

OFFICIAL RECORDS
DOUGLAS COUNTY CO
CAROLE R. MURRAY
CLERK & RECORDER
RECORDING FEE: \$111.00
12 PGS



2004073176
07/14/2004 03:52 PM

2004073176 12 PGS

PLAT IDENTIFICATION SHEET

✓ Trail Boss Investors, LLC

GRANTOR(owner)

Lot 2F, Metzler Ranch Filing No. 3, 1st Amendment Final PD Site
Plan

UNOFFICIAL COPY

GRANTEE(name of plat)

Metzler Ranch

Subdivision/Condo Name

3

Filing
2F

Phase

Lot

Building

Block

Unit

✓ 26

7

67

OLD LEGAL(Section)

(Township)

(Range)

FINAL PD SITE PLAN

LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

TITLE SHEET

SURVEYOR'S STATEMENT

I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE FINAL PD SITE PLAN OF LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger 7/7/04
PROFESSIONAL LAND SURVEYOR DATE
COLORADO REGISTRATION NO. 22564

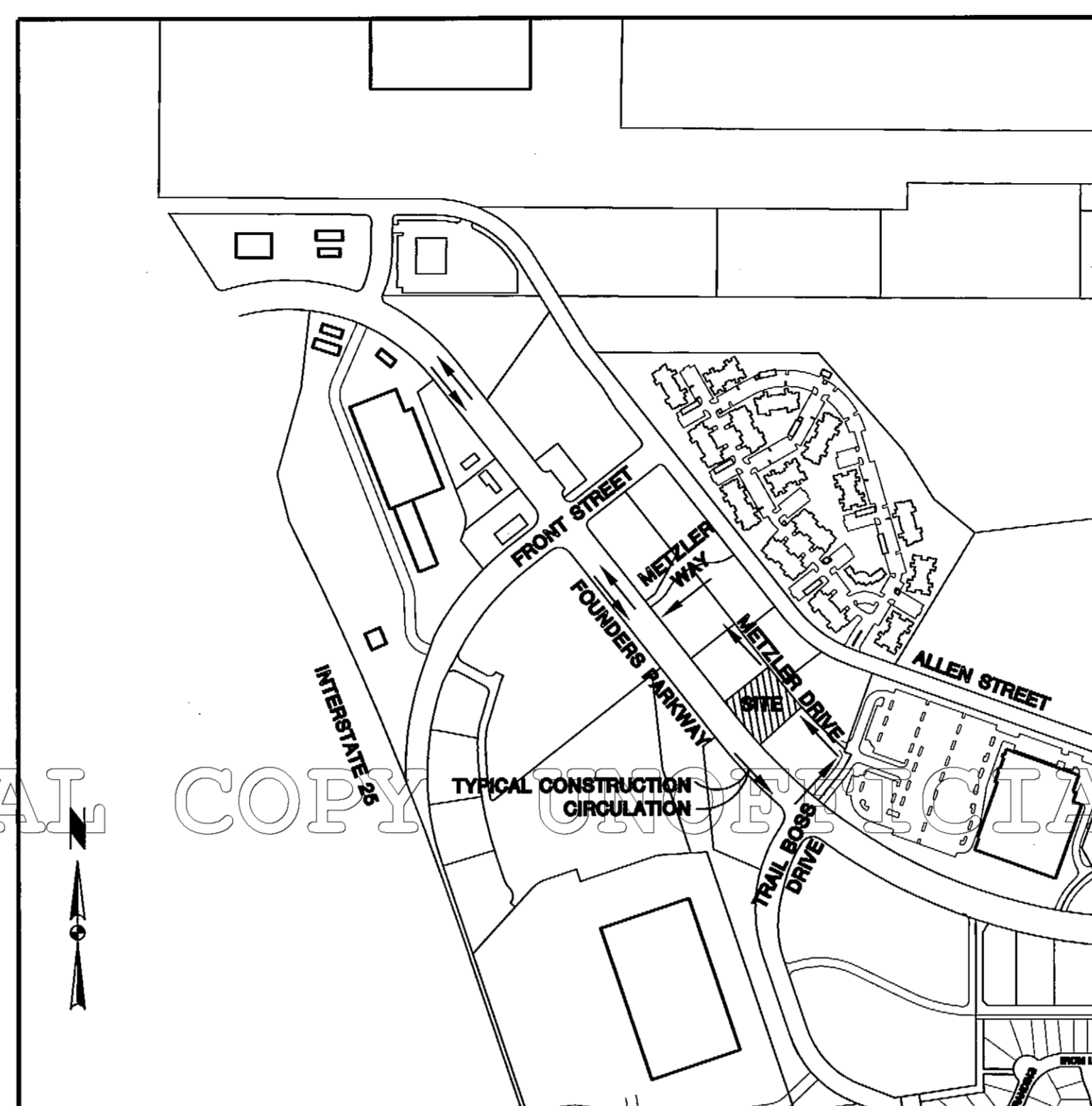


NOTES:

- BENCHMARK: "CP 84", #5 REBAR IN MEDIAN OF FOUNDERS PARKWAY (300 FEET NORTHWEST OF CENTERLINE I INTERSECTION WITH TRAIL BOSS) N 1574868.12, E 3182005.24 ELEVATION: 6267.13.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS: SOUTH LINE OF LOT 2-F SOUTH 48°02'38" WEST.
- THE DEVELOPER IS RESPONSIBLE FOR CONFORMANCE WITH THE TOWN OF CASTLE ROCK'S CURRENT WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY.
- NO SOLID OBJECT EXCEEDING THIRTY INCHES (30") IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, MONUMENT SIGNS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPING PLANTINGS, CUT SLOPES OR BERMS, SHALL BE PLACED IN THE SIGHT TRIANGLES.
- LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER'S ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL; IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- IN ACCORDANCE WITH THE METZLER RANCH FILING NO. 3, 1st AMENDMENT DEVELOPMENT AGREEMENT, REC. NO. 9561705, THE FOLLOWING METER WILL BE USED AND CORRESPONDING SFE'S WILL BE DEDUCTED FROM THE METZLER RANCH WATER BANK No. 2:
METER SIZE: 1 1/2-INCH SFE'S: 4
- THE MAXIMUM ALLOWABLE HEIGHT OF THE FREE-STANDING SIGN SHALL BE EIGHT (8) FEET.
- THE TOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDER'S AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT, AND MATERIALS AND A 15% FEE.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES, AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- FIRE DEPARTMENT NOTES:
 - NO LANDSCAPING, FENCING, OR OTHER OBSTRUCTIONS ARE ALLOWED WITHIN THREE FEET OF A FIRE HYDRANT.
 - SURFACED ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
 - ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
 - ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT. ALL FIRE LANES SHALL BE POSTED "NO PARKING FIRE LANES".
 - COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

PROPERTY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS: LOT 2F, METZLER RANCH FILING NO. 3, 1ST AMENDMENT, ACCORDING TO THE RECORDED PLAT THEREOF, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO, CONTAINING 0.98 ACRES, MORE OR LESS.



VICINITY MAP
SCALE 1"=500'

SITE DATA		
ADDRESS:	312 METZLER DRIVE CASTLE ROCK, CO 80104	
PRESENT ZONING:	PD	
PROPOSED ZONING:	PD	
PRESENT USE:	VACANT	
PROPOSED USE:	RESTAURANT/RETAIL	
ITEM	SQ. FOOTAGE	%
TOTAL LOT 2F	42548 S.F.	100
BUILDING FOOTPRINT	6174	14.5
PARKING/ROADS	25004	58.8
HARDSCAPE TOTAL	31178	73.3
RESERVE STRIP	4767	11.2
OPEN AREA & ISLANDS	6603	15.5
LANDSCAPE TOTAL	11370	26.7
BUILDING SIZE		
SINGLE STORY	6,174 SQ.FT.	
PERMITTED BUILDING HEIGHT	50'	
PROPOSED BUILDING HEIGHT	29'	
BUILDING SETBACKS		
FROM NORTH LOT LINE	5 FEET	
FROM SOUTH LOT LINE	40 FEET	
FROM EAST LOT LINE	14 FEET	
FROM WEST LOT LINE	134 FEET	

PARKING TABULATION	
RETAIL PARKING 5 SPS. PER 1000 SF	16 SPACES
RESTAURANT PARKING 10 SPS. PER 1000 SF	31 SPACES
PROVIDED PARKING	44 FULL SIZE 2 HANDICAP
	*46 ON-SITE

* PARKING CALCS. BASED ON MOST CONSERVATIVE TENANT SPACE OPTION. OTHER OPTIONS WOULD REQUIRE LOWER PARKING COUNTS, THIS OPTION IS 1 SPACE LESS THAN CRITERIA AND THE REDUCTION IN PARKING REQUIREMENTS IS HEREBY APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES PER SECTION 17.64.090 OF THE TOWN'S MUNICIPAL CODE

SIGNAGE TABULATION			
SIGN TYPE	S.F.	QUAN.	S.F.
MONUMENT WALL (SIDES)	N.A.	N.A.	N.A.
WALL (FRONT AND REAR)	16.0	4	64.0
TOTAL		6	96.0
PERMITTED SIGNAGE			160.0
			354.0

SHEET INDEX

- TITLE SHEET
- SITE PLAN
- UTILITY
- GRADING PLAN
- LANDSCAPE PLANS
- BUILDING ELEVATIONS
- PHOTOMETRIC PLAN

TITLE CERTIFICATION

I, LEO J. HEBERT AN AUTHORIZED REPRESENTATIVE OF CHANCEY TITLE COMPANY LLC, A TITLE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 13th DAY OF JULY, 2004

Leo J. Hebert
AUTHORIZED REPRESENTATIVE
CHANCEY TITLE COMPANY LLC
TITLE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 13th DAY OF JULY, 2004 BY
Leo J. Hebert

WITNESS MY HAND AND OFFICIAL SEAL.

Stacy L. Stewart (Stacy L. Stewart)
NOTARY PUBLIC
MY COMMISSION EXPIRES: March 6, 2007

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 2F, METZLER RANCH FILING NO. 3, IN THE TOWN OF CASTLE ROCK.

Richard O. Campbell
TRAIL BOSS INVESTORS, LLC.

SIGNED THIS 15th DAY OF JULY, 2004

SUBSCRIBED AND SWORN TO BEFORE ME THIS 15th DAY OF JULY, 2004 BY
Richard O. Campbell

WITNESS MY HAND AND OFFICIAL SEAL.

Stacy L. Stewart (Stacy L. Stewart)
NOTARY PUBLIC
MY COMMISSION EXPIRES: March 6, 2007

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 2-F, METZLER RANCH FILING NO. 3, 1ST AMENDMENT, IN THE TOWN OF CASTLE ROCK. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON APRIL 6, 2004 AT RECEPTION NUMBER 2004034082, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS, AND RESTRICTIONS OF THIS DOCUMENT.

LIENHOLDER: CITICORP USA, INC.

EXECUTED THIS 6th DAY OF JULY, 2004

BY: *Jerry Rotonda*

STATE OF New York
COUNTY OF New York

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6th DAY OF JULY, 2004 BY Rod Colburn AND BY Jerry Rotonda

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: June 28, 2007
Roberta Rochelle Grossman
NOTARY PUBLIC

TOWN CERTIFICATION

THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, CO APPROVED THIS FINAL PD SITE PLAN ON THE 9 DAY OF JULY, 2004

Carlton
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:52 P.M. ON THE 14th DAY OF JULY, 2004
RECEPTION NO. 2004073176

DOUGLAS COUNTY CLERK AND RECORDER
BY: *Maureen Johnson*
DEPUTY

SUBMITTAL: MARCH 10, 2004
RE-SUBMITTAL: APRIL 16, 2004
RE-SUBMITTAL: JUNE 8, 2004

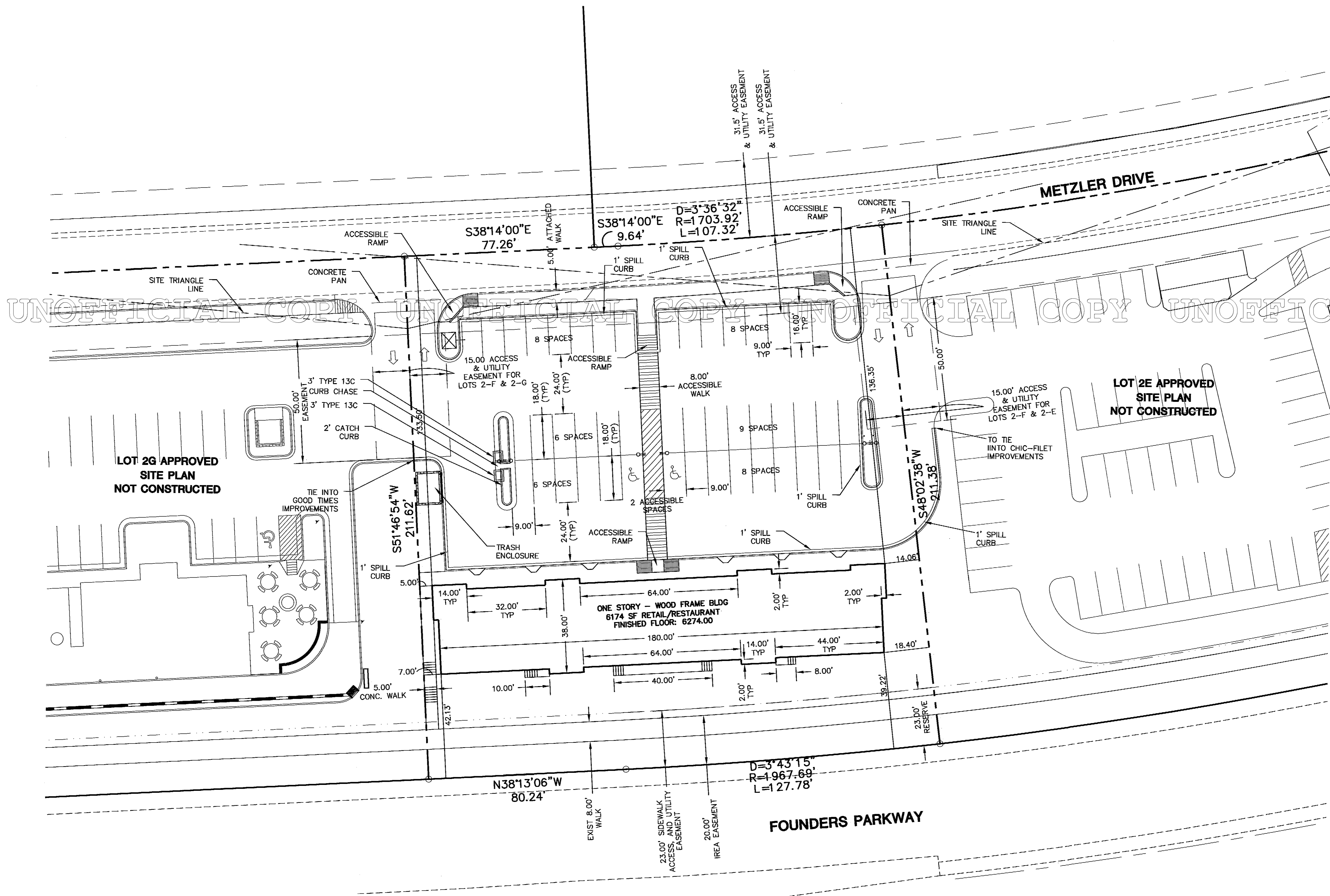
OWNER/DEVELOPER
TRAIL BOSS INVESTORS, L.L.C.
270 ST. PAUL STREET / SUITE 200
DENVER, COLORADO 80206

