

PLAT IDENTIFICATION SHEET



2003095844 9 PGS

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$91.00
9 PGS

2003095844
06/27/2003 01:20 PM

UNOFFICIAL COPY

GRANTOR:

(owner/signer)

RRmm Corporation

GRANTEE:

(subdivision name or name of plat)

Lot 1A Metzler Ranch Filing No. 3
3rd Amendment

LEGAL:

(section-township-range)

26 - 7 - 67

FINAL PD SITE PLAN

LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT

LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

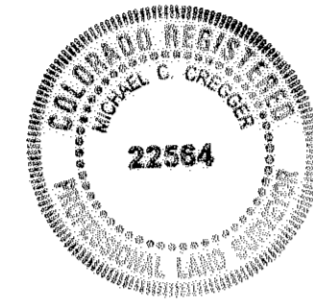
PROPERTY DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS: LOT 1-A, METZLER RANCH FILING NO. 3, 3RD AMENDMENT, ACCORDING TO THE RECORDED PLAT THEREOF, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO, CONTAINING 1.94 ACRES, MORE OR LESS.

SURVEYOR'S STATEMENT

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE METZLER RANCH FILING NO. 3, 3RD AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger
PROFESSIONAL LAND SURVEYOR
COLORADO REGISTRATION NO. 22564
DATE June 19, 2003

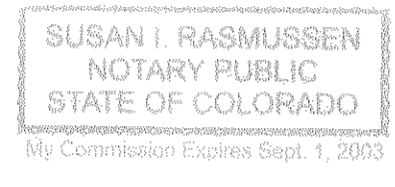


TITLE CERTIFICATION

I, Diane Evans AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 25th DAY OF June, 2003
Diane Evans

AUTHORIZED REPRESENTATIVE
Land Title Guarantee Company
TITLE INSURANCE COMPANY

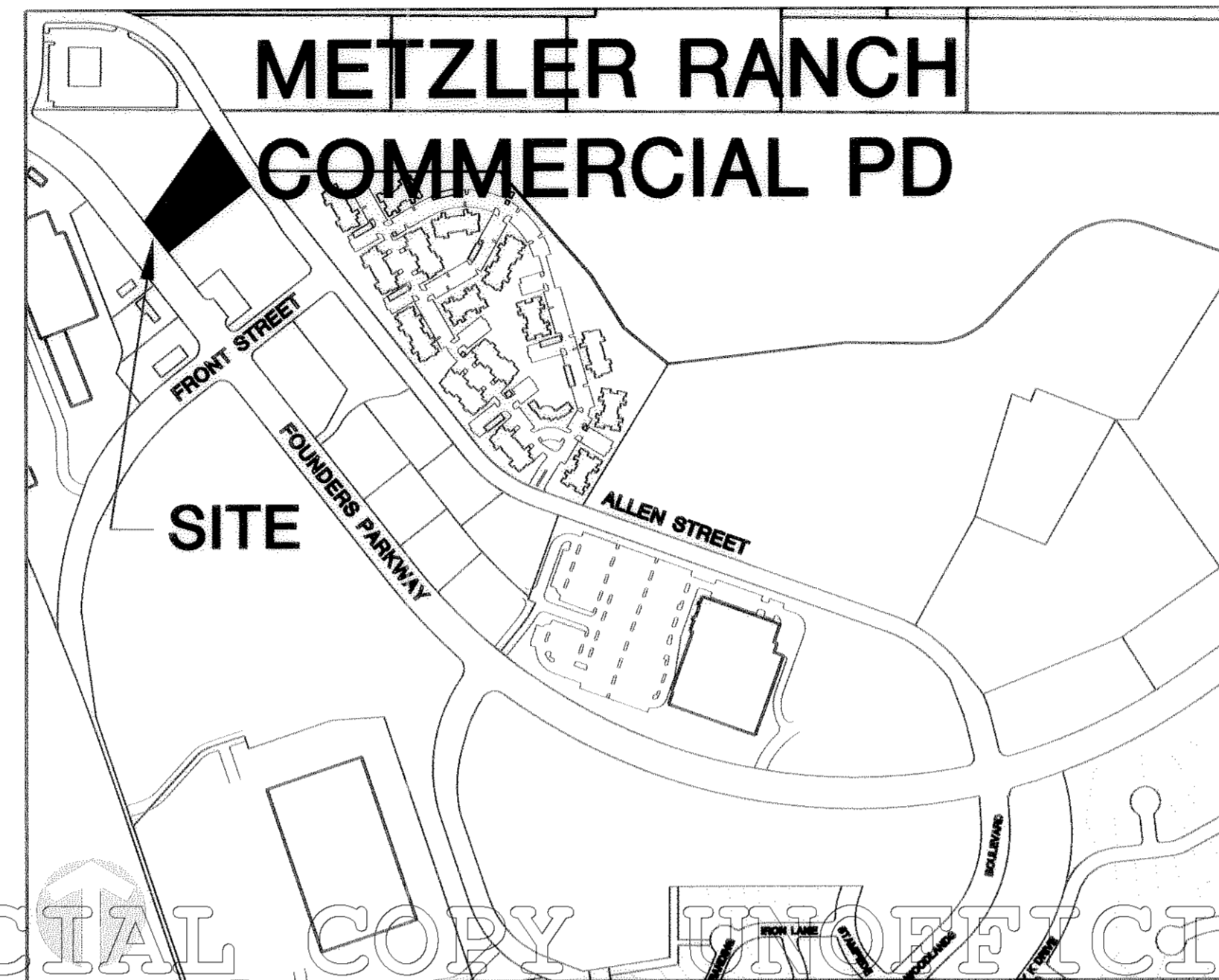


SUBSCRIBED AND SWORN TO BEFORE ME THIS 25 DAY OF June, 2003 BY
Diane Evans

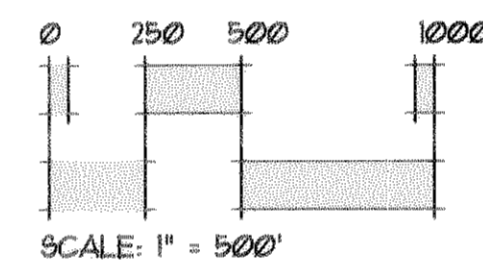
WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC
MY COMMISSION EXPIRES: 9-1-03
Susan I. Rasmussen
Notary

NOTES:

- BENCHMARK: FINISHED RIM ELEVATION - SANITARY SEWER MANHOLE ELEVATION = 6,332.27 (USGS) NORTHWEST CORNER OF PARCEL 4, 25 FEET SOUTH OF FOUNDERS PARKWAY SOUTH RIGHT-OF-WAY LINE.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS: SECTION LINE; SOUTH 89°38'29" EAST
- THE DEVELOPER SHALL CONFORM WITH THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME FOR THIS PROJECT.
- NO SOLID OBJECT EXCEEDING THIRTY INCHES (30") IN HEIGHT ABOVE THE FLOW LINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPING PLANTINGS, CUT SLOPES OR BERMS, SHALL BE PLACED IN THE SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAT.
- IN ACCORDANCE WITH THE METZLER RANCH FILING NO. 3 SIA, THE FOLLOWING METER WILL BE USED AND CORRESPONDING SFE'S WILL BE DEDUCTED FROM THE WATER BANK:
METER SIZE: 2" SFE'S: 8
- SIGNAGE WILL BE APPROVED WITH THE FINAL PD SITE PLAN; HOWEVER, A SIGN PERMIT FOR EACH SIGN MUST BE SUBSEQUENTLY OBTAINED FROM THE BUILDING DEPARTMENT PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THIS CODE.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ENSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.



