

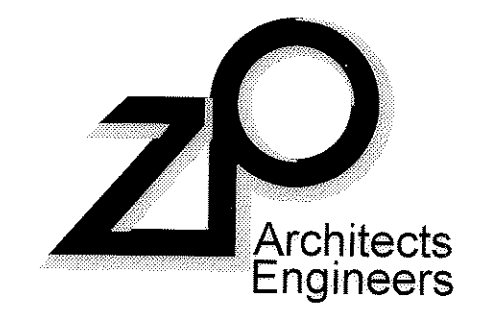
FINAL PD SITE PLAN

LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT

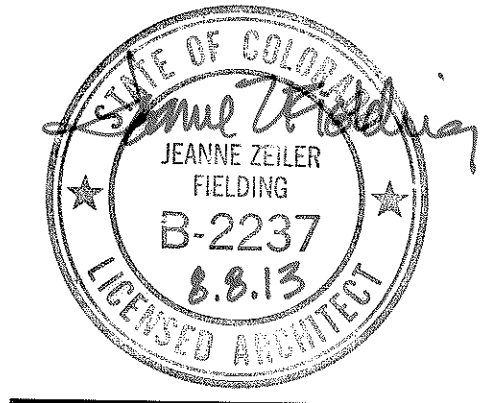
LOCATED IN THE SOUTH HALF, SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PM

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

COVER SHEET



Zeller - Pennock, Inc.
 2727 Bryant Street
 Suite 600
 Denver, CO 80211
 303 455 3322 T
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 WWW.ZELLERPENNOCK.COM



ABBREVIATIONS

ACOUS	ACOUSTICAL	FURR	FURRING	ROP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FWC	FABRIC WALL COVERING	RD	ROOF DRAIN
ADJ	ADJUSTABLE	GA	GAGE	RECTP	RECTANGLE
AFF	ABOVE FINISHED FLOOR	GALV	GALVANIZED	REFR	REFRIGERATOR
ANC	ANCHOR	GR	GRAB BAR	REIN	REINFORCE (O) (RIG) (MENT)
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	REV	REVISIONS/REVISED
ANOD	ANODIZED	GL	GLASS	RFG	ROOFING
BD	BOARD	GLU LAM	GLUE LAMINATED	RO	ROUGH OPENING
BLDG	BUILDING	GB	GYPSPUM BOARD	ROW	RIGHT OF WAY
BLKG	BLOCKING	HB	HOSE BIBB	RT	RESILIENT TILE
BM	BEAM	HC	HOLLOW CORE	SAC	SUSPENDED ACOUSTICAL CEILING
BOT	BOTTOM	HCP	HANDICAPPED	SB	SPLASH BLOCK
BRG	BEARING	HD	HEAVY DUTY	SC	SOLID CORE
BUR	BUILT-UP ROOF	HDR	HEADER	SD	STORM DRAIN
CAB	CABINET	HWR	HARDWARE	SECT	SECTION
CT	CERAMIC TILE	HT	HEIGHT	SGC	SUSPENDED GYP BOARD CEILING
CP	CAST IRON PIPE	HM	HOLLOW METAL	SH	SHOWER
CJ	CONSTRUCTION JOINT	HW	HOT WATER	SHTHG	SHEATHING
CJT	CONTROL JOINT	HWH	HOT WATER HEATER	SIM	SIMILAR
CLG	CEILING	ID	INSIDE DIAMETER	SM	SHEET METAL
CL	CENTER LINE	INCAND	INCANDESCENT	SPEC	SPECIFICATION
CLR	CLEAR	INCL	INCLUDE (ING)	SPKR	SPEAKER
CMU	CORRUGATED METAL PIPE	INSUL	INSULATION	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	INV	INVERT	SF	SQUARE FEET
CO	CLEANOUT	JT	JOIST	SI	SQUARE INCH
COL	COLUMN	JO	JOINT	SY	SQUARE YARD
CONC	CONCRETE	LAV	LAVATORY	SAN	SANITARY SEWER
CONN	CONNECTION	LF	LINEAR FOOT	SSF	SOLID SURFACE
CONT	CONTINUOUS (ATION)	LLH	LONG LEG HORIZONTAL	SST	STAINLESS STEEL
CP	CARPET	LLV	LONG LEG VERTICAL	ST	STORM SEWER
CY	CABINET UNIT HEATER	LT	LIGHT	STC	SOUND TRANSMISSION CLASS
CUH	CUBIC YARD	LT WT	LIGHTWEIGHT	STD	STANDARD
DEMO	DEMOLITION	MAS	MASONRY	STL	STEEL
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	STR	STRUCTURAL
DM	DIMENSION	MED	MEDIUM	SURF	SURFACE
DN	DOWN	MH	MANHOLE	SUSP	SUSPENDED
DR	DOOR	MIN	MINIMUM	T	TREAD
DS	DOWNSPOUT	MO	MASONRY OPENING	T&B	TOP AND BOTTOM
DW	DISHWASHER	MSB	MOP SERVICE BASIN	T&G	TONGUE AND GROOVE
DWG	DRAWING	MTL	METAL	TD	TRENCH DRAIN
DWL	DOWEL	MULL	MULLION	TEL	TELEPHONE
DWR	DRAWER	(N)	NEW	TEMP	TEMPERED GLASS
EF	EACH FACE	NA	NOT APPLICABLE	TFP	TOP OF FINISH FLOOR
EL	ELEVATION	NIC	NOT IN CONTRACT	THK	THICKNESS (THICK)
ELEC	ELECTRICAL	NO	NUMBER	TOB	TOP OF BEAM
ELEV	ELEVATOR	NTS	NOT TO SCALE	TOC	TOP OF CONCRETE (CURB)
ENCL	ENCLOSURE	OC	ON CENTER	TOF	TOP OF FOOTING
EQ	EQUAL	OD	OUTSIDE DIAMETER	TOJ	TOP OF JOIST
EQUIP	EQUIPMENT	OFF	OFFICE	TOS	TOP OF STEEL
ESMT	EASEMENT	OPNG	OPENING	TOSL	TOP OF SLAB
EW	ELECTRICAL WATER COOLER	OPP	OPPOSITE	TOT	TOTAL
EXP	EXPANSION	PBD	PARTICLEBOARD	TOW	TOP OF WALL
EXP BLT	EXPANSION BOLT	PC	PRECAST	TS	TUBE STEEL
EXP JT	EXPANSION JOINT	PERF	PERFORATED	TYP	TYPICAL
EXIST (E)	EXISTING	PERM	PERIMETER	UG	UNDERGROUND
FD	FLOOR DRAIN	PERP	PERPENDICULAR	UNEX	UNEXCAVATED
FDN	FOUNDATION	PL	PLATE	UNFN	UNFINISHED
FEC	FIRE EXTINGUISHER CABINET	PL	PROPERTY LINE	UNO	UNLESS NOTED OTHERWISE
FE	FIRE EXTINGUISHER	PLM	PLASTIC LAMINATE	UR	URNAL
FF	FINISH FLOOR	PLBS	PLUMBING	UTL	UTILITY
FH	FIRE HOSE CABINET	PLY	PLYWOOD	VERT	VERTICAL
FHC	FIRE HYDRANT	PNL	PANEL	VOL	VOLUME
FIN	FINISH	POL	POLISHED	W/	WITH
FL	FLOW LINE	PR	PAIR	W/O	WITHOUT
FLR	FLOOR (NG)	PTD	PAINTED	WC	WATER CLOSET
FLUOR	FLUORESCENT	PTN	PARTITION	WD	WOOD
FOC	FACE OF CONCRETE	PVC	POLYVINYL CHLORIDE	WDF	WINDOW
FOF	FACE OF FINISH	PMT	PAVEMENT	WF	WIDE FLANGE
FOM	FACE OF MASONRY	QT	QUARRY TILE	WL	WIND LOAD
FOS	FACE OF STUDS	QTY	QUANTITY	WR	WATER RESISTANT
FPR	FIREPROOFING	R	RISER/RADIUS	WT	WEIGHT
FRP	FIBER REINFORCED PANEL	RA	RETURN AIR	WFF	WELDED WIRE FABRIC
FTG	FOOTING	RB	RUBBER BASE	XFRM	TRANSFORMER

BUILDING CODE ANALYSIS

BUILDING CODE:	2012 IBC INTERNATIONAL BUILDING CODE
	2012 IFI INTERNATIONAL FIRE CODE
	2012 IMC INTERNATIONAL MECHANICAL CODE
	2011 NEC NATIONAL ELECTRICAL CODE
	2012 IECC INTERNATIONAL ENERGY CONSERVATION CODE
TYPE OF CONSTRUCTION:	TYPE V-B
FULLY SPRINKLERED:	NO
OCCUPANCY CLASSIFICATION:	OCC. B
ALLOWABLE FLOOR AREA:	3200 S.F.

ZONING ANALYSIS

SITE ADDRESS:	852 MALETA LANE
DEVELOPMENT STANDARDS/ ZONING REQUIREMENTS:	METZLER RANCH PPD ZONING REGULATIONS REFERS TO TOWN OF CASTLE ROCK B-2 GENERAL BUSINESS SEC. 17.44
ZONING CLASSIFICATION:	PD NO CHANGE
PRESENT USE:	UNDEVELOPED
PROPOSED USE:	BRANCH BANK W/ DRIVE-UP
SITE AREA:	82,609 SF 1.8964 A
BUILDING AREA:	3,270 SF 3.9%
PAVED AREA:	33,168 SF 40.2%
LANDSCAPED AREA:	46,171 SF 55.9% 10.0% REQ'D
TOTAL:	100%
PHASE 1 TOTAL AREA:	56,529 SF
PHASE 1 LANDSCAPED AREA:	17,484 SF 30.9% 10.0% REQ'D
SITE FLOOR AREA RATIO:	0.25 FAR MAX 3,270 SF / 82,609 SF = 0.0396 FAR
MAXIMUM BUILDING HEIGHT:	50'
ACTUAL BUILDING HEIGHT:	23'
SETBACKS REQUIRED:	SIDE 15' FRONT 0' REAR 0'
PARKING REQUIRED:	3.5 SPACES / 1000 SF OF GFA +1 PER EMPLOYEE 3 CARS STACKING PER DRIVE UP LANE 3.5 X 3200/1000 = 11.2+8 EMPLOYEES =19.2 SP = 20 SPACES REQUIRED 20 SPACES PROVIDED
PARKING PROVIDED:	HANDICAPPED PARKING REQUIRED: 1 HC / 25 SPACES HANDICAPPED PARKING PROVIDED: 1 HC
LEED SS CREDIT 4.3:	LOW EMITTED PARKING 5% OF TOTAL = 1 SP REQ'D 2 SP PROVIDED
SINGLE FAMILY EQUIVALENTS:	RENEWABLE WATER (2) 3/4" TAPS = 1+1=2 SFEs STORMWATER 82,609 SF x 0.80 = 66,087 SF 66,087 SF / 3,255 SF/SFE = 20.3 SFEs

PROJECT TEAM

OWNER
 U.S. BANK NATIONAL ASSOCIATION
 633 W. FIFTH ST. SUITE 2500
 LOS ANGELES, CA 90071
 (213) 615-6407
 (213) 615-6595 FAX

ARCHITECT/ENGINEER
 ZEILER-PENNOCK, INC.
 2727 BRYANT STREET
 DENVER, COLORADO 80211
 (303) 455-3322
 (303) 455-3708 FAX

CIVIL ENGINEER
 ZEILER-PENNOCK, INC.
 2727 BRYANT STREET
 DENVER, COLORADO 80211
 (303) 455-3322
 (303) 455-3708 FAX

LANDSCAPE ARCHITECT
 WALCZAK DESIGN
 743 W. SIXTH AVE.
 DENVER, COLORADO 80204
 (720) 946-0809
 (303) 534-1118 FAX

ELECTRICAL ENGINEER
 M.E.P. ENGINEERING
 3565 S. YOSEMITE ST.
 DENVER, COLORADO 80237
 (303) 936-1633
 (303) 934-3299 FAX

IRRIGATION ENGINEER
 WATER ENGINEERING, INC.
 17897 W. 53RD. DR.
 GOLDEN, COLORADO 80403
 (303) 618-6307
 (303) 474-3100 FAX

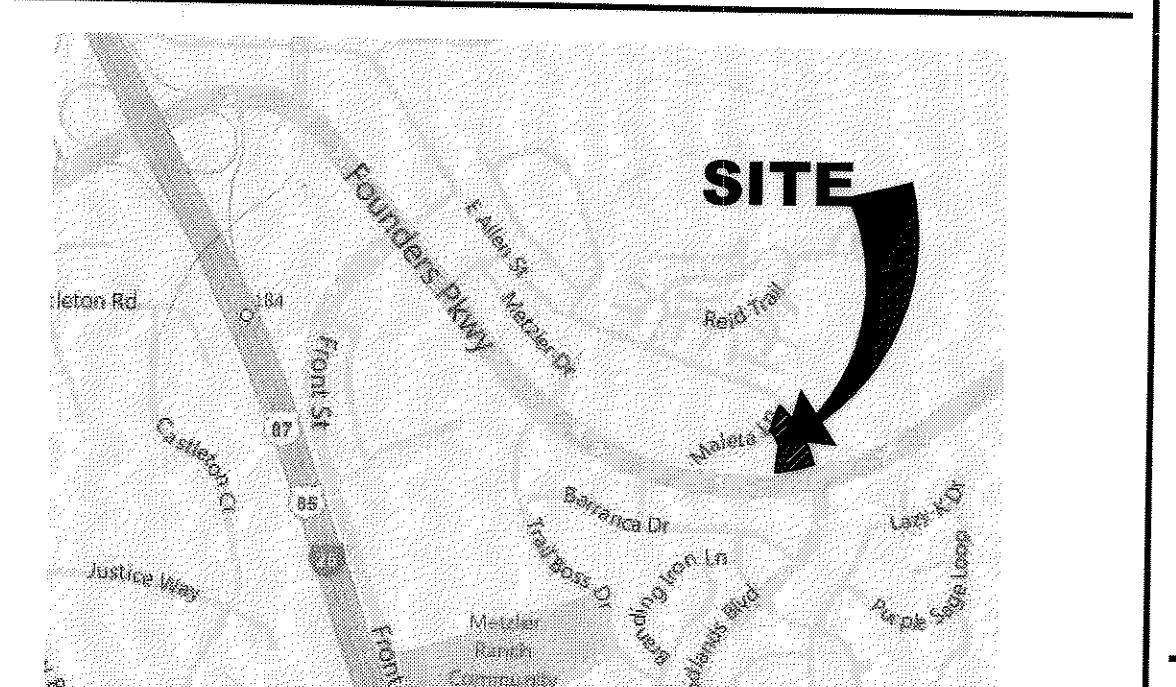
TRAFFIC ENGINEER
 ALDRIDGE TRANSPORTATION CONSULTANTS
 1840 W. LITTLETON BLVD. SUITE B
 LITTLETON, COLORADO 80120
 (303) 703-9112

PROJECT BENCHMARK
 BENCHMARK DATUM DERIVED FROM NGS DATA SHEET FOR POINT IDENTIFICATION NUMBER KKO201, DESIGNATION 4355. ELEVATION 6050.74 FEET NAVD88. STATION FALLS IN THE TOP OF A HEADWALL OF A CONCRETE CULVERT THAT IS CROSSED OVER BY THE U.P.R.R. STATION IS A BRASS DISC FLUSH WITH THE SURFACE OF THE CONCRETE.

NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE SITE IS NOT LOCATED WITHIN ANY REGULATED FLOOD PLAIN OR WETLAND.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CD'S. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS, SHALL BE PLACED IN SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAN.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. DRY UTILITY CROSSINGS MAY BE PERMITTED IN OTHER UTILITY OR DRAINAGE EASEMENTS PROVIDED THE CROSSINGS ARE AT A 90-DEGREE ANGLE. IN ALL CASES, PRIOR APPROVAL OF THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT SHALL BE OBTAINED FOR DRY UTILITY CROSSINGS OF EXCLUSIVE WET UTILITY EASEMENTS AND EXCLUSIVE DRAINAGE EASEMENTS.

