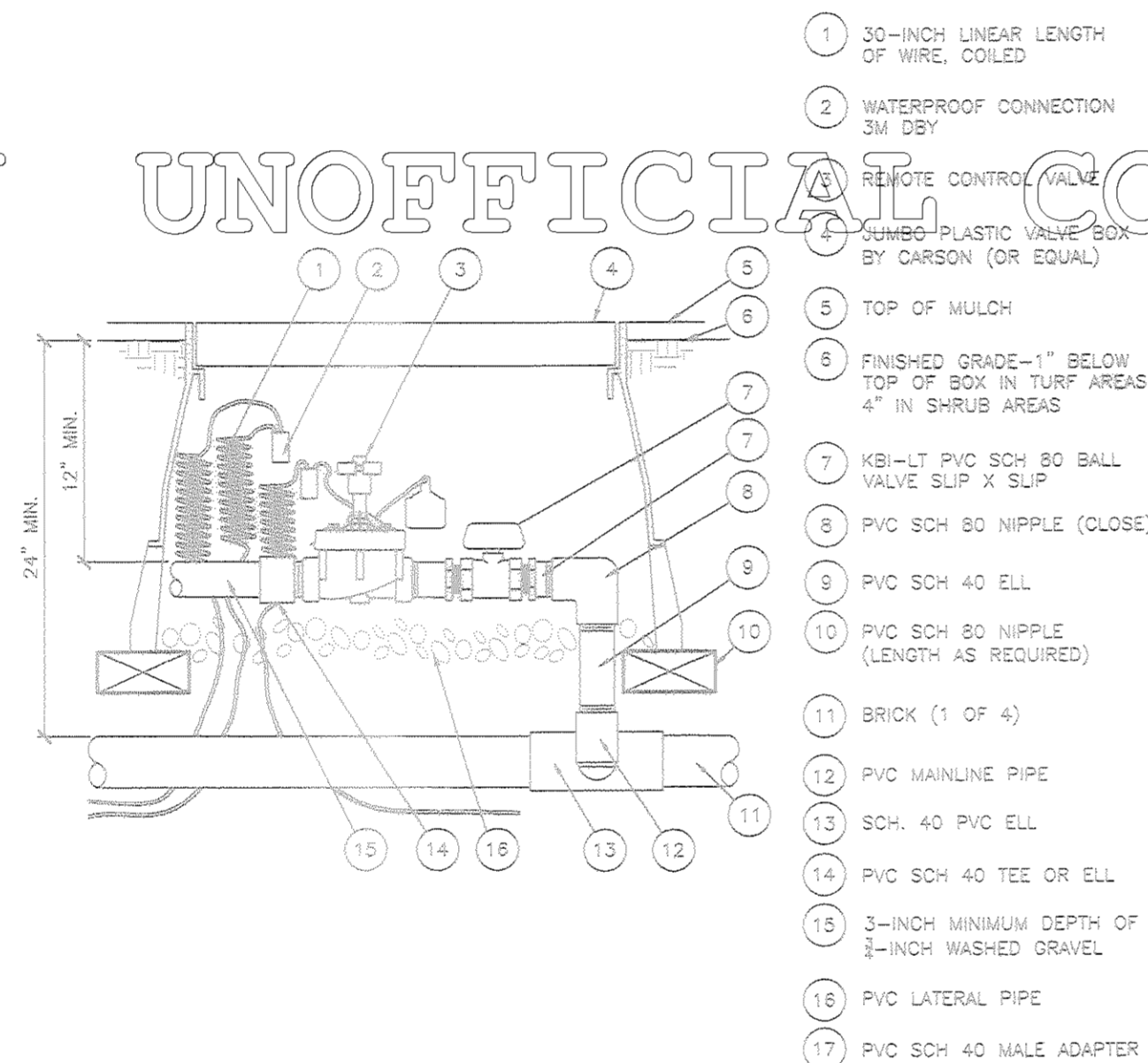
**A RAINBIRD ESP-LX MODULAR SERIES CONTROLLER**  
SCALE: NOT TO SCALE



**B ROOF MOUNT RAIN SENSOR**  
SCALE: NOT TO SCALE



**K POP-UP SPRAY HEAD**  
SCALE: NOT TO SCALE



**H REMOTE CONTROL VALVE**  
SCALE: NOT TO SCALE

**REDUCED PRESSURE ASSEMBLY INSTALLATION REQUIREMENTS**

THE REDUCED PRESSURE ASSEMBLY MUST NOT BE INSTALLED IN A LOCATION WHERE IT MAY BE SUBMERGED OR WATER A. THERE SHALL BE NO TIGHT BY HARDY INSTALLATIONS UNLESS THERE IS A MINIMUM TWICE THE DIAMETER ASSEMBLY TO DRIFT. THIS COULD BE A WALLSIDE VALVE WHERE ONE SIDE IS OPEN FOR DRAINAGE BUT WILL ALLOW PROTECTED FROM FREEZING.

B. THE "RP" SHALL NOT BE INSTALLED IN A VERTICAL POSITION UNLESS THERE IS SPECIFIC APPROVAL FROM THE PARTICULAR MAKE AND MODEL OF DEVICE. AS OF THIS WRITING THERE IS NO SUCH APPROVAL. SOME MANUFACTURERS INSTALLATION INSTRUCTION INDICATE A VERTICAL POSITION IS ALLOWED. THESE SHOULD NOT BE FOLLOWED UNLESS THE ABOVE APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT.

2. BASEMENT INSTALLATION, ALTHOUGH A FORM OF PIT, ARE ALLOWED IF THE FOLLOWING CONDITIONS ARE MET.

A. A DRAIN LARGE ENOUGH TO ALLOW THE MAXIMUM FLOW OF WATER THE SIZE OF "RP" IS CAPABLE OF DISCHARGING UNDER TWICE (2X) THE NORMAL STATIC WATER PRESSURE FOR THE SYSTEM TO DAYLIGHT.

B. SOME TYPE OF HIGH WATER ALARM SYSTEM INSTALLED TO NOTIFY PERSONNEL OF A PROBLEM OCCURRING IN THE AREA AND/OR

C. NO ELECTRICAL COMPONENTS IN THE SAME GENERAL AREA OF THE ASSEMBLY.

3. ONLY FACTORY SUPPLIED FUNNELS SHALL BE USED TO REMOVE THE PERIODIC DISCHARGE FROM THE ASSEMBLY AND THE FLOW SYSTEM MUST HAVE ADEQUATE AIR GAP AT THE TERMINATION OF THE RUN.

4. FREEZING WEATHER AND OTHER CLIMATIC CONDITIONS MUST BE TAKEN INTO CONSIDERATION WHEN INSTALLING ANY BACKFLOW PREVENTER OUTSIDE OF A PROTECTIVE ENCLOSURE.

5. PLACES OF BUSINESS THAT CANNOT BE WITHOUT A CONTINUOUS SUPPLY OF WATER MUST INSTALL A DUAL INSTALLATION, THAT IS TWO "RP" ASSEMBLIES IN PARALLEL ON THE MAIN SERVICE LINE.

6. REDUCED PRESSURE BACKFLOW PREVENTERS INSTALLED ON DEAD END LINES WILL TAKE SOME SPECIAL CARE. FIRE LINES ARE AN EXAMPLE OF THIS TYPE OF INSTALLATION. WHEN THE MAIN LINE PRESSURE FLUCTUATES, THERE WILL BE A DISCHARGE FROM THE "RP" RELIEF UNIT TO STABILIZE THE ZONE PRESSURE, AND IF FLOW ALARMS ARE INSTALLED THEY MAY BE ACTIVATED. THERE ARE TWO WAYS TO REDUCE THIS PROBLEM LISTED BELOW:

A. A SOFT SEATED SINGLE CHECK VALVE INSTALLED UPSTREAM OR AHEAD OF THE "RP" UNIT WILL STOP OR REDUCE THIS PROBLEM WITHOUT AFFECTING THE OPERATION OF THE ASSEMBLY.

B. A PRESSURE REGULATING VALVE PLACED UPSTREAM OR AHEAD OF THE "RP" ASSEMBLY AND SET AT A PRESSURE AT OR LESS THAN THE LOWEST PRESSURE DROP THAT OCCURS.

C. EITHER OF THESE OPTIONS WILL CREATE ADDITIONAL FLOW LOSS FOR THE FIRE SYSTEM AND MUST BE CONSIDERED BEFORE ACTUAL INSTALLATION IS DONE.

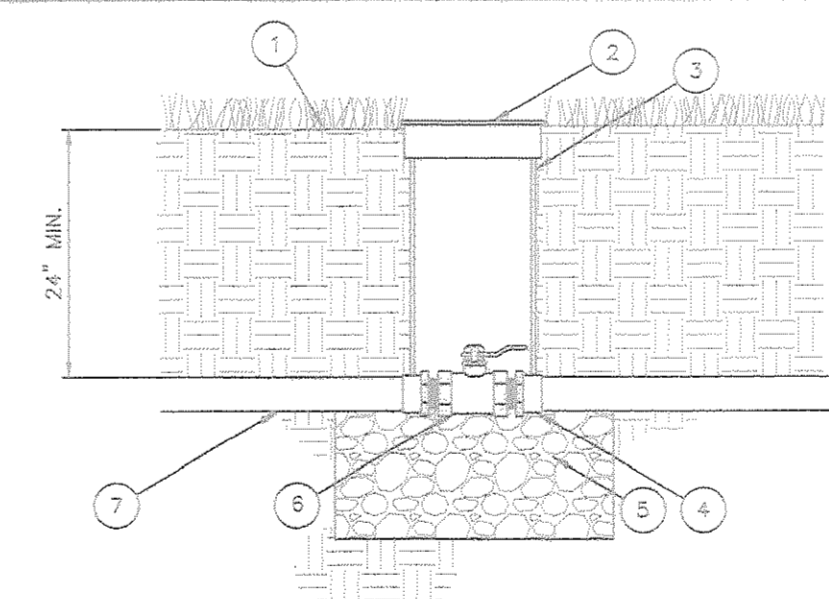
D. THIS SAME METHOD MAY BE USED ON INSTALLATIONS WHERE GREAT MAIN LINE FLUCTUATION BECOMES A NUISANCE ON ASSEMBLIES INSTALLED IN BUILDINGS.

