

FINAL PD SITE AND COMMON SIGN PLAN

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO
COVER SHEET

GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSE OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- PURSUANT TO SECTION 17.62.080 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL SET FORTH IN THE APPROVED FINAL PD SITE PLAN. FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER, HILL, HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE THROUGH IMPROPER IRRIGATION.
- THIS SITE DOES NOT FALL INTO ANY FEMA REGULATED FLOODPLAIN AND THERE ARE NO WETLANDS ON THIS SITE.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE C.D.S. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATION FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT EXCEEDING 30' IN HEIGHT ABOVE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON PLANS.
- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF A FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICABLE PRIOR TO AND DURING ALL CONSTRUCTION.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
- COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.
- THIS COMMON SIGN PLAN APPROVES FREE-STANDING SIGNS WITHIN 200 FEET OF EACH OTHER.
- TOWN OF CASTLE ROCK PROJECT ID# 05-105.
- ALL CONSTRUCTION TRAFFIC "DAILY OR HAUL ROUTE" SHALL UTILIZE THE ROUTE APPROVED BY THE TOWN OF CASTLE ROCK.

SIGNATURE BLOCK

SURVEYORS CERTIFICATE

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE LOT 4-D, METZLER RANCH FILING NO. 3, 2ND AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THERE ON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger
MICHAEL C. CREGGER
REGISTERED LAND SURVEYOR
COLORADO REGISTRATION NO. 22564

OWNERSHIP CERTIFICATE

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HERE IN AS THE LOT 4-D, METZLER RANCH FILING NO. 3, 2ND AMENDMENT PD IN THE TOWN OF CASTLE ROCK.

CASTLE ROCK OVERLOOK, LLC, A COLORADO LIMITED LIABILITY COMPANY

SIGNED THIS 25th DAY OF May, 2006

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF May, 2006

BY *Adam Quinn*

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 1-13-08

TOWN CERTIFICATION

THE LOT 4-D METZLER RANCH FILING NO. 3, 2ND AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 13th DAY OF July, 2006.

BY *Richard* DATE 7/13/06

DIRECTOR OF DEVELOPMENT SERVICES

TITLE CERTIFICATION

I, *Brenda Becker*, AN AUTHORIZED REPRESENTATIVE OF *RESOLUTE INVESTMENTS INC.*, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LEIHHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LEIHHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

SIGNED THIS 7th DAY OF June, 2006

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 7th DAY OF June, 2006

BY *Brenda Becker*

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES April 26, 2007

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 4-D, METZLER RANCH FILING NO. 3, 2ND AMENDMENT IN THE TOWN OF CASTLE ROCK.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED ON 12-30-05 AT RECEPTION NO. 2005125564, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

COLORADO BUSINESS BANK

BY *Adam Quinn*

SIGNED THIS 30th DAY OF May, 2006

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF May, 2006

BY *Adam Quinn*

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES 1-13-08

SITE DATA			
LOCATION: S.W. CORNER OF ALLEN STREET AND MALETA LANE.			
PRESENT ZONING:	FD		
PRESENT USE:	VACANT		
PROPOSED USE:	OFFICES: 50% MEDICAL		
	50% GENERAL		
TOTAL LOT AREA	2.77AC	120,661.20sf	100%
PARKING AREA:	52,765.28sf	43.7%	
MALETA LANE:	11,781.31sf	9.8%	
SIDEWALK AREA:	6,774.18sf	5.6%	
BUILDING FOOTPRINT (3,777sf x 4)	15,108.00sf	12.5%	
LANDSCAPE (GREEN) AREA	34,212.45sf	28.4%	
IRRIGATED AREA (22.8% OF GREEN)	21,562.00sf		

BUILDING DATA		
2-STORY	7,315sf x 4 BUILDINGS	29,260sf 6LA
PERMITTED BUILDING HEIGHT:	50'	
PROPOSED BUILDING HEIGHT:	34'-8"	
F.A.R.	29,260sf/120,661.29sf	24.2%

BUILDING SETBACKS		
REQUIRED FRONT YARD (ALLEN & MALETA)	15'	
REQUIRED SIDE/REAR YARD	10'	
PROPOSED FRONT YARD		
BUILDING 'A' TO MALETA	48'-0"	
BUILDING 'B' TO MALETA	70'-0"	
BUILDING 'C' TO ALLEN	72'-0"	
BUILDING 'D' TO ALLEN	64'-0"	
BUILDING 'D' TO MALETA	64'-0"	
PROPOSED SIDE/REAR YARDS		
BUILDING 'B'	14'-0"	
BUILDING 'C'	20'-0"	

PARKING TABULATION			
REQUIRED PARKING:			
MEDICAL OFFICE 45%	(13,167sf x 5 / 1000sf)	64 SPACES	
GENERAL OFFICE 55%	(16,053sf x 4 / 1000sf)	66 SPACES	
TOTAL REQUIRED:		130 SPACES	
PARKING PROVIDED:			
FULL SIZE SPACES:		130 SPACES	
ACCESSIBLE SPACES:		8 SPACES	
TOTAL PROVIDED:		138 SPACES	

'COMMON USE' SIGNAGE TABULATION			
SIGN TYPE	AREA	QUANTITY	TOTAL AREA
MONUMENT (2 SIDES)	100sf	2	200sf
DIRECTIONAL (1 SIDE)	4sf	2	8sf
POTENTIAL WALL SIGNAGE	15sf	28	422sf
TOTAL:			630sf
PERMITTED SIGN AREA			630sf
SITE FRONTAGE			660sf
[(200x13) = 300sf] + [(660x0.5) = 330sf] = 630sf			

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

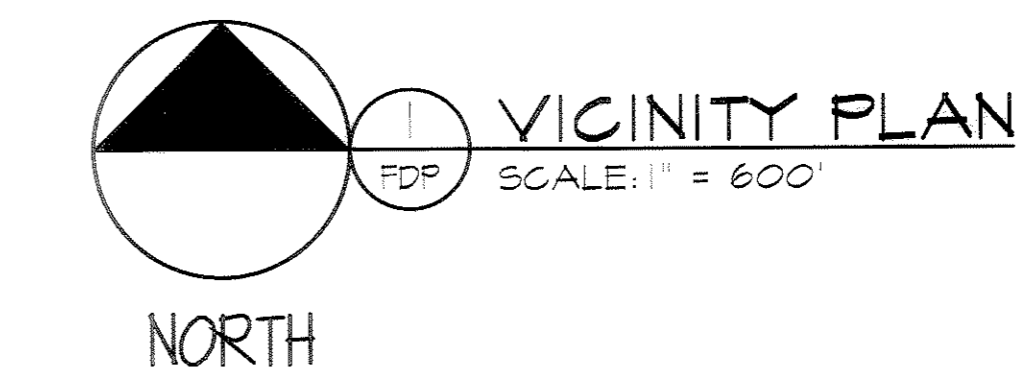
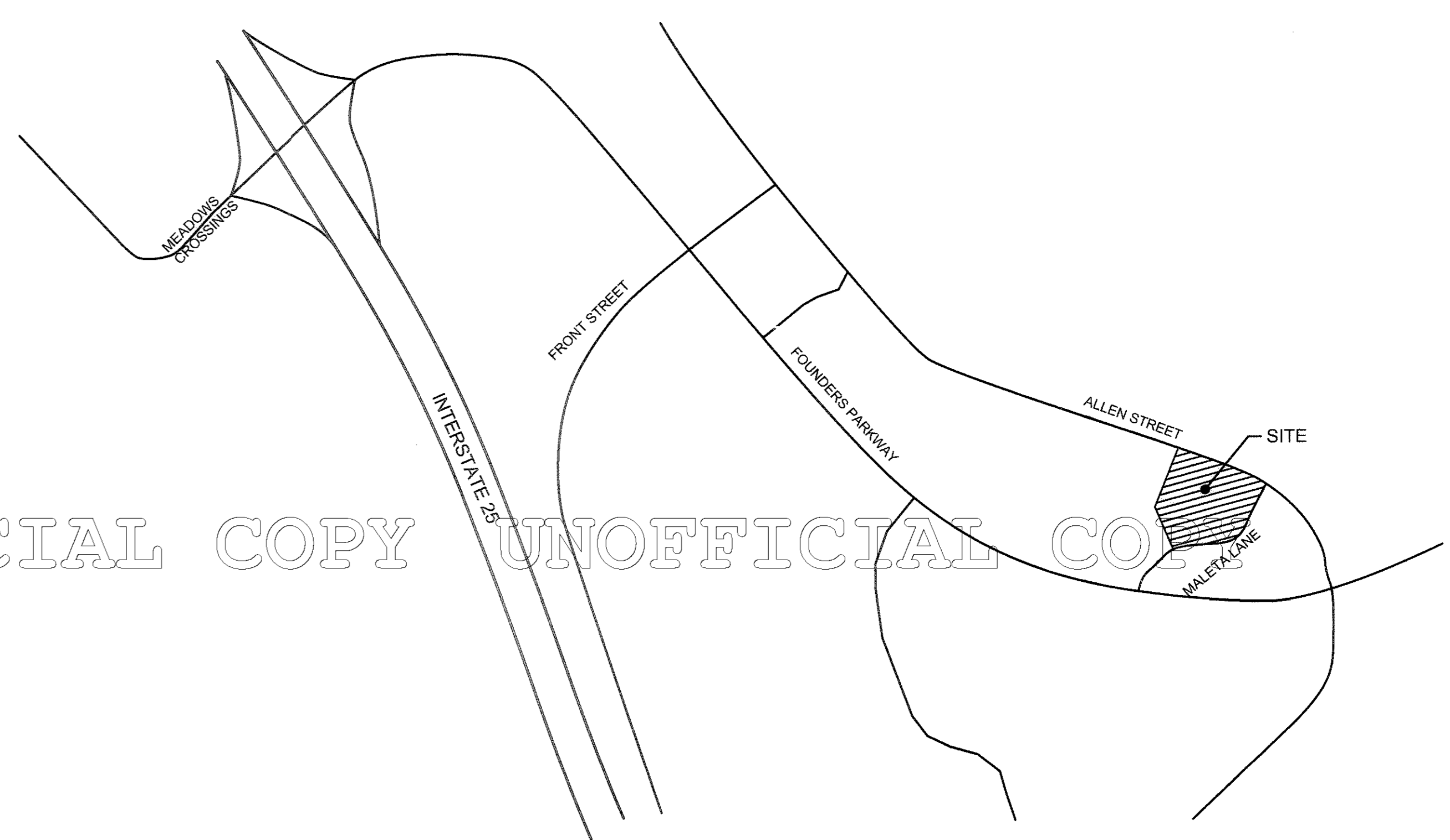
THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 9:45 ON THE 26th DAY OF JULY, 2006 AT RECEPTION NO. 2006070367.

DOUGLAS COUNTY CLERK RECORDER

BY *Jacqueline H. Hoch*

WATER DEDICATION NOTE

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE METZLER RANCH DEVELOPMENT AGREEMENT RECORDED DECEMBER 24, 1996 IN BOOK 1946 AT PAGE 1742 UNDER RECEPTION NO. 9612141 OF THE DOUGLAS COUNTY COLORADO RECORDS, AND ACCORDINGLY 12 SFE ARE DEBITED FROM THE WATER BANK.