VICINITY MAP



SHEET INDEX

- SHEET 1 CS0.1 - COVER SHEET
- SHEET 2 SP.1.1 - SITE PLAN
- SHEET 3 C.1.1 - GRADING PLAN
- SHEET 4 C.1.2 - UTILITY PLAN
- SHEET 5 C.1.3 HORIZONTAL CONTROL PLAN
- SHEET 6 L.1.1 - LANDSCAPE PLAN
- SHEET 7 L.1.2 - LANDSCAPE DETAILS
- SHEET 8 IR.1.1 - IRRIGATION PLAN
- SHEET 9 IR.1.2 - IRRIGATION DETAILS
- SHEET 10 A2.1 - BUILDING ELEVATIONS
- SHEET 11 A2.2 - BUILDING ELEVATIONS
- SHEET 12 SP.0.1 - SITE PHOTOMETRIC PLAN
- SHEET 13 SP.0.2 - LUMINARE SPECIFICATIONS

LEGAL DESCRIPTION

LOT 4-C, METZLER RANCH FILING NO. 3, 2ND AMENDMENT, COUNTY OF DOUGLAS, STATE OF COLORADO

THE ABOVE DESCRIPTION IS THE SAME AS IN SCHEDULE A OF FIRST AMERICAN TITLE INSURANCE COMPANY'S COMMITMENT NUMBER NCS-455330-MPLS BEARING AN EFFECTIVE DATE OF FEBRUARY 3, 2011 AT 5:00 P.M.

SURVEYOR'S CERTIFICATE
 I, Richard B. Galand, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 4-C, METZLER RANCH FILING NO. 3 2ND AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Richard B. Galand
 REGISTERED LAND SURVEYOR
 OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS, TO-WIT: LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT IN THE TOWN OF CASTLE ROCK.

US BANK NATIONAL ASSOCIATION
 SIGNED THIS 6 DAY OF August, 2013

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 6 DAY OF August, 2013
 BY Richard B. Galand

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES Sept 17, 2015

TITLE CERTIFICATION
 I, James Betton, AN AUTHORIZED REPRESENTATIVE OF First American Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 13 DAY OF August, 2013
James Betton
 AUTHORIZED REPRESENTATIVE
First American Title

TITLE INSURANCE COMPANY
NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 13 DAY OF August, 2013

BY Kim M. Kim
 WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
 MY COMMISSION EXPIRES Sept 28, 2016

TOWN CERTIFICATION
 THE FINAL PD SITE PLAN FOR LOT 4-C, METZLER RANCH FILING NO. 3 2ND AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 16 DAY OF Sept, 2013.

Richard B. Galand
 DIRECTOR OF DEVELOPMENT SERVICES
 DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 4:34 ON THE 18 DAY OF September 2013 AT
 DOUGLAS COUNTY CLERK AND RECORDER

BY Talaya Law
 DEPUTY



CASTLE ROCK, COLORADO

US BANK
 CASTLE ROCK BRANCH

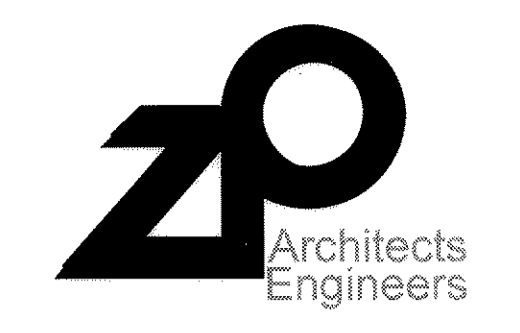
852 MALETA LANE

ISSUE:
 FINAL PD SITE PLAN 2 3-8-13
 100% CONST. DOC. REVIEW
 6-29-13
 SUBMITTAL 4 6-20-13

JOB NUMBER:
 Z10-165
 SHEET TITLE:
 FINAL PD SITE PLAN
 COVER SHEET

CS0.1
 LOT 4-C METZLER RANCH FILING NO. 3
 2ND AMENDMENT
 SHEET 1 OF 13

FINAL PD SITE PLAN 2
852 MALETA LANE
LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT
 LOCATED IN THE SOUTH HALF, SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PM
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LANDSCAPE PLAN



Zeiler - Pennock, Inc.
 2727 Bryant Street
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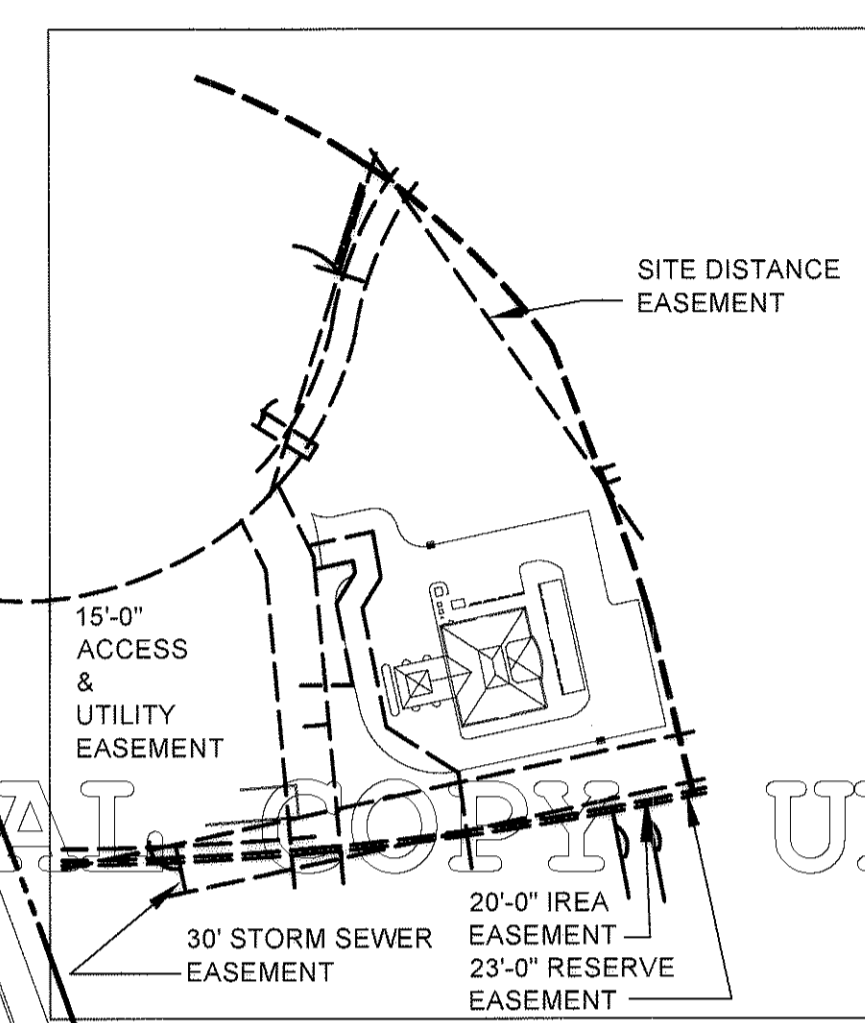


Walczak Design
 LANDSCAPE ARCHITECT
 720-844-0809 Int. Alison Walczak
 303-455-1118 Fax 743 W. 91st Avenue
 816022121@USBNK.COM Denver, CO

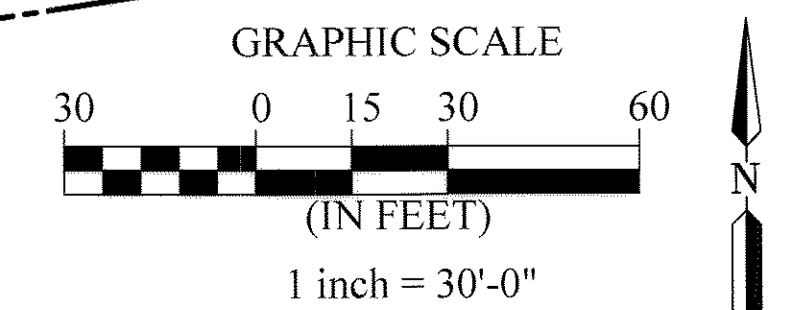
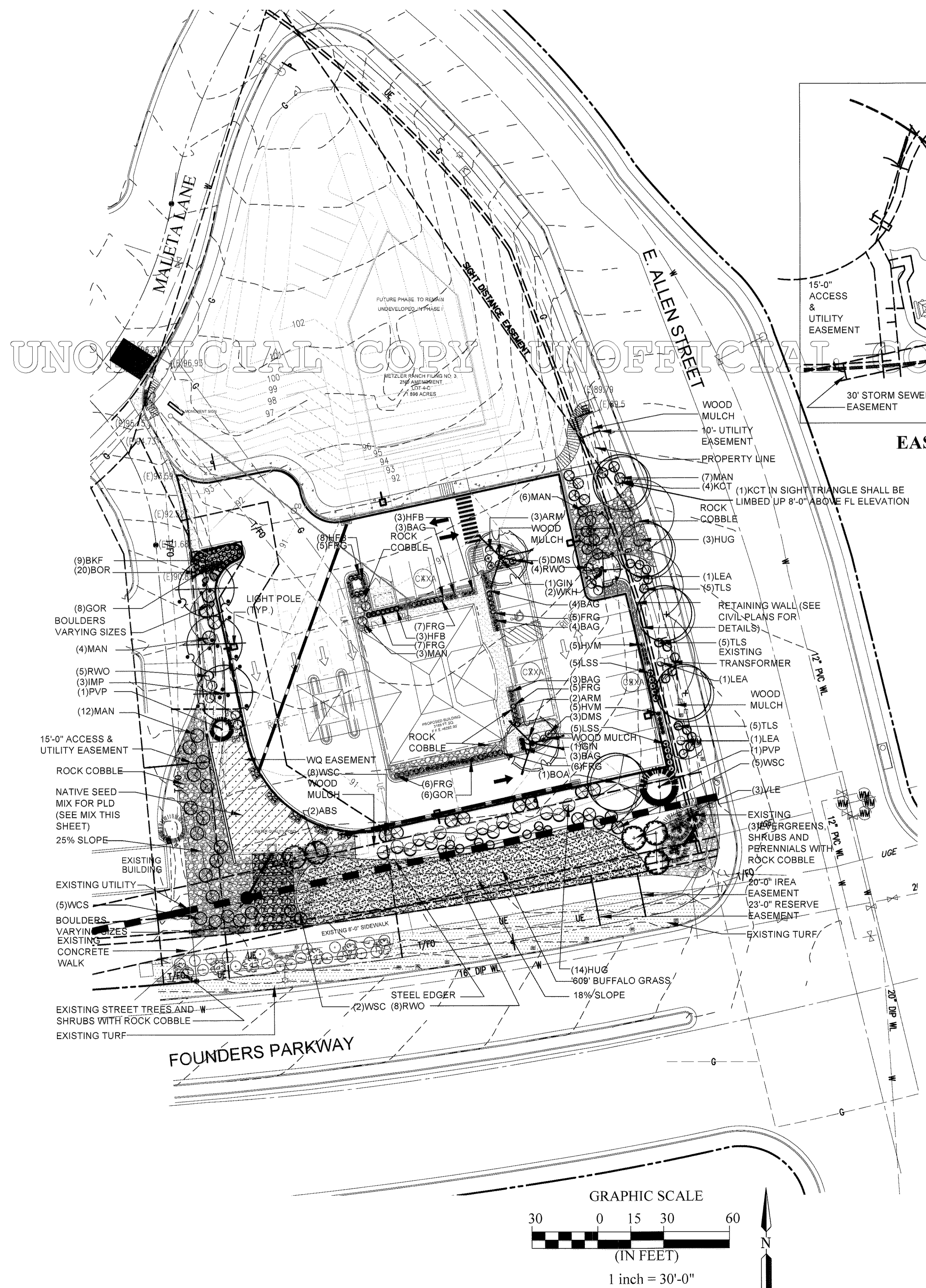
PLANT SCHEDULE

Registered Professional Alison Walczak Registration # 4194
 Company Name Walczak Design 743 W. Sixth Avenue Denver, CO 80204
 Phone 720-946-0809 alison@walczakdesign.com Date: March 25, 2011

IRR (DRIP OR SPRAY)	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	LEGEND ABBREV.	MATURE SIZE (HxW)	NO. OF PLANTS	APP. RATE (inches/month)	WATER USE	SQ. FT. OF ZONE (Turf Only)	% OF TOTAL AREA	SQ. FT. OF TOTAL LANDSCAPED AREA
Deciduous Trees											
Drip	Quercus macrocarpa	Oak, Bur	2 1/2" cal.	BOA	70'-50'	1	Low	.5			
Drip	Ginkgo biloba	Ginkgo	2 1/2" cal.	GIN	50'-20'	2	Very Low	.5			
Drip	Gymnocladus dioica	Kentucky Coffee	2 1/2" cal.	KCT	80'-50'	4	Low	.5			
Drip	Gleditsia triacanthos 'Imperial'	Honeylocust, Imperial	2 1/2" cal.	IMP	40'-40'	3	Low	.5			
Limb Up 8'-0" above flowline elevation											
Ornamental Trees											
Drip	Crataegus viridis 'Winter King'	Hawthorn, Winter King	1 1/2" cal.	WKH	30'-20'	2	Low	.5			
Evergreen Trees											
Deciduous Shrubs											
Drip	Pinus flexilis 'Vanderwolf's Pyramid'	Pine, Vanderwolf's Pyramid	6'-HT.	PVP	20'-10'	2	Low	.5			
Deciduous Shrubs											
Drip	Amelanchier x grandiflora	Serviceberry, Autumn Brilliance	1 1/2" cal.	ABS	15'-10'	2	Low	.5			
Drip	Philadelphus virginialis 'Minnesota Dwarf Snowflake'	Mockorange, Dwarf Minn. Snowflake	5 gal.	DMS	3'-3'	8	Low	.5			
Drip	Amorpha canescens	Leadplant	5 gal.	LEA	4'-4'	3	Low	.5			
Drip	Arctostaphylos x coloradoensis 'Chieftain'	Manzanita, Chieftain	5 gal.	MAN	4'-6'	32	Very Low	.2			
Drip	Rosa woodsii	Rose, Woods	5 gal.	RWO	4'-4'	17	Very Low	.2			
Drip	Rhus trilobata	Sumac, Three Leaf	5 gal.	TLS	4'-4'	15	Very Low	.2			
Drip	Viburnum lentago	Nannyberry	5 gal.	VLE	15'-10'	3	Low	.5			
Drip	Prunus besseyi	Sand Cherry, Western	5 gal.	WSC	8'-8'	20	Very Low	.2			
Evergreen Shrubs											
Drip	Juniperus chinensis 'Armstrong'	Juniper, Armstrong	5 gal.	ARM	4'-4'	5	Low	.5			
Drip	Juniperus horizontalis 'Hughes'	Juniper, Hughes	5 gal.	HUG	18'-6'	17	Low	.5			
Perennials / Groundcovers / Ornamental Grasses											
Drip	Gaillardia aristata	Blanket Flower	1 gal.	BKF	24"-24"	9	Low	.5			
Drip	Persicaria affinis	Polygonum/Himalayan Border Jewel	1 gal.	BOR	4"-24"	20	Low	.5			
Drip	Solidago canadensis 'Golden Baby'	Goldenrod 'Golden Baby'	1 gal.	GOR	24"-18"	14	Low	.5			
Drip	Perovskia atriplicifolia 'Little Spire'	Sage, Russian Little Spire	1 gal.	LSS	2'-3'	10	Low	.5			
Drip	Helictotrichon sempervirens	Blue Avena	1 gal.	BAG	2'-3'	17	Low	.5			
Drip	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	FRG	5'-2'	41	Low	.5			
Drip	Pennisetum alopecuroides 'Little Bunny'	Fountain Grass, Hardy Little Bunny	1 gal.	HFB	12"-18"	14	Low	.5			
Drip	Panicum Virgatum 'Heavy Metal'	Switchgrass, Blue	1 gal.	HVM	5'-18"	10	Low	.5			
Turf / Native Seed Mix											
	Rotors '609 Buffalo Grass' Turf - a female hybrid, grows more aggressively and fills in faster than seed						Low	0.5	3,597	4%	23%
	Rotors Native Seed Mix for PLD Area - irrigate to establish, then turn irrigation off						Low	0.2	1,537	1%	10%