7. ALL ASSEMBLIES INSTALLED WITHIN A CONFINED AREA SHOULD MAINTAIN THE MINIMUM SPACING LISTED BELOW.

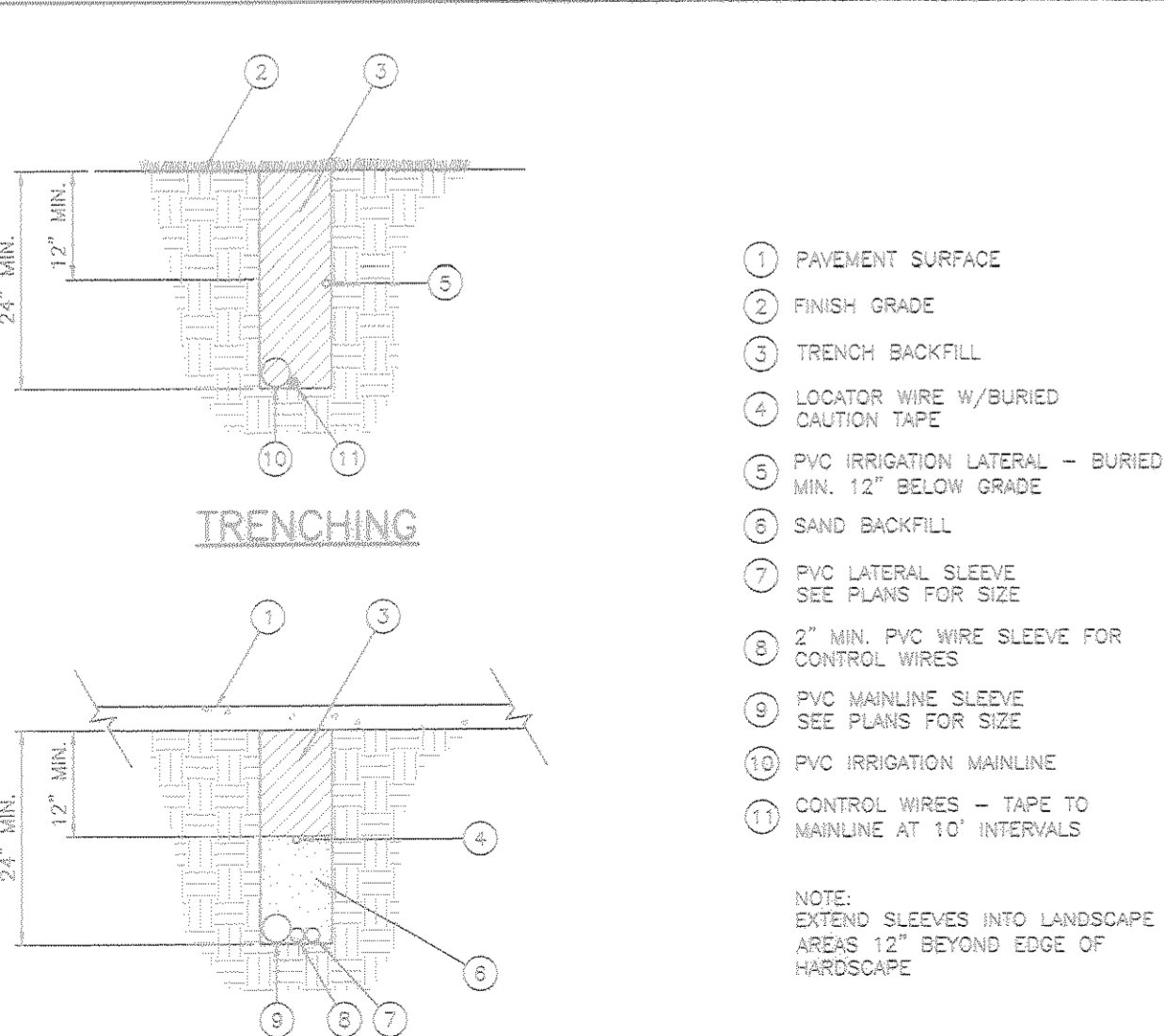
A. WHEN THE TEST COCKS ARE FACING THE WALL THERE SHOULD BE A MINIMUM OF 24 INCHES (24") FROM THE ASSEMBLY AND THE WALL.

B. WHEN THE TEST COCKS ARE FACING AWAY FROM THE WALL THERE SHOULD BE A MINIMUM OF TWELVE INCHES (12") FROM THE NEAREST WALL.

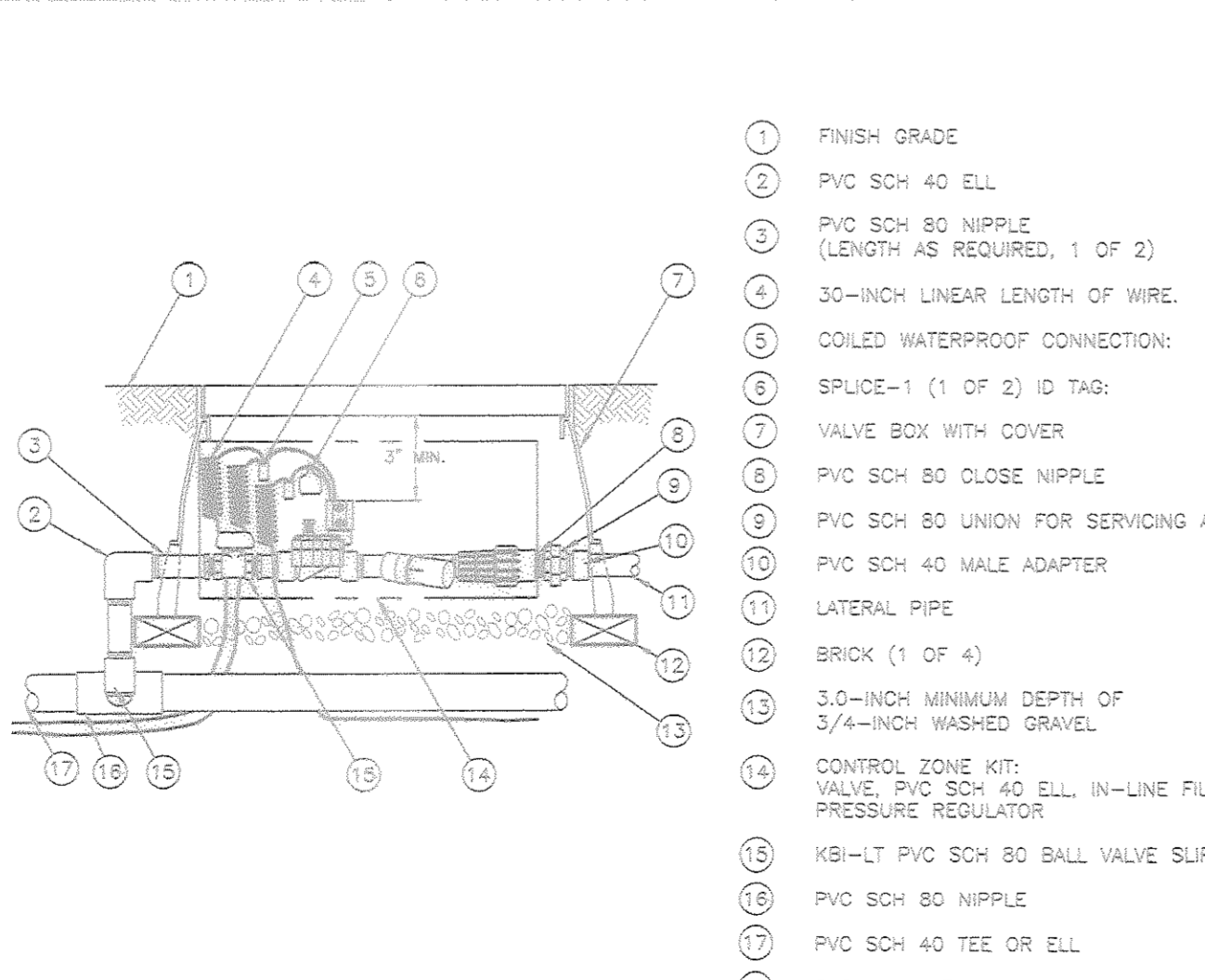
C. ADJACENT AND OPPOSING WALLS MUST ALLOW ENOUGH ROOM FOR TESTING AND MAINTENANCE. THIS IS GENERALLY LEFT TO THE DISCRETION OF THE LOCAL AUTHORITY BUT SHOULD BE NO LESS THAN THREE FEET (3') OF AIR SPACE IN FRONT OF AND ABOVE THE ASSEMBLY. NOTE: CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT FOR THEIR REGULATIONS AND REQUIREMENTS FOR VARIANCES FROM THE STANDARD.