VICINITY MAP
SCALE 1" = 500'



- PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLICS RIGHTS OF WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SCRUB MUST REPLACE A SCRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THERE ARE NO KNOWN FEMA FLOOD PLAINS ON THE SUBJECT PROPERTY.
- THIS FINAL PD SITE PLAN IS SUBJECT TO THE METZLER RANCH PRELIMINARY PD SITE PLAN, THIRD MAJOR AMENDMENT 1999, REVISED NOVEMBER 5, 1999; RECEPTION No. 00040856
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDs. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK MINOR RIDGELINE ORDINANCE. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.14 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

SITE DATA		
ADDRESS:	xx ALLEN STREET CASTLE ROCK, CO 80104	
PRESENT ZONING:	PD	
PROPOSED ZONING:	PD	
PRESENT USE:	VACANT	
PROPOSED USE:	RESTAURANT	
ITEM	SQ. FOOTAGE	%
TOTAL LOT 1-A	84,632.6	100
BUILDING FOOTPRINT	6,346.0	7.5
PARKING/ROADS	45614.3	53.9
HARDSCAPE TOTAL	51,960.3	61.4
PLANTED AREA	22,601.5	26.7
EXISTING VEGETATION	10,070.8	11.9
LANDSCAPE TOTAL	32,672.3	38.6
BUILDING SIZE		
SINGLE STORY	6,346 SQ.FT. TOTAL	

PARKING TABULATION	
REQUIRED PARKING 1 SPS. PER 200 SF	62.5
PROVIDED PARKING	119 FULL SIZE 2 HANDICAP
	121 TOTAL

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HERIN AS THE METZLER RANCH FILING NO. 3, 3rd AMENDMENT, LOT 1-A IN THE TOWN OF CASTLE ROCK.

Robert F. Metzler
RRMM CORPORATION
SIGNED THIS 23 DAY OF June, 2003

SUBSCRIBED AND SWORN TO BEFORE ME THIS 23 DAY OF June, 2003 BY
Robert F. Metzler

WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC *Craig M. Reed*
MY COMMISSION EXPIRES: 10-11-2005



TOWN CERTIFICATION

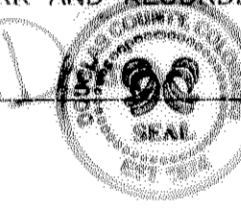
THE FINAL PD SITE PLAN FOR METZLER RANCH FILING 3, 3rd AMENDMENT, LOT 1-A WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO, THE 26th DAY OF June, 2003

Matthew A. Sellman
DIRECTOR OF DEVELOPMENT SERVICES
DATE 6-26-03

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY ON THE 27th DAY OF June, 2003, RECEPTION NO. 2003095844

DOUGLAS COUNTY CLERK AND RECORDER
BY: *Christina D.*
DEPUTY



LIENHOLDER SUBORDINATION

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS METZLER RANCH FILING NO. 3, 3rd AMENDMENT, LOT 1-A IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON 11/17/00 AT RECEPTION NUMBER 1922 202301 IN DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

Rosemary M. Metzler
ROSEMARY M. METZLER

SIGNED THIS 23 DAY OF June, 2003

NOTARY BLOCK
SUBSCRIBED AND SWORN BEFORE ME THIS 23 DAY OF June, 2003
BY ROSEMARY M. METZLER

WITNESS MY HAND AND OFFICIAL SEAL.
Craig M. Reed
NOTARY PUBLIC

MY COMMISSION EXPIRES 10-11-2005

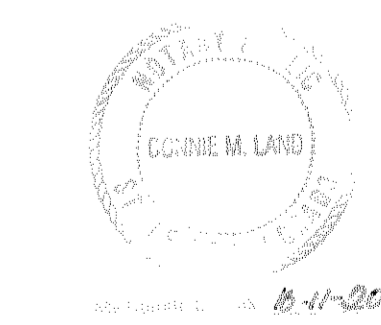
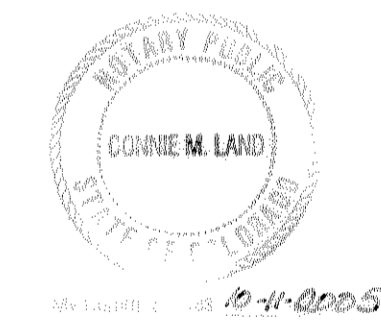
Robert F. Metzler
ROBERT F. METZLER

SIGNED THIS 23 DAY OF June, 2003

NOTARY BLOCK
SUBSCRIBED AND SWORN BEFORE ME THIS 23 DAY OF June, 2003
BY ROSEMARY M. METZLER

WITNESS MY HAND AND OFFICIAL SEAL.
Craig M. Reed
NOTARY PUBLIC

MY COMMISSION EXPIRES 10-11-2005



SHEET INDEX

- TITLE SHEET
- SITE PLAN
- UTILITY & GRADING PLAN
- LANDSCAPE PLAN
- BUILDING ELEVATIONS
- SIGNAGE AND LIGHTING DETAILS
- PHOTOMETRIC PLAN

OWNER
RRMM CORP.
P.O. BOX 1198
IDAHO SPRINGS, CO 80452
REPRESENTATIVE: PEREGRINE GROUP
(303) 832-1377

DEVELOPER
RED ROBIN
5675 DTC PARKWAY
GREENWOOD VILLAGE, CO 80246
(303) 846-6137

CIVIL ENGINEER/SURVEYOR
TST Inc. of Denver
9222 Teddy Lane
Lone Tree, CO 80124
(303) 792-0557

ARCHITECT
CHIPMAN ADAMS LTD.
1550 N. NORTHWEST HIGHWAY
4TH FLOOR
PARK RIDGE, IL 60068-1463
(847) 298-6900



SUBMITTAL: November 14, 2002
REVISED: April 15, 2003
REVISED: May 22, 2003

FINAL PD SITE PLAN
LOT 1-A
METZLER RANCH FILING NO. 3
3RD AMENDMENT
TITLE SHEET
SHEET 1 OF 9

FINAL PD SITE PLAN

LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT

LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SITE PLAN

LEGEND

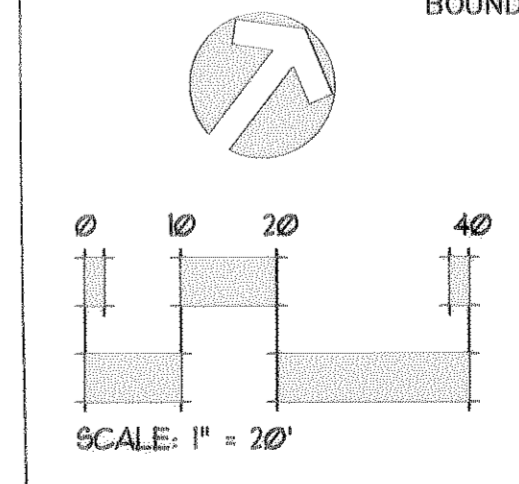
- PROPERTY LINE/RIGHT-OF-WAY
- - - EXISTING EASEMENT
- EXISTING FLOWLINE
- PROPOSED FLOWLINE - CATCH
- PROPOSED FLOWLINE - SPILL
- PROPOSED FLOWLINE - ACCESSIBLE CURB
- PROPOSED BACK OF CURB
- PROPOSED EDGE OF ASPHALT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED CONCRETE DRIVEWAY
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE
- PROPOSED FIRE SERVICE
- EXISTING SANITARY, MANHOLE
- EXISTING SEWER SERVICE STUB-OUT
- PROPOSED SEWER SERVICE
- EXISTING STORM SEWER
- EXISTING STORM MANHOLE, INLET
- PROPOSED STORM SEWER
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- EXISTING CONTOUR (1' INTERVAL)
- EXISTING CONTOUR (5' INTERVAL)
- PROPOSED CONTOUR (1' INTERVAL)
- PROPOSED CONTOUR (5' INTERVAL)
- 47.77' - PROPOSED ELEVATION - TOP BACK OF CURB
- 47.27' - PROPOSED ELEVATION - FLOWLINE
- SF - SILT FENCE
- VTC - VEHICLE TRACKING PAD
- IP - INLET PROTECTION