PROJECT TEAM

DEVELOPER
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9000 E. PANORAMA DR. #350
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FAX: 303-645-0501
GROHR@ISHERPA.COM

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PHONE: 719-635-6422
FAX: 719-635-6426
LUANNE.RUBEY@TNSINC.COM

LANDSCAPE DESIGNER
NATURAL DESIGN SOLUTIONS
142 SUGAR PLUM WAY
CASTLE ROCK, CO 80104
PHONE: 303-663-7885
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NATURALDESIGN2@MSN.COM

THE BOLAND STUDIO OF ARCHITECTURE
10628 W. CHAUTAUGA MTN.
LITTLETON, CO 80127
303-973-7483
303-973-7873
JVBLAND@COMCAST.NET

LEGAL DESCRIPTION

LOT 4-D, METZLER RANCH, FILING NO. 3, 2ND AMENDMENT.
LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

SHEET INDEX

- 1 OF 4 COVER SHEET
- 2 OF 4 SITE PLAN
- 3 OF 4 UTILITY PLAN
- 4 OF 4 GRADING PLAN
- 5 OF 4 LANDSCAPE PLAN
- 6 OF 4 LANDSCAPE DETAILS
- 7 OF 4 BUILDING ELEVATIONS
- 8 OF 4 SIGNAGE PLAN, RETAINING WALL ELEVATIONS AND DETAILS
- 9 OF 4 SITE LIGHTING PHOTOMETRIC PLAN

FINAL PD SITE AND COMMON SIGN PLAN

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

SITE PLAN

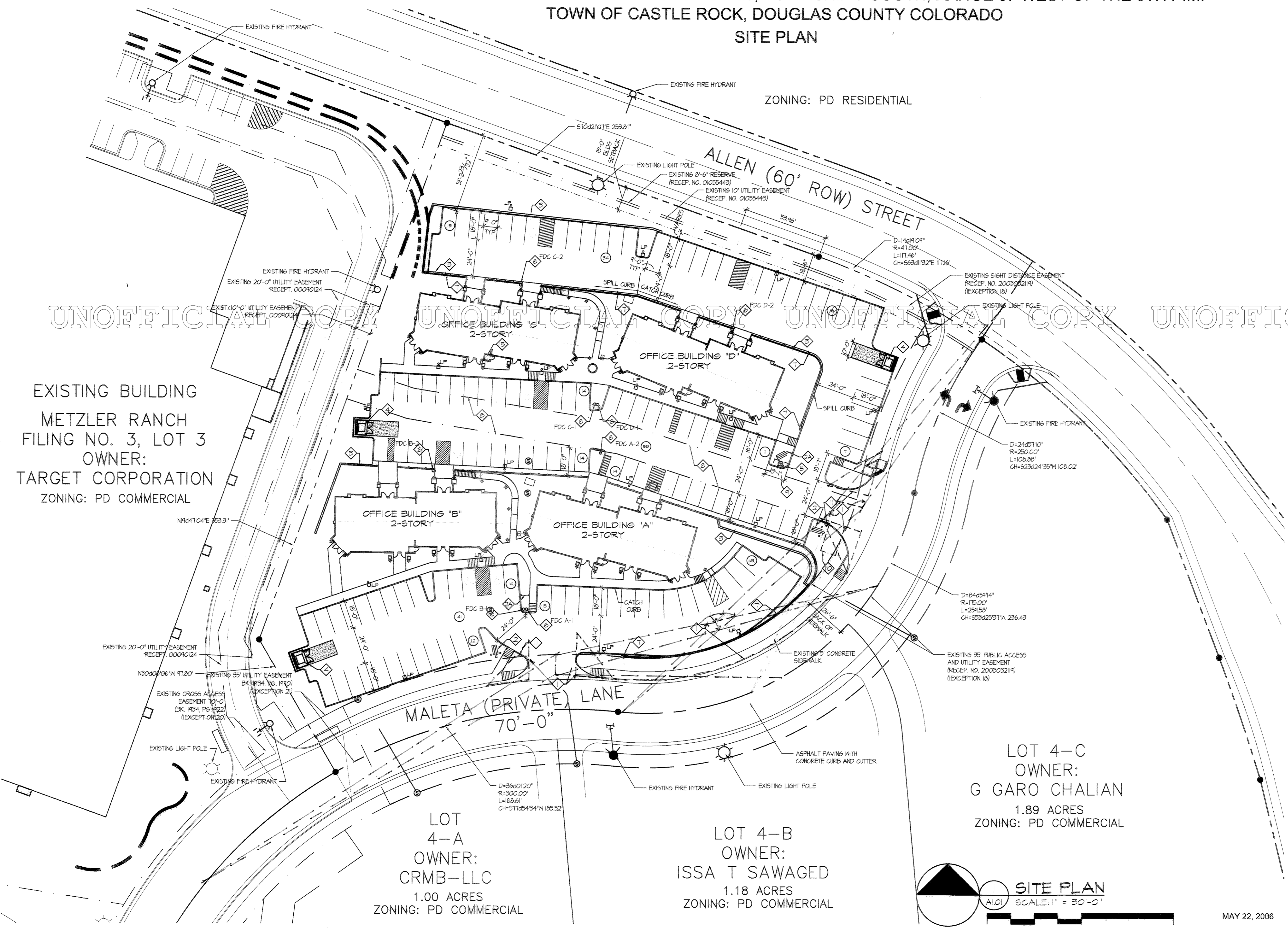
ZONING: PD RESIDENTIAL

GENERAL NOTES

- TYPICAL PARKING STALL DIMENSIONS:
 - A. GENERAL: 9' WIDE x 18' DEEP
 - B. AT LANDSCAPE OVERHANG: 9' WIDE x 16' DEEP
 - C. ACCESSIBLE SPACES: 9' WIDE WITH 5' ACCESS ISLE
 - D. VAN ACCESSIBLE SPACES: 9' WIDE WITH 8' ACCESS ISLE
- ALL CURBS ARE "SPILL" TYPE CURBS UNLESS SPECIALLY NOTED "C-CURB" CATCH CURB ON PLAN

KEYED NOTES

- 25' ± TRAFFIC SIGHT DISTANT EASEMENTS AT SITE ENTRIES. ALL TREES WITHIN THE SIGHT DISTANCE EASEMENT MUST MAINTAIN A CANOPY OF NO LESS THAN 8 FEET ABOVE THE FLOW LINE ELEVATION OF MALETA LANE
- SITE IDENTIFICATION SIGN. SEE SHEET 8 FOR DETAILS.
- DIRECTIONAL SIGN. SEE SHEET 8 FOR DETAILS.
- SITE MASONRY RETAINING WALL WITH 42" HIGH GUARD RAIL FOR ALL WALLS OVER 30" TALL.
- MASONRY TRASH ENCLOSURE. SEE DETAIL SHEET 8.
- NEW FIRE HYDRANT.
- FIRE DEPARTMENT CONNECTION (FDC A-1 = BUILDING "A" FIRST LEVEL; FDC A-2 = BUILDING "A" SECOND LEVEL)
- FIRE LANE SIGN: SHALL BE TO CITY OF CASTLE ROCK FIRE DEPARTMENT STANDARDS, 12"x18" SIGN 1' ABOVE GRADE TO BOTTOM OF SIGN.
- PROPOSED 20' UTILITY EASEMENT.
- PROPOSED 10'x8.42' UTILITY EASEMENT.
- PROPOSED 10'x18.44' UTILITY EASEMENT.
- STOP SIGN ACCEPTABLE TYPE AND MOUNTING TO THE TOWN OF CASTLE ROCK.

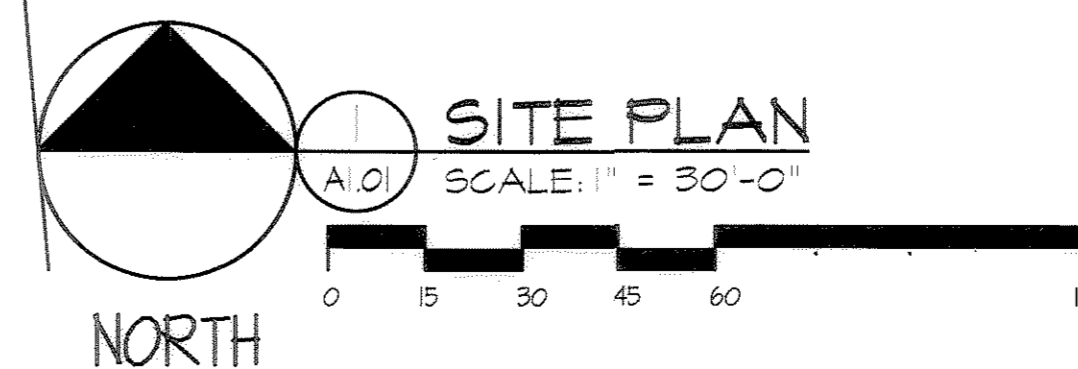


EXISTING BUILDING
METZLER RANCH
FILING NO. 3, LOT 3
OWNER:
TARGET CORPORATION
ZONING: PD COMMERCIAL

LOT 4-A
OWNER:
CRMB-LLC
1.00 ACRES
ZONING: PD COMMERCIAL

LOT 4-B
OWNER:
ISSA T SAWAGED
1.18 ACRES
ZONING: PD COMMERCIAL

LOT 4-C
OWNER:
G GARO CHALIAN
1.89 ACRES
ZONING: PD COMMERCIAL



MAY 22, 2006

THE BOLAND STUDIO OF ARCHITECTURE
10628 WEST CHATAUGUA MTN
LITTLETON, CO 80127
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FINAL PD SITE PLAN
LOT 4-D METZLER RANCH FILING NO. 3 AMENDMENT 2
SITE PLAN
2 OF 9

FINAL PD SITE AND COMMON SIGN PLAN

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

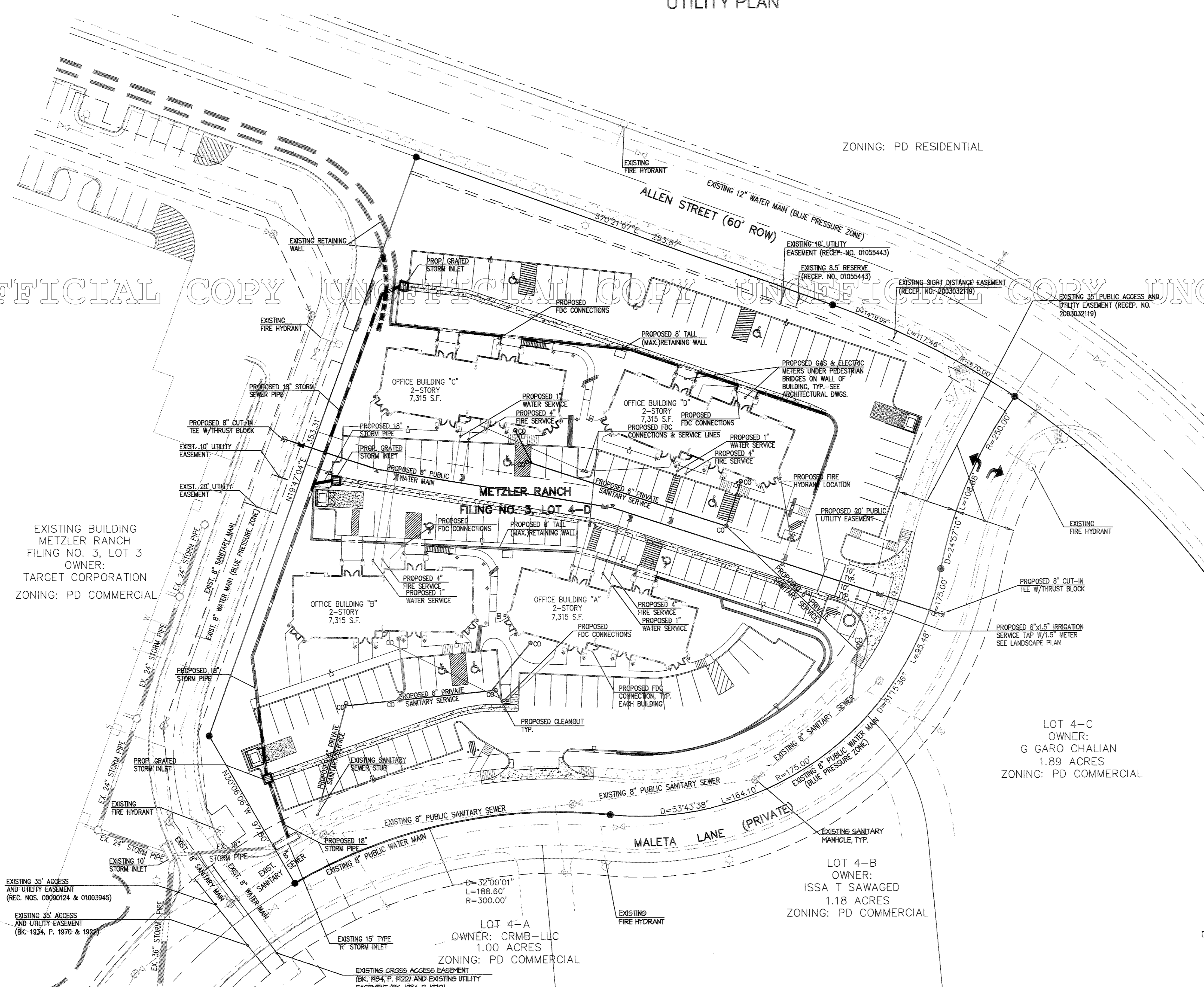
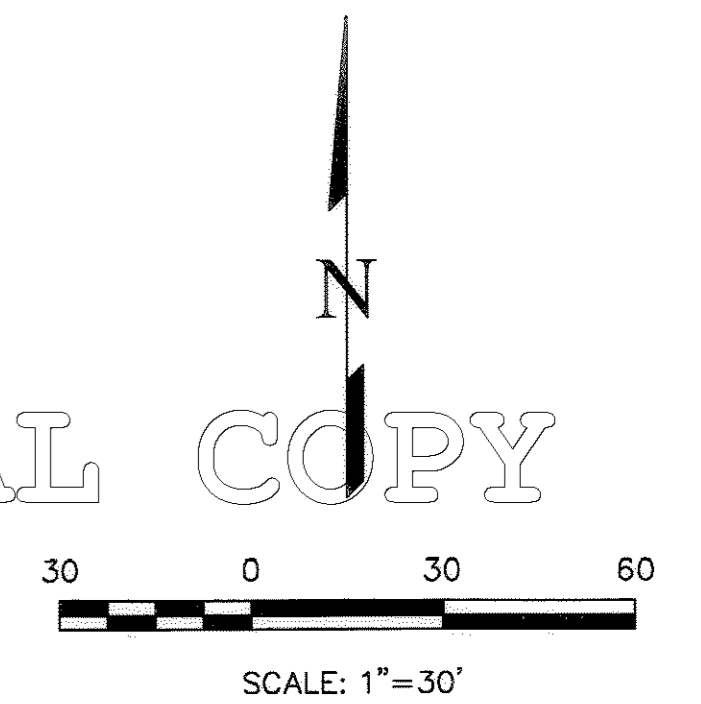
UTILITY PLAN