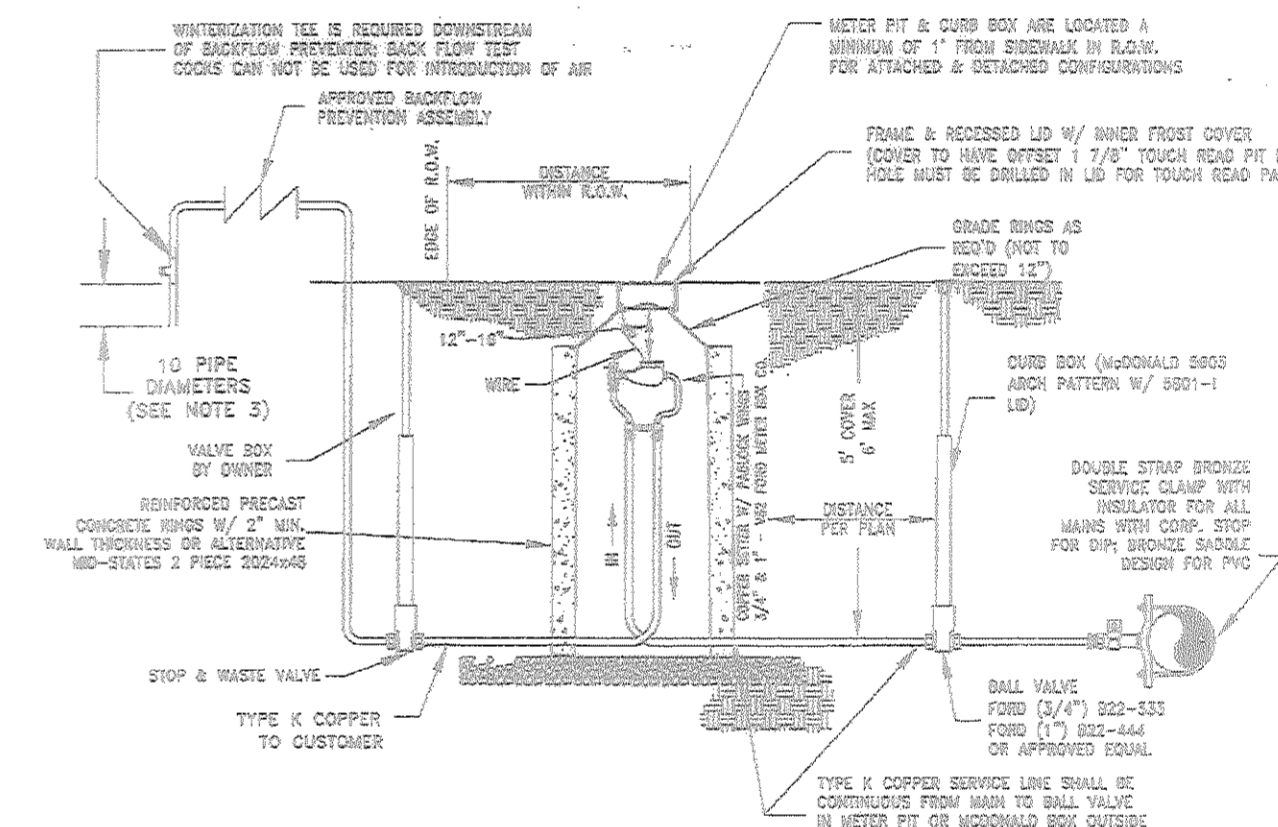
**F BRASS BALL VALVE**  
SCALE: NOT TO SCALE



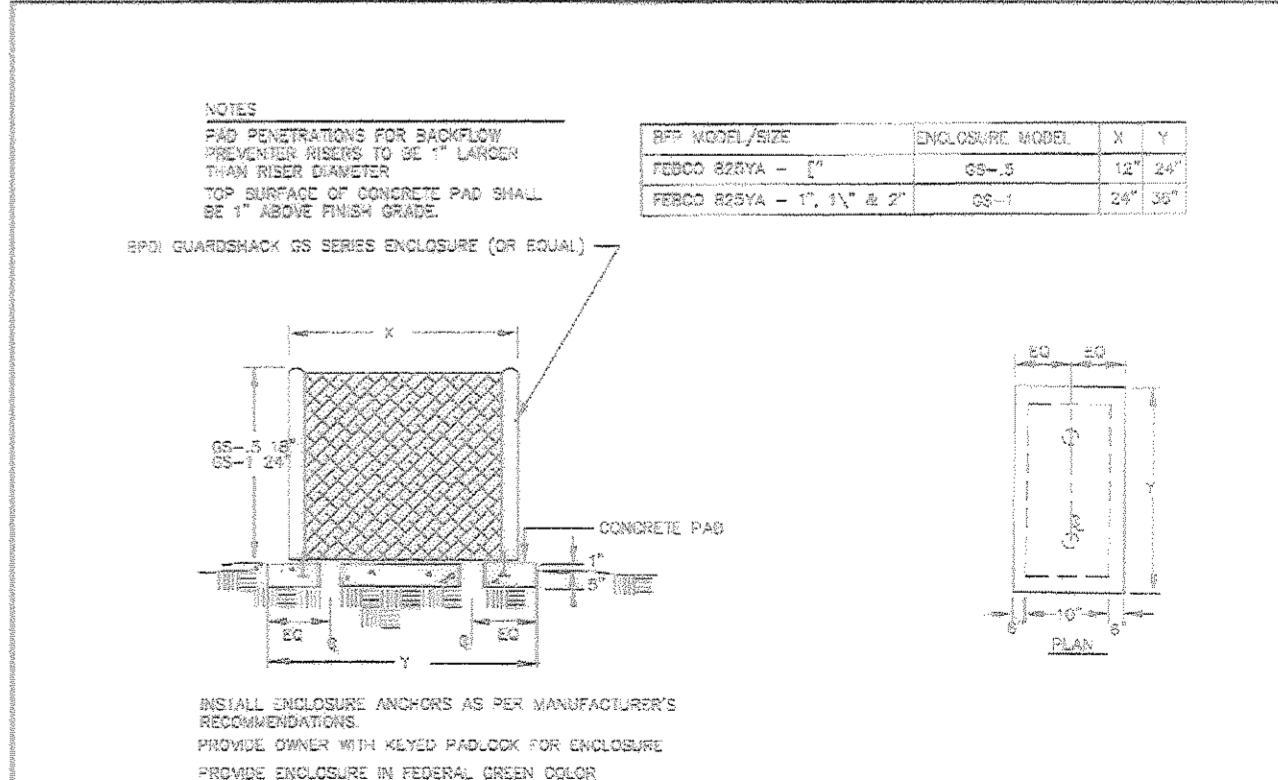
**L PIPE AND SLEEVE INSTALLATION**  
SCALE: NOT TO SCALE



**I MEDIUM FLOW CONTROL ZONE KIT**  
SCALE: NOT TO SCALE



**C CASTLE ROCK 3/4" IRRIGATION TAP DIAGRAM**  
SCALE: NOT TO SCALE



**D CASTLE ROCK BACKFLOW ENCLOSURE**  
SCALE: NOT TO SCALE

DATE

DRAWN BY

DES. BY

REVISION

No.

Project No: Z030

Sheet Scale: NTS

Designed By: TK

Drawn By: CWG

Date: OCTOBER, 2007

Disk File: 7030\_P\_06\_IR1-X-irc.dwg

**7 OF 11**

**Galloway**  
 Planning, Architecture, Engineering  
 5500 DTC Parkway  
 Greenwood Village, CO 80111  
 303.770.8888  
 www.gallowayus.com

**DISCOUNT**  
 TUBE CO. INC.  
 6300 South Syracuse Way  
 Greenwood Village, Colorado 80111  
 Tel: (303) 773-8884

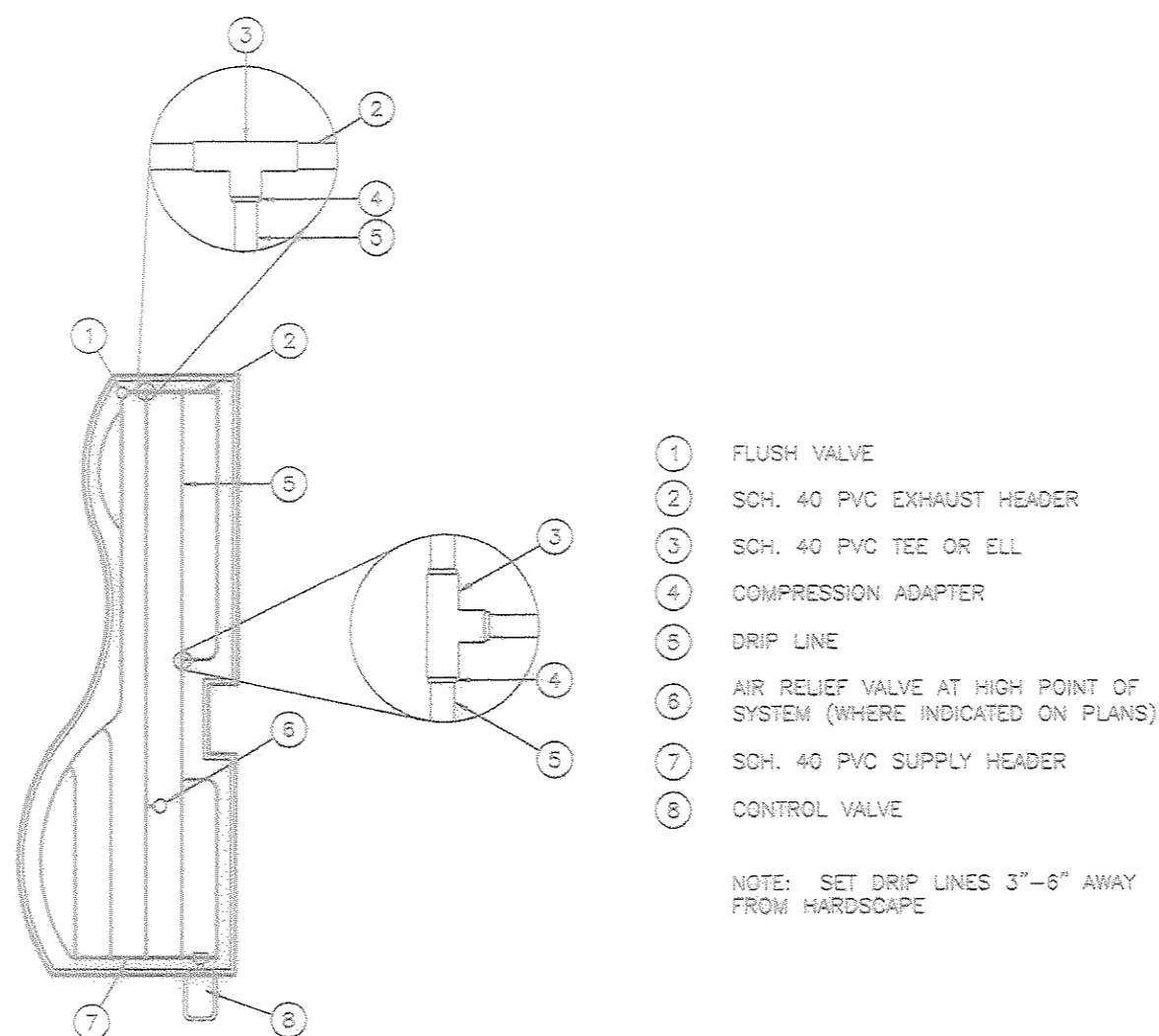
**FINAL PD SITE PLAN**  
**LOT 1-C, METZLER RANCH**  
**FILING No. 3, 4th AMENDMENT**  
 NWC ALLEN STREET AND FRONT STREET  
 CASTLE ROCK, COLORADO