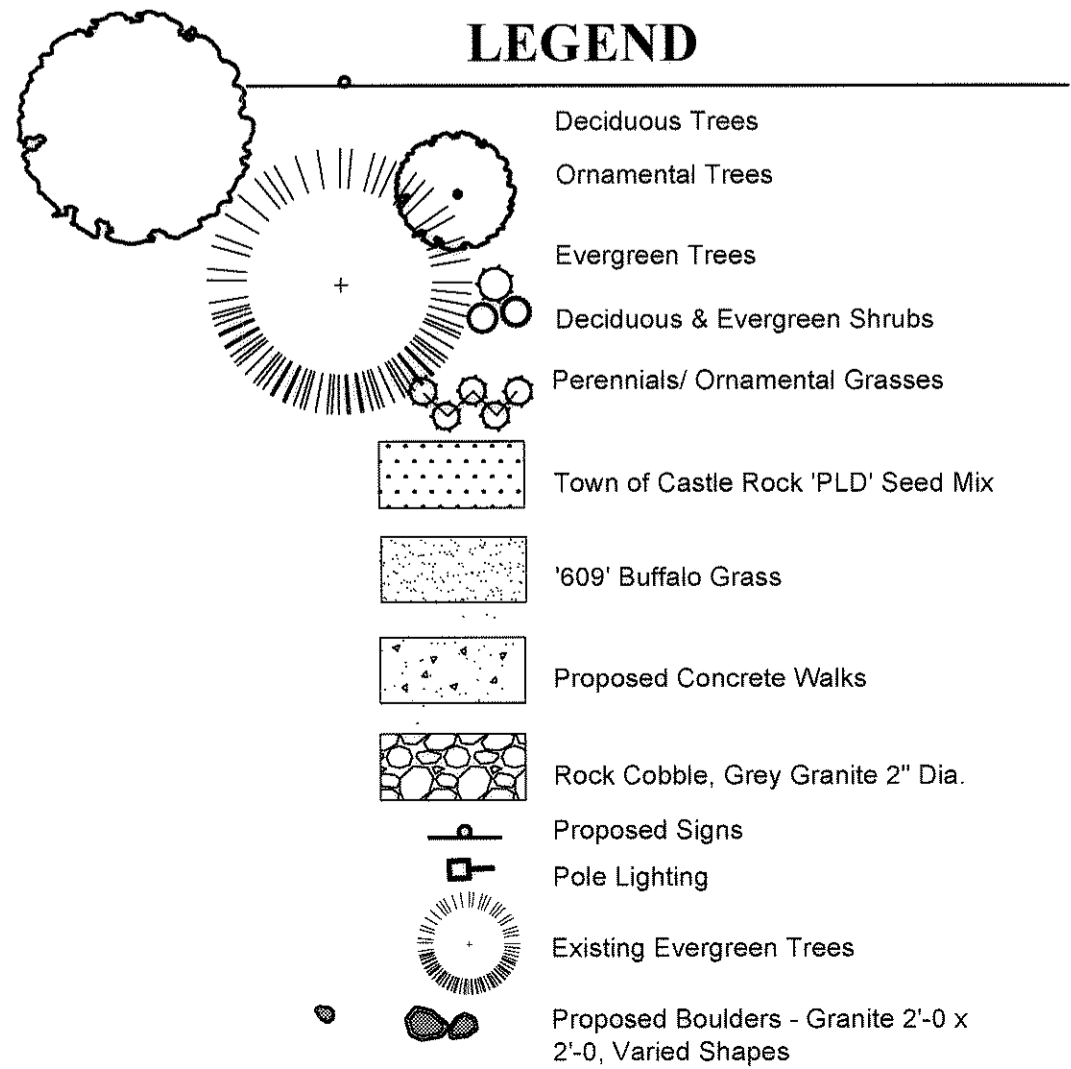
EASEMENT PLAN



PLD SEED MIX (POROUS LANDSCAPE DETENTION)

4", 14 gauge Galvanized Steel Edger with Top Cap - Ryerson Or Equal
 Wood Mulch - Cedar Fiber Mulch - 4" Depth Over Landscape Fabric in All Planting Beds
 Granite Boulders, Varying Sizes; 2'-0" X 2'-0" Max.
 Rock Cobble - 'Horizon' 2" Dia.
 '609 Buffalo Grass' Turf

BOTANICAL NAME	COMMON NAME	VARIETY	PLS LBS PER ACRE	OUNCES / ACRE
Grass Seed				
Andropogon hallii	Sand bluestem	Garden Butte	3.5	
Bouteloua curtipendula	Sideoats grama	Butte	3	
Calamovifla longifolia	Prairie sandreed	Goshen	3	
Onyzopsis hymenoides	Indian ricegrass	Paloma	3	
Panicum virgatum	Switchgrass	Blackwell	4	
Pascopyrum smithii	Western Wheatgrass	Ariba	3	
Schizachyrium scoparium	Little bluestem	Patura	3	
Sporobolus airoides	Alkali secaton		3	
Sporobolus cryptandrus	Sand dropseed		3	
Perennial Seed				
Artemisia frigida	Pasture Sage		2	
Aster laevis	Blue aster		4	
Gaillardia aristata	Blanket flower		4	
Ratibida columnifera	Prairie coneflower		4	
Dalea (Petalostemum) purpurea	Purple prairieclover		4	
Sub-Totals:			27.5	22
TOTAL LBS PER ACRE:			28.9	



REQUIRED VERIFICATION INFORMATION

LICENSED LANDSCAPE ARCHITECT

REGISTRATION OF LANDSCAPE PROFESSIONAL
 TOWN OF CASTLE ROCK
 #4194
 ISSUED ON 01.24.13 EXPIRES 03.01.14

UNOFFICIAL COPY

US BANK
 CASTLE ROCK BRANCH

CASTLE ROCK - COLORADO

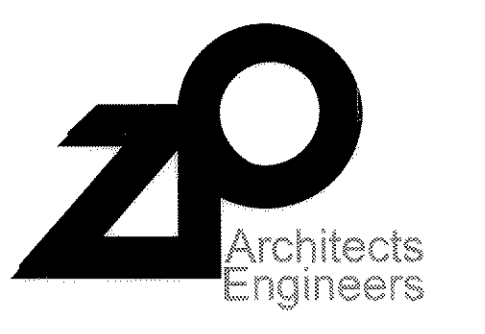
852 MALETA LANE

ISSUE:
 FINAL PD SITE PLAN 3.25.11
 FINAL PD SITE PLAN 2 3.08.13
 FINAL PD SITE PLAN 2 5.17.13
 CONST. DOC. 06.11.13
 CONST. DOC. 06.20.13

JOB NUMBER:
 CS72-0001
 SHEET TITLE:
 FINAL PD SITE PLAN
 LANDSCAPE PLAN

L1.1
 LOT 4-C METZLER RANCH FILING
 2ND AMENDMENT
 SHEET 6 OF 13

FINAL PD SITE PLAN 2
852 MALETA LANE
LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT
LOCATED IN THE SOUTH HALF, SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LANDSCAPE PLAN



Zeller-Pennock, Inc.
2727 Bryant Street
Suite 600
Denver, CO 80211

303 456 3322 T
303 456 3706 F
WWW.ZELLERPENNOCK.COM

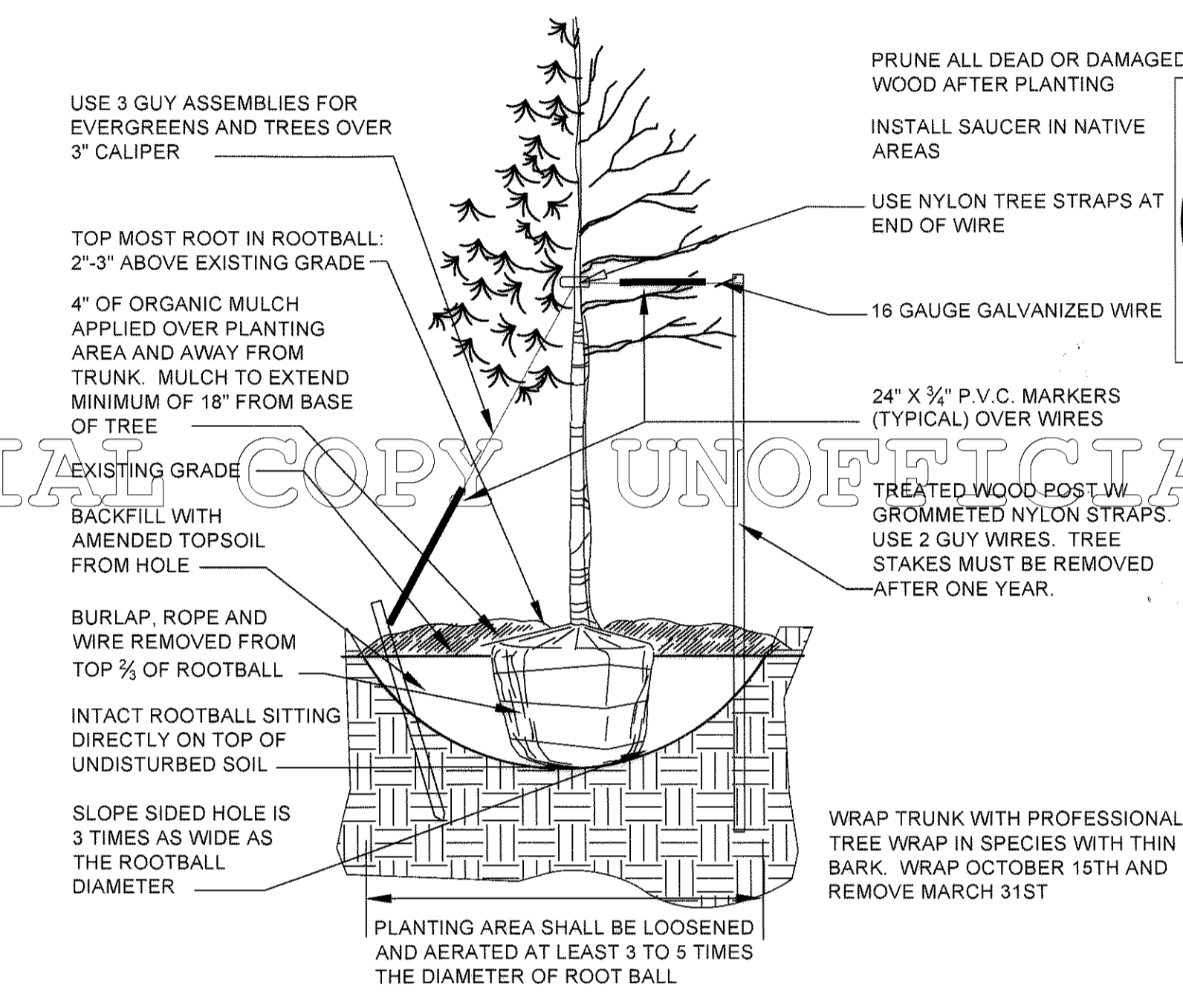
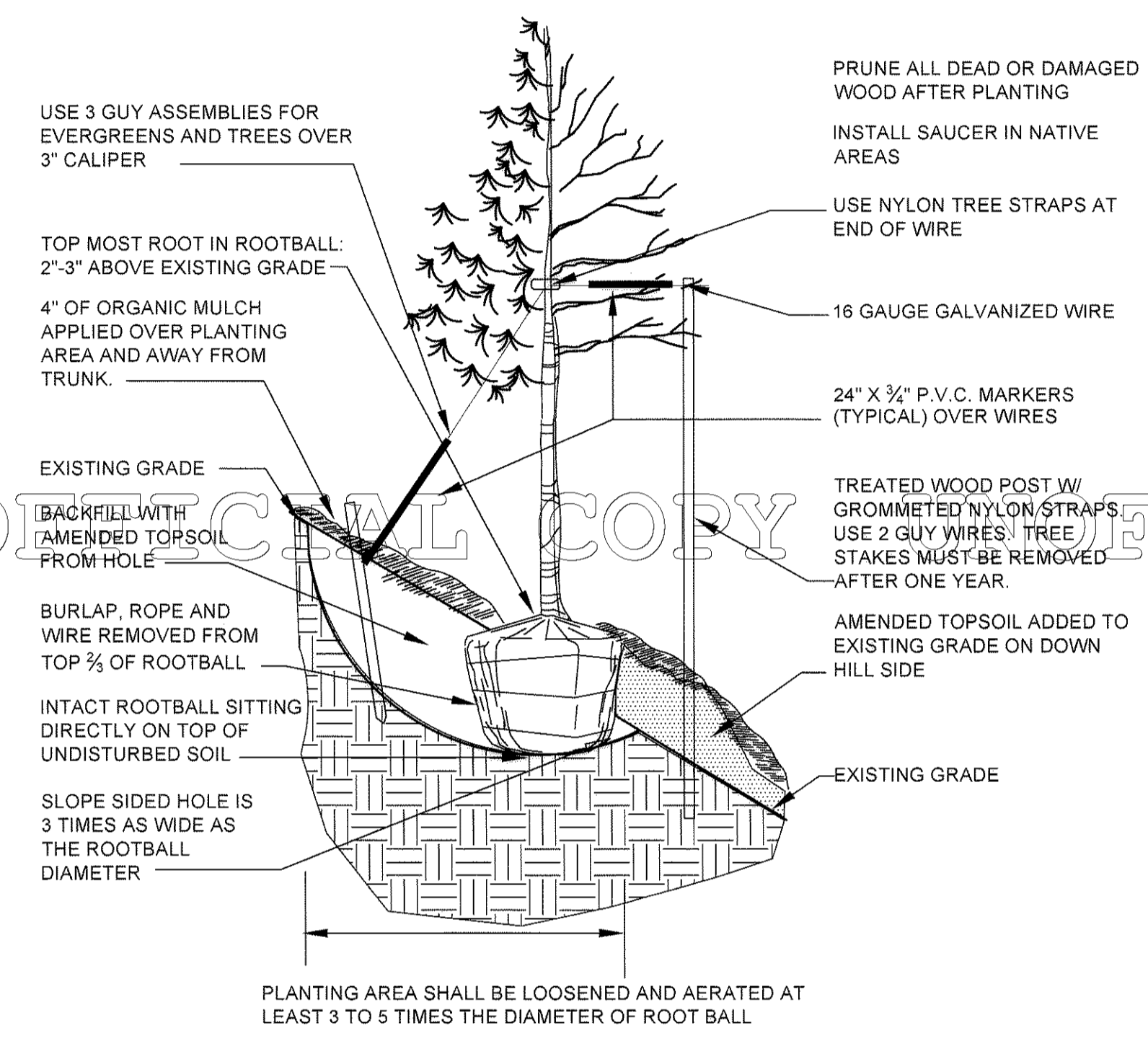


Walczak Design
LANDSCAPE ARCHITECT

1200 - 866 - 0880 | Alison Walczak
303 - 534 - 1119 | 515 W. 11th Avenue
alison@walczakdesign.com | Denver, CO

GENERAL NOTES:

