

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)

**LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO**

TITLE SHEET

PROPERTY DESCRIPTION

LOT 1, METZLER RANCH FILING 10, AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT, ACCORDING TO THE RECORDED PLATS THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

SURVEYOR'S STATEMENT

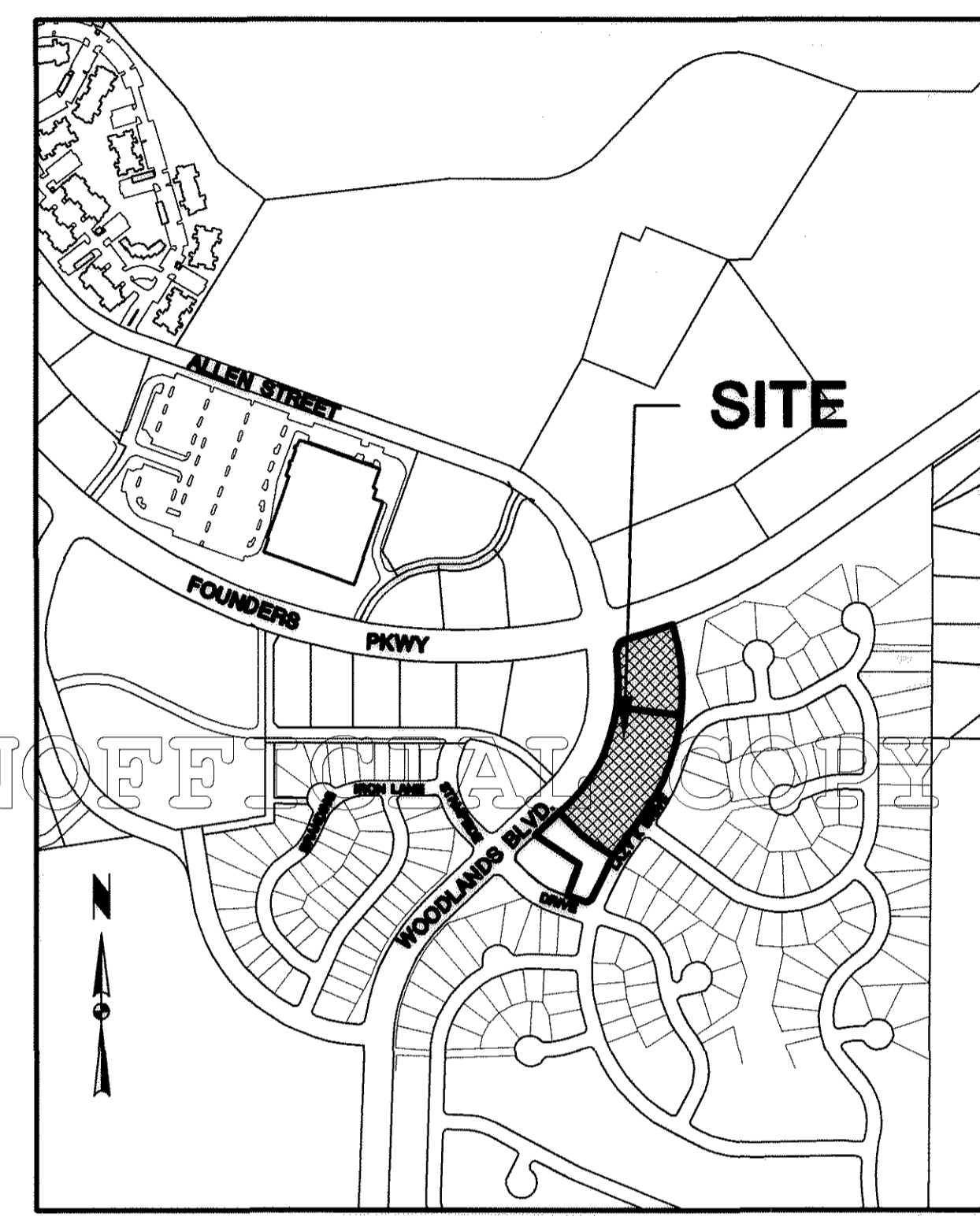
I, MICHAEL C. CREGGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY METZLER RANCH FILING NO. 10 WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Michael C. Cregger 2/4/11
 PROFESSIONAL LAND SURVEYOR
 COLORADO REGISTRATION NO. 22564



NOTES:

- BENCHMARK: SOUTH TRAFFIC FLANGE BOLT OF FIRE HYDRANT ON EAST SIDE OF WOODLANDS BOULEVARD, 450 FEET SOUTH OF THE INTERSECTION WITH FOUNDERS PARKWAY, ELEVATION = 6271.09 (NAVD88)
- THE BASIS OF BEARINGS FOR THIS SURVEY IS: NORTH PROPERTY LINE OF LOT 2-A, METZLER RANCH FILING 10, 1ST AMENDMENT; SAID LINE BEARS: SOUTH 83°20'42" EAST.
- THE DEVELOPER IS RESPONSIBLE FOR CONFORMANCE WITH THE TOWN OF CASTLE ROCK'S CURRENT WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY.
- NO SOLID OBJECT EXCEEDING THIRTY INCHES (30") IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, MONUMENT SIGNS, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPING PLANTINGS, CUT SLOPES OR BERMS, SHALL BE PLACED IN THE SIGHT TRIANGLES.
- IN ACCORDANCE WITH THE METZLER RANCH FILING NO. 3 DEVELOPMENT AGREEMENT, REC. NO. 9561705, THE FOLLOWING METERS WILL BE USED AND CORRESPONDING SFE'S WILL BE DEDUCTED FROM THE METZLER RANCH WATER BANK 2:
 LOT 1
 DOMESTIC METER SIZE: 1 1/2-INCH SFE'S: 4
 IRRIGATION METER SIZE: 3/4-INCH SFE'S: 1
 LOT 2-A-1
 DOMESTIC METER SIZE: 1 1/2-INCH SFE'S: 4
 IRRIGATION METER SIZE: 3/4-INCH SFE'S: 1
 TOTAL SFE'S: 10
- THE TOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDER'S AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT, AND MATERIALS AND A 15% FEE.
- PURSUANT TO SECTION 3.3.4E5-7 AND 4.2.5 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS, THE OWNER OF THE PROPERTY, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED FINAL PD SITE PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNERS ASSOCIATION, IF APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED FINAL PD SITE PLAN; FOR EXAMPLE, A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, GROUND COVER MUST REPLACE GROUND COVER, ETC. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE SIX (6) MONTHS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES, AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS.
- APPROVAL OF THE FINAL PD SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- THERE ARE NO KNOWN FEMA-REGULATED FLOODPLAINS OR WETLANDS ON THIS SITE ACCORDING FIRM PANELS 08035C0186F AND 08035C0188F DATED SEPTEMBER, 2005.
- ANY STREET SIGNS, STRIPING AND STREET LIGHTS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CDS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- "FIRE LANE" SIGNS SHALL BE PLACED ALONG BOTH SIDES OF EACH ACCESS ROAD AS DETERMINED BY THE TOWN OF CASTLE ROCK FIRE DEPARTMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES. DRY UTILITIES CROSSINGS MAY BE PERMITTED IN OTHER UTILITY OR DRAINAGE EASEMENTS PROVIDED THE CROSSINGS ARE AT A 90° ANGLE. IN ALL CASES, PRIOR APPROVAL OF THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT SHALL BE OBTAINED FOR DRY UTILITY CROSSINGS OF EXCLUSIVE WET UTILITY EASEMENTS AND EXCLUSIVE DRAINAGE EASEMENTS.
- 24 HOUR BUSINESS OPERATIONS SHALL BE PERMITTED FOR EMERGENCY MEDICAL AND DENTAL CLINICS AND FITNESS FACILITIES. ANY OTHER PROPOSED 24 HOUR BUSINESS OPERATION SHALL BE APPROVED BY THE CASTLE ROCK TOWN COUNCIL AS A USE BY SPECIAL REVIEW.
- FOR ANY 24 HOUR BUSINESS OPERATION SCREENING OF THE WINDOWS IN THE FORM OF WINDOW TINT OR BLINDS SHALL BE USED.
- FOR ANY 24 HOUR USE, INTERIOR LIGHTING SHALL BE REDUCED TO A MINIMUM OF 50% OF NORMAL LIGHTING OR TO MINIMUM BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE, BETWEEN THE HOURS OF 10:00 PM AND 6:00 AM, EXCEPT FOR BUSINESSES OPERATING ON A 24-HOUR BASIS.
- PERMANENT BUILDING FASCIA SIGNS SHALL BE CHANNEL OR REVERSE CHANNEL AND CONSTRUCTED OF INDIVIDUAL METAL LETTERS AND LOGOS AND SHALL BE WHITE IN COLOR. INTERNAL ILLUMINATION OF SIGNS SHALL BE ALLOWED EXCEPT BETWEEN THE HOURS OF 9:00 PM TO 5:00 AM.
- REGULAR BUSINESS HOURS OF OPERATION SHALL BE FROM 6:00 AM TO 10:00 PM.
- INTERNAL LIGHT MOTION DETECTORS ARE REQUIRED TO BE USED IN THE SUITES OF ANY BUSINESS OPERATING ON A 24-HOUR BASIS.
- ILLUMINATION OF EXTERIOR BUILDING MOUNTED LIGHTS FACING ADJACENT TO RESIDENTIAL ZONED PROPERTY SHALL BE PERMITTED EXCEPT BETWEEN THE HOURS OF 9:00 PM AND 5:00 AM. BUILDING MOUNTED LIGHTS REQUIRED FOR SAFETY AND SECURITY SHALL BE EXEMPTED FROM THIS RESTRICTION.



VICINITY MAP
 500 0 500
 scale 1"=500' feet

SHEET INDEX

- TITLE SHEET OVERALL PLAN
- LOT 1 SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- OVERALL LANDSCAPE PLAN
- BUILDING ELEVATIONS
- PHOTOMETRIC PLANS
- LOT 2-A-1 SITE PLAN
- UTILITY PLAN
- GRADING PLAN
- OVERALL LANDSCAPE PLAN
- SITE ANALYSIS
- IRRIGATION PLAN
- BUILDING ELEVATIONS
- PHOTOMETRIC PLANS

PURPOSE OF AMENDMENT

THE PURPOSE OF THIS AMENDMENT IS TO CONSOLIDATE THE FPD SITE PLANS FOR LOT 1 AND 2-A-1, EXPANDING THE PROPOSED USES, AMEND BUILDING ELEVATIONS TO ALLOW FOR ADDITIONAL SIGNAGE, AND CREATE STANDARD BUILDING SIGNAGE.

PLANNING COMMISSION RECOMMENDATION

FINAL PD SITE PLAN AMENDMENT
 THIS USE BY SPECIAL REVIEW WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 10TH DAY OF DEC., 2009.

Saba Lee 4-14-11
 CHAIR DATE

ATTEST:
[Signature] 4/10/11
 DIRECTOR OF DEVELOPMENT SERVICES DATE

TOWN COUNCIL APPROVAL

FINAL PD SITE PLAN AMENDMENT
 THIS USE BY SPECIAL REVIEW WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE 9TH DAY OF JANUARY, 2010.

Paul Dombine 4/26/2011
 MAYOR DATE

ATTEST:
Sally A. Muir 4-26-2011
 TOWN CLERK DATE

OWNER/DEVELOPER
 RLB CORPORATION
 98 CROWN POINT
 CASTLE ROCK, CO 80104
 TELEPHONE: (303) 520-5048

TITLE CERTIFICATION

I, *Brenda Becker* AN AUTHORIZED REPRESENTATIVE OF *Land Title Guarantee Company* A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY (EXCLUDING INDIVIDUAL UNITS) ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

SIGNED THIS 4th DAY OF April 2011
Brenda Becker
 AUTHORIZED REPRESENTATIVE

Land Title Guarantee Company
 TITLE INSURANCE COMPANY

SUBSCRIBED AND SWORN TO BEFORE ME THIS 4 DAY OF April 2011 BY *Brenda Becker*

WITNESS MY HAND AND OFFICIAL SEAL.
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 8-27-2011