**IRRIGATION**  
**DETAILS**

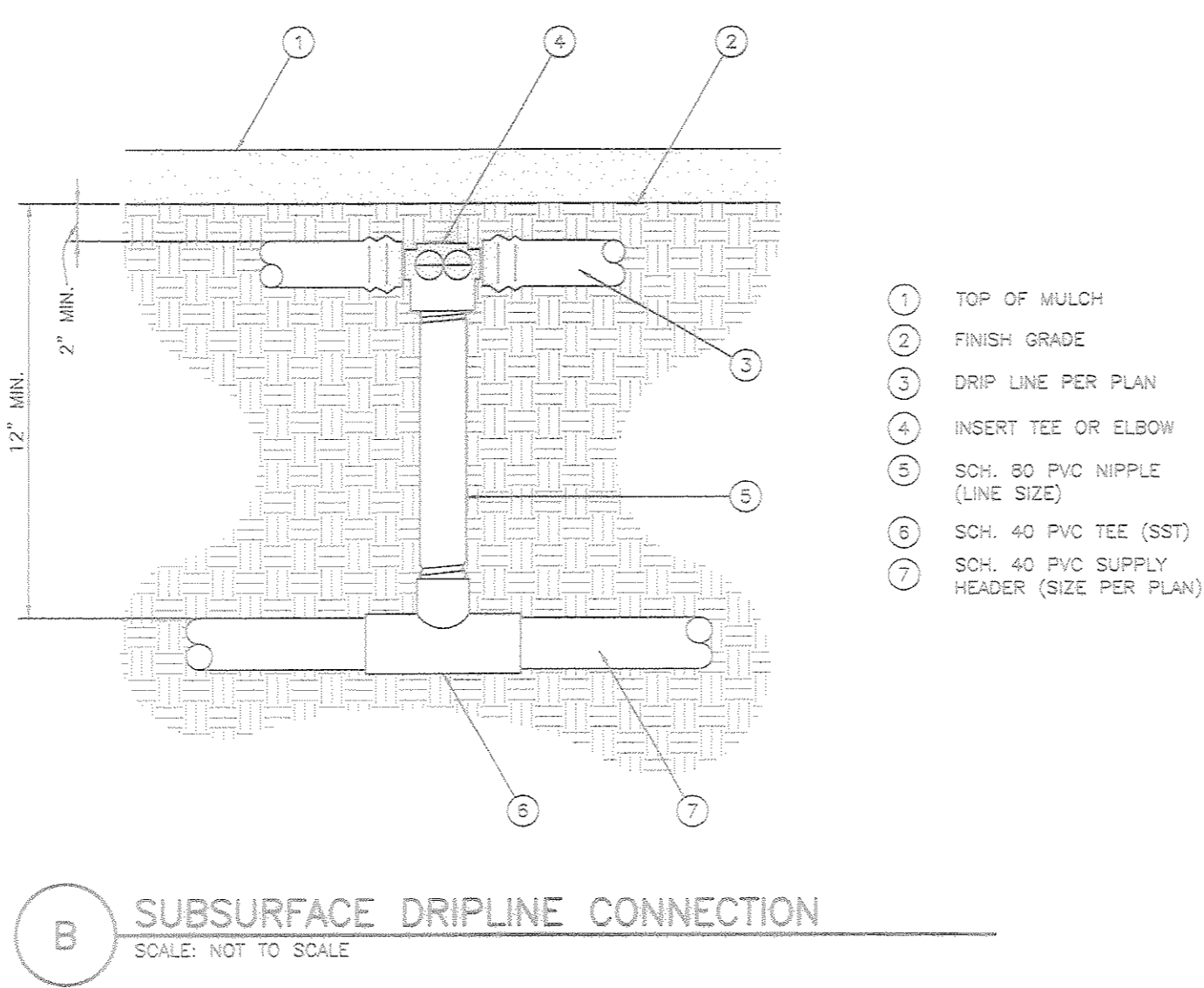
# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



**A** SUBSURFACE DRIP LINE LAYOUT  
SCALE: NOT TO SCALE



**B** SUBSURFACE DRIPLINE CONNECTION  
SCALE: NOT TO SCALE

#### Town of Castle Rock Irrigation System Hydraulic Worksheet

**Project Name:** Discount Tire  
**Project Location:** NWC Allen Street & Front Street, Castle Rock, CO

**Prepared by:** Thomas Kupcho  
**Current TOCR Registration #:** 1498  
**Date:** November 19, 2007

**Tap Size:** 3/4" **Static Water Pressure:** 117.00 **From:** Chad Goodale of Galloway

Pl. of Copper	Pipe Size (K Copper)	Loss From Chart	Flow-GPM	Loss/Gain
Svc Line (top to meter):	3/4" K Copper	13.08 /100 FT	10	4.19
Water Meter:			10	1.60
Two Line meter to backflow:	3/4" K Copper	13.08 /100 FT	10	0.65
Backflow:			10	12.00
Master Valve:			10	n/a

**Pressure Required at Head:** 30.00  
**Lateral Allowance:** 2.15  
**Control Valve allowance:** 1.80

**Mainline allowances:** 1.00 @ 1.00 GPM - Looped, 2.18 @ 100 FT, 1.12 @ 100 FT

**Elevation:** Tap elev. 6252.5 High/Low: 6243 -4.53

**Total System requirements (PSI):** 55.19  
**Available pressure (PSI):** 117.00

#### IRRIGATION CHART

**Contact Information**  
Registered Landscape: Thomas E. Kupcho  
Company Name: Galloway  
Address: 8520 DTC Parkway, Greenwood Village, CO 80111  
Phone: 303.770.8854 Email: tomkupcho@gallowayus.com  
Registration # 1498 Design  Maintenance

Zone	Hydrozone Low (L) Medium (M) High (H)	Plant Type (Turf, Native, Shrubs, Perennials, Trees, Annular, etc.)	Head Type (Robos, Sprays, Bubbles, Drip, SCL, etc.)	Nozzle (Nozzle/ Emitter size)	App. Rate (Inches/hour)	GPM (Per Zone)	Inches/Month (Peak not to exceed 6"/month or 1.67"/week)	Run Time (Minutes/ Month)	Run Time (Minutes/Cycle Based on 10 cycles/month)	Water Usage (Gallons per month)
21	L	Buffalo Grass	Spray Heads	12"	2.01	7.80	1	30	3	233
22	L	Buffalo Grass	Spray Heads	12"	2.01	7.80	1	30	3	233
23	M	Shrub Bed	Drip		0.32	6.30	1.43	288	27	1889
24	M	Shrub Bed	Drip		0.32	6.30	1.43	288	27	2413
25	M	Shrub Bed	Drip		0.32	6.30	1.43	288	27	2413
26	M	Shrub Bed	Spray Heads	5"	1.88	3.80	1.43	54	6	212
27								0	0	0
28								0	0	0
29								0	0	0
30								0	0	0
31								0	0	0
32								0	0	0
<b>Total</b>								<b>1,889</b>	<b>187</b>	<b>12,392</b>

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

NO.	REVISION	DRAWN BY	DATE

Galloway Planning, Architecture, Engineering  
6350 DTC Parkway, Greenwood Village, CO 80111  
Phone: 303.770.8854 Fax: 303.770.8855  
www.gallowayus.com

Discount Tire Co. Inc.  
6300 South Syracuse Way  
Greenwood Village, Colorado 80111  
Tel: (303) 773-8851

FINAL PD SITE PLAN  
LOT 1-C, METZLER RANCH  
FILING No. 3, 4th AMENDMENT

NWC ALLEN STREET AND FRONT STREET  
CASTLE ROCK, COLORADO

Project No: Z030  
Sheet Scale: NTS  
Designed By: TEK  
Drawn By: CWG  
Date: OCTOBER 2007  
Disk File: Z030\_P\_08\_IR1.X-irr.dwg