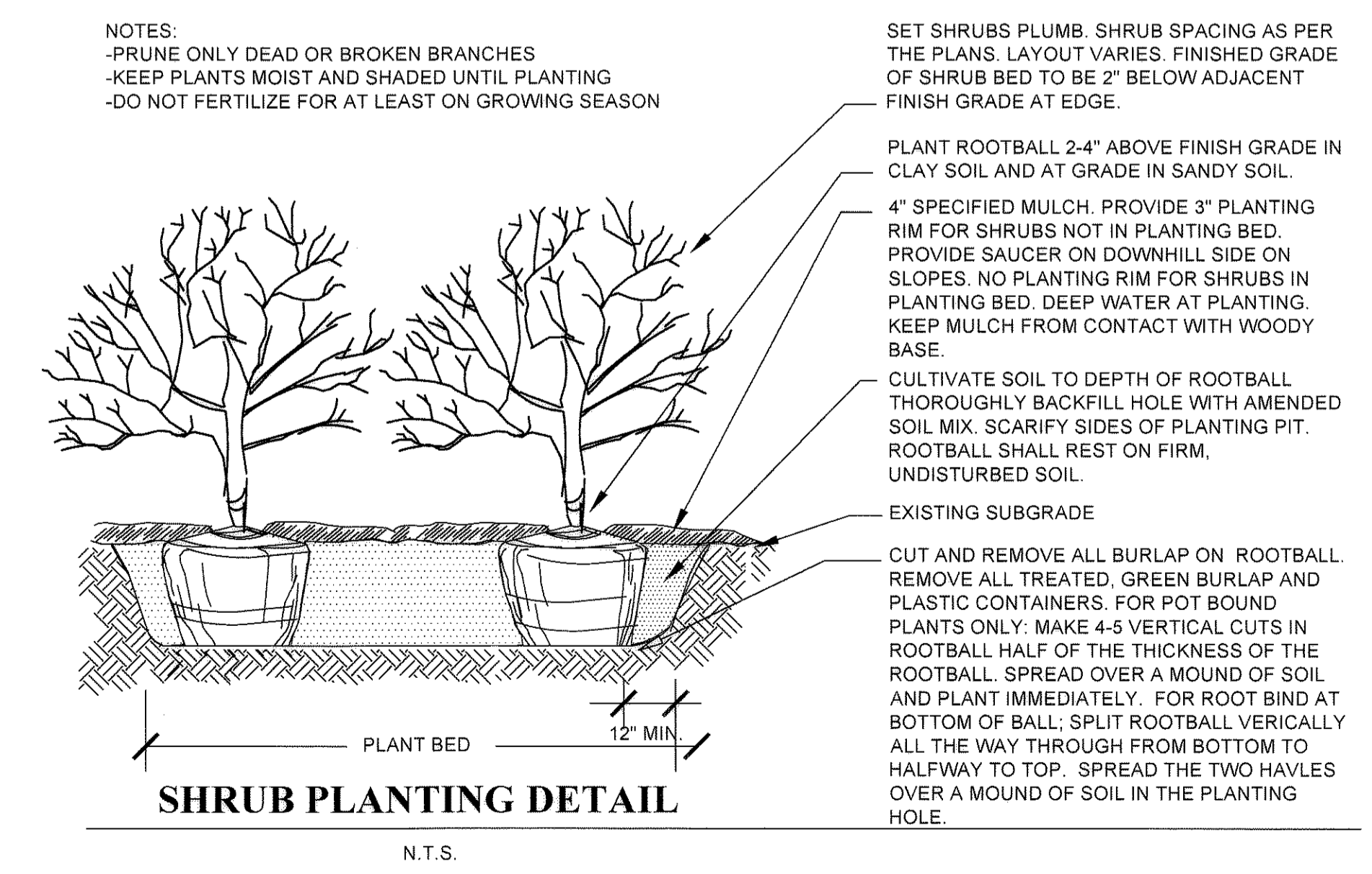
1. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT. CALL BEFORE YOU DIG - 1-800-922-1987.
2. ALL WORK SHALL CONFORM TO TOWN OF CASTLE ROCK CODES.
3. STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TO TURF 4"-14 GAUGE, GALVANIZED STEEL, WITH ROLLED CAP.
4. LANDSCAPE AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS AT A RATE OF 4 CUBIC YARDS/1,000 SQ.FT. OF APPROVED ORGANIC MATERIALS. AMENDMENTS SHOULD BE ROTOTILLED TO A MINIMUM DEPTH OF 6" THE SOIL PREPARATION COMPOSITION SHALL BE CONSISTENT WITH PARAMETERS IDENTIFIED IN THE SOIL ANALYSIS.
5. ALL PLANTING BEDS TO BE MULCHED WITH CEDAR-FIBER MULCH SHALL BE APPLIED AT LEVEL OF ONE CUBIC YARD PER 80 SQUARE FOOT AREA AT A DEPTH OF 4". DEPENDENT ON SPECIFIC APPLICATION WITH GEOTEXTILE FABRIC. WHEN ROCK OR COBBLE MATERIAL IS UTILIZED IN THE LANDSCAPE DESIGN, IT SHALL BE A MINIMUM OF TWO (2) INCHES IN DIAMETER.
6. ALL TREES IN SEEDED AND SOD AREAS SHALL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT A 3'-4" DEPTH AND AT LEAST 3'-4" DIA. NO MULCH WILL BE PLACED AGAINST THE TRUNK OF THE TREE.
7. SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL AND 1/3 ON-SITE SOIL.
8. PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, SUBJECT TO APPROVAL BY THE OWNER.
9. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
10. ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS FOR NUMBER ONE GRADE. CERTAIN SPECIES MAY BE REJECTED DUE TO DISEASE PROBLEMS OR OTHER ISSUES.
11. ALL SOD AND PLANTING BEDS SHALL BE ON SEPARATE ZONES. TURF SHALL BE SPRAY AND ROTORS, NO OVERSPRAY INTO ASPHALT, ROADWAYS. TREES/SHRUBS TO BE DRIP. PERENNIALS SHALL BE IRRIGATED WITH DRIP IRRIGATION IN PLANTING AREAS LESS THAN 10' IN WIDTH.
12. GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES.
13. PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE OWNER'S REPRESENTATIVE.
14. PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING. ALLOW WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL WITHOUT FURTHER PACKING. A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
15. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO TO PREVENT DEHYDRATION. ALL TREE STAKES SHALL BE REMOVED WITHIN ONE YEAR OF INSTALLATION.
16. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
17. SITE SHALL BE RAKED TO WITHIN TWO-TENTHS (2.10) OF A FOOT AND FINISH GRADE ALONG SIDEWALKS AND EDGING TO ENCOURAGE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SIDEWALKS. ROCKS AND DEBRIS SHALL BE REMOVED.
18. A SOIL ANALYSIS SHALL BE CONDUCTED FOR THE PROPERTY BY A PROFESSIONAL SOIL SCIENTIST TO DETERMINE SOIL CONDITIONS. SOIL TESTS WILL BE ANALYZED FOR FERTILIZERS APPROPRIATE FOR XERISCAPE TREES, SHRUBS AND 609 BUFFALO GRASS.
19. THE SOIL PREPARATION COMPOSITION SHALL BE CONSISTENT WITH PARAMETERS IDENTIFIED IN THE SOIL ANALYSIS.
20. MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
21. TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED WITHIN A UTILITY OR DRAINAGE EASEMENT.
22. SEEDED AREAS: ADEQUATE IRRIGATION MUST BE PROVIDED FOR ESTABLISHMENT AND MAINTENANCE, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS AND DEBRIS AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION. NATIVE SHRUBS AND TREES, DUE TO THEIR DROUGHT-TOLERANCE, ARE RECOMMENDED IN THESE AREAS. NATIVE GRASSES SHALL HAVE IRRIGATION SYSTEMS INSTALLED CAPABLE OF PROVIDING HEAD TO HEAD COVERAGE.
23. TEMPORARY IRRIGATION FOR ESTABLISHMENT OF NATIVE VEGETATION MUST BE INSTALLED ABOVE GROUND, AND REMOVED IMMEDIATELY AFTER ESTABLISHMENT IS COMPLETE, OR IN NO CASE, ANY LONGER THAN ONE GROWING SEASON.
24. TURF AREA SHALL BE '609' BUFFALO GRASS.
25. ESTABLISHMENT IRRIGATION MAY REQUIRE AN IRRIGATION EXEMPTION FROM THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN WATER RESTRICTION SCHEDULE AND SHALL BE APPLIED FOR PRIOR TO INSTALLATION OF PLANT MATERIAL.
26. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.



COMMERCIAL LANDSCAPE SITE INVENTORY

Gross Site Area	Landscape Area in Sq. Ft.	Turfgrass List Species (Area in Sq. Ft.)	Nonliving Ornamental (Area in Sq. Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds./1000 Sq. Ft.)	Separate Irrigation Service Connections
Phase I 56,529	17,464 (30%)	'609' Buffalo Grass 3,795 Sq. Ft. Native Seed Mix for PLD 1,485 Sq. Ft.	2,019*	12	12	60	90	60 c.y.	Yes
Parking Lot Paving (Area in Sq. Ft.)	Parking Lot Landscape Area (Sq. Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Island	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
14,718	1,478	20	171	3	8'-0"	6	4**	30	30

* Rock Cobble area along western perimeter proposes (12) Manzanita Broadleaf Evergreen shrubs
** The Northwest parking island prohibits trees because of the transformer location



CASTLE ROCK, COLORADO

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JOB NUMBER:
CS72-0001

SHEET TITLE:
FINAL PD SITE PLAN
LANDSCAPE PLAN

L1.2

IRRIGATION DETAILS

Castle Rock Irrigation System Hydraulic Worksheet

Project Name: US BANK ALBERT & FONDRELLA PKWY
 Preparer by: TOM CARROLL
 Current TOCR Registration #: 4180

Tap Size: 75.00"
 Static Water Pressure: 187 psi

Hydraulic Grade at Zone: 5554
 Company: WATER ENGINEERING, INC.