CIVIL ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT
TST INC OF DENVER
9222 TEDDY LANE
LONE TREE, CO 80124
(303) 792-0557

ARCHITECT
GEROU AND ASSOCIATES, LTD.
3064 WHITMAN DRIVE
EVERGREEN, COLORADO
80439



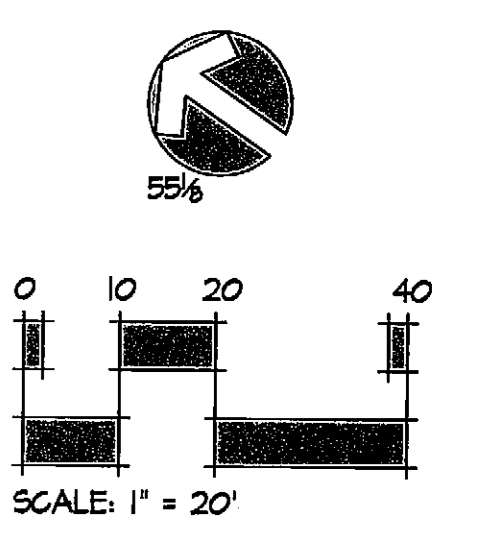
FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
SITE PLAN



LEGEND

- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- PROPOSED TOP BACK OF CURB
- EXISTING FLOW LINE OR BY OTHERS
- EXISTING EOA OR BY OTHERS
- 1' SPILL CURB
- 2' CATCH CURB
- CONCRETE WALK/PAVING
- ASPHALT PAVING
- SITE TRIANGLE LINE
- LOT LINE/PROPERTY LINE
- EASEMENT LINE
- RESERVE STRIP LINE

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LOT 2G APPROVED
SITE PLAN
NOT CONSTRUCTED

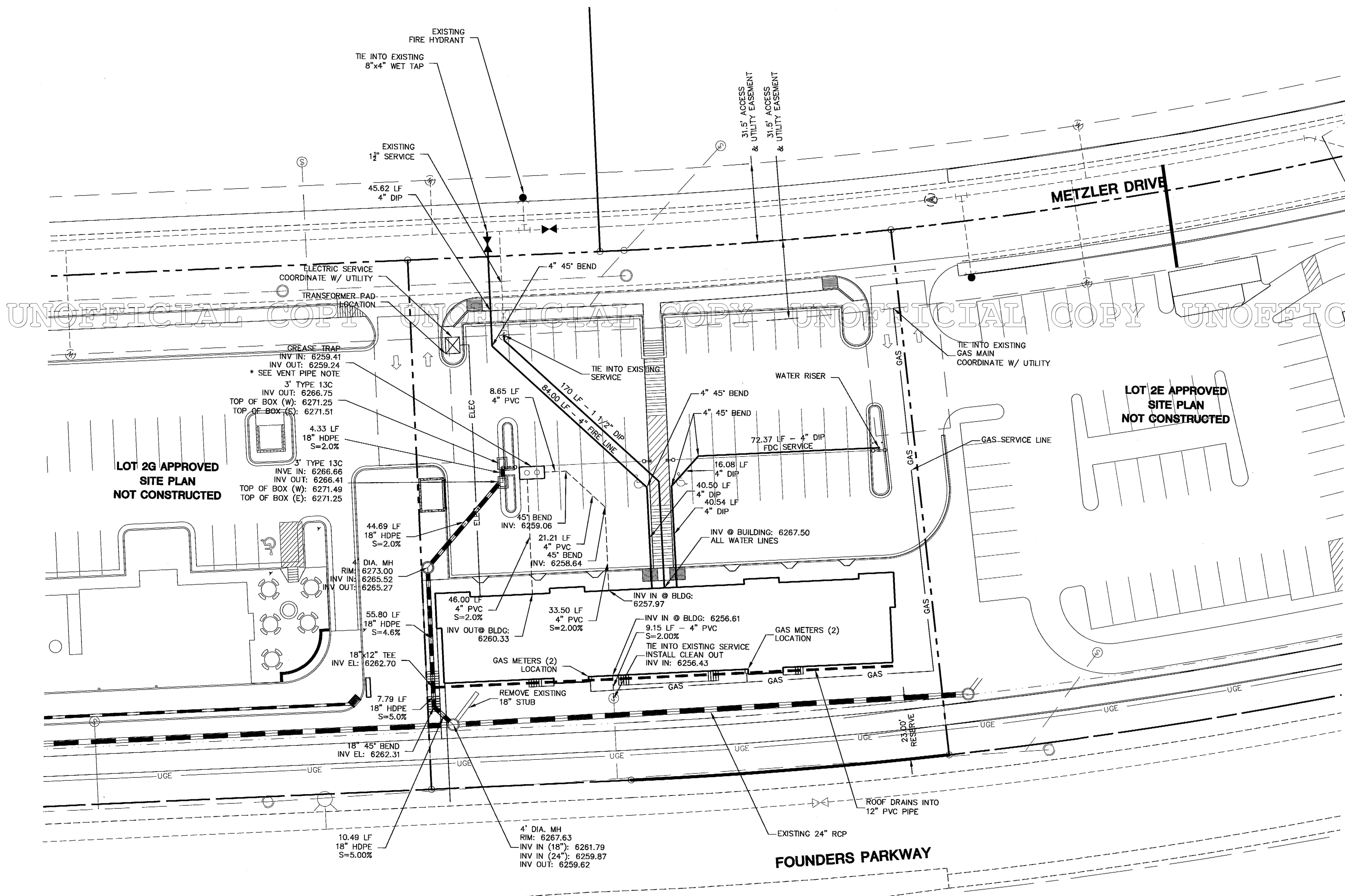
LOT 2E APPROVED
SITE PLAN
NOT CONSTRUCTED



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 RE-SUBMITTAL: JUNE 8, 2004

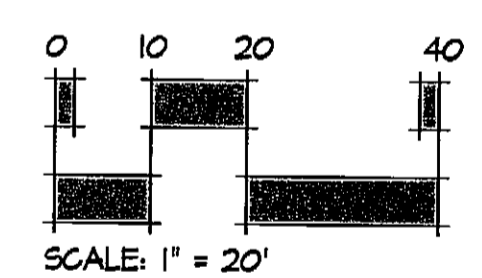
FINAL PD SITE PLAN
 LOT 2F, METZLER RANCH FILING NO. 3
 1st AMENDMENT
 SITE PLAN
 SHEET 2 OF 11

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
UTILITY PLAN



LEGEND

- EXISTING WATER LINE
- EXISTING WATER SERVICE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- GAS
- ELEC
- UGE
- 6" TYPE 13C INLET
- PROPOSED PARKING LIGHTS
- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- PROPOSED TOP BACK OF CURB
- EXISTING FLOW LINE OR BY OTHERS
- EXISTING EOA OR BY OTHERS
- LOT LINE/ PROPERTY LINE
- EASEMENT LINE
- RESERVE STRIP LINE



**LOT 2G APPROVED
SITE PLAN
NOT CONSTRUCTED**

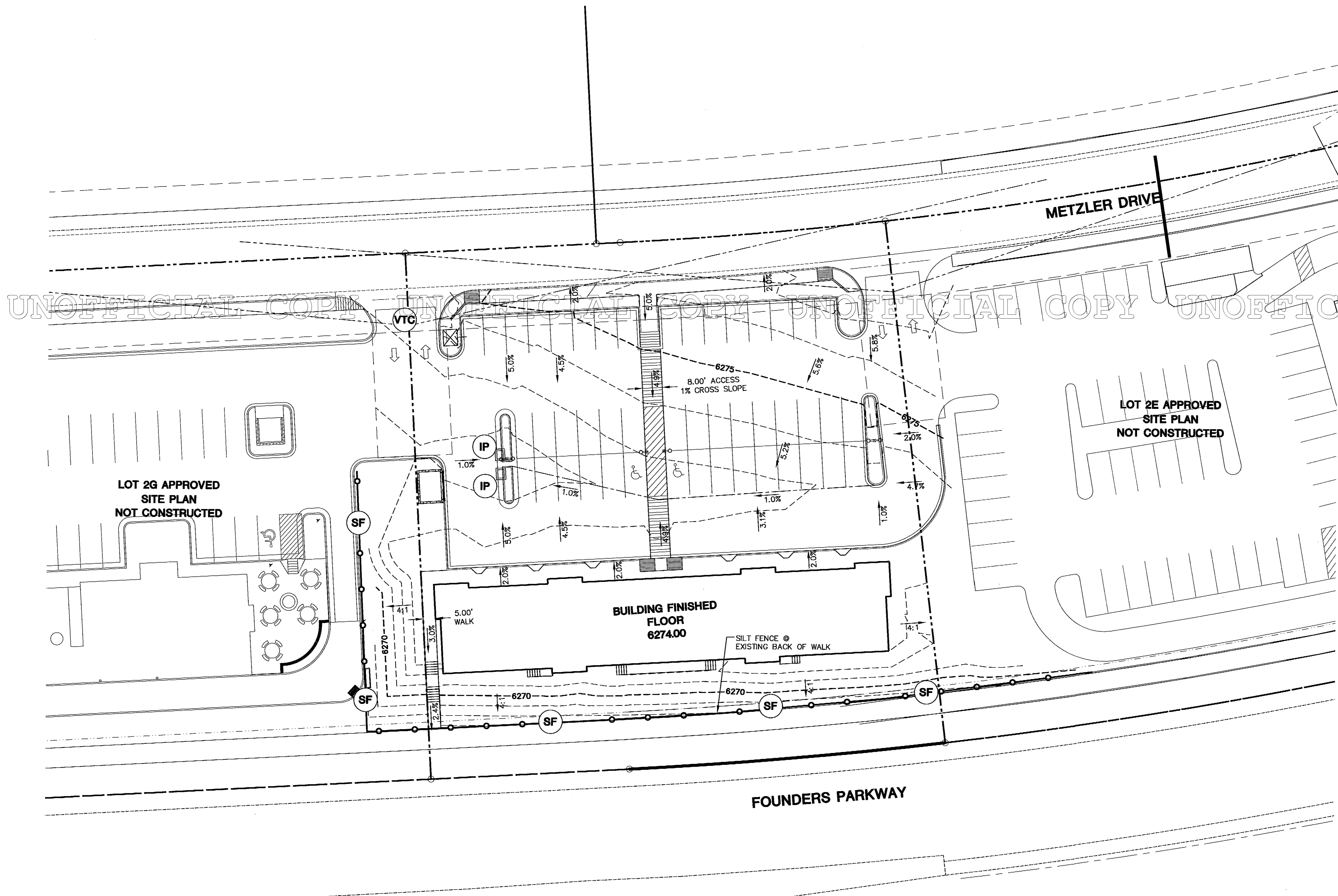
**LOT 2E APPROVED
SITE PLAN
NOT CONSTRUCTED**



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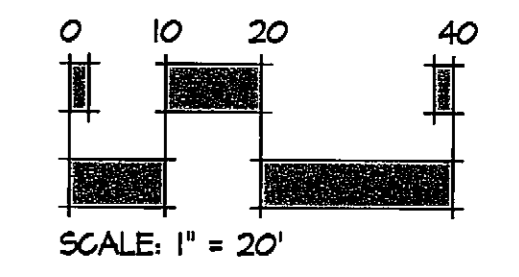
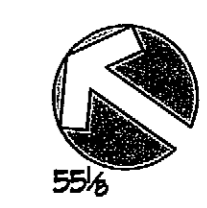
FINAL PD SITE PLAN
 LOT 2F, METZLER RANCH FILING NO. 3
 1st AMENDMENT
 UTILITY PLAN
 SHEET 3 OF 11

