



2005061893 8 PGS

### PLAT IDENTIFICATION SHEET

Woodbury/Amsource Group L.L.C

GRANTOR(owner)

OFFICIAL RECORDS  
DOUGLAS COUNTY CO  
CAROLE R. MURRAY  
CLERK & RECORDER  
RECORDING FEE: \$71.00  
8 PGS

# 2005061893  
07/08/2005 09:46 AM

Metzler Ranch 3, 4<sup>th</sup> Amendment Lot 1-B Final PD Site Plan

GRANTEE(name of plat)

# UNOFFICIAL COPY

Metzler Ranch

Subdivision/Condo Name

3

Filing

Phase

Lot

Building

Block

Unit

26

7

67

OLD LEGAL(Section)

(Township)

(Range)

2005007250

|  |  |  |
|--|--|--|
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |

Cross reference#s (reception#s Book – Page)

# Final PD Site Plan Lot 1-B Metzler Ranch Filing #3 4th Amendment

**A Part of the Southeast Quarter of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas, State of Colorado**

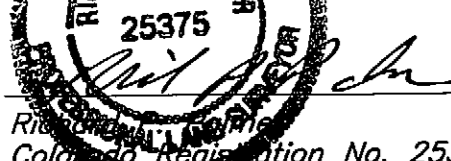
## Cover Sheet

### Legal Description

Lot 1-B, Metzler Ranch Filing No. 3, 4th Amendment  
County of Douglas, State of Colorado  
The Above Described Parcel Contains 50,424 Square Feet (1.158 Acres)

### Surveyor's Statement

I, Richard P. Palmer, a Professional Land Surveyor in the State of Colorado, do hereby certify that the survey and legal description represented by the Lot 1-B, Metzler Ranch Filing No. 3, 4th Amendment, Final PD Site Plan was made under my supervision and the monuments shown thereon actually exist and this site plan represents that survey.

 6/21/05  
Date  
Richard P. Palmer  
Colorado Registration No. 25375  
For and on Behalf of  
Palmer, Woodbridge, Surveying, Inc.

### Benchmark

Top of PK Nail & Shinner "LS 22564" at the Southwesterly Corner of Lot 1-C.  
Elevation = 6237.25 (Datum Not Referenced)  
(Per Palmer, Woodbridge, Surveying, Inc.)

### Basis of Bearings

North 51°46'54" East, between Found Concrete Nail & Brass Tag TST 22564 and Found No. 4 Rebar w/ Cap TST 22564 along the North Line of Lot 1-B.  
(Per Palmer, Woodbridge, Surveying, Inc.)

### Flood Plain / Wetland Note

This parcel is not within a 100-year flood plain and is labeled as being in Zone X, as designated on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps, Community Panel Number 080050 0186C, dated September 30, 1987. Zone X is defined as "Areas determined to be outside 500 year Flood Plain."

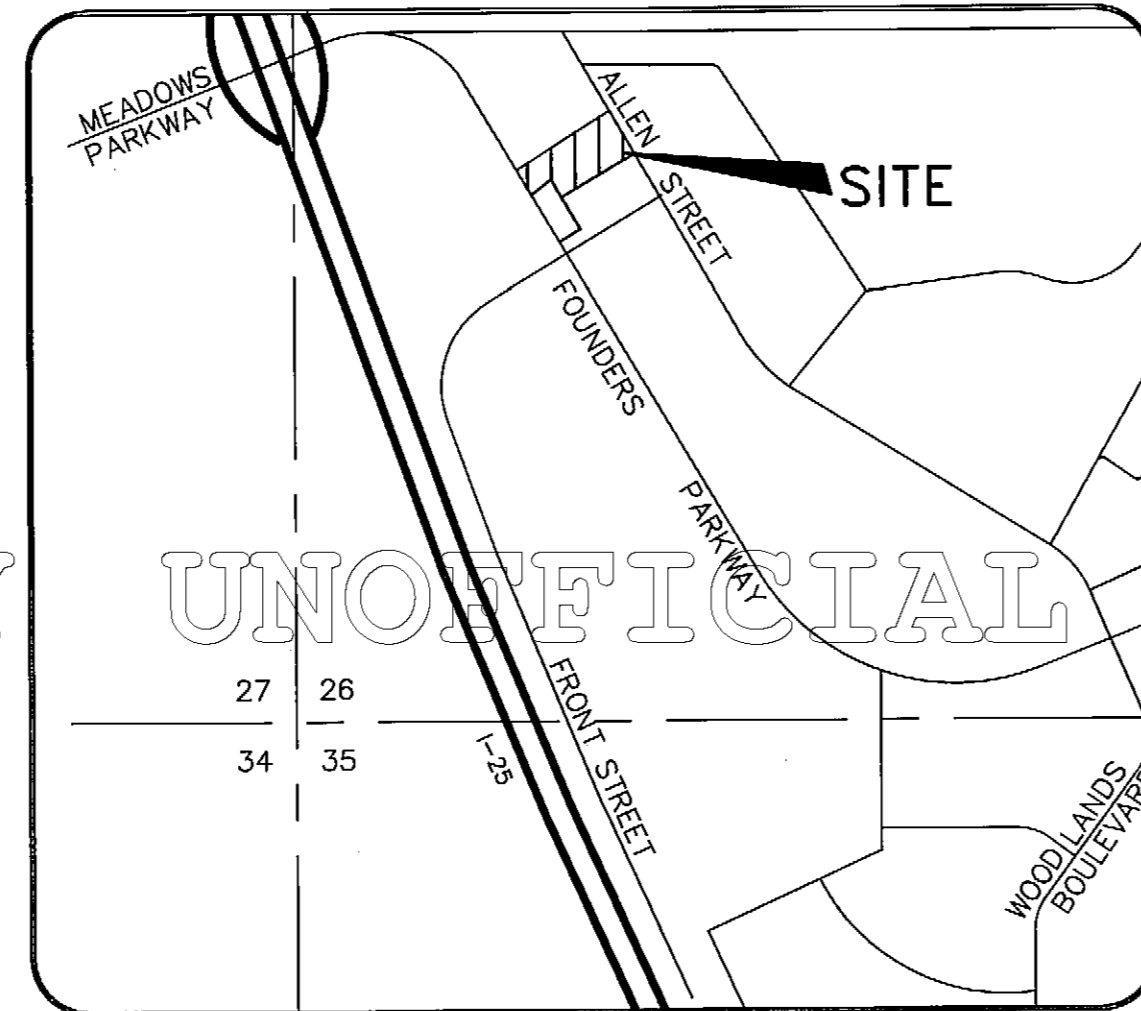
There are no designated wetlands on this site.

### Land Use Summary

Zoning Metzler Ranch Planned Development  
Lot 1-B Area 50,424 sq. ft. or 1.158 acres  
Building Area Coverage 7,233 sq. ft. or 0.166 acres

### Development Standards

| Commercial Development Standards | Required                  | Provided                   |
|----------------------------------|---------------------------|----------------------------|
| Total Site Area                  | N/A                       | 50,424 sf (1.158 ac)       |
| Landscape Area                   | 5,042 sf (10%)            | 12,435 sf (0.285 ac) 24.7% |
| Retail Building Footprint        | N/A                       | 7,233 sf (0.166 ac) 14.3%  |
| Driveway Areas                   | N/A                       | 5,480 sf (0.126 ac) 10.9%  |
| Parking Lot Area                 | N/A                       | 25,054 sf (0.575 ac) 49.7% |
| Total Pkg./Hardscape Area        | N/A                       | 37,744 sf (0.867 ac) 74.9% |
| Min. Building Setbacks           |                           |                            |
| Front (Allen Street)             | 15'                       | 237 feet                   |
| North Side                       | No Requirement            | 20 feet                    |
| South Side                       | No Requirement            | 0 feet                     |
| Rear (Founders Parkway)          | 15'                       | 58 feet                    |
| Max Building Height              | 50 Feet - permitted       | 22'8" feet max             |
| Off-Street Parking               |                           |                            |
| Retail Building                  | 1 Sp / 200 sf = 36 Stalls | 60 Stalls                  |
|                                  |                           | 3 HDPC Stalls              |
| Total Spaces                     |                           | 63                         |



### Vicinity Map

Scale 1" = 1000'




## Sheet Index

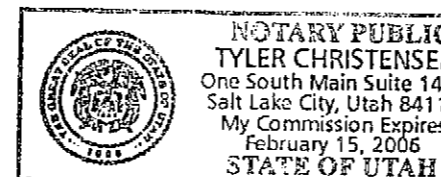
- 1 of 7 COVER SHEET
- 2 of 7 SITE PLAN
- 3 of 7 GRADING PLAN
- 4 of 7 UTILITY PLAN
- 5 of 7 LANDSCAPE PLAN
- 6 of 7 ARCHITECTURAL ELEVATIONS
- 7 of 7 SITE LIGHTING PHOTOMETRIC PLAN

### Lien Holder Subordination Certificate

The undersigned are all the mortgagees and lien holders of Certain Lands Known herein as Lot 1-B Metzler Ranch Filing #3 Fourth Amendment in The Town of Castle Rock.

The undersigned beneficiary of the lien created by instrument recorded on January 25, 2005, reception no. 2005007250, Douglas County, Colorado, subordinate the subject lien to the terms, conditions and restrictions of this document:

  
Zions First National Bank  
Signed This 20th Day of June, 2005.  
Witness my Hand and Seal  
My Commission Expires: \_\_\_\_\_  
Notary Public



### Developer

Amsource Companies  
348 Rio Grande Street  
Salt Lake City Utah 84101  
Telephone: (801) 994-7000  
Contact: Carl Pitt

### Architect

Wyatt & Associates  
1865 South Pearl Street  
Denver, Colorado 80210  
303-698-1717  
Contact: Jeff Anderson

### Civil Engineer, Landscape Architect

Great Basin Engineering  
2010 North Redwood Road  
Salt Lake City Utah 84116  
Telephone: 801-521-8529  
Contact: Robert Schmidt

### Land Surveyor


Palmer, Woodbridge, Surveying, Inc.  
5500 South Simms Street Suite G  
Littleton Colorado 80127  
Telephone: 303-904-1345  
Contact: Richard Palmer

### Utility Providers

Water Town of Castle Rock  
Sewer Town of Castle Rock  
Gas Peoples Natural Gas  
Electricity Intermountain Rural Electric Association  
Telephone Qwest Communication  
CATV AT&T Broadband


### Town Approval

The Final PD Site Plan For Lot 1-B Metzler Ranch Filing 3, 4th Amendment, Has Been Approved By The Town Of Castle Rock, Colorado On This

7 Day Of July, 2005  
 7-7-05  
Date  
Director of Development Services

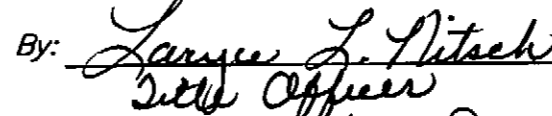
### Recorder's Certificate

This Site Plan was filed for record in the office of the county clerk and recorder of Douglas County at 7:46 AM on the 21st Day of JULY, 2005. Under Reception No. \_\_\_\_\_

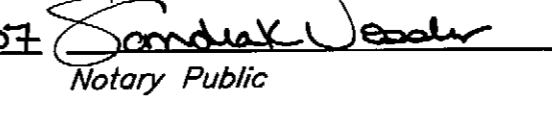
2005061893  
Douglas County Clerk and Recorder  
By:  Deputy

### Title Certification

I, Lance L. L. L. Being and Authorized Representative of Land Title Guarantee Co. a Title Insurance Company licensed to do business in the State of Colorado have made an examination of the public records and state that all owner's, mortgages and lien holders of the property are listed in the certificate of ownership.