Site Summary

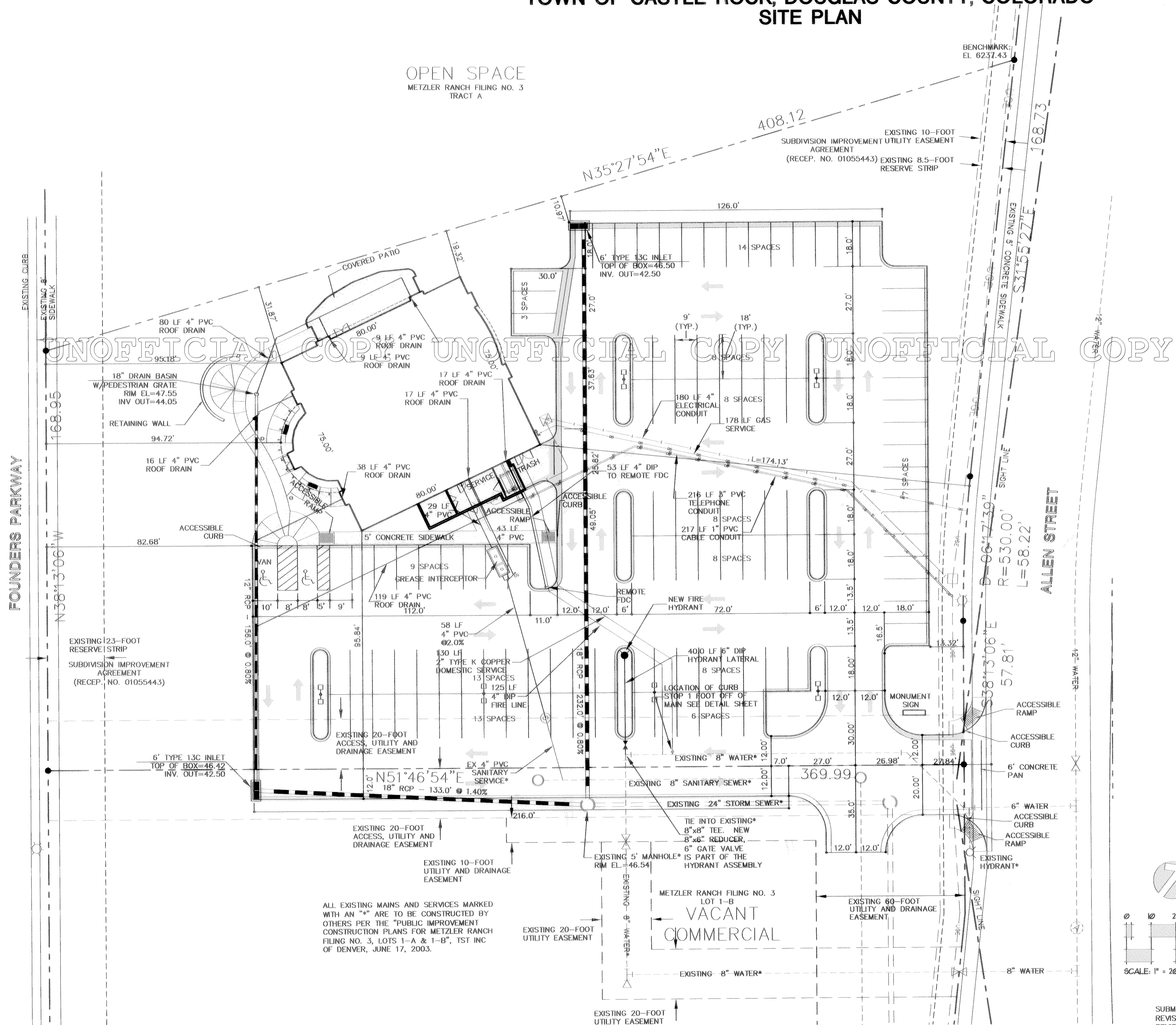
Proposed		
Total Site	84,632.6	100.0%
Site Paving	45,614.3	53.9%
Curb & Gutter	2,644.3	
Building Concrete	686	
Sidewalk	2,547	
Asphalt Parking	39,737	
Building	6,346.0	7.5%
Landscaping	32,672.3	38.6%

NOTES:

- ALL SIDEWALKS, PAVING, RAMPS, CURB AND PARKING TO BE USED AS AN ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A177.1, AND ANY LOCAL, STATE OR FEDERAL CODES FOR ACCESSIBILITY. IN CASES OF CONFLICT THE MOST STRINGENT CODE SHALL APPLY.
- MAXIMUM LONGITUDINAL SLOPE OF ACCESSIBLE ROUTES SHALL BE 5.0% (1:20)
- MAXIMUM CROSS SLOPE OF ACCESSIBLE ROUTES SHALL BE 2.0% (1:50).
- MAXIMUM SLOPE FOR ACCESSIBLE PARKING SHALL NOT EXCEED 2.0% (1:50) IN ANY DIRECTION.
- ANY SITE CONDITIONS, BOTH CONSTRUCTED OR PRE-EXISTING THAT PREVENT COMPLYING WITH LOCAL CODES, OR THE GRADES SHOWN ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- THERE ARE NO PROPOSED OR EXISTING ACCESS POINTS WITHIN 150 FEET OF THE PROPERTY BOUNDARY.



SUBMITTAL: November 15, 2002
 REVISED: APRIL 15, 2003
 REVISED: MAY 22, 2003
 REVISED: JUNE 19, 2003



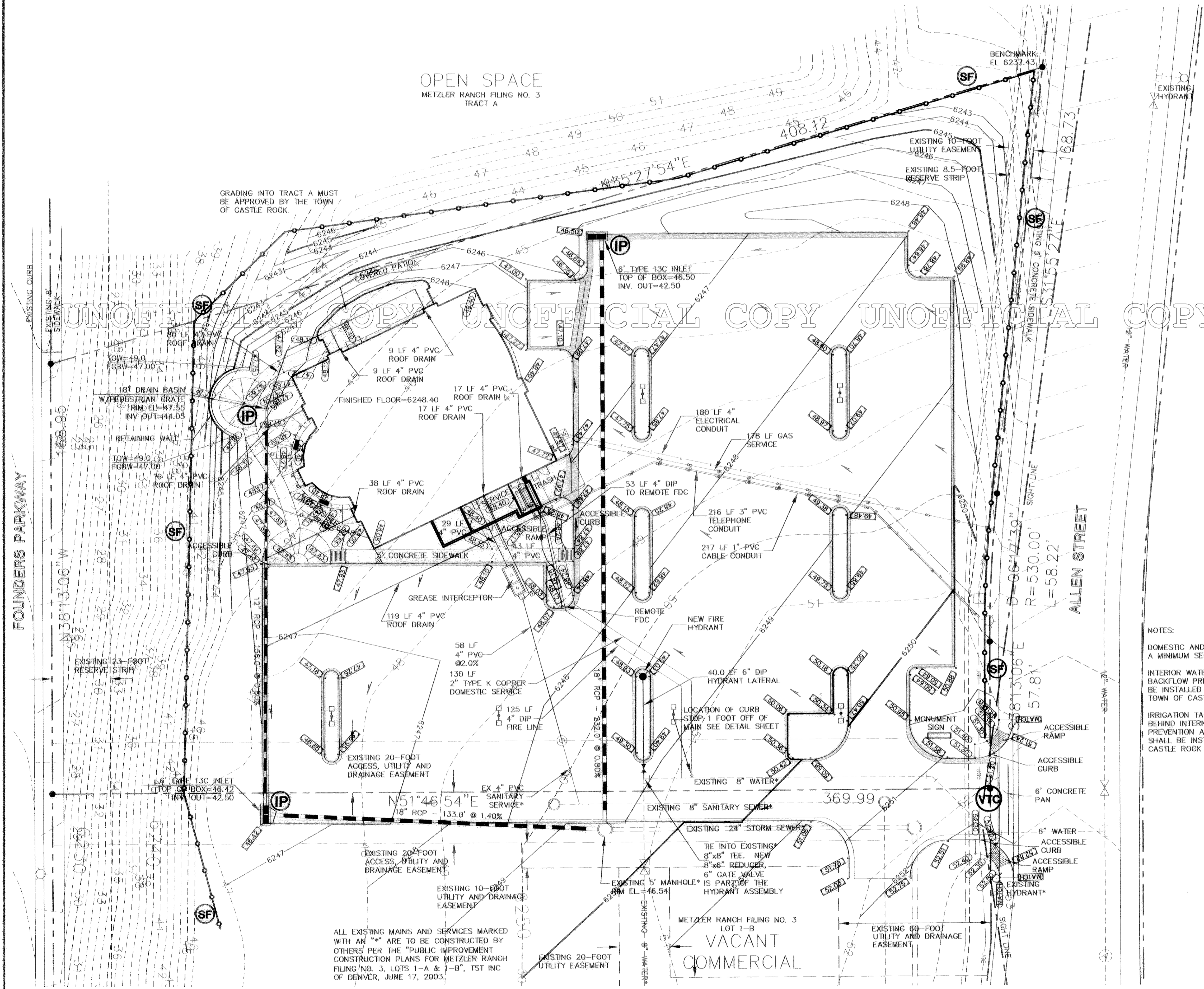
ALL EXISTING MAINS AND SERVICES MARKED WITH AN "*" ARE TO BE CONSTRUCTED BY OTHERS PER THE "PUBLIC IMPROVEMENT CONSTRUCTION PLANS FOR METZLER RANCH FILING NO. 3, LOTS 1-A & 1-B", TST INC OF DENVER, JUNE 17, 2003.