IRRIGATION  
DETAILS &  
SCHEDULE

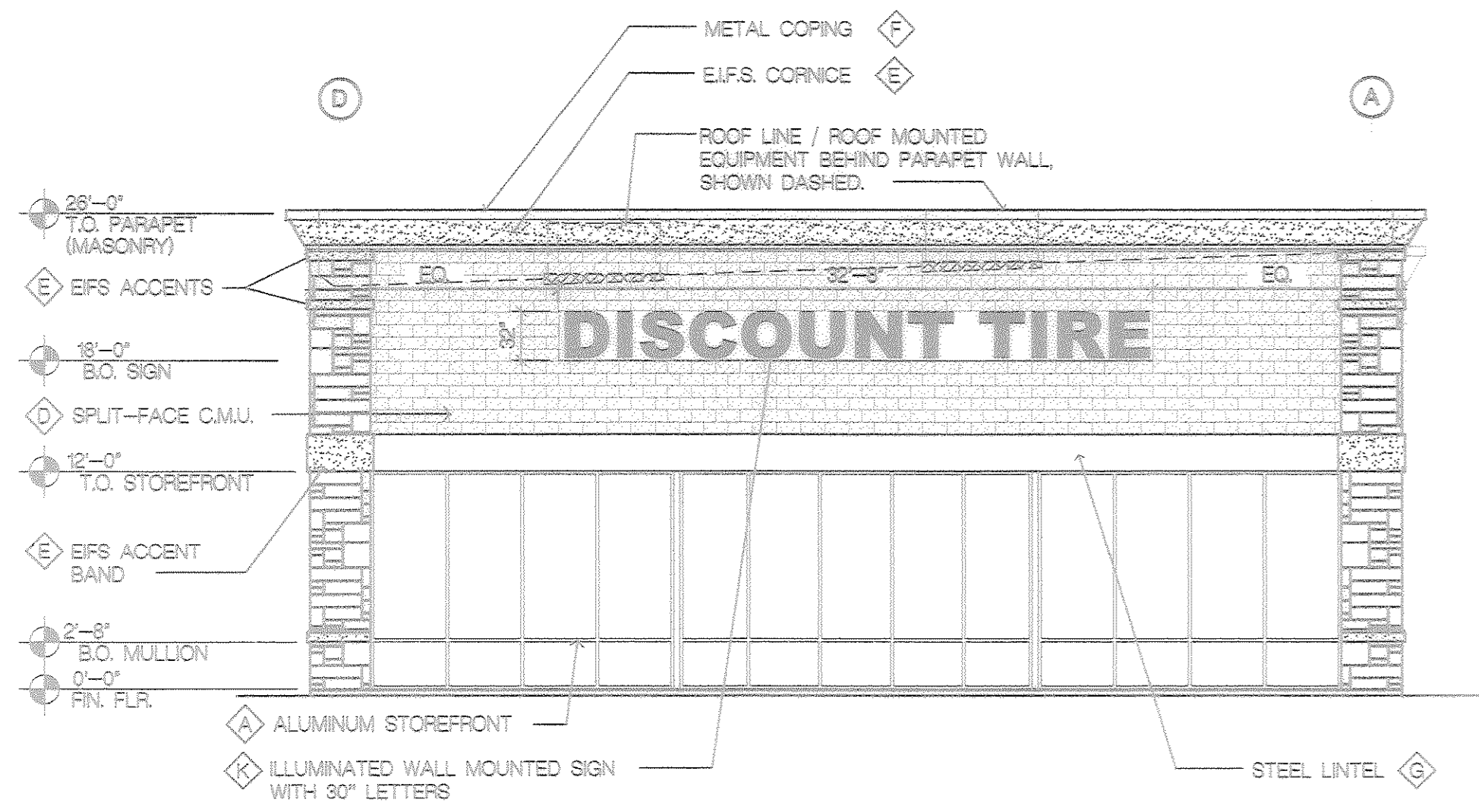
8 OF 11



# FINAL PD SITE PLAN

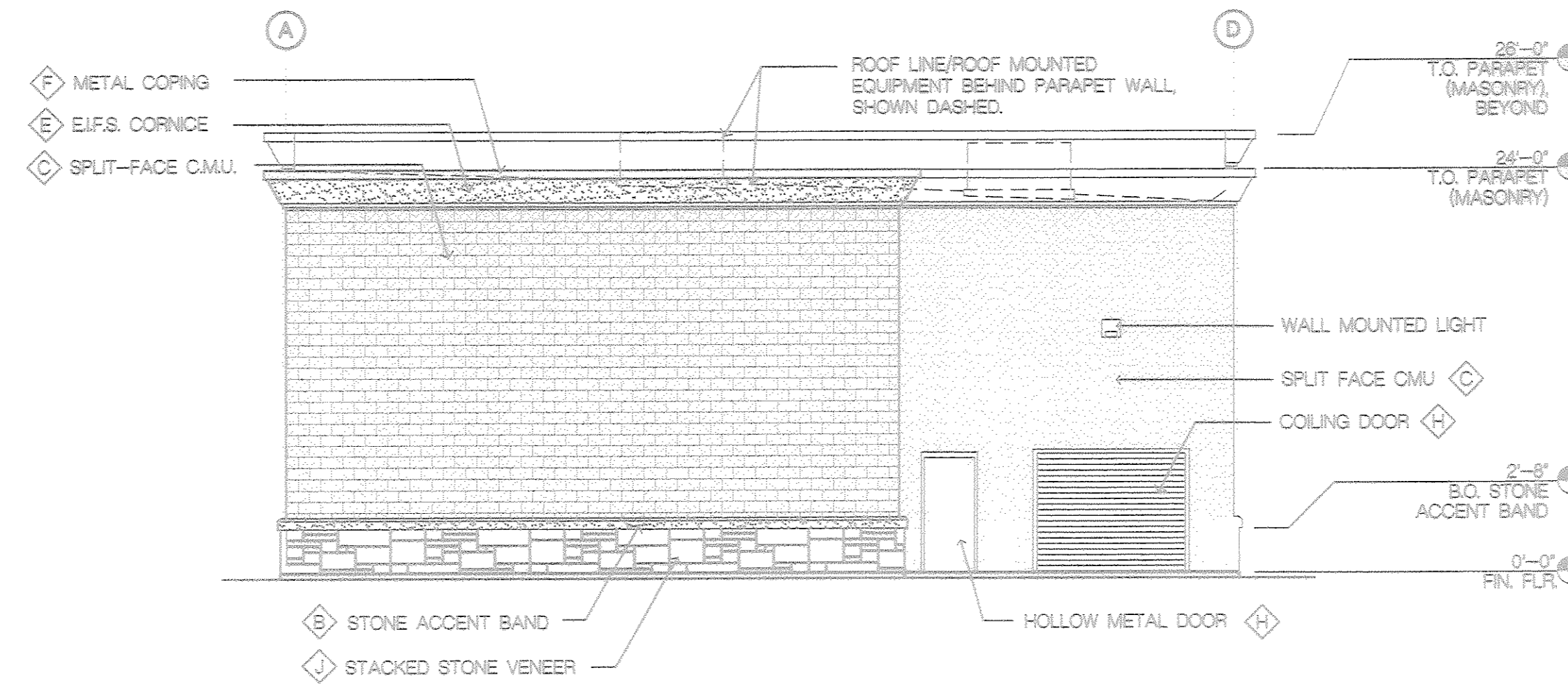
## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

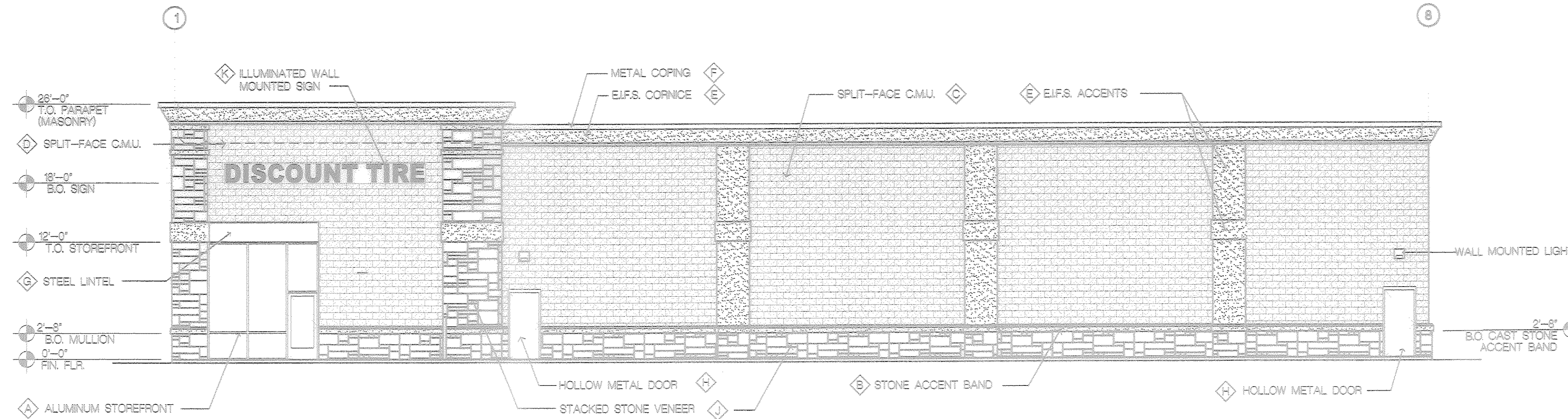
#### COLOR / PAINT NOTES

- ⊠ ALUMINUM STOREFRONT DOOR/WINDOW, COLOR 'BANNER RED'
- ⊠ STONE VENEER ACCENT BAND - 'CULTURED STONE', COLOR 'BUCKSKIN' CSV-373088 OR SMT-1871
- ⊠ GRAY SPLIT-FACE CMU, PAINTED COLOR: 'WORSTED TAN'
- ⊠ GRAY SPLIT-FACE CMU, PAINTED COLOR: 'PEACH LIGHT'
- ⊠ EIFS CORNICE/ACCENT ON CMU WALL, INTEGRAL COLOR 'PEACH LIGHT'
- ⊠ METAL COPING - FACTORY FINISH, COLOR: 'TEAL'
- ⊠ EXPOSED STEEL LINTEL, PAINTED COLOR: 'WORSTED TAN'
- ⊠ EXTERIOR METAL DOORS, PAINTED COLOR: 'WORSTED TAN'
- ⊠ STACKED STONE VENEER BASE - 'CULTURED STONE', COLOR: ASPEN COUNTRY LEDGESTONE (CSV-20008)
- ⊠ GRAY PRECISION CMU, PAINTED COLOR: 'PEACH LIGHT' BEHIND SIGN