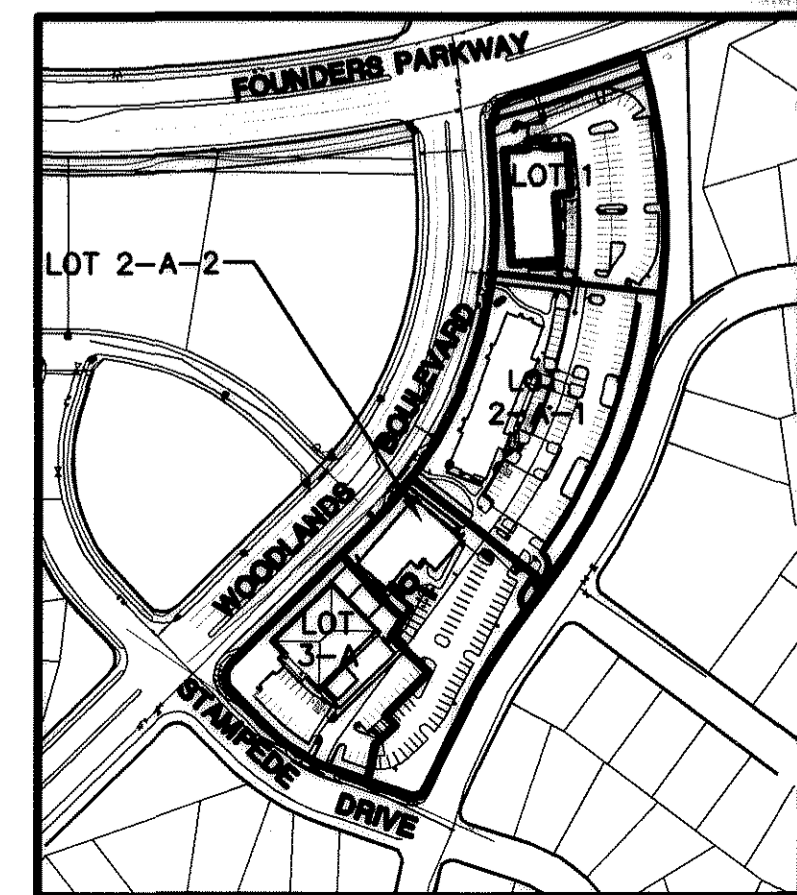
SITE DATA			
PRESENT ZONING:	PD		
PROPOSED ZONING:	PD		
PRESENT USE:	OFFICE/VACANT		
PROPOSED USES:	FINANCIAL INSTITUTION CATERING SERVICE SURGERY CENTER LABORATORY MUSEUM GOVERNMENT AND PUBLIC FACILITIES POST OFFICE PUBLIC UTILITY UTILITY OFFICE PHARMACY OFFICES FINE ARTS GALLERY A/O FINE ARTS STUDIO PERSONAL SERVICE SHOP FITNESS CLINIC (INCLUDING SURGERY CENTERS) PRIVATE/PUBLIC SCHOOL STUDIO		

	LOT 1	LOT 2-A-1
ADDRESS:	4348 WOODLANDS BLVD CASTLE ROCK, CO 80104	4344 WOODLANDS BLVD CASTLE ROCK, CO 80104
ITEM	SQ. FOOTAGE	%
TOTAL	55,000 S.F.	100
BUILDING FOOTPRINT	10,320	18.8
PARKING/ROADS	31,366	57.0
HARDSCAPE TOTAL	41,686	75.8
PLANTED AREA	13,314	24.2
EXISTING VEGETATION	0	0.0
LANDSCAPE TOTAL	13,314	24.2

BUILDING SIZE	
TWO STORY	17,221 SF USABLE 17,972 SF USABLE
PERMITTED BUILDING HEIGHT	50'
PROPOSED BUILDING HEIGHT	39.50' 33.50'

SITE SETBACKS	
PARKING SETBACK	10'
BUILDING SETBACK	15'

PARKING TABULATION		
REQUIRED PARKING	x 17,221 SF MOB-NET = 87 SPACES	x 17,972 SF MOB = 90 SPACES
MIN. 5 SPACES PER 1,000 SF GLA		
PROVIDED PARKING	74 FULL SIZE (9'x18') 4 HANDICAP	64 FULL SIZE (9'x18') 4 HANDICAP
	78 TOTAL	68 TOTAL



SITE MAP

OWNER: THE POINT AT METZLER RANCH LLC, A COLORADO LIMITED LIABILITY COMPANY
 THE UNDERSIGNED ARE ALL OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1, METZLER RANCH FILING 10 AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (EXCLUDING INDIVIDUAL UNITS), IN THE TOWN OF CASTLE ROCK.

EXECUTED THIS 30th DAY OF MARCH 2011
 BY: *Roger Bumgarner*

TITLE: MANAGING MEMBER
 STATE OF Colorado }
 COUNTY OF Douglas }

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF March 2011 BY *Roger Bumgarner* AND BY *N/A*

WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: May 11, 2014
Laura Clausen-Cuney NOTARY PUBLIC

OWNER: RLB CORPORATION, A COLORADO CORPORATION
 THE UNDERSIGNED ARE ALL OWNERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1, METZLER RANCH FILING 10 AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (EXCLUDING INDIVIDUAL UNITS), IN THE TOWN OF CASTLE ROCK.

EXECUTED THIS 30th DAY OF MARCH 2011
 BY: *Roger Bumgarner* BY: *Cheryl Bumgarner*

TITLE: PRESIDENT TITLE: SECRETARY
 STATE OF Colorado }
 COUNTY OF Douglas }

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF March 2011 BY *Roger Bumgarner* AND BY *Cheryl Bumgarner*

WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: May 11, 2014
Laura Clausen-Cuney NOTARY PUBLIC

LIENHOLDER SUBORDINATION CERTIFICATE
 THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS LOT 1, METZLER RANCH FILING 10 AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT, IN THE TOWN OF CASTLE ROCK. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON APRIL 28, 2008 AT RECEPTION NUMBER 2008029741, AND ON OCTOBER 13, 2009 AT RECEPTION NUMBER 2009078757, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS, AND RESTRICTIONS OF THIS DOCUMENT.