FINAL PD SITE PLAN

LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT

LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

GRADING AND UTILITY PLAN



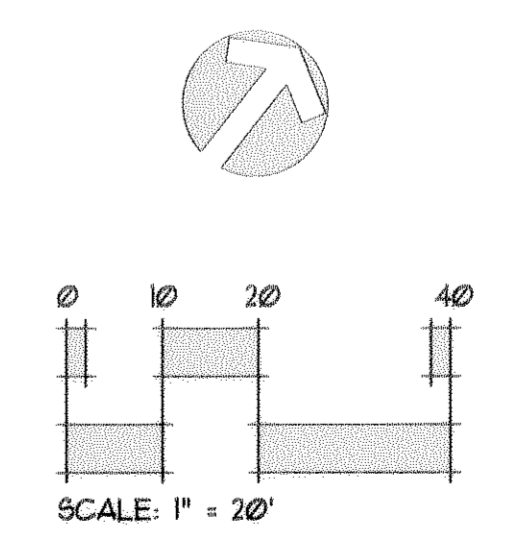
- #### LEGEND
- PROPERTY LINE/RIGHT-OF-WAY
 - EXISTING EASEMENT
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 - PROPOSED FLOWLINE - CATCH
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 - PROPOSED FLOWLINE - ACCESSIBLE CURB
 - PROPOSED BACK OF CURB
 - PROPOSED EDGE OF ASPHALT
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - PROPOSED HANDICAP RAMP
 - PROPOSED CONCRETE DRIVEWAY
 - 8" W EXISTING WATER
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER SERVICE
 - PROPOSED FIRE SERVICE
 - 8" SS EXISTING SANITARY, MANHOLE
 - EXISTING SEWER SERVICE STUB-OUT
 - 4" SS PROPOSED SEWER SERVICE
 - EXISTING STORM SEWER
 - EXISTING STORM MANHOLE, INLET
 - PROPOSED STORM SEWER
 - EXISTING STREET LIGHT
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 - 47.77 PROPOSED ELEVATION - TOP BACK OF CURB
 - 47.27 PROPOSED ELEVATION - FLOWLINE
 - SF SILT FENCE
 - VTC VEHICLE TRACKING PAD
 - IP INLET PROTECTION
 - FLOW DIRECTION

NOTES:

DOMESTIC AND FIRE SERVICES SHALL HAVE A MINIMUM SEPARATION OF 4 FEET.

INTERIOR WATER METER SET AND BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK REGULATIONS.

IRRIGATION TAP SHALL BE LOCATED BEHIND INTERNAL METER. BACKFLOW PREVENTION ASSEMBLY IS REQUIRED AND SHALL BE INSTALLED PER TOWN OF CASTLE ROCK REGULATIONS.

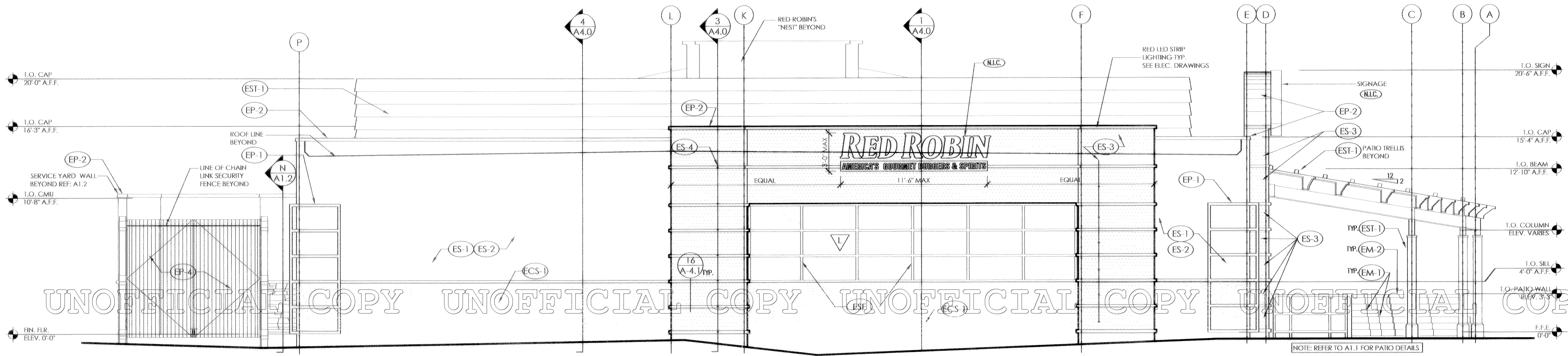


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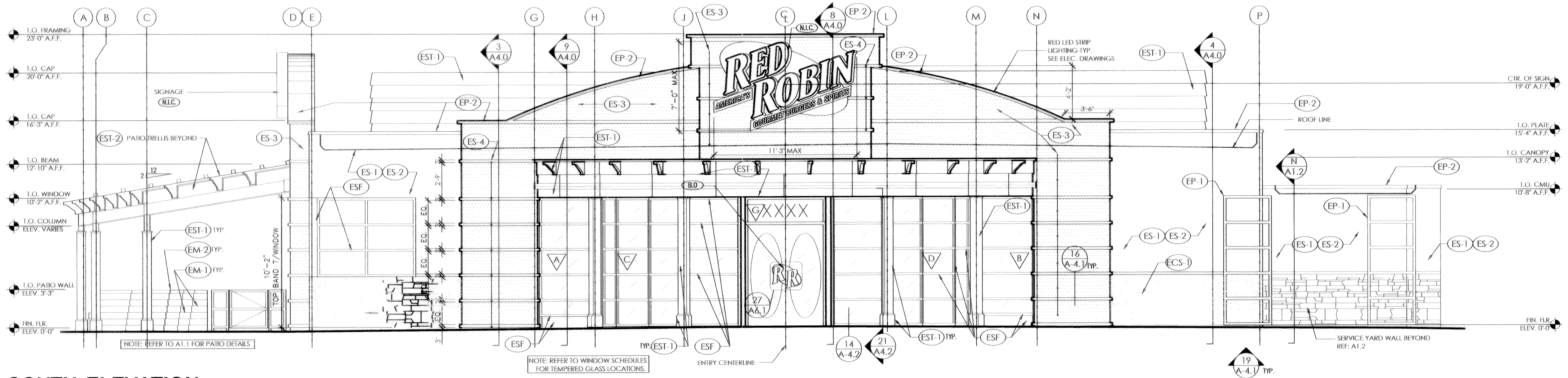


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FINAL PD SITE PLAN
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 LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
ARCHITECTURAL ELEVATIONS