BUILDING DATA

BUILDING TYPE	V-N
SQUARE FOOTAGE	7315 SF
SPRINKLED	YES
FH REQ'D.	2
FIRE FLOW REQ'D.	1500 GPM
FLOW DURATION	2 HRS
FH SPACING	450 FT
HOSE LAY	225 FT
AREA SEPARATION WALL	NO

ZONING: PD RESIDENTIAL

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EXISTING BUILDING
METZLER RANCH
FILING NO. 3, LOT 3
OWNER:
TARGET CORPORATION
ZONING: PD COMMERCIAL

LOT 4-C
OWNER:
G GARO CHALIAN
1.89 ACRES
ZONING: PD COMMERCIAL

LOT 4-B
OWNER:
ISSA T SAWAGED
1.18 ACRES
ZONING: PD COMMERCIAL

LOT 4-A
OWNER: CRMB-LLC
1.00 ACRES
ZONING: PD COMMERCIAL

GENERAL NOTES:

1. SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
2. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
3. COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

LEGEND

EXISTING GAS MAIN	
EXISTING SANITARY SEWER MAIN W/MANHOLE	
EXISTING WATER MAIN W/FIRE HYDRANT	
EXISTING STORM SEWER	
PROPOSED GAS SERVICE	
PROPOSED SANITARY SEWER SERVICE WITH CLEANOUT	
PROPOSED WATER SERVICE	
PROPOSED STORM SEWER	
EXISTING EASEMENT	
PROPOSED EASEMENT	

TERRA NOVA ENGINEERING, INC.
125 N. WAHSATCH AVE., STE. 101
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DATE: MAY 22, 2006

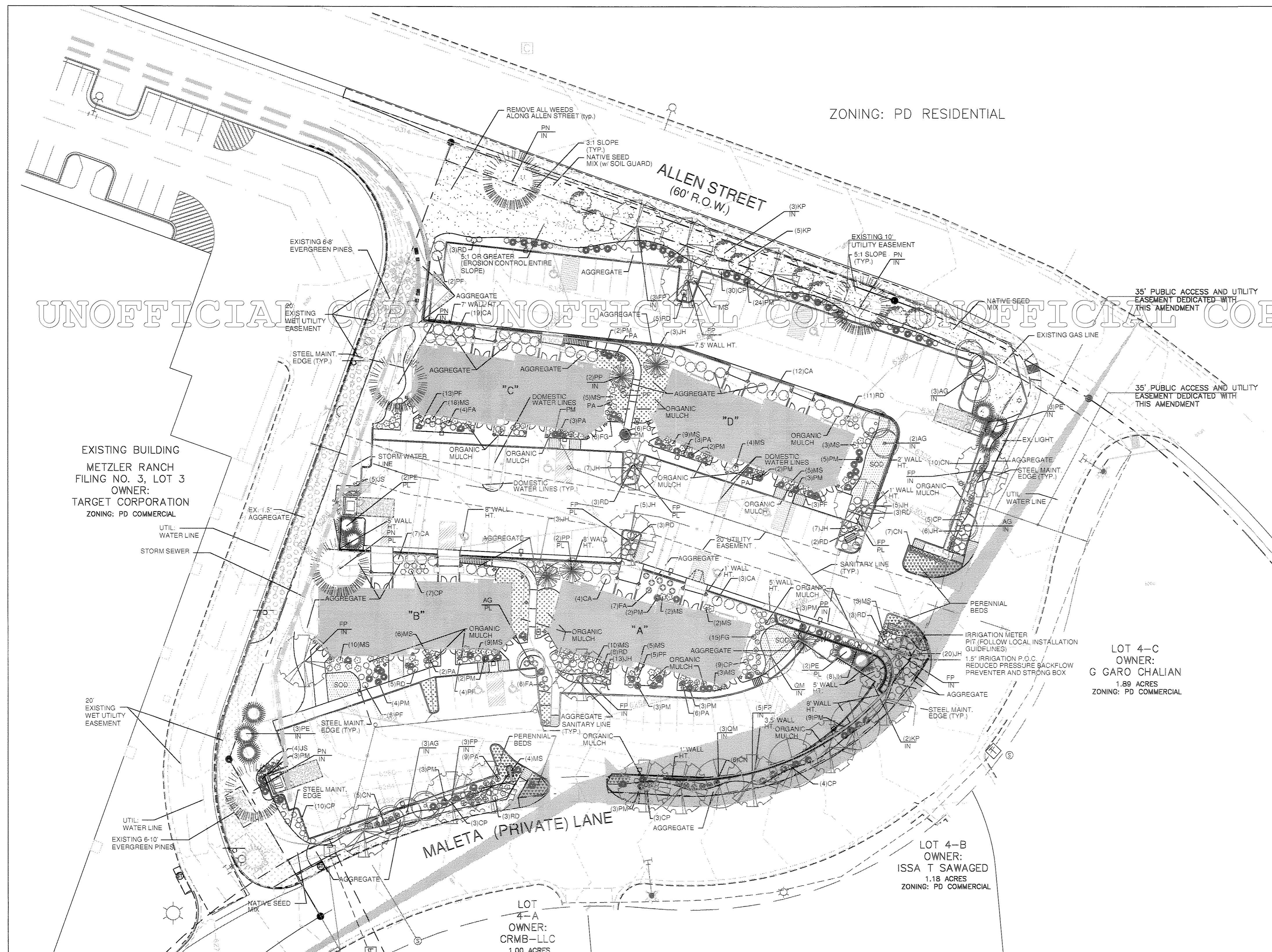
FINAL PD SITE AND COMMON SIGN PLAN
LOT 4-D METZLER RANCH FILING NO. 3 AMENDMENT 2
UTILITY PLAN
SHEET 3 OF 9

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FINAL PD SITE PLAN
LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

LANDSCAPE PLAN



ZONING: PD RESIDENTIAL

LOT 4-C
 OWNER:
 G GARO CHALIAN
 1.89 ACRES
 ZONING: PD COMMERCIAL

LOT 4-B
 OWNER:
 ISSA T SAWAGED
 1.18 ACRES
 ZONING: PD COMMERCIAL

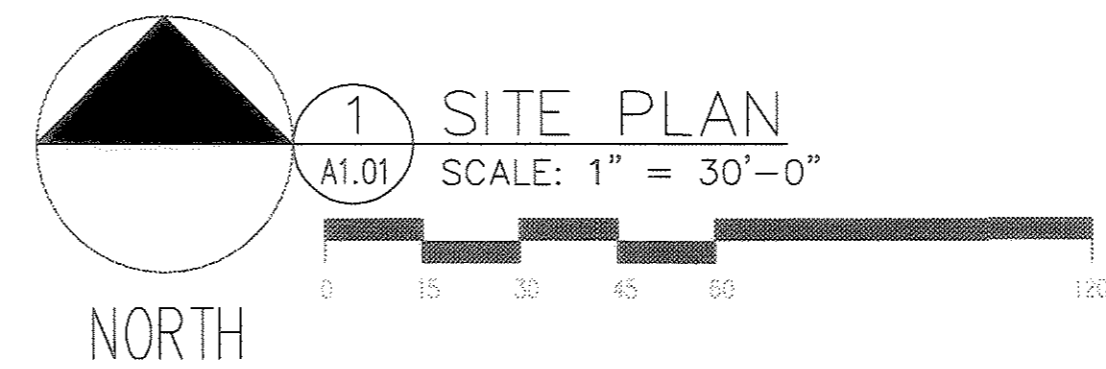
LOT 4-A
 OWNER:
 CRMB-LLC
 1.00 ACRES

LANDSCAPE PLANTING LEGEND:						
SYM.	QTY.	SYM. BOTANICAL/COMMON NAME	WATER REQMT	MATURE HT./WD.	PLANTING SIZE	NOTES
TREES						
PE	10	PINON PINE (Pinus edulis)	Dry	15-20' 15-20'	6' ht.	Spaded.
PN	5	AUSTRIAN PINE (Pinus nigra)	Dry	30-50' 30-50'	6' ht.	Spaded.
FP	19	AUTUMN PURPLE ASH (Fraxinus americana 'Autumn Purple')	Dry	40-60' 30-40'	2.00' cal.	B&B Nursery Grown. Size to meet or exceed min. size
AG	10	AUTUMN BRILLIANCE SERVICEBERRY (Amelanchier x grandiflora 'Autumn Brilliance')	Dry	15-20' 15-20'	2.00' cal.	B&B Nursery Grown. Size
KP	10	GOLDEN RAIN TREE (Koeleruteria paniculata)	Dry	20-30' 20-30'	2.00' cal.	B&B Nursery Grown. Size
QM	4	BUR OAK (Quercus macrocarpa)	Dry	50-80' 50-80'	2.00' cal.	B&B Nursery Grown. Size
PP	5	HOOPSI SPRUCE (Picea pungens 'Hoopsi')	Adapt.	30-40' 12-15'	6' ht.	B&B Nursery Grown. Size
SHRUBS						
CP	71	GOLD SPANISH BROOM (Cytisus purgans 'Spanish Gold')	Dry	2-3' 4-6'	5-gal.	Container Grown. Size to meet or exceed min. size
CN	28	KLONDIKE POTENTILLA (Potentilla fruticosa 'Klondike')	Adapt.	2-3' 2-3'	5-gal.	Container Grown. Size to meet or exceed min. size
CA	45	VARIGATED DOGWOOD (Cornus alba 'Argenteomarginata')	Dry	5-8' 5-8'	5-gal.	Container Grown. Size to meet or exceed min. size
FA	17	APACHE PLUME (Fallugia paradoxa)	Dry	3-6' 3-6'	5-gal.	Container Grown. Size to meet or exceed min. size
PA	26	RUSSIAN SAGE (Perovskia atriplicifolia)	Dry	8-12' 6-8'	5-gal.	Container Grown. Size to meet or exceed min. size
PM	75	MINIATURE MUGO PINE (Pinus mugo 'Mops')	Dry	2-3' 2-3'	5-gal.	Container Grown. Size to meet or exceed min. size
JF	9	ROCKY MTN. JUNIPER (Juniperus scopulorum 'Rocky Mtn.')	Dry	15-20' 4-6'	15-gal.	Stake north side. Cedar Stake.
PS	34	PINK BEAUTY POTENTILLA (Potentilla fruticosa 'Pink Beauty')	Dry	2-3' 2-3'	5-gal.	Container Grown. Size to meet or exceed min. size
RD	49	ANNABELLE SMOOTH HYDRANGEA (Hydrangea arborescens 'Annabelle')	Dry	3-4' 3-4'	5-gal.	Container Grown. Size to meet or exceed min. size
JH	77	WILTON CARPET JUNIPER (Juniperus horizontalis)	Dry	4-6' 6-8'	5-gal.	Container Grown. Size to meet or exceed min. size
ORNAMENTAL GRASSES						
FG	27	BLUE FESCUE (Festuca glauca 'Elijah Blue' Grass)	Dry	6-8' 6-8'	5-gal.	Container Grown. Size to meet or exceed min. size
MS	99	SILVER FEATHER GRASS (Miscanthus sinensis 'Silver Feather')	Dry	2-3' 18-24'	1-gal.	Container Grown. Size to meet or exceed min. size
PERENNIALS						
TBD (TYP.)		ROCKY MOUNTAIN COLUMBINE (Aquilegia caerulea)		18-24" 12-18"	4" pots	Plant 6" triangular spacing
TBD (TYP.)		LA VENDER DAYLILY (Hemerocallis 'Lavender Blush')		18-24" 12-18"	4" pots	Plant 6" triangular spacing

