

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN)

**LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO**

TITLE SHEET

PROPERTY DESCRIPTION

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

SURVEYOR'S STATEMENT

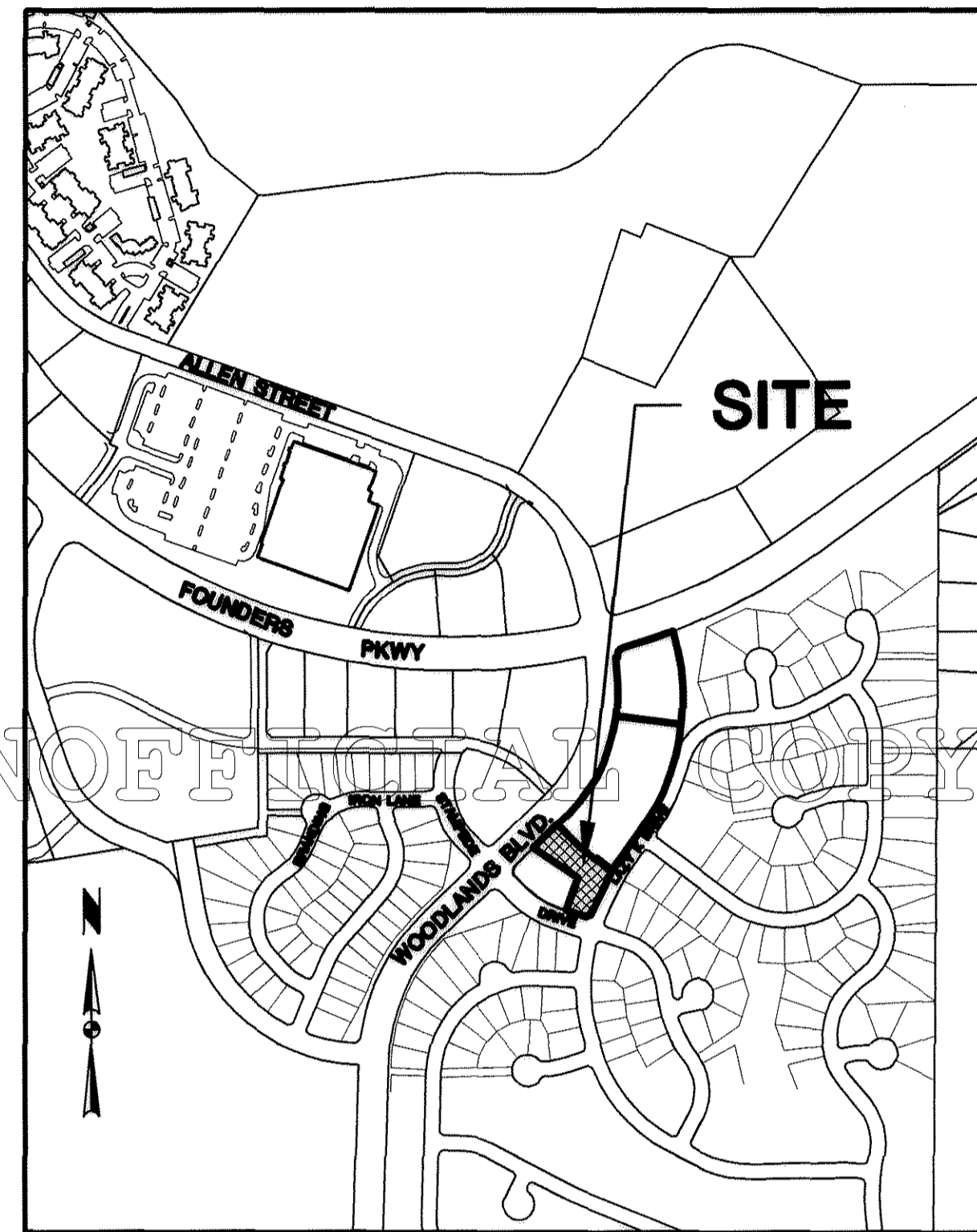
I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger 11/11/2010
 PROFESSIONAL LAND SURVEYOR DATE
 COLORADO REGISTRATION NO. 22564



NOTES:

- BENCHMARK: SOUTH TRAFFIC FLANGE BOLT OF FIRE HYDRANT ON EAST SIDE OF WOODLANDS BOULEVARD, 450 FEET SOUTH OF THE INTERSECTION WITH FOUNDERS PARKWAY, ELEVATION = 6271.09 (NAVD88)
- THE BASIS OF BEARINGS FOR THIS SURVEY IS: NORTH PROPERTY LINE OF LOT 2-A, METZLER RANCH FILING 10, 1ST AMENDMENT; SAID LINE BEARS: SOUTH 83°20'42" EAST.
- THE DEVELOPER IS RESPONSIBLE FOR CONFORMANCE WITH THE TOWN OF CASTLE ROCK'S CURRENT WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY.
- NO SOLID OBJECT EXCEEDING THIRTY INCHES (30") IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, MONUMENT SIGNS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPING PLANTINGS, CUT SLOPES OR BERMS, SHALL BE PLACED IN THE SIGHT TRIANGLES.
- IN ACCORDANCE WITH THE METZLER RANCH FILING NO. 3 DEVELOPMENT AGREEMENT, REC. NO. 9561705, THE FOLLOWING METERS WILL BE USED AND CORRESPONDING SFE'S WILL BE DEDUCTED FROM THE METZLER RANCH WATER BANK 2:
 LOT 2-A-2 DOMESTIC METER SIZE: 1-1/4-INCH SFE'S: 2
 IRRIGATION METER SIZE: 3/4-INCH SFE'S: 1
 TOTAL SFE'S: 3
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THE PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 15% FEE.
- PURSUANT TO SECTION 3.3.4E5-7 AND 4.2.5 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES, AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- THERE ARE NO KNOWN FEMA-REGULATED FLOODPLAINS OR WETLANDS ON THIS SITE ACCORDING FIRM PANELS 08035C0186F AND 08035C0188F DATED SEPTEMBER, 2005.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- "FIRE LANE" SIGNS SHALL BE PLACED ALONG BOTH SIDES OF EACH ACCESS ROAD AS DETERMINED BY THE TOWN OF CASTLE ROCK FIRE DEPARTMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES. DRY UTILITIES CROSSINGS MAY BE PERMITTED IN OTHER UTILITY OR DRAINAGE EASEMENTS PROVIDED THE CROSSINGS ARE AT A 90° ANGLE. IN ALL CASES, PRIOR APPROVAL OF THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT SHALL BE OBTAINED FOR DRY UTILITY CROSSINGS OF EXCLUSIVE WET UTILITY EASEMENTS AND EXCLUSIVE DRAINAGE EASEMENTS.
- 24 HOUR BUSINESS OPERATIONS SHALL BE PERMITTED FOR EMERGENCY MEDICAL AND DENTAL CLINICS AND FITNESS FACILITIES. ANY OTHER PROPOSED 24 HOUR BUSINESS OPERATION SHALL BE APPROVED BY THE CASTLE ROCK TOWN COUNCIL AS A USE BY SPECIAL REVIEW.
- FOR ANY 24 HOUR BUSINESS OPERATION SCREENING OF THE WINDOWS IN THE FORM OF WINDOW TINT OR BLINDS SHALL BE USED.
- FOR ANY 24 HOUR USE, INTERIOR LIGHTING SHALL BE REDUCED TO A MAXIMUM OF 50% OF NORMAL LIGHTING OR TO MINIMUM BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE, BETWEEN THE HOURS OF 10:00 PM AND 6:00 AM.
- PERMANENT BUILDING FASCIA SIGNS SHALL BE CHANNEL OR REVERSE CHANNEL AND CONSTRUCTED OF INDIVIDUAL METAL LETTERS AND LOGOS AND SHALL BE WHITE IN COLOR. INTERNAL ILLUMINATION OF SIGNS SHALL BE ALLOWED EXCEPT BETWEEN THE HOURS OF 9:00 PM TO 5:00 AM.
- REGULAR BUSINESS HOURS OF OPERATION SHALL BE FROM 6:00 AM TO 10:00 PM.
- INTERNAL LIGHT MOTION DETECTORS ARE REQUIRED TO BE USED IN THE SUITES OF ANY BUSINESS OPERATING ON A 24-HOUR BASIS.
- ILLUMINATION OF EXTERIOR BUILDING MOUNTED LIGHTS FACING ADJACENT TO RESIDENTIAL ZONED PROPERTY SHALL BE PERMITTED EXCEPT BETWEEN THE HOURS OF 9:00 PM AND 5:00 AM. BUILDING MOUNTED LIGHTS REQUIRED FOR SAFETY AND SECURITY SHALL BE EXEMPTED FROM THIS RESTRICTION.



VICINITY MAP
 500 0 500
 scale 1"=500' feet

SITE DATA	
PRESENT ZONING:	PD
PROPOSED ZONING:	PD
PRESENT USE:	VACANT
PROPOSED USES:	FINANCIAL INSTITUTION CATERING SERVICE GOVERNMENT AND PUBLIC FACILITIES LABORATORY MUSEUM INDOOR RECREATIONAL FACILITY POST OFFICE PUBLIC UTILITY FINE ARTS GALLERY A/O FINE ARTS STUDIO PHARMACY OFFICES CLINIC (INCLUDING SURGERY CENTERS) PERSONAL SERVICE SHOP STUDIO PRIVATE/PUBLIC SCHOOL UTILITY OFFICE

LOT 2-A-2		
ADDRESS:	4342 WOODLANDS BLVD CASTLE ROCK, CO 80104	
ITEM	SQ. FOOTAGE	%
TOTAL	47,280 S.F.	100
BUILDING FOOTPRINT	7,168	15.1
PARKING/ROADS	23,395	49.5
HARDSCAPE TOTAL	30,563	64.6
PLANTED AREA	16,717	35.4
EXISTING VEGETATION	0	0.0
LANDSCAPE TOTAL	16,717	35.4
FLOOR AREA RATIO	0.30	

BUILDING SIZE	
GROSS FLOOR AREA ALLOWED	14,336 SF
GROSS FLOOR AREA PROPOSED	14,336 SF
PERMITTED BUILDING HEIGHT	50.00'
PROPOSED BUILDING HEIGHT	39.50'
SITE SETBACKS	
PARKING SETBACK	15'
BUILDING SETBACK	15'

PARKING TABULATION	
REQUIRED PARKING	x 11,200 SF MOB-NET
MIN. 5 SPACES PER 1,000 SF GLA	56 SPACES
PROVIDED PARKING	53 FULL SIZE (9'x18') 3 HANDICAP
	56 TOTAL

SHEET INDEX

- TITLE SHEET
- SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- LANDSCAPE PLAN
- LANDSCAPE DETAILS
- LANDSCAPE NOTES
- IRRIGATION PLAN
- IRRIGATION DETAILS
- IRRIGATION DETAILS
- BUILDING ELEVATIONS
- PHOTOMETRIC PLANS

PLANNING COMMISSION RECOMMENDATION

THIS FINAL PD SITE PLAN AMENDMENT WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 23RD DAY OF September, 2010.

Jesha Lee 12/2/10
 CHAIR DATE

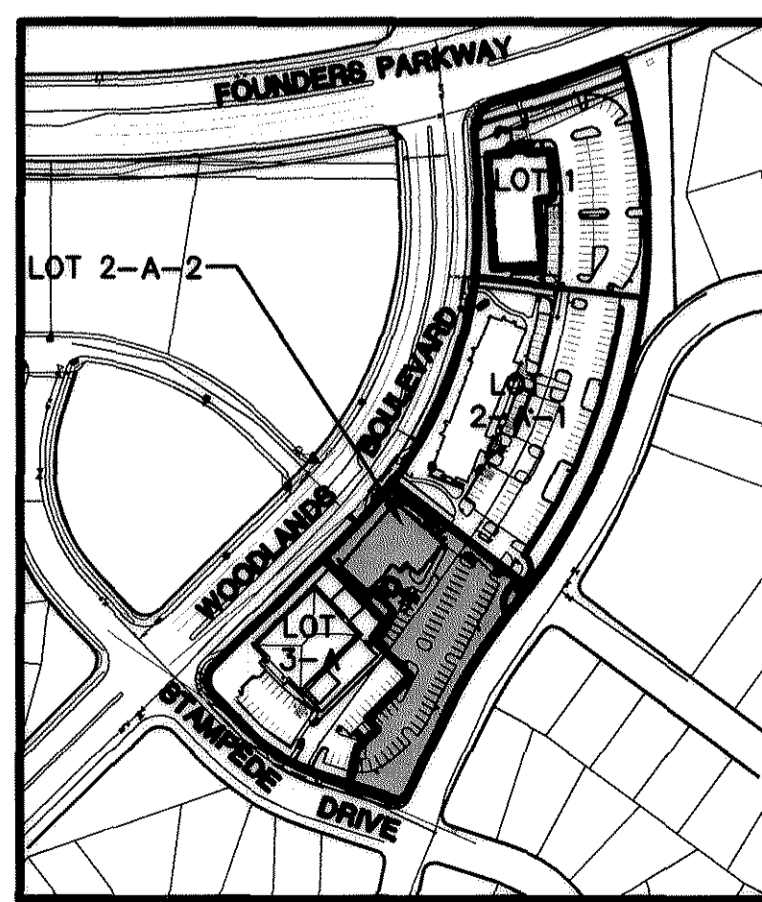
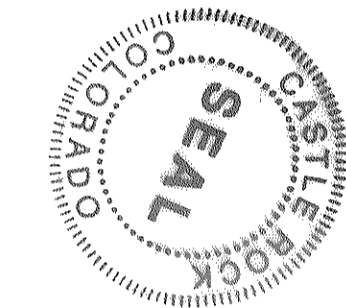
ATTEST:
[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES

TOWN COUNCIL APPROVAL

THIS FINAL PD SITE PLAN AMENDMENT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 18TH DAY OF October, 2010.

[Signature] 12/21/10
 MAYOR DATE

ATTEST:
[Signature] 12/21/10
 TOWN CLERK DATE

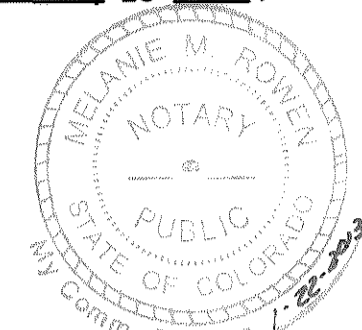


SITE MAP

OWNER: THE POINT AT METZLER RANCH LLC, A COLORADO LIMITED LIABILITY COMPANY
 THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT, IN THE TOWN OF CASTLE ROCK.

EXECUTED THIS 15TH DAY OF November, 2010.
 BY: *[Signature]*

TITLE: MANAGER
 STATE OF Colorado }
 COUNTY OF Douglas } S



SUBSCRIBED AND SWORN TO BEFORE ME THIS 15TH DAY OF November, 2010 BY Roger Bumgarner AS Manager.

WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: 1-22-2013 *[Signature]*
 NOTARY PUBLIC

LIENHOLDER SUBORDINATION CERTIFICATE
 THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT, IN THE TOWN OF CASTLE ROCK. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON MAY 29, 2009 AT RECEPTION NUMBER 2009040533, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS, AND RESTRICTIONS OF THIS DOCUMENT.

LIENHOLDER: FIRST COMMERCIAL BANK
 EXECUTED THIS 17TH DAY OF November, 2010
 BY: *[Signature]* AS: President/COLORADO FOR FIRST COMMERCIAL BANK

STATE OF Colorado }
 COUNTY OF Douglas } S

SUBSCRIBED AND SWORN TO BEFORE ME THIS 17TH DAY OF November, 2010 BY: Don Rogers AS: PRESIDENT

WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: 05/18/11 *[Signature]*
 NOTARY PUBLIC

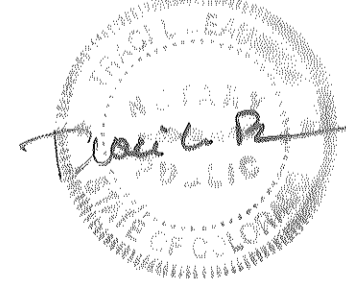
TITLE CERTIFICATION
 I, *[Signature]* AN AUTHORIZED REPRESENTATIVE OF *[Signature]* A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 30TH DAY OF November, 2010.

[Signature]
 AUTHORIZED REPRESENTATIVE
[Signature]
 TITLE INSURANCE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30 DAY OF November, 2010 BY *[Signature]*

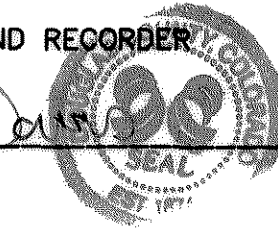
WITNESS MY HAND AND OFFICIAL SEAL.
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 8-27-2011 *[Signature]*



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PD SITE PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:06 P.M. ON THE 14TH DAY OF January, 2011 AT RECEPTION NO. 2011003864

DOUGLAS COUNTY CLERK AND RECORDER
 BY: *[Signature]*
 DEPUTY



AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN)
 FPD 10-0003
 TITLE SHEET
 SHEET 1 OF 12

OWNER
 THE POINT AT METZLER RANCH, LLC
 98 CROWN POINT
 CASTLE ROCK, CO 80104
 TELEPHONE: (303) 520-5046

DEVELOPER
 RLB CORPORATION
 98 CROWN POINT
 CASTLE ROCK, CO 80104
 TELEPHONE: (303) 520-5046

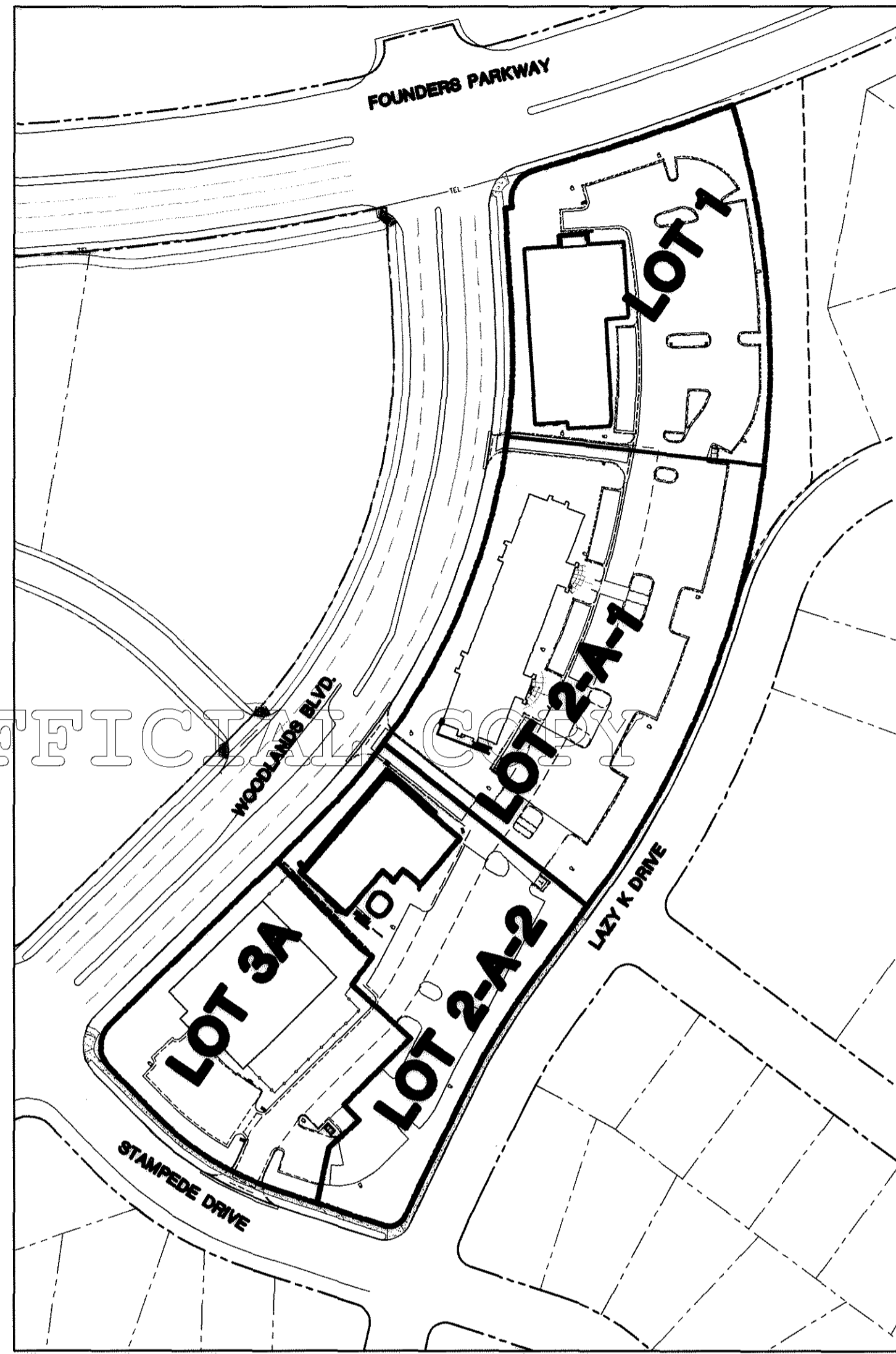
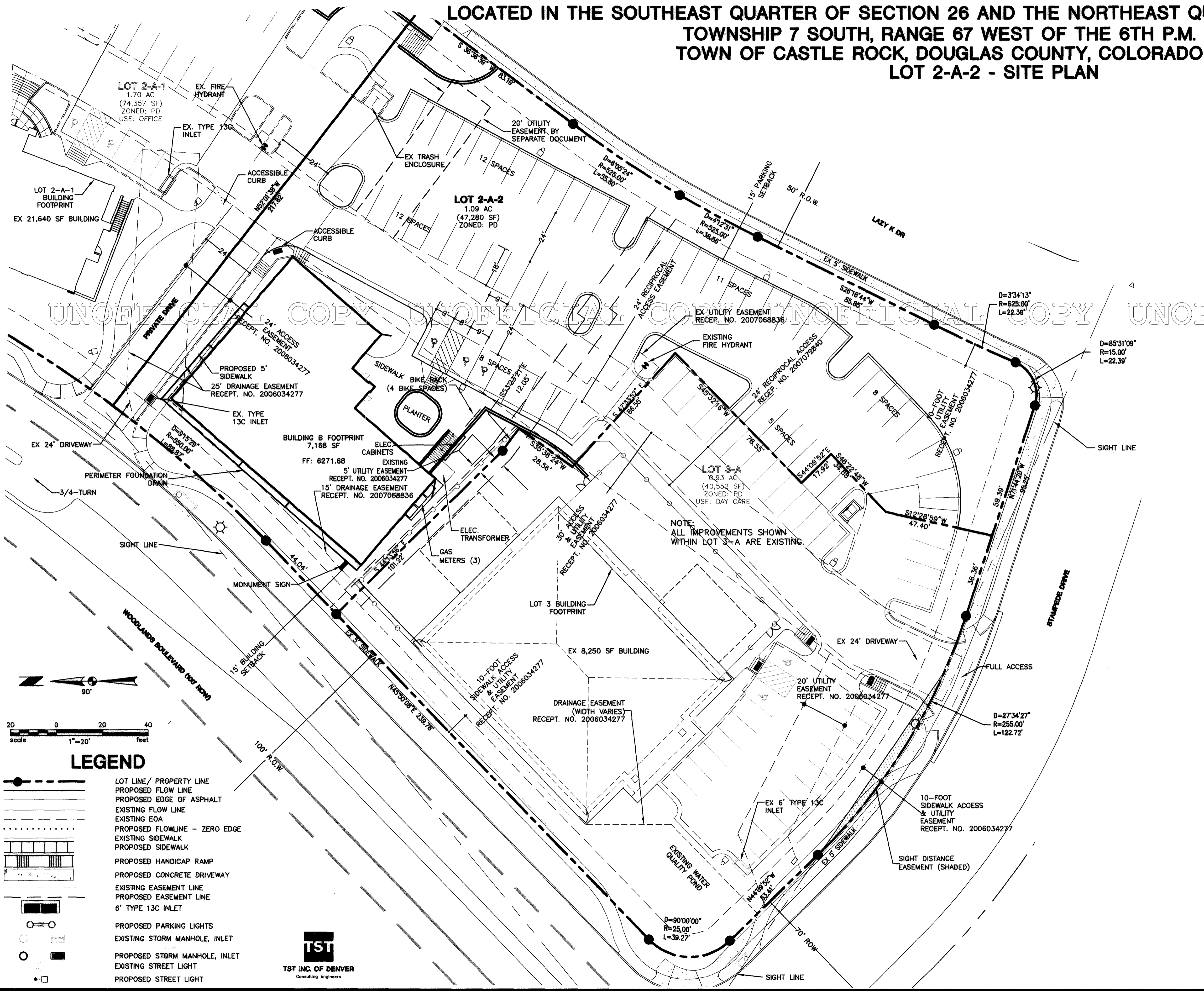