Signed this 23rd day of June, 2005.  
By:  Notary Public

The foregoing instrument was acknowledged before me this 23rd day of June, 2005.

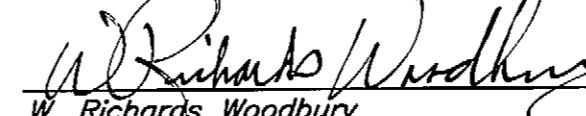
  
Notary Public  
Sandra Woodbury  
Notary Public  
My Commission Expires Sept 22, 2007

### Ownership Certification

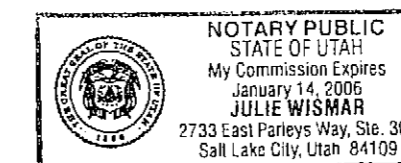
The undersigned are all of the owners of certain lands known hereon as Lot 1-B, Metzler Ranch Filing No. 3, Fourth Amendment Town of Castle Rock, Douglas County, Colorado.

Property Owner

WOODBURY/AMSOURCE GROUP L.L.C.  
A Utah Limited Liability Company  
358 South Rio Grande Street  
Salt Lake City Utah 84101

Signed this 13 day of MARCH 2005  
  
W. Richards Woodbury  
President (Woodbury Corporation), MANAGER

The foregoing instrument was acknowledged before me this 23 day of March, 2005.  
Witness my Hand and Seal  
My Commission Expires: 01/14/2006  
Notary Public



### General Notes

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
- Pursuant to Section 17.62.080 of the Town of Castle Rock Municipal Code, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Replacement for dead or diseased plant material shall be the same type of plant material as set forth in the approved Final PD Site Plan; for example, a tree must replace a tree, a shrub must replace a shrub, ground cover must replace ground cover, etc. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- Approval of the Final PD Site Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object exceeding 30" in height above the flow line elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Plan.
- Surfaced access roads capable of withstanding the imposed loads of fire apparatus and all required fire hydrants shall be installed and serviceable prior to and during all construction.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all weather driving capabilities. The term all weather driving capabilities have been interpreted to mean either concrete or asphalt.
- Complete specifications and construction plans shall be submitted to the Town of Castle Rock Fire and Rescue Department for review and approval prior to any construction occurring.

**Final PD Site Plan  
Lot 1-B  
Metzler Ranch  
Filing #3, 4th Amendment  
Castle Rock, CO.**

GREAT BASIN ENGINEERING - SOUTH  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Salt Lake City (801)394-7288 Open (801)394-7288 Fax (801)321-8651

Cover Sheet  
Final PD Site Plan  
Lot 1-B Metzler Ranch Filing #3 4th Amendment  
Castle Rock Colorado

15 Feb, 2005

SHEET NO.

1

of 7

03-119CV-PD

REV. DATE DESCRIPTION

# Allen Street

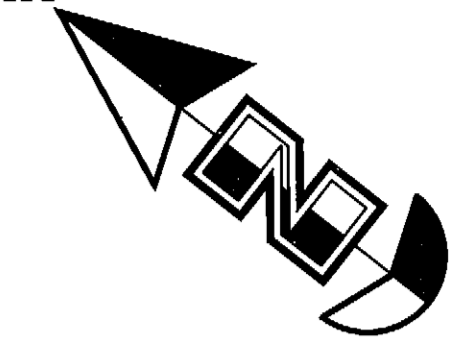
PUBLIC RIGHT-OF-WAY VARIES

ALLEN STREET  
(R.O.W. VARIES)  
(BY PLAN)

## Final PD Site Plan

Lot 1-B Metzler Ranch Filing #3 4th Amendment

A Part of the South Half of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas,  
State of Colorado



## Site Plan

Scale: 1" = 20'



### General Site Notes:

- Stalls designated as handicap will require a painted handicap symbol, and sign.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Install a 36" Stop Sign at all driveways unless otherwise noted on plans.
- All dimensions are to back of curb unless otherwise noted.
- Free standing sign maximum height shall be eight (8) feet.

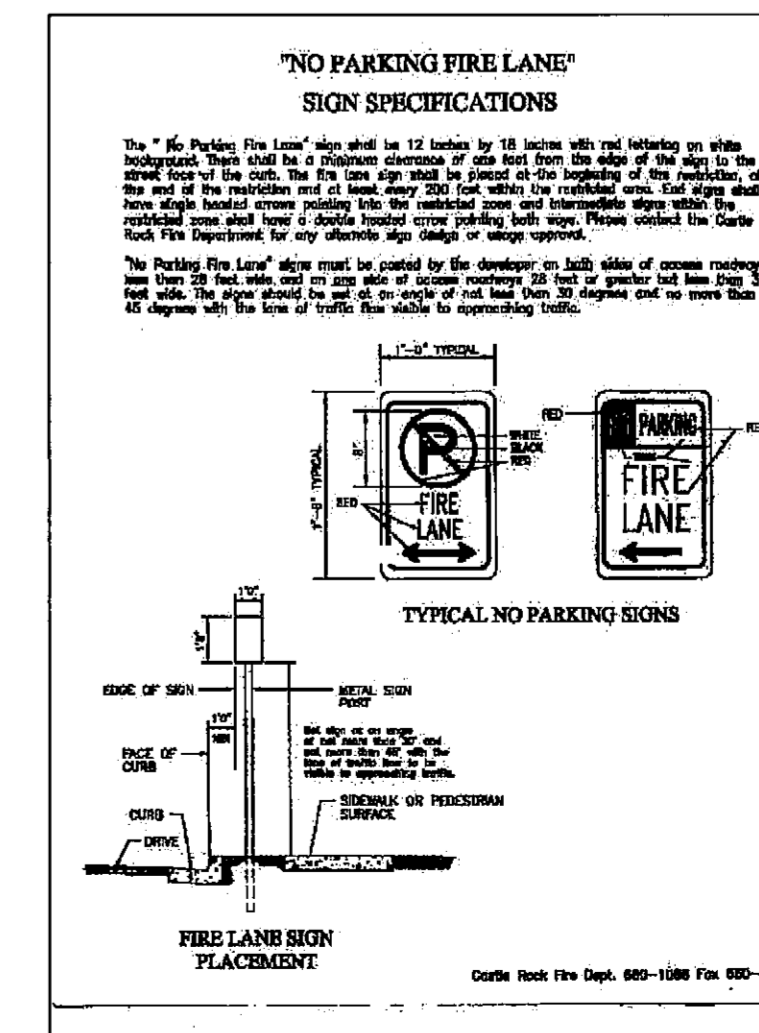
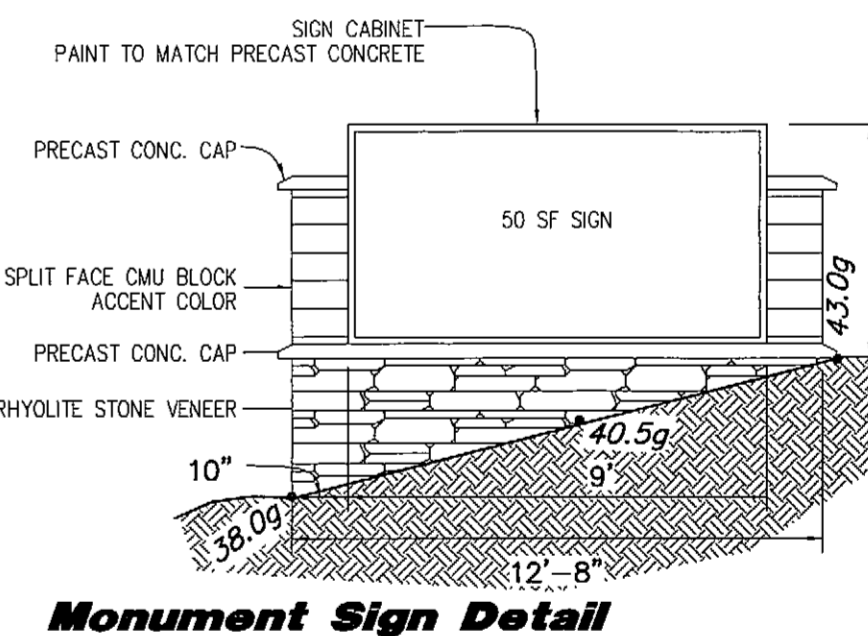
### Legend

- Property Line
- Proposed 24" Curb & Gutter
- ex Curb & Gutter / Curb & Gutter by Others
- Proposed Concrete Paving & Sidewalks
- Proposed Asphalt Paving
- Existing Asphalt Paving
- Proposed Light Pole - See Photometric Plan for Light Pole Schedule
- Fire Lane - Install Fire Lane Signs per Town of Castle Rock Fire Department Stds.
- Sight Visibility Triangle
- No Visually Obstructing Landscape Features (30' or Higher)
- Fire Turning Radii for SU Type Vehicle

### Sign Table

| Sign                   | Quantity  | Square Footage | Total S.F. |
|------------------------|-----------|----------------|------------|
| Monument Sign          | 1         | 50 Each Face   | 100        |
| Wall Sign NE Elevation | 5         | 20             | 100        |
| Wall Sign SW Elevation | 5         | 20             | 100        |
| Wall Sign SE Elevation | 0         | 0              | 0          |
| <b>Total</b>           | <b>12</b> |                | <b>300</b> |

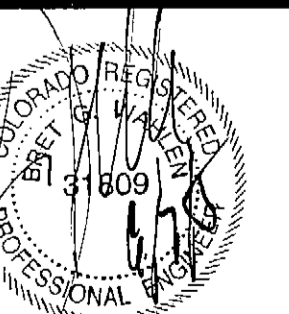
NOTE: See Elevations for building sign locations. Graphics will be determined with Tenant Improvements.



Final PD Site Plan  
Lot 1-B  
Metzler Ranch  
Filing #3, 4th Amendment  
Castle Rock, CO.