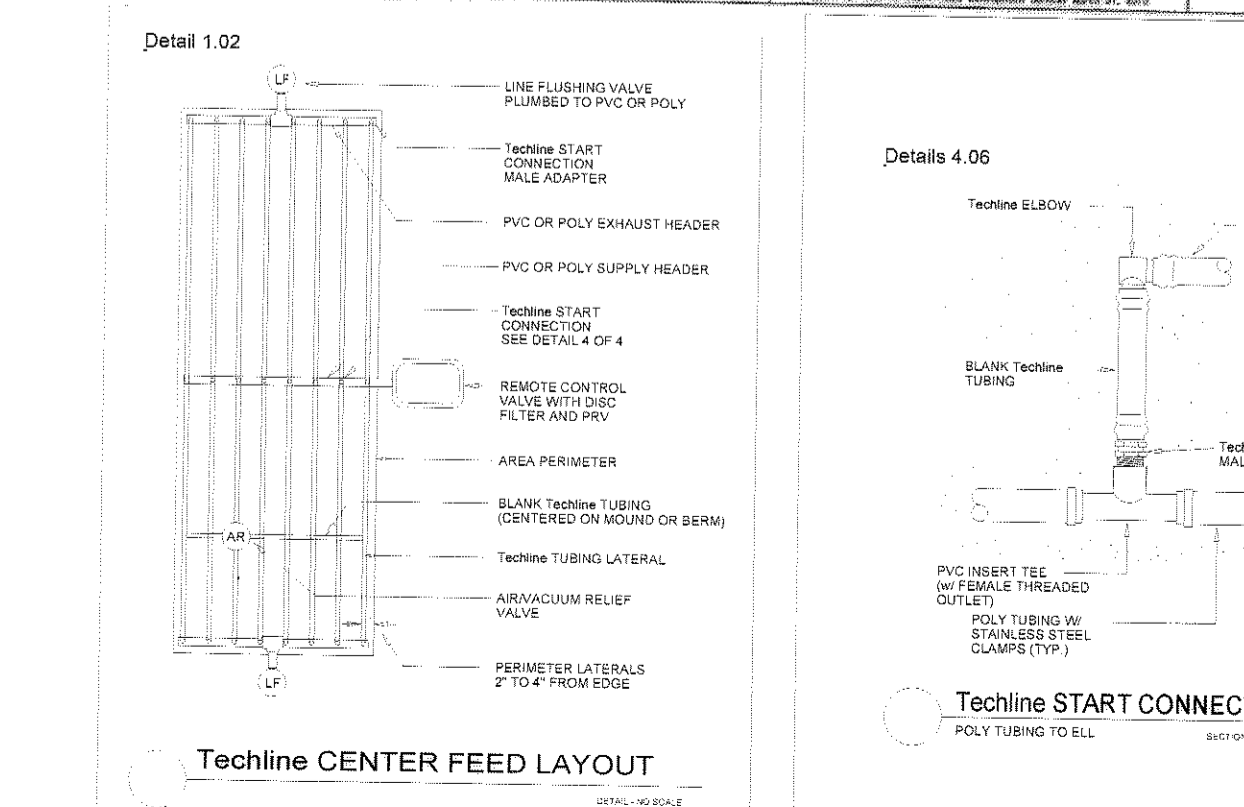
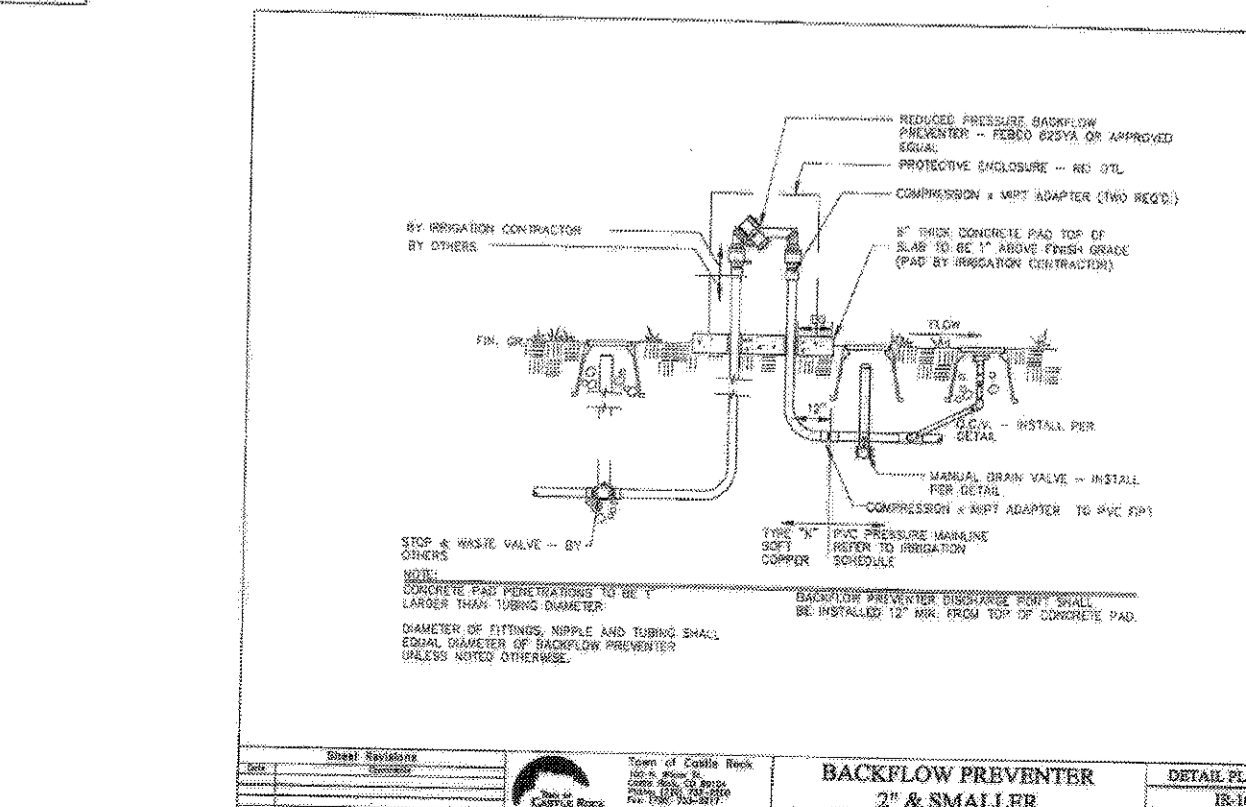
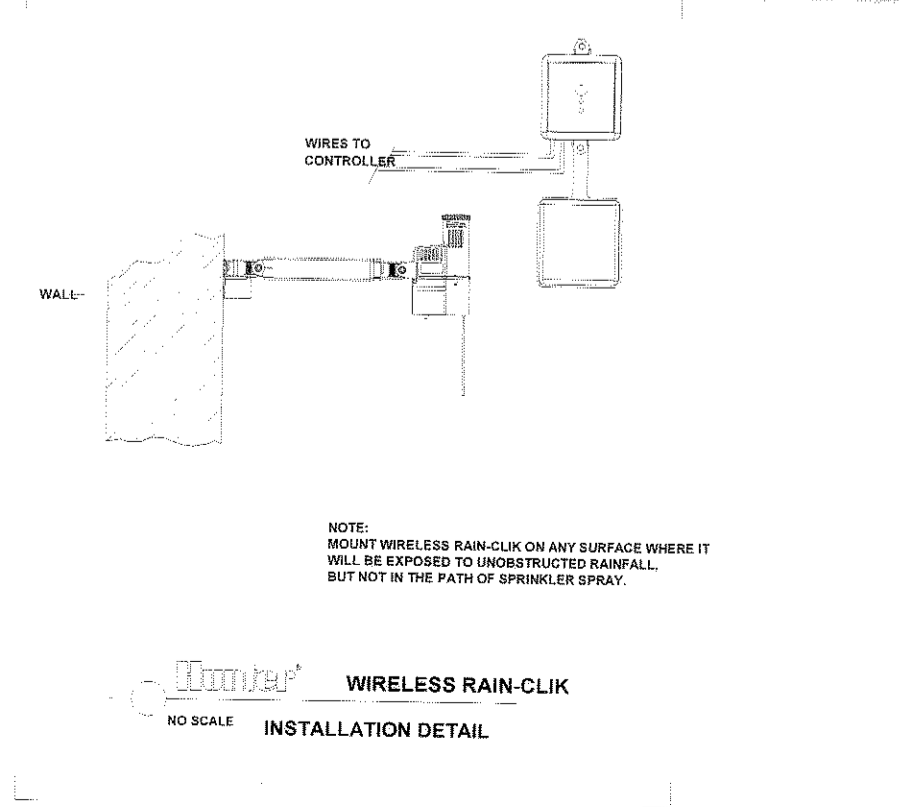
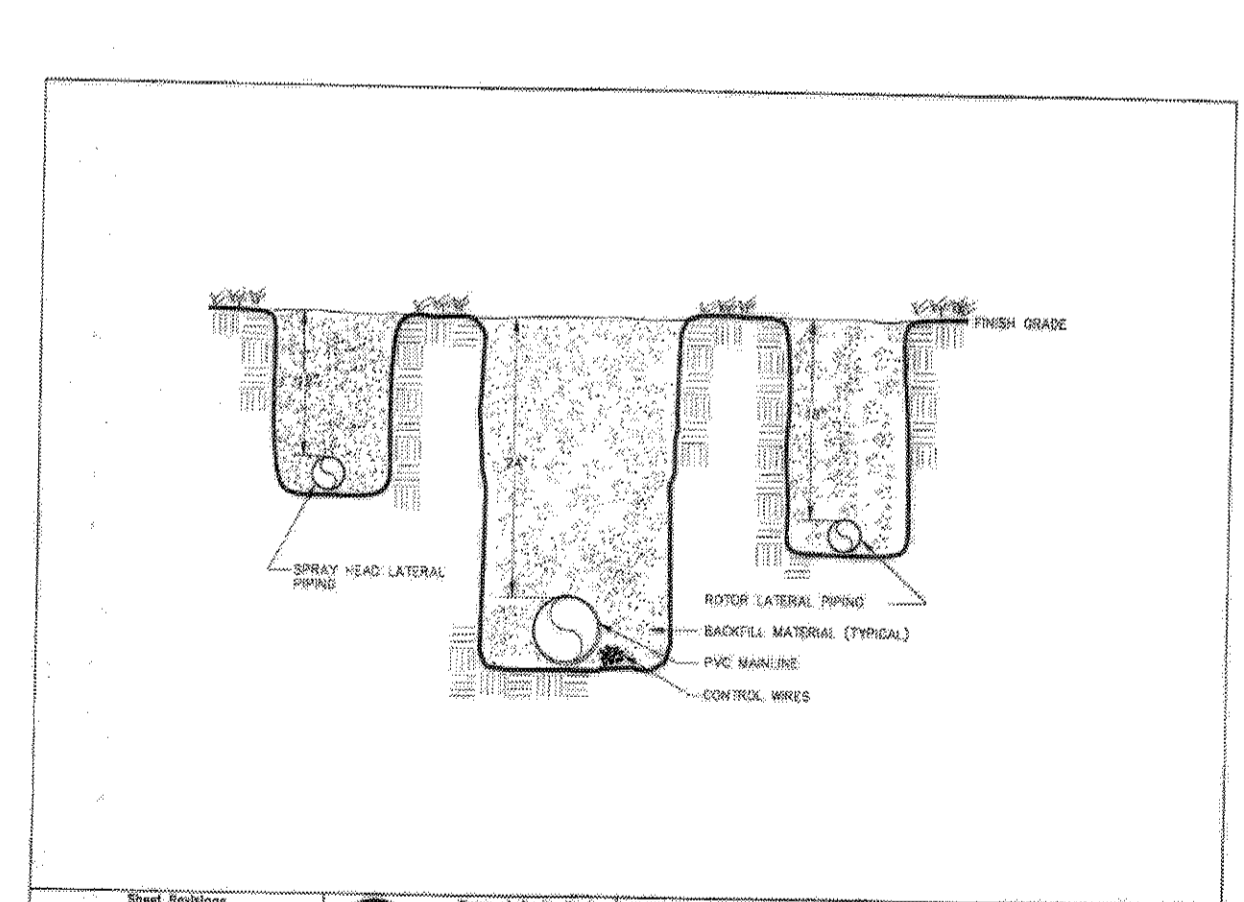
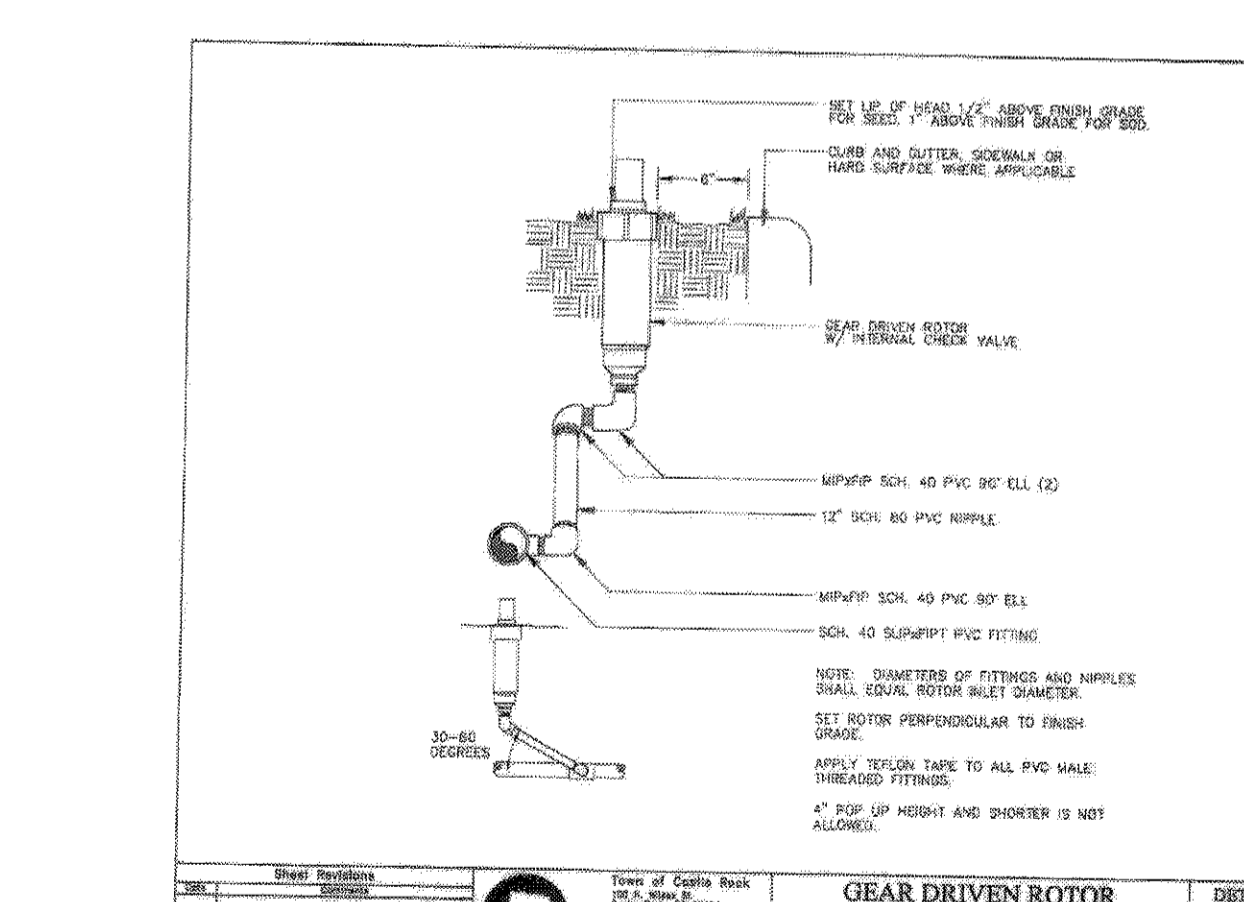
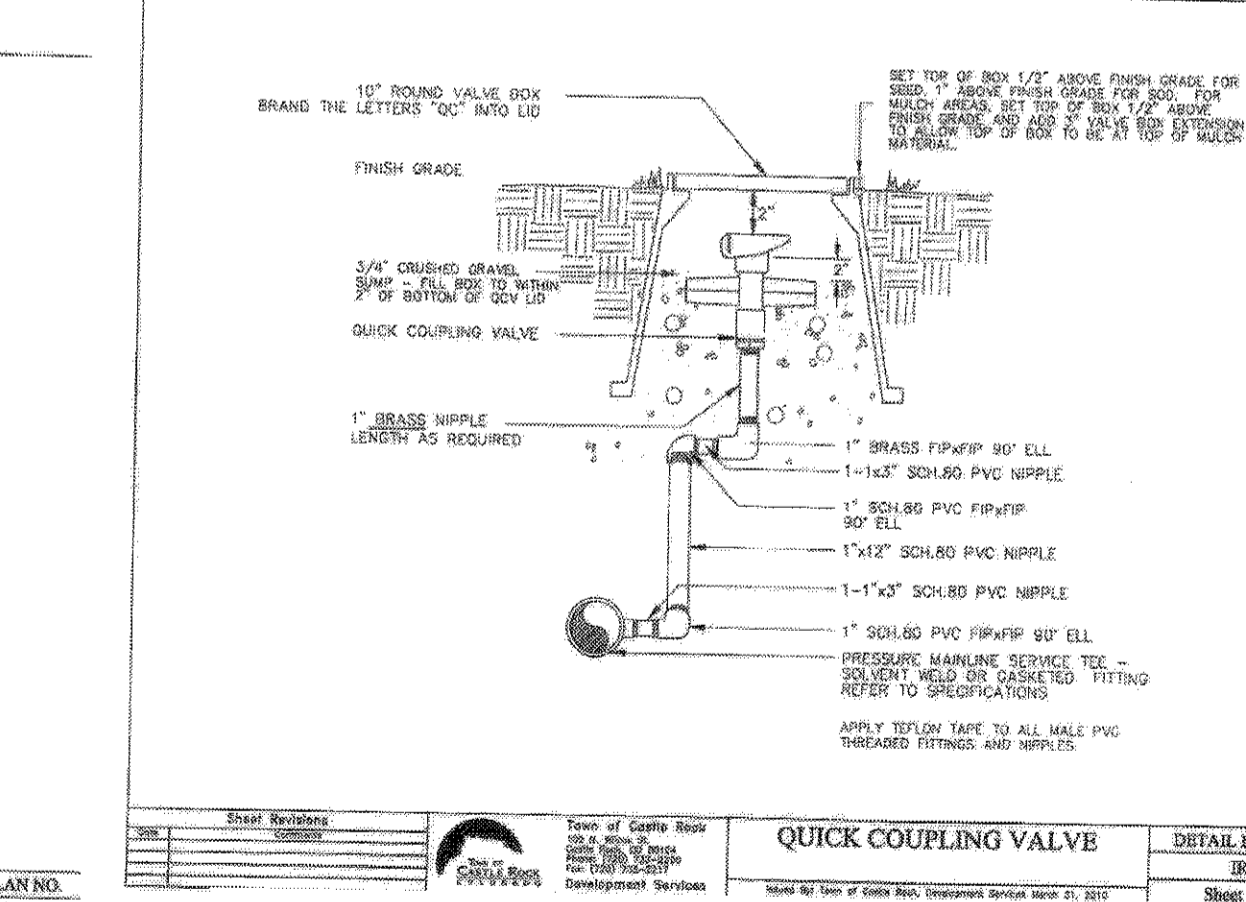
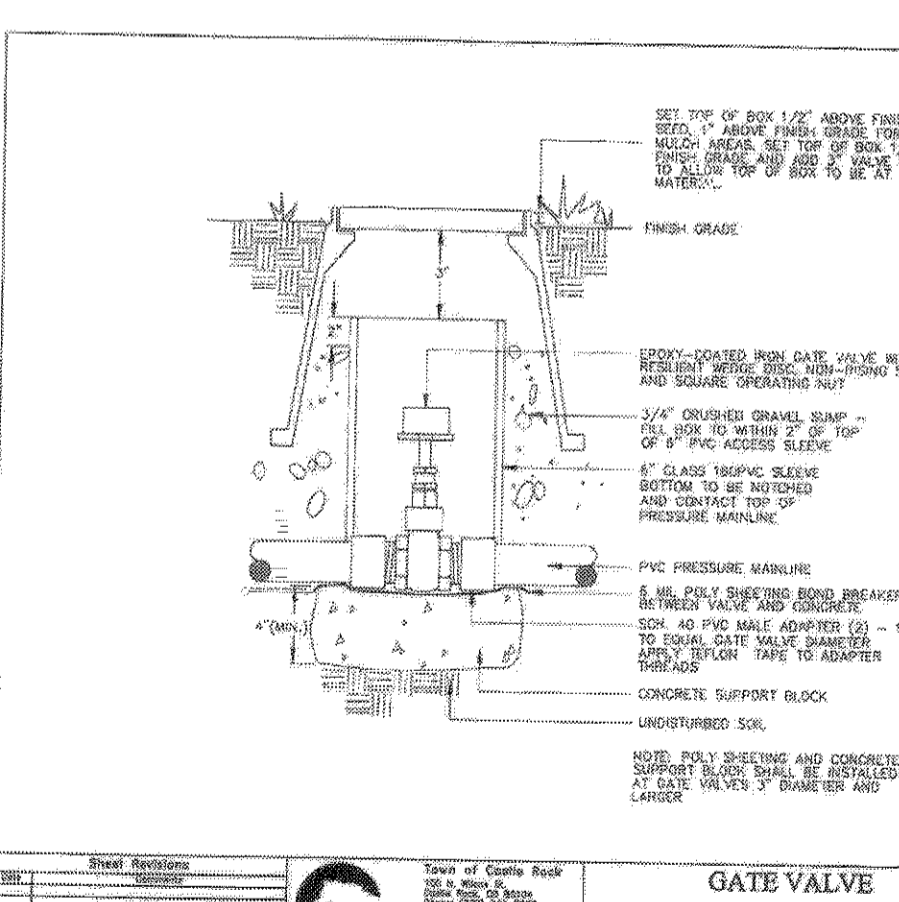
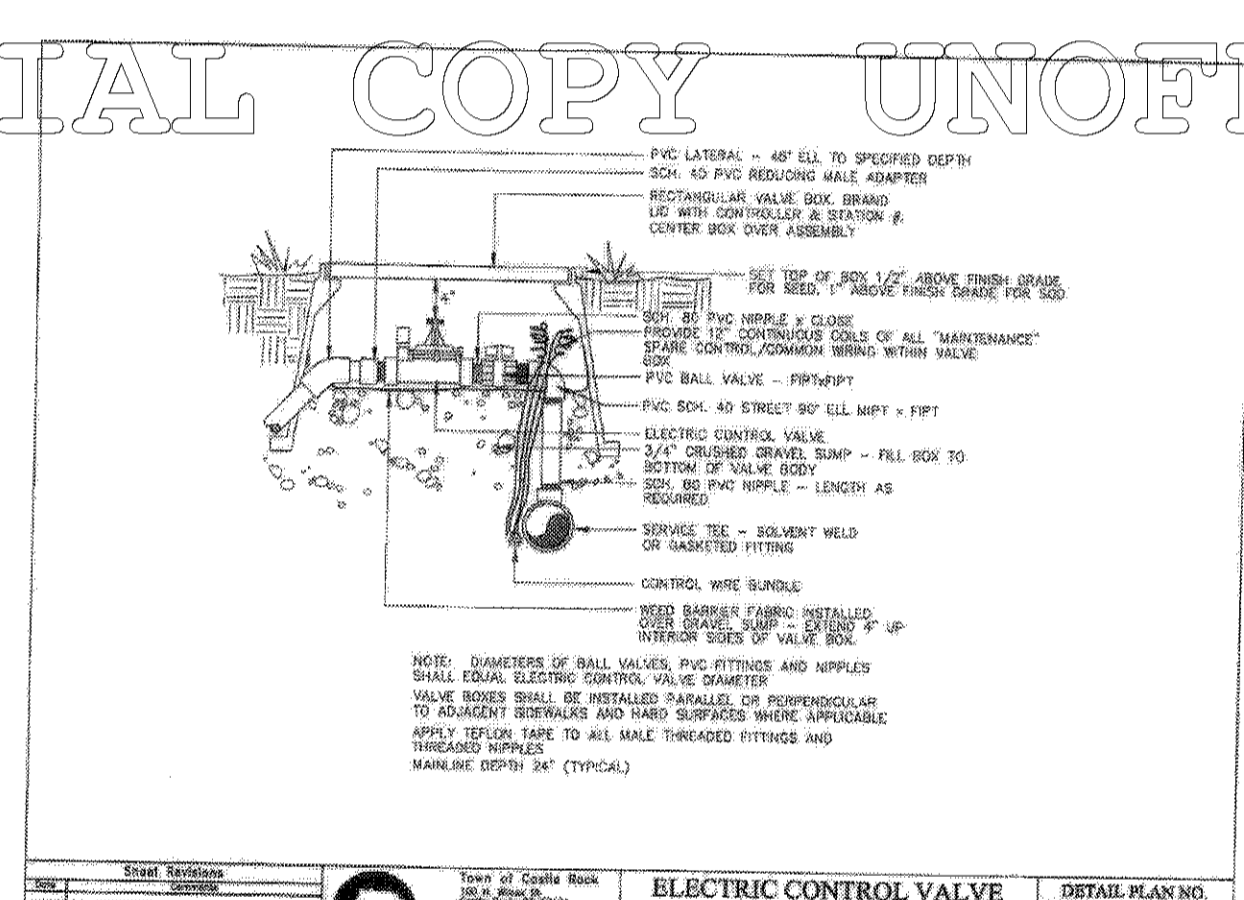
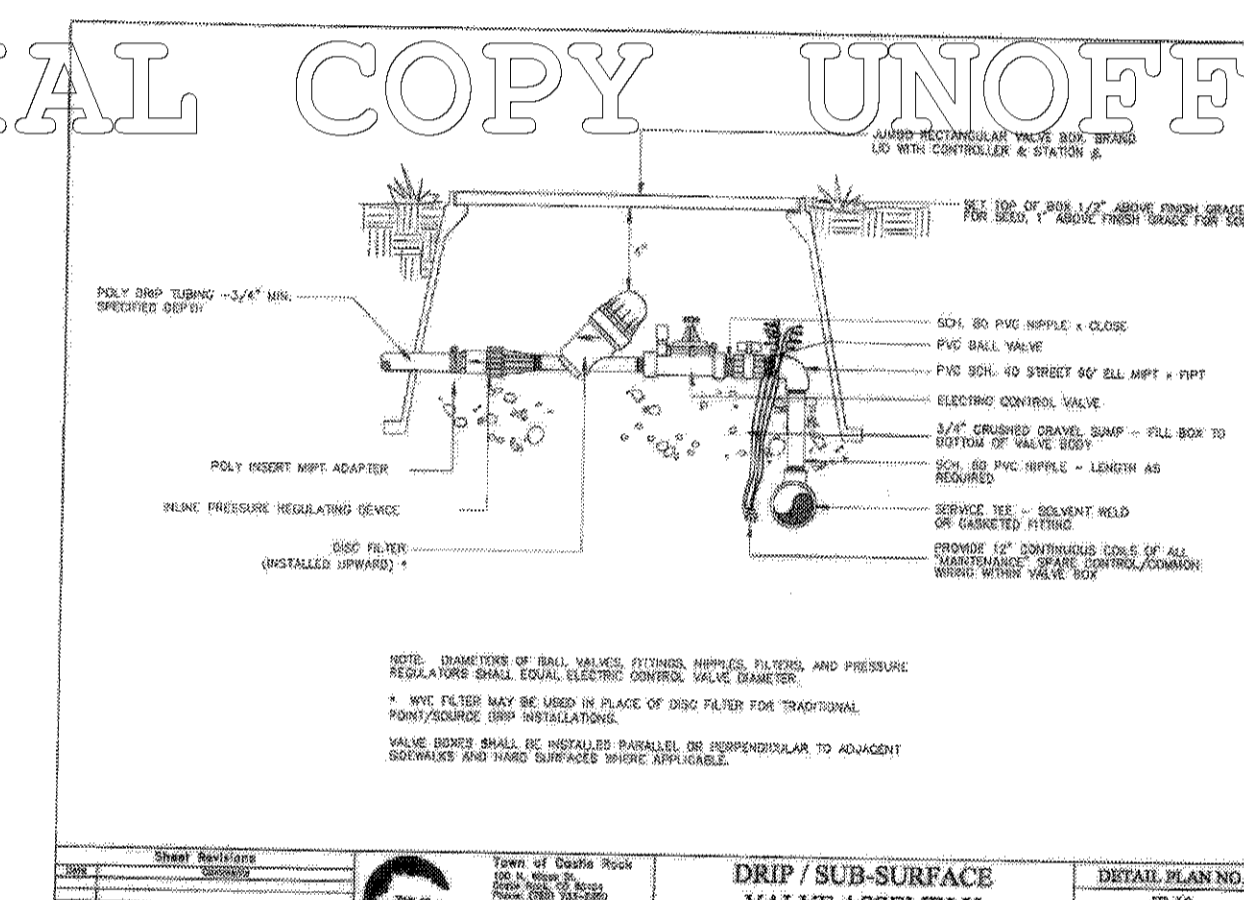
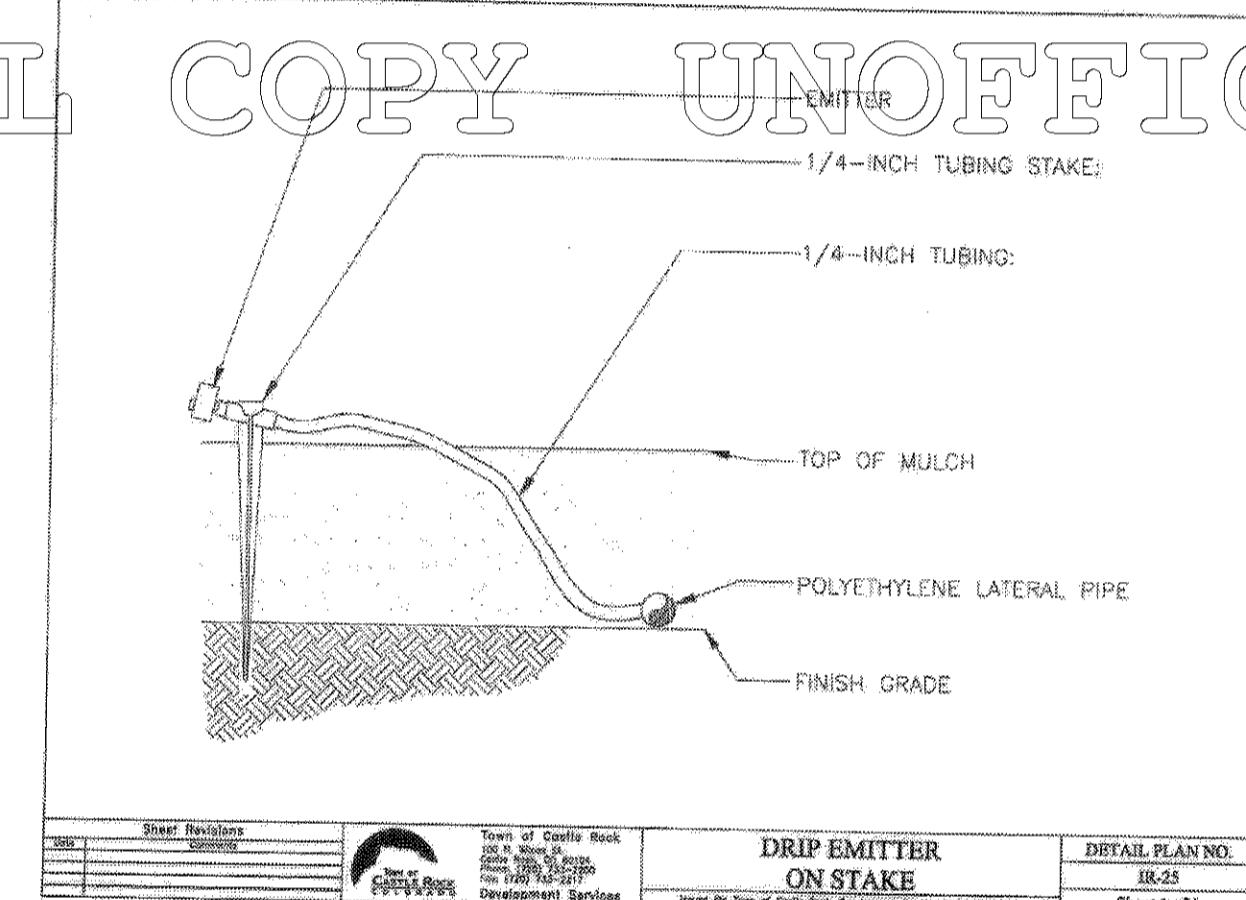