LIENHOLDER: FIRST COMMUNITY BANK
 EXECUTED THIS 30th DAY OF MARCH 2011
 BY: *Thomas Swanson* AS: Vice President

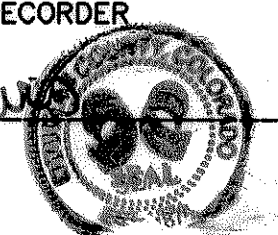
STATE OF Colorado }
 COUNTY OF Douglas }

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF March 2011 BY: *Thomas Swanson* AS: Vice President

WITNESS MY HAND AND OFFICIAL SEAL.
 MY COMMISSION EXPIRES: July 6, 2013
Philip Walker NOTARY PUBLIC

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
 THIS FINAL PD SITE PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:42 A.M. ON THE 13th DAY OF May 2011 AT RECEPTION NO. 2011030077

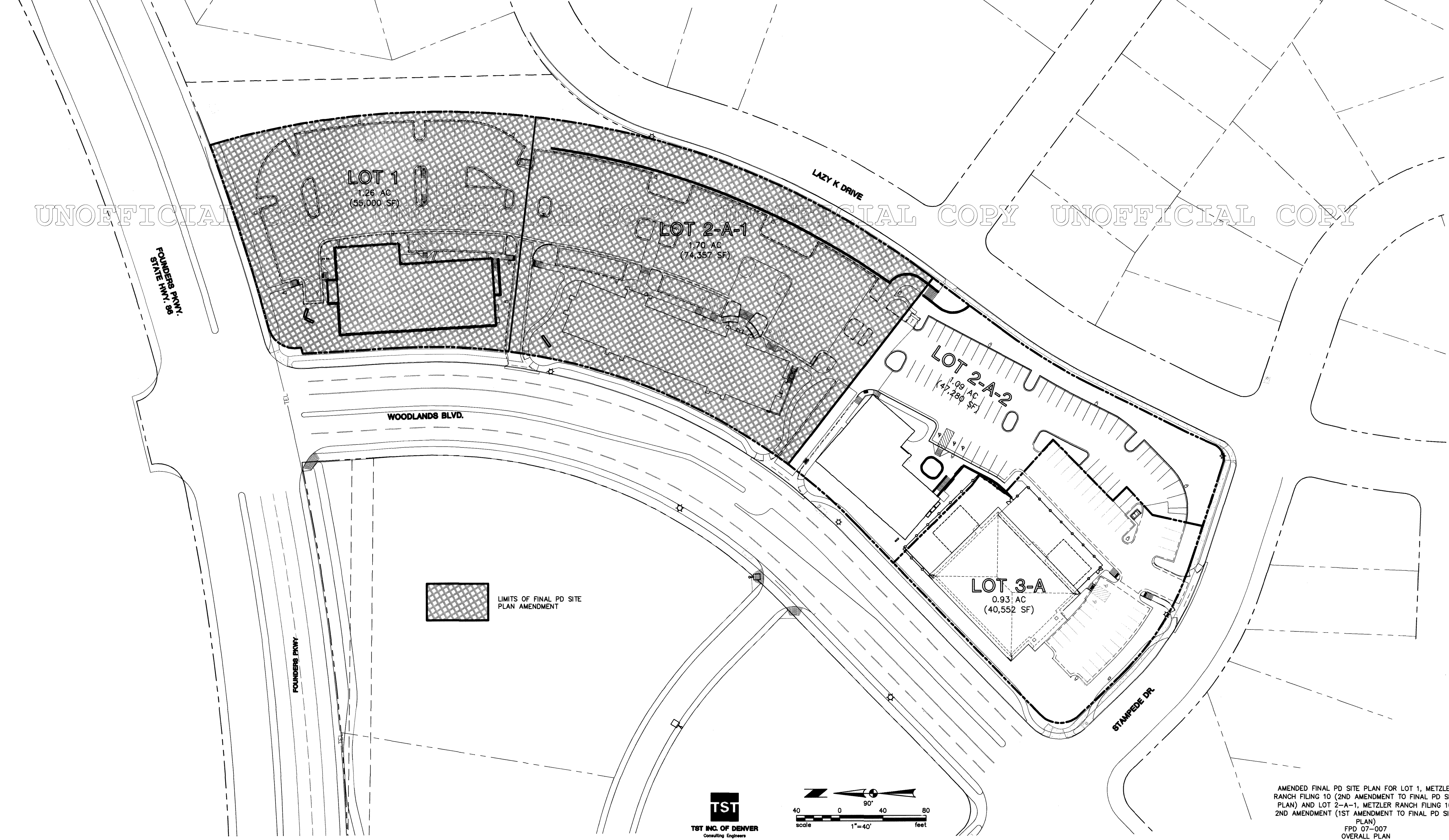
DOUGLAS COUNTY CLERK AND RECORDER
 BY: *Christine Davis* DEPUTY