Graphic Symbol Key:		DESCRIPTION/REMARKS
[Symbol]	SODDED TALL FESCUE (RTF)	to be installed on a prepared soil bed. (Rhizomatous Tall Fescue)
[Symbol]	CASCADE CEDAR	shredded bark mulch
[Symbol]	GALVANIZED INTERLOCKING ROLLED TOP STEEL TRIM EDGE	4"x14g. pinned at 24" intervals to separate all turfgrass, cobble, and mulched areas.
[Symbol]	MOSS ROCK BOULDERS (TYP. SIZE 3'X4')	
[Symbol]	AGGREGATE 1.5" Western Sunset	uniformly placed upon fabric underlayment (except on slopes 3:1 or greater).
[Symbol]	PERENNIALS - TBD	Planted at 8" intervals on center. (Perennial beds to be mulched - 2" depth)
[Symbol]	DOUGLAS COUNTY SEED MIX	(See left schedule - install per city/county standards) (Soil Guard or Erosion Control Blanket on all slopes 4:1 and greater)
[Symbol]	EXISTING 1.5" AGGREGATE	

DESCRIPTION	LW1 RATING RANGE	S.F.	SUBTOTAL
PLANTED AGGREGATE BEDS	1.0	6,650	6,650
MULCH & LOW WATER SEED AREAS	2.2	28,152	61,930
LOW WATER SOD VARIETY	3.5	520	2,895
TOTAL			71,475
COMPOSITE TOTAL			2.08

Natural Design Solutions, Inc.
 142 Sugar Plum Way
 Castle Rock, CO 80104
 303.663.7885
 Naturaldesign2@msn.com
 Landscape Architecture
 Irrigation System Design
 Residential and Commercial
 Land Planning



MAY 22, 2006

LOT 4-D METZLER RANCH FILING NO. 3 AMENDMENT 2
 LANDSCAPE PLAN
 SHEET 5 OF 9

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

LANDSCAPE DETAILS

Town of Castle Rock Registration Number: 4177
Initials: JMS

LANDSCAPE & SITE DATA		
	EXISTING	PROPOSED
GROSS SITE LANDSCAPED AREA IRRIGATED AREA	120,661 SF / 2.77 ACRES	34,212.43 SF (28%) 27,562.00 SF
PARKING:	REQUIRED	PROPOSED
138 PARKING SPACES (52,785 SF - 43.7%)		
LANDSCAPED PARKING AREA - 10%	5,279 SF	5,650 SF (11%)
PARKING LOT ISLANDS: (1 TREE/4 SHRUBS) (Min. 6' island width)		
TREES REQ'D: 4		4 Trees
SHRUBS REQ'D: 16		16 Shrubs*
TOTAL PARKING AREA: 2 SHADE TREES/4 SHRUBS PER 1000 SF		
TREES REQ'D: 5		5 Trees
SHRUBS REQ'D: 10		10 Shrubs
INTERNAL:		
GROSS SITE AREA (10% Req'd):	12,006 SF	28,862.43 SF (24.0%)
NON-LIVING MATERIAL	25% MAX.	75% Living Vegetation Provided
IRRIGATED TURF	60% MAX. or	827 SF (1.75%)
(2) TREES & (4) SHRUBS/ 1000 SF	24 Trees 48 Shrubs	54 Trees* 408 Shrubs*

* Additional shrubs and trees are shown to provide required Internal Living Material Requirements

Seed mix to be used for the Non-Irrigated Native Grass:
DOUGLAS COUNTY PERMANENT DRILL SEEDING MIX

Species	Variety	Notes	% in Mix	PLS# / AC
Big Bluestem	Kaw	PNWS	10	1.1
Yellow Indiangrass	Cheyenne	PNWS	10	1
Switchgrass	Blackwell	PNWS	10	0.4
Sideoats Grama	Vaughn	PNWB	10	0.9
Western Wheatgrass	Arriba	PNCN	10	1.6
Blue Grama	Hachita	PNWB	10	0.3
Thickspike Wheatgrass	Critana	PNCN	10	1
Prairie Sandreed	Goshen	PNWS	10	0.7
Green Needlegrass	Lodorm	PNCB	10	1
Slender Wheatgrass	Pryor	PNCB	5	0.6
Streambank Wheatgrass	Sodar	PNCN	5	0.6

SOIL AMENDMENTS: Test No: H743a PH: 7.0							
GROUND PLANE TREATMENT	CLASS II OM AMENDMENT OM	NITROGEN NQ-N	PHOSPHORUS P	OTHER Zn, Fe, Mn or Cu	FERTILIZER (4-6 wks. during growing season)	E.C., SALT OR PH TREATMENT	ROTOTILL DEPTH
SODDED TURFGRASS	3.5 cu.yds./1000sf	1.0 lb./1000sf	4 lb./1000sf	1 lb./1000sf (K)	10-10-10 @ 15 lb./1000sf	N/A - No salt problems	8"
SEEDED TURFGRASS	3.5 cu.yds./1000sf	1.0 lb./1000sf	4 lb./1000sf	1 lb./1000sf (K)	10-10-10 @ 15 lb./1000sf	N/A	8"
TREES	3.5 cu.yds./1000sf	1.5 lb./1000sf	4 lb./1000sf	1 lb./1000sf (K)	10-10-10 @ 15 lb./1000sf	N/A	6"
SHRUBS	3.5 cu.yds./1000sf	1.5 lb./1000sf	4 lb./1000sf	1 lb./1000sf (K)	10-10-10 @ 15 lb./1000sf	N/A	6"

- Automatic irrigation systems shall be required for the first three years, following the date of Certificate of Occupancy issuance or final inspection (when a CO is not required). The irrigation system point of connection shall come off the separate meter pit connection. Irrigation controller to meet all 3-Day Timer/Power Back-up System criteria. Controller to be an ET based automatic controller. System to conform to Town of Castle Rock Water Use Management Program. Contractor to set up and walk owner through system initialization process. Owner to provide annual backflow prevention testing. Maintenance to include monthly water application adjustments (via manual adjustment or through ET base automatic controller). (2) Irrigation system inspections required annually. Irrigation systems must be equipped with backflow preventer assemblies approved by the Town of Castle Rock.
- Landscaping shall be planted and maintained in a neat, clean and healthy condition by the owner. This shall include proper pruning, mowing of lawns, weeding, removal of litter and the regular watering of all plantings. Should any plant material die, the owner, successor, or assigns shall be responsible for the replacement of the plant(s) within one planting season. Replacement of plant material shall occur at the following rate:

TYPE	PLANT REPLACEMENT WITHIN		
	1 year	2-5 years	6+ years
Tree- Deciduous	Increase caliper by 1"	Increase caliper by 1.5"	Increase caliper by 1.5" plus, increase qty. by 2 (original size)
Tree- Coniferous	Increase height by 2'	Increase height by 2' plus, increase qty. by 1 (original size)	Increase height by 2' plus, increase qty. by 2 (original size)
Shrub	Increase qty. by 2 (original size)	Increase qty. by 4 (original size)	Increase qty. by 12 (original size)

Additional replacement shall be in conformance with the landscape material species requirements set forth by this plan or alternative material species acceptable to the Town of Castle Rock.

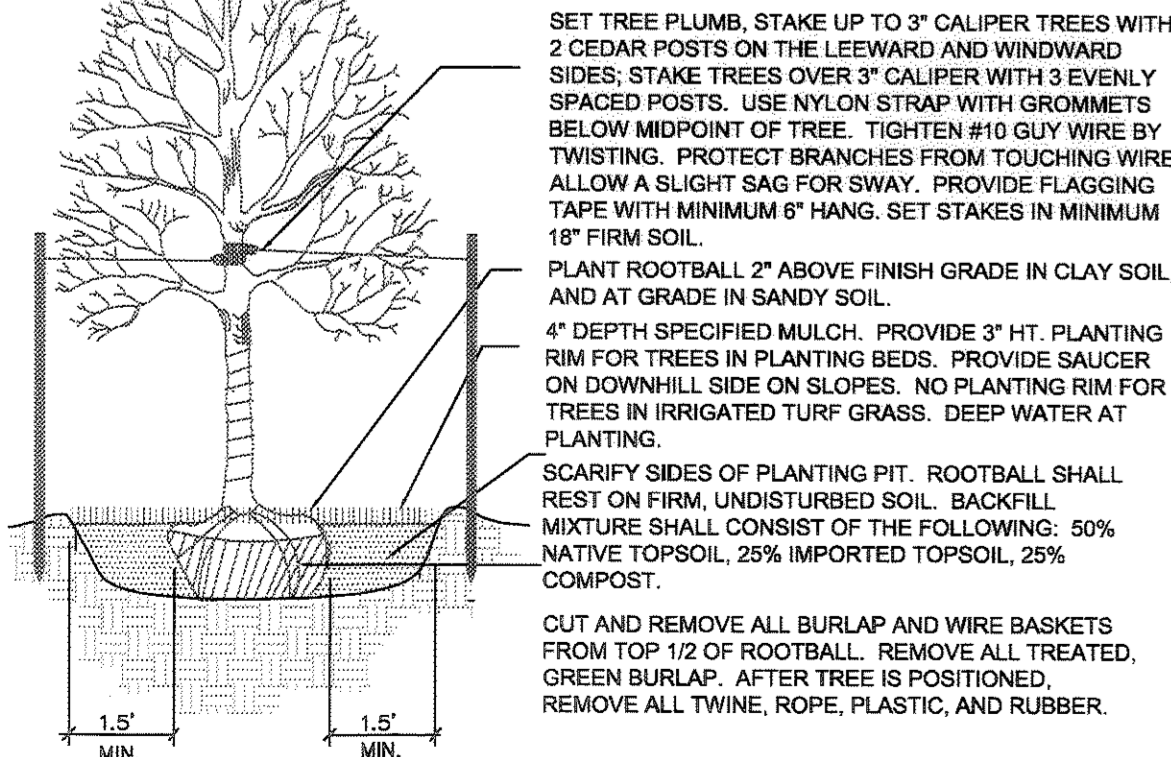
- Aeration and top dressing to be provided annually in the spring. Owner to provide monthly mowing and weeding performed through April - October. Pruning to be provided annually when trees and shrubs are dormant. Maintenance contractor to provide winter watering after two consecutive weeks of above freezing conditions throughout winter months.
- All trees must be located a minimum of 6-ft. back from the edge of pavement of Commerce Court.
- The contractor is to contact Town of Castle Rock Inspection Division at (720) 733-2223 to have an inspector attend the preconstruction meeting.
- Any wall or monument over four feet in height requires a permit from the Castle Rock Building Division prior to construction. Detailed plans for any wall over four (4) feet in height will be submitted to the Castle Rock Building Division prior to the issuance of the required building permit.
- A permit will be obtained from the Town of Castle Rock Zoning Division prior to the installation of monuments and planters outside of the public ROW, including those within the ROW of private streets. An electrical permit will be obtained from the Town of Castle Rock Zoning Division for lighting outside of the public ROW, including lighting for monuments and planters.
- CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6'X6') AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6'X6' OR GREATER) AND ON ALL SLOPES (4'X4') 3:1 AND GREATER.