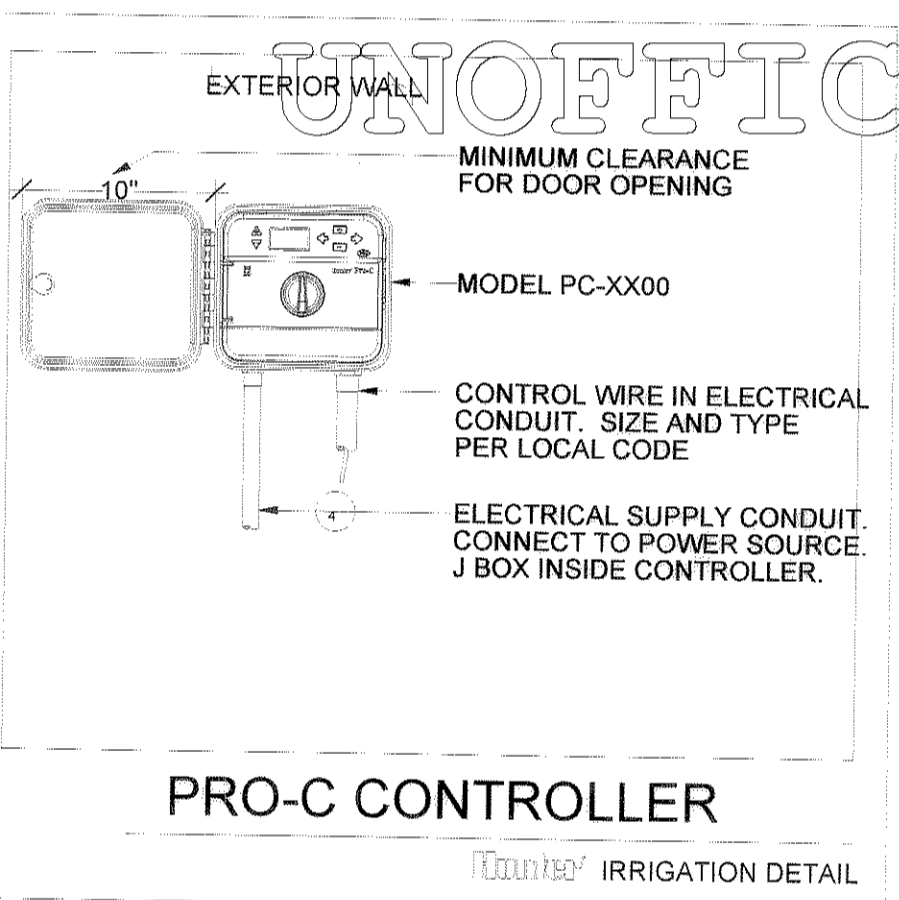
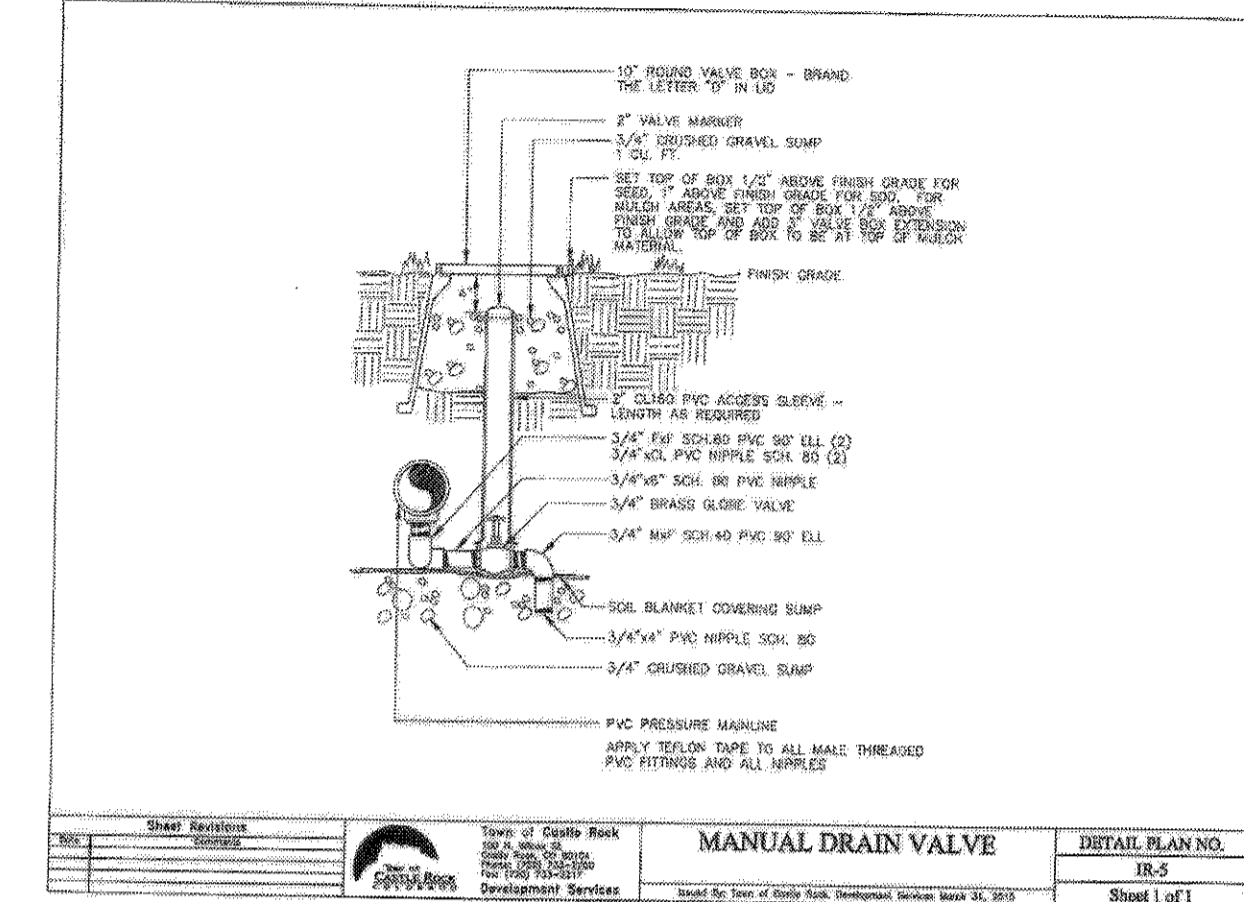
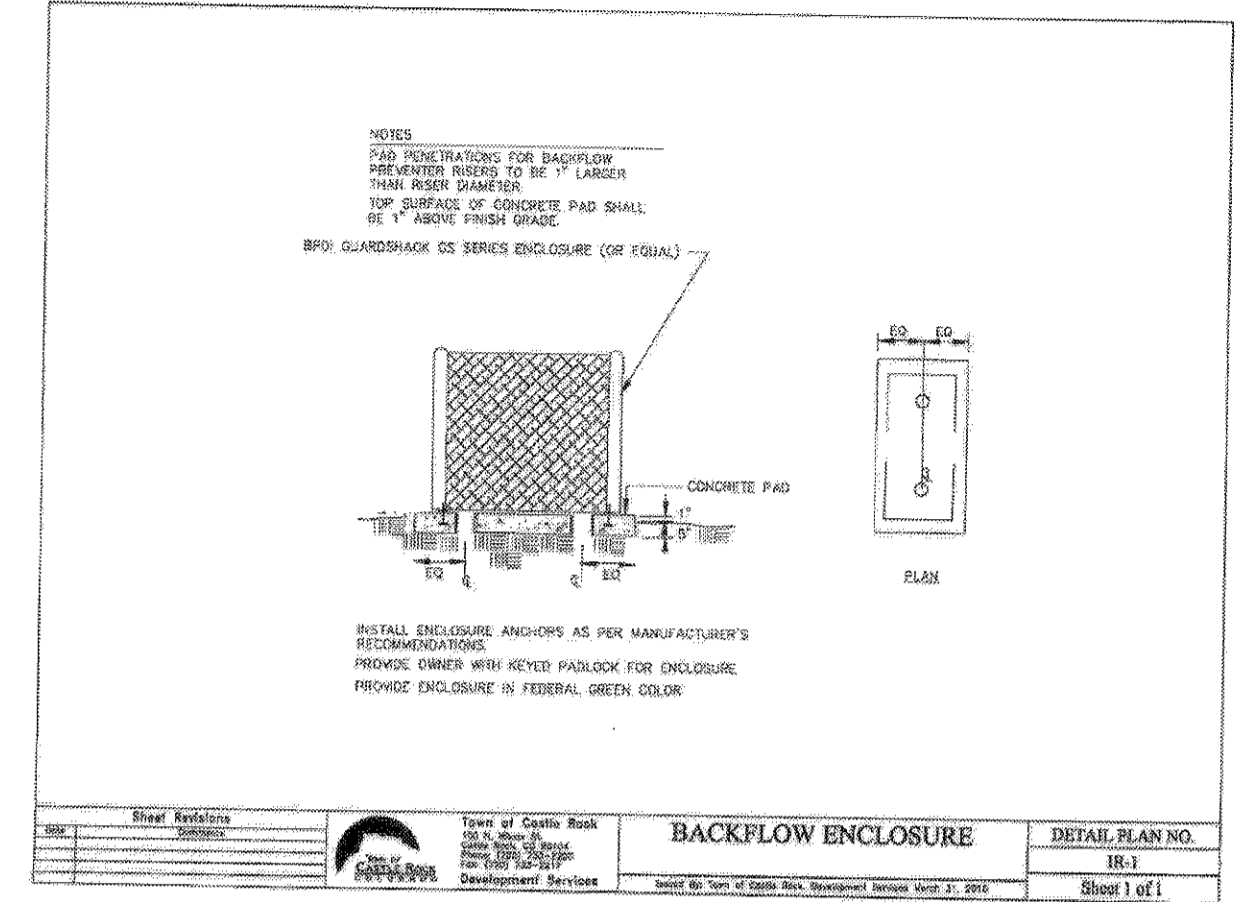
Service Line to which	Zone	Line Size (")	Material	Flow (GPM)	Loss (psi)
Water Meter	1	2.00	K Copper	10.00	0.30
Service Line	1	2.00	K Copper	10.00	0.30
Control Valve	1	2.00	K Copper	10.00	0.30
Mainline	1	2.00	K Copper	10.00	0.30
Submain	1	2.00	K Copper	10.00	0.30
Lateral	1	2.00	K Copper	10.00	0.30