LIENHOLDER
 FIRST COMMERCIAL BANK
 10457 PARK MEADOWS DRIVE
 LONE TREE, CO 80124
 TELEPHONE: (303) 706-1723

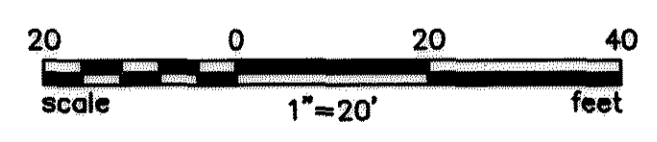
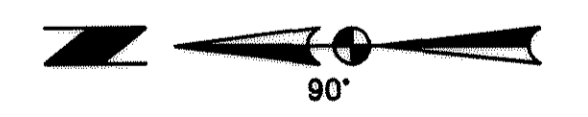
ENGINEER/PLANNER/SURVEYOR
 TST INC. OF DENVER
 9222 TEDDY LANE
 LONE TREE, CO 80124
 TELEPHONE: (303) 792-0557

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN)

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 - SITE PLAN



UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY UNOFFICIAL COPY



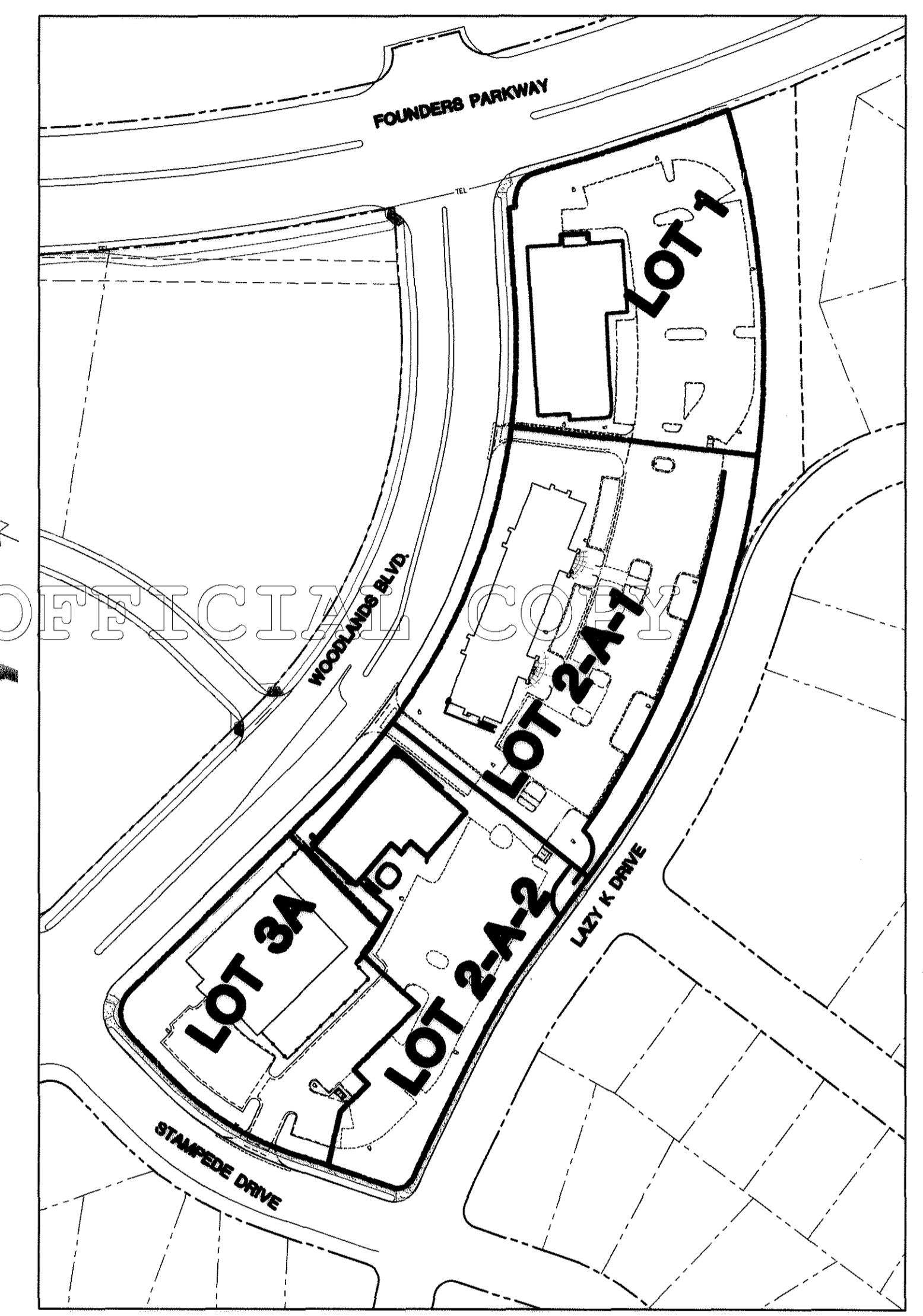
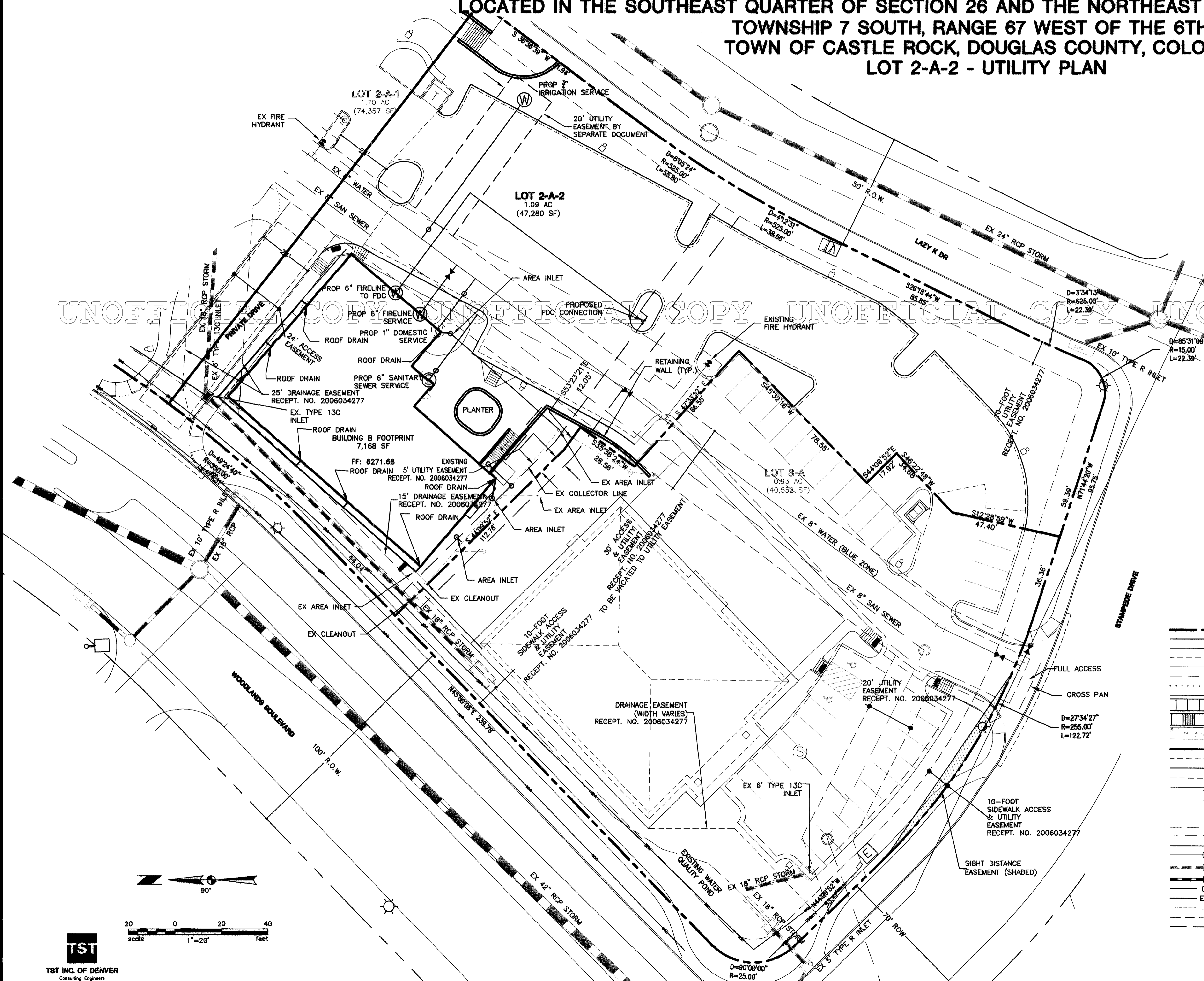
LEGEND

- LOT LINE/ PROPERTY LINE
- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- EXISTING FLOW LINE
- EXISTING EOA
- PROPOSED FLOWLINE - ZERO EDGE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED CONCRETE DRIVEWAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 6' TYPE 13C INLET
- PROPOSED PARKING LIGHTS
- EXISTING STORM MANHOLE, INLET
- PROPOSED STORM MANHOLE, INLET
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT



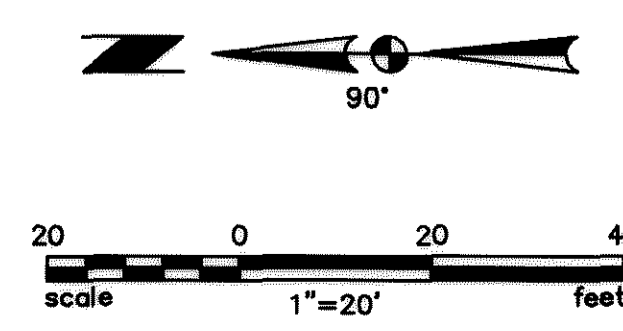
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LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 - UTILITY PLAN



LEGEND

- LOT LINE/ PROPERTY LINE
- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- PROPOSED TOP BACK OF CURB
- EXISTING FLOW LINE
- EXISTING EOA
- PROPOSED FLOWLINE - ZERO EDGE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED WATER SERVICE
- EXISTING WATER SERVICE
- CURB STOP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- WATER VALVE
- EXISTING SANITARY SEWER & MH
- EXISTING SANITARY SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED SANITARY LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

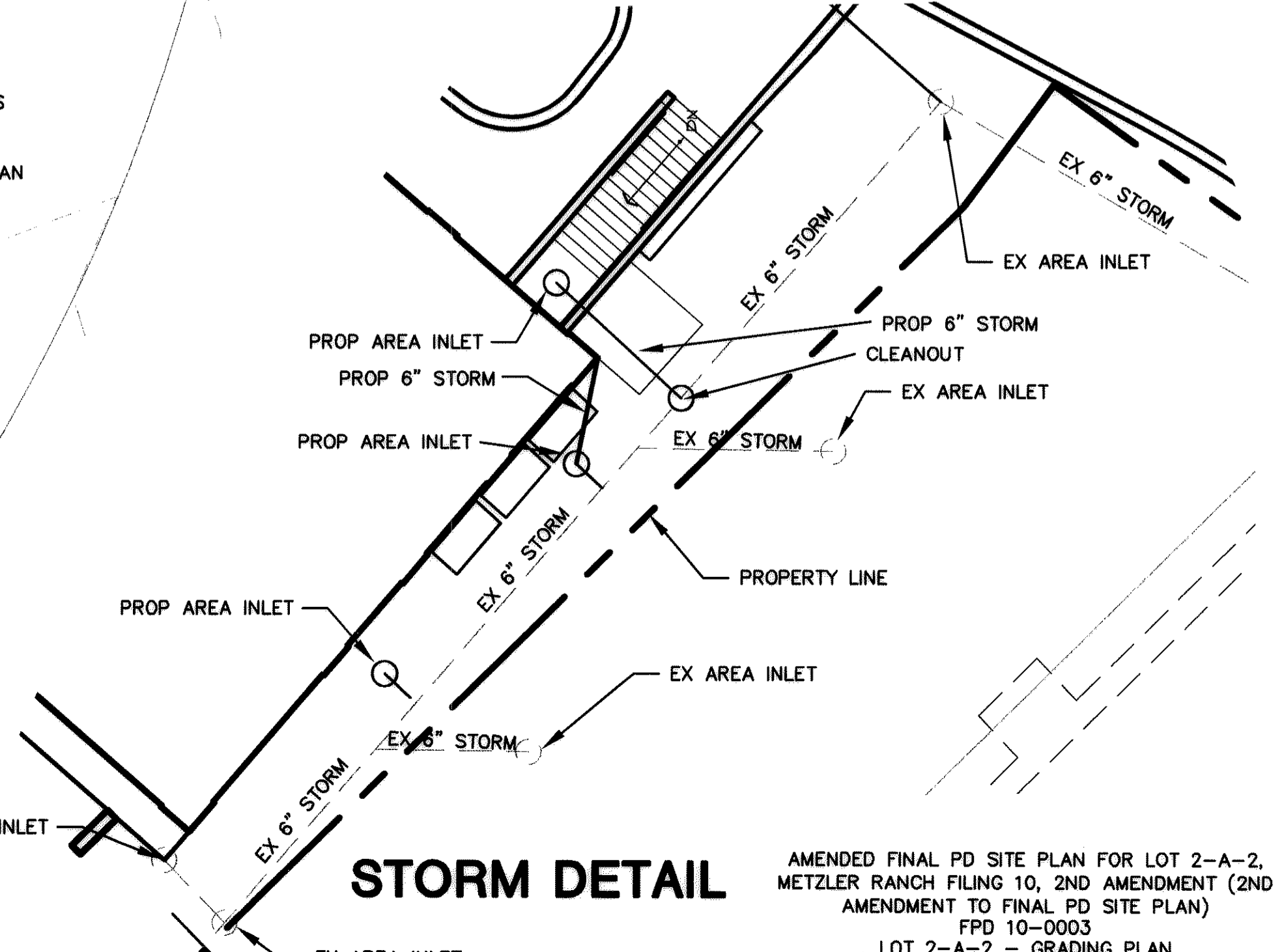
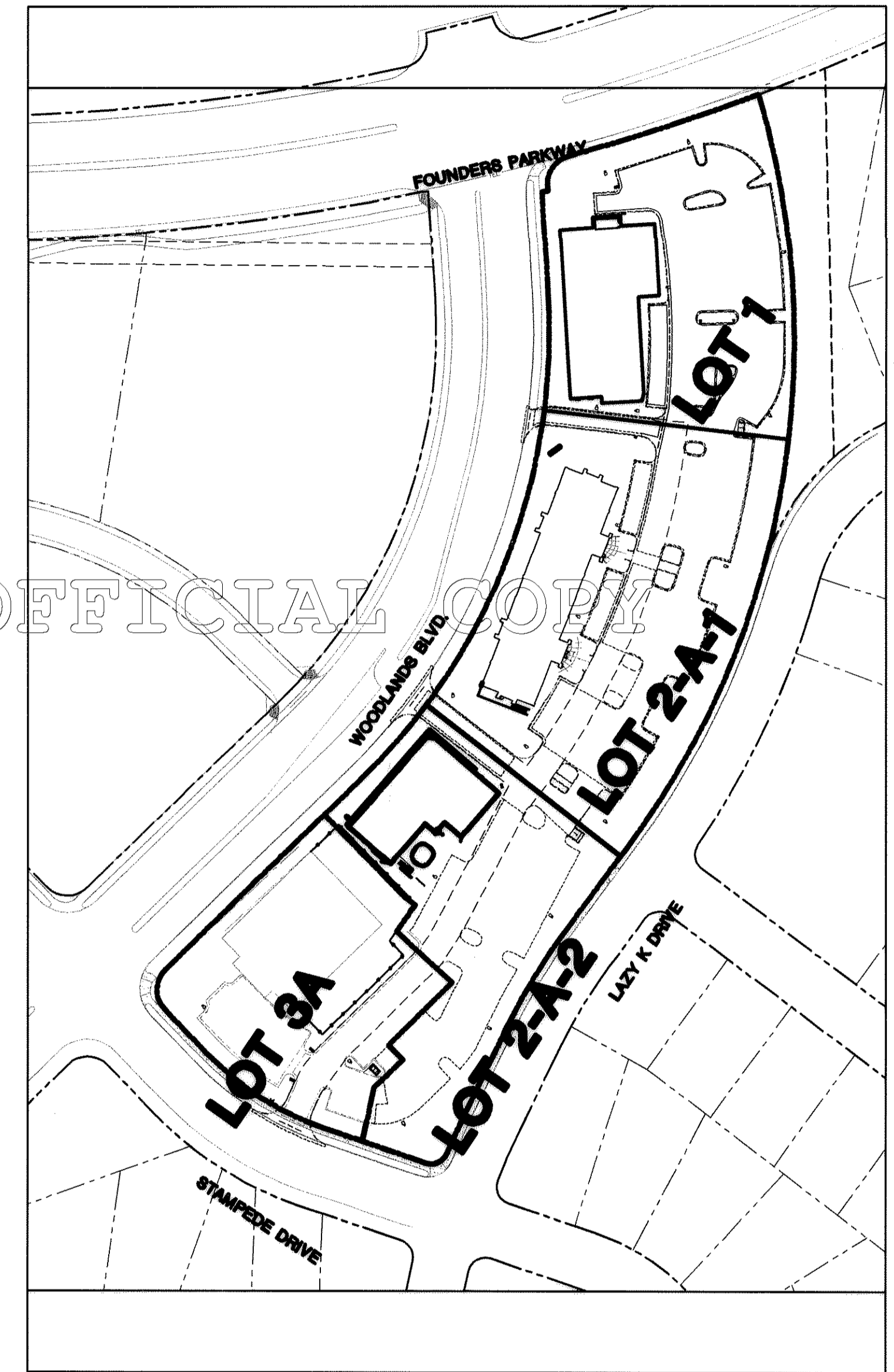
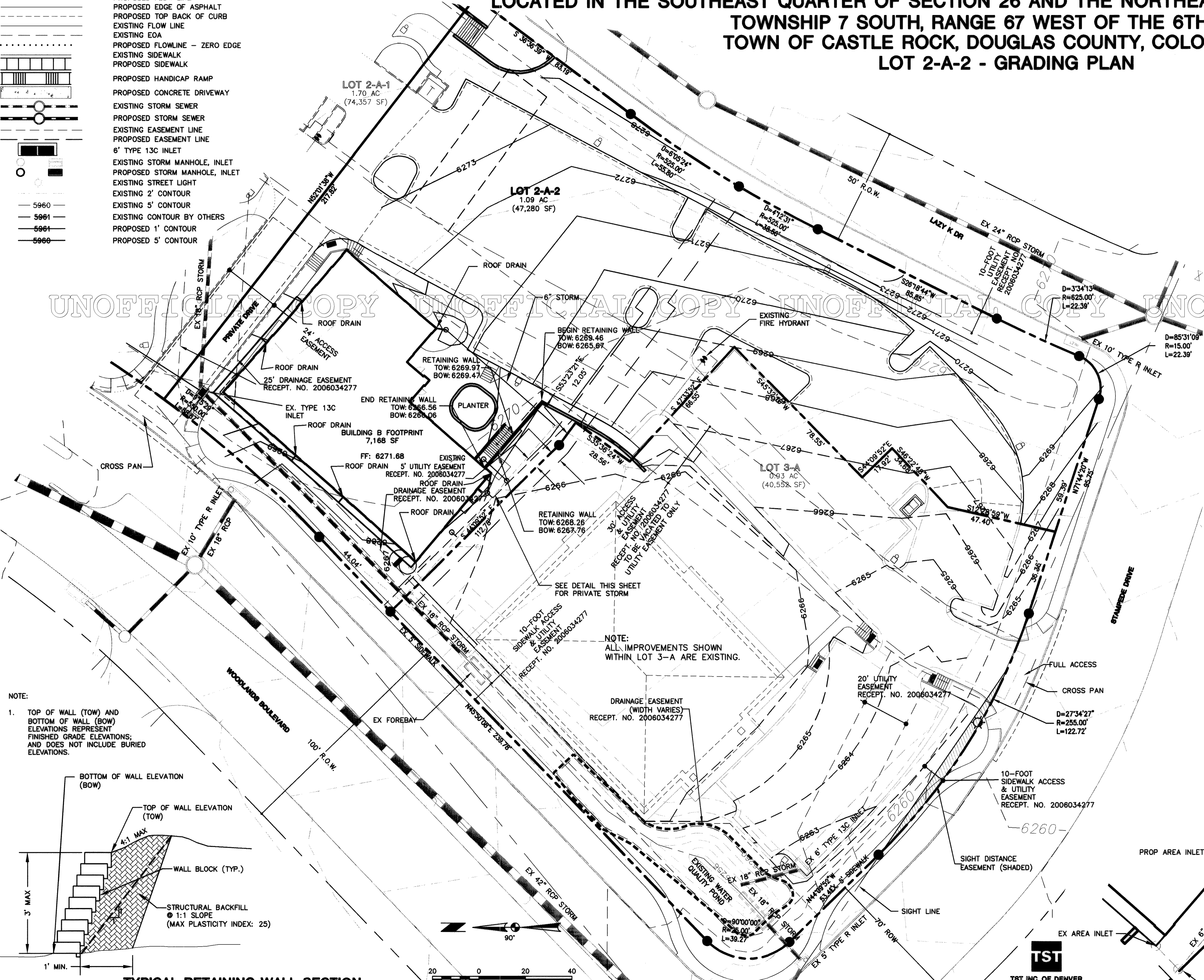


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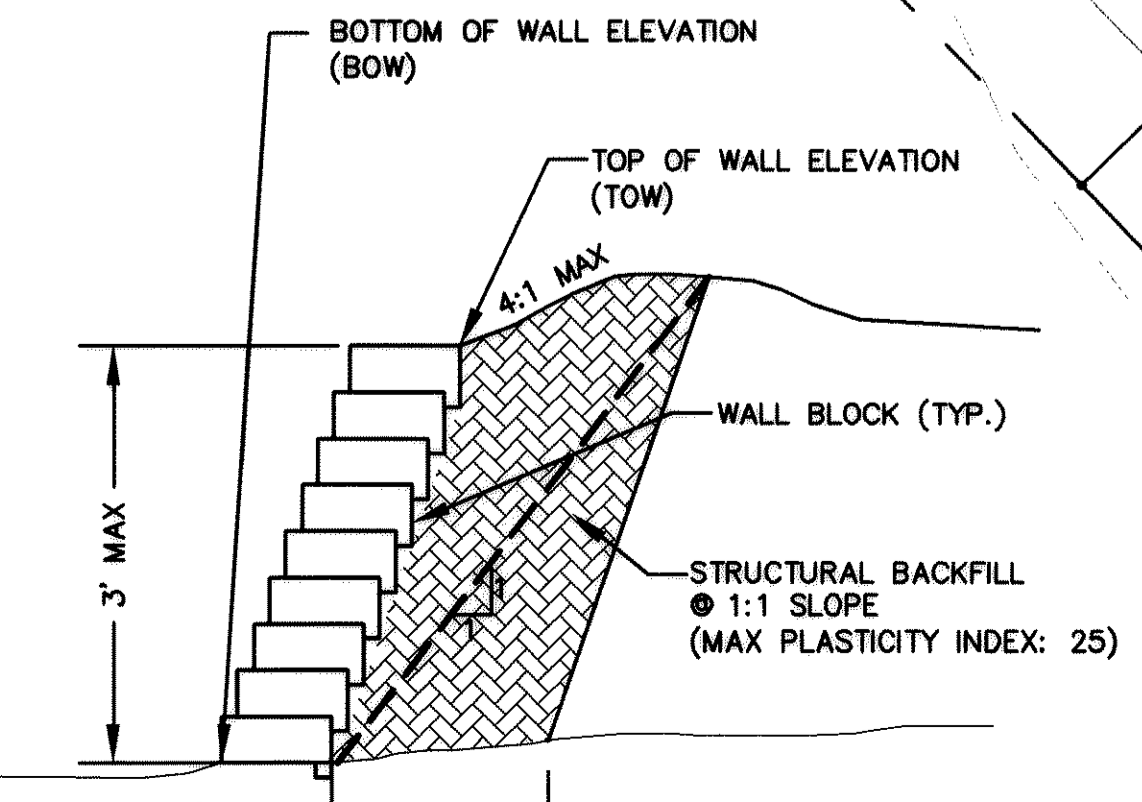
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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 - GRADING PLAN

LEGEND

- LOT LINE / PROPERTY LINE
- - - PROPOSED FLOW LINE
- - - PROPOSED EDGE OF ASPHALT
- - - PROPOSED TOP BACK OF CURB
- - - EXISTING FLOW LINE
- - - EXISTING EOA
- - - PROPOSED FLOWLINE - ZERO EDGE
- - - EXISTING SIDEWALK
- - - PROPOSED SIDEWALK
- - - PROPOSED HANDICAP RAMP
- - - PROPOSED CONCRETE DRIVEWAY
- - - EXISTING STORM SEWER
- - - PROPOSED STORM SEWER
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- 6" TYPE 13C INLET
- EXISTING STORM MANHOLE, INLET
- PROPOSED STORM MANHOLE, INLET
- EXISTING STREET LIGHT
- EXISTING 2' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING CONTOUR BY OTHERS
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR



NOTE:
1. TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS REPRESENT FINISHED GRADE ELEVATIONS; AND DOES NOT INCLUDE BURIED ELEVATIONS.