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
GRADING PLAN



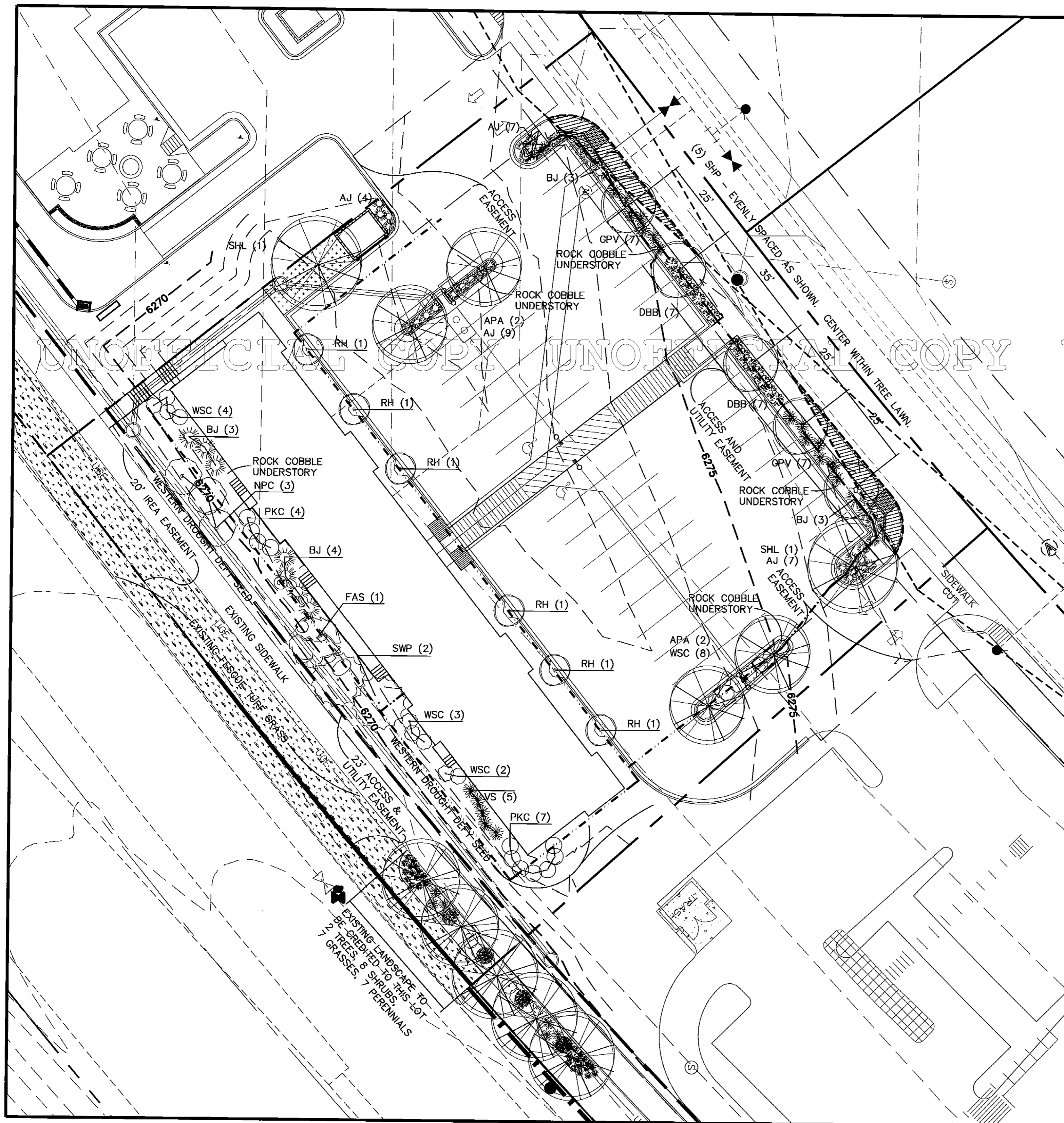
LEGEND

- EXISTING CONTOUR MJR (10')
- EXISTING CONTOUR MNR (2')
- PROPOSED CONTOUR MJR (5')
- PROPOSED CONTOUR MNR (1')
- SILT FENCE
- INLET PROTECTION
- VEHICLE TRACKING CONTROL
- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- PROPOSED TOP BACK OF CURB
- EXISTING FLOW LINE OR BY OTHERS
- EXISTING EOA OR BY OTHERS
- LOT LINE / PROPERTY LINE
- EASEMENT LINE
- RESERVE STRIP LINE



NOTE:
 GRADING SUBJECT TO APPROVAL BY ADJACENT LOT OWNERS.
 TRANSITION BETWEEN LOTS AT 4:1 MINIMUM

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LANDSCAPE PLAN



DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER
APA	4 Fraxinus americana	Autumn Purple Ash	2"	☼☼☼
NPC	3 Prunus cerasifera 'Newport'	Newport Plum Cherry	1.5"	☼
RH	6 Crataegus ambigua	Russian Hawthorn	2"	☼
SHL	2 Gleditsia triacanthos inermis	Thornless Honeylocust	2"	☼
SHP	5 Pyrus calleryana 'Stonehill'	Stonehill Pear	1.5"	☼
DECIDUOUS SHRUBS				
PKC	12 Cotoneaster lucidus	Pecking Cotoneaster	5 GAL	☼
VS	5 Spirea x vanhouttei	Viburnum Spirea	5 GAL	☼
WSC	18 Prunus besseyi	Western Sand Cherry	5 GAL	☼
DBB	14 Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 GAL	☼
GPV	14 Ligustrum x vicaryi	Golden Vicary Privet	5 GAL	☼
EVERGREEN TREES				
FAS	1 Picea pungens 'Fat Albert'	Fat Albert Spruce	8"	☼
SWP	2 Pinus strobiformis	Southwestern White Pine	6"-8"	☼
EVERGREEN SHRUBS				
AJ	28 Juniperus chinensis	Chinese Juniper 'Armstrong'	5 GAL	☼
BJ	13 Juniperus sabin	Buffalo Juniper	5 GAL	☼

Total Trees 24 (3 EVERGREEN) 2 Existing Streetscape
 Total Shrubs 63 (20 EVERGREEN) 8 Existing Streetscape
 Total Specials 14 14 Existing Streetscape

Site Summary

Description	s.f.	Percent
Total Site	42,548	100.0%
Paving	24,110	56.7%
Building	6,174	14.5%
Landscaping	12,264	28.8%

Landscape Summary

Description	s.f.	Percent
Mulch	353	2.9%
Sidewalks & Patio	2,971	24.2%
Living Materials	2,938	24.0%
Turf	6,002	48.9%
TOTAL	12,264	100%

Required Planting

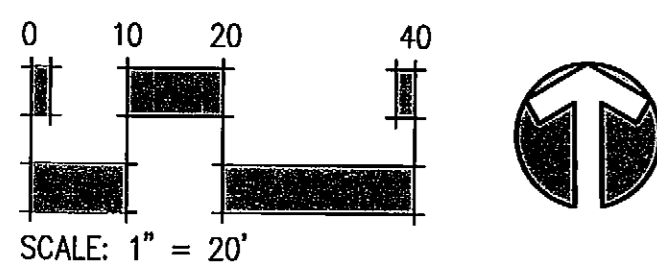
Description	Required	Provided
Trees	23	24
Shrubs	45	112 (41 EG)
Perennials	0	14
Ground Cover	0	0

Mulch Coverage *

Type	s.f./ea	quan.	Coverage	Percent
Evergreen Trees	200	3	600	18.2%
Evergreen Shrubs	20	41	820	24.9%
Deciduous Shrubs	20	71	1420	43.2%
Perennials/Grasses	7	14	98	3%
Total Bed Coverage			2,938	89.3%

LEGEND

- FESCUE TURF GRASS
*SEE SEEDING OPTION
- ROCK COBBLE
- CONCRETE
- EDGING
- CATCH CURB
- OUTFALL CURB
- PROPERTY LINE
- PROPOSED LIGHTPOLE
- SITE TRIANGLE
- EXISTING INTERIOR CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED INTERIOR CONTOUR
- PROPOSED INDEX CONTOUR



THIS LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.
 BY: J.D. NASH, REGISTRATION No. 305
 REQUIRED VARIANCES ARE AS FOLLOWS:
 A VARIANCE TO THE REQUIRED MIN. 10' WIDTH FOR LANDSCAPING IS HEREBY REQUESTED. A MINIMUM WIDTH FOR LANDSCAPE AREAS SHOWN ON THIS PLAN IS 4'. DRIP IRRIGATION IS PROPOSED FOR SHRUBS, TREES AND PERENNIALS. SUB-SUBTERRANEAN IRRIGATION IS PROPOSED FOR TURF AREAS.



SUBMITTAL: MARCH 10, 2004
 RE-SUBMITTAL: APRIL 16, 2004
 RE-SUBMITTAL: JUNE 8, 2004
 REVISED JUNE 26, 2004

FINAL PD SITE PLAN
 LOT 2F, METZLER RANCH FILING NO. 3
 LANDSCAPE PLAN
 SHEET 6 OF 11

FINAL PD SITE PLAN

LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LANDSCAPE DETAILS

LANDSCAPE NOTES:

- UTILITIES - DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND DIG TREE PITS IN UTILITY EASEMENTS.
- PERMITS - CONTRACTOR SHALL OBTAIN ALL PERMITS, INSPECTIONS, AND PAY REQUIRED FEES TO ANY AGENCY HAVING JURISDICTION OVER LANDSCAPE WORK.
- CLEANUP AND PROTECTION - DURING LANDSCAPE WORK, KEEP ALL PAVEMENTS CLEAN AND THE WORK AREA IN AN ORDERLY CONDITION. TREAT, REPAIR, OR REPLACE DAMAGE RESULTING FROM LANDSCAPE OPERATIONS.
- LAYOUT - NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE TO REVIEW BED LAYOUT, PLACEMENT AND TREE/SHRUB LOCATIONS.
- NO IRRIGATION ZONES - DO NOT PLANT SHRUBS OR GROUND COVER PLANTS WITHIN 5 FT. OF FOUNDATION WALLS. DO NOT IRRIGATE SOD WITHIN 5 FT. OF FOUNDATION WALLS, OR AS PER SOILS AND FOUNDATION INVESTIGATION REPORT.
- PLANT MATERIAL:
 - PLANT MATERIAL TO MEET OR EXCEED MOST CURRENT ISSUE OF AMERICAN STANDARDS FOR NURSERY STOCK.
 - PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND /OR SPACING SHOWN ON THE LANDSCAPE PLAN. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICTATE.
- TOPSOIL - TOPSOIL SHALL BE STRIPPED FROM THE PROJECT'S CONSTRUCTION AREAS AND STOCKPILED AT THE SITE FOR REDISTRIBUTION DURING FINISHING GRADING OPERATIONS. REDISTRIBUTION DEPTH SHALL BE THREE TO FOUR INCHES.
- SOIL PREPARATION - PLANTINGS:
 - BACKFILL - (TREES AND SHRUBS) - 75% SOIL FROM FROM PIT EXCAVATION, AND 25% COMPOST OR ASPEN HUMUS, THOROUGHLY BLENDED.
 - FERTILIZER - FERTILIZE ALL TREES, B&B, AND 5 GAL. SHRUBS WITH 21 GRAM, 20-10-5 SLOW RELEASE FERTILIZER TABLETS: 1 TABLET PER 1/2" TREE CALIPER: 3 TABLETS PER B&B SHRUB: AND 2 TABLETS PER 5 GAL. SHRUB.
 - PLACE AND THOROUGHLY MIX INTO THE BACKFILL - 1.5 CUPS (SHRUB), AND 5 CUPS (TREES) OF POLYACRYLAMIDE MOISTURE ABSORBANT - OR APPROVED EQUAL.
- SOIL PREPARATION - TURF:
 - SOD SOIL PREPARATION: ADD THE FOLLOWING SOIL AMENDMENTS PER 1,000 SQ.FT.: 5 LBS. POLYACRYLAMIDE, 3 CUBIC YARDS OF COMPOST OR ASPEN HUMUS ORGANIC MATTER AND 5 POUNDS OF 18-46-0 COMMERCIAL FERTILIZER.
 - ROTTILL SOIL AMENDMENTS THOROUGHLY INTO THE SOIL TO A MINIMUM DEPTH OF TWELVE INCHES.
 - RAKE SMOOTH TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET ENGINEER'S FINISH GRADES.
 - POSITIVE SURFACE DRAINAGE SHALL BE ASSURED WITHOUT SUBSEQUENT SETTLING OR IRREGULARITIES IN THE FINISH GRADE.
- IRRIGATION SYSTEM WILL BE AN AUTOMATIC, UNDERGROUND SYSTEM. TREES AND SHRUBS IN BEDDED AREAS, PARKING ISLANDS AND WALKWAY PLANTERS WILL BE DRIP IRRIGATED. TURF AND FLOWER BEDS WILL BE SPRAY IRRIGATED WITH POP-UP SPRAY HEADS. AN SUBTERRANEAN DRIP SYSTEM MUST BE USED IN ALL TURF AREAS WHOSE WIDTH IS LESS THAN 10'.
- BED EDGING - SHALL BE GALVANIZED STEEL WITH A ROLLED EDGE OR 'CURV RITE' ALUMINUM EDGING, 3/16" X 4", MILL FINISH, OR APPROVED SUBSTITUTION.
- TURF SOD - SHALL BE FREE OF WEEDS AND UNDESIRABLE GRASSES. PROVIDE SOD CAPABLE OF GROWTH AND DEVELOPMENT WHEN PLANTED (VIABLE, NOT DORMANT). SOD ROLLS SHALL BE KEPT MOIST, PROTECTED FROM DRYING, SUN, HEAT AND WIND, AND PROPERLY PROTECTED IN TRANSPORT. SOD SHALL BE A STRONGLY ROOTED BLEND COMPOSED OF TURF-TYPE TALL FESCUE, PERENNIAL RYEGRASS, AND BARZAN KENTUCKY BLUEGRASS.
 - SEED SHALL MEET OR EXCEED INDUSTRY STANDARDS AND SHALL COMPRISE AT LEAST THREE DROUGHT TOLLERANT SPECIES. NO MORE THAN 15% BLUEGRASS IS PERMITTED.
 - RECOMMENDED SEED MIXES ARE:
WESTERN DROUGHT DEFY - BARENBRUG COLORADO
BARLEXUS - BARENBRUG COLORADO
 - SEED SHALL BE APPLIED PER MANUFACTURERS SPECIFIED RATE AND METHOD. ALL SEEDED AREAS SHALL BE PROTECTED BY 'STRAW NET' MULCH APPLIED PER MANUFACTURERS SPECIFICATIONS
'STRAW NET' - PELLETIZED STRAW L.L.C., BARENBRUG COLORADO
- MULCH
 - WOOD - CEDAR OR ASPEN FIBER MULCH 3" DEPTH IN SHRUB BEDS, AND AROUND TREES IN SOD AREAS, NO FABRIC. (BROWN IN COLOR, NO ARTIFICIAL COLORINGS)
 - ROCK - COBBLE/GRAVEL MULCH (PARKING ISLANDS): A BLEND OF 50% (BY VOLUME) 2" TO 4" DIAMETER SMOOTH RIVER COBBLE, 25% 1.5" DIAMETER SMOOTH RIVER GRAVEL, AND 25% 3/4" DIAMETER SMOOTH RIVER GRAVEL, ALL SIZES WASHED AND SCREENED. PLACE OVER GEO-TEXTILE FABRIC. TO BE PLACED IN 5' NO IRRIGATE ZONES.
 - GRAVEL - DECOMPOSED GRANITE.
- EDGING
 - EDGING SHALL BE GALVANIZED STEEL OR ALUMINUM AND SHALL HAVE A ROLLED OR FORMED EDGE FREE OF SHARP EDGES, BURS OR FRACTURES. EDGING SHALL BE APPROVED BY OWNER OR ARCHITECT PRIOR TO INSTALLATION. ALL EDGING SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT POTENTIAL TRIPPING, DAMAGE FROM MOWING, OR A HAZZARD TO ANIMALS FEET.