GENERAL NOTES CONTINUED:

- Surfaced access roads capable of withstanding the imposed loads of fire apparatus and all required fire hydrants shall be installed and serviceable prior to and during all construction.
 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. The term all-weather driving capabilities has been interpreted to mean either concrete or asphalt.
 - Complete specifications and construction plans shall be submitted to The Town of Castle Rock Fire and Rescue Department for review and approval prior to any construction occurring.
 - No trees/large shrubs or permanent structures are allowed in utility & drainage easements pending variance approval by the Town of Castle Rock.
- "A Variance to permit trees in the existing 35' Public Access and Utility Easement (Receipt. No. 2003032119) part of Maleta Lane has been requested:
Variance # PWV 05-001, Approval Date: 10/26/05
- Areas under 10 ft. in width shall not contain turf.
 - Slopes greater than 3:1 must be drip-irrigated.
 - All trees within the sight distance easement must maintain a canopy of no less than 8 ft. above the flowline elevation of Maleta Lane.

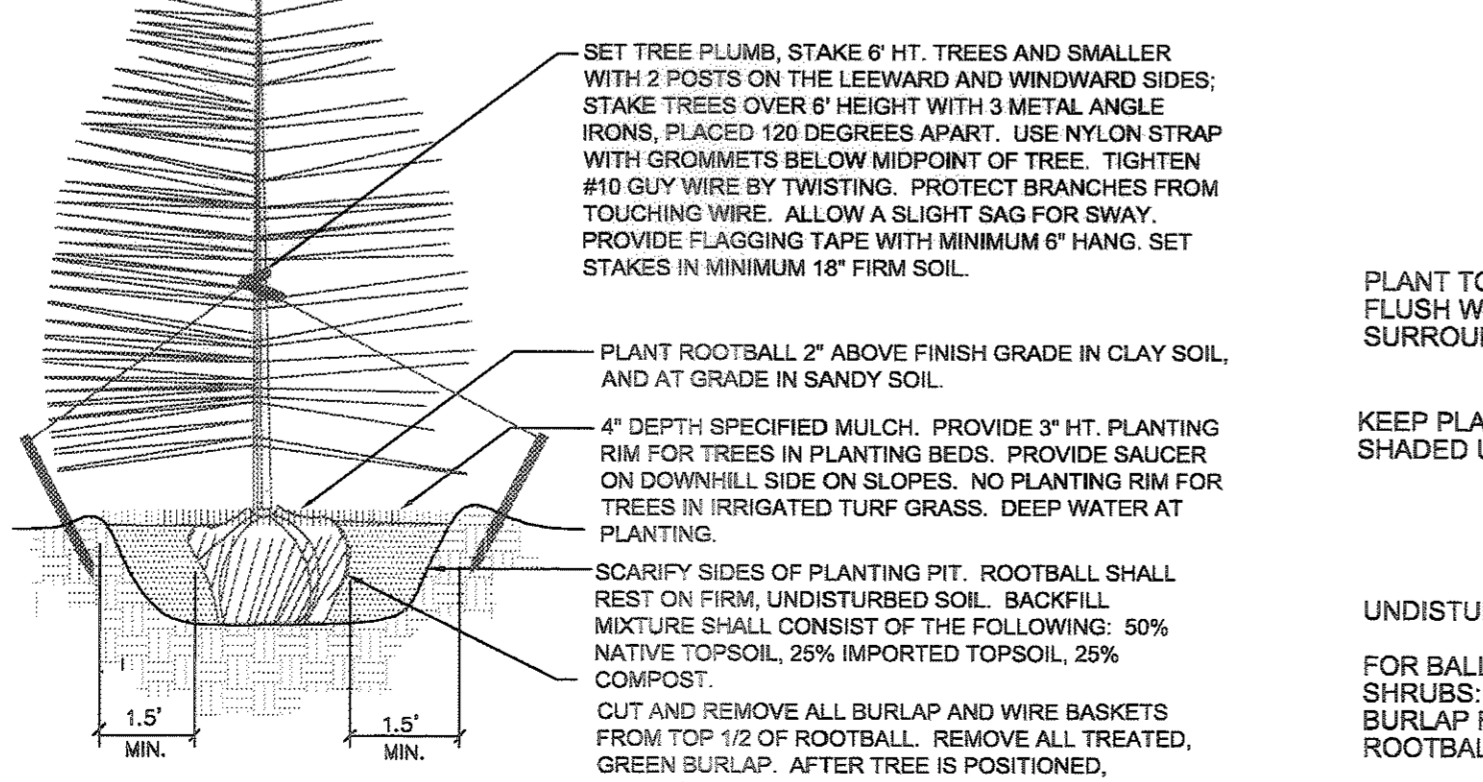
PLANTING DETAILS

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE NOT TWINE.
 - WRAP OCTOBER 15 AND REMOVE BY MARCH 31.

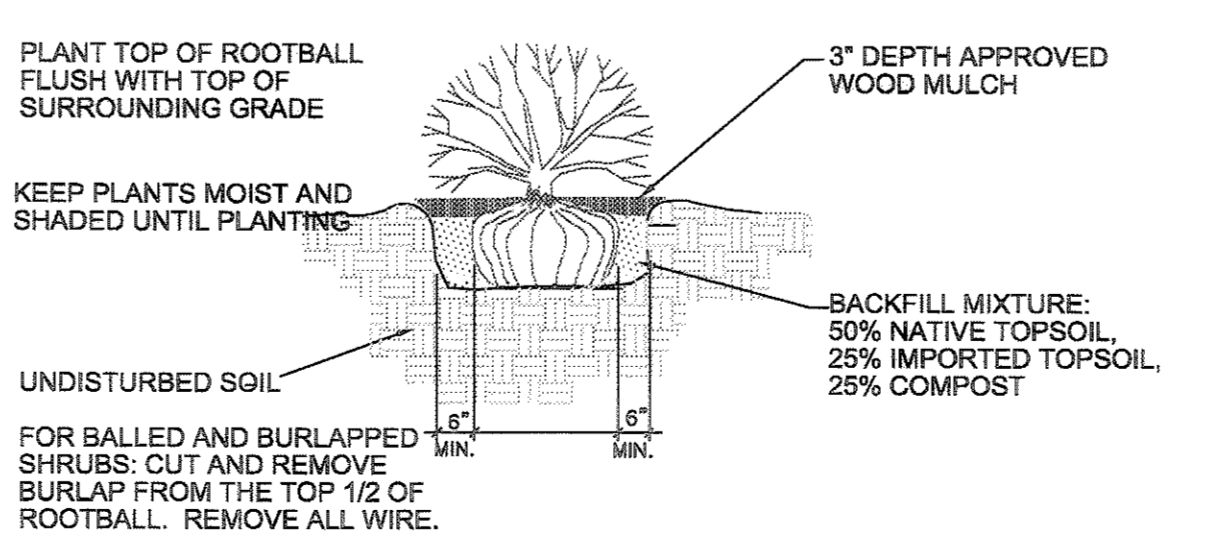


1 Deciduous Tree Planting Detail
SCALE: NOT TO SCALE

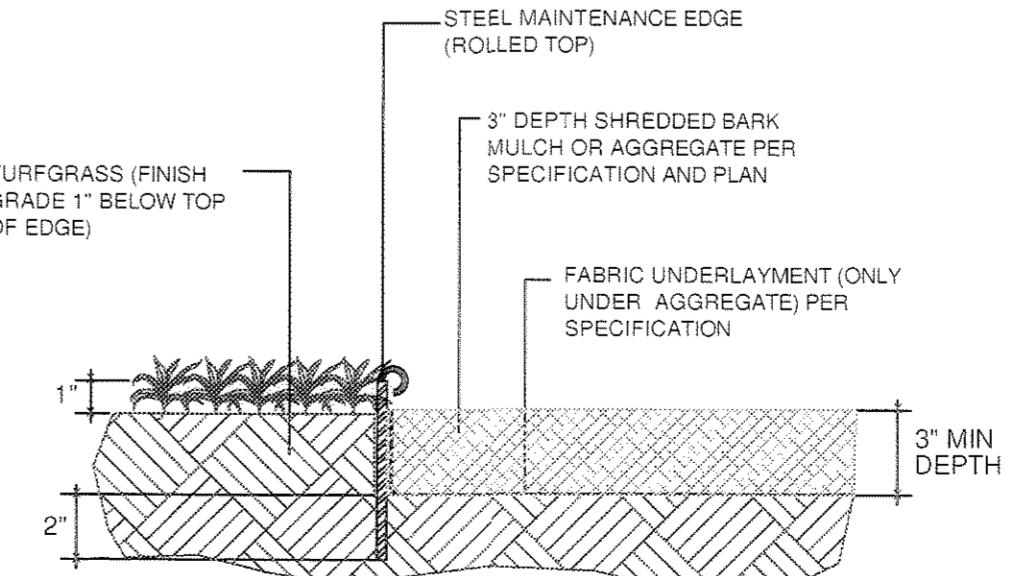
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTED.
 - AVOID FALL PLANTING IF POSSIBLE.



2 Coniferous Tree Planting Detail
SCALE: NOT TO SCALE



3 Shrub Planting Detail
SCALE: NOT TO SCALE



4 LANDSCAPE EDGER DETAIL

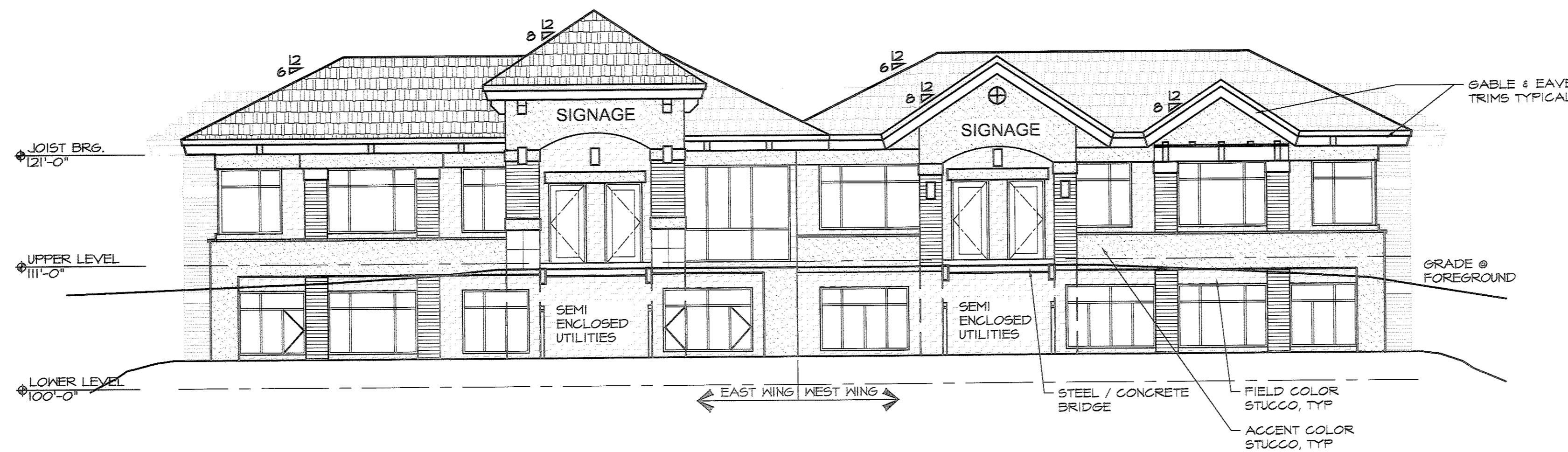
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Landscape Architecture
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LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