TYPICAL RETAINING WALL SECTION



TST
TST INC. OF DENVER
Consulting Engineers

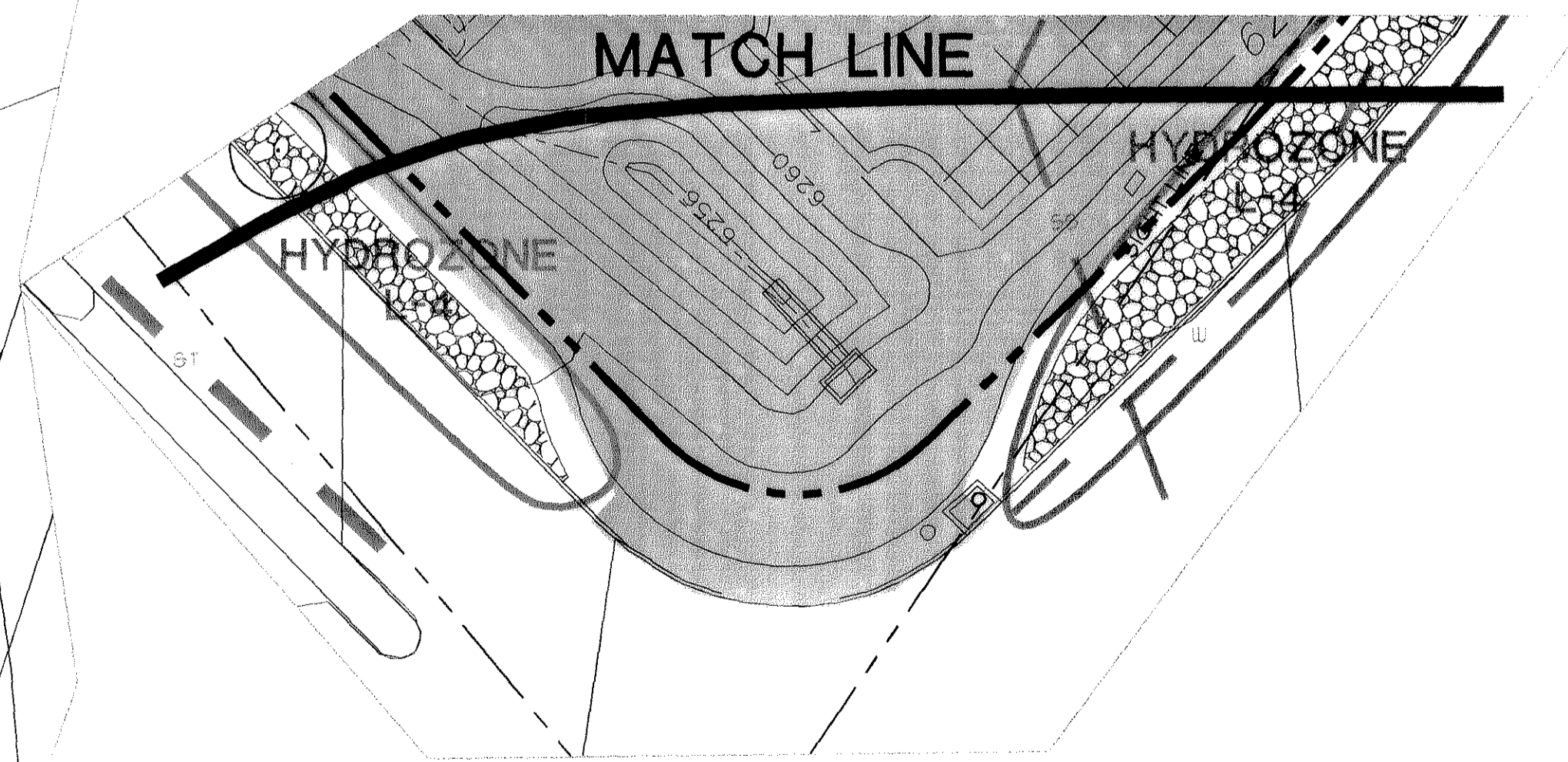
AMENDED FINAL PD SITE PLAN FOR ~~LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)~~ LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 LANDSCAPE PLAN



LANDSCAPE LEGEND

- EXISTING IMPROVEMENTS SHOWN FOR REFERENCE ONLY
- CANADIAN BLUE FESCUE SOD OVER PREPARED SOIL (SEE DETAIL) 6,691 SF
- BROWN/TAN COBBLESTONE (4" - 12" SIZE) OVER WEED BARRIER FABRIC 9,870 SF
- SHREDDED CEDAR WOODCHIP MULCH OVER WEED BARRIER FABRIC 458 SF
- 6" STEEL EDGER WITH STAKES (SUBMIT SAMPLE FOR APPROVAL) 380 LF
- EXISTING DECIDUOUS TREES TO REMAIN
- EXISTING EVERGREEN TREES TO REMAIN
- EXISTING EVERGREEN TREES TO BE TRANSPLANTED
- DECIDUOUS SHADE TREES
- EVERGREEN TREES
- ORNAMENTAL DECIDUOUS TREES
- MEDIUM - LARGE DECIDUOUS SHRUBS
- MEDIUM - LARGE EVERGREEN SHRUBS
- DECIDUOUS HEDGE SHRUBS
- FLOWERING SHRUBS
- LOW GROWING EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- VINE



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

NORTH

0' 20' 50'

SCALE 1" = 30'

FIELD VERIFY ALL LAYOUT PRIOR TO CONSTRUCTION
REPORT ANY INACCURACIES TO THE PROJECT MANAGER
DO NOT MAKE CHANGES WITHOUT A WRITTEN CHANGE ORDER

RockneCortyDesign
CONSULTANTS TO THE PROJECT OF
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80161
E-MAIL: DGR@ROCKNE.COM PHONE: 303-710-6146

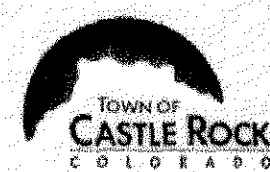
TOWN OF CASTLE ROCK - REGISTRATION NO. 5154
DOUGLAS G. ROCKNE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

AMENDED FINAL PD SITE PLAN FOR LOT 1,
METZLER RANCH FILING 10 (2ND AMENDMENT TO
FINAL PD SITE PLAN) AND LOT 2-A-2, METZLER
RANCH FILING 10, 2ND AMENDMENT (1ST
AMENDMENT TO FINAL PD SITE PLAN)
FPD 10-0003
LOT 2-A-2 - LANDSCAPE PLAN
SHEET 5 OF 12 - SEPTEMBER 14, 2010

FINAL PD SITE PLAN

AMENDED FINAL PD SITE PLAN FOR ~~LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)~~ LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT ~~(2ND AMENDMENT TO FINAL PD SITE PLAN)~~

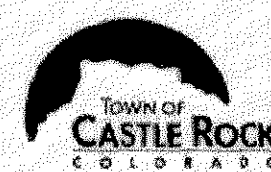
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO LOT 2-A-2 LANDSCAPE DETAILS



Plant Schedule

Registered Professional DOUGLAS G. ROCKNE Registration # 5154
 Company Name ROCKNE CORTY DESIGN, INC. Address PO BOX 3354, CENTENNIAL, CO. 80161
 Phone 303-710-6146 Email DGR@ROCKNE.COM Date JULY 7, 2010

Irrigation Zone	Plant Name (Scientific)	Plant Name (Common)	Legend Abbrev.	Size	No. of Plants	Application Rate (inches/month July)	Water Use (Very Low, Low, Moderate, High)	Sq. Ft. of Zone	Percentage of Total Area	Sq. Ft. of Total Landscaped Area
M-1 TURF	GLEDITSIA VARIETY	HONEY LOCUST	HON	2" C	1	3	MODERATE	1,475	40 %	18,751
	CELTIS OCCIDENTALIS	HACKBERRY, WESTERN	HAK	2" C	3					
	PINUS PONDEROSA	PONDEROSA PINE	PON	10' HT	7					
	PINUS NIGRA	AUSTRIAN PINE	AUS	8' HT	5					
	ABIES CONCOLOR	WHITE FIR	FIR	8' HT	2					
	L-1 SHRUBS	JAMELANCHIER ALMIFOLIA	REGENT SERVICEBERRY	SER	5' HT	2		LOW	314	15 %
L-2 SHRUBS	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	SFR	6' HT	3					
	PINUS MUGO 'SLOW MOUND'	SLOW MOUND MUGO PINE	MUG	* 5	1					
	VIBURNAM LANTANA	MOHICAN VIBURNAM	VIB	* 5	1					
	ROSA 'RADRAZZ'	KNOCKOUT ROSE	ROS	* 5	28					
	PINUS PONDEROSA	PONDEROSA PINE	PON	6' HT	4					
	L-3 SHRUBS	CALTALPA SPECIOSA	WESTERN CATALPA	CAT	2" C	2		LOW	1291	7 %
L-4 MULCH	GLEDITSIA VARIETY	HONEY LOCUST	HON	2" C	1					
	ROSA 'RADRAZZ'	KNOCKOUT ROSE	ROS	* 5	13					
	YUCCA FLACCIDA	BRIGHT EDGE YUCCA	YUC	* 5	3					
	JUNIPERUS VARIETY	JUNIPER, LOW GROWING	JUN	2" C	4					
L-3 SHRUBS	CRAB APPLE	MALUS SPECIES	CRAB	1 1/2" C	2					
	BERBERIS THUNBERGII	ROSY GLOW BARBERRY	BAR	* 5	34	2	LOW	4,165	22 %	18,751
L-4 MULCH	YUCCA FLACCIDA	BRIGHT EDGE YUCCA	YUC	* 5	12					
	NON-LIVING MULCH	COBBLESTONE	N/A	N/A	0	0	NONE	4,900	26 %	18,751
								18,751	100 %	18,751



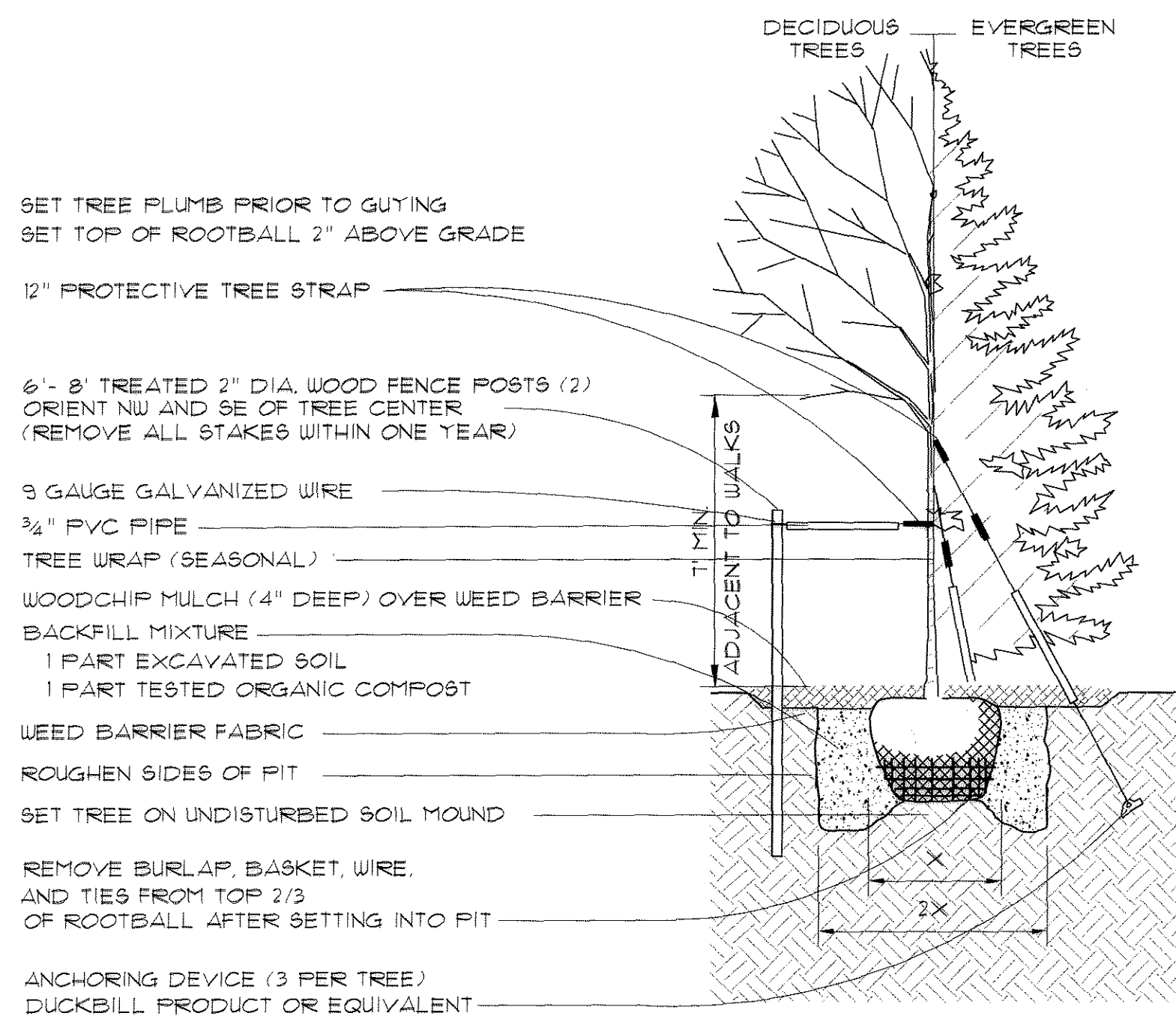
Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional DOUGLAS G. ROCKNE
 Town of Castle Rock Registration # 5154 State of Colorado License Landscape Architect # 199
 Company Name ROCKNE CORTY DESIGN, INC. Address PO BOX 3354, CENTENNIAL, CO. 80161
 Phone 303-710-6146 Email DGR@ROCKNE.COM Date FEBRUARY 26, 2010

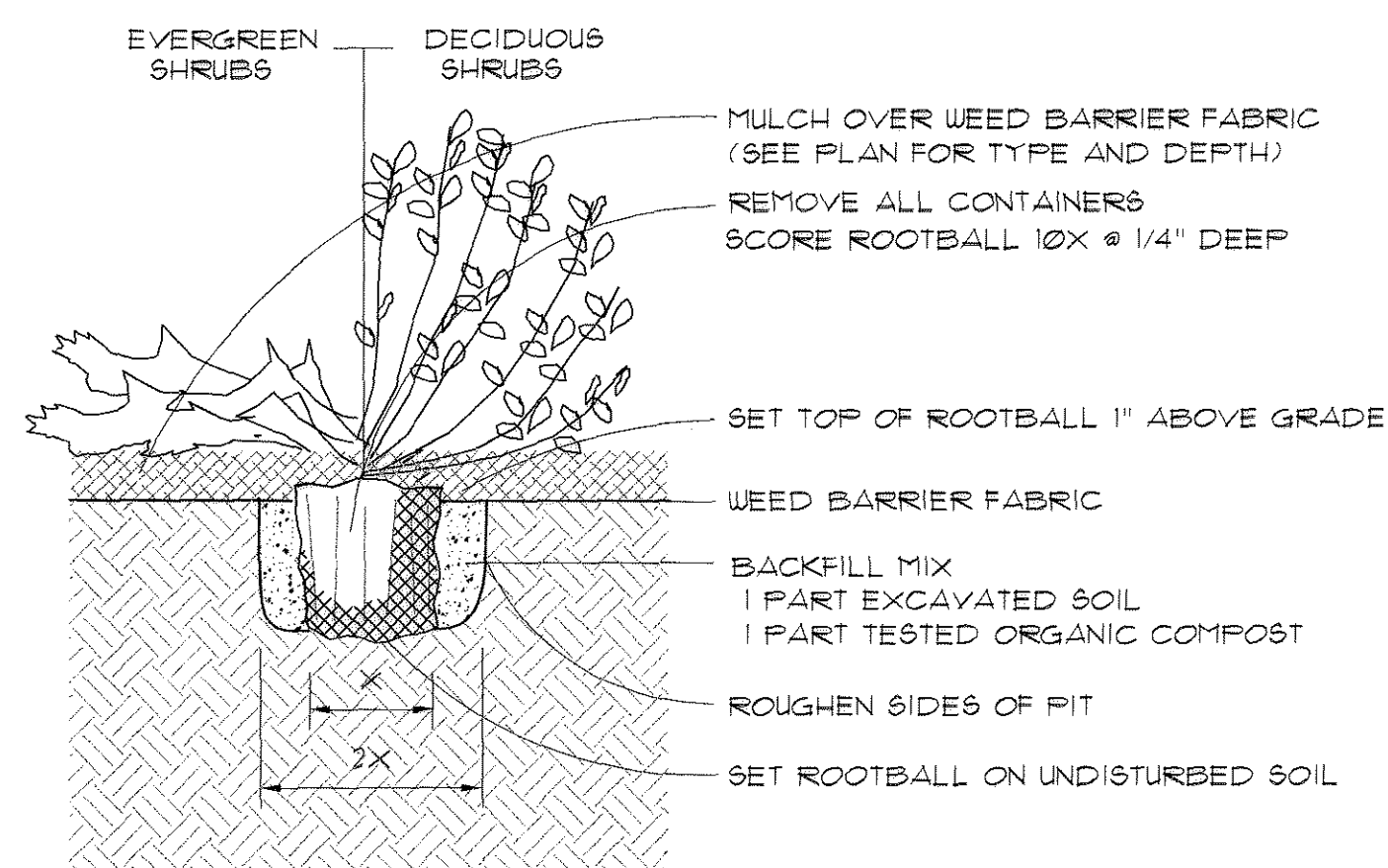
Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
47,816 SF	17,454 SF	CANADIAN BLUE FESCUE 500	HYDROZONE LA	3	3	63	16	3 CY	Yes <input type="checkbox"/> No <input type="checkbox"/>
									1 @ 3/4"
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
22,629 SF	1291 SF	56	0 SF	6	3 FT.	6	8	24	24

LANDSCAPE NOTES

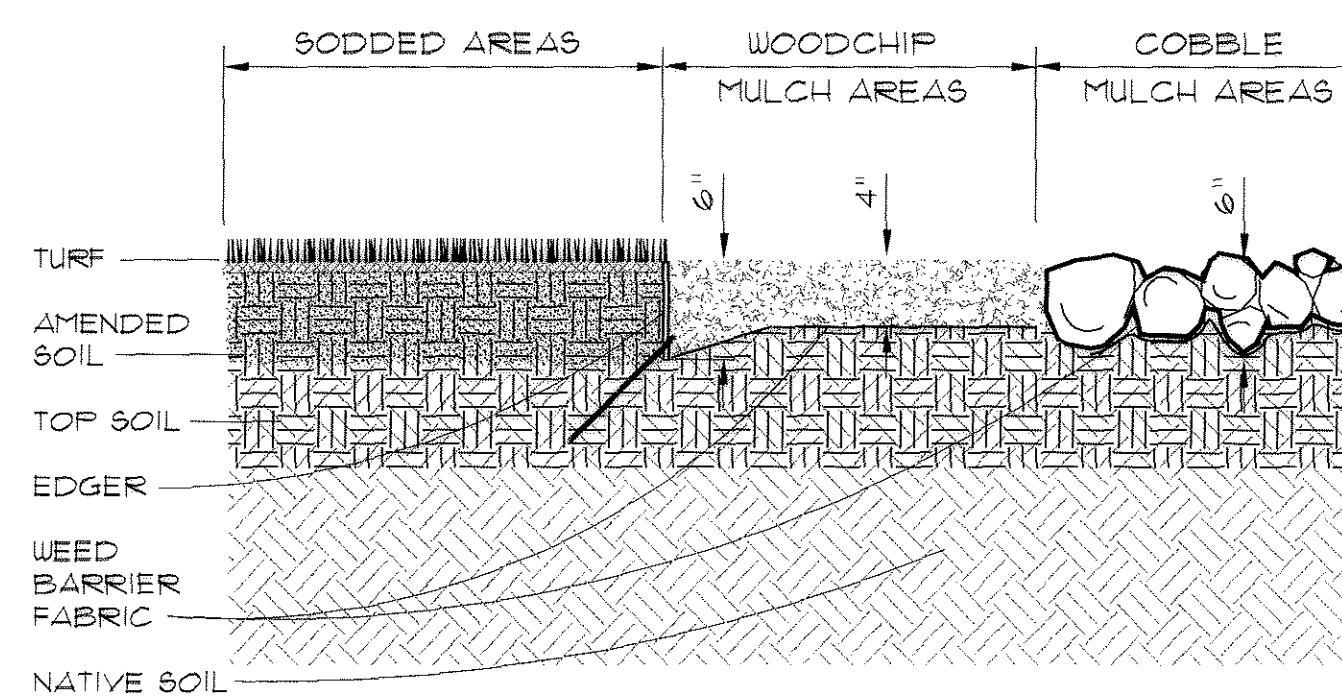
- SOIL PREFERATION WILL CONSIST OF TILLING 3 CUBIC YARDS OF ORGANIC COMPOST INTO EVERY 1000 SQUARE FEET OF TURF AREA TO A MINIMUM DEPTH OF 6" (SEE DETAIL). AVAILABLE ON-SITE TOPSOIL SHALL BE SPREAD IN TURF AREAS PRIOR TO APPLYING AMENDMENTS. SOIL AMENDMENTS FOR TREES AND SHRUBS WILL BE AS INDICATED ON THE PLANTING DETAILS.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS. DESIGNED UNDERGROUND UTILITIES ARE SHOWN ON THE PLAN, HOWEVER, LOCATIONS MUST BE CHECKED. ELECTRIC, PHONE AND CABLE LOCATIONS ARE NOT KNOWN AT THE TIME OF THIS DESIGN AND MUST BE FIELD VERIFIED PRIOR TO LANDSCAPE INSTALLATION.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
- MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
- ALL PLANTS WILL BE MULCHED TO CONSERVE MOISTURE (SEE PLANTING DETAILS AND LANDSCAPE PLAN).
- COBBLESTONE AND CEDAR WOODCHIP MULCH SHALL MATCH EXISTING MULCHES ON ADJACENT SITES AND BE SUBJECT TO APPROVAL PRIOR TO INSTALLATION.
- ALL IRRIGATION AND LANDSCAPING WILL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



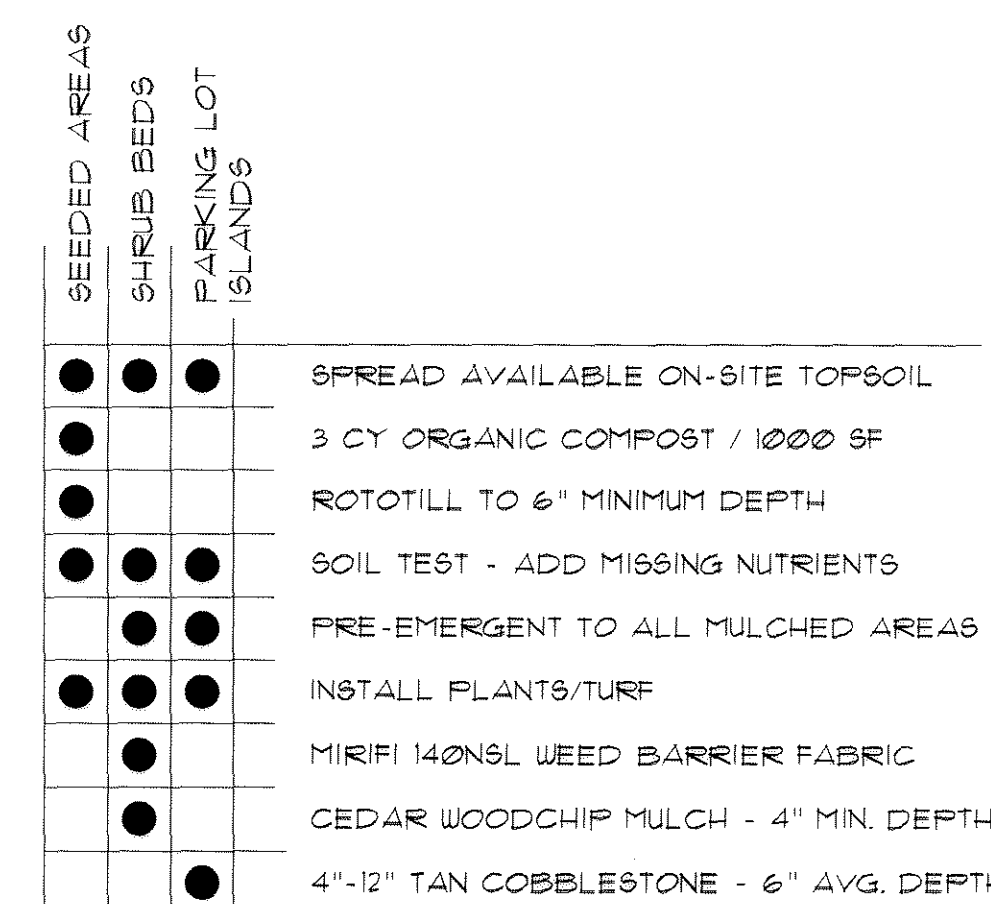
B & B TREES



CONTAINER PLANTS



MULCHES AND SOIL PREPARATION



RockneCortyDesign
 A CORPORATION OF THE PROFESSION OF
 LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
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 AMENDMENT TO FINAL PD SITE PLAN)
 FFD 10-0003
 LOT 2-A-2 - LANDSCAPE DETAILS
 SHEET 6 OF 12 - JULY 7, 2010