NORTH ELEVATION

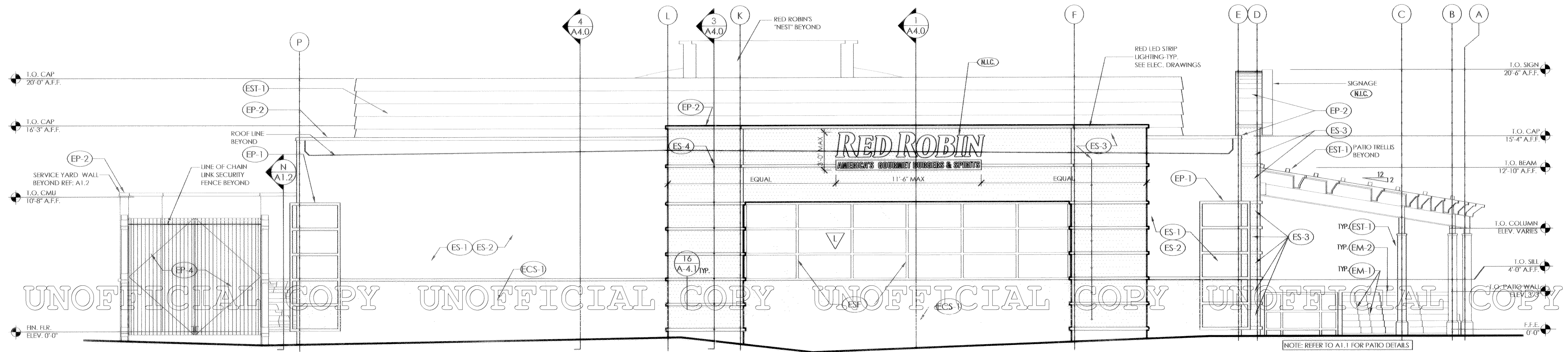


SOUTH ELEVATION

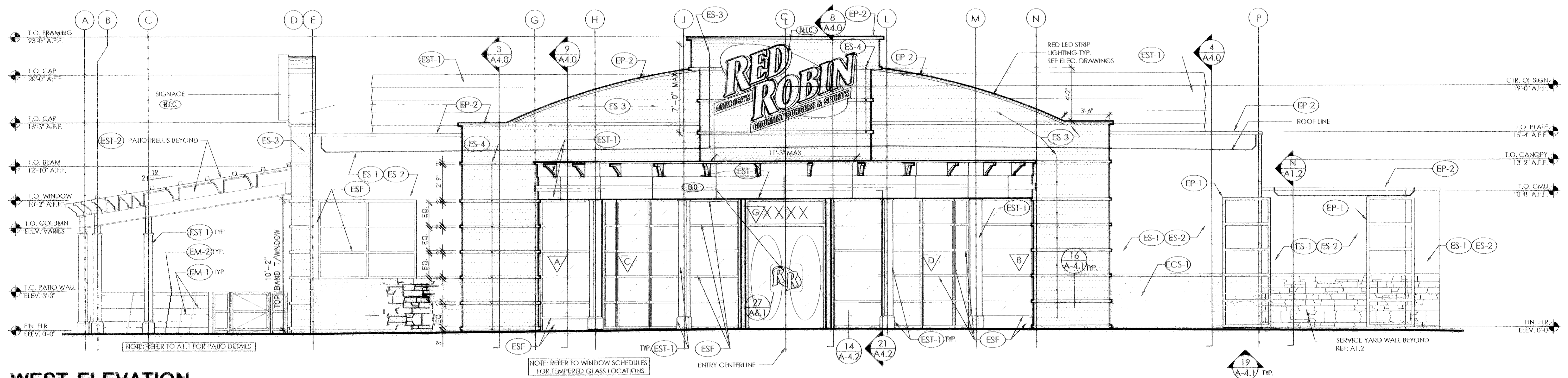
- EXTERIOR FINISHES**
- (EM-1) PLANTER WALL: ANCHOR WALL SYSTEMS DIAMOND BEVELED FACE MASONRY UNITS 6" x 15.875" x 12" (BUFF) SOURCE: 800-473-4452
 - (EM-2) PLANTER WALL: ANCHOR WALL SYSTEMS DIAMOND CAP UNITS 3" x 17.25" x 10" (BUFF) SOURCE: 800-473-4452
 - (ES-1) PORTLAND CEMENT STUCCO PRIMARY FINISH COAT: 847-303-9800 SAND PEBBLE FINE TEXTURE FINISH TO MATCH DRYVIT #050302-5 MATCH ICI DULUX PAINT #530, CAMEL COAT (20YY 43/200)
 - (ES-2) PORTLAND CEMENT STUCCO SECONDARY FINISH COAT: FREESTYLE TEXTURE FINISH TO MATCH DRYVIT #050602-2 MATCH ICI DULUX PAINT #560, RUSSIAN WHITE (20YY 68/102)
 - (ES-3) PORTLAND CEMENT STUCCO FINISH COAT: 847-303-9800 SMOOTH TROWEL FINISH COLOR TO MATCH ICI DULUX PAINT # 121 CLASSIC BURGUNDY (009YR 051/305)
 - (ES-4) PORTLAND CEMENT STUCCO FINISH COAT: 847-303-9800 SMOOTH TROWEL FINISH COLOR TO MATCH SHERWIN WILLIAMS #B595S11, SILVER BRITE
 - (EST-1) EXTERIOR WOOD STAIN: WATERBORNE SEMI-TRANSPARENT STAIN #704 REDWOOD SOURCE: OLYMPIC OIL STAIN SOURCE: 888-774-7732
 - (EP-1) EXTERIOR PAINT FINISH: BLACK POWDER COAT FINISH OVER 2" SQ. TUBULAR METAL BAR TRELLIS
 - (EP-2) EXTERIOR PAINT FINISH: ICI DULUX PAINT # 167B, DOVER GREY (00NN 45/000) REAR FACE OF ROOF SCREEN. SOURCE: 800-984-5444
 - (EP-3) EXTERIOR PAINT FINISH: ICI DULUX PAINT #530, CAMEL COAT (2044 43/200) SOURCE: 800-984-5444
 - (EP-4) EXTERIOR PAINT FINISH: ICI DULUX PAINT # 121 CLASSIC BURGUNDY (009YR 051/305) SOURCE: 800-984-5444

- (ESF) ALUMINUM STOREFRONT SYSTEM: 2" x 4 1/2" CLEAR ANODIZED
- (EC-1) PARAPET WALL COPING: HICKMAN, PERMASNAP; SILVER M-67 W.P. HICKMAN CO. (800) 892-9173
- (EC-2) PARAPET WALL COPING: HICKMAN, PERMASNAP; SILVER M-67 w/ HORIZ. SURFACE. PAINTED EP-4. W.P. HICKMAN CO. (800) 892-9173
- (ECS-1) CULTURED CAST STONE

FINAL PD SITE PLAN
LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT
 LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
ARCHITECTURAL ELEVATIONS