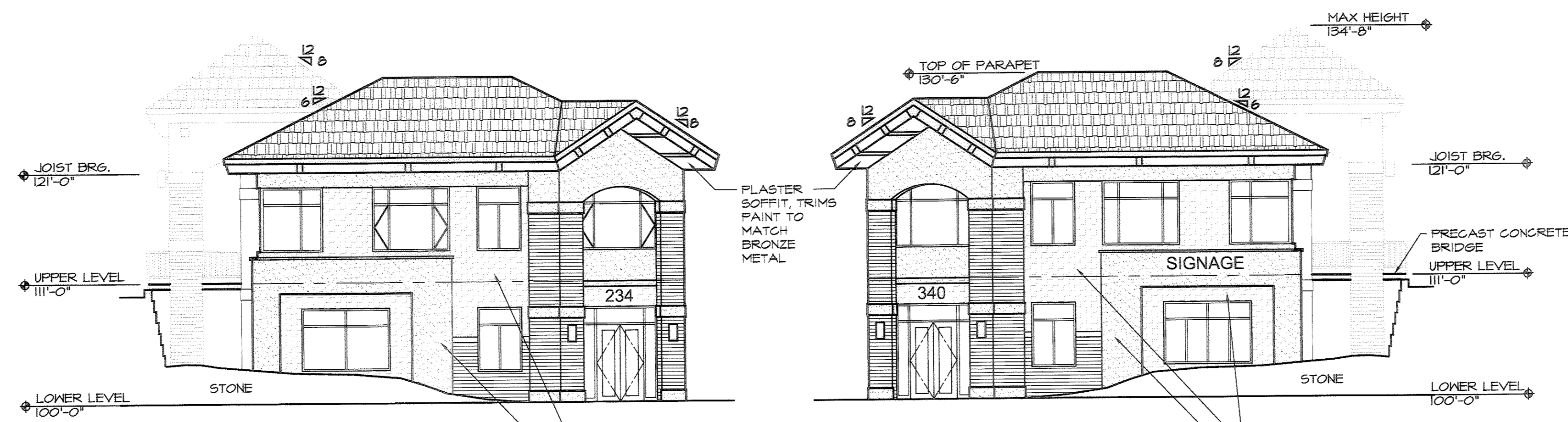
LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO
BUILDING ELEVATIONS



1 SOUTH ELEVATION
FDP SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
FDP SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
FDP SCALE: 1/8" = 1'-0"

4 EAST ELEVATION
FDP SCALE: 1/8" = 1'-0"

	WEST WING		EAST WING		GABLE & EAVE TRIM
	FIELD COLOR	ACCENT COLOR	FIELD COLOR	ACCENT COLOR	
BUILDING 'A'	2	4	4	1	MATCH DARK BRONZE
BUILDING 'B'	1	4	4	2	MATCH DARK BRONZE
BUILDING 'C'	3	4	4	1	MATCH DARK BRONZE
BUILDING 'D'	2	4	4	3	MATCH DARK BRONZE

- NOTES:
- ALL GABLE & EAVE TRIMS & PREFINISHED METAL, DARK BRONZE.
 - ALL SOFFIT PLASTER, COLOR 4.

- COLORS:
- SW 000B CALVIN RED
 - IC1 58T BOULDER (GREEN)
 - SW 000T DECOROUS AMBER
 - IC1 624 HISTORIC TAN

MATERIAL KEY

- ACCENT COLOR
- FIELD COLOR
- STONE
OWENS CORNING CULTURED STONE, COUNTRY LEDGESTONE, COLOR: ASPEN
- ROOFING SHINGLE
TAMKO, CLASSIC HERITAGE SERIES, COLOR: MOUNTAIN SLATE

- NOTE:
- WINDOW AND DOOR FRAMING TO BE BRONZE ALUMINUM.
 - EAVES AND GABLE FACIA TO BE PAINTED TO MATCH ROOF.

BUILDING SIGNAGE NOTE
EACH BUILDING SHALL HAVE A MINIMUM OF 105.5sf OF TOTAL WALL SIGNAGE. SIGNAGE SHOWN ON BUILDING REPRESENTS "POTENTIAL" SIGN LOCATIONS.

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THE BOLAND STUDIO OF ARCHITECTURE
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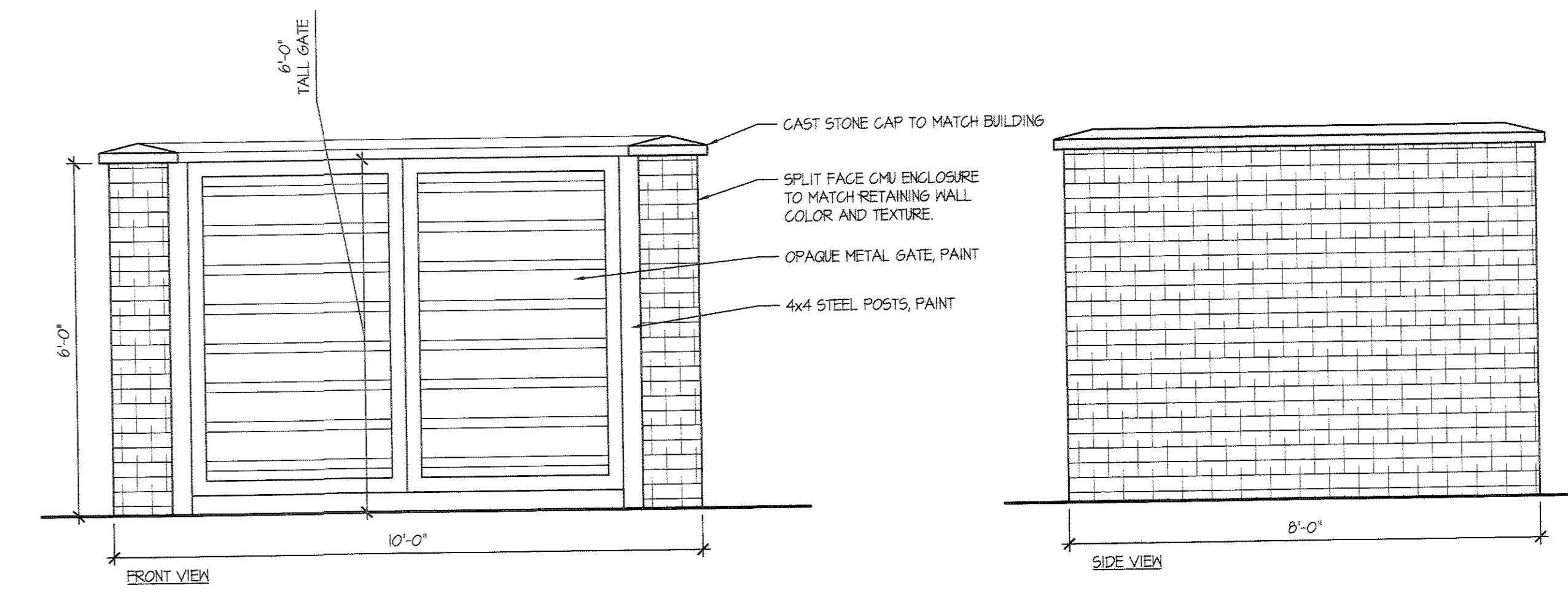
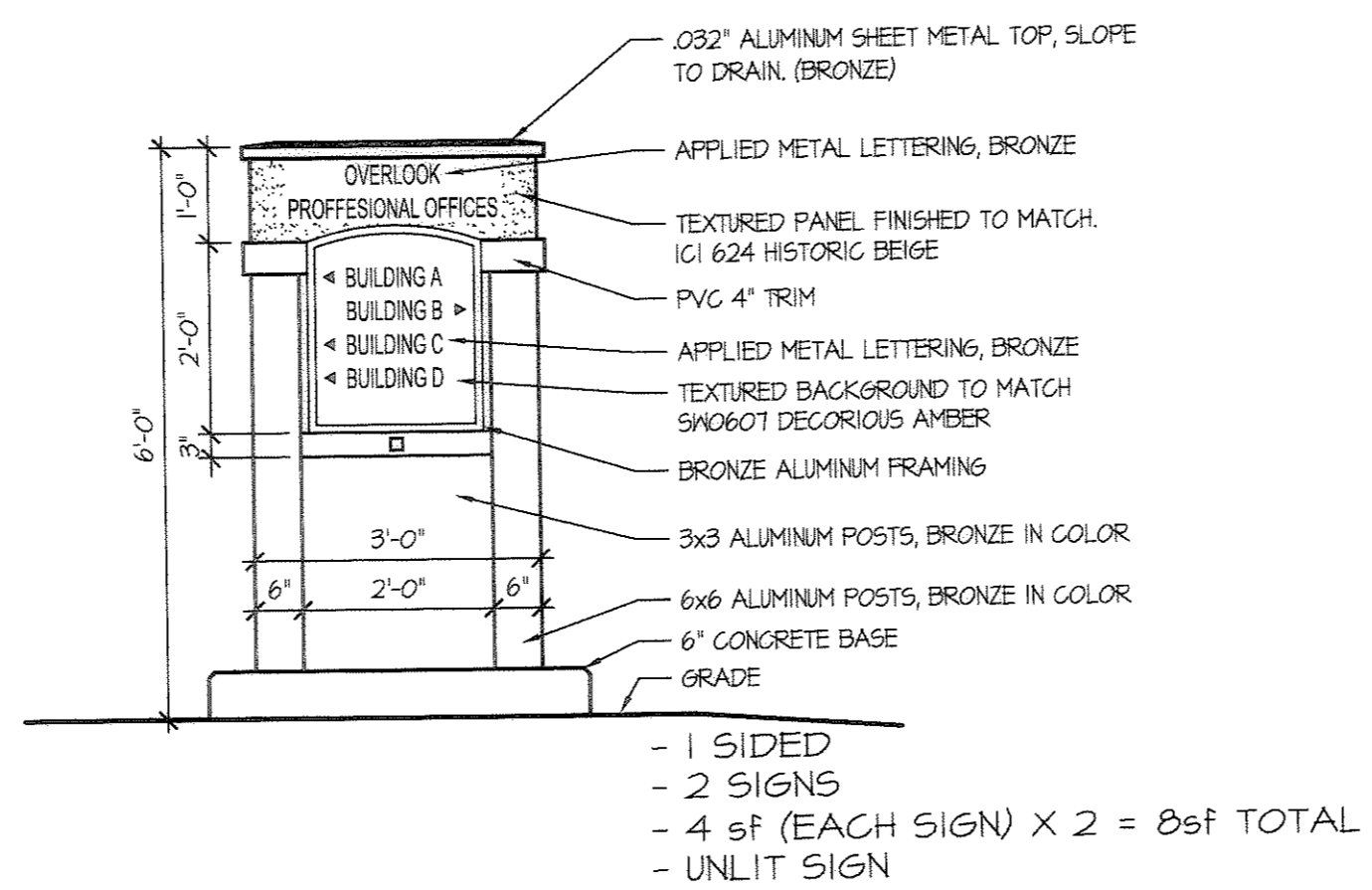
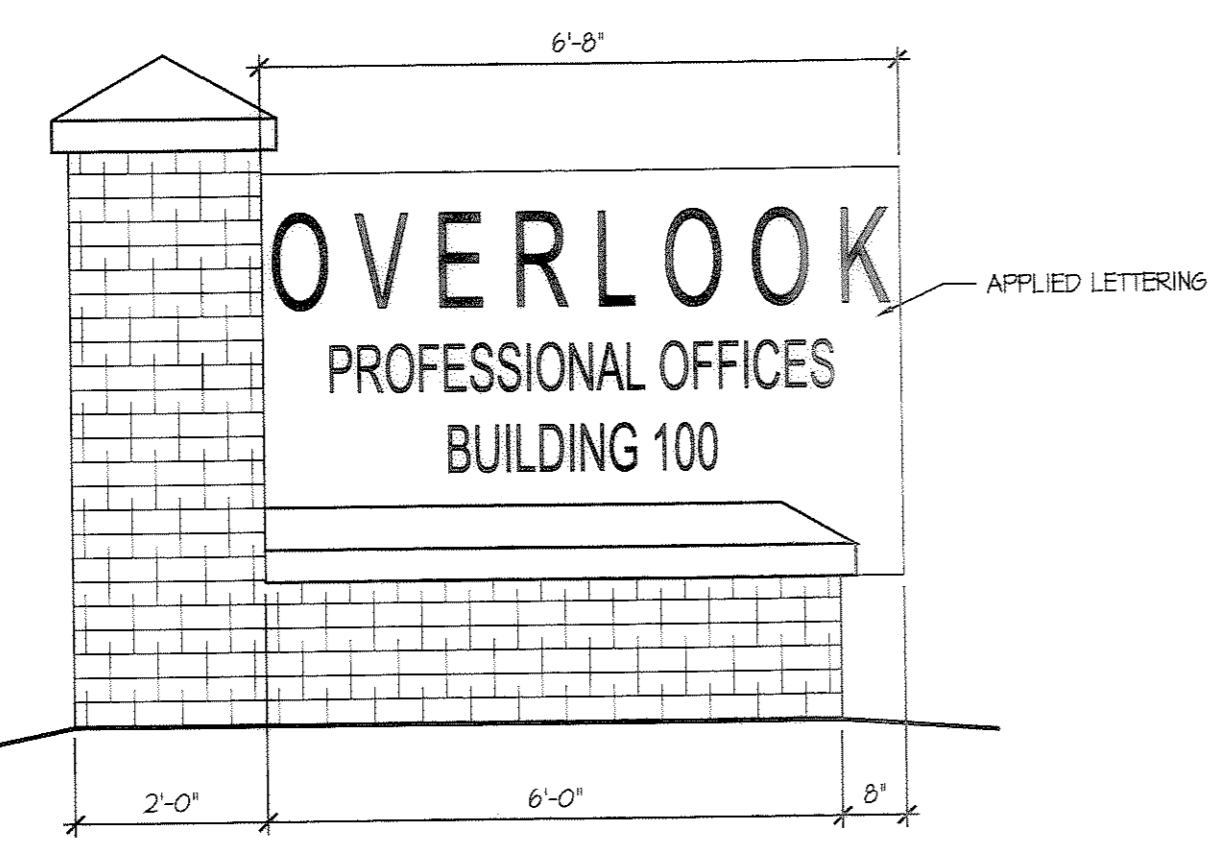
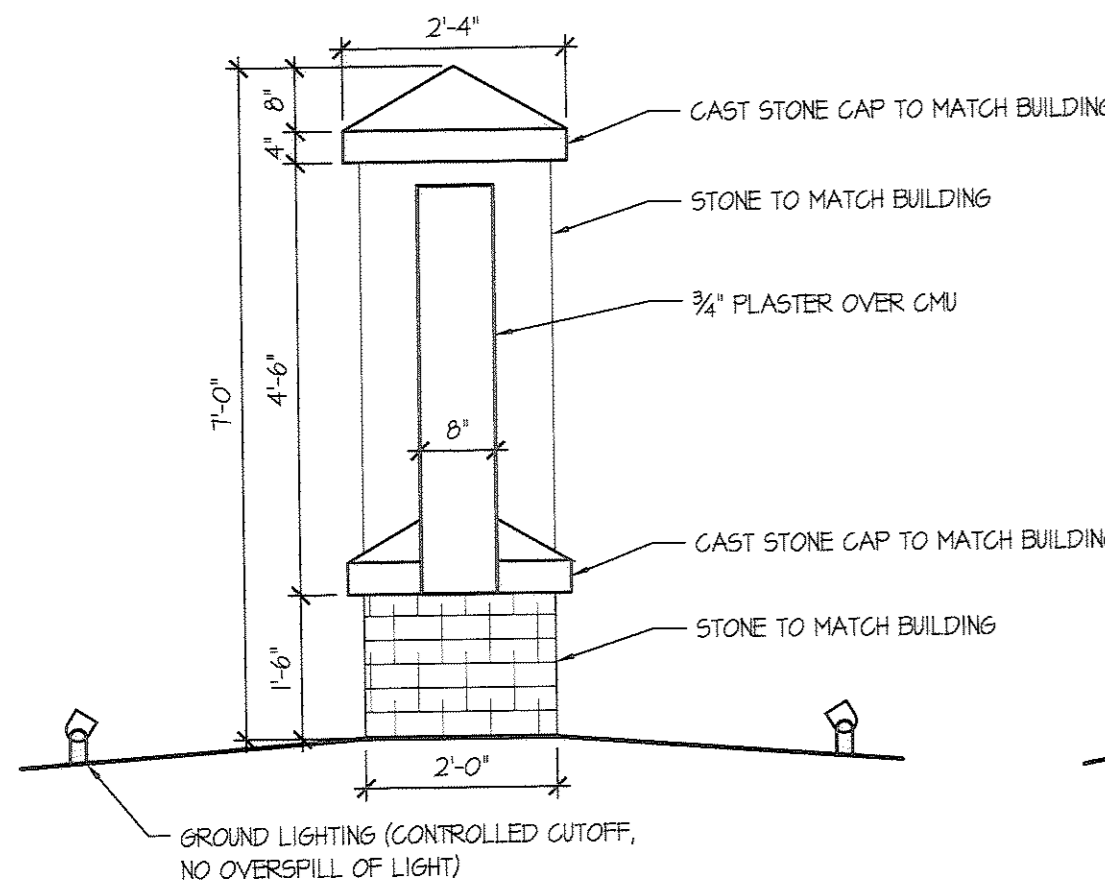
MAY 22, 2006