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 TITLE SHEET
 SHEET 1 OF 16

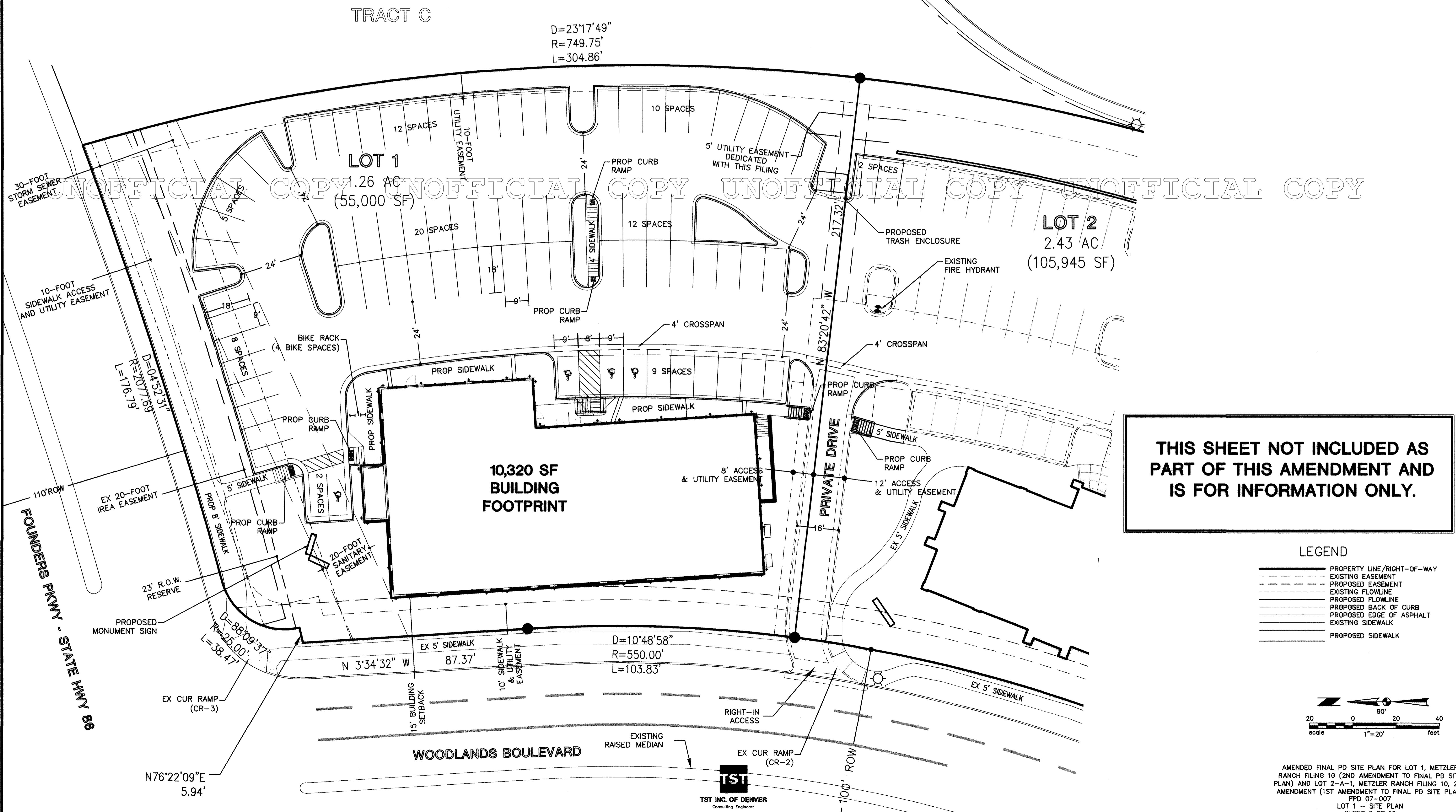


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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
OVERALL PLAN



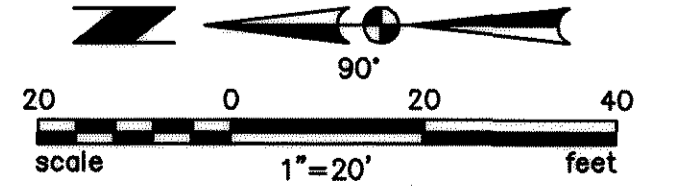
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 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 1 - SITE PLAN



**THIS SHEET NOT INCLUDED AS
 PART OF THIS AMENDMENT AND
 IS FOR INFORMATION ONLY.**

- LEGEND**
- PROPERTY LINE/RIGHT-OF-WAY
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - - - EXISTING FLOWLINE
 - - - PROPOSED FLOWLINE
 - - - PROPOSED BACK OF CURB
 - - - PROPOSED EDGE OF ASPHALT
 - - - EXISTING SIDEWALK
 - - - PROPOSED SIDEWALK



FINAL PD SITE PLAN
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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 1 - UTILITY PLAN

D=23'17.49"
 R=749.75'
 L=304.86'

TRACT C

LOT 1
 1.26 AC
 (55,000 SF)

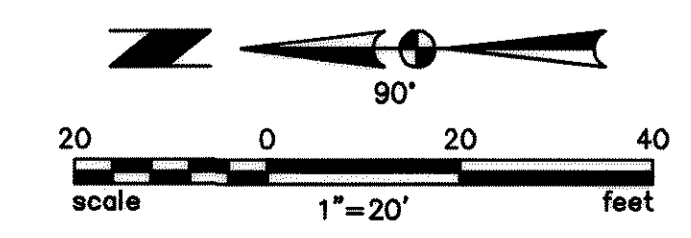
LOT 2
 2.43 AC
 (105,945 SF)

10,320 SF BUILDING FOOTPRINT
FF: 6282.00

LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - EXISTING FLOWLINE
- - - PROPOSED FLOWLINE
- PROPOSED BACK OF CURB
- PROPOSED EDGE OF ASPHALT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE, INLET
- EXISTING STORM SEWER
- EXISTING STORM MANHOLE, INLET
- EXISTING SANITARY SEWER, MANHOLE
- PROPOSED SANITARY SEWER, MANHOLE
- PROPOSED SANITARY SERVICE
- EXISTING WATERLINE
- PROPOSED WATERLINE
- PROPOSED WATERLINE SERVICE
- EXISTING FIRE HYDRANT, VALVE
- PROPOSED FIRE HYDRANT, VALVE
- UGG UNDERGROUND GAS LINE
- UGE UNDERGROUND ELECTRIC LINE
- UGT UNDERGROUND TELEPHONE LINE
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT

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 FPD 07-007
 LOT 1 - UTILITY PLAN
 SHEET 4 OF 16