LANDSCAPE AND GROUND MAINTENANCE:

- THE OWNER OF THE PROPERTY, THEIR SUCCESSORS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL LANDSCAPED AREAS WITHIN THEIR LOT, SUBJECT TO THE APPROVED LANDSCAPE PLAN. SUCH AREAS SHALL BE DEEMED TO INCLUDE THE INDIVIDUAL LOTS ON THE SUBJECT PROPERTY AND THAT PORTION OF ANY ADJACENT PUBLIC STREET RIGHT-OF-WAY, FROM THE PROPERTY LINE TO THE BACK OF ADJACENT CURB.

XERIC LANDSCAPE AND LOW WATER TURF REQUIRES MAINTENANCE PROCEDURES DIFFERENT FROM STANDARD LANDSCAPING. THE OWNER & MAINTENANCE CONTRACTOR SHOULD TAKE NOTICE OF THE REDUCED WATER, MOWING AND FERTILIZING NEEDS OF THE PLANTS AND TURF INSTALLED.
- LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED WITH NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, REPLACEMENT OF DEAD PLANT MATERIAL, AND REPLACEMENT OF DISEASED PLANT MATERIAL. REPLACEMENT PLANT MATERIAL SHALL BE THE SAME SIZE AND OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE APPROVED LANDSCAPE PLAN. SUBSTITUTIONS WITH OTHER TYPES OF PLANT MATERIAL MAY BE MADE ONLY WITH ARCHITECT AND/OR TOWN APPROVAL. ALL REPLACEMENTS SHALL OCCUR WITHIN ONE GROWING SEASON.
- GROUNDS SHALL BE MAINTAINED IN A SAFE, CLEAN, AND NEAT CONDITION WITH NO RUBBISH OR WEEDS. LAWNS SHALL BE KEPT IN A MOWED CONDITION (NOTE: SPECIAL MOWING REQUIREMENTS OF LOW WATER TURF GRASSES). ROADS AND PAVEMENT SHALL BE MAINTAINED IN GOOD CONDITION WITH NO POTHOLES OR SUB GRADE DEFICIENCIES.

Mulch Coverage *

Mulch coverage calculations include all living materials within landscaped areas defined by the future expansion, with the exception of deciduous trees. Quantities used in this calculation include only those plants placed in mulched planting areas; hence the quantities may be less than those shown in the plant schedule. Square foot coverage per plant is estimated from the average plant size at 75% maturity as specified by the published documents of the Colorado Nursery Association. Actual plant coverage and growth rate may vary depending on local climate and irrigation and maintenance schedules. The plant coverage calculations are intended to show estimated performance of the Xeric landscape design.

Water management

The plan shown hereon is a Xeric landscape plan and employs the principles of a drought tolerant, low water use design. An appropriate soil amendment strategy and automatic irrigation system shall be installed to take full advantage of this design and the Xeric concepts employed. Water absorbing polymers and biodegradable amendments can be used at the owner's discretion.

Establishment of plants requires more frequent watering; however, subsequent year's watering times should be cut back until such time (approx. 3 years) as plants receive just enough irrigation to sustain moderate growth and good health. Over watering of the xeric landscape will reduce the drought tolerance of the plants and possibly cause plant health problems.

Turf areas should be maintained consistent with the grass varieties chosen. Over watering fescue blends reduces the drought tolerance of the grasses and minimizes their low water use effectiveness. For maximum water saving's it is recommended that the turf be irrigated only when it begins to show a dull gray green color. During the hot/dry growing season the turf may require irrigation every 4 days.

Western Drought Defy (owner option) requires very little water and maintenance. Irrigation and mowing once a month with an annual application of fertilizer may be all that is required. Follow manufacturers recommendations for turf management.

ESTIMATED WATER USE - based upon averages for Colorado front range, actual use may vary depending upon local climate conditions, irrigation system, application rates, etc.

Fescue turf	138 gal/sf/yr	4,100 gal/yr
Drought/Defy turf (option)	100 gal/sf/yr	2,980 gal/yr
shrub/planting beds	100 gal/sf/yr	2,722 gal/yr

LIVING COVERAGE TEMPLATES

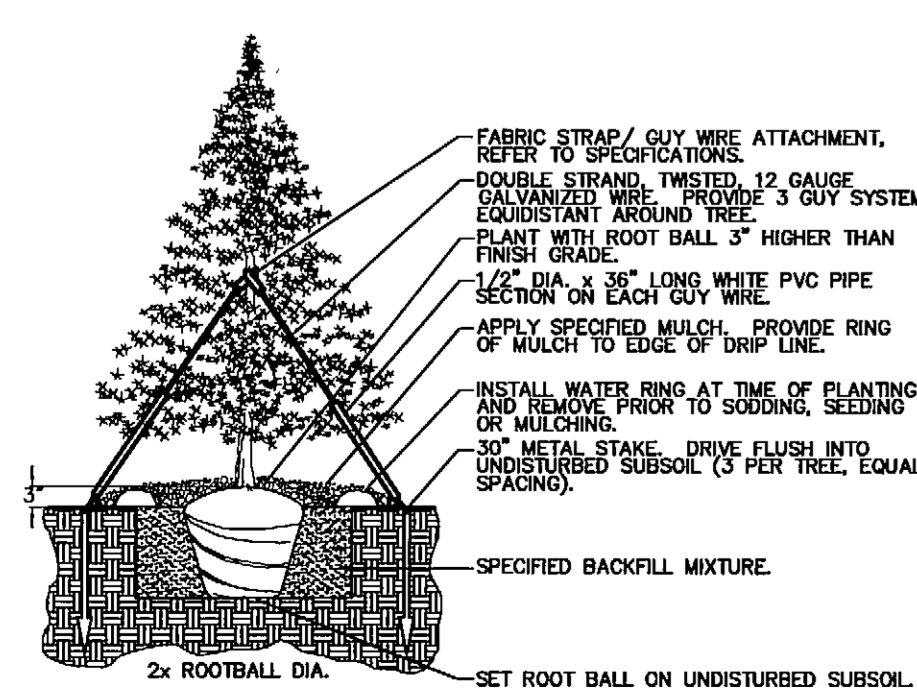
The templates below show the average size and approximate coverage for plants used within this plan. Plant size is determined at 75% of the average mature size as published by the Colorado Nursery Association.



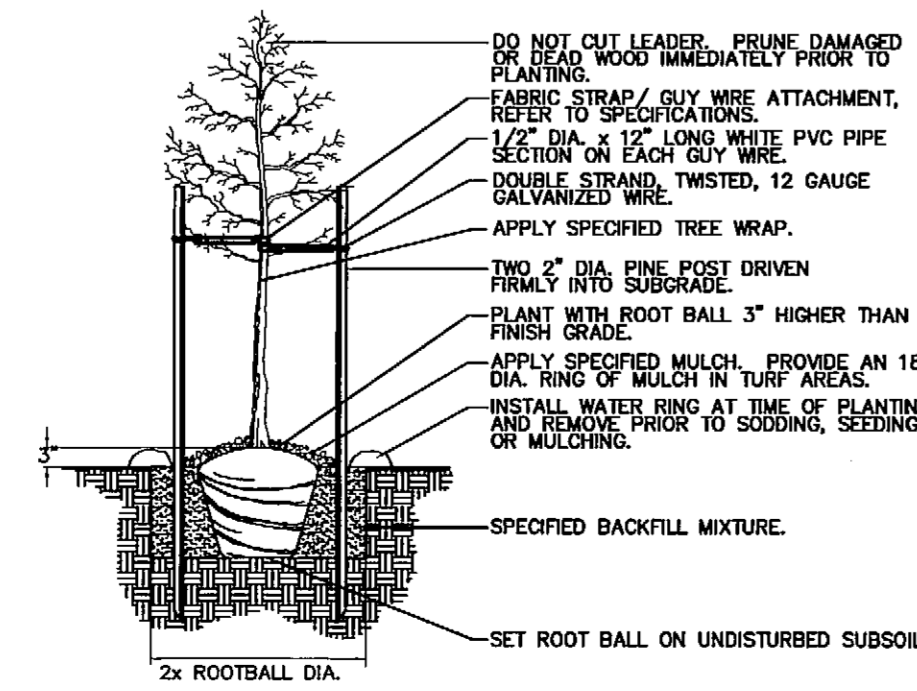
WATER USE SYMBOLS

The symbols below are used to depict the approximate water use for established plants. The symbols are consistent with published documents from the Colorado Nursery Association, Denver Water Board, Colorado State University and other Xeric landscaping materials.

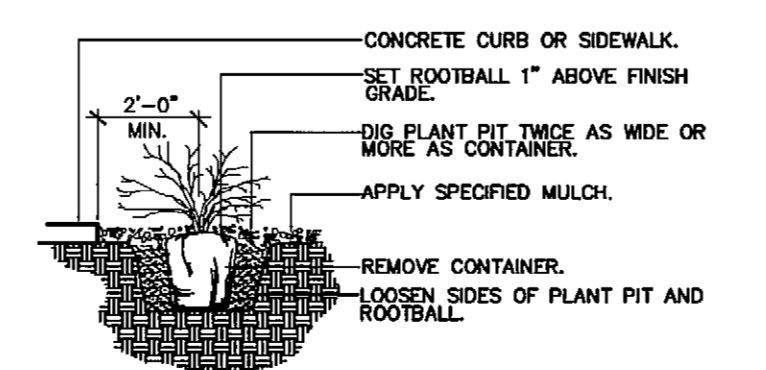
Native precipitation \blacklozenge Low Water Δ Moderate Water \blacklozenge High Water \blacklozenge



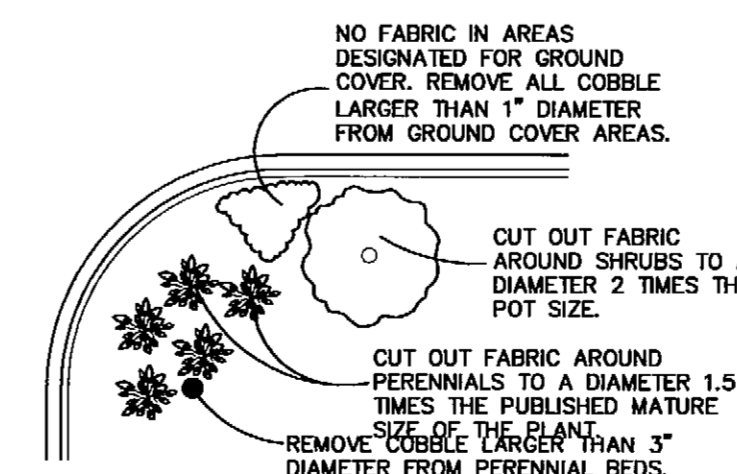
EVERGREEN TREE PLANTING DETAIL
N.T.S.



DECIDUOUS TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



PERENNIAL PLANTING BED IN ROCK MULCH
N.T.S.