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN)

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 - LANDSCAPE NOTES

I. GENERAL

- CONTRACTOR SHALL NOT ENTER OR OCCUPY WITH MEN, TOOLS, EQUIPMENT, CONSTRUCTION MATERIALS, OR MATERIALS EXCAVATED FROM THE WORK, ANY PRIVATE PROPERTY OUTSIDE THE DESIGNATED CONSTRUCTION AREAS, EASEMENT BOUNDARIES OR PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE CONTROLLING JURISDICTION OR TENANT OF SUCH PROPERTY
- CONTRACTOR SHALL CONFINE OPERATIONS TO THE AREA DESIGNATED BY THE OWNER AND BE RESPONSIBLE FOR ALL AREAS AT THE SITE USED BY CONTRACTOR OR SUB-CONTRACTOR'S IN THEIR PERFORMANCE OF THE WORK. CONTRACTOR SHALL EXERT FULL CONTROL OVER THE ACTIONS OF ALL EMPLOYEES AND OTHER PERSONS WITH RESPECT TO THE USE AND PRESERVATION OF PROPERTY AND EXISTING FACILITIES, EXCEPT SUCH CONTROLS AS MAY BE SPECIFICALLY RESERVED BY THE OWNER OR OTHERS. CONTRACTOR HAS THE RIGHT TO EXCLUDE FROM THE SITE ALL PERSONS WHO HAVE NO PURPOSE RELATED TO THE WORK OR ITS INSPECTION, AND MAY REQUIRE ALL PERSONS ON SITE TO OBSERVE THE SAME REGULATIONS AS REQUIRED OF CONTRACTOR'S EMPLOYEES.
- CONTRACTOR SHALL PROHIBIT DAMAGE TO PROPERTY LOCATED ADJACENT TO THE DEFINED WORK AREA. IF, IN THE EVENT OF DAMAGE TO ADJACENT PROPERTY, AND PRIOR TO FINAL PAYMENT THE CONTRACTOR, AT HIS EXPENSE, SHALL REPAIR OR REPLACE ANY DISTURBANCE EQUAL TO THE EXISTING CONDITION PRIOR TO DAMAGE AS DETERMINED BY THE OWNER AND OR THEIR REPRESENTATIVE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS ITEM.
- CONTRACTOR SHALL REMOVE ALL DEMOLISHED MATERIALS AND DEBRIS FROM WITHIN THE PROJECT SITE WITHIN TWENTY-FOUR (24) HOURS AFTER DEMOLITION OR AS REQUEST BY AUTHORIZED OWNER REPRESENTATIVE. A FIVE HUNDRED DOLLAR (\$500) PER DAY PENALTY SHALL BE STRICTLY ENFORCED FOR NON-COMPLIANCE WITH THIS REQUEST. THIS FINE SHALL BE DIRECTLY WITHHELD FROM THE CONTRACT PAY REQUESTS.
- STORED MATERIALS AND DEBRIS LEFT WITHIN THE PROJECT AREA SHALL BE APPROPRIATELY CONFINED TO PREVENT CONTAMINATION OF AND PREVENT A NUISANCE TO STORM SEWERS, UTILITIES, WATER WAYS PUBLIC ACCESS TRAILS, RIGHTS OF WAY OR TO CAUSE INCONVENIENCE OR INJURY TO USERS OF THE ADJACENT PROPERTY.
- SITE CLEAN-UP SHALL BE COMPLETED WITHIN FIVE (5) DAYS FOLLOWING COMPLETION OF THE WORK WITHIN THE PROJECT SITE. ANY CLEAN-UP ITEMS REMAINING TO BE COMPLETED FOLLOWING THE ALLOWED FIVE (5) DAY PERIOD WHICH ARE DETERMINED BY THE OWNER'S REPRESENTATIVE TO BE HAZARDOUS, AESTHETICALLY OBJECTIONABLE, OR DISRUPTIVE TO AUTOMOBILE TRAFFIC ACCESS OR PEDESTRIAN SAFETY WILL BE PERFORMED BY OWNER'S PERSONNEL AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE LAWS REGARDING EROSION CONTROL.
- CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER TO AVOID UNNECESSARY NOISE, DUST, AND DIRT.
- CONTRACTOR SHALL COOPERATE WITH OTHER OCCUPANTS OF THE SITE FOR EFFICIENT UTILIZATION OF AVAILABLE SPACE.
- CONTRACTOR SHALL CAUSE TO HAVE LOCATED ALL EXISTING UTILITIES SUCH AS, BUT NOT LIMITED TO GAS, PHONE, CABLE, ELECTRIC, WATER, SANITARY AND STORM SEWER SYSTEMS. ALL UTILITIES, UNLESS OTHERWISE NOTED, MUST REMAIN IN OPERATION DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ANY FINES, FEES, REPAIRS, TEMPORARY OPERATING EXPENSES, OR OTHER ASSOCIATED COSTS ARISING OUT OF ANY DISRUPTION. THE CONTRACTOR SHALL MINIMIZE NOISE AT ALL TIMES NEAR RESIDENTIAL OR SENSITIVE BUSINESS AREAS. ALL EQUIPMENT SHALL BE PROPERLY MUFFLED. DO NOT OPERATE NOISY EQUIPMENT AFTER HOURS; WORK HOURS, UNLESS PROVIDED OTHERWISE AND IN WRITING, ARE CONSIDERED TO BE FROM 7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SATURDAY.
- RESPONSIBILITY FOR THE FAILURE TO ADHERE TO THESE SPECIFICATIONS WILL FALL SOLELY UPON THE CONTRACTOR. ANY WORK FOUND TO BE OUT OF COMPLIANCE WITH THESE SPECIFICATIONS SHALL BE REMEDIATED BY THE CONTRACTOR AND AT HIS EXPENSE. PRECEDING WITH WORK WITHOUT THE REQUIRED ACCEPTANCE, OR REVISING THE PLANS OR SPECIFICATIONS WITHOUT EXPRESS WRITTEN CONSENT OF THE OWNER OR THE LANDSCAPE ARCHITECT WILL BE AT THE SOLE RISK OF THE CONTRACTOR.
- NO TREES OR LARGE SHRUBS ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.

II. SCHEDULE, PERMITTING & SHOP DRAWINGS

- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS AND PAY ALL REQUIRED FEES TO ANY AGENCY HAVING JURISDICTION OVER LANDSCAPE WORK.
- THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE OF ALL CONSTRUCTION OPERATIONS AND PROCUREMENTS AND PROVIDE SAID SCHEDULE TO THE OWNER(S) AND THEIR REPRESENTATIVE(S).
- CONTRACTOR SHALL PROVIDE THE OWNER AND/OR THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS ADVANCE NOTICE OF, AND PARTICIPATE IN THE FIELD INSPECTION OF THE FOLLOWING WORK:
 - SOIL AMENDMENTS
 - SOIL PREPARATION
 - FINAL FINISHED GRADES
 - IRRIGATION LAYOUT
 - TREE AND SHRUB LOCATIONS
 - PIT BACKFILL MATERIALS
- NO WORK ON FUTURE PHASES OF THE LANDSCAPE CONSTRUCTION SHALL OCCUR UNTIL SUCH TIME AS THE PRIOR WORK HAS BEEN APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- THE OWNER OR HIS REPRESENTATIVE SHALL DECIDE ANY AND ALL QUESTIONS THAT MAY ARISE AS TO THE QUALITY AND ACCEPTABILITY OF THE MATERIALS USED AND THE WORK PERFORMED.
- THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS WHICH MAY ARISE AS TO THE INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS.
- THE OWNER AND/OR HIS REPRESENTATIVE SHALL HAVE THE RIGHT TO OBTAIN SAMPLES OF ALL MATERIALS TO BE USED IN THE WORK.

III. QUALITY CONTROL

- HORIZONTAL AND VERTICAL LOCATIONS SHALL BE MAINTAINED BY THE USE OF SUITABLE SURVEYING INSTRUMENTS.
- THE CONTRACTOR SHALL KEEP ON SITE, AND MAKE AVAILABLE TO THE OWNER AND/OR HIS REPRESENTATIVE SUITABLE SURVEYING INSTRUMENTS SUCH AS, BUT NOT LIMITED TO A SITE LEVEL, HIS SURVEYING TAPE, CARPENTERS LEVEL, SIGHT LEVEL AND LEVEL ROD.
- PLANT MATERIAL SHALL BE INSTALLED PER THE SPACING SHOWN ON THE LANDSCAPE PLAN(S). WHERE WRITTEN DIMENSIONS ARE NOT PROVIDED THE CONTRACTOR MAY SCALE THE DRAWINGS. ACCEPTABLE TOLERANCES FOR SCALED MEASUREMENTS WILL BE:
 - PLUS OR MINUS 0.5' FOR DRAWING SCALES OF 1"=5' TO 1"=20'
 - PLUS OR MINUS 1.0' FOR DRAWING SCALES OF 1"=30' TO 1"= 60'
 - PLUS OR MINUS 2.0' FOR DRAWING SCALES OF 1"=80' OR LARGER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LAWS REGARDING EROSION CONTROL AND AIR, WATER OR NOISE POLLUTION.
- NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY MATERIALS OR WORK REQUIRED TO COMPLY WITH REGULATIONS REGARDING, HEALTH SAFETY OR THE ENVIRONMENT

- NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY MATERIALS OR WORK REQUIRED TO COMPLY WITH REGULATIONS REGARDING, HEALTH SAFETY OR THE ENVIRONMENT
- DO NOT PLANT SHRUBS OR GROUNDCOVER PLANTS WITHIN 5 FT. OF FOUNDATION WALLS OR STRUCTURAL RETAINING WALLS.
- DO NOT PLANT TREES WITHIN TEN (10) FEET OF FOUNDATION WALLS OR STRUCTURAL RETAINING WALLS.
- DO NOT SPRAY IRRIGATE WITHIN 5 FT. OF FOUNDATION WALLS, STRUCTURAL RETAINING WALLS OR AS DETERMINED BY A SOILS AND FOUNDATION INVESTIGATION REPORT PREPARED BY A QUALIFIED LICENSED ENGINEER.
- PLANT MATERIAL SHALL MEET OR EXCEED THE MOST CURRENT ISSUE OF AMERICAN STANDARDS FOR NURSERY STOCK.
- PLANT MATERIALS SHALL BE PROVIDED IN THE SIZE AND QUANTITIES SHOWN ON THE LANDSCAPE PLAN(S). IN THE CASE OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT SCHEDULE, THE GREATER QUANTITY SHALL APPLY.
- TOPSOIL SHALL BE STRIPPED FROM THE PROJECT'S CONSTRUCTION AREAS AND STOCKPILED AT THE SITE FOR REDISTRIBUTION DURING FINISHED GRADING OPERATIONS. REDISTRIBUTION DEPTH SHALL BE A MINIMUM OF THREE INCHES. IN THE CASE OF INSUFFICIENT TOPSOIL REDISTRIBUTION DEPTH THE CONTRACTOR SHALL SUPPLEMENT WITH CLEAN AND STERILE IMPORTED TOPSOIL APPROVED BY THE LANDSCAPE ARCHITECT. NO ADDITIONAL PAY WILL BE MADE FOR IMPORTED TOPSOIL.
- SOIL SHALL BE AMENDED PER THE FOLLOWING MINIMUM SPECIFICATIONS. CONFIRMATION OF APPLIED AMENDMENTS WILL BE MADE BY THE OWNER AND/OR HIS REPRESENTATIVE VIA VISUAL INSPECTION, DENSITY MEASUREMENT, CHEMICAL TESTING AND CONFIRMATION OF IMPORTED AMENDMENTS VIA LOAD TICKETS, BAG TAGS OR PURCHASE RECEIPTS OR OTHERWISE AS REQUIRED BY THE OWNER. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VOLUNTARILY PROVIDE ANY OR ALL OF THIS DOCUMENTATION TO THE OWNER OR HIS REPRESENTATIVE WITHOUT DIRECT REQUEST.

REQUIRED SOIL AMENDMENT PER 1,000 SQUARE FEET OF GROUND SURFACE AREA:

 - FIFTEEN (15) POUNDS - "HYDROSOURCE" POLYACRYLAMIDE OR APPROVED EQUIVALENT.
 - FOUR (4) CUBIC YARDS - CLEAN AND STERILE COMPOST ORGANIC WATER OR COMPOSTED MANURE.

AMENDMENTS SHALL BE TILLED INTO THE EXISTING TOPSOIL; TO A MINIMUM DEPTH OF TEN (10) INCHES. REMOVE AND/OR BREAK UP ALL SOLIDS GREATER THAN 2" AVERAGE DIAMETER AND RAKE SOIL TO OBTAIN A SMOOTH SURFACE FREE OF LUMPS OR RIDGES.
- CONTRACTOR SHALL CONFIRM: VIA WRITTEN DOCUMENTATION PROVIDED TO THE OWNER AND HIS REPRESENTATIVE THAT THE FINAL FINISHED GRADES MEET THOSE SHOWN ON THE SITE CONSTRUCTION DOCUMENTS PROVIDED BY THE ARCHITECTS AND ENGINEERS.
- POSITIVE SURFACE DRAINAGE SHALL BE ASSURED WITHOUT SUBSEQUENT SETTLING OR IRREGULARITIES IN THE FINISHED GRADES.

IV. INSTALLATION & MATERIALS

- PLANTS SHALL BE PLANTED PER THE DETAILS PROVIDED IN THE LANDSCAPE PLAN(S). PIT BACKFILL SHALL BE AS PER THE TOWN OF PARKER PLANTING DETAILS.
- FERTILIZER IN THE FORM OF 21 GRAM, 20-10-5 SLOW RELEASE FERTILIZER TABLETS SHALL BE APPLIED TO ALL PLANTS IN THE FOLLOWING RATES:
 - NO FERTILIZER RECOMMENDED AT THIS TIME.
- THE IRRIGATION SYSTEM SHALL BE PER THE APPROVED IRRIGATION PLAN(S) OR TO THE MINIMUM SPECIFICATIONS FOR AN AUTOMATIC UNDERGROUND SYSTEM:
 - ONE HUNDRED (100) PERCENT OVERLAP COVERAGE
 - AUTOMATIC TIMER
 - POP-UP ROTARY OR SPRAY HEADS FOR AREAS OF A WIDTH GREATER THAN TEN (10) FEET.
 - SUB-TERRANEAN OR DRIP SYSTEM FOR AREAS WHOSE WIDTH IS LESS THAN TEN (10) FEET
 - DRIP SYSTEM FOR ALL PLANTING BEDS
 - DRIP SYSTEM OR SPRAY EMITTERS FOR PERENNIAL OR ANNUAL BEDS
 - DRIP SYSTEM FOR ALL TREES AND SHRUBS IN NON-IRRIGATED NATIVE SEEDED AREAS.
 - TEMPORARY SPRAY IRRIGATION LAID OVER GROUND SURFACE, OR PERMANENTLY INSTALLED UNDERGROUND SYSTEM WITH HOSE COUPLING RISERS FOR NATIVE SEEDED AREAS.
 - IRRIGATION SYSTEM SHALL HAVE A BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK.
- SOD SHALL BE PRE APPROVED BY THE OWNER AND/OR HIS REPRESENTATIVE AND SUPPLIED TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS:
 - Viable of growth when planted (NOT DORMANT)
 - FREE OF WEEDS, UNDESIRABLE GRASSES OR DELETERIOUS MATERIALS
 - CUT TO A MINIMUM ROOT DEPTH OF TWO (2) INCHES
 - SHALL BE KEPT MOIST AND PROTECTED FROM WIND, SUN AND HEAT
 - SHALL BE PROTECTED IN TRANSPORT
 - SHALL BE A STRONGLY ROOTED BLEND OF CANADIAN BLUE FESCUE

SOD ROLLS SHALL BE KEPT MOIST, PROTECTED FROM DRYING, SUN, HEAT AND WIND, AND PROPERLY PROTECTED IN TRANSPORT.
- SEED MIXES SHALL BE AS SHOWN ON THE LANDSCAPE PLAN(S) AND SHALL BE PRE-APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
- ALL SEED SHALL BE PLANTED PER THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE PROTECTED BY A PRE APPROVED STRAW NETTING ANCHORED WITH LANDSCAPE STAPLES, SURFACE APPLIED PALLETIZED STRAW, OR BROADCAST STRAW ANCHORED WITH MECHANICAL CRIMPING.
- ALL SLOPES OF 4:1 OR GREATER SHALL BE PROTECTED FROM EROSION THROUGH THE APPLICATION OF ONE OF THE FOLLOWING:
 - IRRIGATED SOD
 - LANDSCAPE FABRIC WITH ORGANIC OR INORGANIC MULCH
 - SEED WITH STRAW NETTING OR EQUIVALENT PER THE SEEDING SPECIFICATIONS.

- ALL PLANTING BEDS SHALL BE DEFINED BY A HARD EDGE SUCH AS SIDEWALK, CURB, ASPHALT, RETAINING WALL OR PRE-APPROVED METAL EDGING. EXCEPT WITHIN AREAS DESIGNATED FOR PERENNIALS, ANNUALS OR GROUND COVER, THE PLANTING BED SHALL BE COMPLETELY COVERED WITH PRE-APPROVED LANDSCAPE FABRIC AND MULCHES PER THE FOLLOWING MINIMUM SPECIFICATIONS:
 - LANDSCAPE FABRIC/WEED BARRIER SHALL BE ANCHORED WITH SIX (6) INCH LONG STEEL LANDSCAPE STAPLES PLACED THREE (3) FEET ON CENTER ALONG ALL EDGES AND THROUGHOUT THE MIDDLE AS REQUIRED TO PREVENT RELOCATION.
 - FABRIC SHALL BE PERMEABLE POLYPROPYLENE FABRIC WITH A MINIMAL THICKNESS OF 35 MILS IN A ROLL WIDTH OF NOT LESS THAN EIGHT (8) FEET.
 - FABRIC SHALL BE PLACED USING THE LARGEST CONTINUOUS PIECE POSSIBLE - A MINIMUM OF SEAMS.
 - ALL SEAMS SHALL OVERLAP A MINIMUM OF 10".
- METAL EDGING SHALL BE INSTALLED SO THAT IF FULLY CONTAINS THE MULCH WITHIN THE BEDS AND IN SUCH A MANNER AS TO MINIMIZE THE HAZARDS FROM TRIPPING OR DAMAGE FROM MOWING OPERATIONS.
- METAL EDGING SHALL:
 - HAVE AN UNCUT MINIMUM LENGTH OF TEN (10) FEET, A MINIMUM HEIGHT OF 4" AND HAVE INTERLOCKING ENDS, ANCHORED INTO THE SOIL WITH STEEL STAKES.
 - BE 16 GAUGE GALVANIZED STEEL W/ A ROLLED EDGE
 - OR 16 GAUGE PAINTED STEEL WITH A ROLLED EDGE
 - OR 3/16" X 4" ALUMINUM WITH A MILL FINISH
- WOOD MULCH - SHALL BE SHREDDED CEDAR WITH NO ARTIFICIAL COLORING AND SHALL BE EVENLY DISTRIBUTED OVER THE AREA DESIGNATED TO A MINIMUM DEPTH OF 4", OR ONE (1) CUBIC YARD PER ONE-HUNDRED (100) SQUARE FEET OF BED AREA.
- ROCK MULCH - SHALL BE NATURAL GRANITE OR SIMILAR STONE WITH NO DISCERNABLE ANGLED EDGES (WASHED RIVER ROCK)-BLENDED BY VOLUME AS FOLLOWS: 10% - 6" TO 10", 50% - 3" TO 6", 25% - 1.5" TO 3/4"

V. LANDSCAPE REPAIR AND MAINTENANCE

- THE OWNER OF THE PROPERTY, THEIR SUCCESSORS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL LANDSCAPED AREAS WITHIN THEIR LOT(S), SUBJECT TO THE APPROVED LANDSCAPE PLAN. SUCH AREAS SHALL BE DEEMED TO INCLUDE THE INDIVIDUAL LOTS ON THE SUBJECT PROPERTY AND THAT PORTION OF ANY ADJACENT PUBLIC STREET RIGHT-OF-WAY, FROM THE PROPERTY LINE TO THE BACK OF ADJACENT CURB.
- XERIC LANDSCAPE AND LOW WATER TURF REQUIRES MAINTENANCE PROCEDURES DIFFERENT FROM TRADITIONAL LANDSCAPING. THE OWNER & MAINTENANCE CONTRACTOR SHOULD TAKE NOTICE OF THE REDUCED WATER REQUIREMENTS AND THE SPECIFIC MOWING AND FERTILIZING NEEDS OF THE PLANTS, TURF AND SEED INSTALLED PER THIS PLAN.
- LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED WITH THE NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, REPLACEMENT OF DEAD PLANT MATERIAL, AND REPLACEMENT OF DISEASED PLANT MATERIAL.
- REPLACEMENT PLANT MATERIAL SHALL BE OF THE SAME SIZE AND OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE APPROVED LANDSCAPE PLAN AT THE TIME OF ORIGINAL INSTALLATION.
- SUBSTITUTIONS WITH OTHER DISSIMILAR TYPES OF PLANT MATERIAL, OR DIFFERENT SPECIES MAY BE MADE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE KNOWLEDGE AND ACCEPTANCE FROM THE GOVERNING JURISDICTION OR ITS ASSIGNS THAT GRANTED ORIGINAL APPROVAL.
- REPLACEMENTS OF ALL DISEASED OR DECEASED MATERIALS SHALL OCCUR WITHIN 6 MONTHS WITH WRITTEN NOTICE BY THE TOWN OF CASTLE ROCK.
- REPLACEMENT OR RELOCATION OF DISPLACED MULCHES SHALL OCCUR ON AN ANNUAL BASIS OR MORE FREQUENTLY AS NEEDED TO MAINTAIN A STABLE AND FUNCTION MULCH BED.
- GROUPS SHALL BE MAINTAINED IN A SAFE, CLEAN, AND NEAT CONDITION WITH NO ACCUMULATED RUBBISH OR ESTABLISHED WEEDS.
- LAWNS SHALL BE KEPT IN A MOWED CONDITION WITH A MINIMUM TURF BLADE HEIGHT OF TWO (2) INCHES. MOWER BLADES SHALL BE KEPT SHARP AND SHALL BE SET SO THAT NO MORE THAN ONE-HALF (1/2) INCH OF BLADE IS REMOVED IN ANY 5 DAY PERIOD.
- NEW SOD SHOULD BE ALLOWED TO GROW UNTIL IT REACHES A HEIGHT OF 6" OR DEVELOPS SEED HEADS. SUBSEQUENT MOWING CAN GRADUALLY REDUCE THE BLADE LENGTH
- NEW GRASS SEED SHOULD BE ALLOWED TO GROW UNTIL SEED HEADS DEVELOP AND MOWED IF DESIRED - A PROCESS TO BE FOLLOWED THROUGHOUT THE FIRST THREE GROWING SEASONS. IN SUBSEQUENT YEARS THESE GRASSES SHOULD BE ALLOWED TO GO TO SEED IN THE SPRING AND AGAIN IN THE FALL.
- ROADS AND PAVEMENT SHALL BE MAINTAINED IN GOOD CONDITION WITH NO POTHoles OR SUB GRADE DEFICIENCIES.
- SUPPLEMENTARY NOTES - XERIC LANDSCAPING
 - THE LANDSCAPE PLAN HEREIN EMPLOYS THE PRINCIPLES OF A XERIC LANDSCAPE DESIGN AND AS SUCH IT IS DESIGN TO MAKE EFFICIENT USE OF AVAILABLE WATER. A SCIENTIFIC SOIL AMENDMENT STRATEGY, AN AUTOMATIC IRRIGATION SYSTEM AND APPROPRIATE MAINTENANCE STRATEGIES MUST BE EMPLOYED TO TAKE FULL ADVANTAGE OF THIS DESIGN.
 - ESTABLISHMENT OF PLANTS REQUIRES MORE FREQUENT WATERING; HOWEVER, IN SUBSEQUENT YEARS THE WATERING TIMES SHOULD BE REDUCED UNTIL SUCH TIME (APPROX. 3 YEARS) AS PLANTS RECEIVE JUST ENOUGH IRRIGATION TO SUSTAIN MODERATE GROWTH AND GOOD HEALTH. OVER WATERING OF THE XERIC LANDSCAPE WILL REDUCE THE DROUGHT TOLERANCE OF THE PLANTS AND POSSIBLY CAUSE PLANT HEALTH PROBLEMS.
 - TURF AREAS SHOULD BE MAINTAINED CONSISTENT WITH THE GRASS VARIETIES CHOSEN. OVER WATERING FESCUE BLENDS REDUCES THE DROUGHT TOLERANCE OF THESE GRASSES AND MINIMIZES THEIR LOW WATER USE EFFECTIVENESS. FOR MAXIMUM WATER SAVING'S IT IS RECOMMENDED THAT THE TURF BE IRRIGATED ONLY WHEN IT BEGINS TO SHOW A DULL GRAY GREEN COLOR. DURING THE HOT/DRY GROWING SEASON THE TURF MAY REQUIRE IRRIGATION EVERY 4 DAYS.