GREAT BASIN ENGINEERING - SOUTH  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Open: (801)351-2268 Fax: (801)351-9551

Site Plan  
Final PD Site Plan  
Lot 1-B Metzler Ranch Filing #3 4th Amendment  
Castle Rock Colorado

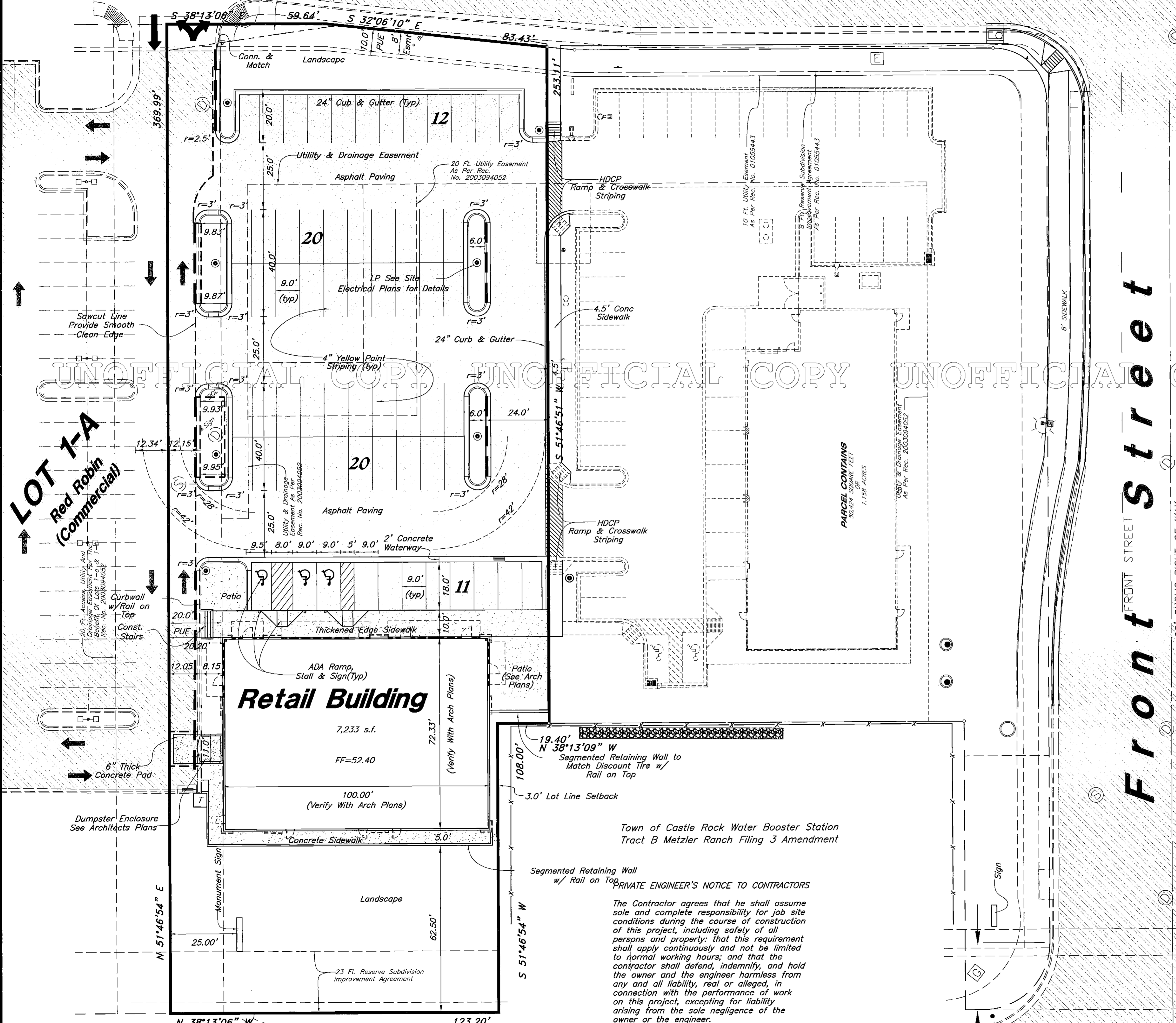


6 Jun, 2005

SHEET NO.

2

03-119L-PD of 7



LOT 1-A  
Red Robin  
(Commercial)

**Retail Building**

7,233 s.f.  
FF=52.40  
100.00'  
(Verify With Arch Plans)

Town of Castle Rock Water Booster Station  
Tract B Metzler Ranch Filing 3 Amendment

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS  
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

# Founders Parkway

110' PUBLIC RIGHT-OF-WAY

# Allen Street

PUBLIC RIGHT-OF-WAY VARIES

ALLEN STREET  
(R.O.W. PLANS)  
(BY PLANS)

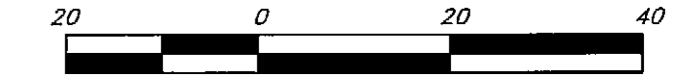
## Final PD Site Plan

Lot 1-B Metzler Ranch Filing #3 4th Amendment

A Part of the South Half of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas,  
State of Colorado

## Grading Plan

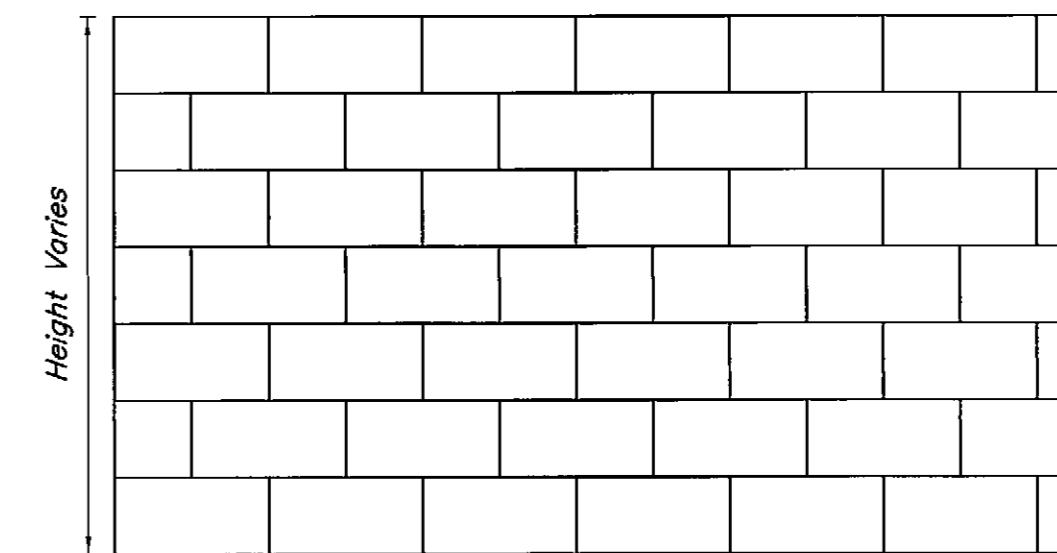
Scale: 1" = 20'



### Legend

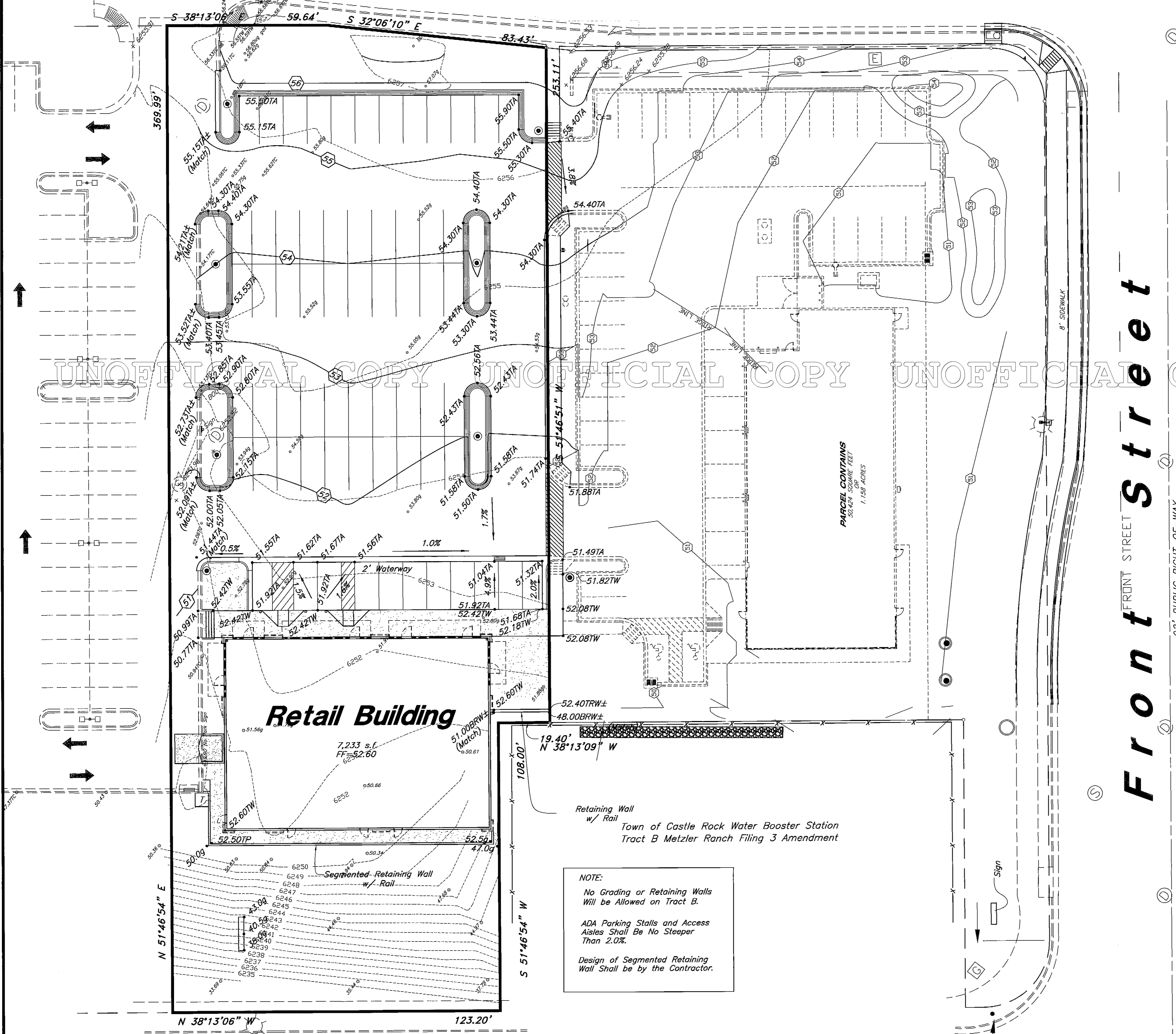
| Direction of Drainage | Symbol |
|-----------------------|--------|
| Top of Asphalt        | TA     |
| Top of Walk           | TW     |
| Edge of Oil           | EO     |
| Flowline              | FL     |
| Top of Curb           | TC     |
| Top of Grate          | TG     |
| Top of Pavement       | TP     |
| Ridge line            | R      |
| Existing Pavement     | EX     |
| Ground                | G      |
| existing contour      | - - -  |

Palmer, Wooldrige, Surveying, Inc. is the licensed Surveyor responsible for providing surveying services for this project. Great Basin Engineering has relied upon PWS for professional services in preparing this drawing. Great Basin Engineering makes no claims to the accuracy of the information provided by PWS.