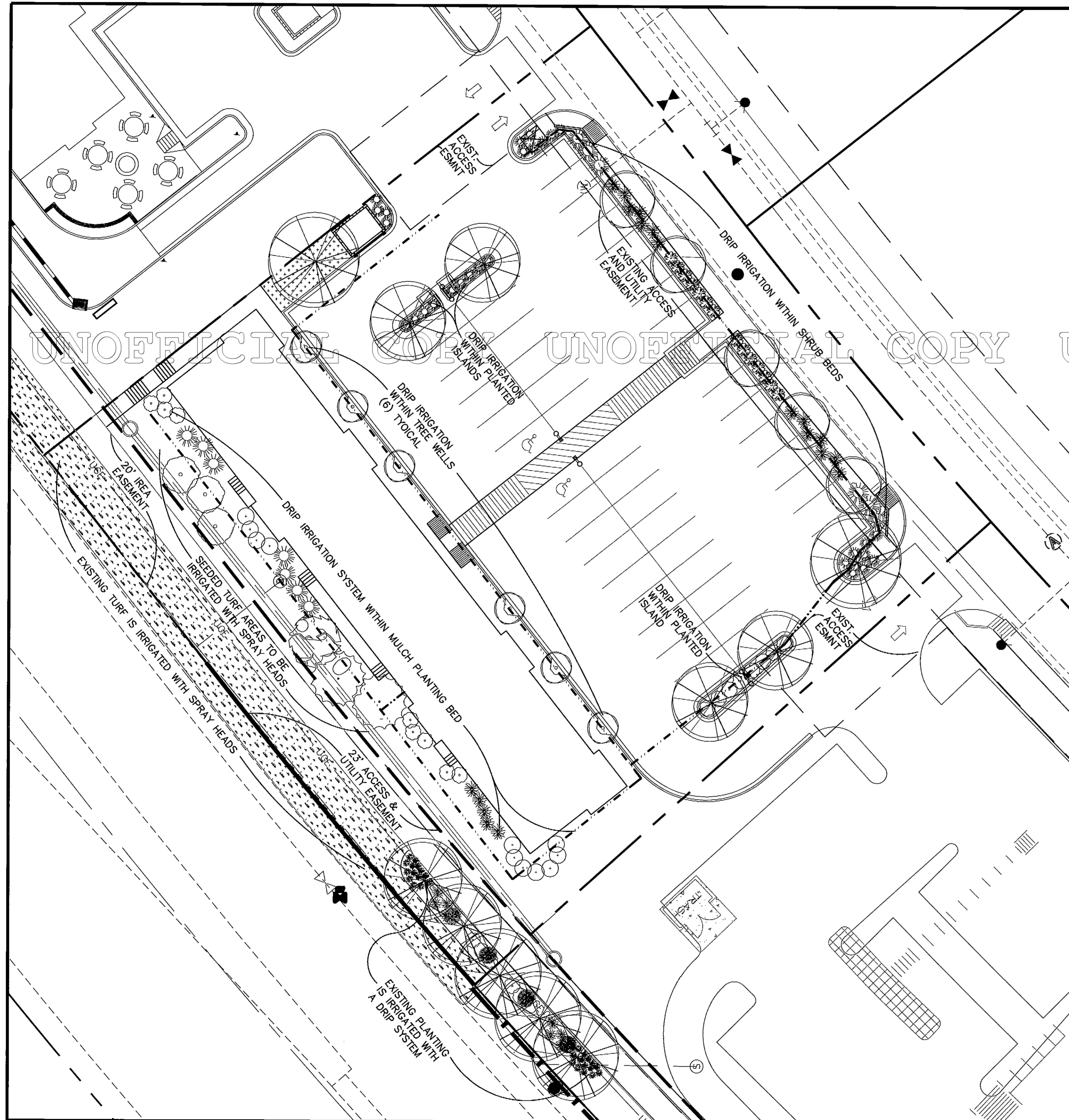
THIS LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.
BY: J.D. NASH, REGISTRATION No. 305
REQUIRED VARIANCES ARE AS FOLLOWS:
A VARIANCE TO THE REQUIRED MIN. 10' WIDTH FOR LANDSCAPING IS HEREBY REQUESTED. A MINIMUM WIDTH FOR LANDSCAPE AREAS SHOWN ON THIS PLAN IS 4'. DRIP IRRIGATION IS PROPOSED FOR SHRUBS, TREES AND PERENNIALS. SUB-SUBTERRANEAN IRRIGATION IS PROPOSED FOR TURF AREAS.



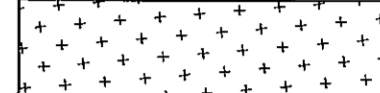



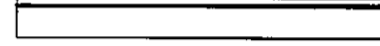
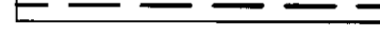

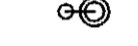





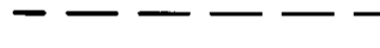
SUBMITTAL: MARCH 10, 2004
RE-SUBMITTAL: APRIL 16, 2004
RE-SUBMITTAL: JUNE 8, 2004

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3
LANDSCAPE DETAILS
SHEET 7 OF 11

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 IRRIGATION PLAN

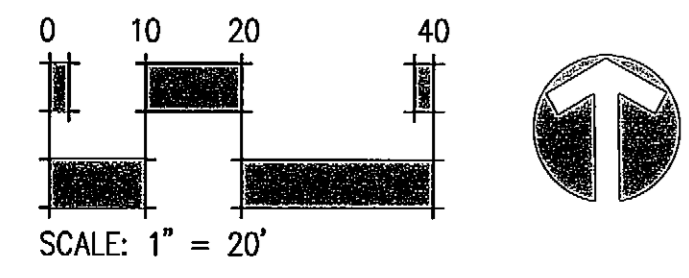


LEGEND

-  FESCUE TURF GRASS
*SEE SEEDING OPTION
-  ROCK COBBLE
-  CONCRETE
-  EDGING
-  CATCH CURB
-  OUTFALL CURB
-  PROPERTY LINE
-  PROPOSED LIGHTPOLE
-  SITE TRIANGLE
-  EXISTING INTERIOR CONTOUR
-  EXISTING INDEX CONTOUR
-  PROPOSED INTERIOR CONTOUR
-  PROPOSED INDEX CONTOUR
-  PROPOSED IRRIGATION CONDUIT

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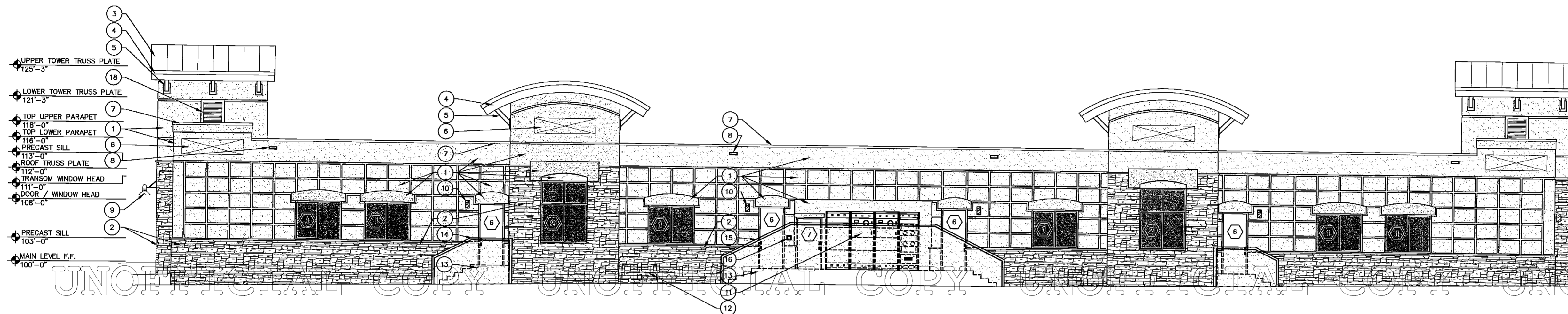
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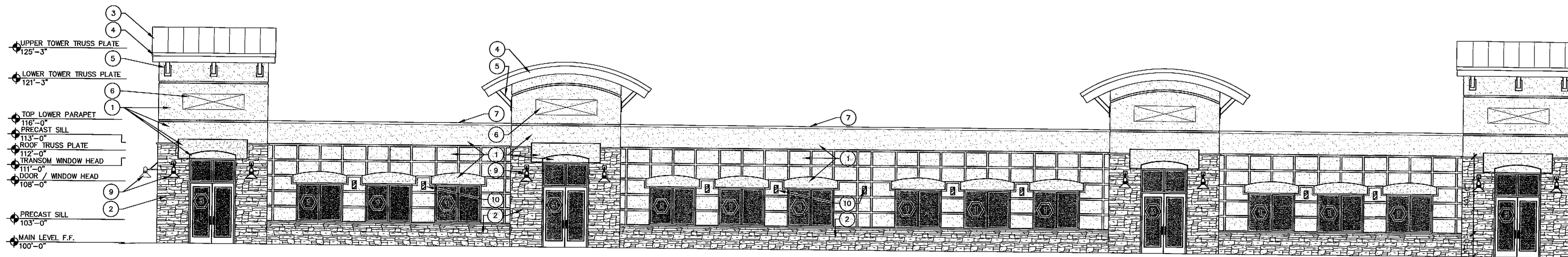
SUBMITTAL: MARCH 10, 2004
 RE-SUBMITTAL: APRIL 16, 2004
 RE-SUBMITTAL: JUNE 8, 2004
 REVISED JUNE 26, 2004

FINAL PD SITE PLAN
 LOT 2F, METZLER RANCH FILING NO. 3
 IRRIGATION PLAN
 SHEET 8 OF 11

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
BUILDING ELEVATIONS



WEST ELEVATION
 SCALE: 1/8"=1'



EAST ELEVATION
 SCALE: 1/8"=1'

ELEVATION KEYNOTES:

- 8 SEE DOOR AND WINDOW SCHEDULE FOR DETAILS AND COMPONENTS OF STOREFRONT DOORS AND WINDOWS AS WELL AS HOLLOW METAL DOOR INSTALLATION
- 1 SYNERGY HARD COAT SYNTHETIC STUCCO SYSTEM OVER BUILDING WRAP OVER 7/16" EXTERIOR WALL SHEATHING - PROVIDE STYROFOAM AT BUILDOUT DETAILS - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
- 2 PRE-MANUFACTURED STONE OVER BUILDING WRAP OVER 7/16" EXTERIOR WALL SHEATHING - SPECIFICATION SHALL BE CULTURED STONE, COUNTRY LEDGESTONE IN ASPEN (CSV 20008) - PROVIDE PRECAST CONCRETE SILL AT TOP - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS
- 3 CURVED STANDING SEAM METAL ROOF
- 4 METAL FASCIA AND PRE-FINISHED METAL SOFFIT PANELS
- 5 6X8 WOOD BRACES TO 2X10X16" WOOD BRACE BOARD @ WALL - FASTEN W/ COUNTERSUNK 1/4"X6" LAG BOLTS TOP AND BOTTOM
- 6 2'X8' AREA FOR ILLUMINATED BUILDING SIGNAGE
- 7 PROVIDE CONTINUOUS PRE-FINISHED METAL COPING ALONG TOP OF PARAPET WALL
- 8 OVERFLOW SCUPPER (TYP.)
- 9 BASELITE HORIZON HCX18 DOWN LIGHT (TYP. RE: ELECTRICAL) - PROVIDE PRE-CAST CONCRETE BACKING BLOCK FOR FIXTURE (TYP. FOR AT ALL FIXTURES ON STONE WALLS)
- 10 6"X12" DOWN LIGHT CYLINDER (TYP. RE: ELECTRICAL)
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- 12 GAS METER LOCATION - PAINT METERS TO MATCH STONE
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- 14 GUARDRAIL W/ SYNERGY HARD COAT SYNTHETIC STUCCO SYSTEM @ +42" OFF LANDING AND +42" OFF TREAD NOSINGS AT STAIR
- 15 GUARDRAIL W/ SYNERGY HARD COAT SYNTHETIC STUCCO SYSTEM @ +72" AND +42" OFF TREAD NOSINGS AT STAIR TO SCREEN METER CABINETS
- 16 KNOX BOX #3200 SERIES W/ HINGED DOOR - RECESS MOUNT @ +48"
- 17 PRE-MANUFACTURED 54" WIDE X 48" TALL HINGED LOUVERED METAL VENT
- 18 PRE-MANUFACTURED 36" WIDE X 60" TALL LOUVERED METAL ACCESS PANEL

MATERIALS COLOR CHART:					
APPLICATION:	MATERIAL:	COLOR:	APPLICATION:	MATERIAL:	COLOR:
METAL ROOFING	24 - GAUGE CURVED METAL PANELS	TERRA COTTA	DOOR AND WINDOW GLAZING	DOUBLE PANED LOW-E GLASS	CLEAR
ROOF PENETRATIONS	VARIES	PAINT TO MATCH ROOFING	DOOR AND WINDOW FRAMES	POWDER COATED ALUMINUM	TERRA COTTA
COPING	PAINTED METAL	CLAY	H.M. DOORS	PAINTED STEEL	CLAY
FASCIA	METAL EDGE OVER METAL FASCIA	TERRA COTTA	DOOR AND WINDOW TRIM	HARDCOAT SYNTHETIC STUCCO	PEARL ASH DV#106
SOFFIT	METAL SOFFIT PANELS	CLAY	HORIZONTAL BANDING	HARDCOAT SYNTHETIC STUCCO	PEARL ASH DV#106
SCUPPERS	POWDER COATED ALUMINUM	CLAY	WALL CLADDING	HARDCOAT SYNTHETIC STUCCO	DOVER SKY DV#104
LOUVERED VENTS	PAINTED METAL	CLAY	WAINSCOT	PRE-CAST CONCRETE STONE	ASPEN COUNTRY LEDGESTONE
LIGHT FIXTURES	VARIES	BRUSHED ALUMINUM	WAINSCOT SILL	PRE-CAST CONCRETE CAP	BUCKSKIN
WOOD BRACES AND BRACE BOARDS	STAINED DOUG. FIR	OLYMPIC 709 SEMI-TRANS.	GAS METERS AND PIPING	VARIES	PAINT TO MATCH BUCKSKIN
ELECTRIC METERS AND CONDUIT	VARIES	PAINT TO MATCH DOVER SKY	SIDEWALKS	CONCRETE	ROMANITE LIGHT BROWN BC-2