LIVING COVERAGE TEMPLATES

THE TEMPLATES BELOW SHOW THE AVERAGE SIZE AND APPROXIMATE COVERAGE FOR PLANTS USED WITHIN THIS PLAN.



WATER USE SYMBOLS

THE SYMBOLS BELOW ARE USED TO DEPICT THE APPROXIMATE WATER USE FOR ESTABLISHED PLANTS. THE SYMBOLS ARE CONSISTANT WITH PUBLISHED DOCUMENTS FROM THE COLORADO NURSERY ASSOCIATION, DENVER WATER BOARD, COLORADO STATE UNIVERSITY AND OTHER XERIC LANDSCAPING MATERIALS.

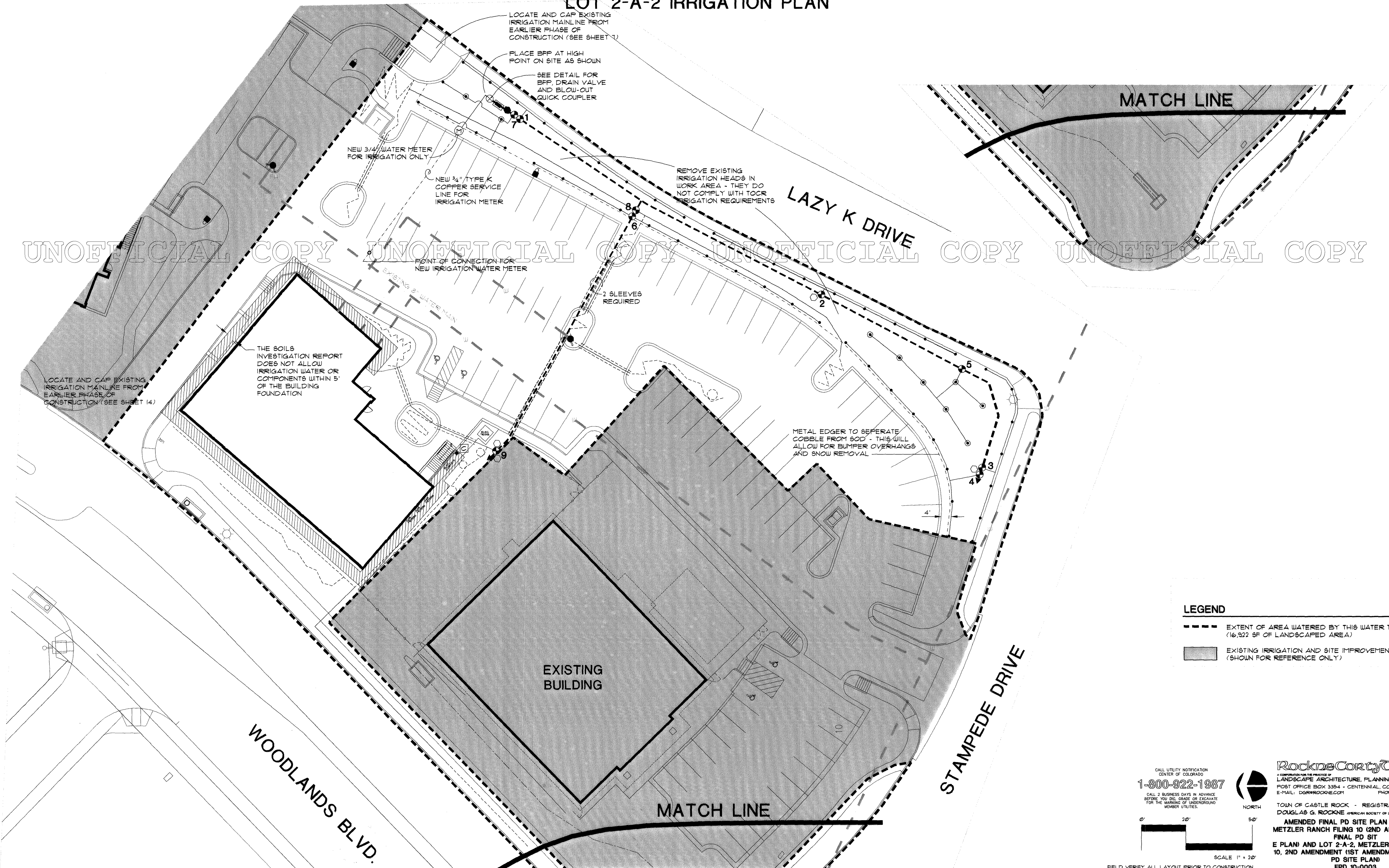


FINAL PD SITE PLAN

AMENDED FINAL PD SITE PLAN FOR ~~LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)~~ LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT ~~1ST~~ AMENDMENT TO FINAL PD SITE PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LOT 2-A-2 IRRIGATION PLAN

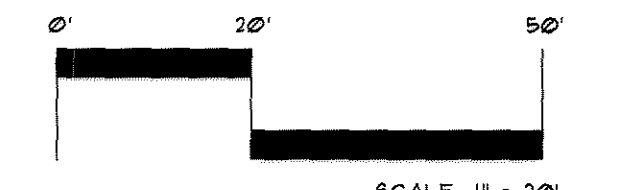


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LEGEND

- EXTENT OF AREA WATERED BY THIS WATER TAP (16,522 SF OF LANDSCAPED AREA)
- EXISTING IRRIGATION AND SITE IMPROVEMENTS (SHOWN FOR REFERENCE ONLY)

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



RockneCortyDesign
 A CORPORATION OF THE STATE OF COLORADO
 LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
 POST OFFICE BOX 3384 - CENTENNIAL, COLORADO 80101
 E-MAIL: DGR@ROCKNE.COM PHONE: 303-718-6146

TOWN OF CASTLE ROCK - REGISTRATION NO. 5154
 DOUGLAS G. ROCKNE - AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)
 FPD 10-0003
 LOT 2-A-2 - IRRIGATION PLAN
 SHEET 8 OF 12 - SEPTEMBER 14, 2010

FIELD VERIFY ALL LAYOUT PRIOR TO CONSTRUCTION
 REPORT ANY INACCURACIES TO THE PROJECT MANAGER
 DO NOT MAKE CHANGES WITHOUT A WRITTEN CHANGE ORDER

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR ~~LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)~~ LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT ~~1ST~~ AMENDMENT TO FINAL PD SITE PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 IRRIGATION DETAILS

IRRIGATION SPECIFICATIONS

- PART 1 GENERAL**
- 1.01 WORK INCLUDED
- A. WORK INCLUDES ALL LABOR MATERIAL AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AS SPECIFIED AND INDICATED ON DRAWINGS.
- 1.02 QUALITY ASSURANCE
- A. INSTALLERS QUALIFICATIONS: MINIMUM OF FIVE YEARS EXPERIENCE INSTALLING IRRIGATION SYSTEMS OF COMPARABLE SIZE. SUBMIT EXPERIENCE AND REFERENCES UPON REQUEST.
- B. QUALITY CONTROL: OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF INSTALLED AND TESTED IRRIGATION SYSTEM COMPONENTS PRIOR TO AND AFTER INSTALLING BACKFILL MATERIALS.
- 1.03 SUBMITTALS
- A. PRODUCTS: USE EQUIPMENT AS SPECIFIED. IF ALTERNATES ARE PROPOSED, SUBMIT MANUFACTURER'S PRODUCT DATA INCLUDING INSTALLATION AND OPERATION INSTRUCTIONS FOR EACH OF THE SYSTEMS COMPONENTS. REUSE OF USED COMPONENTS IS SUBJECT TO APPROVAL. ALL OTHER MATERIALS MUST BE NEW AND FULLY WARRANTED BY THE MANUFACTURER.
- B. AS BUILTS: THE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A LEGIBLY MARKED FIELD DRAWING WITH ALL DEVIATIONS FROM THE ORIGINAL RECORDED THEREON. THE LANDSCAPE ARCHITECT SHALL MAKE ALL RECORDED CHANGES TO THE ORIGINAL CAD DRAWINGS WHICH SHALL BECOME A PERMANENT RECORD OF THE INSTALLED WORK.
- 1.04 DELIVERY, STORAGE AND HANDLING
- A. STORAGE AND HANDLING: STORE AND HANDLE ALL IRRIGATION EQUIPMENT TO PREVENT DAMAGE, DETERIORATION AND THEFT WHICH COULD CAUSE INSTALLATION DELAYS.
- 1.05 PROJECT CONDITIONS
- A. LOCATE EXISTING UTILITIES AND MAKE CONNECTIONS AS REQUIRED FOR THIS WORK. SAW CUT EXISTING PAVEMENTS AND TUNNEL UNDER CONCRETE WALKS WHERE NECESSARY.
- 1.06 WARRANTY
- A. WARRANT ALL IRRIGATION EQUIPMENT AND INSTALLATION FOR ONE (1) CALENDAR YEAR FOLLOWING TURN OVER. WARRANTY INCLUDES TRENCH AND HEAD SETTLEMENT GREATER THAN 1".
- PART 2 PRODUCTS**
- 2.01 MATERIALS
- A. GENERAL: UNLESS EXISTING EQUIPMENT IS TO BE USED, PROVIDE ONLY NEW MATERIALS WITHOUT FLAWS OR DEFECTS AND OF THE HIGHEST QUALITY OF THEIR SPECIFIED CLASS AND KIND.
- B. BRAND OR PRODUCT: REFER TO THE IRRIGATION EQUIPMENT LIST ON THIS DRAWING FOR DESIRED EQUIPMENT. BECAUSE OF SIMILARITIES IN COMPETITIVE BRANDS, ALTERNATE EQUIPMENT WILL BE CONSIDERED IF THE BIDDER / CONTRACTOR REQUESTS APPROVAL PRIOR TO THE BID DATE. APPROVAL, IF GRANTED, WILL BE IN THE FORM OF A WRITTEN ADDENDUM SO THAT ALL BIDDERS HAVE THE SAME ADVANTAGE IN PRICING. IF WRITTEN APPROVAL IS NOT IN HAND AT THE TIME BIDS ARE SUBMITTED, THE EQUIPMENT SHALL BE EXACTLY AS STATED ON THE EQUIPMENT LIST.
- PART 3 EXECUTION**
- 3.01 PREPARATION
- A. IRRIGATION SYSTEM LAYOUT IS DIAGRAMMATIC. EXACT LOCATIONS OF IRRIGATION COMPONENTS SHALL BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD AT THE TIME OF INSTALLATION. LAYOUT AND STAKE THE LOCATION OF EACH PIPE RUN AND ALL SPRINKLER HEADS AND SPRINKLER VALVES. OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF SIGNIFICANT DEVIATIONS.
- 3.02 INSTALLATION
- A. EXCAVATING AND BACKFILLING: ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. EXCAVATE TRENCHES OF SUFFICIENT DEPTH AND WIDTH TO PERMIT PROPER HANDLING AND INSTALLATION OF PIPE AND FITTINGS. EXCAVATE TO DEPTHS REQUIRED TO PROVIDE 2" DEPTH OF EARTH FILL OR SAND BEDDING FOR PIPING WHEN ROCK OR OTHER UNSUITABLE BEARING MATERIAL IS ENCOUNTERED. FILL TO MATCH ADJACENT GRADE ELEVATIONS WITH APPROVED EARTH FILL MATERIAL. PLACE AND COMPACT FILL IN LAYERS NOT GREATER THAN 8" IN DEPTH.
- B. PLASTIC PIPE: INSTALL PLASTIC PIPE AND FITTINGS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, INCLUDING RECOMMENDATIONS ON TEFLON TAPE AND PIPE JOINTING COMPOUNDS. PROVIDE FOR THERMAL EXPANSION AND CONTRACTION. SAW CUT PLASTIC PIPE USING A SQUARE-IN-SAWING VICE TO ENSURE A SQUARE CUT. REMOVE BURRS AND SHAVINGS AT CUT ENDS PRIOR TO INSTALLATION. MAKE CONNECTIONS WITH SOLVENT WELD JOINTS OR SLIP SEAL JOINTS. USE ONLY SOLVENT RECOMMENDED BY THE PIPE MANUFACTURER. ALLOW JOINTS TO SET AT LEAST 24 HOURS BEFORE PRESSURE IS APPLIED TO THE SYSTEM. MAINTAIN PIPE INTERIORS FREE OF DIRT AND DEBRIS. CLOSE OPEN ENDS OF PIPE BY ACCEPTABLE METHODS WHEN PIPE INSTALLATION IS NOT IN PROGRESS.
- C. SPRINKLER HEADS, FITTINGS, VALVES AND ACCESSORIES: INSTALL FITTINGS, VALVES, IRRIGATION HEADS, RISERS AND ACCESSORIES IN ACCORDANCE WITH THE DETAILED DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS, EXCEPT AS OTHERWISE INDICATED. SET SPRINKLER HEADS PERPENDICULAR TO FINISHED GRADES UNLESS OTHERWISE INDICATED.
- D. FLUSHING, ADJUSTMENT AND TESTING: FLUSH PIPING AND RISERS AFTER INSTALLATION WITH A FULL HEAD OF WATER PRIOR TO SPRINKLER HEAD INSTALLATION. ADJUST ALL IRRIGATION COMPONENTS AFTER INSTALLATION FOR PROPER AND ADEQUATE DISTRIBUTION OF THE WATER OVER THE COVERAGE PATTERN. TEST SYSTEM UPON COMPLETION OF EACH SECTION. MAKE NECESSARY REPAIRS AND RETEST REPAIRED SECTIONS AS REQUIRED.
- E. SERVICE: RETURN TO THE SITE DURING THE FALL SEASON REGARDLESS OF MAINTENANCE RESPONSIBILITY, AND DEMONSTRATE TO THE OWNER'S REPRESENTATIVE WINTERIZATION PROCEDURES BY DRAINING ALL WATER FROM THE SYSTEM. RETURN TO THE SITE DURING THE SUBSEQUENT SPRING SEASON AND DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THE PROPER PROCEDURE TO SYSTEM STARTUP, OPERATION AND MAINTENANCE. MAKE ANY WARRANTY REPAIRS OR ADJUSTMENTS.
- 3.03 CLEANING
- A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT. MAINTAIN DISPOSAL ROUTE CLEAR, CLEAN AND FREE OF DEBRIS.

IRRIGATION EQUIPMENT LIST

SYMBOL	EQUIPMENT	SIZE	DESCRIPTION
WATER SOURCE AND POINT OF CONNECTION			
○	CURB STOP	3/4"	PER TOWN OF CASTLE ROCK RQMTS.
○	TYPE K COPPER SERVICE LINE	3/4"	PER TOWN OF CASTLE ROCK RQMTS.
⊗	IRRIGATION WATER TAP/METER	3/4"	SEE DETAIL
⊗	STOP AND DRAIN VALVE	3/4"	BRASS UNIT
●	REDUCED PRESSURE BFP	3/4"	FEBCO LF825Y WITH PAD AND CAGE
●	BLOW-OUT QUICK COUPLER	3/4"	HUNTER HQ-3RC WITH HK-33 KEY
CONTROL			
□	CONTROLLER	9 ZONE UNIT	HUNTER PC-900 WALL MOUNT
+	VALVE WIRES	14 GA	DIRECT BURIAL (PLUS TWO SPARES)
+	RAIN SENSOR	N/A	HUNTER WIRELESS RAIN-CLIK WRC
PIPING			
-----	MAINLINE	1"	CL200BE PVC - AT 18" DEPTH
-----	LATERAL PIPE	1" THROUGH	80 LB NSF POLY - AT 12" DEPTH
-----	PAVEMENT SLEEVES	2" UNLESS SHOWN	CL200 PVC - AT 18" DEPTH
ELECTRIC VALVES			
N/A	VALVE BOXES - LOCKING	N/A	CARBON OR RAINBIRD - ALL SIZES
⊕	VALVES - SPRAY ZONES	1"	HUNTER FGV-100G-S
MANUAL VALVES			
N/A	BALL VALVES	VALVE SIZE	PVC
○	QUICK COUPLERS	3/4"	HUNTER HQ-3RC WITH HK-33 KEY
◀	DRAIN VALVES	3/4"	BRASS WITH STAR HANDLE
DRIP ASSEMBLY			
⊕	LOW VOLUME ELECTRIC VALVES	3/4"	RAINBIRD XCZ-015-PRF
-----	LATERAL PIPE	3/4"	80 LB NSF POLY - AT 12" DEPTH
-----	DRIP EMITTER PIPE	SEE DETAIL	RAINBIRD XT-100
N/A	DRIP EMITTERS	SEE DETAIL	RAINBIRD XERI-BUG XB-20-PT
SPRAY HEADS			
N/A	POP-UP SPRAY HEAD BODIES	6"	HUNTER MFR-40-06
●	ADJUSTABLE ARC NOZZLES	HALF 4 QUARTER	HUNTER MF2000 (.15 GPM)
●	FULL CIRCLE NOZZLES	FULL CIRCLE	HUNTER MF2000 (15 GPM)

IRRIGATION NOTES

- IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR WHO SHALL OBTAIN AN IRRIGATION SYSTEM (PLUMBING) PERMIT PRIOR TO COMMENCING WORK.
- EACH HYDROZONE IS SEPARATELY ZONED DUE TO PLANT TYPES, SLOPE AND/OR SUN EXPOSURE. TURF AREAS WILL BE WATERED WITH POP-UP SPRAY HEADS. SHRUBS AND TREES NOT OCCURRING IN TURF AREAS WILL BE WATERED WITH DRIP EMITTERS.
- IRRIGATED TURF AREAS SHALL NOT BE LESS THAN 10' WIDE PER TOWN OF CASTLE ROCK REQUIREMENTS.
- ALL PLANT WATERING SHALL CONFORM TO THE TOWN OF CASTLE ROCK'S LARGE/Common AREA/PUBLIC AREA IRRIGATION WATERING SCHEDULE BETWEEN THE HOURS OF 10:00 PM TO 5:00 AM EVERY THIRD DAY OR AS OTHERWISE DIRECTED BY THE TOWN OF CASTLE ROCK (7 HOURS EVERY THIRD WATERING DAY X 10 DAYS PER MONTH = 70 HOURS PER MONTH MAXIMUM). ALL IRRIGATION SCHEDULES FOR LARGE IRRIGATORS MUST BE SUBMITTED TO THE TOWN OF CASTLE ROCK FOR REVIEW AND APPROVAL.
- PLANT ESTABLISHMENT IRRIGATION MAY REQUIRE AN IRRIGATION EXEMPTION PERMIT FROM THE TOWN OF CASTLE ROCK AND SHALL BE APPLIED FOR BY THE IRRIGATION CONTRACTOR PRIOR TO INSTALLATION OF PLANT MATERIAL.
- AN IRRIGATION INSPECTION AFFIDAVIT IS PROVIDED BY THE TOWN OF CASTLE ROCK AND COMPLETED BY THE REGISTERED IRRIGATION INSTALLER. THE AFFIDAVIT WILL BE REQUIRED AT FINAL COMPLETION AND PROJECT ACCEPTANCE.
- THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION ASSEMBLY APPROVED BY THE TOWN OF CASTLE ROCK. THE BFP SHALL BE TESTED UPON SYSTEM STARTUP.
- THE SIZE OF THE IRRIGATION TAP, LINE, METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE THE SAME FROM THE TAP AT THE WATER LINE TO A DISTANCE OF TEN PIPE DIAMETERS PAST THE WINTERIZATION TEE DOWNSTREAM OF THE BACKFLOW PREVENTION ASSEMBLY.



Irrigation System Hydraulic

Project Name:	Metzler Ranch Lot 2-A-2, Filing 10	Date:	September 14, 2010
Project Location:	Metzler Ranch, Town of Castle Rock		
Prepared by:	Rockne Corty Design, Inc. - Doug Rockne	Current TOCR Registration #	5154
Tap Size	0.75"	Source of Pressure	Site Reading from Donald Ashlock
Static Water Pressure:	105 psi		
Hydraulic Grade At Zone:	6284	Company	TOCR Utilities Department
	Ft. of Copper	Pipe Size (")	K Copper
			Friction Loss (from chart)
Service Line (tap to meter):	71 LF	0.75	11.85 /100 FT
Water Meter:		0.75	3.30
Service Line (meter to backflow):	18 LF	0.75	11.85 /100 FT
Backflow:		0.75	11.00
Master Valve:			0.00
Pressure Required at Head:			40
Lateral Allowance:			1.50
Control Valve Allowance:			1.90
Mainline Allowances:			
Length of Mainline	Pipe Material	Size	Gals.
289 LF	CL200BE	1" @	9
	LF CL200BE	" @	9
			GPM
			1.17 /100 FT
			3.38
			GPM-Looped
			1/100 FT
			0.00
Elevation:	Tap elevation	6,274	High/Low: 6,265
			-3.90
Green shading indicates required information you must provide			
Total System requirements (PSI)			67.73
Available System Pressure (PSI)			105.00
Town of Castle Rock provides a minimum of 43 psi			
Total irrigated area for tap #			is 16,322 sq. ft.



IRRIGATION CHART

Registered Professional Doug Rockne Registration # 5154 Date October 4, 2010

Company Name Rockne Corty Design, Inc. Address PO Box 3354, Centennial, CO 80161

Phone 303-770-6746 Email dgr@rockne.com Clock Make Hunter Model PC-900

r Circle r Square

Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage
		(Turf, Native, Shrubs, Perennials, Trees, Annuals, etc.)	(Robbs, Sprays, Bubblers, Drip, SDI, etc.)	(Nozzle/Emitter size)	(inches/hour)	(Per Zone)	(Peak not to exceed 6"/month or 1.5"/week)	(Minutes/Month)	(Minutes Every Third Day)	(Gallons per month)
Ex. 1	High	Blue Grass	RB 1806 SAM PRS	15'	1.83	75	6	197	20	2951
Ex. 2	Low	Buffalo Grass	Hunter I-20	3'	0.4	15	15	150	15	2250
1	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	6	3	400	40	2400
2	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	6	3	400	40	2400
3	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	4	3	400	40	1600
4	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	5	3	400	40	2000
5	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	9	3	400	40	3600
6	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	7	3	400	40	2800
7	medium	can blue fes turf	HUNT MPR-40-06	MP 2000	0.45	6	3	400	40	2400
8	low	trees & shrubs	RB Xeri-Bug	XP-20 PT	0.1	1	2	0	0	0
9	low	trees & shrubs	RB Xeri-Bug	XP-20 PT	0.1	1	2	0	0	0
								2800	280	17200
Total								Min/Month	Min/cycle	Gallons/Month