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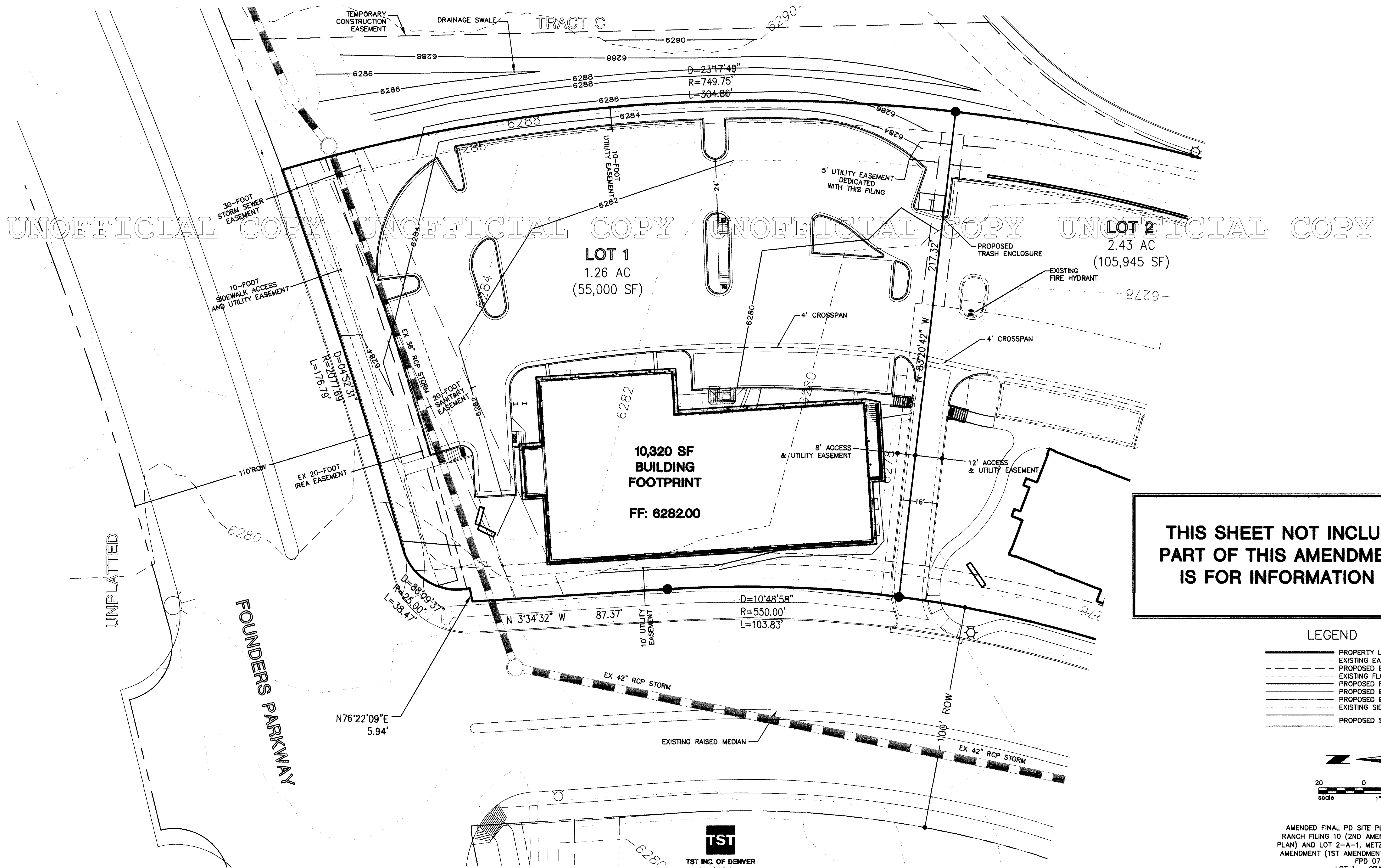
UNPLATTED

FOUNDERS PARKWAY

ELECTRIC

LOT 6

FINAL PD SITE PLAN
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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 1 - GRADING PLAN



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- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - EXISTING FLOWLINE
- - - PROPOSED FLOWLINE
- - - PROPOSED BACK OF CURB
- - - PROPOSED EDGE OF ASPHALT
- - - EXISTING SIDEWALK
- - - PROPOSED SIDEWALK



PLANT SCHEDULE AND LEGEND					
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	WATER
SHADE TREES					
4	HB	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL	XERO
4	PA	FRAXINUS PENNSYLVANICA	PATMORE ASH	2" CAL	MED
4	SHL	GLEDITSIA TRIACANTHOS INERMIS	SHADEMASTER HONEYLOCUST	2" CAL	MED
ORNAMENTAL TREES					
3	ACC	PRUNUS MAACKII	AMUR CHOKECHERRY	1.5" CAL	MED
6	SCP	PYRUS CALLERYANA	STONEHILL CALLERY PEAR	1.5" CAL	MED
5	SSC	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL	MED
EVERGREEN TREES					
6	PP	PINUS PONDEROSA	PONDEROSA PINE	6" HT	XERO
DECIDUOUS SHRUBS					
15	CTN	COTONEASTER LUDIDUS	HEDGE COTONEASTER	5GAL	LOW
20	MKL	SYRINGA PATULA	MISS KIM LILAC	5GAL	HIGH
10	RS	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5GAL	HIGH
7	WSC	PRUNUS BESSEYI	WESTERN SAND CHERRY	5GAL	LOW
EVERGREEN SHRUBS					
7	HJ	JUNIPERUS CHINENSIS 'HOLBERT'	HOLBERT JUNIPER	5 GAL	MED
7	PWJ	JUNIPERUS HORIZONTALIS	PRINCE OF WALES JUNIPER	5GAL	MED