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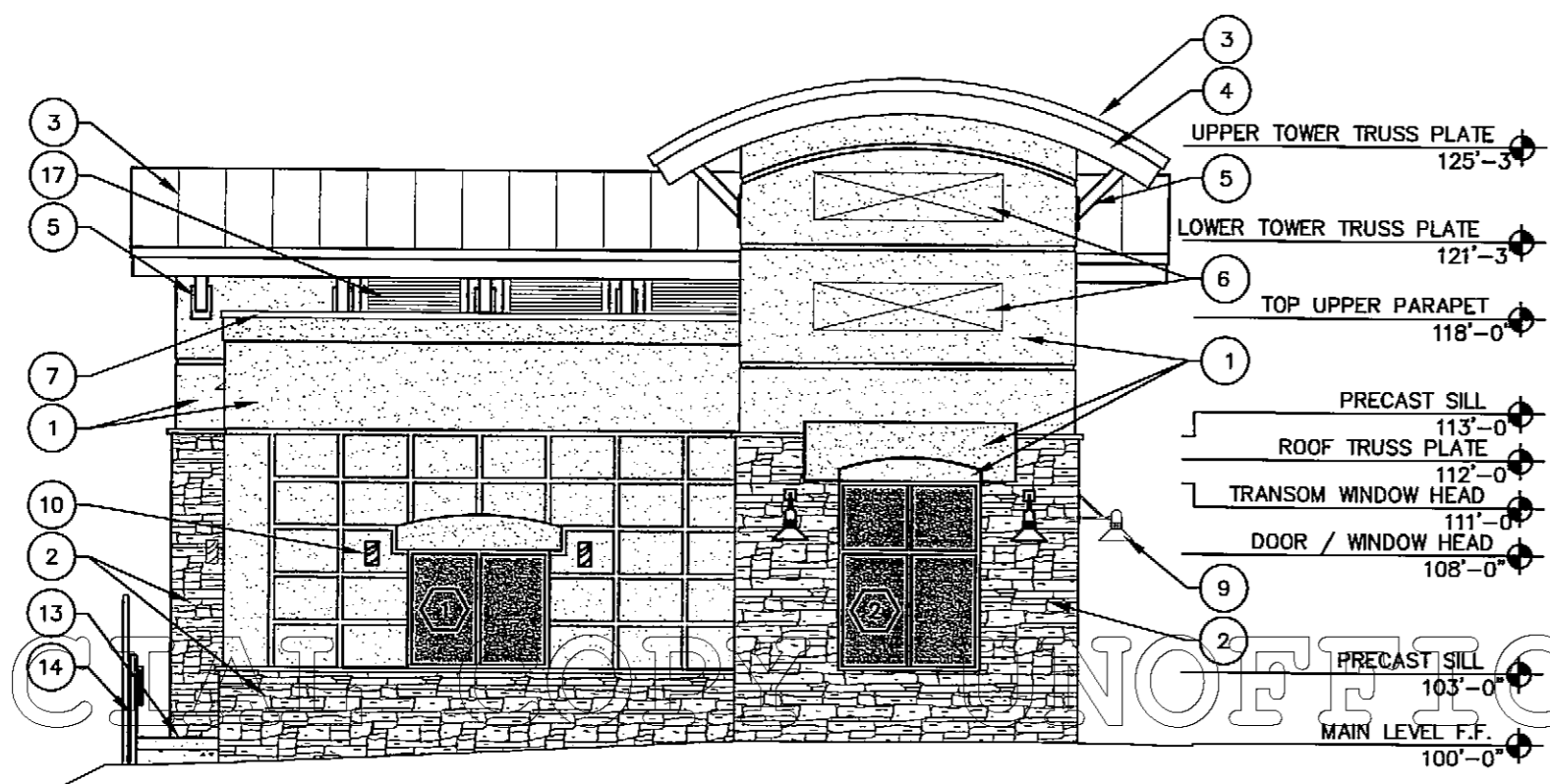
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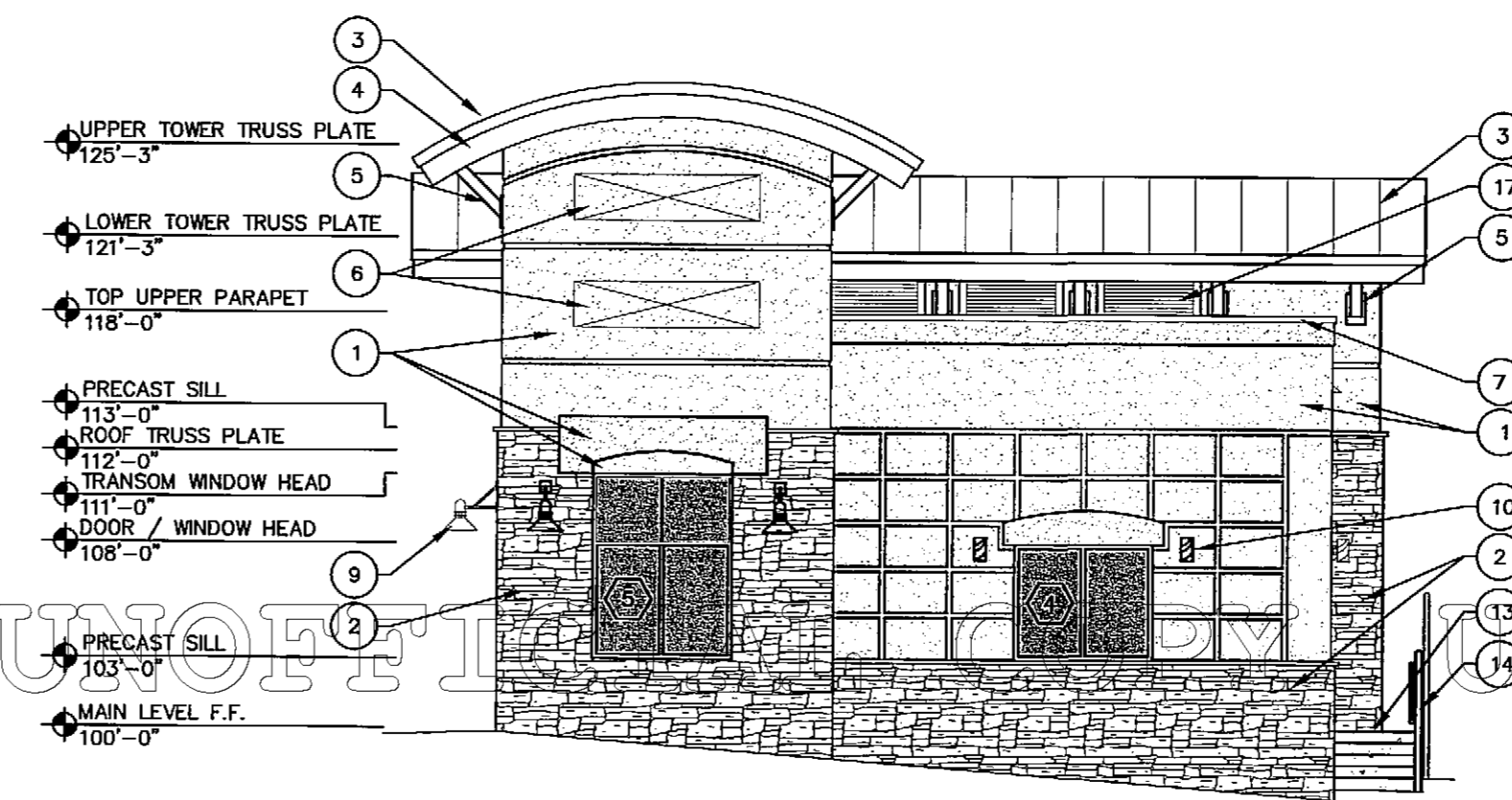
FINAL PD SITE PLAN
 LOT 2F, METZLER RANCH FILING NO. 3
 1st AMENDMENT
 BUILDING SECTIONS
 SHEET 9 OF 11

FINAL PD SITE PLAN
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
BUILDING ELEVATIONS



SOUTH ELEVATION

SCALE: 1/8"=1'

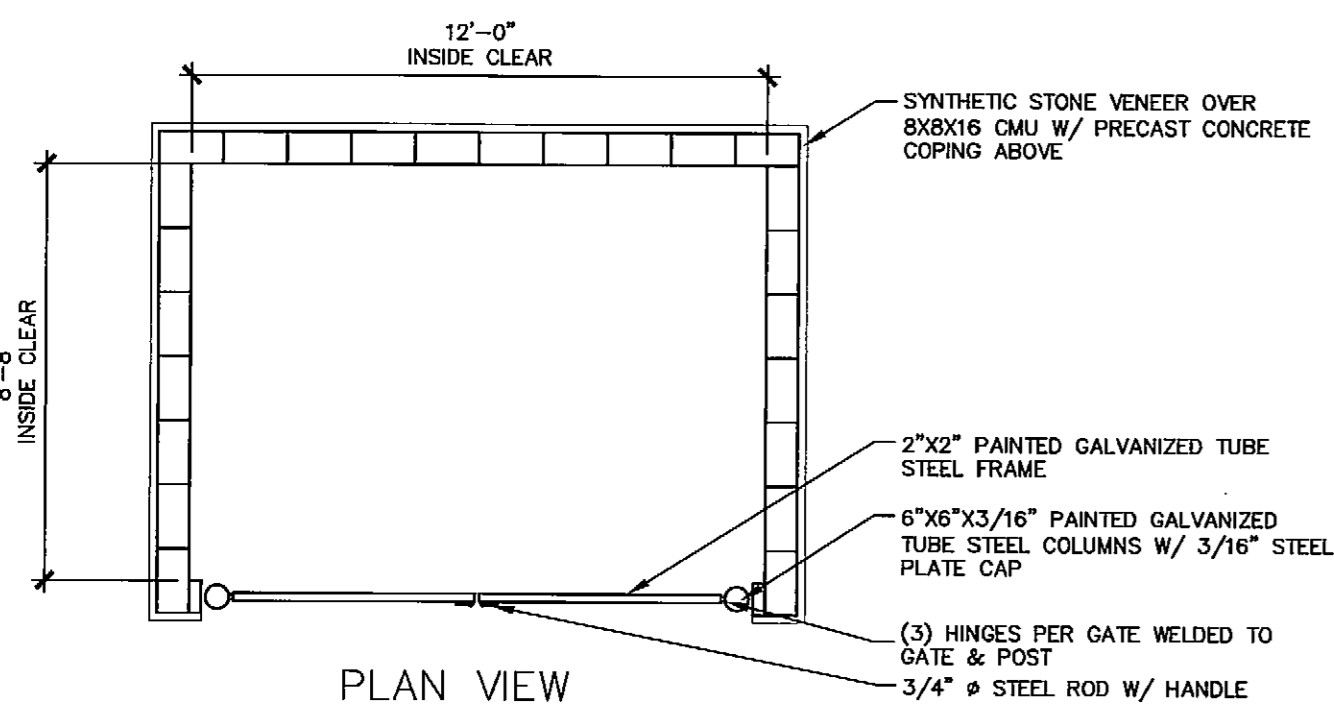


NORTH ELEVATION

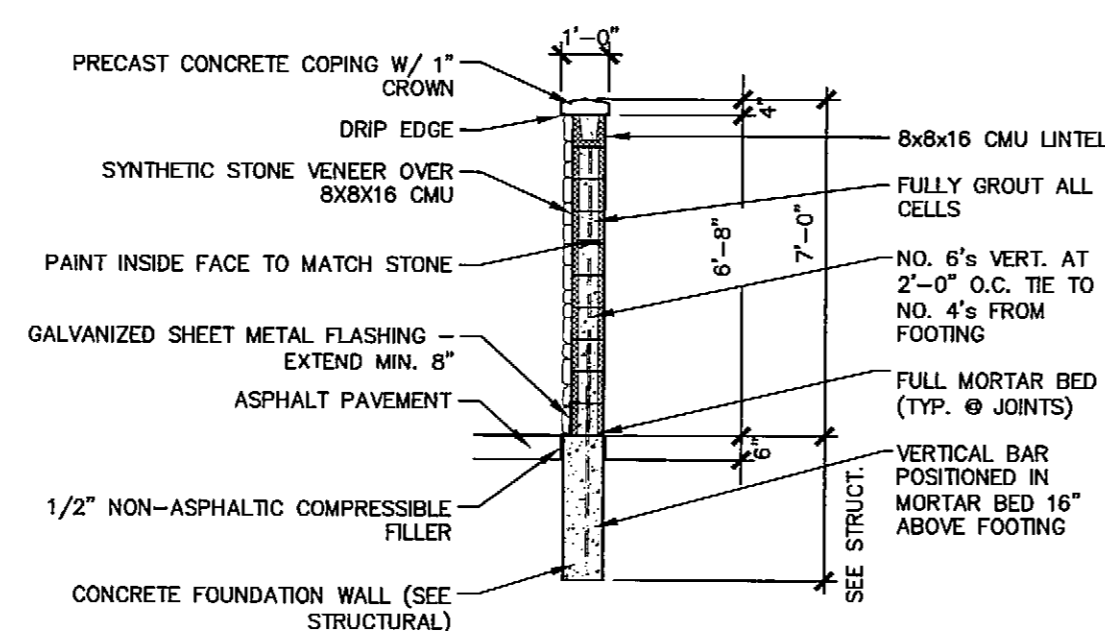
SCALE: 1/8"=1'

ELEVATION KEYNOTES:

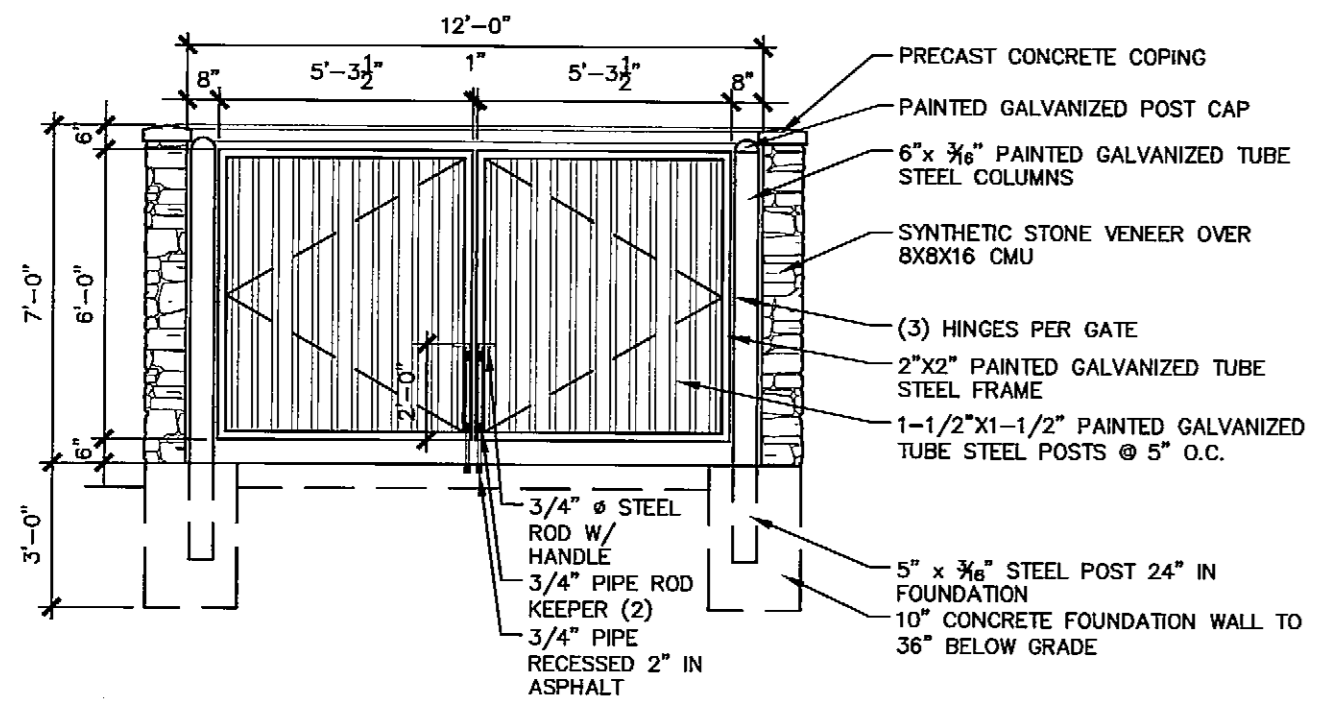
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PLAN VIEW