#### GENERAL FINISH NOTES

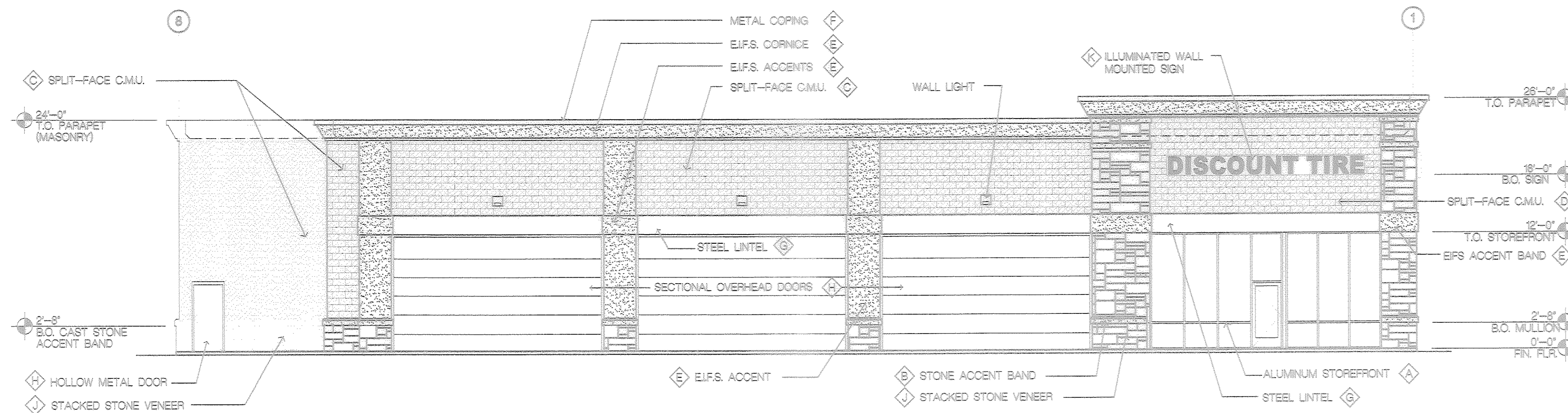
1. STONE BASE COURSE COUNTRY LEDGESTONE SERIES
2. STONE ACCENT BAND: TUSCAN LINTEL OR WATERTABLE/SILL SERIES
3. CMU MAIN BODY - PAINTED
4. ALUMINUM STOREFRONT TO BE FACTORY FINISH
5. EIFS CORNICE/ACCENT OVER STOREFRONT CMU WITH INTEGRAL COLOR FINISH UNDER PAINT FINISH TO PROVIDE DURABLE WEATHER RESISTANT SURFACE. BOTH COLORS PER COLOR/PAIN NOTES
6. STEEL LINTEL: ALL EXPOSED STRUCTURAL STEEL TO BE FACTORY PRIMED WITH FIELD PAINTED FINISH

UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



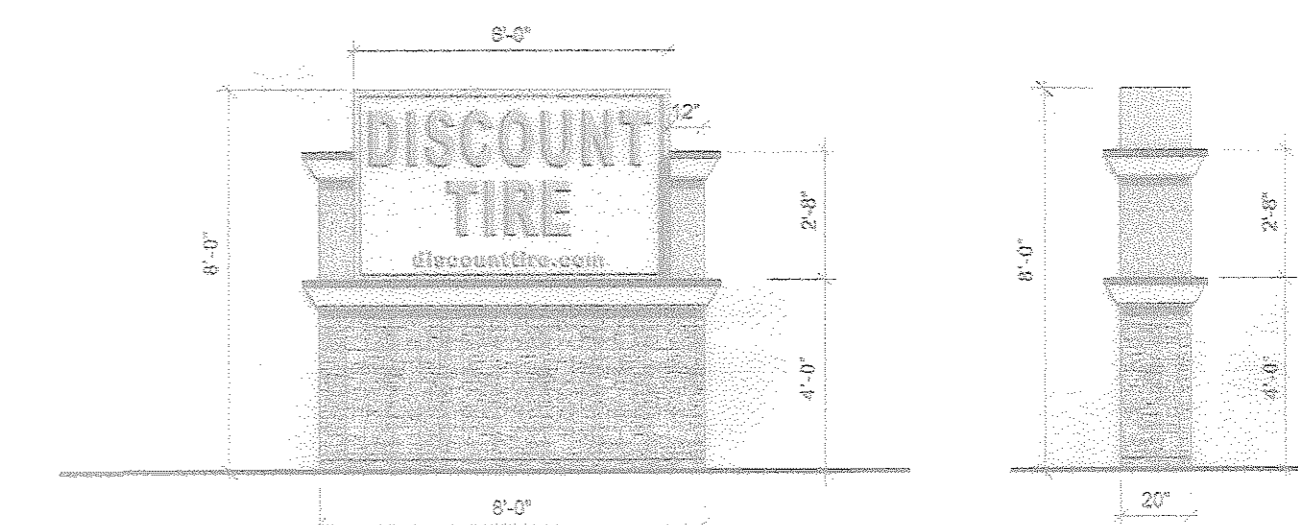
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



MONUMENT SIGN ELEVATIONS

SCALE: 1/8" = 1'-0"

NO.	REVISION	DATE

**Galloway**  
Planning, Architecture, Engineering  
6300 DTC Parkway  
Greenwood Village, CO 80111  
303.770.8884  
www.gallowayus.com

**DISCOUNT TIRE CO. INC.**  
6300 South Syracuse Way  
Suite 410  
Castle Rock, Colorado 80111  
Tel: (303) 773-8884

**FINAL PD SITE PLAN**  
**LOT 1-C, METZLER RANCH**  
**FILING No. 3, 4th AMENDMENT**  
 NWC ALLEN STREET AND FRONT STREET  
 CASTLE ROCK, COLORADO

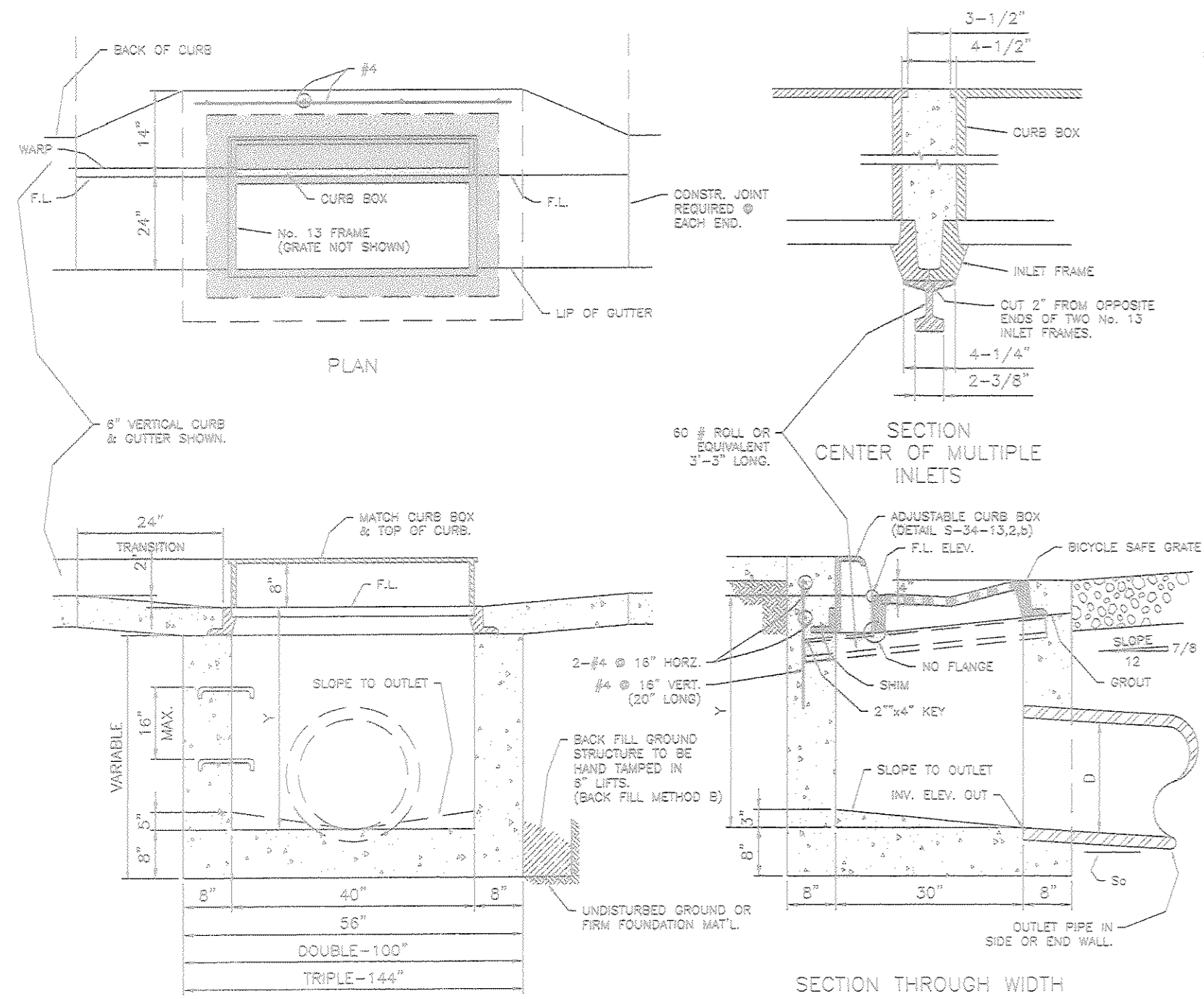
Project No: 2030  
 Sheet Scale: 1/8" = 1'-0"  
 Designed By: JLF  
 Drawn By: CJH  
 Date: August, 2004  
 Disk File: 2030\_P-10\_A2.1-Elev-Rev01.rvt