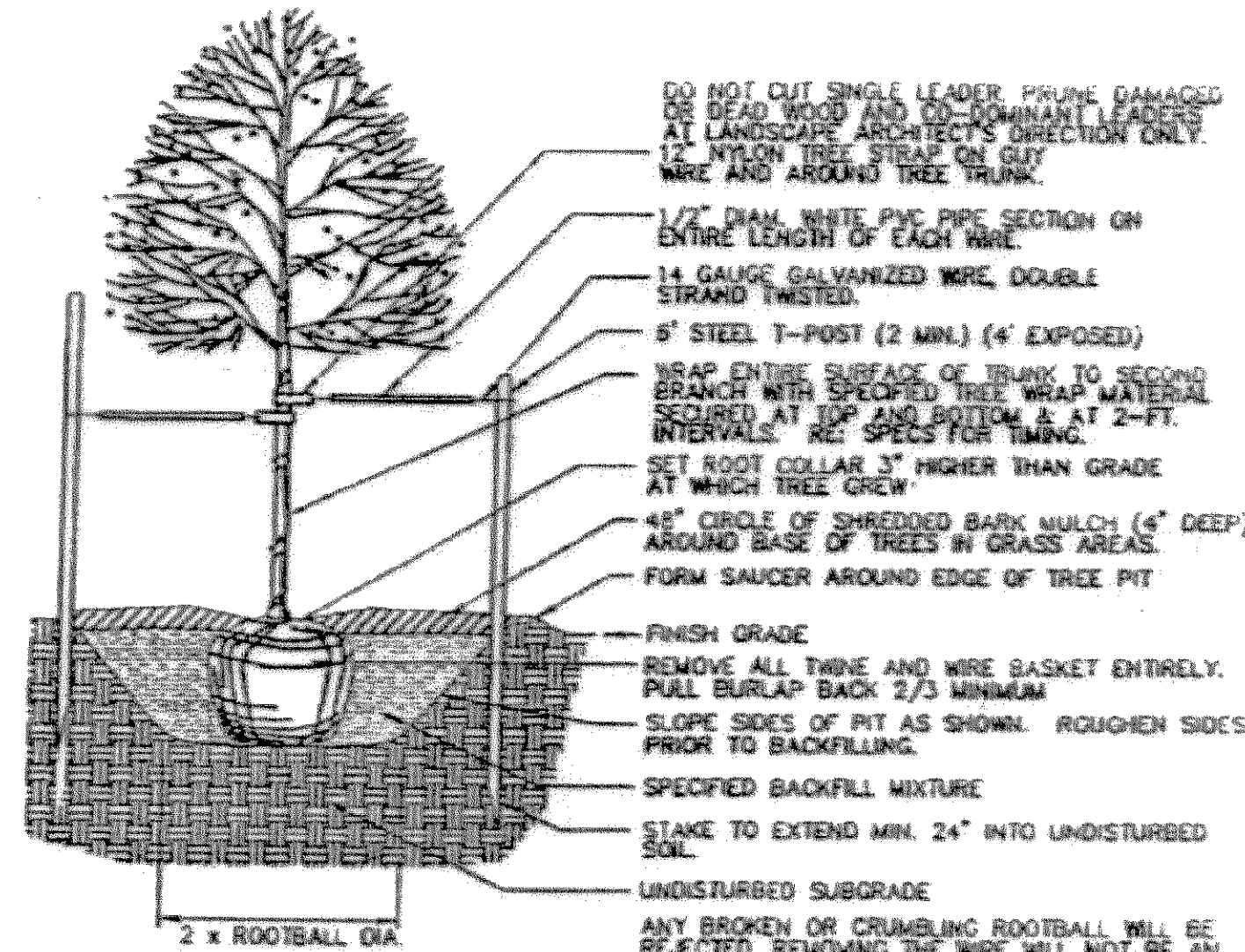
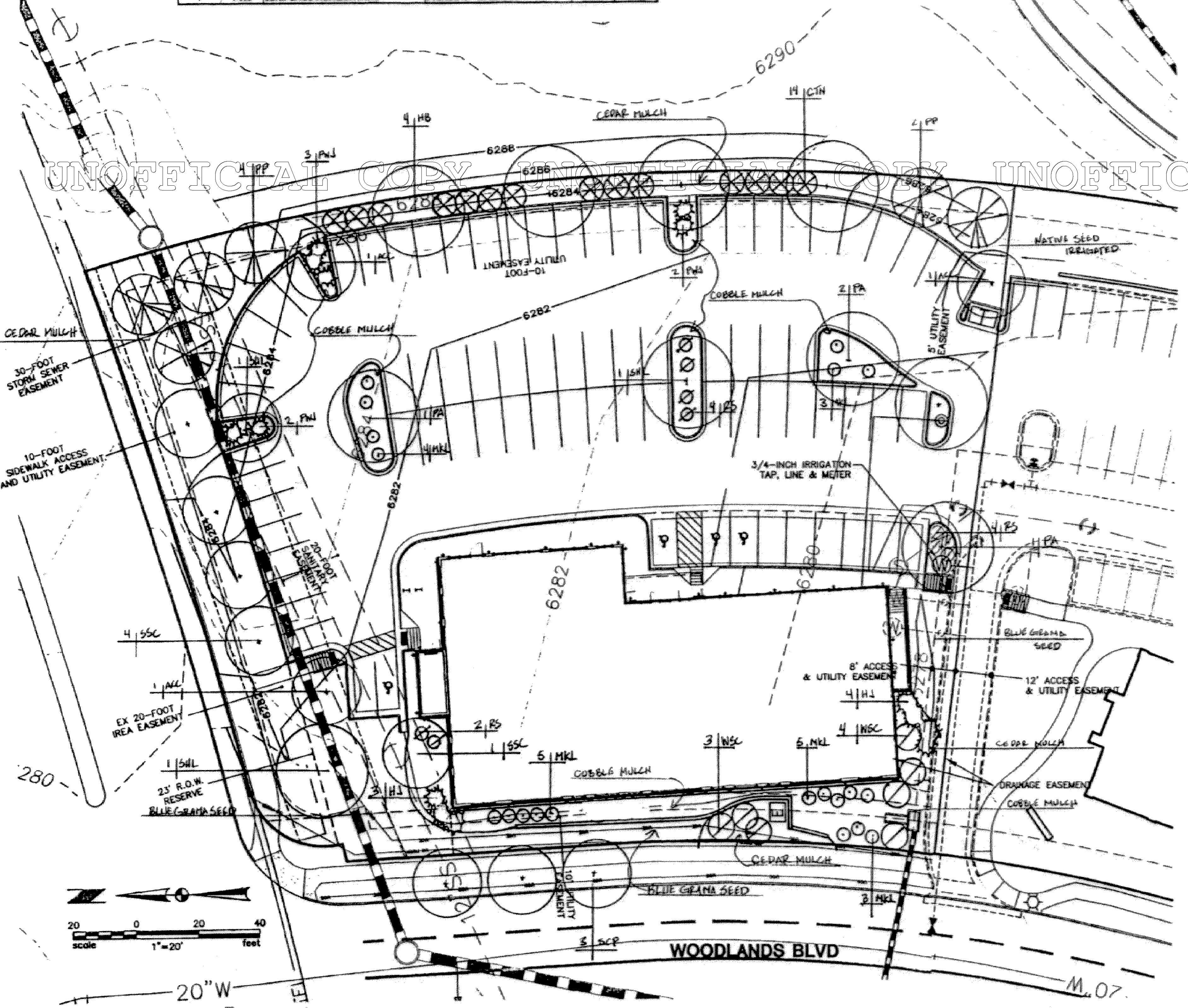
LANDSCAPE TABULATIONS		
TOTAL SITE	55,000	
BUILDING	10,319	
PARKING/DRIVES	30,663	
LANDSCAPE	13,818	
LANDSCAPE COVERAGES		
TOTAL LANDSCAPE	13,818	
BLUE GRAMMA	4,928	
NATIVE SEED	1,073	
WOODMULCH	4,719	
COBBLE	1,510	
HARDSCAPE	1,588	
PLANT QUANTITIES		
DESCRIPTION	REQUIRED	PROVIDED
TREES	28	30
SHRUBS	56	64