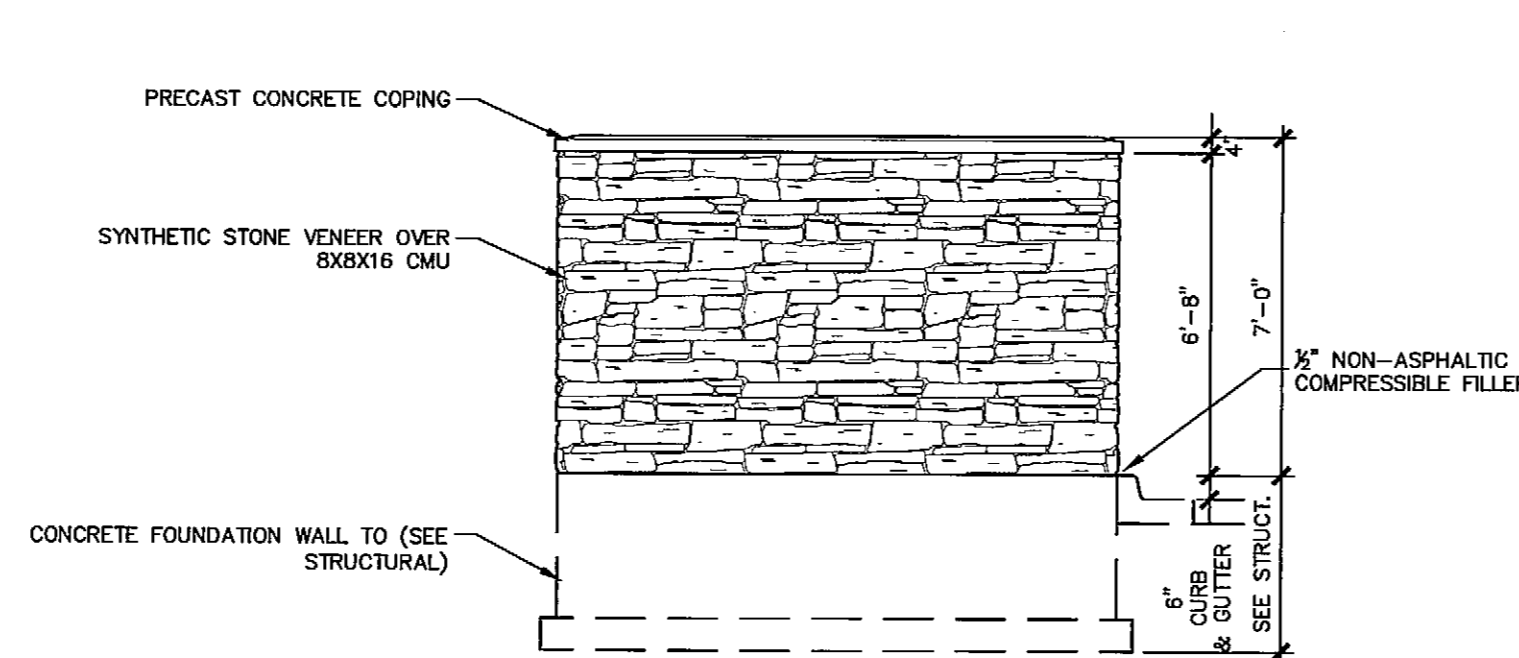
SECTION



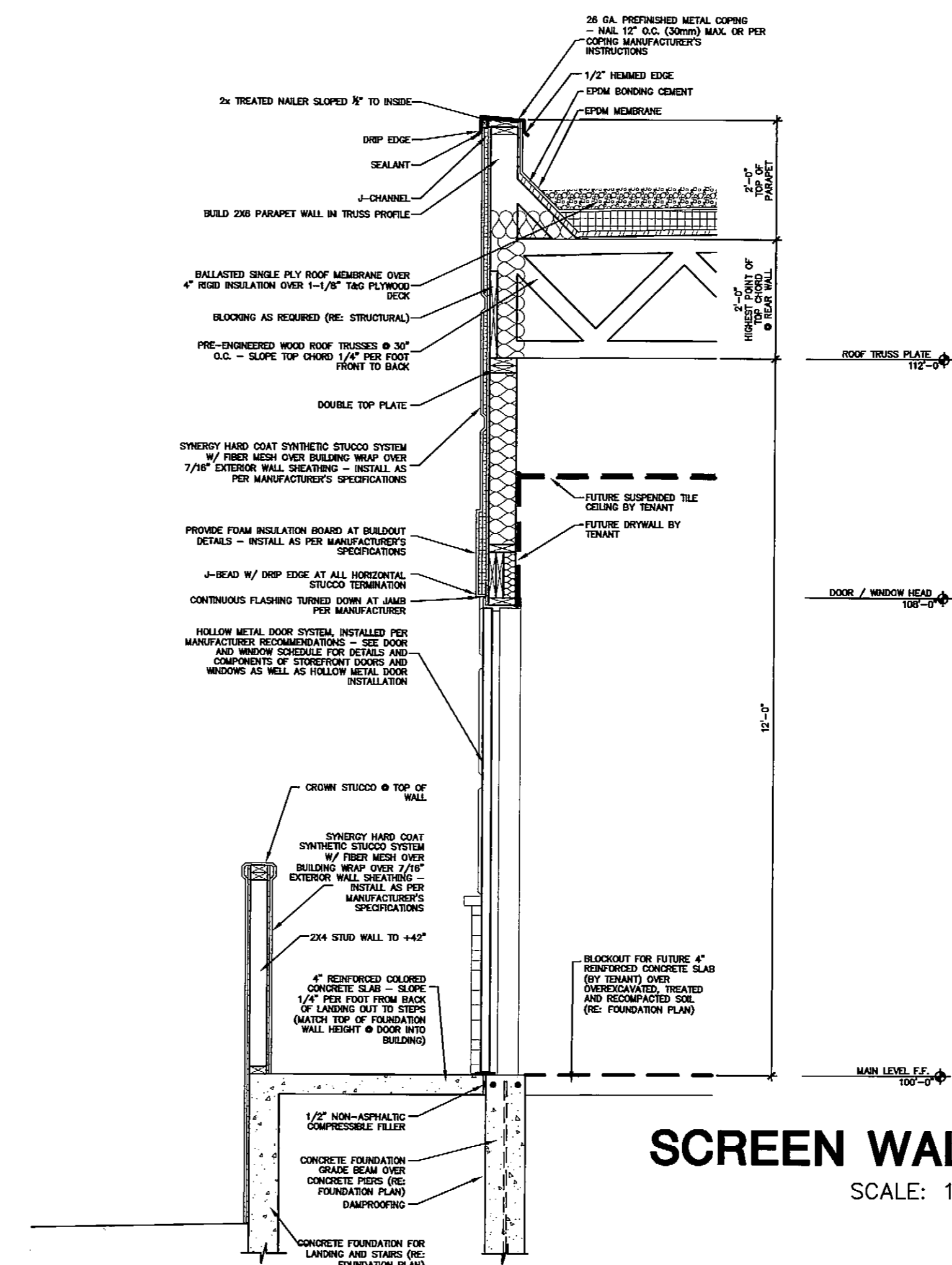
FRONT ELEVATION

TRASH ENCLOSURE

SCALE: 1/4"=1'



SIDE ELEVATION



SCREEN WALL SECTION

SCALE: 1/2"=1'



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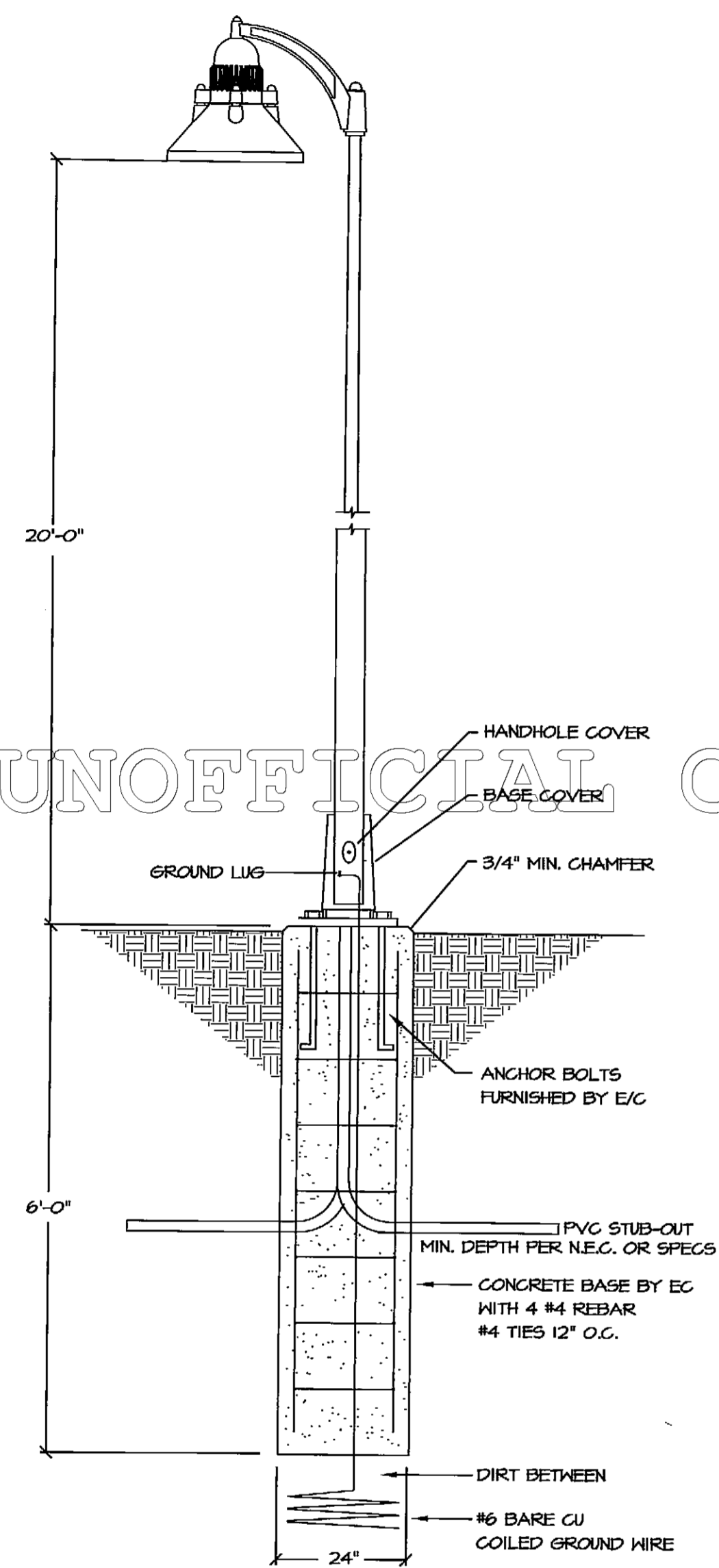
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LOT 2F, METZLER RANCH FILING NO. 3
1st AMENDMENT
BUILDING SECTIONS
SHEET 10 OF 11