Rockne Corty Design
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LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
FOOT OFFICE BOX 3354 - CENTENNIAL, COLORADO 80161
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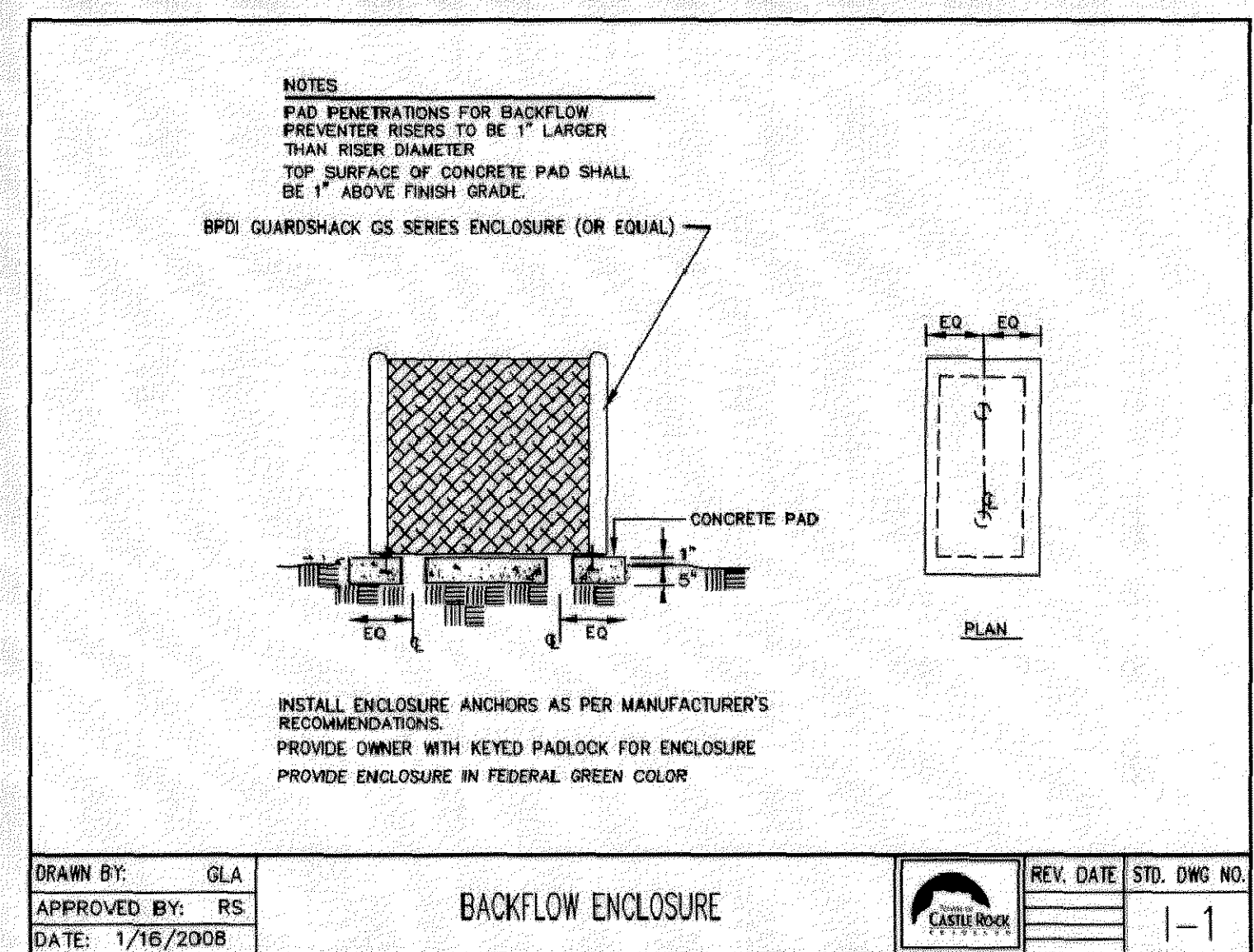
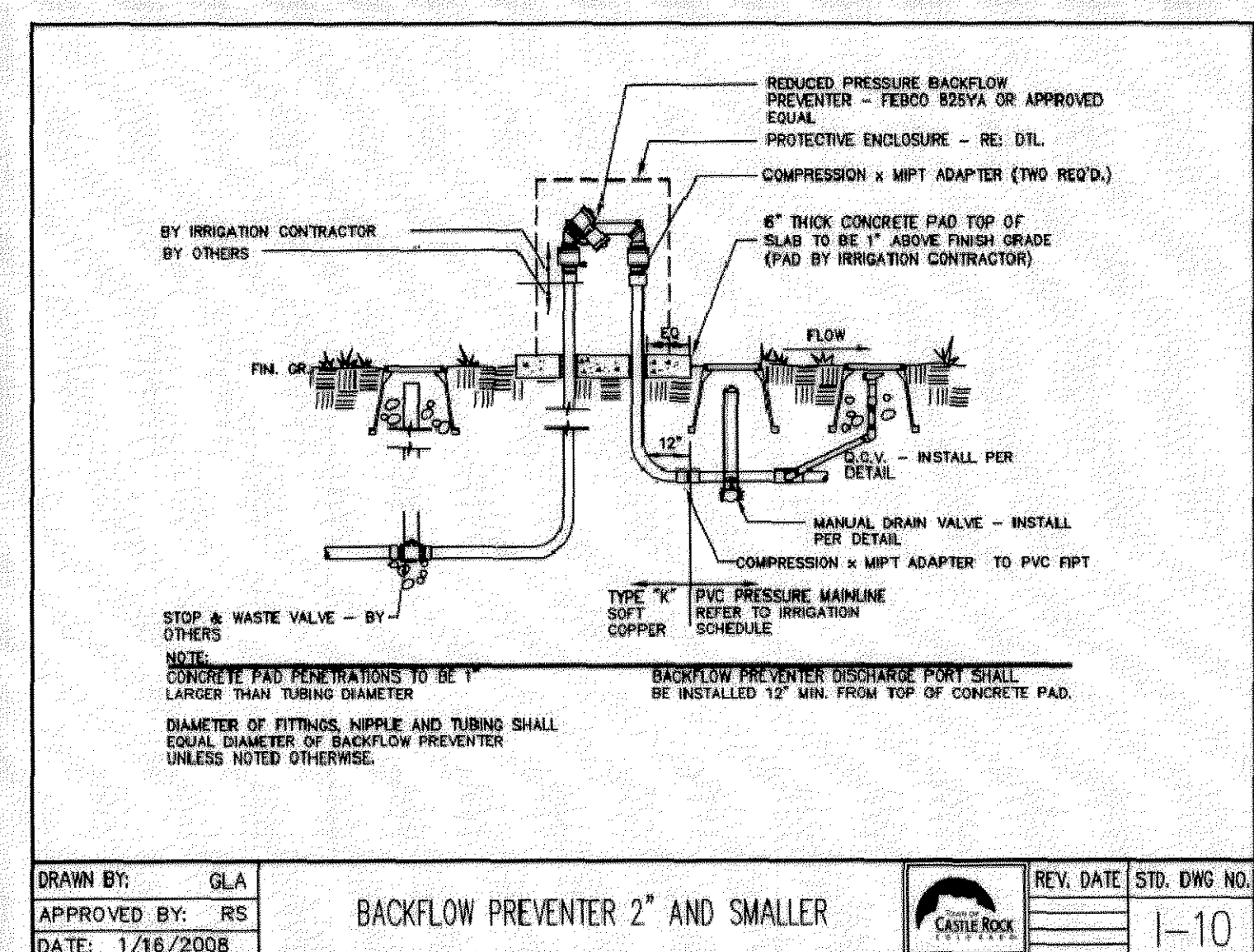
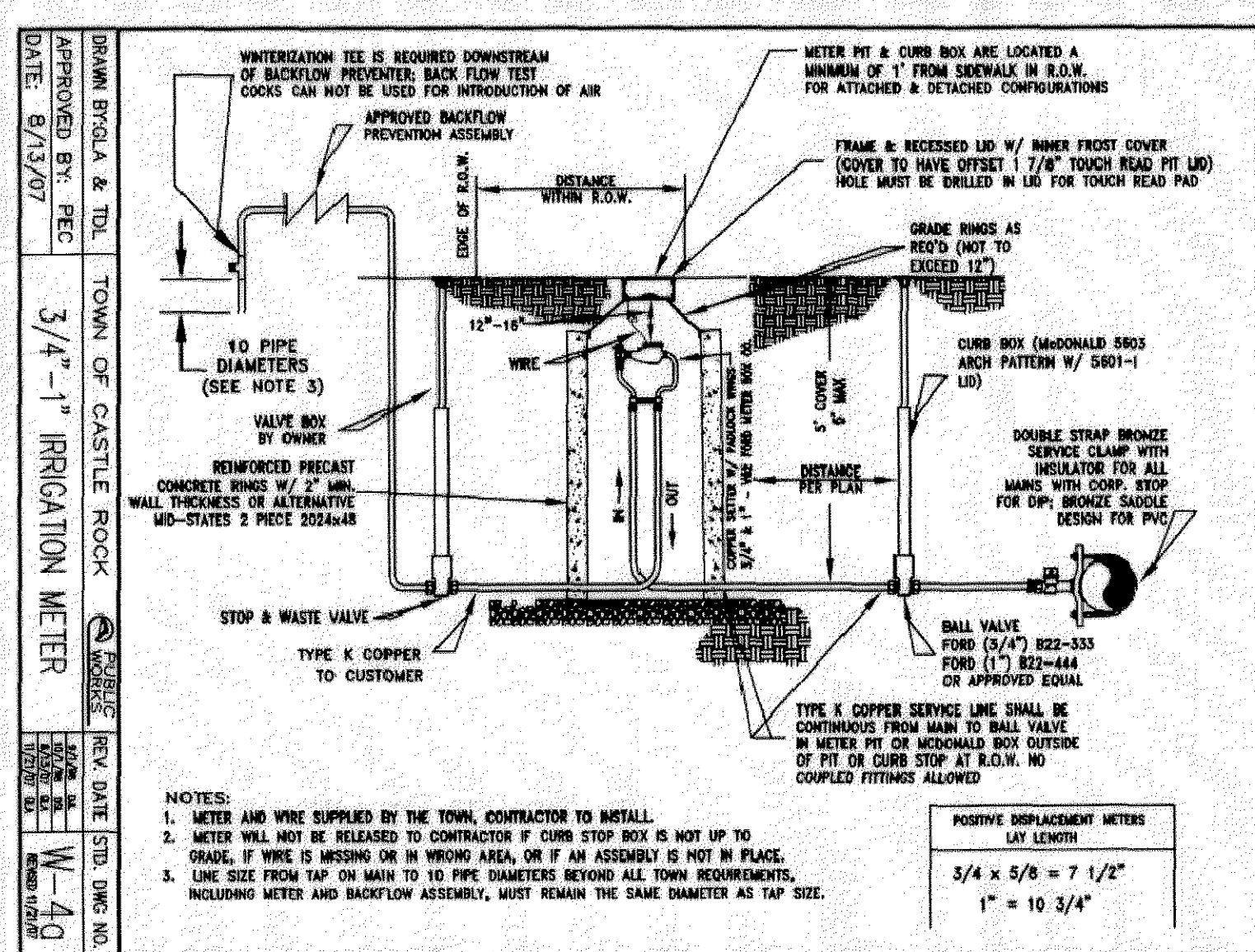
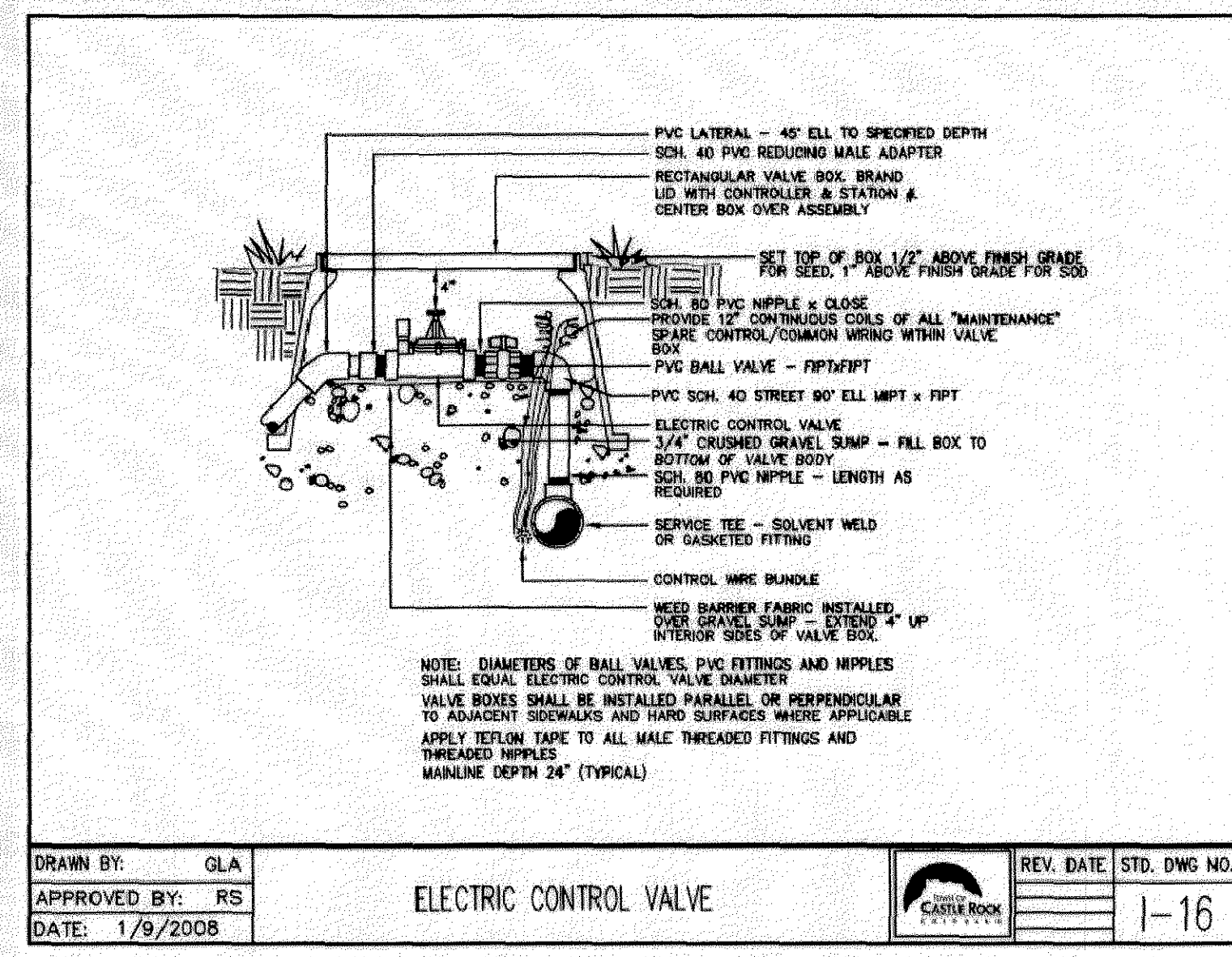
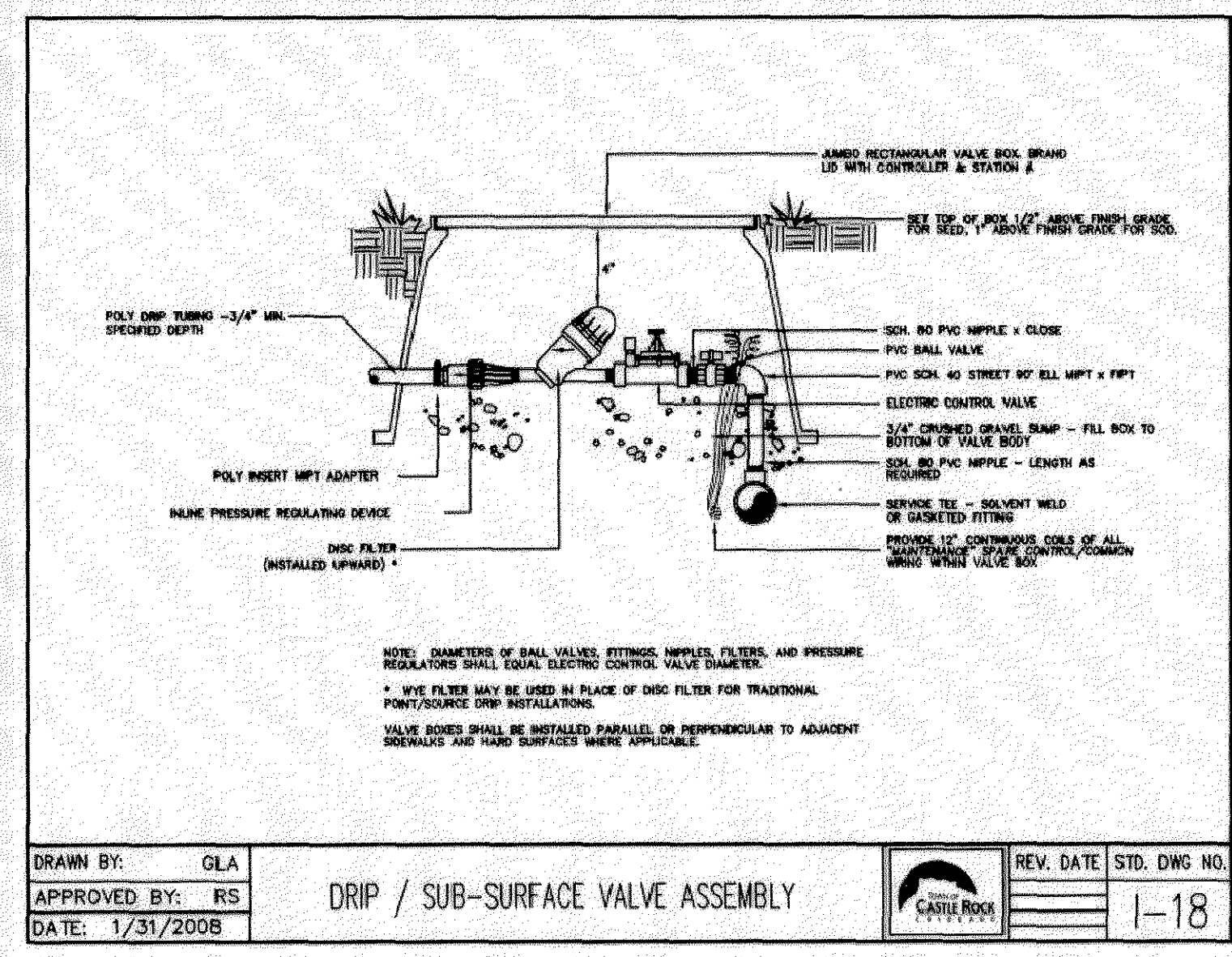
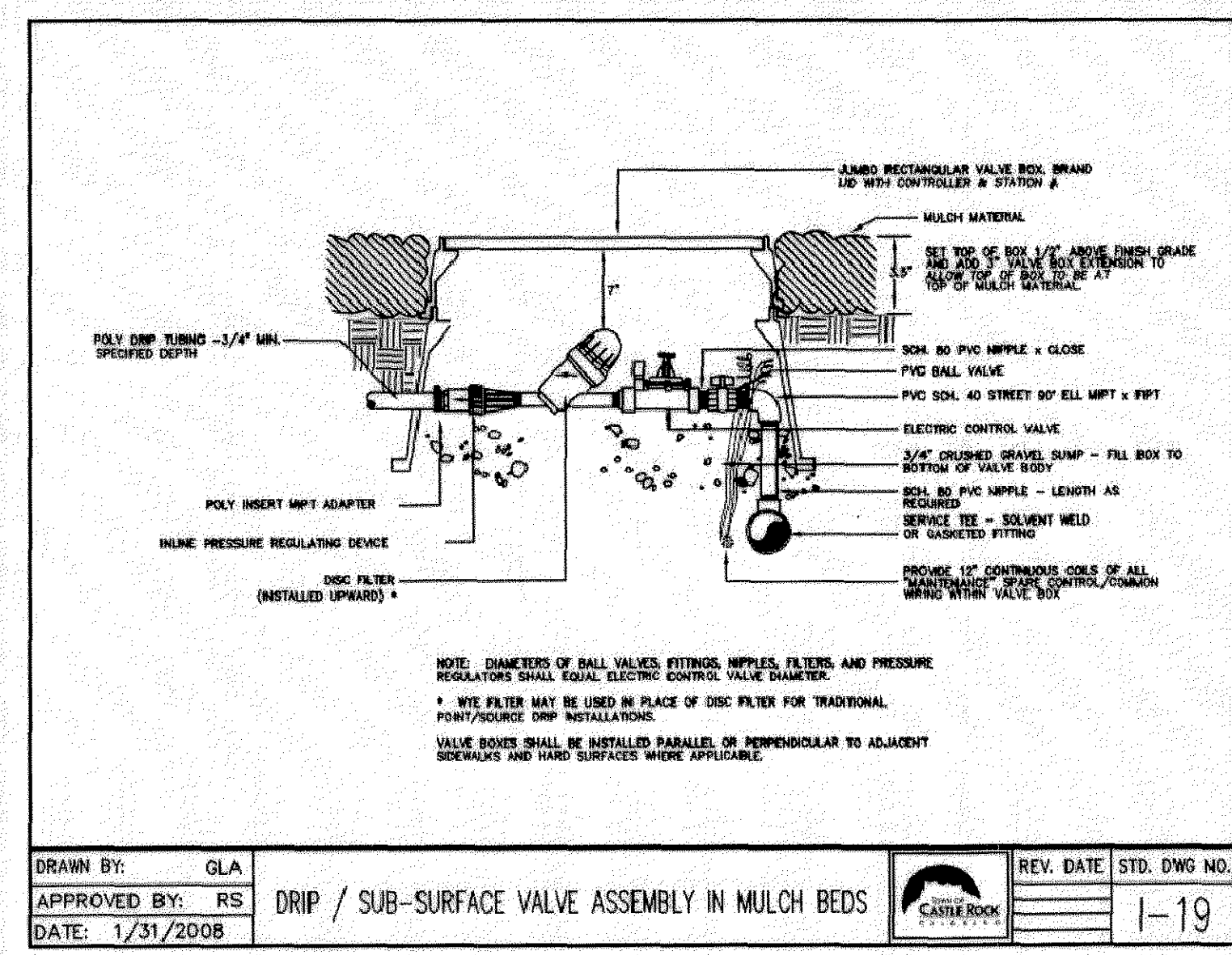
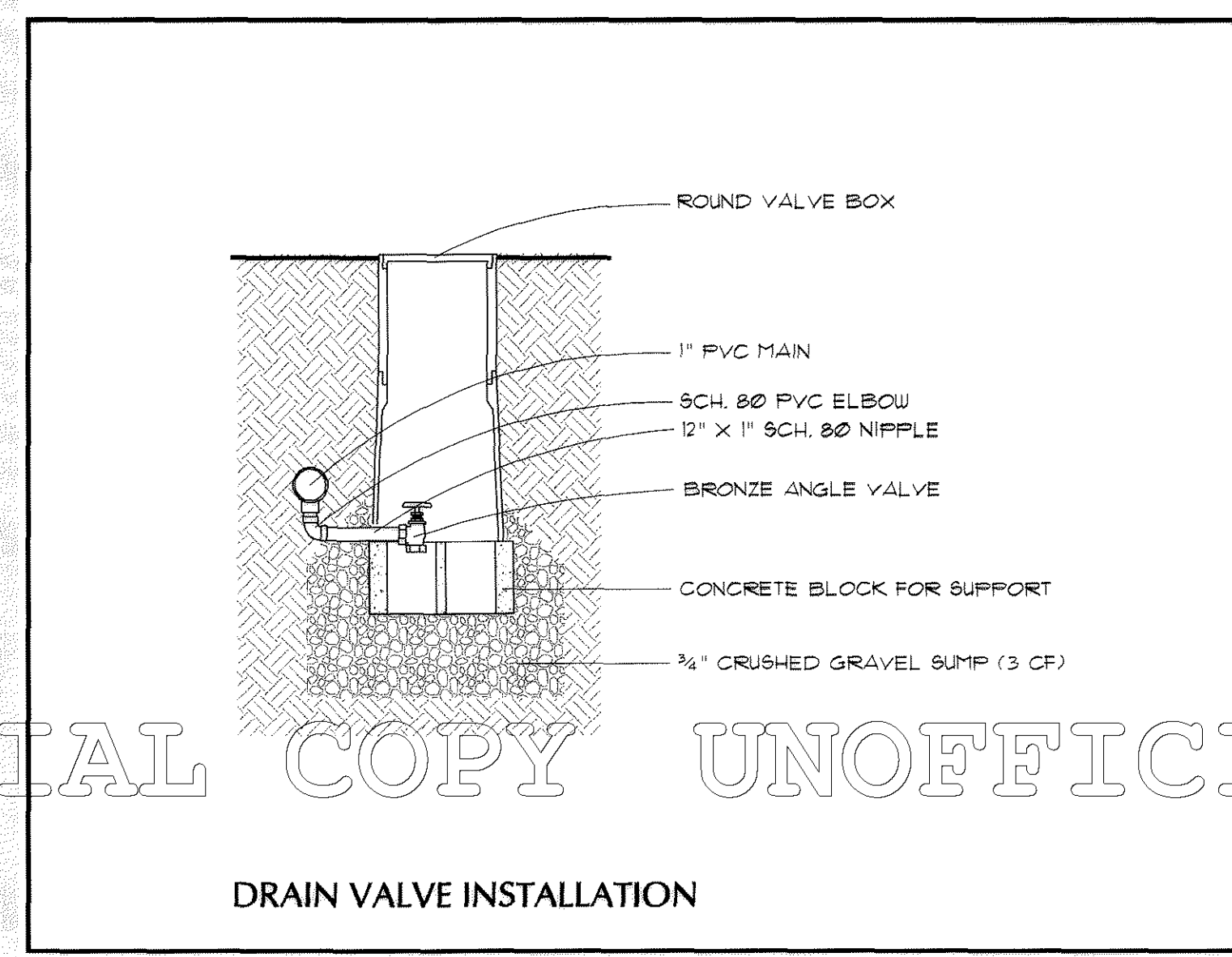
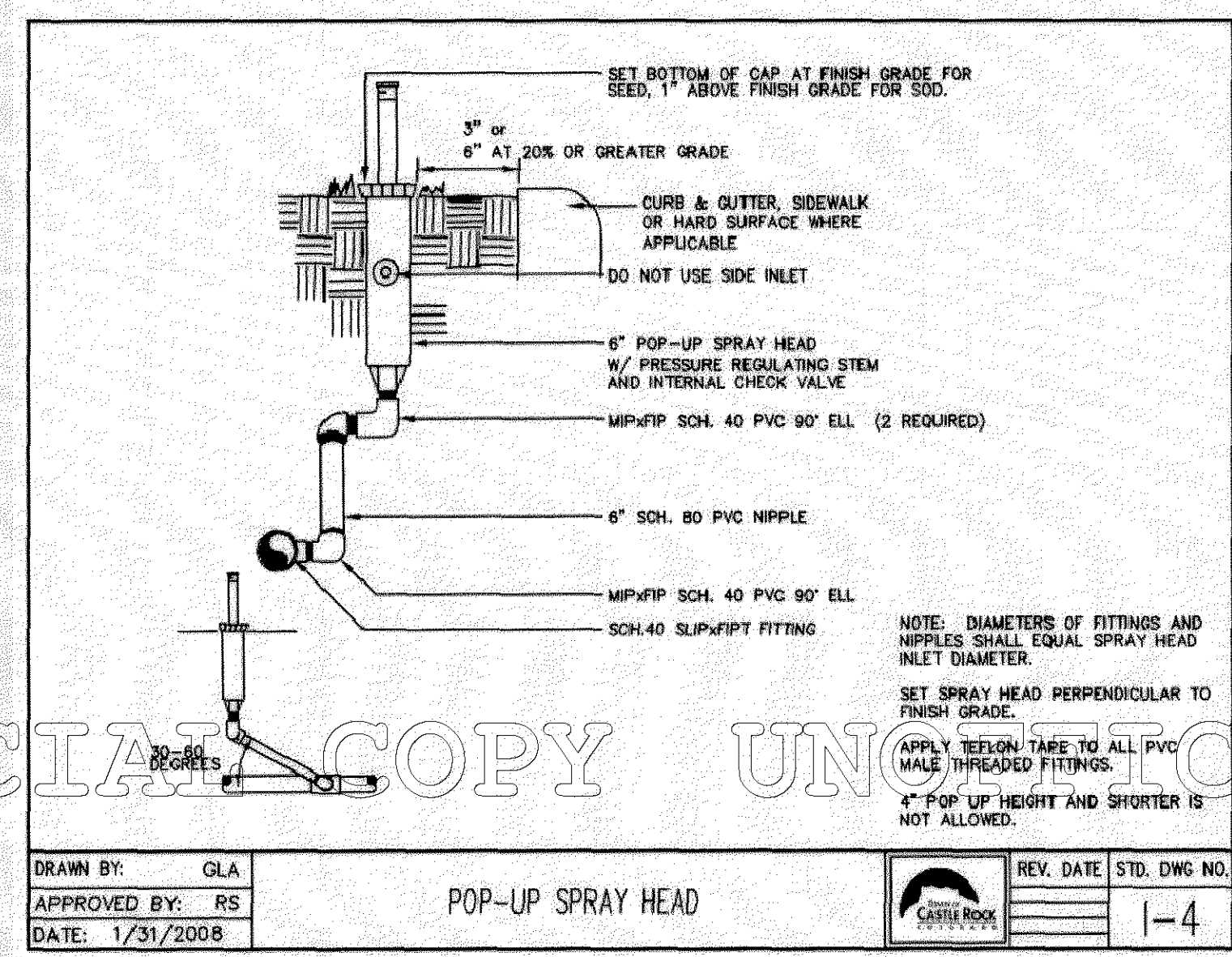
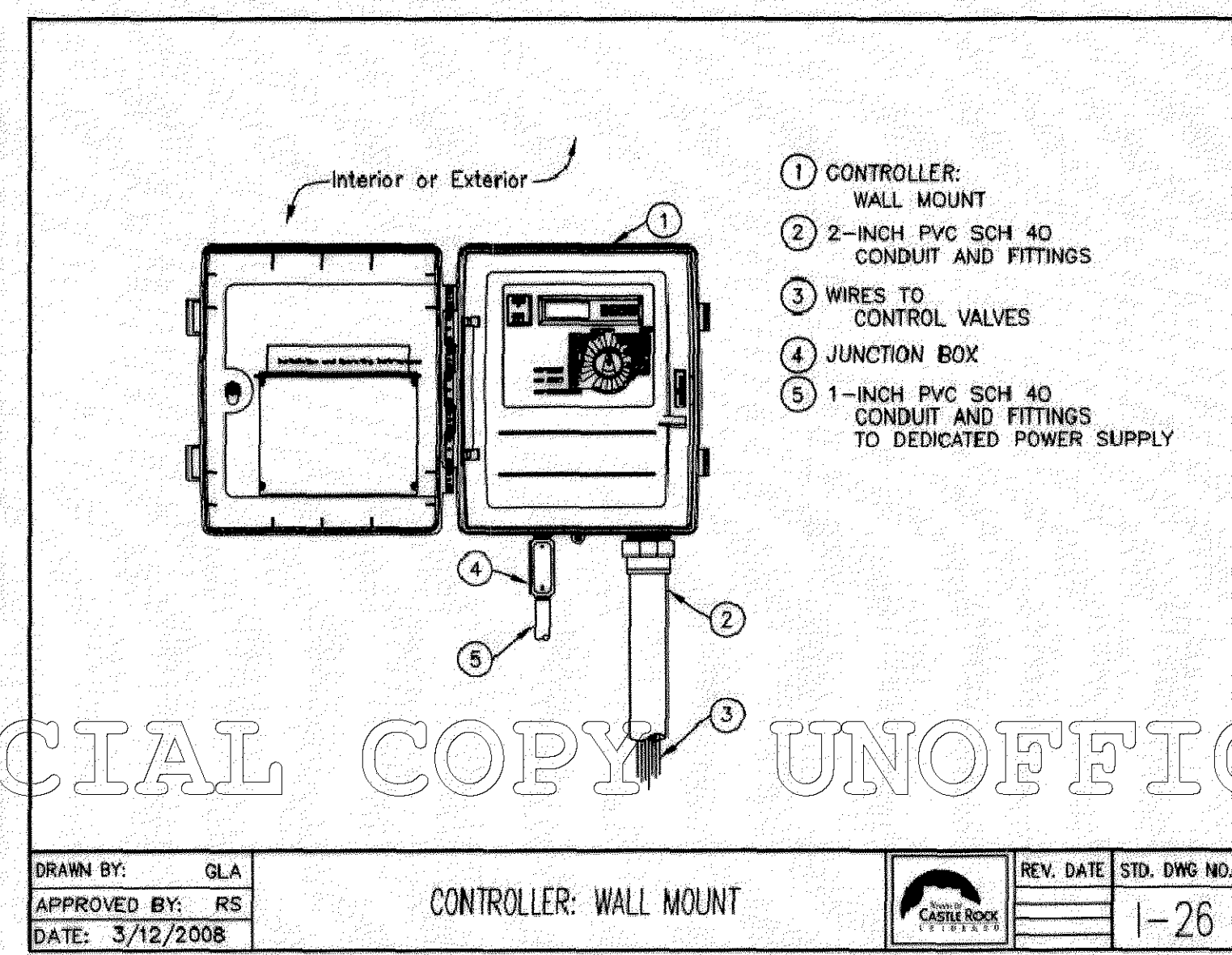
TOWN OF CASTLE ROCK - REGISTRATION NO. 5154
DOUGLAS G. ROCKNE - AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