EAST ELEVATION



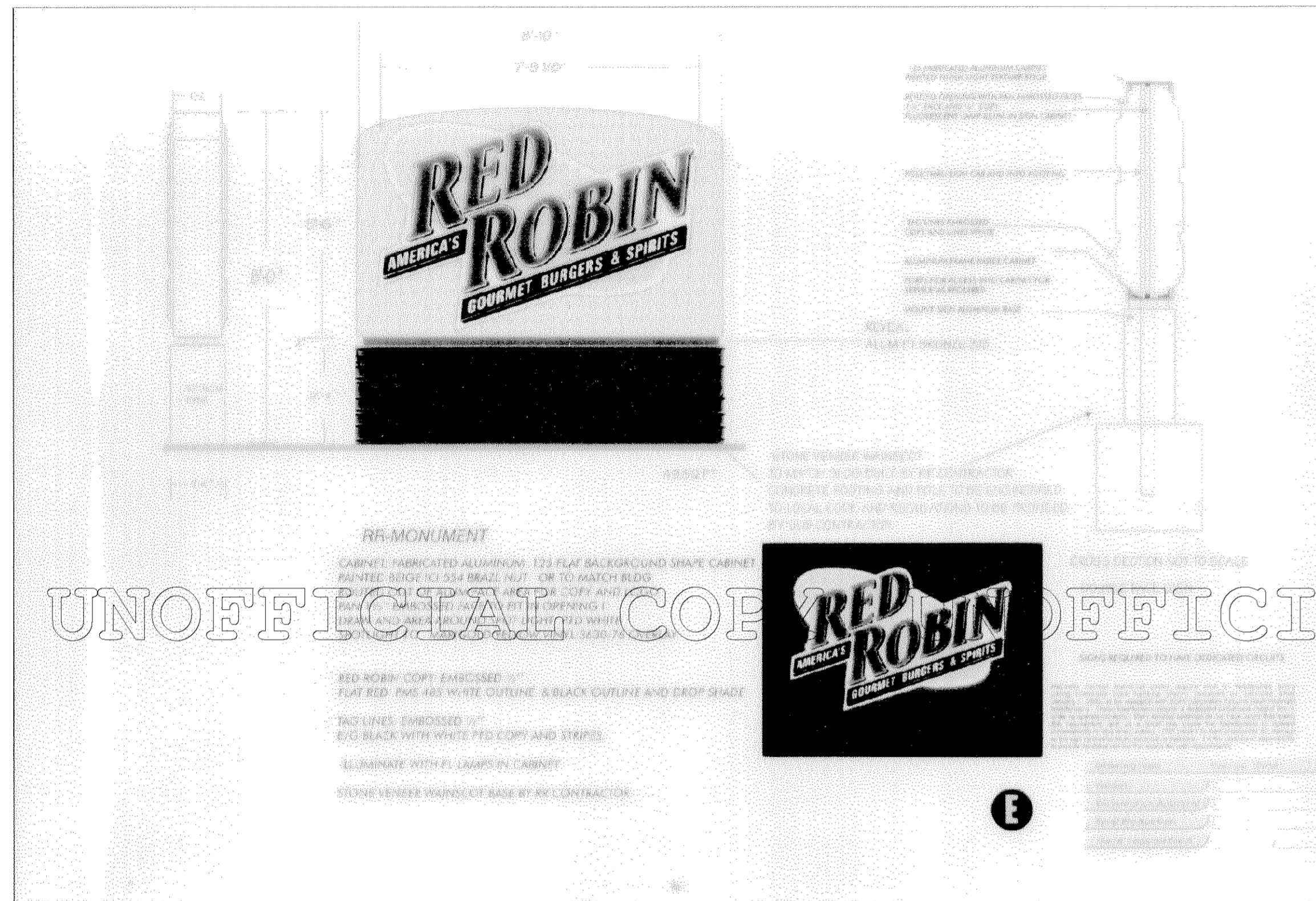
WEST ELEVATION

EXTERIOR FINISHES

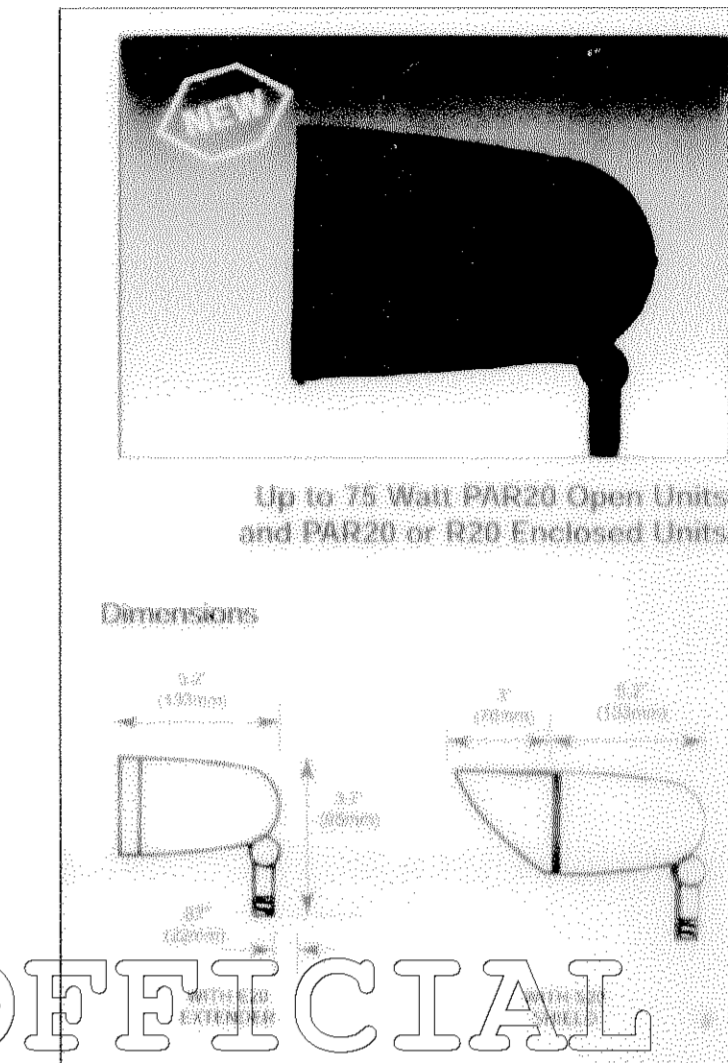
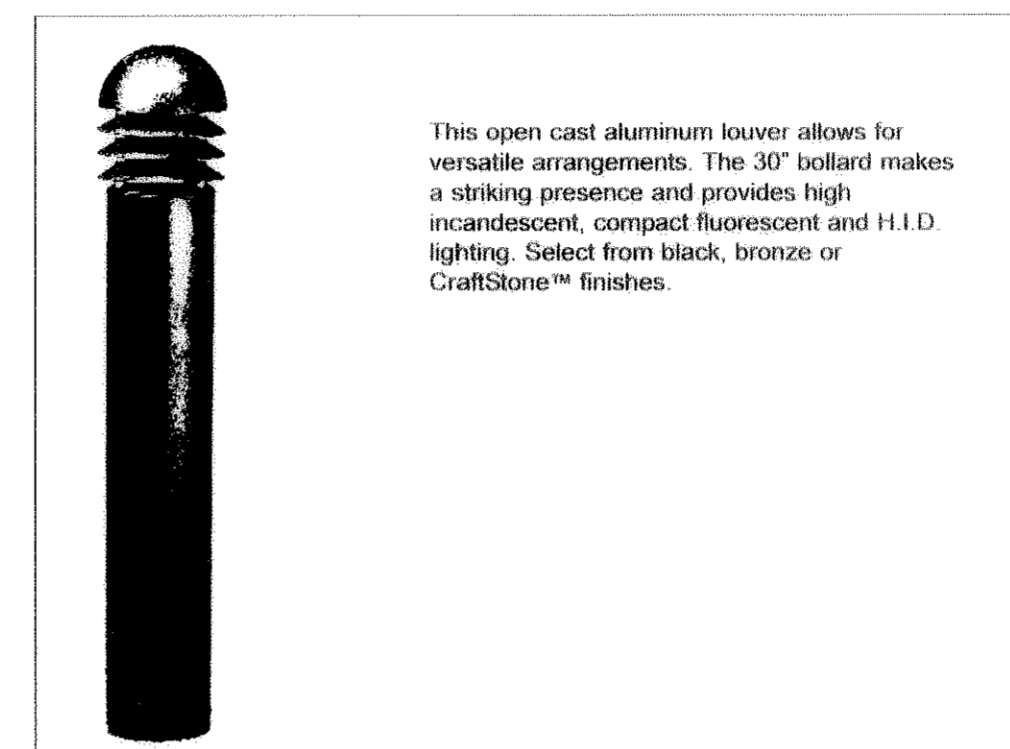
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| <p>(EM-1) PLANTER WALL: ANCHOR WALL SYSTEMS DIAMOND BEVELED FACE MASONRY UNITS 6" x 15.875" x 12" (BUFF) SOURCE: 800-473-4452</p> <p>(EM-2) PLANTER WALL: ANCHOR WALL SYSTEMS DIAMOND CAP UNITS 3" x 17.25" x 10" (BUFF) SOURCE: 800-473-4452</p> <p>(ES-1) PORTLAND CEMENT STUCCO PRIMARY FINISH COAT: 847-303-9800 SAND PEBBLE FINE TEXTURE FINISH TO MATCH DRYVIT #050302-5 MATCH ICI DULUX PAINT #530, CAMEL COAT (20YY 43/200)</p> <p>(ES-2) PORTLAND CEMENT STUCCO SECONDARY FINISH COAT: FREESTYLE TEXTURE FINISH TO MATCH DRYVIT #050602-2 MATCH ICI DULUX PAINT #560, RUSSIAN WHITE (20YY 68/102)</p> <p>(ES-3) PORTLAND CEMENT STUCCO FINISH COAT: 847-303-9800 SMOOTH TROWEL FINISH COLOR TO MATCH ICI DULUX PAINT # 121 CLASSIC BURGUNDY (009YR 051/305)</p> | <p>(ES-4) PORTLAND CEMENT STUCCO FINISH COAT: 847-303-9800 SMOOTH TROWEL FINISH COLOR TO MATCH SHERWIN WILLIAMS #B59S11, SILVER BRITE</p> <p>(EST-1) EXTERIOR WOOD STAIN: WATERBORNE SEMI-TRANSPARENT STAIN #704 REDWOOD SOURCE: OLYMPIC OIL STAIN SOURCE: 888-774-7732</p> <p>(EP-1) EXTERIOR PAINT FINISH: BLACK POWDER COAT FINISH OVER 2" SQ. TUBULAR METAL BAR TRELLIS</p> <p>(EP-2) EXTERIOR PAINT FINISH: ICI DULUX PAINT # 1678, DOVER GREY (00NN 45/000) REAR FACE OF ROOF SCREEN. SOURCE: 800-984-5444</p> <p>(EP-3) EXTERIOR PAINT FINISH: ICI DULUX PAINT #530, CAMEL COAT (2044 43/200) SOURCE: 800-984-5444</p> <p>(EP-4) EXTERIOR PAINT FINISH: ICI DULUX PAINT # 121 CLASSIC BURGUNDY (009YR 051/305) SOURCE: 800-984-5444</p> |
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| <p>(ESF) ALUMINUM STOREFRONT SYSTEM: 2" x 4 1/2" CLEAR ANODIZED</p> <p>(EC-1) PARAPET WALL COPING: HICKMAN, PERMASNAP; SILVER M-67 W.P. HICKMAN CO. (800) 892-9173</p> <p>(EC-2) PARAPET WALL COPING: HICKMAN, PERMASNAP; SILVER M-67 w/ HORIZ. SURFACE PAINTED EP-4. W.P. HICKMAN CO. (800) 892-9173</p> <p>(ECS-1) CULTURED CAST STONE</p> |
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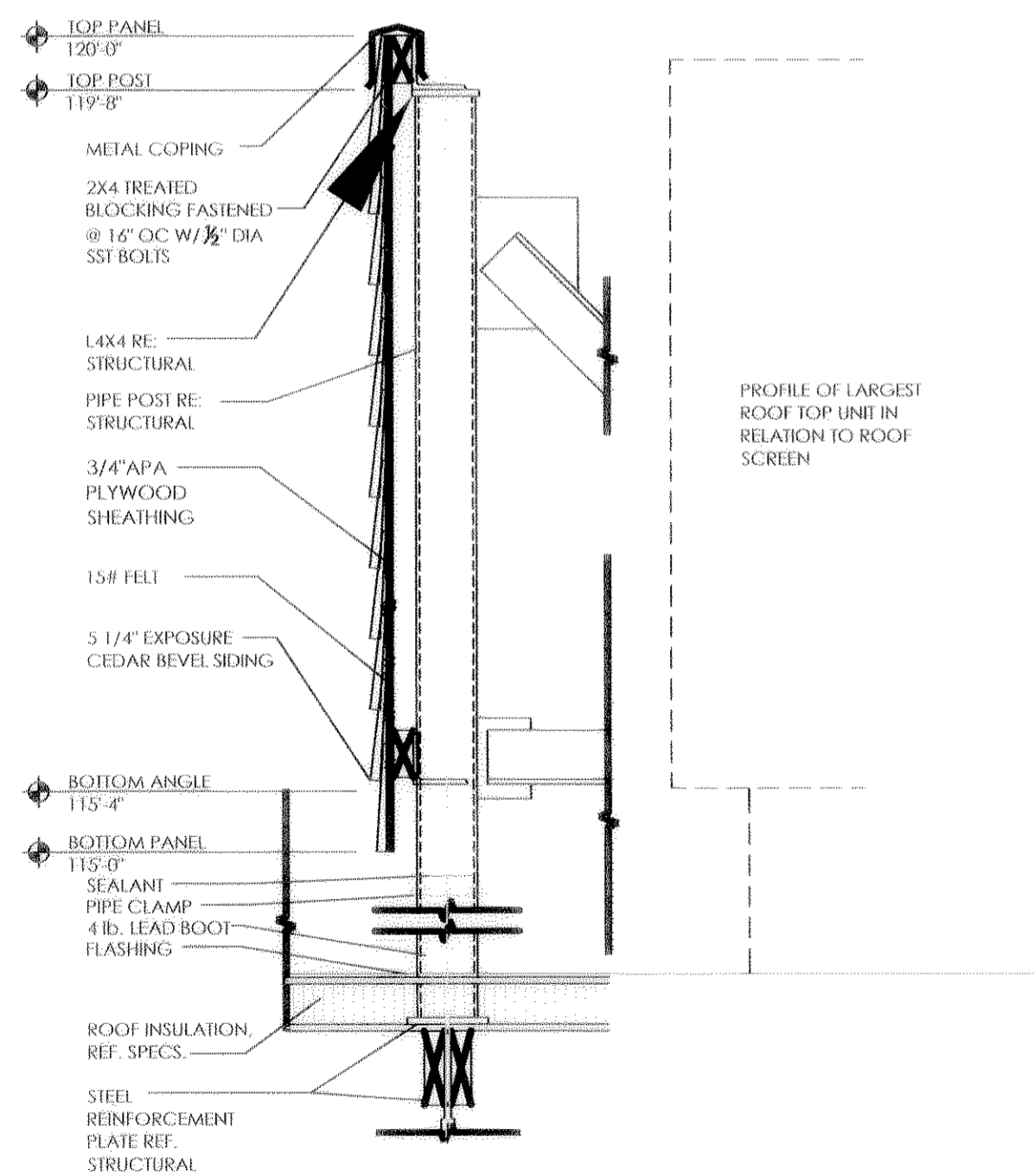
FINAL PD SITE PLAN
LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT
 LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
SIGNAGE AND LIGHTING DETAILS