**EXTERIOR ELEVATIONS**

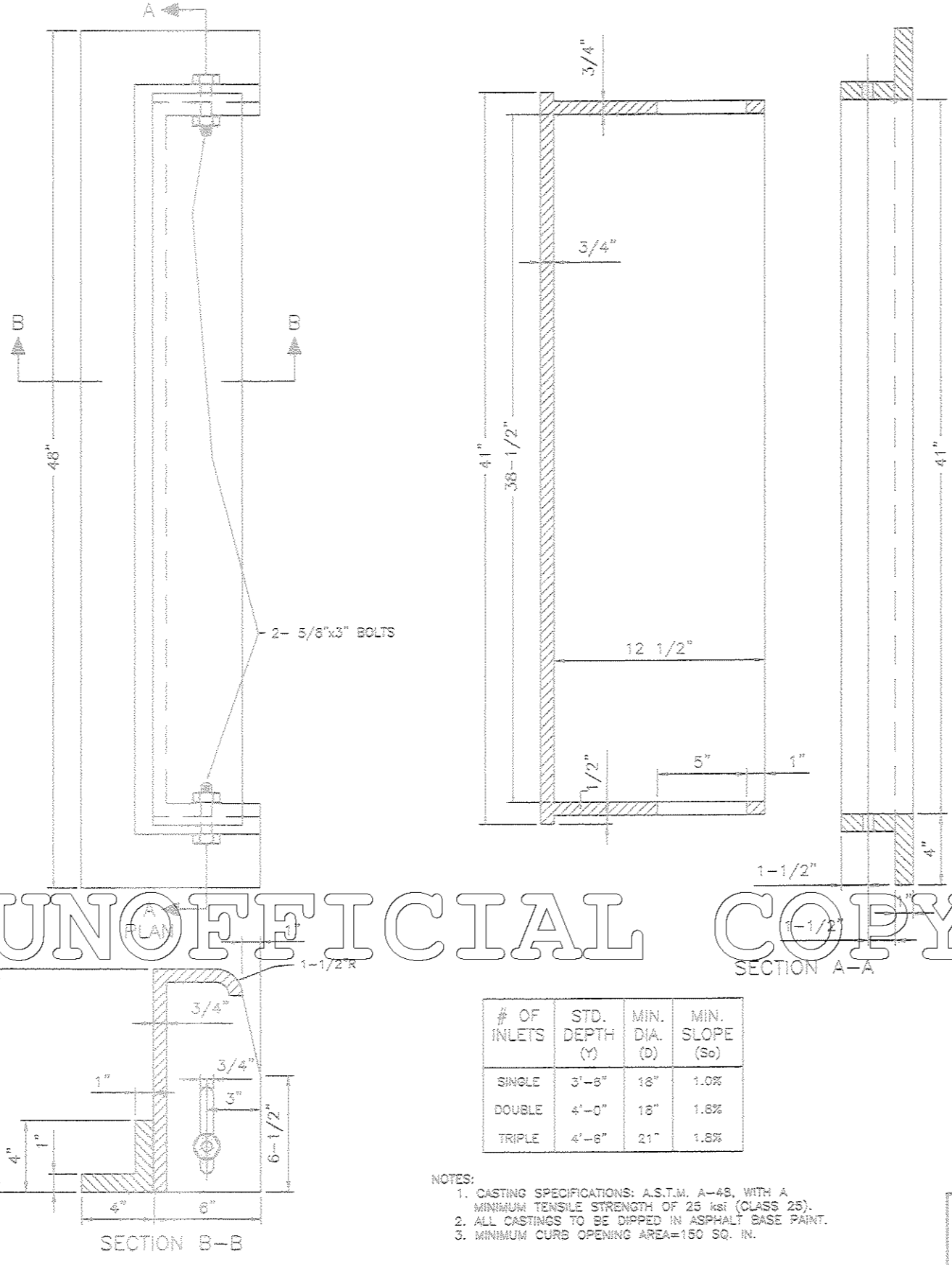
# FINAL PD SITE PLAN

## LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT

### LOCATED IN THE S 1/2 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



**1 COMBINATION INLET TYPE 13**  
NOT TO SCALE



# OF INLETS	STD. DEPTH	MIN. DIA. (D)	MIN. SLOPE (S)
SINGLE	3'-8"	18"	1.0%
DOUBLE	4'-0"	18"	1.0%
TRIPLE	4'-8"	21"	1.0%

**2 SEGMENTAL RETAINING WALL SECTION**  
SCALE: 1/2"=1'-0"

**RETAINING WALL DESIGN NOTE**

- NOTE THAT THE SEGMENTAL RETAINING WALL DESIGN SHOWN HEREIN IS "PRELIMINARY" AND PROVIDED FOR BID PURPOSES ONLY. THE FINAL DESIGN WILL NOT BE SUBMITTED BY GALLOWAY AT THIS TIME. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR MUST OBTAIN A FINAL ENGINEERED DESIGN FOR THE WALL WITH ACCOMPANYING CONSTRUCTION DOCUMENTS AS PREPARED UNDER SUPERVISION OF A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE. NOTE THAT THIS PRELIMINARY DESIGN MAY DIFFER SUBSTANTIALLY FROM THE FINAL DESIGN.
- RETAINING WALLS OR SECTIONS OF RETAINING WALLS 4'-FEET IN HEIGHT OR HIGHER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF PUBLIC WORKS PERMIT. CALL THE BUILDING DEPARTMENT (720-733-3529) FOR A DETERMINATION OF THE NEED FOR A BUILDING PERMIT FOR TIERED RETAINING WALLS.
- REINFORCED-BACKFILL SHALL BE GRANULAR MATERIAL, FREE OF DEBRIS, WITH PLASTICITY INDEX (PI) LESS THAN 10 AND LIQUID LIMIT LESS THAN 40. REFER TO SECTION FOR LIMITS OF BACKFILL. NOTE: MIN. 1:1