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RANCH FILING 10, 2ND AMENDMENT (1ST
AMENDMENT TO FINAL PD SITE PLAN)
FPD 10-0003
LOT 2-A-2 - IRRIGATION DETAILS
SHEET 9 OF 12 - OCTOBER 4, 2010

FINAL PD SITE PLAN

AMENDED FINAL PD SITE PLAN FOR ~~LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)~~ LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT ~~(2ND AMENDMENT TO FINAL PD SITE PLAN)~~

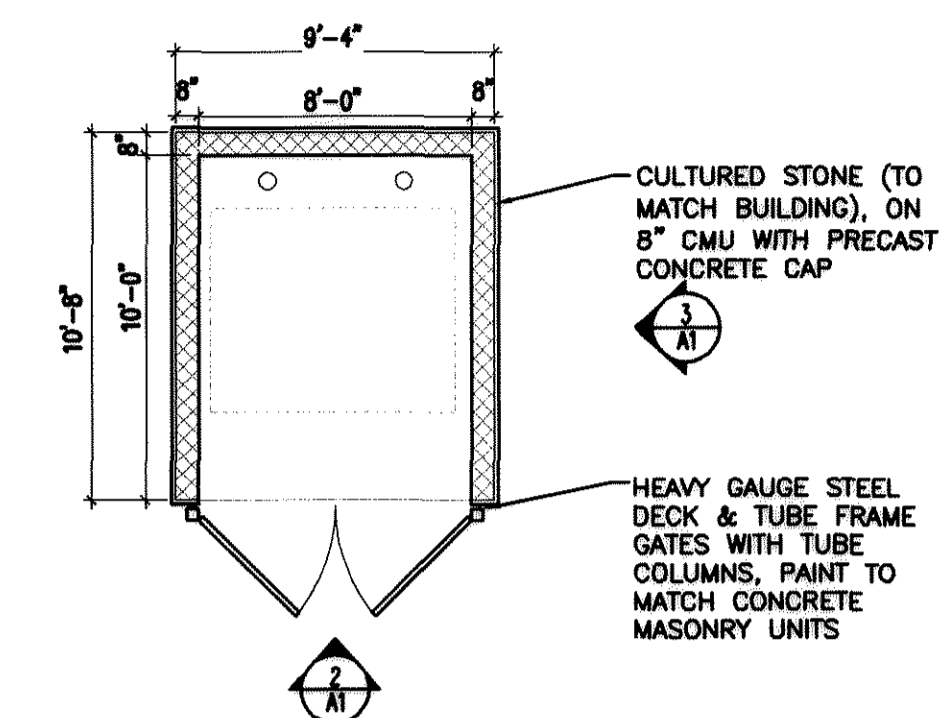
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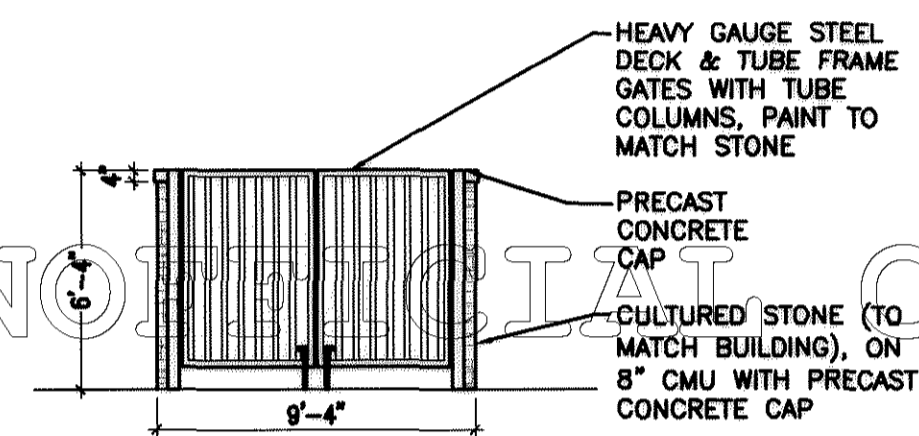
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FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN)

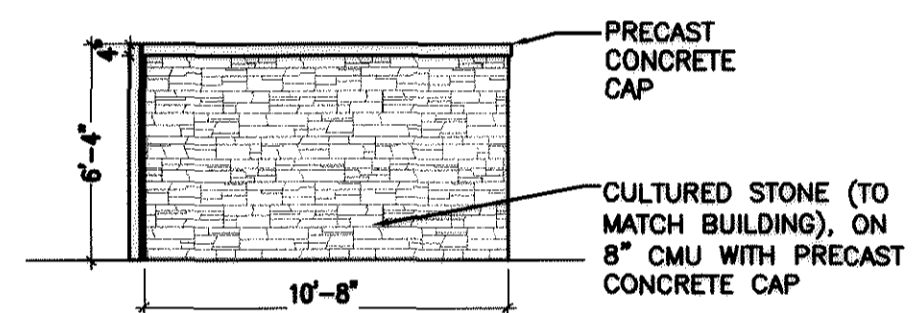
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TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-2 - BUILDING ELEVATIONS



1 TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"

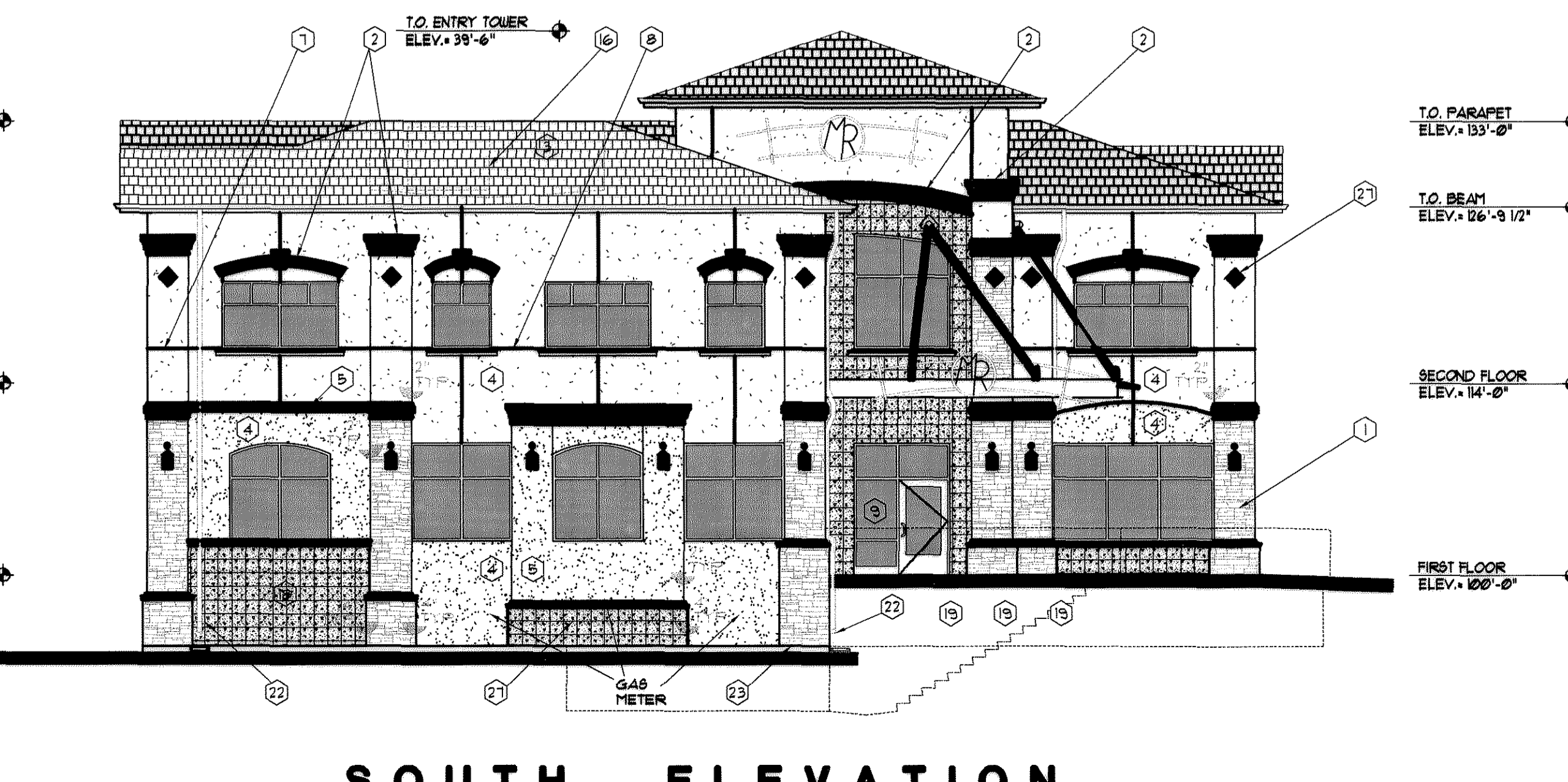
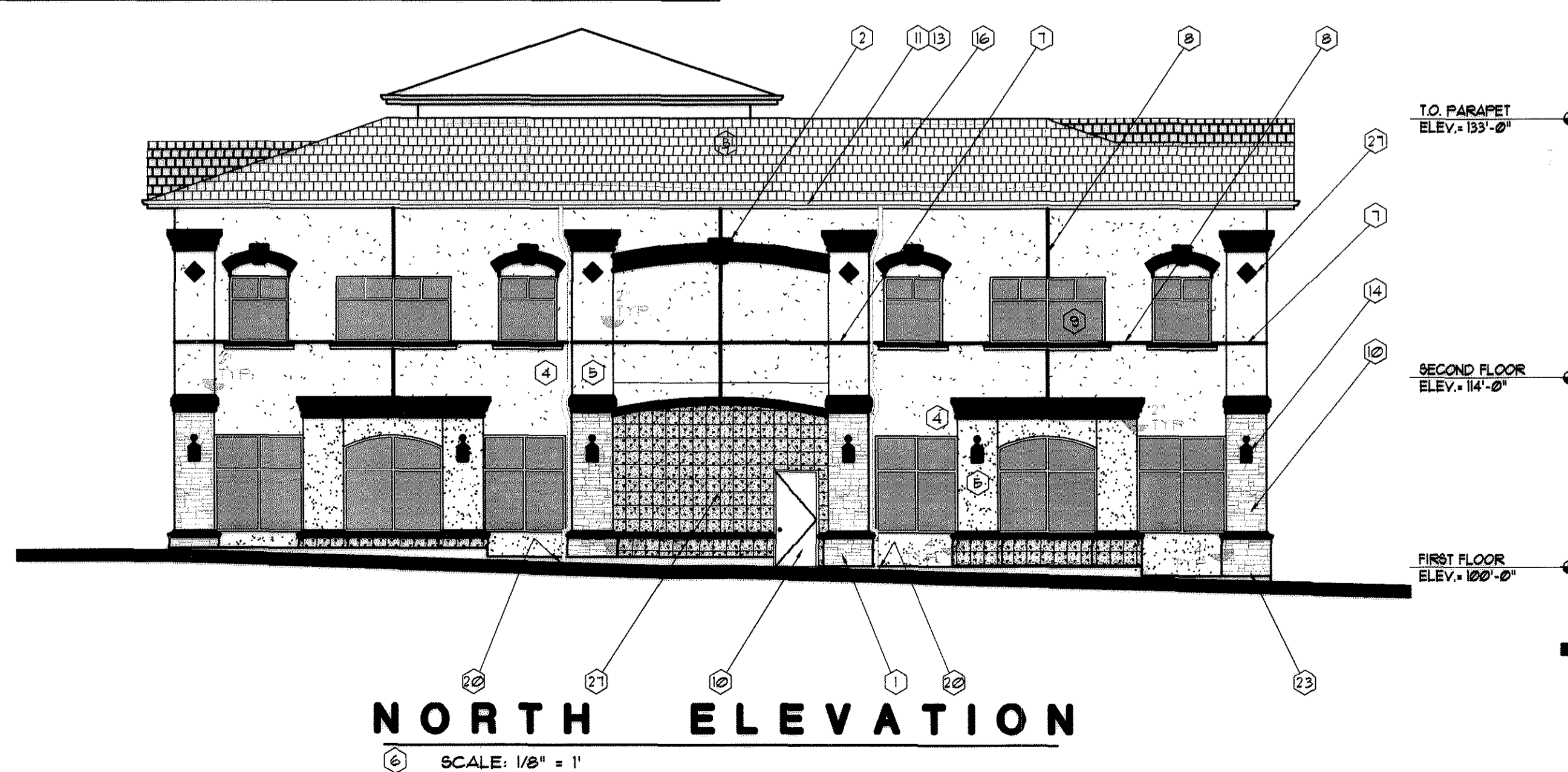
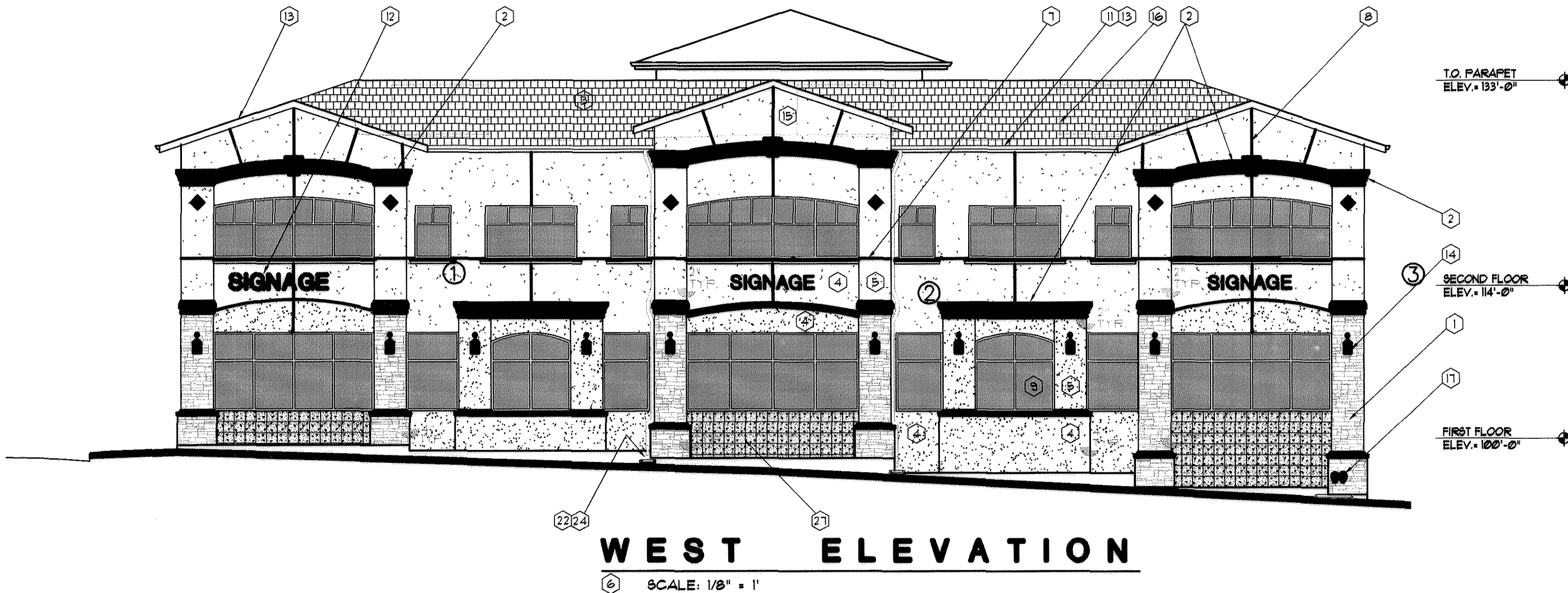
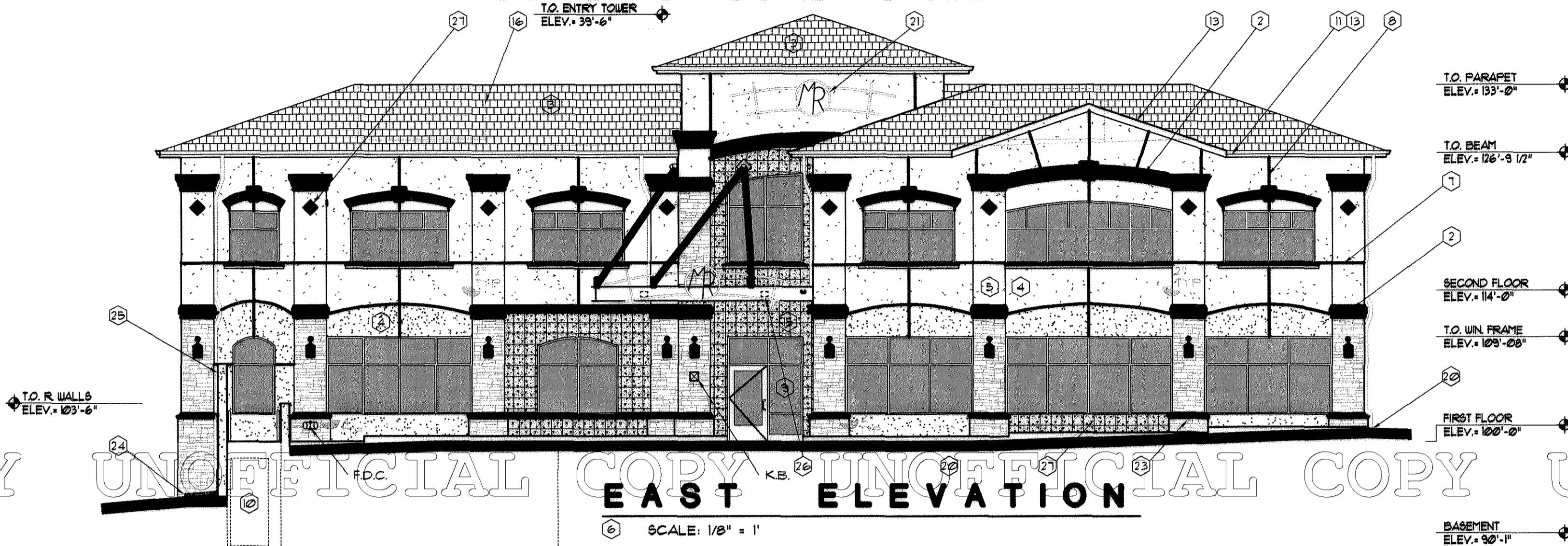