FINAL PD SITE PLAN
LOT 4-D METZLER RANCH FILING NO. 3 AMENDMENT 2
BUILDING ELEVATIONS
7 OF 9

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO

SIGNAGE PLAN & DETAILS

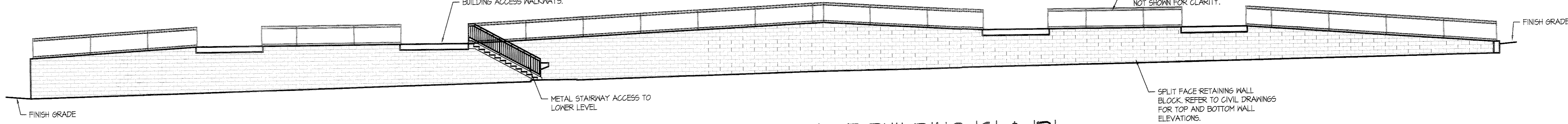


1 SITE IDENTIFICATION SIGNS
FDP SCALE: 1/2" = 1'-0"

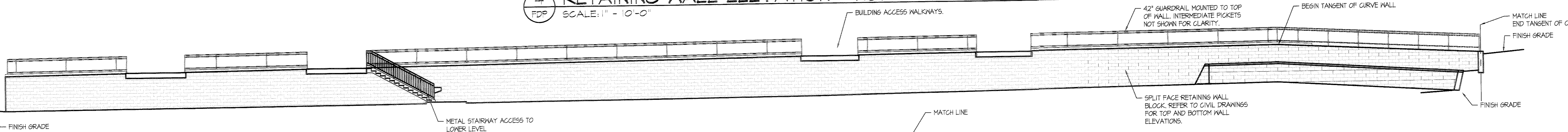
2 SITED
2 SIGNS
50 SF X 2 = 100sf EACH SIGN X 2 = 200sf TOTAL
GROUND LIT.

3 SITE INTERNAL DIRECTIONAL SIGNS
FDP SCALE: 1/2" = 1'-0"

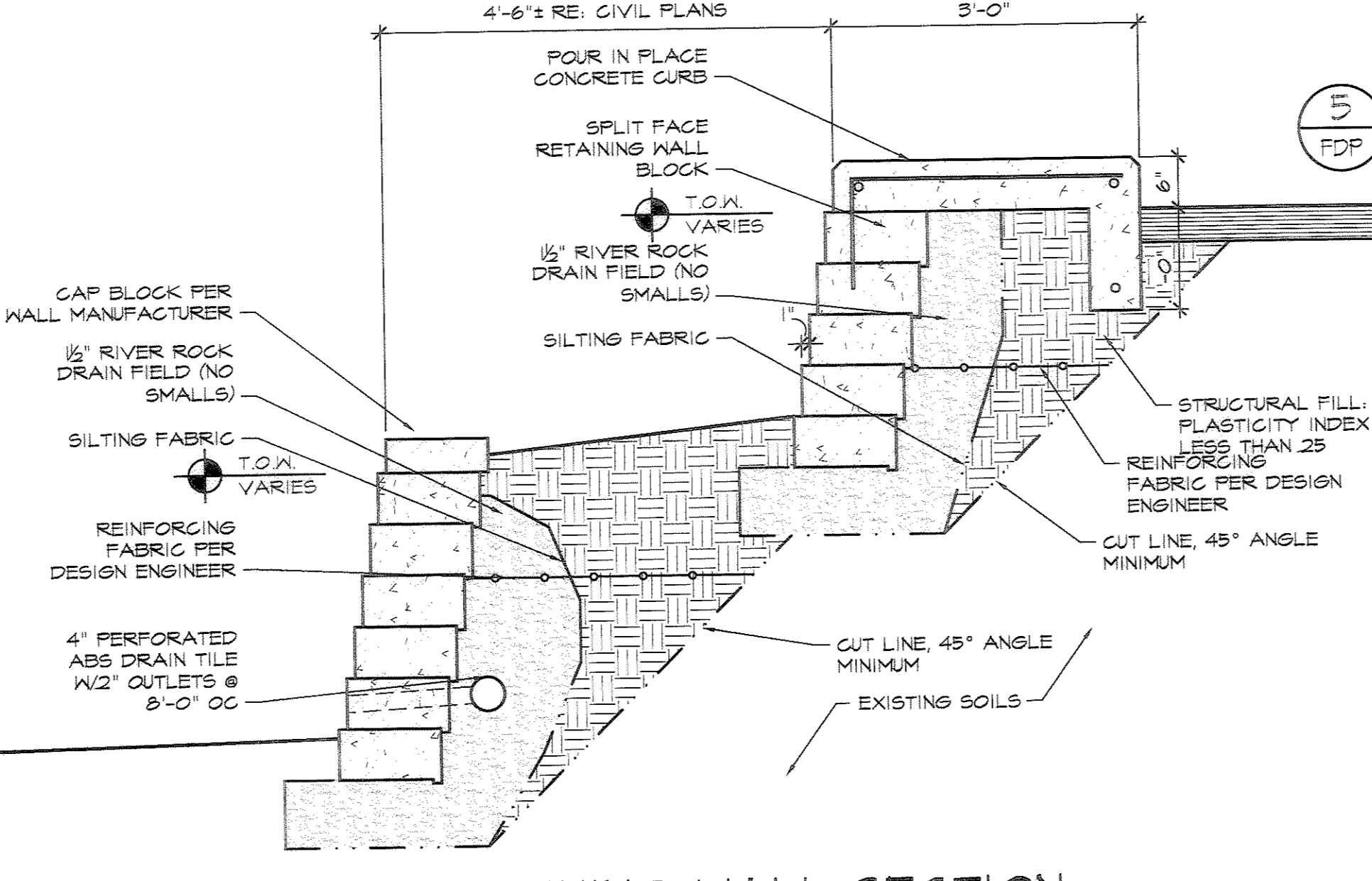
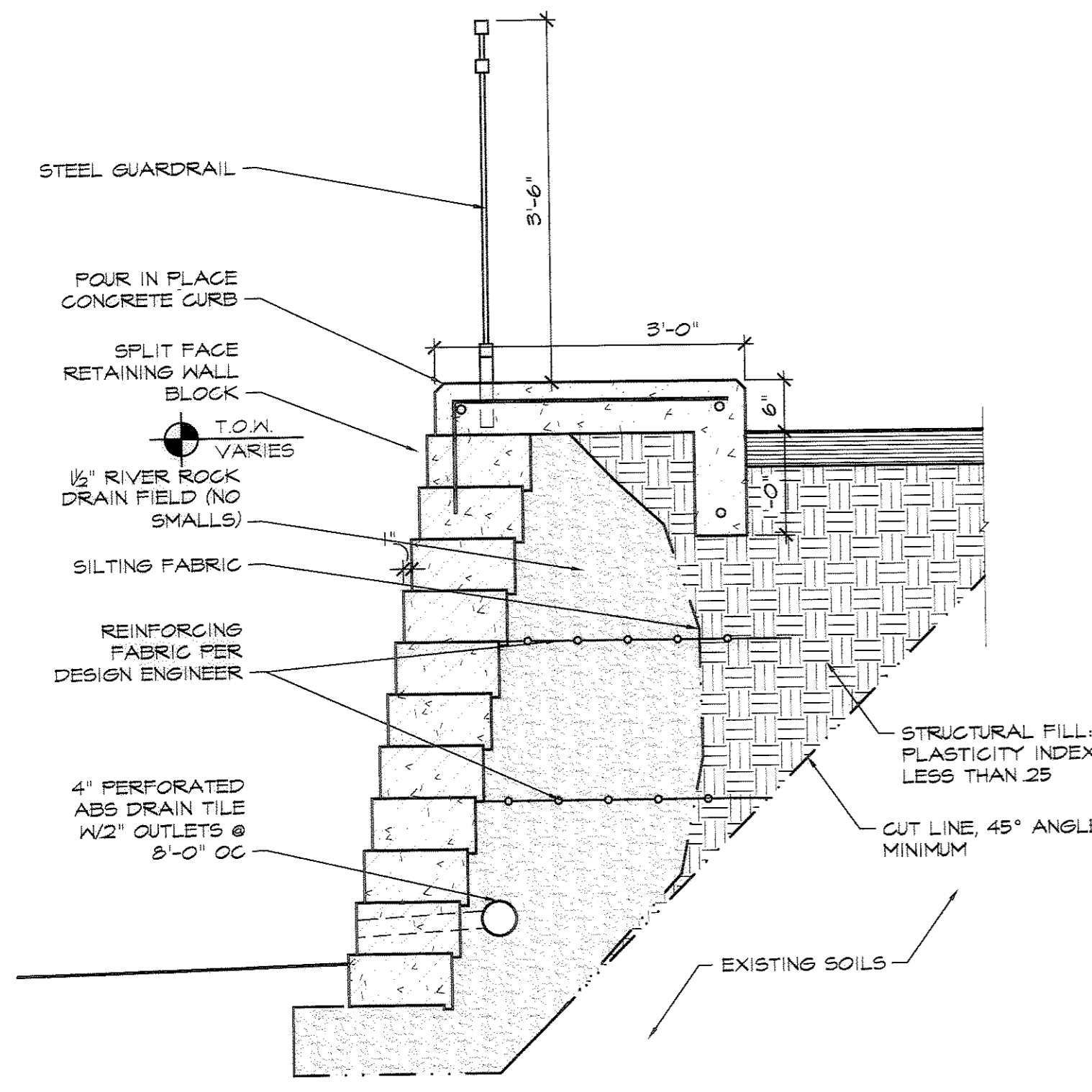
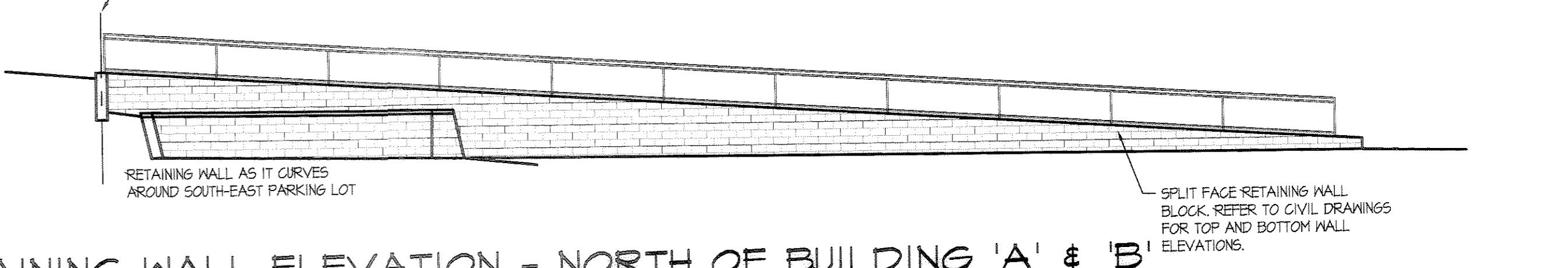
4 TYPICAL TRASH ENCLOSURE
FDP SCALE: 1/2" = 1'-0"