Segmented CMU Split Face Blocks  
Color: Tan to Match Proposed Building

Segmented Retaining Wall Elevation



**NOTE:**  
No Grading or Retaining Walls Will be Allowed on Tract B.  
ADA Parking Stalls and Access Aisles Shall Be No Steeper Than 2.0%.  
Design of Segmented Retaining Wall Shall be by the Contractor.

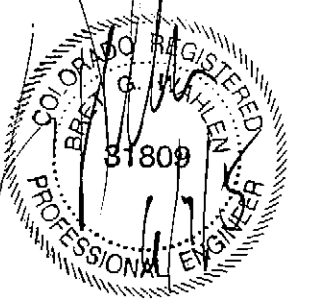
Front Street  
92' PUBLIC RIGHT-OF-WAY

# Founders Parkway

110' PUBLIC RIGHT-OF-WAY

**GREAT BASIN ENGINEERING - SOUTH**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Salt Lake City (801)521-6529 Ogden (801)394-2288 Fax (801)521-9551

**Grading Plan**  
**Final PD Site Plan**  
 Lot 1-B Metzler Ranch Filing #3 4th Amendment  
 Castle Rock Colorado



6 Jun, 2005

SHEET NO.

**3**

of 7

03-119L-PD

C:\acct\dwg\03-119L-PD.DWG, 6/7/2005 5:05:50 PM, 1:20, SMP

# Allen Street

PUBLIC RIGHT-OF-WAY VARIES

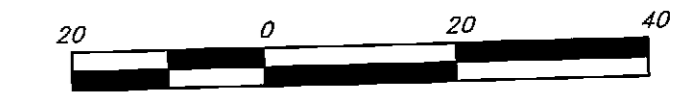
## Final PD Site Plan

Lot 1-B Metzler Ranch Filing #3 4th Amendment

A Part of the South Half of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas,  
State of Colorado

## Utility Plan

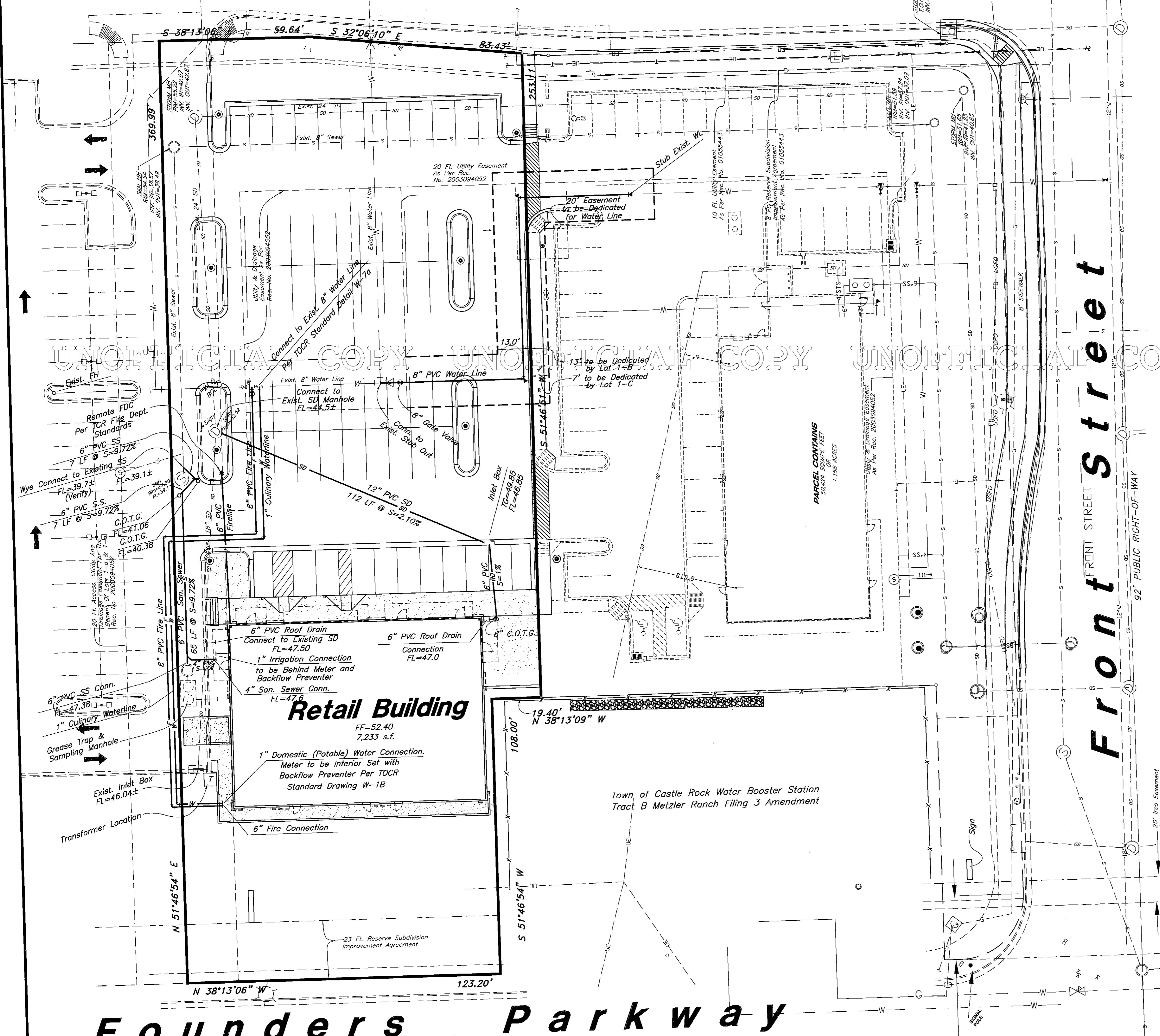
Scale: 1" = 20'



### Legend

- ex. San. Sewer Manhole
- proposed Fire hydrant
- Water Valve
- ex. Sanitary Sewer
- ex. Culinary Water
- Flowline
- Clean Out to Grade
- Proposed Light Pole
- Top of Grate
- Storm Drain
- Sanitary Sewer

NOTE:  
No Landscaping (except grass)  
nor permanent structures (e.g., mailboxes  
sheds, buildings, etc. are allowed  
in utility and drainage easements.



Front Street

Founders Parkway

110' PUBLIC RIGHT-OF-WAY

GREAT BASIN ENGINEERING - SOUTH  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Soil Lake City (801)521-8228 Ogden (801)394-7288 For (801)521-9551

Utility Plan  
Final PD Site Plan  
Lot 1-B Metzler Ranch Filing #3 4th Amendment  
Castle Rock Colorado

Final PD Site Plan  
Lot 1-B  
Metzler Ranch  
Filing #3, 4th Amendment  
Castle Rock, CO.

6 Jun, 2005

SHEET NO.

4

03-1191-PD

# Allen Street

PUBLIC RIGHT-OF-WAY VARIES

## Final PD Site Plan

Lot 1-B Metzler Ranch Filing #3 4th Amendment

A Part of the South Half of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas,  
State of Colorado

## Landscape Plan

Scale: 1" = 20'

### Planting Notes

- All lawn areas shall receive a 6 inch depth of topsoil, all shrub planting areas shall receive a 12 inch depth of topsoil. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil shall be of a sandy loam mix.
- All turf areas shall use high grade material of water conservative mixture, and shall be freshly cut from an approved local source.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts (75%) native soil from pit excavation to 1 part (25%) compost or aspen humus, thoroughly blended prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram (20-10-5) slow release tablets used as per manufacturers recommendations.
- Place and thoroughly mix into the backfill 15 cups (shrubs) and 5 cups (trees) of poly-acrylamide moisture absorbent, or approved equal.
- Soil preparation for turf areas shall consist of adding the following amendments per 1000 square feet: 5 lbs. polyacrylamide, 3 cubic yards of compost or aspen humus organic matter and 5 lbs. of 18-46-0 commercial fertilizer. Rototill soil amendments thoroughly into the soil to a minimum depth of six inches.
- Upon completion of planting operations, all shrub and tree wells shall receive a 4 inch depth of shredded bark mulch cover. All other areas shall receive the specified type of decorative rock/stone surfacing or bark, installed to the described depths.
- All lawn and shrub areas shall be separated with 3/16" x 4" Ryerson steel edging or equal, to be installed over compacted sub-grade.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if required, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and acceptance.
- Prior to installation a soil analysis shall be provided by the landscape contractor to the owner for approval. Said soil analysis shall be performed by a professional soil scientist to determine soil conditions including texture and structure as well as to define the necessary organic amendments and top dress fertilizers appropriate for the specific type of plant materials.

### General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall keep the premises, storage areas and planting areas neat and orderly at all times. Remove trash, sweep, etc. daily per the municipal code.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
- Any damage to new landscape areas located within utility easement zones caused due to utilities maintenance shall be replaced by the property owner, and at the property owner's expense.

### Sub-Grade Requirements

- LAWN AREAS:** Eight (8) inches below finish grade. This will allow for the installation of a six inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
- SHRUB AREAS:** Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of topsoil along with a four inch depth of bark mulch or decorative rock, leaving it slightly below finish grade and concrete areas.

### Landscape Calculations

| Category             | Area (SF)  | Percentage | Item                                   | Quantity |
|----------------------|------------|------------|--|----------|
| TOTAL LANDSCAPE AREA | 12,440 SF. | 100 %      | TREES REQUIRED                         | 11       |
| NATIVE GRASS AREA    | 7,600 SF.  | 61 %       | (Based Upon 8260 SF. Landscape Area)   |          |
| FESCUE TURF AREA     | 310 SF.    | 13 %       | TREES PROVIDED                         | 11       |
| LIVING COVERAGE      | 2,235 SF.  | 18 %       | SHRUBS REQUIRED                        | 49       |
| WOOD MULCH AREA      | 1,170 SF.  | 14 %       | (Based Upon 12,435 SF. Landscape Area) |          |
| COBBLE AREA          | 1,465 SF.  | 12 %       | SHRUBS PROVIDED                        | 91       |

NOTE: Living Coverage is Calculated by Providing 50% Coverage Over Total Area of Wood Mulch & Cobble.

### Landscape Architect

rdi Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105

Phone: 801-647-3114  
Fax: 801-355-4544  
Email: rldesign@comcast.net

Castle Rock TCR Number: 325

**Final PD Site Plan**  
**Lot 1-B**  
**Metzler Ranch**  
**Filing #3, 4th Amendment**  
**Castle Rock, CO.**

07 Jun, 2005

SHEET NO.