2 TRASH ENCLOSURE ELEVATION
SCALE: 1/8" = 1'-0"



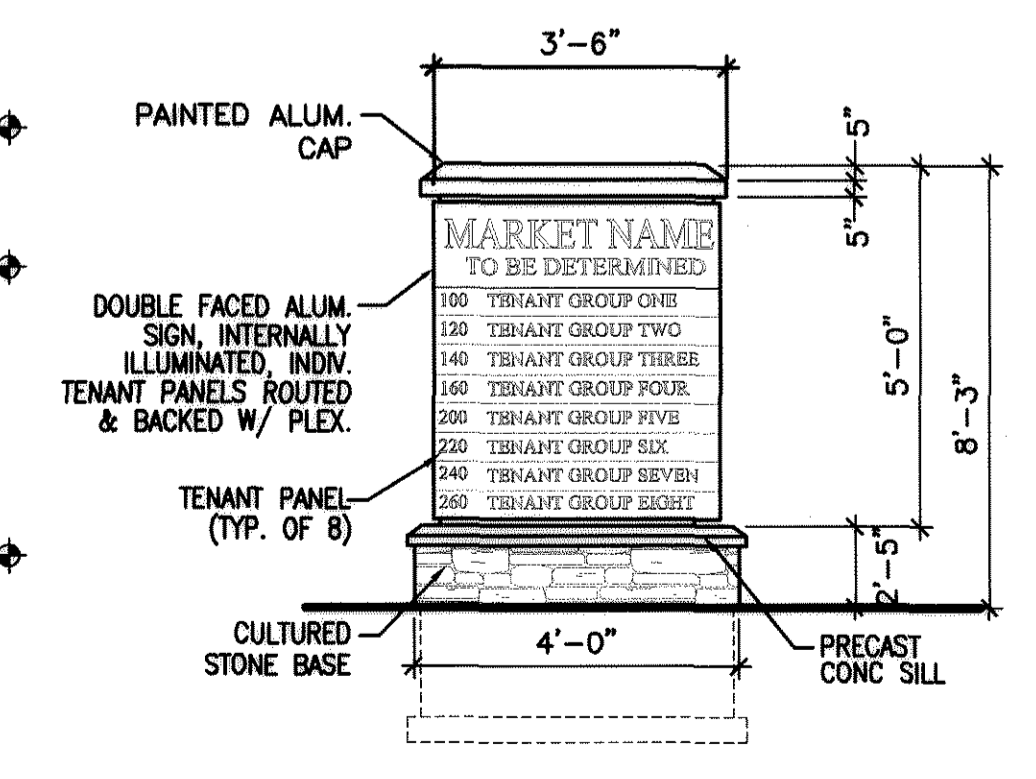
3 TRASH ENCLOSURE ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
MATERIALS	MANUFACTURER	COLOR/TYPE
STONE:	ENVIRONMENTAL STONE WORKS	MOUNTAIN LEDGE
GROUT:	T&A	CARAMEL
EIFS/STUCCO FIELD:	T&A	SANDWOOD BEIGE #2
EIFS/STUCCO ACCENT:	SHERWIN WILLIAMS	DOWNING EARTH SW 9822
DETAILS/ACCENT:	SHERWIN WILLIAMS	COCONUT HUNK SW 9511
ROOF TILE:	WESTLE SHAKE	BURNT CEDAR
SOFFIT:	ALCOA	ALCOA "BUCKER"
FASCIA:	ALCOA	SIERRA TAN
1" INSULATED GLAZING:	T&A	BRONZE W/ BRONZ FRAME
STONE TILE:	T&A	BROWN - GRAY



- KEY NOTES:**
- STONE VENEER - SIMULATED STONE WITH COLORED GROUT.
 - EIFS DETAIL, ACCENT COLOR.
 - CONCRETE TILE ROOF.
 - STUCCO.
 - EIFS.
 - ALL COLORS AND MATERIALS PER EXTERIOR FINISH SCHEDULE.
 - EIFS "V" REVEAL.
 - STUCCO "V" REVEAL.
 - MEDIUM BRONZE ANODIZED ALUMINUM STOREFRONT FRAMES WITH 1" INSULATED BRONZE GLAZING.
 - SERVICE DOORS AND FRAMES PAINTED TO MATCH WALL.
 - FIRE FINISHED GUTTERS, AND DOWNSPOUTS, GUTTERS TO MATCH FASCIA COLOR AND DOWN SPOUTS TO MATCH ADJACENT WALL COLORS.
 - BUILDING SIGN.
 - PRE FINISHED METAL FASCIA.
 - LIGHT FIXTURE.
 - BUILDING SIGNAGE LOCATION.
 - 4"X8" ROOF TOP UNIT SCREENED FROM VIEW IN MECHANICAL ROOF WELL - TYPICAL.
 - BRASS LAMBS TONGUE CONNECTED TO ROOF AND OVERFLOW DRAINS WITH CONCRETE PRE CAST SPLASH BLOCK.
 - GAS METER LOCATION.
 - ELECTRICAL METER LOCATION (IN FOREGROUND).
 - CONCRETE SIDEWALK CHASE.
 - BUILDING LOGO.
 - TERMINATE DOWNSPOUT 18" CLEAR OFF FINISHED GRADE. SUPPLY FIRE CAST SPLASH BLOCK ALL LOCATIONS IN LANDSCAPE AREAS TYPICAL.
 - HOLD STONE VENEER 2" ABOVE GRADE TYP.
 - 4"X18"X36" PRECAST CONCRETE SPLASH PAN.
 - MASONRY RETAINING WALL.
 - LIGHT FIXTURE MOUNTED UNDER CANOPY.
 - STONE TILE.

SIGNAGE TABLE				
	SIGN TYPE	MAX. AREA (SF)	MAX. HEIGHT (FT.)	MAX. WIDTH (FT.)
1	CHANNEL	36	2	18
2	CHANNEL	36	2	18
3	CHANNEL	36	2	18



MOUNTMENT SIGN

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN) LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO LOT 2-A-2 - PHOTOMETRIC PLAN

LUMINAIRE SCHEDULE

KEY	LAMP	INITIAL L.L.F.	INITIAL LUMENS	DESCRIPTION	MOUNTING	MOUNTING HEIGHT	MANUFACTURER	CATALOG NUMBER	VOLTS	NOTES
A	1-50W ED-17	1.0	3,200	30" SIX SIDED CAGE, METAL HALIDE FIXTURE.	SURFACE	9'-0" A.F.G.	STERNBERG LIGHTING	#6913-MH-879BB	120	2
A1	1-50W ED-17	1.0	3,200	30" SIX SIDED CAGE, METAL HALIDE FIXTURE.	SURFACE	10'-0" A.F.G.	STERNBERG LIGHTING	#6913-MH-879BB	120	2
A2	1-50W ED-17	1.0	3,200	30" SIX SIDED CAGE, METAL HALIDE FIXTURE.	SURFACE	13'-0" A.F.G.	STERNBERG LIGHTING	#6913-MH-879BB	120	2
A3	1-50W ED-17	1.0	3,200	30" SIX SIDED CAGE, METAL HALIDE FIXTURE.	SURFACE	14'-0" A.F.G.	STERNBERG LIGHTING	#6913-MH-879BB	120	2
A4	1-50W ED-17	1.0	3,200	30" SIX SIDED CAGE, METAL HALIDE FIXTURE.	SURFACE	15'-0" A.F.G.	STERNBERG LIGHTING	#6913-MH-879BB	120	2
E	INCLUDED (2-50W HALOGEN)	1.0	3,200	EXTERIOR CONCEALED EMERGENCY LIGHT FIXTURE.	RECESSED	12'-0" A.F.G.	CONCEALITE	#HWL-50-2-FR-NC	120	2
P	1-250W MH	1.0	23,000	SINGLE HEAD, METAL HALIDE POLE MOUNTED FIXTURE WITH TYPE III DISTRIBUTION AND HOUSESIDE SHIELD.	POLE	24'-0" A.F.G.	KIM LIGHTING	#1A-AR3-250MH120-DB-P-HS	120	1,2
P1	1-250W MH	1.0	23,000	SINGLE HEAD, METAL HALIDE POLE MOUNTED FIXTURE WITH TYPE III DISTRIBUTION WITH HOUSESIDE SHIELD.	POLE	24'-0" A.F.G.	KIM LIGHTING	#1A-AR3-250MH120-DB-P-HS	120	1,2
P2	1-250W MH	1.0	23,000	SINGLE HEAD, METAL HALIDE POLE MOUNTED FIXTURE WITH TYPE III DISTRIBUTION WITH HOUSEHOLD SHIELD.	POLE	24'-0" A.F.G.	KIM LIGHTING	#1A-AR3-250MH120-DB-P-HS	120	1,2

GENERAL NOTES:

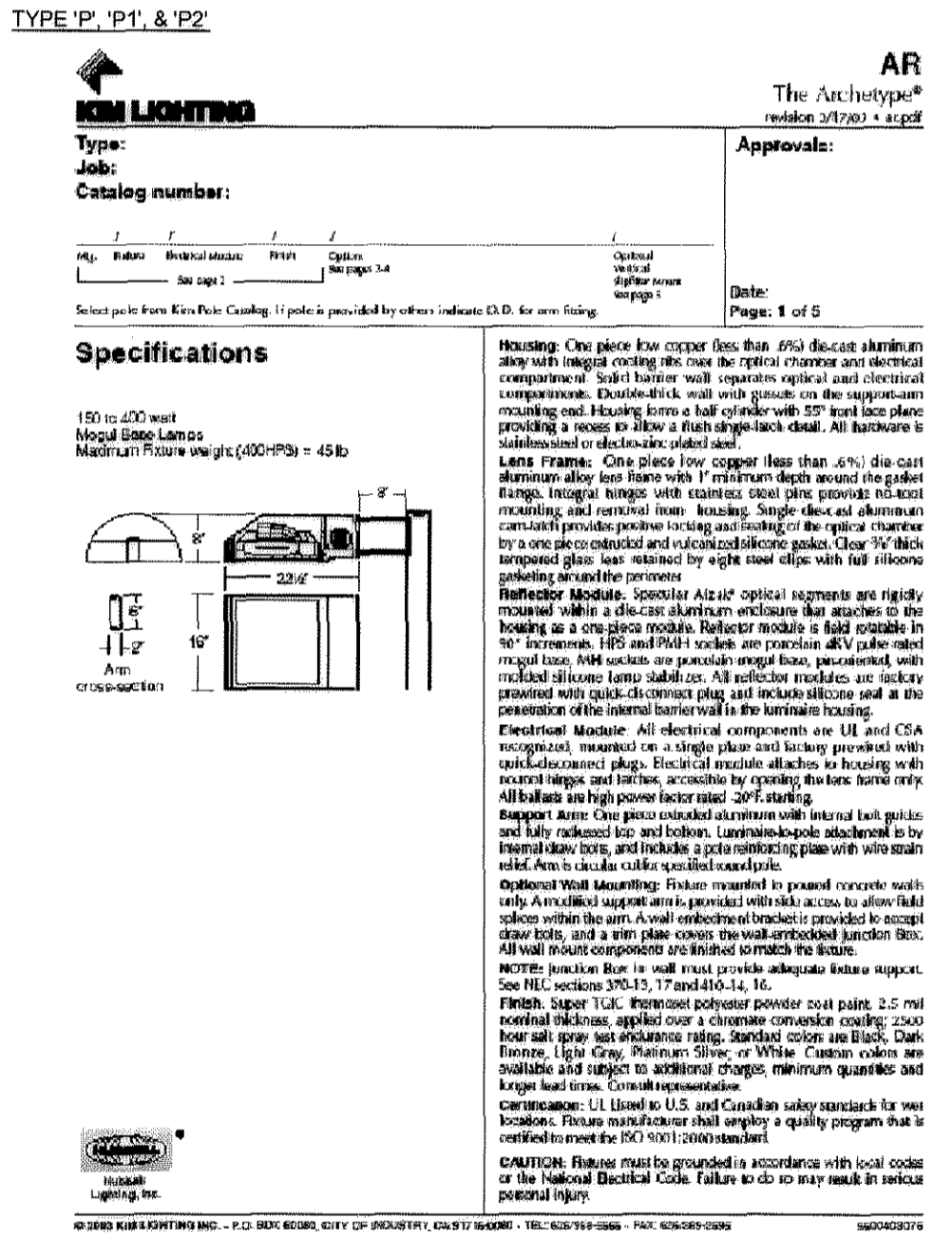
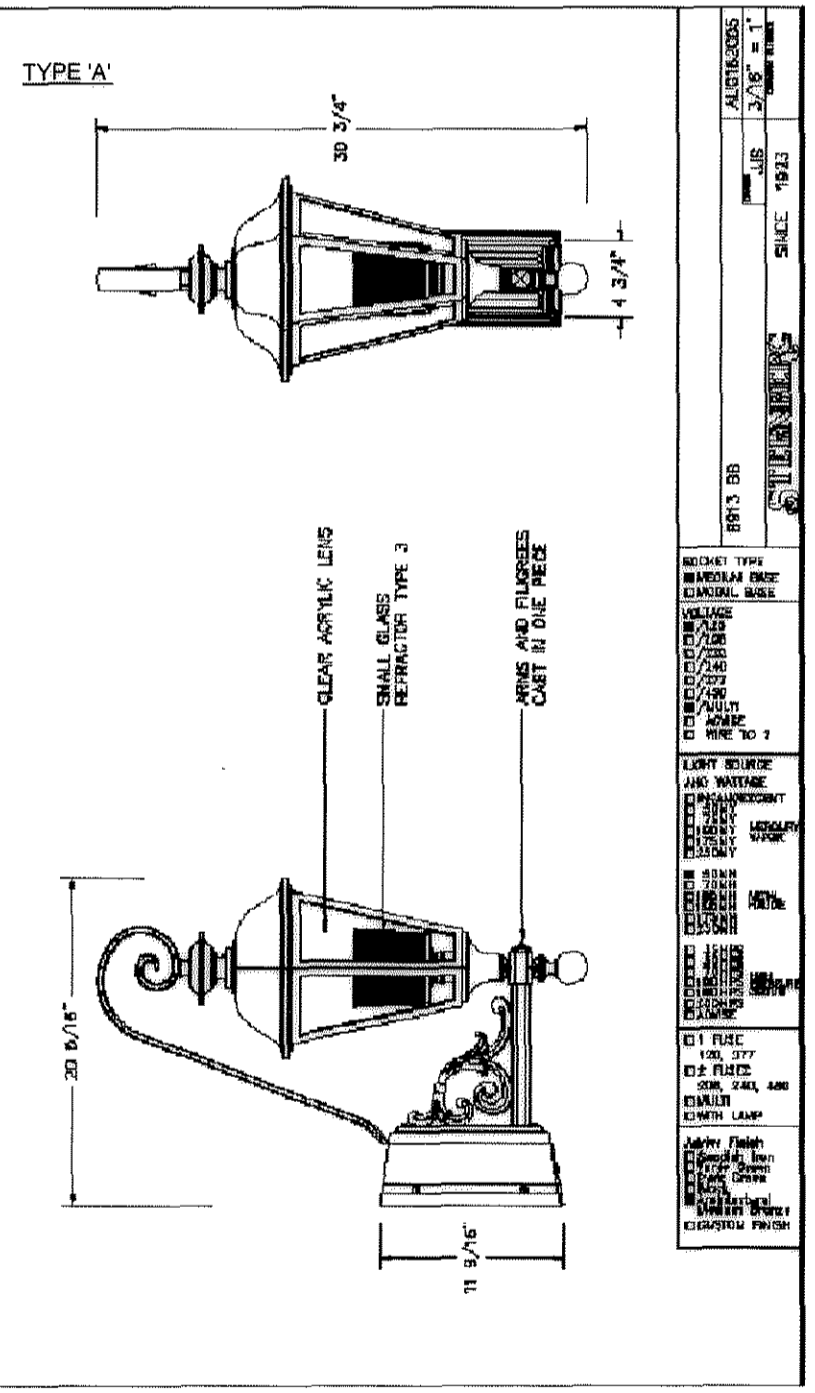
- POLE LIGHT FIXTURES SHALL BE IESNA FULL CUTOFF.
- POLE LIGHT FIXTURES SHALL BE IESNA FULL CUTOFF.
- LIGHT FIXTURE TYPE 'P1' SHALL OPERATE FROM DUSK TO DAWN FOR SECURITY/SAFETY PURPOSES, UNLESS OTHERWISE NOTED.
- LIGHT FIXTURE TYPE 'E' SHALL OPERATE ONLY UPON LOSS OF POWER TO EXTERIOR BRANCH CIRCUIT.

DETAILED NOTES:

- LIGHT FIXTURE TYPE SHALL BE ILLUMINATED EXCEPT BETWEEN THE HOURS OF 9:00 PM TO 5:00 AM.

- NOTES:**
- HEIGHT OF POLE FIXTURE SHALL NOT EXCEED 24'-0" ABOVE FINISHED GRADE.
 - COORDINATE FIXTURE FINISH WITH THE ARCHITECT PRIOR TO ROUGH-IN.

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HYDRO-LITE

Hydro-Lite

FEATURES

- Complete and self-contained unit
- Highly sensitive operation - starts operation by 12 volt DC sensor with large gas load
- Choice of 90 minute or 2 hour operation
- Highly sensitive 100, 144, 288, 576, or 1152 square inch gas lamps
- Long-life 12 volt sealed lead acid rechargeable battery pack
- Highly sensitive and non-stagnant water control - Hydro-Lite's unique water control system
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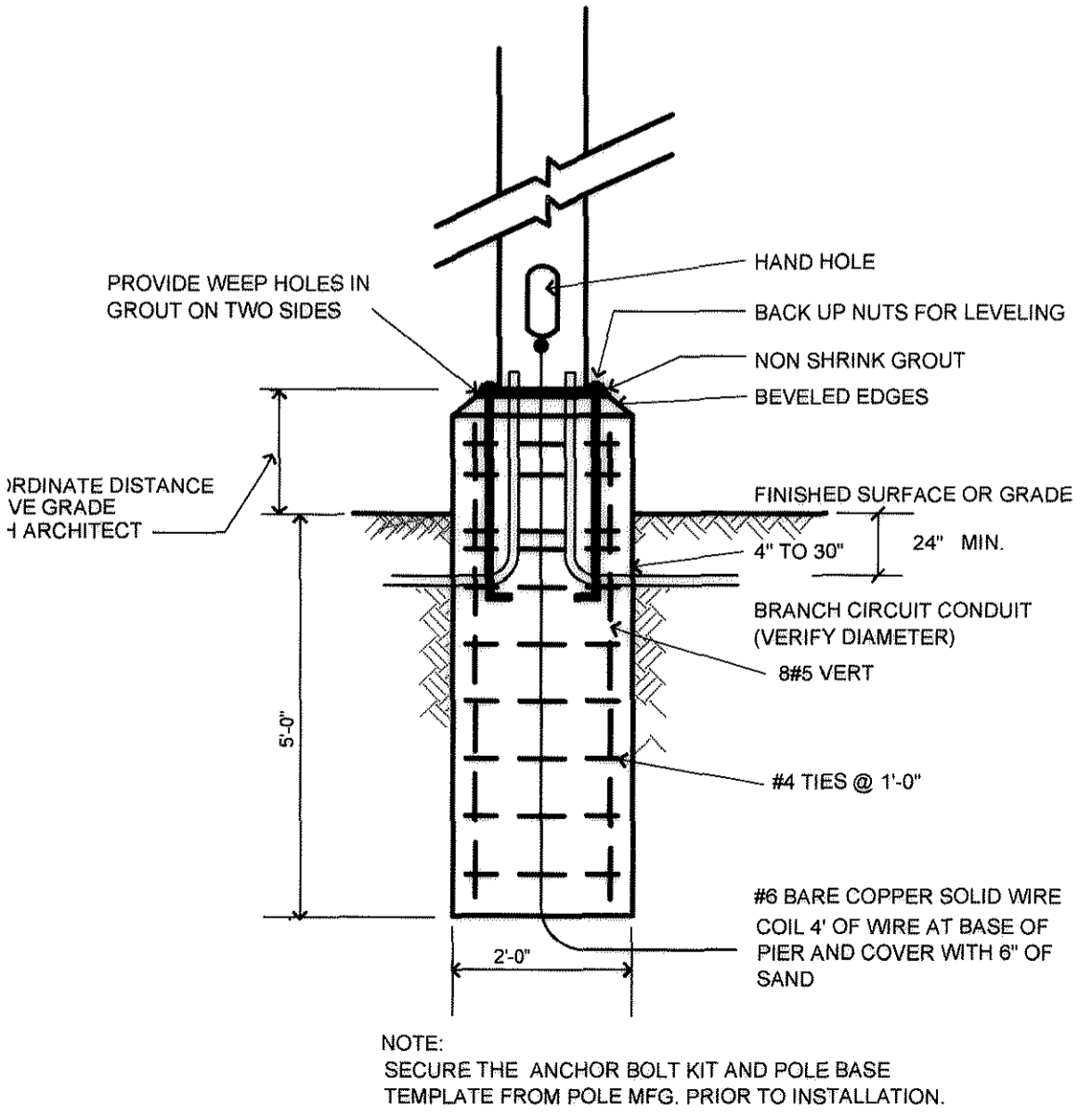
BENEFITS

- Hydro-Lite has been used for 25 years in a wide variety of applications
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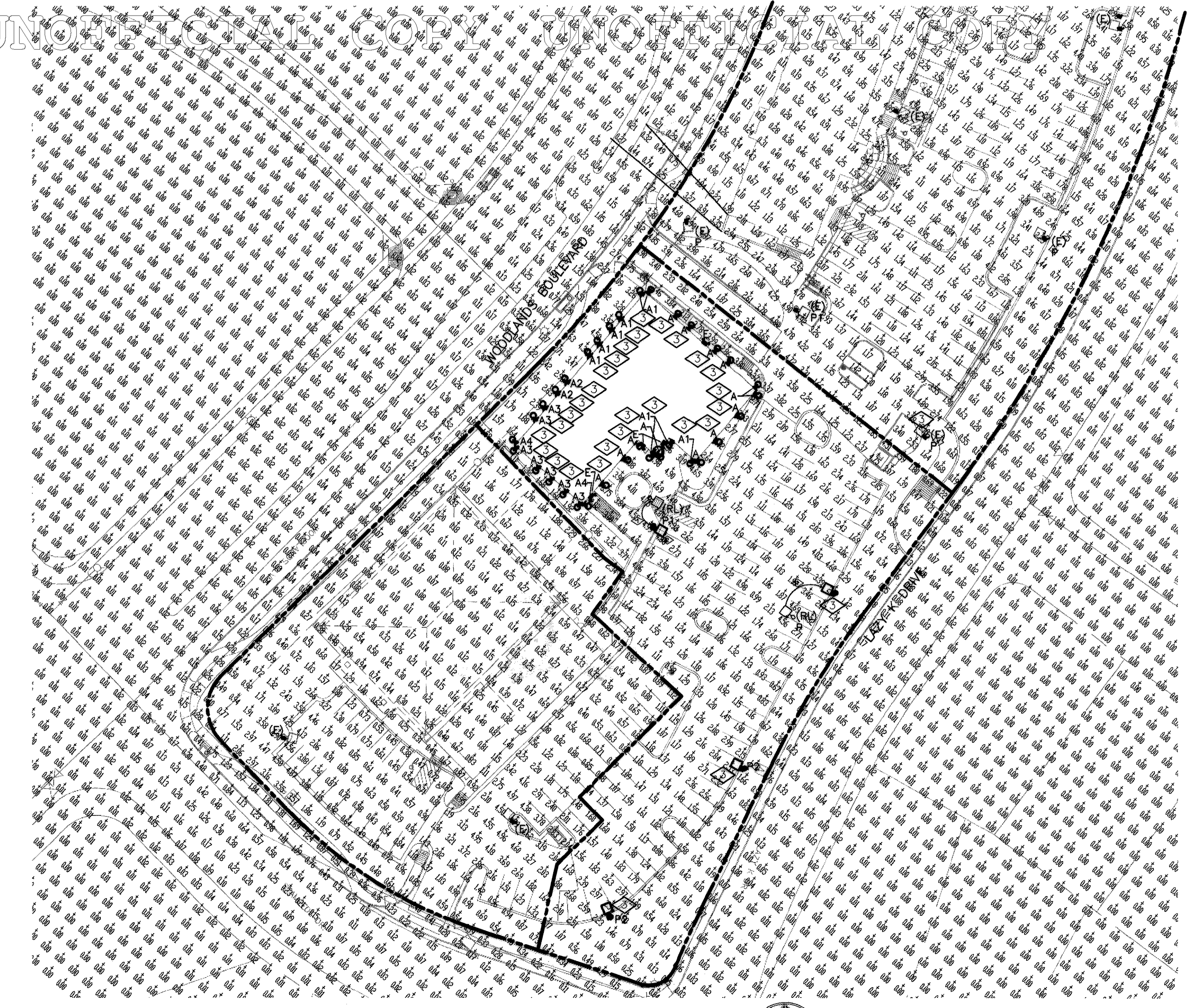
TYPE 'P1' & 'P2'

Standard Features

Mounting	Finish	Light Distribution	Color
Surface	Black	Full Cutoff	Black
Surface	Dark Bronze	Full Cutoff	Dark Bronze
Surface	Light Gray	Full Cutoff	Light Gray
Surface	Medium Silver	Full Cutoff	Medium Silver
Surface	White	Full Cutoff	White
Surface	Custom Color	Full Cutoff	Custom Color



2 **POLE BASE**
E.O.1 SCALE: NONE



1 **PHOTOMETRIC SITE PLAN**
E.O.1 SCALE: 1" = 40'-0"