FINAL PD SITE PLAN

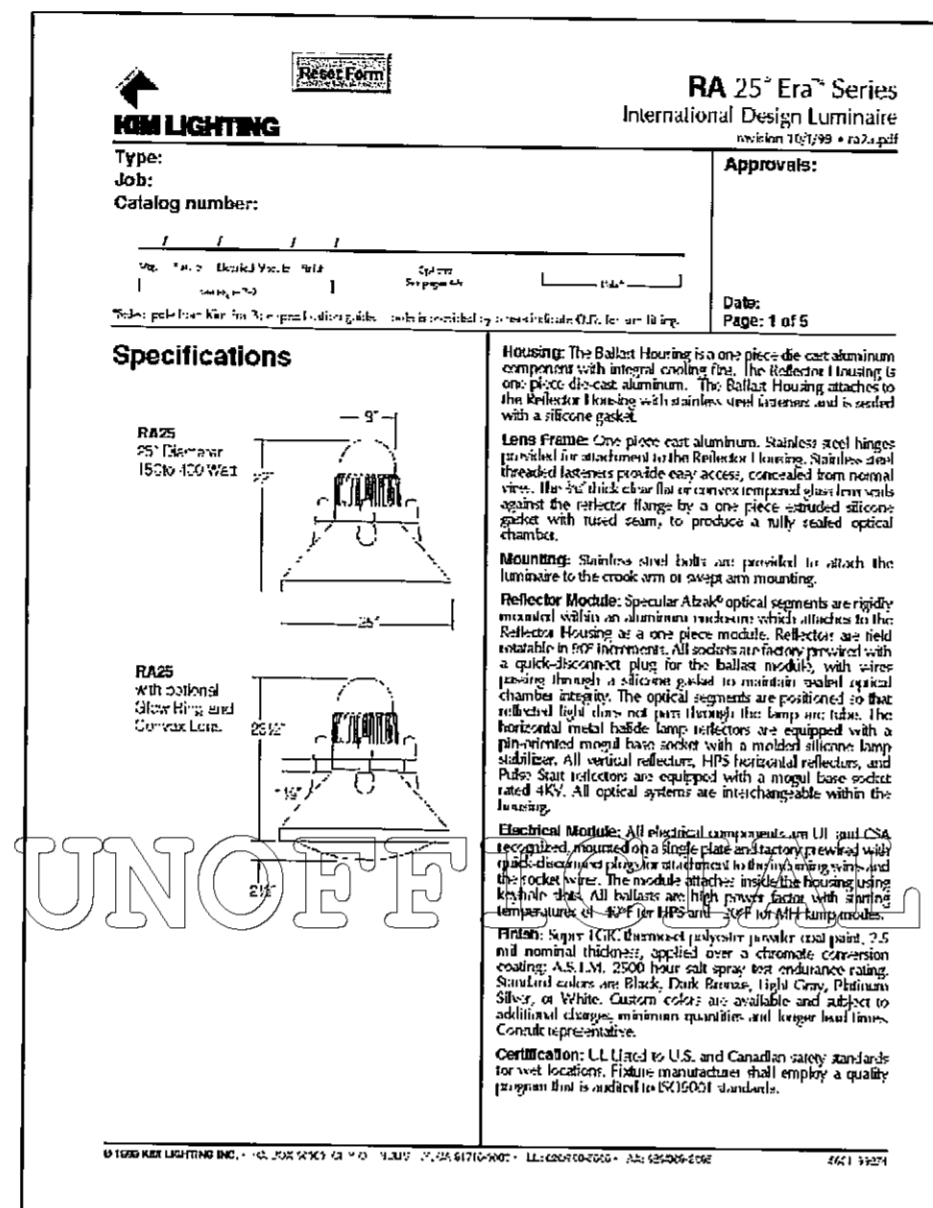
LOT 2F, METZLER RANCH FILING NO. 3, 1st AMENDMENT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

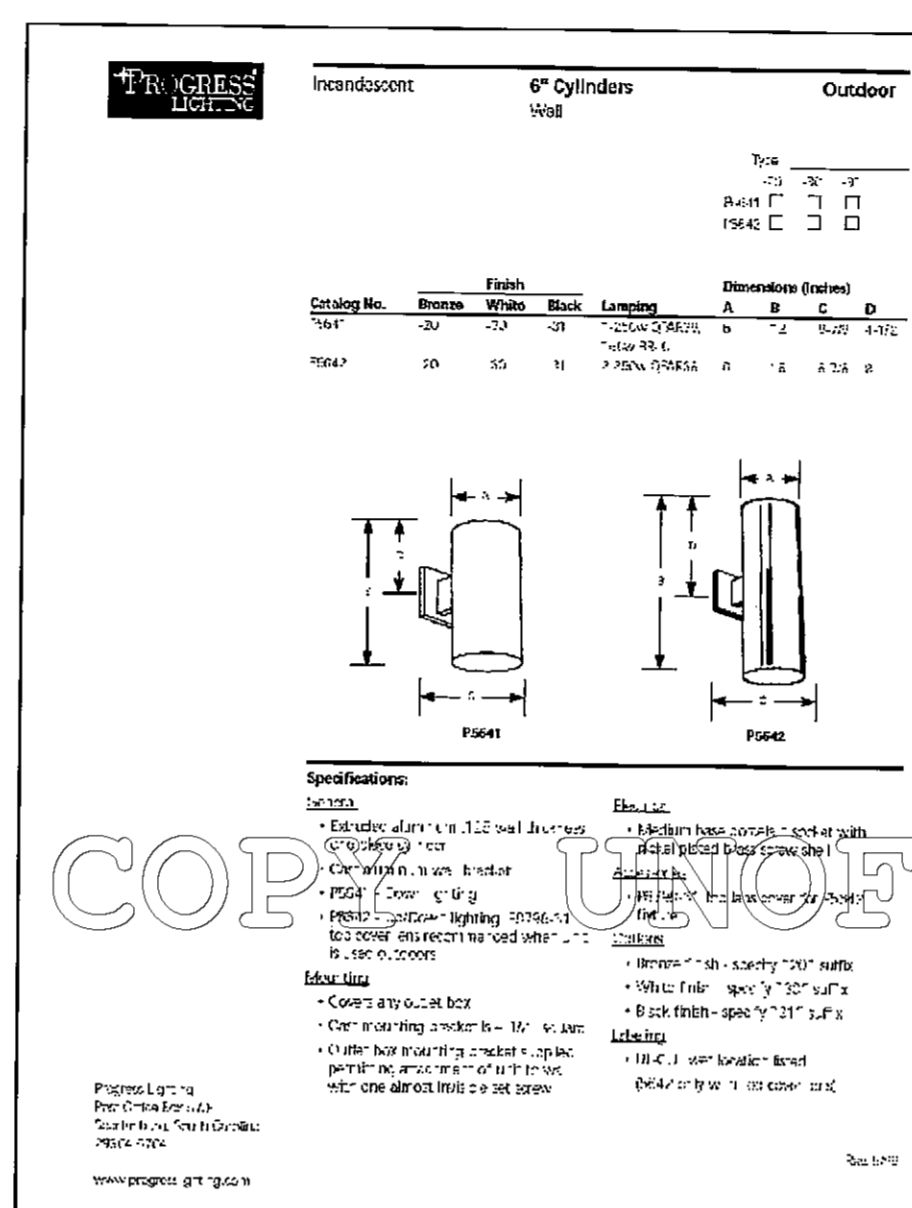
PHOTOMETRIC PLAN



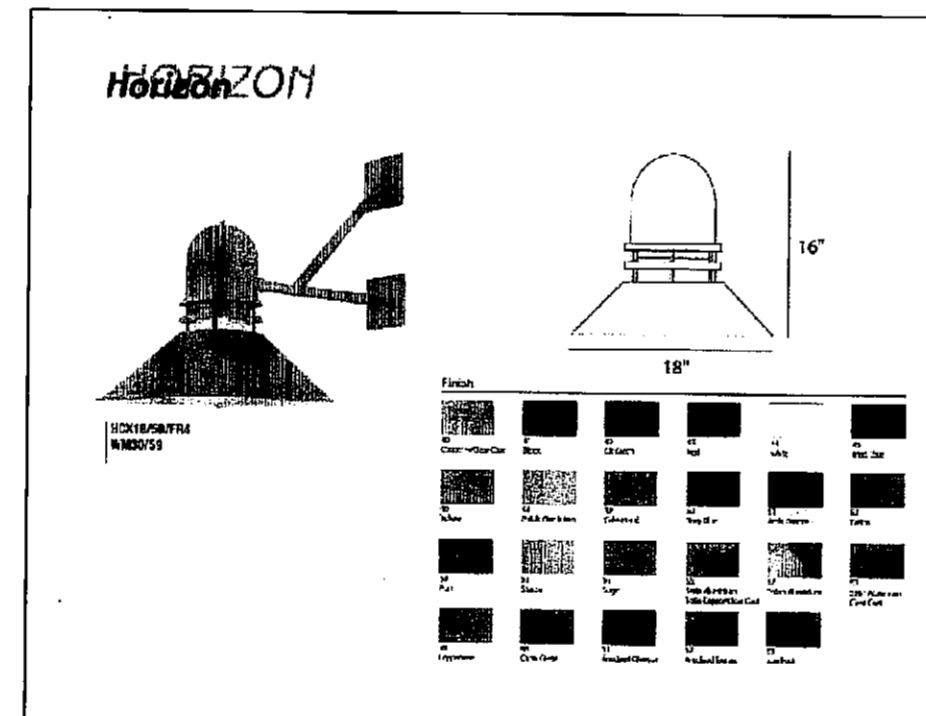
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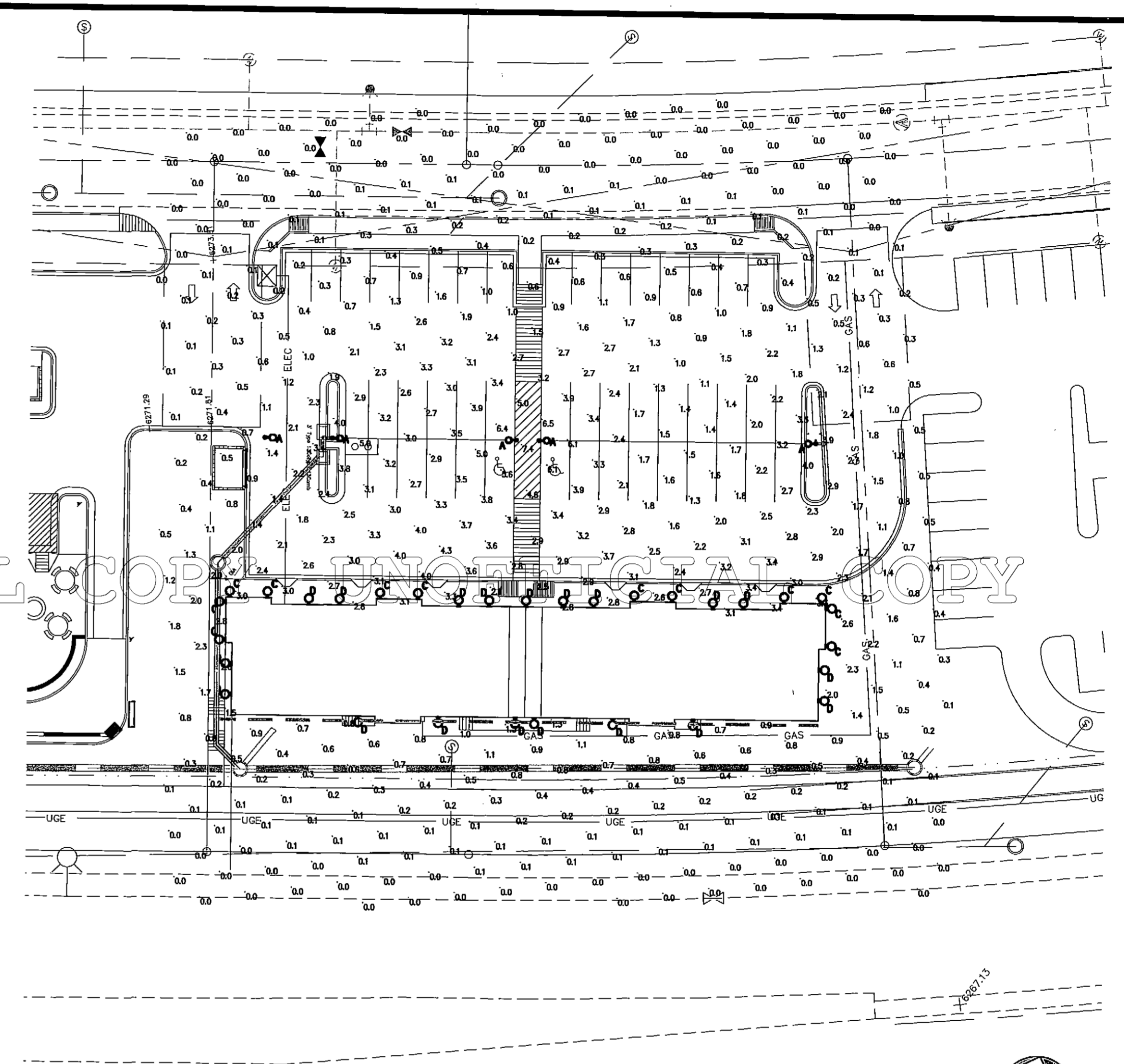
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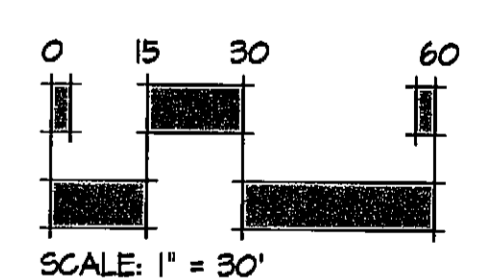
FIXTURE TYPE "D"
NOT TO SCALE



FIXTURE TYPE "C"
NOT TO SCALE



PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'



LIGHTING FIXTURE SCHEDULE					
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	LAMPS / BALLAST
A	KIM LIGHTING "ERA" SERIES	RA253 1A 175MH DB-P	SINGLE HEAD, ARM MOUNTED POLE FIXTURE FULL CUTOFF FIXTURE, TYPE III DISTRIBUTION FLAT LENS, DARK BRONZE FINISH, NO GLOW RING 175WATT METAL HALIDE	20'-0" AT TOP OF POLE. 18.5' SAS/SAL POLE	175W METAL HALIDE
C	BASELITE "HORIZON"	HCX18/59/FR4-WM30/59	DECORATIVE WALL SCONCE, SATIN ALUMINUM FINISH, 42W COMPACT FLUORESCENT, 2400 LUMENS	WALL MOUNT +114" AF.F.	32W CFL 80 CRI, 3000K
D	PROGRESS LIGHTING	P5641-CUSTOM COLOR BRUSHED CHROME	DECORATIVE WALL SCONCE, BRUSHED CHROME FINISH, 150W MAX INCANDESCENT	WALL MOUNT +96" AF.F.	150W BR-40

NOTE:
ALL BUILDING MOUNTED FIXTURES AND POLE MOUNTED PARKING LOT
FIXTURES TO BE CONTROLLED VIA PHOTOCELL ON - TIMECLOCK OFF.

**PARKING LOT LIGHTING
PHOTOMETRIC SITE PLAN**

**METZLER RANCH AT
FOUNDERS PARKWAY
LOT 2-F**

By: JK
Date: 2-20-04
Scale: 1"-20'-0"
Job No: 04025

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