Total System requirements (PSI): 89.39
 Available System Pressure (PSI): 87.00

Castle Rock IRRIGATION CHART

Company Name: WATER ENGINEERING, INC.
 Address: 17897 W. 53RD DR.
 Phone: 303.455.3322 Email: CARROLL@WATERENGINEERING.COM

Zone	Flow (GPM)	Head Type	Head (ft)	App. Rate (in/hr)	OPH (in/hr)	Inches/Month (in)	Run Time (hours)	Run Time (minutes)	Water Usage (gallons)
1	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
2	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
3	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
4	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
5	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
6	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
7	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
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99	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000
100	10.00	LOW	1.00	0.50	0.50	1.50	2.00	120	2000

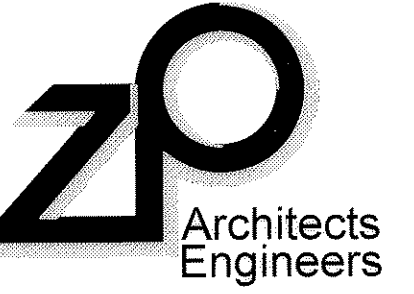


FINAL PD SITE PLAN

LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT

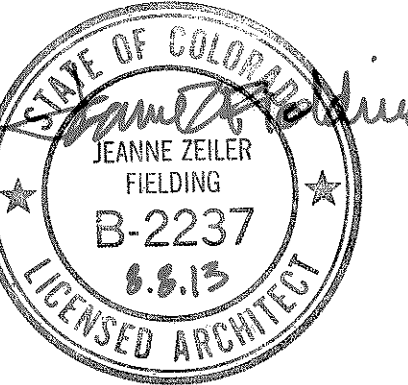
LOCATED IN THE SOUTH HALF, SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

BUILDING ELEVATIONS



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CASTLE ROCK, COLORADO

US BANK
CASTLE ROCK BRANCH

852 MALETA LANE

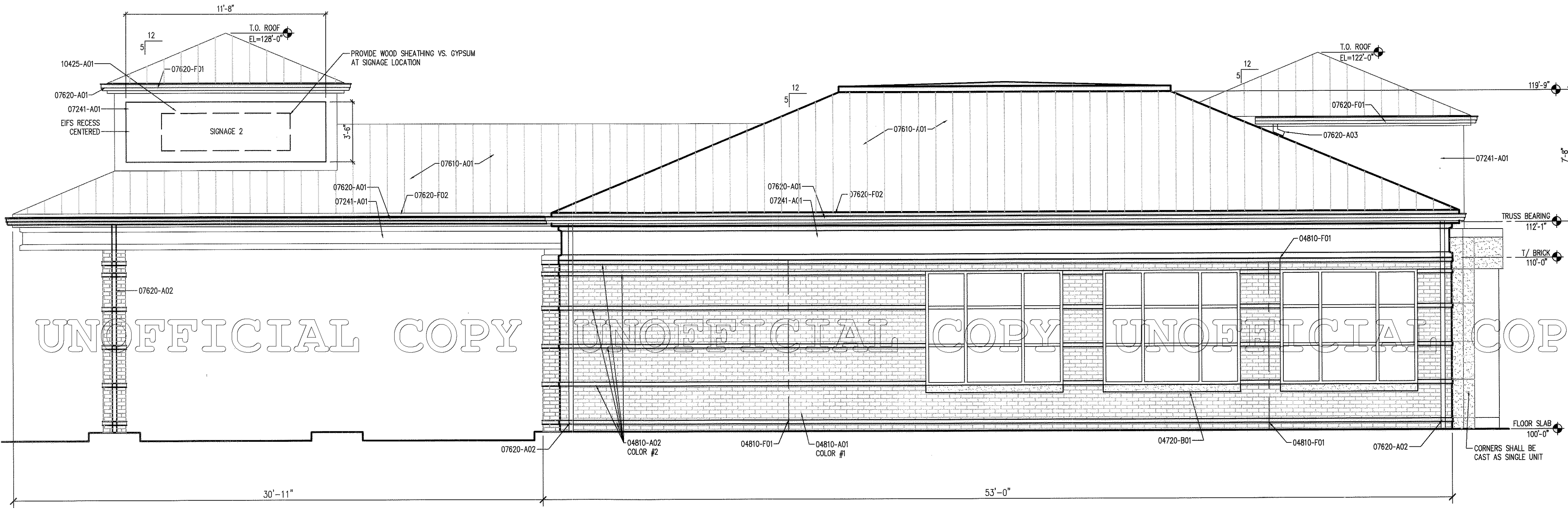
ISSUE:
FINAL PD SITE PLAN 2 3-8-13
100% CONST. DOC. REVIEW
5-29-13
SUBMITTAL 4 6-20-13

JOB NUMBER:
Z10-165
SHEET TITLE:
EXTERIOR ELEVATIONS

A2.1

LOT 4-C METZLER RANCH FILING NO. 3
2ND AMENDMENT
SHEET 10 OF 13

FPD11-0002



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL SCHEDULE

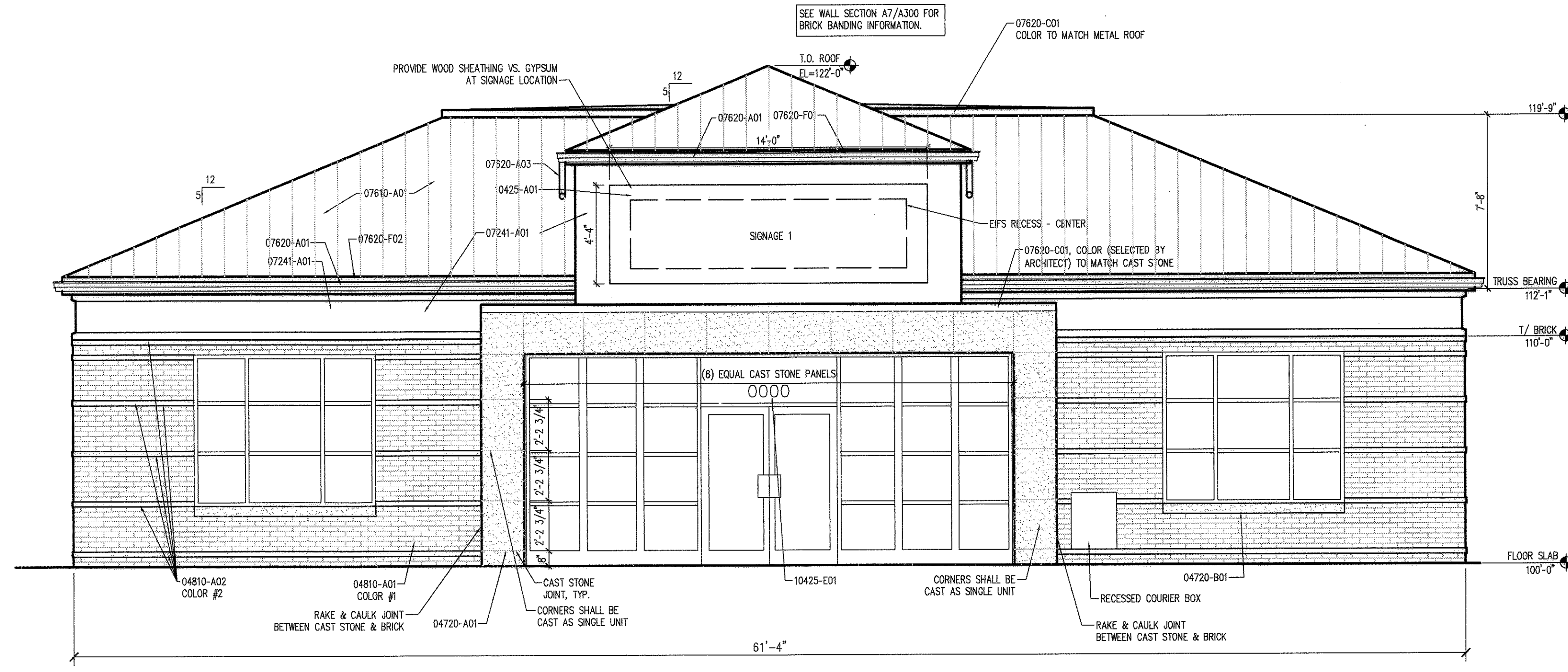
- 04720 CAST STONE
- 04720-A01 3 INCH THICK CAST STONE VENEER WITH TWO STAINLESS STEEL WALL ANCHORS PER PANEL (TOP AND BOTTOM) FASTENED TO STUDS. ANCHORS TO BE GROUTED INTO 3/4 INCH DEEP CONTINUOUS ANCHOR SLOTS IN TOP AND BOTTOM OF STONE PANEL.
- 04720-B01 CAST STONE SILL PROVIDED IN TWO EQUAL LENGTHS. RAKE AND CAULK HEAD AND SKYWARD JOINTS.
- 04810 UNIT MASONRY
- 04810-A01 4 INCH BRICK VENEER. PROVIDE WALL TIES AT 16 INCHES VERTICALLY AND 24 INCHES HORIZONTALLY.
- 04810-A02 ONE COURSE BRICK BAND PULLED 1/2 INCH
- 04810-F01 3/8" WIDE EXPANSION JOINT WITH BACKER ROD AND SEALANT.
- 07241 EXTERIOR INSULATION AND FINISHING SYSTEM - DRYVIT "OUTSULATION PLUS MD" OR EQUAL.
- 07241-A01 EXTERIOR INSULATION AND FINISHING SYSTEM
- 07610 METAL ROOF
- 07610-A01 STANDING SEAM METAL ROOF OVER 30# ROOFING UNDERLAYMENT. PROVIDE SNOW GUARDS AROUND FULL PERIMETER OF ROOF (INCLUDING DORMERS) STARTING 1'-0" UP FROM EAVE LINE.
- 07620 SHEET METAL FLASHING AND TRIM
- 07620-A01 PREFINISHED METAL SEAMLESS GUTTER (5" OEGE PROFILE) WITH SUPPORT STRAPS AT 24 INCHES O.C.
- 07620-A02 PREFINISHED METAL DOWNSPOUT. TIE INTO STORMWATER DRAINAGE SYSTEM. LEADER PIPE SHALL NOT EXTEND MORE THAN 4" ABOVE FINISHED GRADE. PROVIDE ADAPTER TO TRANSITION FROM DOWNSPOUT TO LEADER. DOWNSPOUT TO BE 3"x4" PLAIN RECTANGULAR.
- 07620-A03 PREFINISHED METAL DOWNSPOUT. DISCHARGE TO MAIN ROOF.
- 07620-C01 PREFINISHED METAL FLASHING
- 07620-F01 PREFINISHED .024" METAL CLADDING OVER 1X8, COLOR SELECTED BY ARCHITECT.
- 07620-F02 PREFINISHED .024" METAL CLADDING OVER 1X10, COLOR SELECTED BY ARCHITECT.
- 10425 SIGNS
- 10425-A01 SIGNAGE BY OWNER'S SIGNAGE VENDOR. GENERAL CONTRACTOR TO PROVIDE (2) JUNCTION BOXES IN CABLE AND ELECTRICAL CONNECTION. SEE DRAWINGS FOR SIZE.
- 10425-E01 G.C. SHALL PROVIDE FORWARD CUT REFLECTIVE 3M VINYL ADDRESS NUMBERS - MINIMUM 6 INCHES HIGH.

SIGNAGE

QUANTITY	LOCATION	SIZE	SQUARE FEET
1	MAIN ENTRANCE SIGN: BOX SIGN	4'-4" x 14'-0"	60.6 SF
2	DRIVE UP SIGN: BOX SIGN	3'-6" x 11'-8"	40.8 SF
3	DRIVE UP SIGN: BOX SIGN	3'-6" x 11'-8"	40.8 SF
4	DRIVE UP SIGN: BOX SIGN	3'-6" x 11'-8"	40.8 SF
5	MONUMENT SIGN:	4'-0" x 9'-1"	36.4 SF
6	ATM SIGN:	1'-0" x 3'-3"	3.25 SF

COLOR SCHEDULE

- ALL MATERIAL SPECIFICATIONS TO MATCH ROBINSON RANCH SUBDIVISION MATERIAL STANDARD, BUILDING 1 LOT 3.
- 04720: CAST STONE; COLOR TO MATCH LIMESTONE LOOK.
 - 04810: MASONRY; COLOR 1 4" BRICK VENEER MODULAR. BELDEN BRICK CO. COLOR: NUTMEG FULL RANGE ACCENT BRICK: COLOR 2, 1/2" OFFSET COLOR: SIENNA
 - 07241: EXTERIOR INSULATION AND FINISH SYSTEM: DRYVIT 108 MANDOR WHITE
 - 07610: STANDING SEAM METAL ROOFING: BERRIGE, SIENNA TAN OR EQUAL SRI 29 MIN.
 - 07620: SHEET METAL: GUTTERS, DOWNSPOUTS, FLASHING & TRIM TO MATCH BUILDING COLORS.
 - 08410: ALUMINUM ENRANCES & STORE FRONTS: COLOR: CLEAR ANODIZED STOREFRONT SYST. GLAZING: LOW E. COLOR: CLEAR ANODIZED STOREFRONT SYST.



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

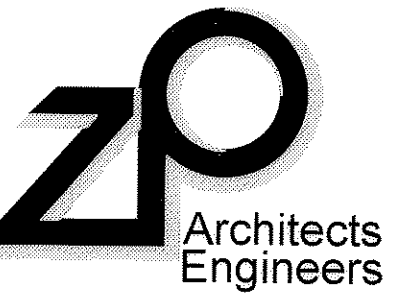
BRAWING	SCALE	SIZE	SCALE	SIZE	SCALE
		24x36		24x36	
		1"=0"=1'-0"		1"=0"=1'-0"	

FINAL PD SITE PLAN

LOT 4-C METZLER RANCH FILING NO. 3 2ND AMENDMENT

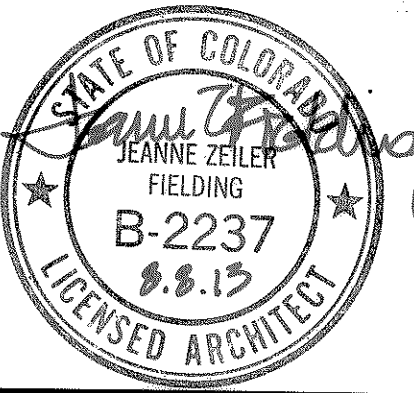
LOCATED IN THE SOUTH HALF, SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PM
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

BUILDING ELEVATIONS



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MATERIAL SCHEDULE

- 04720 CAST STONE
- 04720-A01 3 INCH THICK CAST STONE VENEER WITH TWO STAINLESS STEEL WALL ANCHORS PER PANEL (TOP AND BOTTOM) FASTENED TO STUDS. ANCHORS TO BE GROUDED INTO 3/4 INCH DEEP CONTINUOUS ANCHOR SLOTS IN TOP AND BOTTOM OF STONE PANEL.
- 04720-B01 CAST STONE SILL PROVIDED IN TWO EQUAL LENGTHS. RAKE AND CAULK HEAD AND SKYWARD JOINTS.
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- 04810-A01 4 INCH BRICK VENEER. PROVIDE WALL TIES AT 16 INCHES VERTICALLY AND 24 INCHES HORIZONTALLY
- 04810-A02 ONE COURSE BRICK BAND PULLED 1/2 INCH
- 04810-F01 3/8" WIDE EXPANSION JOINT WITH BACKER ROD AND SEALANT.
- 07241 EXTERIOR INSULATION AND FINISHING SYSTEM
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- 10425 SIGNS
- 10425-A01 SIGNAGE BY OWNER'S SIGNAGE VENDOR. GENERAL CONTRACTOR TO PROVIDE (2) JUNCTION BOXES IN GABLE AND ELECTRICAL CONNECTION. SEE DRAWINGS FOR SIZE.
- 10425-E01 G.C. SHALL PROVIDE FORWARD CUT REFLECTIVE 3M VINYL ADDRESS NUMBERS - MINIMUM 6 INCHES HIGH.