#### PRELIMINARY SEGMENTAL RETAINING WALL NOTES

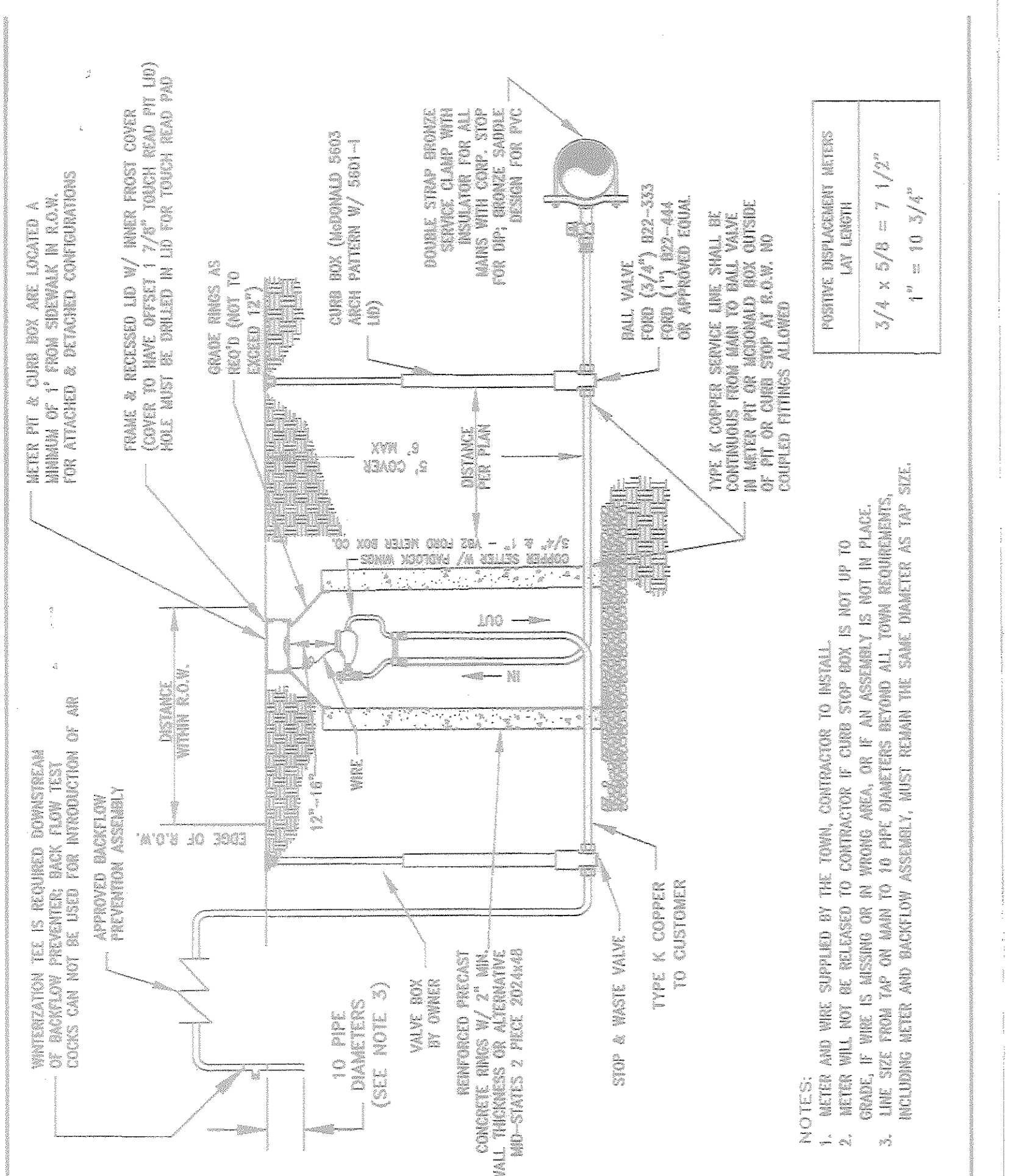
- FINAL ENGINEERING REQUIREMENTS**
  - SEGMENTAL RETAINING WALL (SRW) DESIGN SHOWN HEREIN IS "PRELIMINARY" AND PROVIDED FOR BID PURPOSES ONLY. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR MUST OBTAIN A FINAL ENGINEERED DESIGN FOR THE WALL WITH ACCOMPANYING CONSTRUCTION DOCUMENTS. THIS FINAL DESIGN MUST BE CERTIFIED BY AN ENGINEER LICENSED IN THIS STATE.
  - FINAL SRW DESIGN SHALL CONSIDER THE FOLLOWING DESIGN CONSTRAINTS. NOTE THAT THE SCOPE OF THIS FINAL DESIGN SHALL NOT BE LIMITED TO THESE ITEMS.
    - DESIGN SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SUCH AS NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA), OR AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO).
    - DESIGN SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE, THAT INCLUDES SPECIFIC SEGMENTAL RETAINING WALL RECOMMENDATIONS.
    - DESIGN SHALL CONSIDER ALL STABILITY ASPECTS OF THE WALL INCLUDING INTERNAL, EXTERNAL AND GLOBAL.
    - DESIGN SHALL ADEQUATELY ADDRESS OTHER IMPORTANT ISSUES SUCH AS DRAINAGE, OFFSITE CONDITIONS, EXTERNAL LOADING, ETC.
  - NOTE THAT PRELIMINARY DESIGN AS DETAILED HEREIN MAY DIFFER SUBSTANTIALLY FROM THE FINAL DESIGN.
- SUBMITTALS**
  - PRIOR TO INSTALLATION, CONSTRUCTION DRAWINGS FOR THE WALL SHALL BE SUBMITTED TO THE PROJECT ENGINEER-OF-RECORD FOR REVIEW.
- SOIL PREPARATION**
  - SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE. THE CONTRACTOR IS ADVISED TO FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS.
- GALLOWAY**
  - RETAINING WALL CONTRACTOR TO MEET CONTRACTOR'S QUALIFICATIONS LISTED BELOW (UNLESS OTHERWISE SPECIFIED BY OWNER).
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS DESIGNED, CERTIFIED AND PERMITTED THROUGH THE GOVERNING ENTITY WITH JURISDICTION FOR THE PROJECT SITE TO GALLOWAY FOR REVIEW PRIOR TO SUBMITTING TO GOVERNING ENTITY.
  - SOIL AND COMPACTION TESTING SHALL BE PERFORMED DURING CONSTRUCTION (BASE, 1/2 HEIGHT, AND FINAL).
  - APPROVED SHOP DRAWINGS MUST BE AVAILABLE ON-SITE AT ALL TIMES.
  - CONTRACTOR TO PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL COLOR SELECTION.
  - CONTRACTOR TO INCLUDE ANY OVEREXCAVATION AND CONTROLLED BACKFILL ASSOCIATED WITH RETAINING WALL IN RETAINING WALL BID.
  - RETAINING WALL CONTRACTOR TO PERMIT WALLS DIRECTLY THROUGH THE TOWN OF CASTLE ROCK.
- CONTRACTOR'S QUALIFICATIONS:**
  - 80% OF BUSINESS REVENUE DERIVED FROM RETAINING WALL PROJECTS.
  - RESUME OF COMPLETED PROJECTS, TO INCLUDE SQUARE FOOTAGE AND WALL HEIGHTS.
  - REFERENCES: 2-3 GENERAL CONTRACTORS OR PROJECT OWNERS (DEPENDING ON SIZE OF PROJECT)
  - BOND CAPABILITIES.

**UNOFFICIAL COPY**

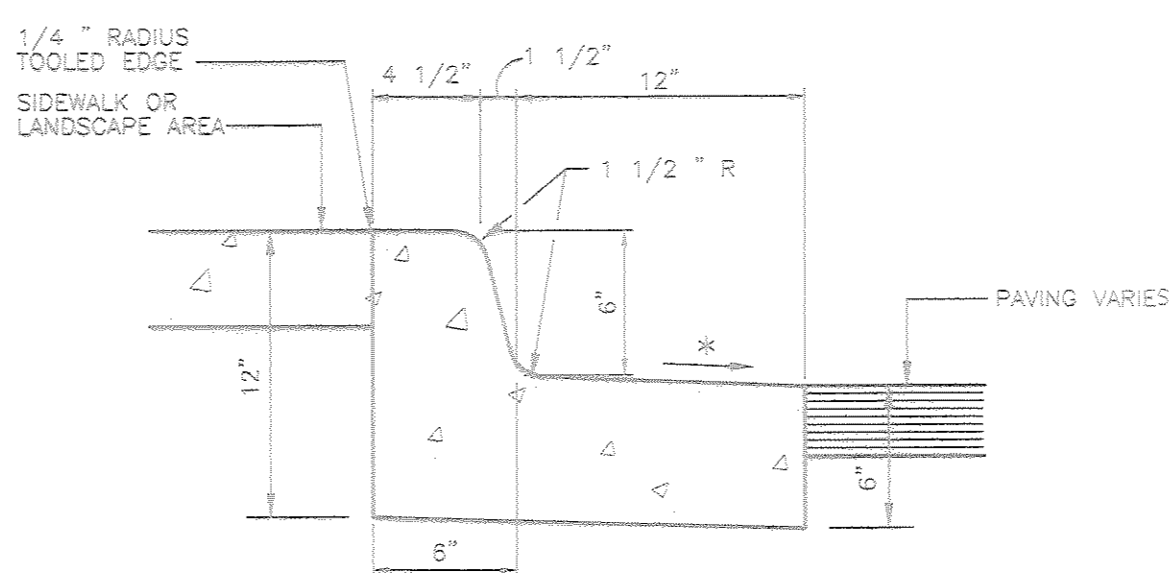
**UNOFFICIAL COPY**

**UNOFFICIAL COPY**

**UNOFFICIAL COPY**



**3 CURB CATCH AND 1' WIDE GUTTER**  
SCALE: 1 1/2"=1'-0"



**4 REVERSE CURB AND GUTTER**  
SCALE: 1 1/2"=1'-0"

#### REDUCED PRESSURE ASSEMBLY REDUCED PRESSURE ASSEMBLY INSTALLATION REQUIREMENTS

- The reduced pressure assembly must not be installed in a place where it may be submerged under water.
- There shall be no pit or vault installation unless there is a drain into the diameter of the assembly to daylight. This could be a hillside vault where one side is open for drainage but would allow protection from freezing.
- The "RP" shall not be installed in a vertical position unless there is specific approval from the Foundation for Cross-Connection Control and Hydraulic Research and the Town of Castle Rock for the particular make and model of device. As of this writing there is no such approval. Some manufacturer installation instructions indicate a vertical position is allowed. These should not be followed unless the above approval has been obtained from the Town of Castle Rock Utilities Department.
- Basement installation, although a form of pit, are allowed if the following conditions are met.
  - A drain large enough to allow the minimum flow of water the size of "RP" is capable of discharging under full (2) the normal static water pressure for the system to daylight.
  - Some type of high water alarm system installed to notify personnel of a problem occurring in the area. AFD/OR
  - No electrical components in the same general area of the assembly.
- Only factory supplied funnels shall be used to remove the periodic discharge from the assembly and the piping system must have adequate air gap at the termination of the run.
- Freezing weather and other climatic conditions must be taken into consideration when installing any back flow preventer outside of a protective enclosure.
- Places of business that cannot be without a continuous supply of water must install a dual installation, that is two "RP" assemblies in parallel, on the main service line.
- Reduced pressure back flow preventers installed on closed and those will take some special care. Fire lines are an example of this type of installation. When the main line pressure fluctuates, there will be a discharge from the "RP" relief unit to stabilize the zone pressure, and if flow alarms are installed they may be activated. There are two ways to reduce this problem listed below:
  - A self sealed single check valve installed upstream or ahead of the "RP" unit will stop or reduce this problem without affecting the operation of the assembly.
  - A pressure regulating valve placed upstream or ahead of the "RP" assembly and set at a pressure of, or less than the lowest pressure drop that occurs.
  - Either of these options will create additional flow loss for the fire system and must be considered before actual installation is done.
  - This same method may be used on installations where great main line fluctuation becomes a nuisance on assemblies installed in buildings.

DRAWN BY: GLA & TDL	TOWN OF CASTLE ROCK	REV. DATE	STD. DWG. NO.
APPROVED BY: PEC	3/4"-1" IRRIGATION METER	8/13/07	W-4g
DATE: 8/13/07			

DRAWN BY: DSL	TOWN OF CASTLE ROCK	REV. DATE	STD. DWG. NO.
APPROVED BY:	REDUCED PRESSURE ASSEMBLY	4/2/98	WU-4
DATE: 4/2/98			

DATE

DRAWN BY

DES. BY

REVISION

No.

DATE

DRAWN BY

DES. BY

REVISION

No.

Planning, Architecture, Engineering

5500 DTC Parkway

Greenwood Village, CO 80111

303.770.8800

www.galloway.us.com

South Syracuse Way

Greenwood Village, CO 80111

303.770.8800

www.galloway.us.com

FINAL PD SITE PLAN

LOT 1-C, METZLER RANCH

FILING No. 3, 4th AMENDMENT

NWC ALLEN STREET AND FRONT STREET

CASTLE ROCK, COLORADO

Project No: Z030

Sheet Scale: 1"=20'

Designed By: JLF

Drawn By: Car

Date: October, 2007

Disk File: Z030\_P\_11-CS1.2-Det

**SITE DETAILS**

11 OF 11