**5**

03-119L1-June

**GREAT BASIN ENGINEERING - SOUTH**  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Salt Lake City, (801)551-8559 Ogden (801)354-7288 Fax (801)821-8551

**Landscape Plan**  
**Final PD Site Plan**  
Lot 1-B Metzler Ranch Filing #3 4th Amendment  
Castle Rock, Colorado

### Plant List (TREES)

| Quan. | Symbol   | Botanical Name                     | Common Name                | Size                       | Remarks                       |
|-------|----------|------------------------------------|----------------------------|----------------------------|-------------------------------|
| 4     | (Symbol) | Gleditsia t. Inermis 'Shademaster' | Shademaster Honeylocust    | 2" Calliper 10'-12" Height | Matched Heads Straight Trunks |
| 6     | (Symbol) | Picea pungens glauca               | Colorado Spruce            | 6'-8" Height B & B         | Full Width Locally Grown      |
| 6     | (Symbol) | Pinus nigra                        | Austrian Pine              | 6'-8" Height B & B         | Full Width Locally Grown      |
| 1     | (Symbol) | Fagus caryagana 'Chanticleer'      | Chanticleer Flowering Pear | 2" Calliper 8'-10" Height  | Matched Heads Straight Trunks |

### Plant List (SHRUBS)

| Quan. | Symbol   | Botanical Name                  | Common Name             | Size     | Remarks   |
|-------|----------|---------------------------------|-------------------------|----------|-----------|
| 8     | (Symbol) | Euonymus alatus 'Compacta'      | Dwarf Burning Bush      | 5 Gallon | 18" - 24" |
| 28    | (Symbol) | Juniperus sabina 'Mooreana'     | Mooreana Juniper        | 5 Gallon | 18" - 24" |
| 3     | (Symbol) | Juniperus scopulorum            | Rocky Mountain Juniper  | 5 Gallon | 36" - 42" |
| 5     | (Symbol) | Pinus mugo mugo 'Stomound'      | Stomound Mugo Pine      | 5 Gallon | 18" - 24" |
| 6     | (Symbol) | Prunus besseyi                  | Western Sand Cherry     | 5 Gallon | 24" - 30" |
| 12    | (Symbol) | Prunus cistena                  | Purple Leaf Sand Cherry | 5 Gallon | 24" - 30" |
| 5     | (Symbol) | Ribes aureum                    | Golden Currant          | 5 Gallon | 18" - 24" |
| 11    | (Symbol) | Spiraea bumalda 'Neon Flash'    | Neon Flash Spiraea      | 5 Gallon | 15" - 18" |
| 1     | (Symbol) | Yucca filamentosa 'Ivory Tower' | Ivory Tower Yucca       | 5 Gallon | 15" - 18" |

### Plant List (GRASSES)

| Quan. | Symbol   | Botanical Name                    | Common Name          | Size     | Remarks   |
|-------|----------|-----------------------------------|----------------------|----------|-----------|
| 4     | (Symbol) | Miscanthus sinensis 'Gracillimus' | Maiden Grass         | 1 Gallon | 15" - 18" |
| 8     | (Symbol) | Fernestum alopecuroides 'Hameln'  | Dwarf Fountain Grass | 1 Gallon | 12" - 15" |

### Legend

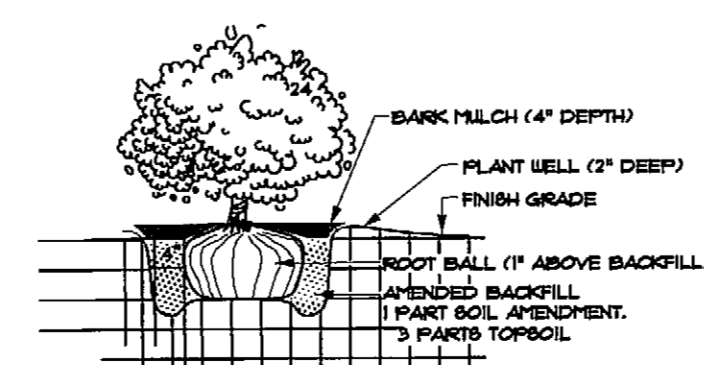
| Symbol   | Description   | Remarks  |
|----------|---|--|
| (Symbol) | Fescue Type Turf Grass Sod / Optional Seeding Method            | Water Conservative Lawn Mixture For Sod And/Or Seed Installation. Contractor Shall Submit Exact Mixture Blend For Approval.  |
| (Symbol) | Native Seed / For Rear Property Sloped Area.                    | Water Conservative Seed Mixture For Seed Installation To Blend With Adjacent Properties. Contractor To Submit Mixture For Approval.  |
| (Symbol) | Shredded Wood Mulch / From Local Sources.                       | Install To A Depth Of 4 Inches. Contractor To Submit 2 Samples For 1 Selection & Approval.   |
| (Symbol) | Rock Cobble / 3"-4" Size / From Local Source.                   | Install To A Depth Of 6" Inches. Install 30 Mil. Weed Barrier Fabric On All Surfaces To Receive Cobble/Cobble. Contractor To Submit 2 Samples For 1 Selection & Approval.                    |
| (Symbol) | Landscape Boulder / 3'-5' Size Mixture/Angular Shape            | Color To Contrast With The Type Of Cobble Or Wood Mulch Surfacing To Be Installed Within The Area.   |
| (Symbol) | 3/16" x 4" Ryerson Steel Edging Painted Green Finish            | Install With Smooth Flowing Curves Where Shown & Flush To All Concrete Edges. Sub-grade Shall Be Compacted Prior To Installation To Prevent Battling Of Any Kind.                            |
| (Symbol) | 1" Irrigation Connection Point / Within Shrub Planter Location. | Install "DRIP" Type Irrigation For All Tree Locations & Shrub Planting Areas, "SPRAYHEAD" Type Irrigation For All Fescue Turf Areas, And "ROTOR" Type Irrigation For All Native Grass Areas. |

### Composite Water Study

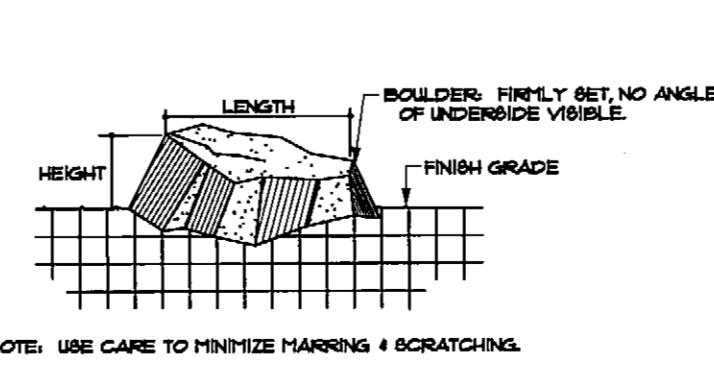
| LZ Zone | Landscape Types                                     | Calc. (IUR/5.0) | LUUR | Area       | Calc. Total |
|---------|---|-----------------|------|------------|-------------|
| 1 / L-1 | Native Seed   | 10.0/5.0        | 2.0  | 3,800 SF.  | 7,600       |
| 2 / L-2 | Native Seed   | 10.0/5.0        | 2.0  | 3,800 SF.  | 7,600       |
| 3 / H-1 | Lawn - Turf   | 25.0/5.0        | 5.0  | 310 SF.    | 1,550       |
| 4 / L-3 | Planting - Trees & Shrubs                           | 10.0/5.0        | 2.0  | 285 SF.    | 570         |
| 5 / L-4 | Planting - Trees & Shrubs                           | 10.0/5.0        | 2.0  | 1,220 SF.  | 2,440       |
| 6 / L-5 | Planting - Shrubs                                   | 10.0/5.0        | 2.0  | 1,730 SF.  | 3,460       |
| CLUUR   | Calculation: 23,520 Total / 11,265 SF. Total Area = |                 | 2.10 | 11,265 SF. | 23,520      |

### General Irrigation Notes

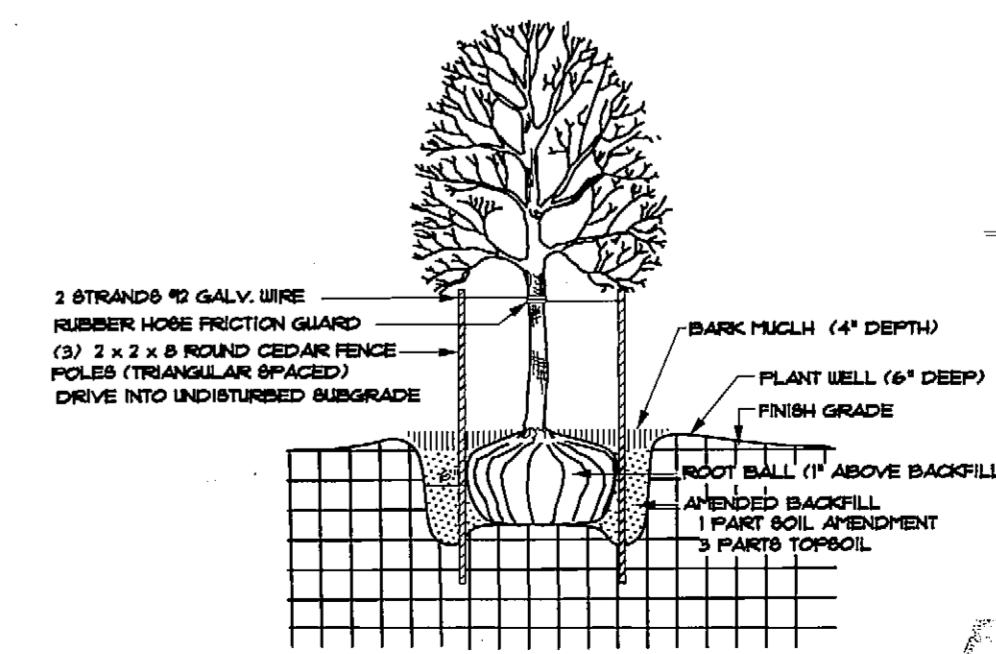
- Slopes greater than 3:1 (if any) shall not contain turf and cannot be irrigated with pop-up or spray irrigation.
- Areas which are less than 10' wide, cannot be irrigated with pop-up or spray heads.