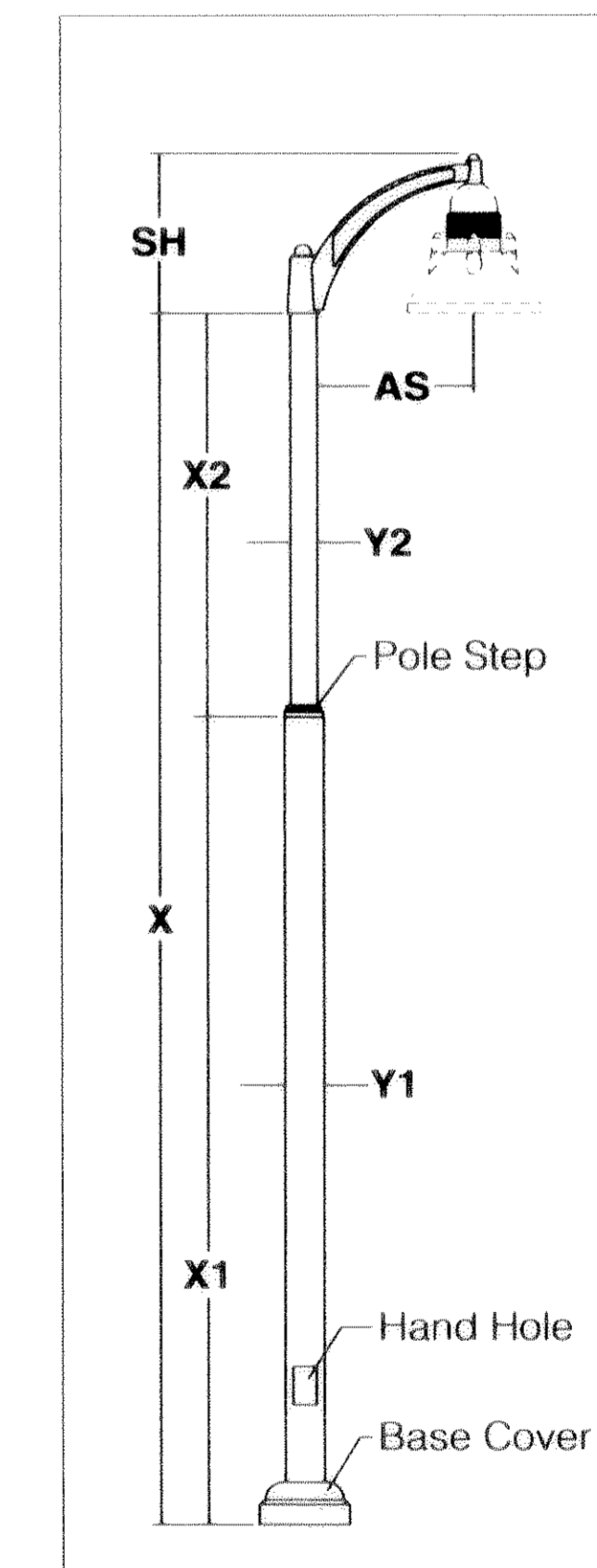
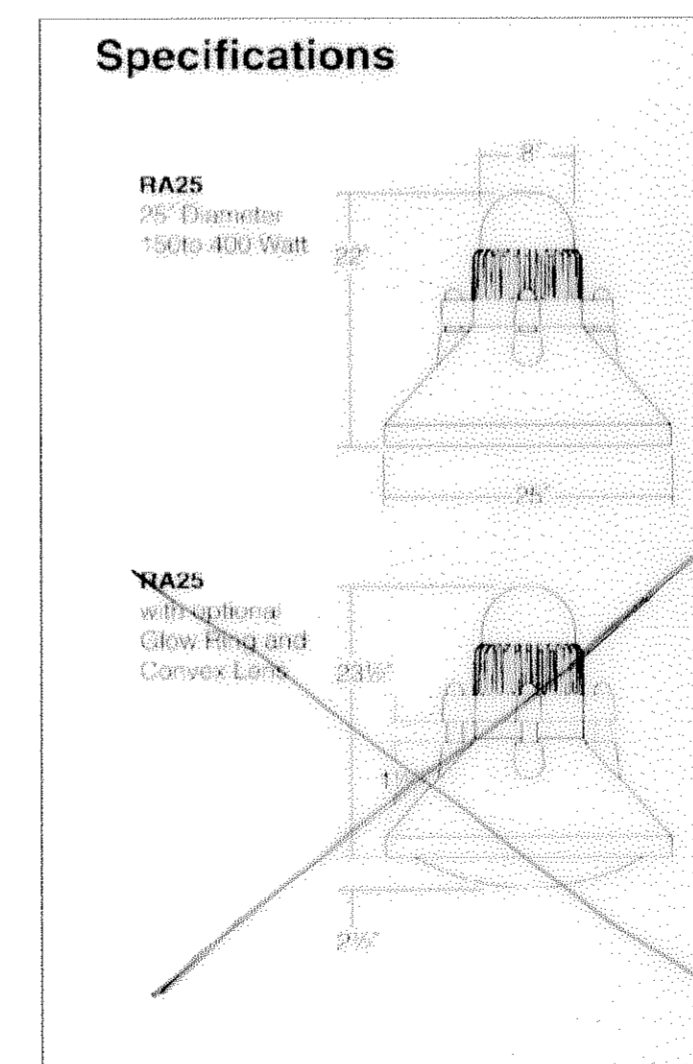
PROPOSED MONUMENT SIGN