5 RETAINING WALL ELEVATION - NORTH OF BUILDING 'C' & 'D'
FDP SCALE: 1" = 10'-0"



6 RETAINING WALL ELEVATION - NORTH OF BUILDING 'A' & 'B'
FDP SCALE: 1" = 10'-0"



7 RETAINING WALL SECTION
FDP SCALE: 3/4" = 1'-0"

8 TIERED RETAINING WALL SECTION
FDP SCALE: 3/4" = 1'-0"

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MAY 22, 2006

FINAL PD SITE PLAN
LOT 4-D METZLER RANCH FILING NO. 3 AMENDMENT 2
SIGNAGE PLANS & DETAILS
8 OF 9

LOT 4-D METZLER RANCH FILING NO. 3, 2nd AMENDMENT

LOCATED IN THE SOUTH ONE HALF OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY COLORADO
PHOTOMETRIC PLAN



Horizontal Lamp

Flat Lens Full Cutoff Light Distribution: Type II, Type III, Type IV Forward Throw, Type V Square

Cat. No.: 29" RA262 RA263 RA264 RA265

(Types II, III, IV, and Asymmetric distributions only). The curved horizontal reflectors are available with stamped aluminum louvers that pass street-side light and block house-side light, and a blackened panel added to the reflector to reduce house-side reflections. The vertical reflectors and horizontal reflectors with the optional convex glass lens are available with a framed aluminum shield that passes street-side light and blocks house-side light, and a blackened panel added to the reflector to reduce house-side reflections.

Cat. No. HS Recommended for use with clear lamps only. Effectiveness is reduced for coated lamps. Not for use with Type V (horizontal lamp) or symmetric (vertical lamp) light distributions.

HSC for use with all fixtures with polycarbonate or convex glass lens. Not for use with Type V or symmetric light distributions.

Standard Features

Fixture
Cat. No. designates CFL fixture and beam pattern.

Single fixture EPA: 0.3 (45°) 0.5 (face on)

Beam Pattern:
Cat. No.: CFL1 CFL6

Fixed Hood
Cat. No. (see right) No Option

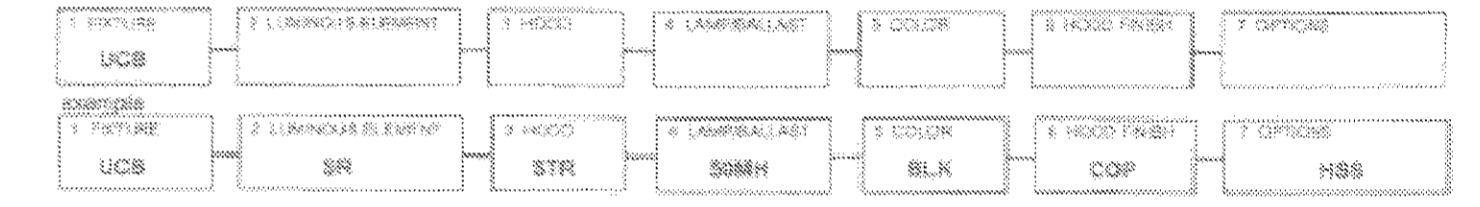
Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the least frame with stainless steel screws. Provides moderate shielding for glare control.

Cat. No.

- FH-CFL/BL-P Black
- FH-CFL/DB-P Dark Bronze
- FH-CFL/LG-P Light Gray
- FH-CFL/PL-P Platinum Silver
- FH-CFL/WH-P White

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UNIVERSE BOLLARD ORDER INFORMATION



UCB Universe Bollard



4. LAMP/BALLAST

INCAN	For use with medium base incandescent lamps, up to 100 watts, 120 volts.
COMP	Compact fluorescent, electronic ballast 120 thru 277 volts. Use 4-pin, 20, 35 or 42 watt lamps.
50MHTREE	50 watt electronic metal halide ballast, 120 thru 277 volt. Uses a G12 base, clear T-6 ceramic lamp.
50MH	50 watt metal halide 120/277 volt ballast.
50MHEB	Use medium base, clear E12-17 lamps.
70MH	70 watt electronic metal halide ballast, 120 thru 277 volt. Use medium base, clear E12-17 lamps.
70MHEB	Use medium base, clear E12-17 lamps.
70MHT6	70 watt electronic metal halide ballast, 120 thru 277 volt. Uses a G12 base, clear T-6 ceramic lamp.
70MHTREE	70 watt electronic metal halide ballast, 120 thru 277 volt. Uses a G12 base, clear T-6 ceramic lamp.
50MHP	50 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, clear E12-17 lamps.
70MHP	70 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, clear E12-17 lamps.
IL-55	55 watt induction lamp lighting system. Specify 120/208/240/277 volt. Rated for -40 degree Fahrenheit start up. As ballast preheat for 277 volt lamps not included.

5. COLOR

BLK	Black	DBZ	Dark Bronze
ATG	Antique Green	ML	Matte Aluminum
GA	Galvanized	LG	Light Gray
DGN	Dark Green	WH	White
MTB	Matte Black	VGR	Verde Green
CR	Corten		
RALCUSTOM			

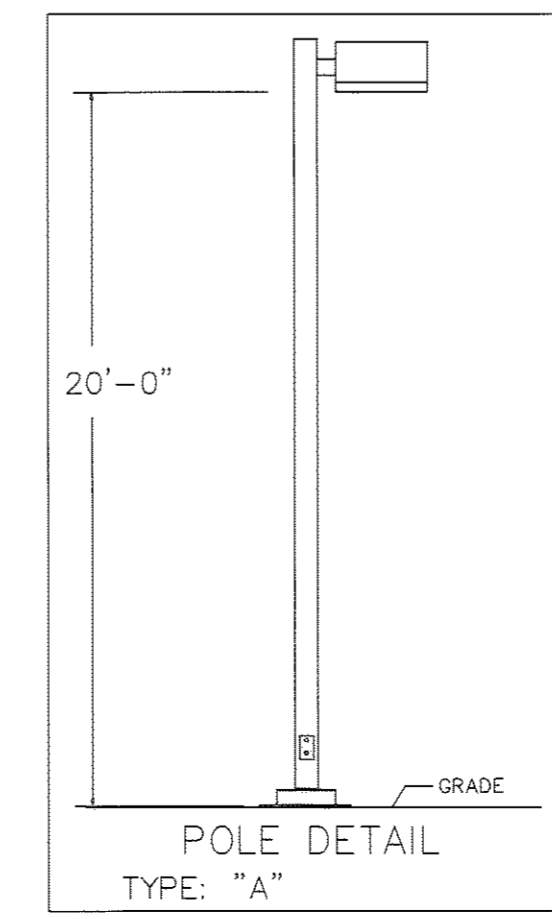
Site Lighting Power Plan
1" = 30'

DWG file created by LitePro 2.017 on 10/26/2005 3:43:05 PM

AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVC	MAX	MIN	MAX/MIN	AVE/MIN
Site RI	464.00x418.55ft	Pavement / H-H	937	10.0	(+)	1.06	3.94	0.01	415.82	111.75

AREA NAME	I/O	DIMENSIONS	LUMS / GASMS	WATTS / SQ FT	QTY
Site RI	OUT	464.00x418.55ft	(4) > (17) (8) > (8) (C) > (4) (D) > (47) (S) > (2)	0.04	1

TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	ILLF	QTY
A	⬢	KIM LIGHTING 08125/75MH (1) 75W RA13/175MH/xx/HS	(1)	13500	20' RECURSIVE FLUSH CONCRETE	1.00	17
B	⬢	ARCHITECTURAL "A" BOLLARD/50MH (1) "UCB" UCB	(1) MH50/L/MED	3450	BOLLARD FLUSH CONCRETE	1.00	8
C	⬢	KIM LIGHTING CFL1/50MH (1) "CFL1" CFL1/50MH/xx/xx	(1) MH 50	3060	FLOOD LIGHT FLUSH CONCRETE	1.00	4
D	⬢	VISA DW1032-1013-PT (1) "DW" DW1032-1013-PT	(1) F130TT	450	WALL SOURCE SURFACE WALL	1.00	47
SL	⬢	KIM LIGHTING Street Light (1) "CC21" CC21A3/250MH/xx/xx	(1) MH 250	23000	35' Mtg HT	1.00	2



Model	16md160hazj	Finishing Finish	Access Panel Finish	Options
<input checked="" type="checkbox"/> 0W1132	30" dia. 16w quad. 524g-1 base 23475 35w A-13, medium base	9" PD Painted - specify color code, see page 315 (ex. WHIT for White)	9" PD Painted - specify color code, see page 315 (ex. WHIT for White)	IPS Express 10 day shipment
	(No. 10) 12" dia. 27" H	-YG Yalrigis Polished over Copper		*Option is not available with M.P.S. program

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720.941.1311 Fax
mece@mece.com Email

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jvboland@comcast.net

May 22, 2006