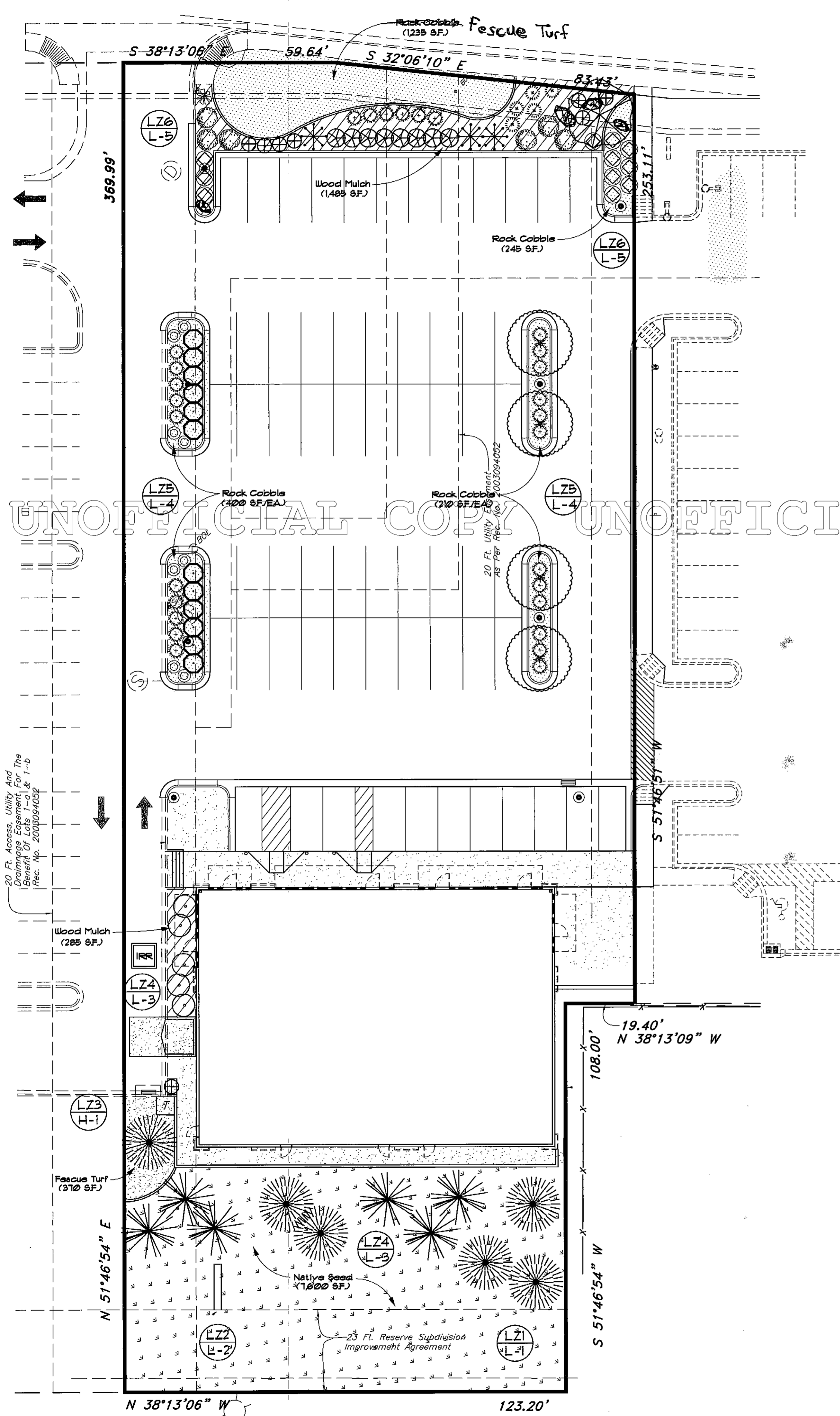
1 Shrub Planting



2 Decorative Boulder



3 Tree Planting



# Founders Parkway

110' PUBLIC RIGHT-OF-WAY

# Final PD Site Plan

Lot 1-B Metzler Ranch Filing #3 4th Amendment

A Part of the South Half of Section 26  
Township 7 South, Range 67 West, of the 6th P.M.  
Town of Castle Rock, County of Douglas,  
State of Colorado

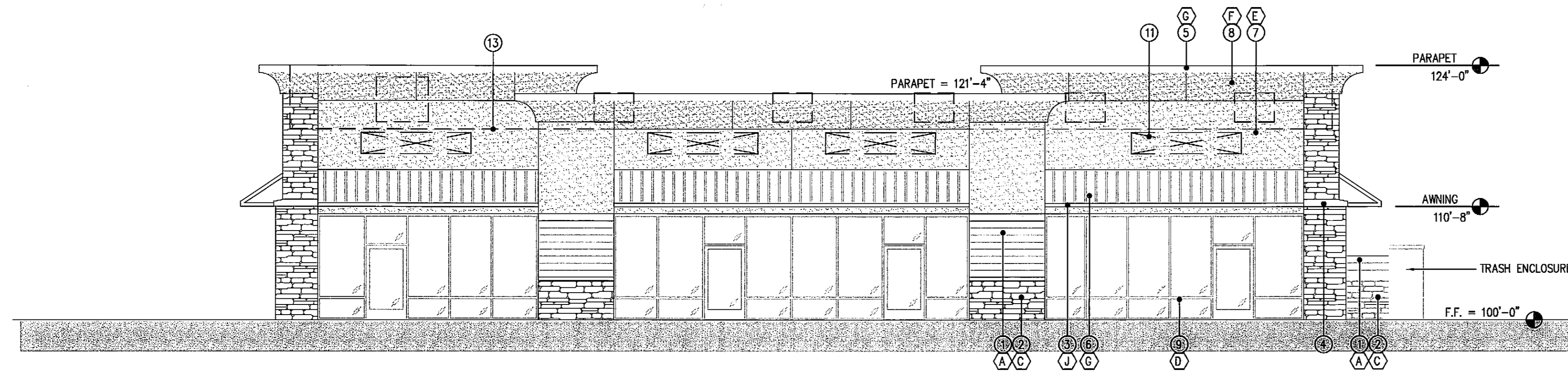
## Architectural Elevations

### 6 ELEVATION FLAG NOTES

- 1 INTEGRALLY COLORED SPLIT FACE CMU BLOCK
- 2 STONE VENEER WAINSCOT
- 3 STEEL AWNING FRAMING
- 4 CONCRETE CAP BLOCK / ACCENT BLOCK
- 5 PREFINISHED METAL CAP FLASHING
- 6 PREFINISHED METAL STANDING SEAM ROOFING
- 7 SYNTHETIC STUCCO FASCIA WITH ACCENT GROOVES
- 8 SYNTHETIC STUCCO CORNICE
- 9 ALUMINUM STOREFRONT SYSTEM
- 10 HOLLOW METAL DOOR AND FRAME
- 11 PROPOSED INTERNALLY ILLUMINATED SIGNAGE
- 12 METAL GATE & PIPE BOLLARDS
- 13 PROPOSED ROOF LINE AND EQUIPMENT. FINAL LOCATIONS T.B.D.

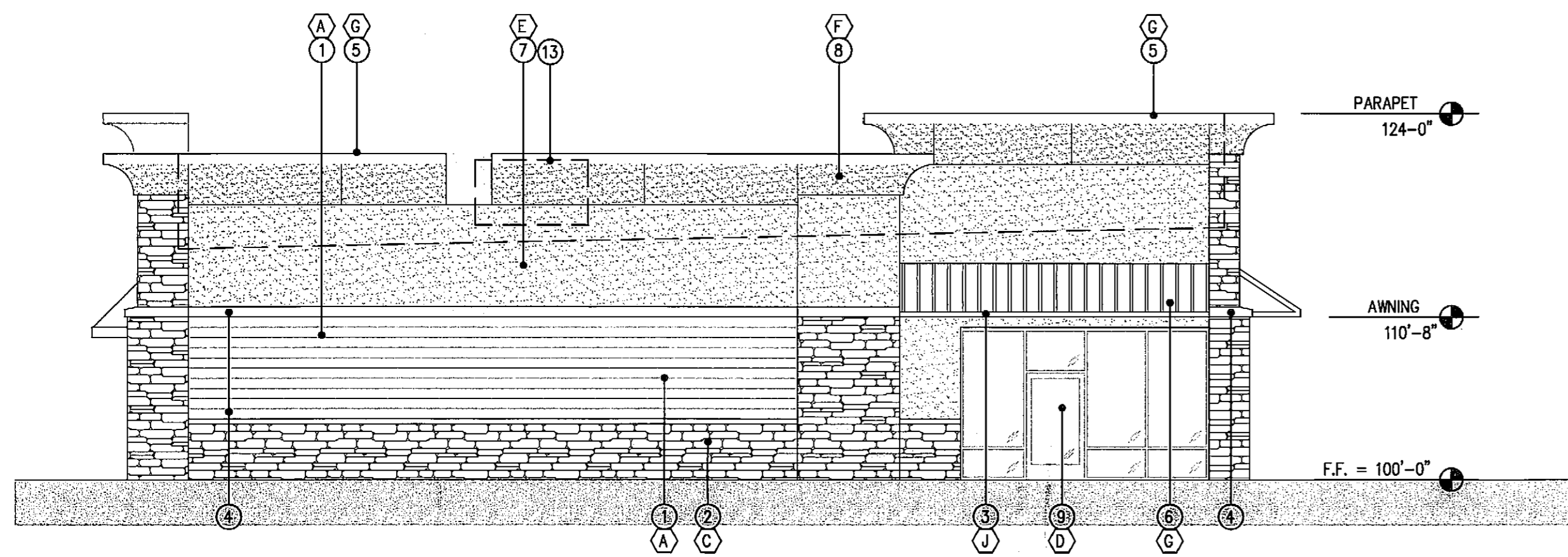
### 7 MATERIALS LEGEND

- |   |                                |   |                 |
|---|--------------------------------|---|-----------------|
| A | BEST BLOCK, WESTERN BEIGE      | A | PAIN'T TO MATCH |
| B | NOT USED                       | B | PAIN'T TO MATCH |
| C | RHYOLITE STONE                 | C |                 |
| D | KAWNEER MEDIUM BRONZE ANODIZED |   |                 |
| E | STO, COLOR 31336               |   |                 |
| F | STO, COLOR 32142               |   |                 |
| G | BERRIDGE, COLONIAL RED         |   |                 |
| H |                                |   |                 |
| J |                                |   |                 |