GROUND AND ACCENT LIGHTING



MECHANICAL SCREENING EXHIBIT



SITE LIGHTING

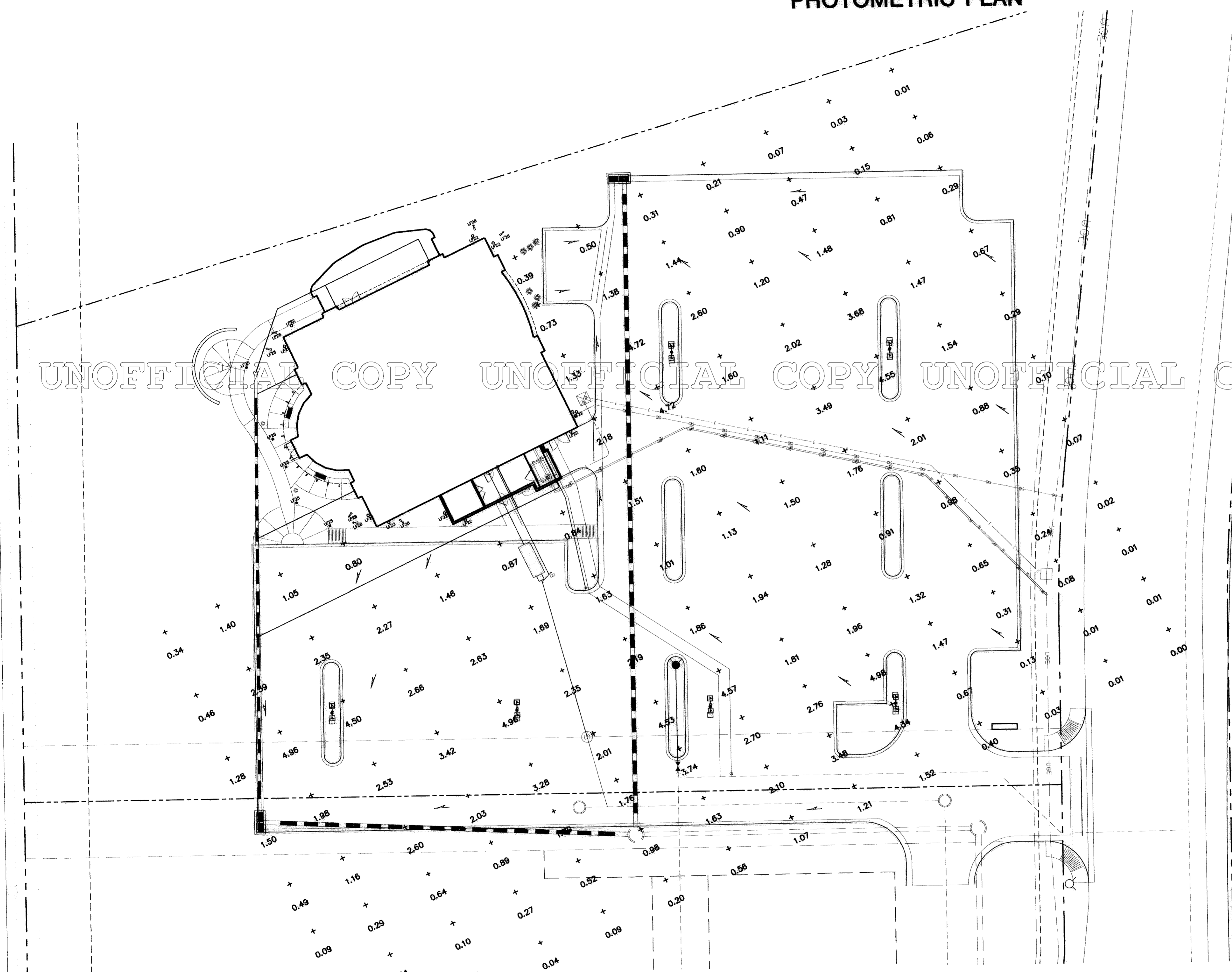
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FINAL PD SITE PLAN

LOT 1-A, METZLER RANCH FILING No. 3, 3rd AMENDMENT

LOCATED IN THE SOUTH HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

PHOTOMETRIC PLAN



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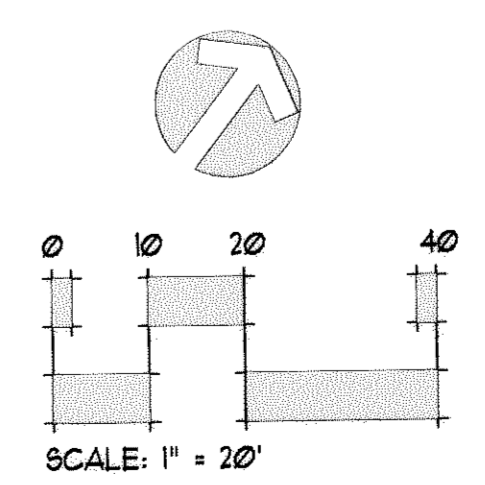
SITE LIGHTING FIXTURE SCHEDULE

DESIGNATION	LAMPS			POLE DESCRIPTION: MATERIAL, SHAPE, HEIGHT ABOVE FINISHED GRADE			DESCRIPTION: SHIELDING, TYPE, MATERIALS, FINISH, MOUNTING	MANUFACTURER'S PRODUCT ITEM			REMARKS		
	MERCURY	METAL HALIDE	HIGH PRESSURE SODIUM	QUANTITY	WATTS	ALUMINUM		STEEL	ROUND	SQUARE		COMPANY	POLE CATALOG NO.
A				2	250			22'	SWEPT ARM MOUNTED AREA LIGHT	KIM LIGHTING	SAL20-64188/DB-P	2B/RA254/250MH120/DB-P	

Numeric Summary					
Project: Red Robin Castle Rock, CO					
Label	Avg	Max	Min	Avg/Min	Max/Min
Parking	1.4	5.0	0.0	570.4	N/A

LIGHT FIXTURE SCHEDULE

Label	Manufacturer	Product Description	Quantity	Footcandle	Height
LF22	KIM LIGHTING	LTV10-NF-70MH120 LANDSCAPE ACCENT LT., TEMPERED GLASS LENS, BLACK FINISH	(1) MVR/70MH/U/MED	120	70
LF25	HADCO	DB30-H-A0-100H-E 5" DIA. CAST ALUMINUM BOLLARD W/CLEAR LENS, BRONZE FINISH	(1) MXR/100MH/U/MED/0	120	100
LF28	EXCELINE	SL20-BLK. INCAND. LINE VOLTAGE EXT. LANDSCAPE ACCENT	(1) 35PAR20/H/FL25	120	35



SUBMITTAL: November 15, 2002
 REVISED: APRIL 11, 2003
 REVISED: MAY 22, 2003
 REVISED: JUNE 19, 2003