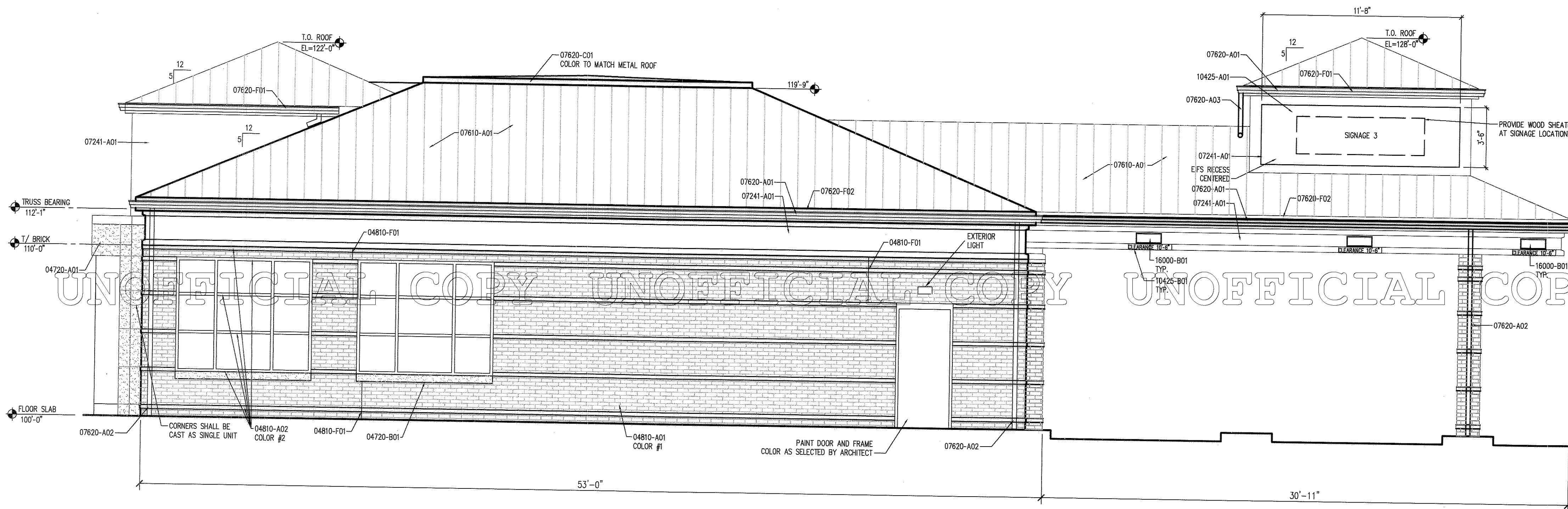
SIGNAGE

QUANTITY	LOCATION	SIZE	SQUARE FEET
1	MAIN ENTRANCE SIGN: BOX SIGN	4'-4" x 14'-0"	60.6 SF
2	DRIVE UP SIGN: BOX SIGN	3'-6" x 11'-8"	40.8 SF
3	DRIVE UP SIGN: BOX SIGN	3'-6" x 11'-8"	40.8 SF
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5	MONUMENT SIGN:	4'-0" x 9'-1"	36.4 SF
6	ATM SIGN:	1'-0" x 3'-3"	3.25 SF

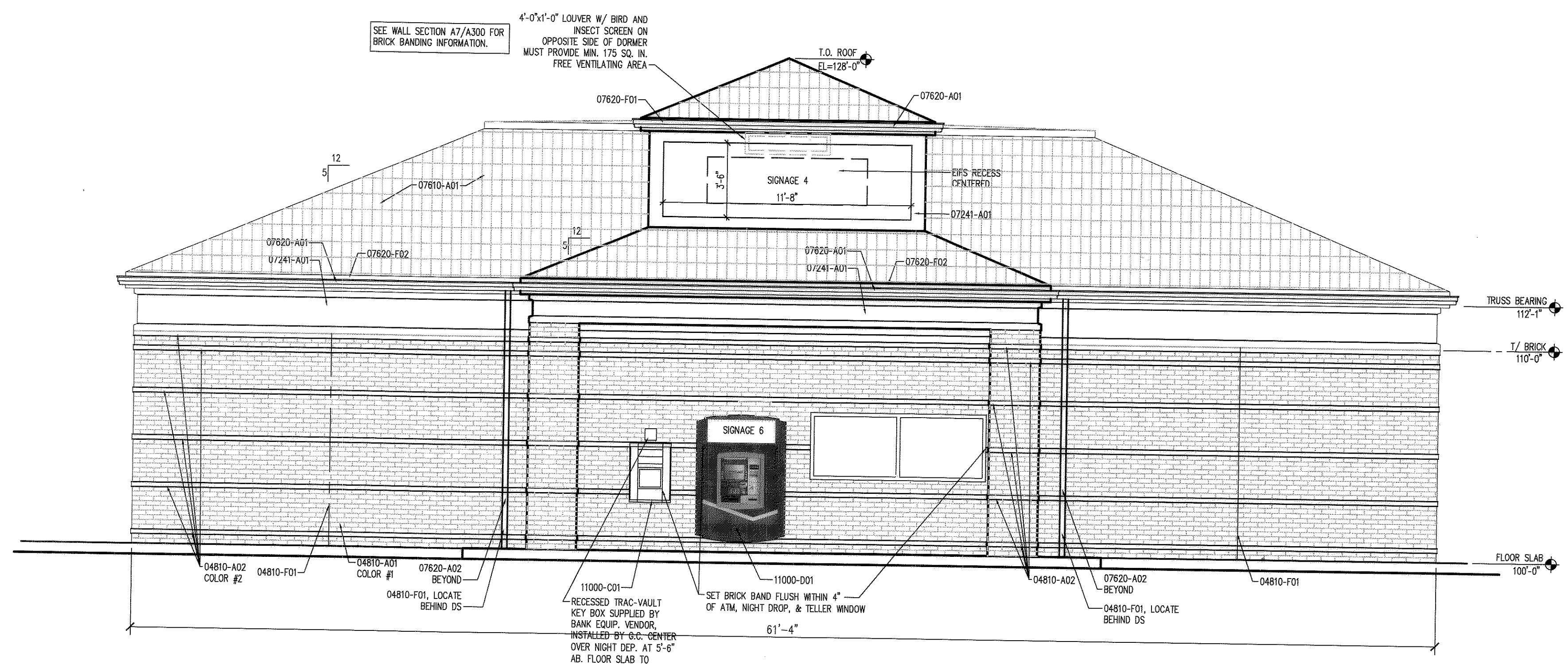
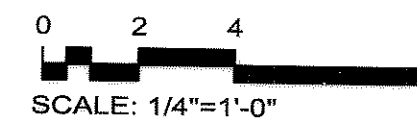
COLOR SCHEDULE

ALL MATERIAL SPECIFICATIONS TO MATCH ROBINSON RANCH SUBDIVISION MATERIAL STANDARD, BUILDING 1 LOT 3.

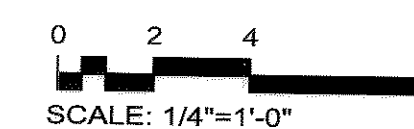
- 04720: CAST STONE:
COLOR TO MATCH LIMESTONE LOOK.
- 04810: MASONRY: COLOR 1
4" BRICK VENEER MODULAR. BELDEN BRICK CO.
COLOR: NUTMEG FULL RANGE
ACCENT BRICK: COLOR 2, 1/2" OFFSET
COLOR: SIENNA
- 07241: EXTERIOR INSULATION AND FINISH SYSTEM:
DRYVIT 108 MANOR WHITE
- 07610: STANDING SEAM METAL ROOFING:
BERRIGE, SIENNA TAN OR EQUAL SRI 29 MIN.
- 07620: SHEET METAL:
GUTTERS, DOWNSPOUTS, FLASHING & TRIM TO MATCH BUILDING COLORS.
- 08410: ALUMINUM ENTRANCES & STORE FRONTS:
COLOR: CLEAR ANODIZED STOREFRONT SYST.
GLAZING: LOW E
COLOR: CLEAR ANODIZED STOREFRONT SYST.



1 NORTH ELEVATION
A2.2
1/4"=1'-0"



2 WEST ELEVATION
A2.2
1/4"=1'-0"

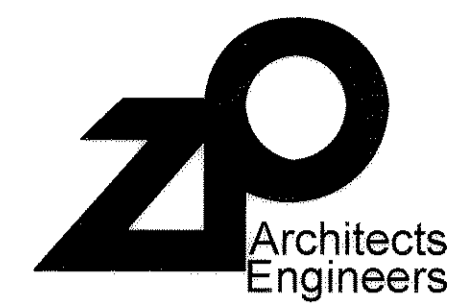


DRAWING	SCALE	SIZE	DRAWING	SCALE	SIZE
	1'-0"=1'-0"	24x36		1'-0"=1'-0"	24x36

US BANK
 CASTLE ROCK BRANCH
 852 MALETA LANE
 CASTLE ROCK, COLORADO

ISSUE:
FINAL PD SITE PLAN 2 3-8-13
100% CONST. DOC. REVIEW 5-29-13
SUBMITTAL 4 6-20-13

JOB NUMBER:
Z10-165
SHEET TITLE:
EXTERIOR ELEVATIONS



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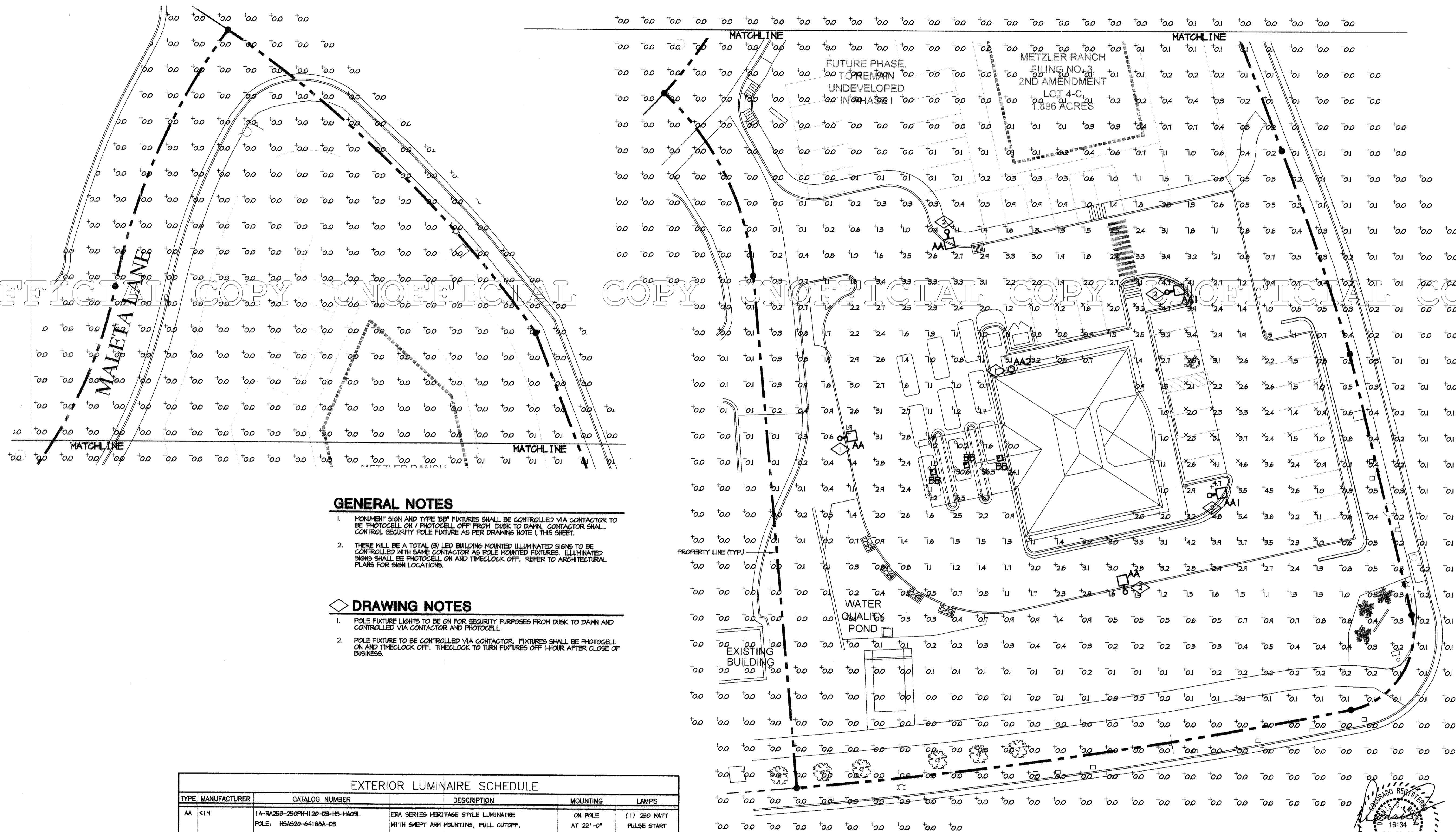
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CASTLE ROCK, COLORADO

US BANK
CASTLE ROCK BRANCH

825 MALETA LANE



GENERAL NOTES

- MONUMENT SIGN AND TYPE 'BB' FIXTURES SHALL BE CONTROLLED VIA CONTACTOR TO BE PHOTOCELL ON / PHOTOCELL OFF FROM DUSK TO DAWN. CONTACTOR SHALL CONTROL SECURITY POLE FIXTURE AS PER DRAWING NOTE I, THIS SHEET.
- THERE WILL BE A TOTAL (9) LED BUILDING MOUNTED ILLUMINATED SIGNS TO BE CONTROLLED WITH SAME CONTACTOR AS POLE MOUNTED FIXTURES. ILLUMINATED SIGNS SHALL BE PHOTOCELL ON AND TIMELOCK OFF. REFER TO ARCHITECTURAL PLANS FOR SIGN LOCATIONS.

DRAWING NOTES

- POLE FIXTURE LIGHTS TO BE ON FOR SECURITY PURPOSES FROM DUSK TO DAWN AND CONTROLLED VIA CONTACTOR AND PHOTOCELL.
- POLE FIXTURE TO BE CONTROLLED VIA CONTACTOR. FIXTURES SHALL BE PHOTOCELL ON AND TIMELOCK OFF. TIMELOCK TO TURN FIXTURES OFF 1-HOUR AFTER CLOSE OF BUSINESS.

EXTERIOR LUMINAIRE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	LAMPS
AA	KIM	1A-RA253-250PMH120-DB-HS-HA08L POLE: HSAS20-64180A-DB	ERA SERIES HERITAGE STYLE LUMINAIRE WITH SHEET ARM MOUNTING, FULL GUTOFF, TYPE III DISTRIBUTION, HOUSE SIDE SHIELD DARK BRONZE FINISH	ON POLE AT 22'-0" A.F. 6. TO BOTTOM OF LUMINAIRE	(1) 250 WATT PULSE START METAL HALIDE CLEAR (29,000 LUMENS)
AA1	KIM	1A-RA253-250PMH120-DB-HA08L POLE: HSAS20-64180A-DB	ERA SERIES HERITAGE STYLE LUMINAIRE WITH SHEET ARM MOUNTING, FULL GUTOFF, TYPE III DISTRIBUTION, DARK BRONZE FINISH	ON POLE AT 22'-0" A.F. 6. TO BOTTOM OF LUMINAIRE	(1) 250 WATT PULSE START METAL HALIDE CLEAR (29,000 LUMENS)
AA2	HUBBELL	65PC-42PB-BZ	WALL MOUNTED FLUORESCENT SCANCE, FULL GUTOFF WITH BRONZE FINISH	ON WALL AT 9'-0" A.F. 6.	(1) 42 WATT CFL (3200 LUMENS)
BB	LSI	GR28-S-LED-64-450-CN-UE	RECESSED UNDER CANOPY FIXTURE SYMMETRIC, FULL GUTOFF DISTRIBUTION, WHITE FINISH 'CROSSOVER' FIXTURE	RECESSED IN CANOPY	(1) 99W LED (8616 LUMENS)

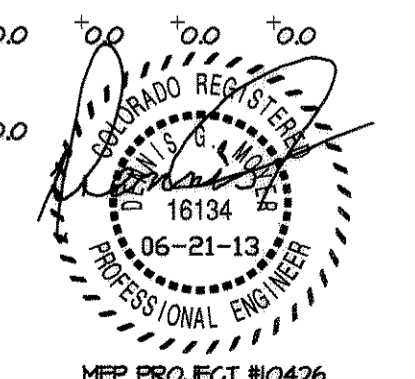
NOTE: ALL LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE REDUCED BY 50% ONE HOUR AFTER CLOSE OF BUSINESS.



SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

PHOTOMETRIC STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX	MIN	MAX./MIN.	AVG./MIN.
PARKING AREA	*	2.9 fc	4.7 fc	0.6 fc	7.8:1	3.0:1
UNDER CANOPY	+	12.3 fc	36.5 fc	0.0 fc	N/A	N/A
ENTIRE SITE (N/O CANOPY)	+	0.3 fc	5.5 fc	0.0 fc	N/A	N/A

LIGHT LOSS FACTOR = 1.00
REFER TO SYMBOL LEGEND TO IDENTIFY WHAT AREAS ARE ASSOCIATED WITH EACH CALCULATION.



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SITE PHOTOMETRIC PLAN

SP0.1
SHEET 12 OF 13