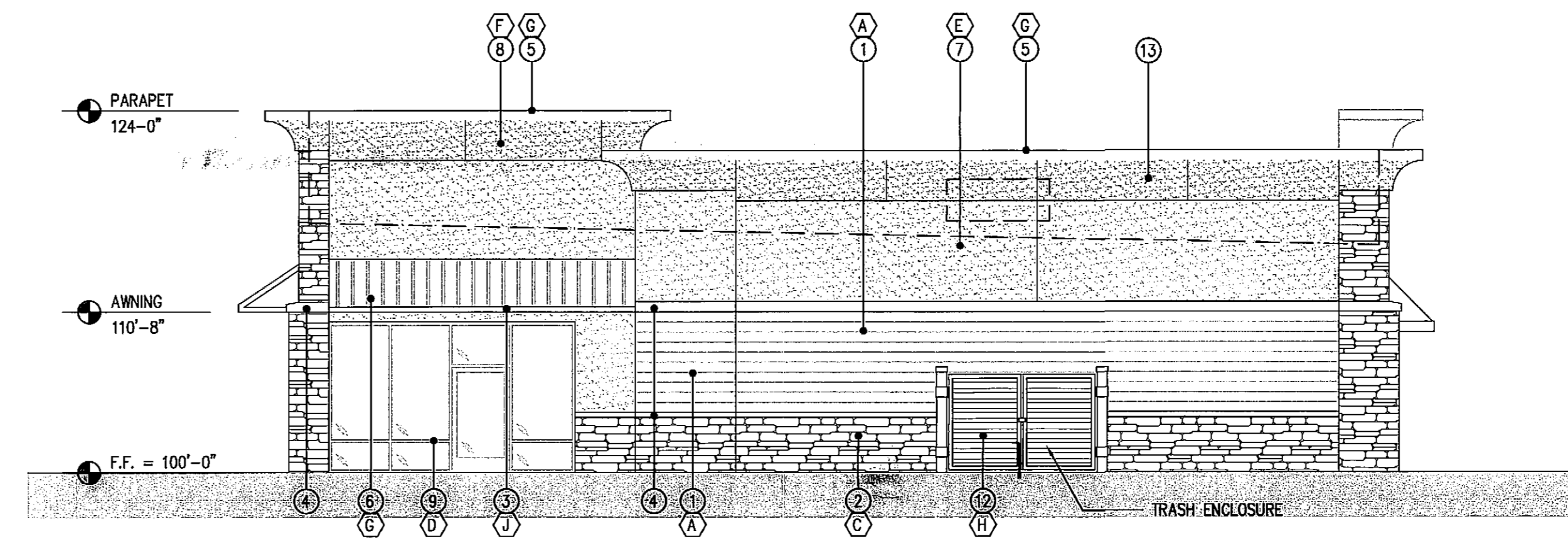


UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY

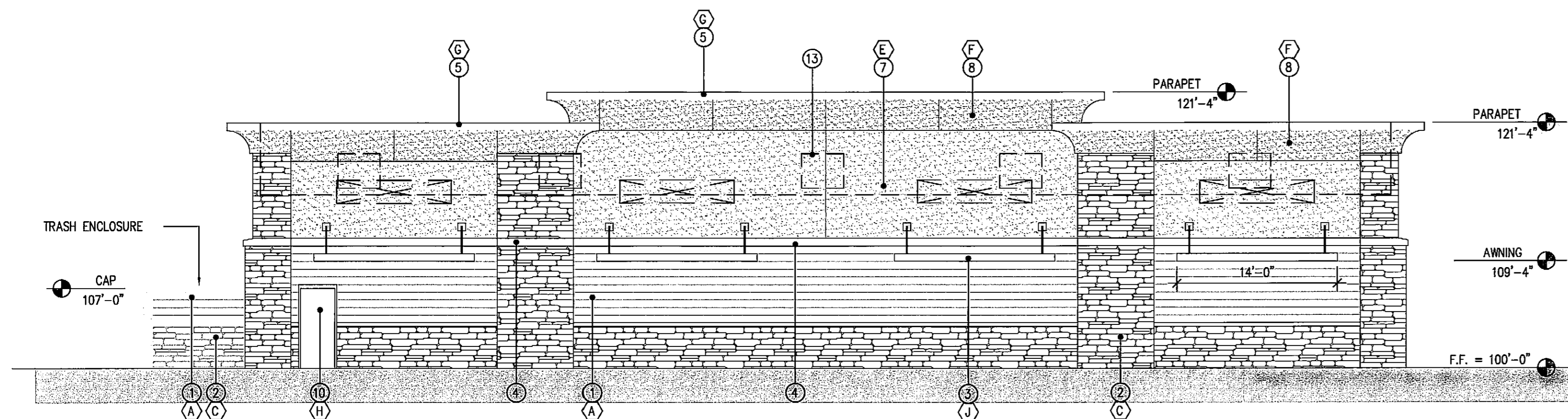
1 **NORTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
ALLEN STREET



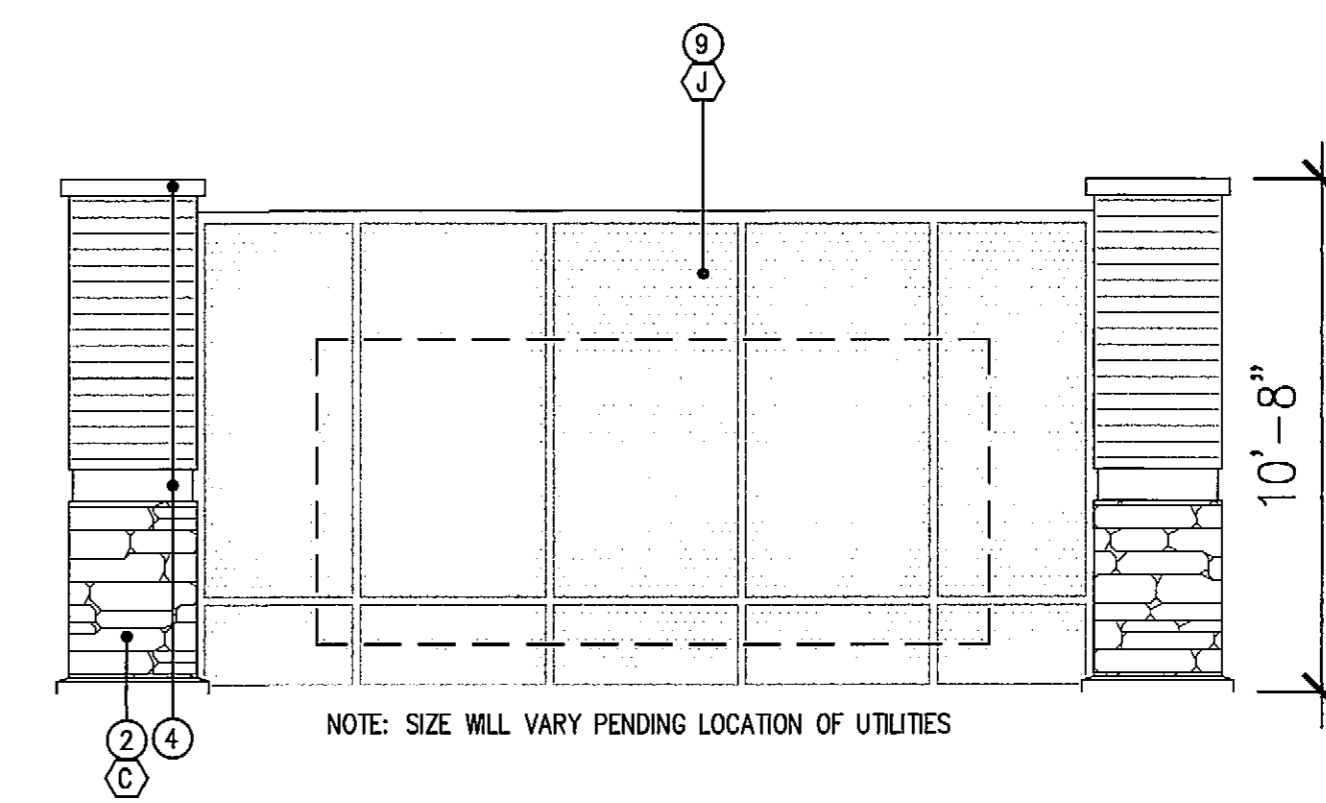
2 **NORTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"



3 **SOUTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
FRONT STREET



4 **SOUTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
FOUNDERS PARKWAY



5 **PROPOSED UTILITY SCREEN**  
SCALE: 1/4" = 1'-0"  
UTILITY SCREEN SHOWN AS ALTERNATE TO LANDSCAPING

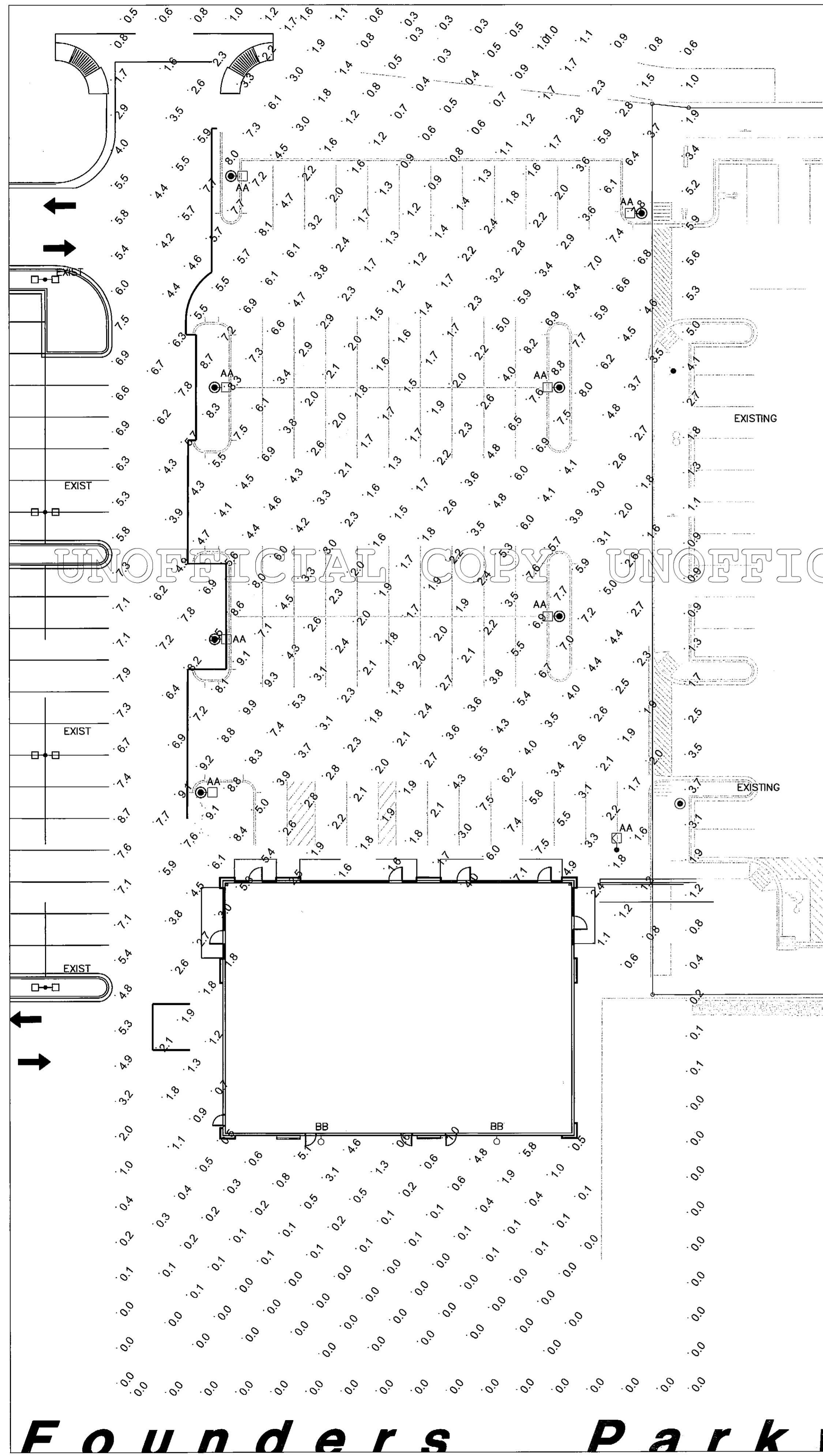
**Final PD Site Plan**  
Lot 1-B  
**Metzler Ranch**  
Filing #3, 4th Amendment  
**Castle Rock, CO.**

**GREAT BASIN ENGINEERING - SOUTH**  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Open (801)394-7288 Fax (801)351-9551

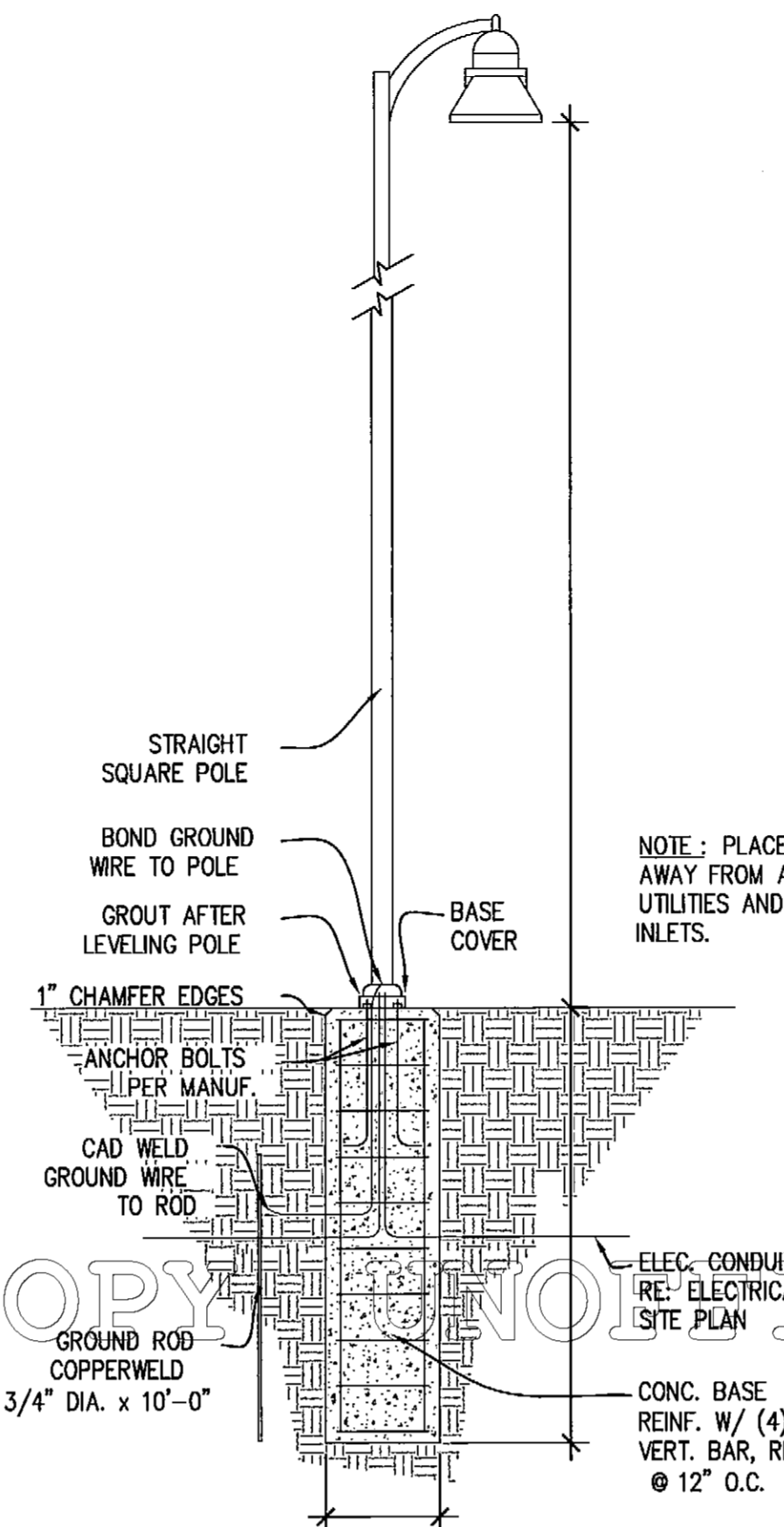
**Architectural Elevations**  
**Final PD Site Plan**  
Lot 1-B Metzler Ranch Filing #3 4th Amendment  
Castle Rock Colorado

6 Jun, 2005  
SHEET NO. **6**  
of 7  
03-119elevations-PD

C:\Acad\_Dwg\03-119elevations-PD.dwg, 6/15/2005 1:14:18 PM, 1:1, SMP

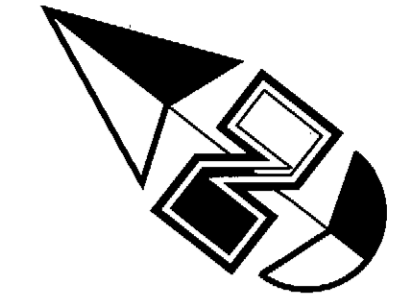


1 SITE ELECTRICAL PLAN  
SCALE: 1" = 20'-0"

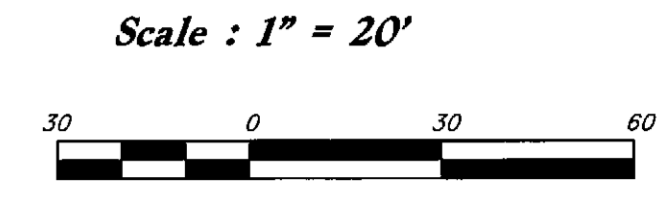


Typical Site Light & Base

**Final PD Site Plan**  
**Lot 1-B Metzler Ranch Filing #3 4th Amendment**  
 A Part of the South Half of Section 26  
 Township 7 South, Range 67 West, of the 6th P.M.  
 Town of Castle Rock, County of Douglas,  
 State of Colorado



**Site Lighting**  
**Photometric Plan**



| LUMINAIRE SCHEDULE |       |     |                |  |   |             |        |      |       |
|--------------------|-------|-----|----------------|--|---|-------------|--------|------|-------|
| Symbol             | Label | Qty | Catalog Number | Description  | Lamp  | File        | Lumens | LLF  | Watts |
| EXIST              |       | 4   | RA253/250MH/xx | ERA INTERNATIONAL DESIGN LUMINAIRE DIE CAST ALUM HOUSING & LENS FRAME FLAT GLASS DIE CAST ALUM REFLECTOR SHELL MULTIFACETED SPECULAR REFL PANELS | 250 W MH ED-28 CLEAR MOG. BASE HORIZONTAL POSITION TEST RATED AT 23000 INITIAL LUMENS | Rh3/25m.les | 23000  | 1.00 | 500   |
| AA                 |       | 11  | RA253/250MH/xx | ERA INTERNATIONAL DESIGN LUMINAIRE DIE CAST ALUM HOUSING & LENS FRAME FLAT GLASS DIE CAST ALUM REFLECTOR SHELL MULTIFACETED SPECULAR REFL PANELS | 250 W MH ED-28 CLEAR MOG. BASE HORIZONTAL POSITION TEST RATED AT 23000 INITIAL LUMENS | Rh3/25m.les | 23000  | 1.00 | 250   |
| BB                 |       | 2   | MHP-W50        | TRAPEZOID SHAPED FULL CUT-OFF WALL LUMINAIRE   | 60 WATT MH ED-17 MEDIUM BASE CLEAR  | IP17M.IES   | 8600   | 1.00 | 85    |

| STATISTICS           |        |        |        |         |         |
|----------------------|--------|--------|--------|---------|---------|
| Description          | Avg    | Max    | Min    | Max/Min | Avg/Min |
| PARKING LOT          | 4.2 fc | 9.9 fc | 0.9 fc | 11.0:1  | 4.7:1   |
| WALKWAYS             | 2.7 fc | 7.5 fc | 0.5 fc | 15.0:1  | 5.4:1   |
| beyond property line | 2.4 fc | 8.7 fc | 0.0 fc | N/A     | N/A     |

**GENERAL NOTES:**

- CATALOG CUTSHEETS, CONTROLS DESCRIPTIONS, AND SIGNAGE DESCRIPTION WILL BE PROVIDED WITH CONSTRUCTION DOCUMENTS. ALL ITEMS TO COMPLY WITH SECTION 17.69 OF THE MUNICIPAL CODE OF CASTLE ROCK.

**COOPER LIGHTING—LUMARK®**

**TYPE:** DESCRIPTION

**DESCRIPTION:** Dominated by flat surfaces and strong lines that emphasize the principles of architecture, the IMPACT Trapezoid cutoff wall luminaire makes an ideal complement to site design. U.L. Listed and CSA Certified for wet locations in down mount applications and damp locations in up mounted applications.

**APPLICATION:** The IMPACT's rugged die-cast construction and full cutoff classified optics perfectly provide facade and security lighting needs for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities.

**CATALOG #:** SPECIFICATION FEATURES

**A - Housing:** The housing is a two-piece design of die-cast aluminum for precise control of tolerances and repeatability.

**B - Mounting:** Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-Box or wall with "Hook-N-Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.

**C - Optical Modules:** All optical modules utilize high performance 80% reflective sheet. Strong Type II optical module is standard.

**D - Ballast:** HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-20°F) for MH. Compact fluorescent luminaires feature program start, high efficient multi-voltage 60/60Hz ballast with -18°C (0°F) minimum starting.

**E - Door:** Die cast door features 1/8" heat and impact resistant clear tempered glass lens mounted with internal plated steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive fasteners.

**F - Finish:** Durable polyester powder coat finish. Standard color is bronze. Optional white, black and silver colors available. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.

**IP IMPACT TRAPEZOID**

50 - 175 W  
High Pressure Sodium Metal Halide

28 - 52 W  
Compact Fluorescent

FULL CUTOFF WALL MOUNT LUMINAIRE

**IMPACT**

**TECHNICAL DATA**  
 25°C Maximum Ambient Temperature  
 Extreme Storage/Wing 80°C Maximum  
 Drawn Reamed - After Location  
 1/2 Mounted - Damp Location

**ENERGY DATA**  
 High Performance Ballast Input Watts  
 50W HPS HPF (85 Watts)  
 50W MH HPF (72 Watts)  
 75W HPS HPF (81 Watts)  
 75W MH HPF (69 Watts)  
 100W HPS HPF (110 Watts)  
 100W MH HPF (92 Watts)  
 150W HPS HPF (150 Watts)  
 150W MH HPF (138 Watts)  
 CWFL Ballast Input Watts  
 175W MH HPF (170 Watts)

**Equivalent Ballast Input Watts**  
 28W PL HPF (20 Watts)  
 28W PL HPF (20 Watts)  
 42W PL HPF (30 Watts)  
 42W PL HPF (30 Watts)  
 52W PL HPF (35 Watts)

**SHIPPING DATA**  
 Approximate Net Weight:  
 15 lbs. (7 kg)

**COOPER LIGHTING**

**Dark Sky Friendly**

**DARK SKY FRIENDLY**  
 In downlight applications only.

**HOOK-N-LOCK MOUNTING** (Mounting attachment included. J-Box not included.)

ADH040502

**GREAT BASIN ENGINEERING - SOUTH**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Salt Lake City (801)521-8629 Ogden (801)394-2288  
 Fax (801)521-9551

**Site Lighting Photometric Plan**  
**Final PD Site Plan**  
 Lot 1-B Metzler Ranch Filing #3 4th Amendment  
 Castle Rock Colorado

6 Jun, 2005

SHEET NO. **7**

03-119SiteLight-PD