NATIVE SEED MIX	
30%	EPHRAM CRESTED WHEATGRASS
25%	DWARF PERENNIAL RYEGRASS
20%	SR3200 BLUE FESCUE
15%	REJUBENS CANADA BLUEGRASS
10%	CHEWINGS FESCUE

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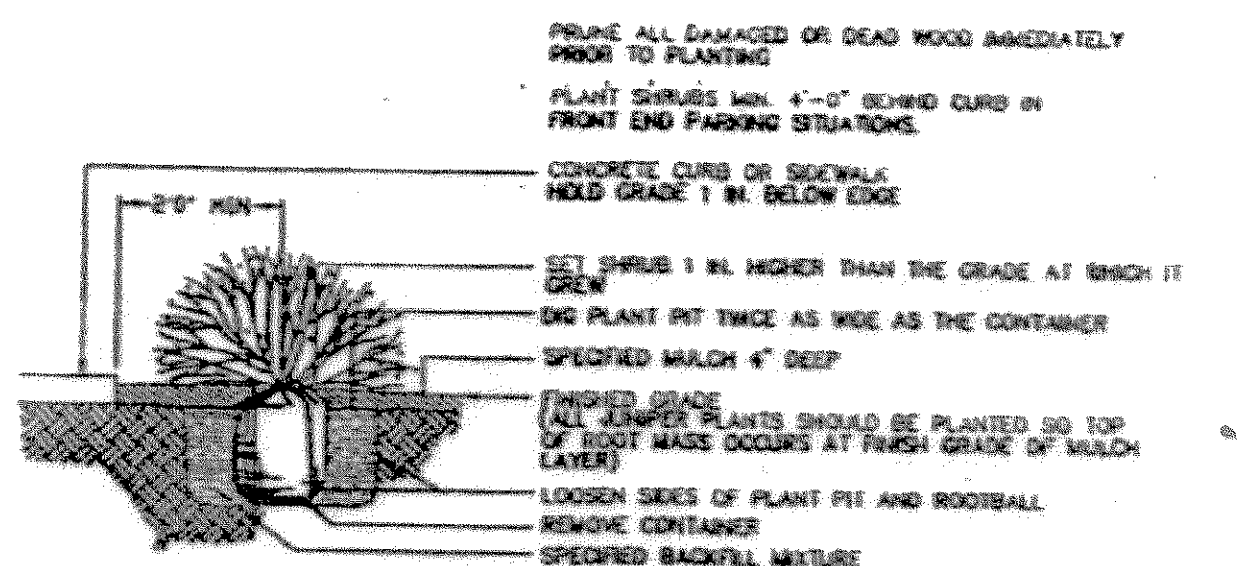
LANDSCAPE NOTES

- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. He shall notify general contractor of any unsatisfactory condition and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- Seed or sod all areas, within contract limits, not covered by paving, buildings or planting beds unless otherwise noted.
- Seeding shall not begin until area has received a finished grade.
- The landscape contractor shall guarantee all plants for 90 days and trees for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- Seed shall be of a Blue Gramma grass blend.
- Soil amendment: incorporate 3yds/1000SF of organic amendment.
- Plant material shall conform to the plant list and keys on the drawings and to the quality standard of "American Standard for Nursery Stock", by the American Association of Nurserymen, Z60.0-1986. All plants shall equal or exceed the measurements and sizes specified in the schedule. Install all plant material as noted on plan. All plant material is subject to the approval of the Landscape Architect. If discrepancies in quantities occur, the quantities on the Landscape plan shall take precedence over those shown on the plant schedule.
- Mulch planting beds with disease and pest free wood mulch uniform color or 3"-6" cobble mulch with an average depth applied thickness of 3". Tree locations in sod shall receive 4" wood mulch bed with a 3-ft. diameter ring.
- Planting beds shall be edged with galvanized steel edging, or equal. Install along the perimeter of all planting beds. All planting bed edges to be smooth flowing arcs. Beds to be laid out and approved by landscape architect or owners representative prior to planting.
- All plant material used on the landscape installation shall be selected to conform to water conservation applications. All plants are very adaptable to drought conditions and shall survive with low water application.
- An automatic irrigation system will be provided in all landscape areas. Shrub beds areas to be irrigated with a drip system and all seeded areas to be spray irrigated with low volume sprinkler heads.
- Landscaping to comply with all applicable zoning and development regulations.
- Landscape improvements shall be integrated in the overall site design for each property. Landscape areas shall be configured to blend and interconnect within the site, to natural areas and to landscaped areas within existing or future adjacent development. Small isolated islands of landscaping should be avoided except as required in parking lots and for screening along roadways.
- Plantings shall not interfere with line of sight and visibility as designated by Traffic Engineer or Chief of Police.
- All tree heights, which might hinder vehicular or pedestrian movements, shall be restricted to a minimum height of 6-ft. All trees shall be placed a minimum of 3-ft from sidewalks, curbs or fire hydrants.
- See plan for Native Seed mix.
- No trees or permanent structures are allowed in utility or drainage easements.



Deciduous Tree Planting Detail

N.T.S. PRUNE ALL DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING



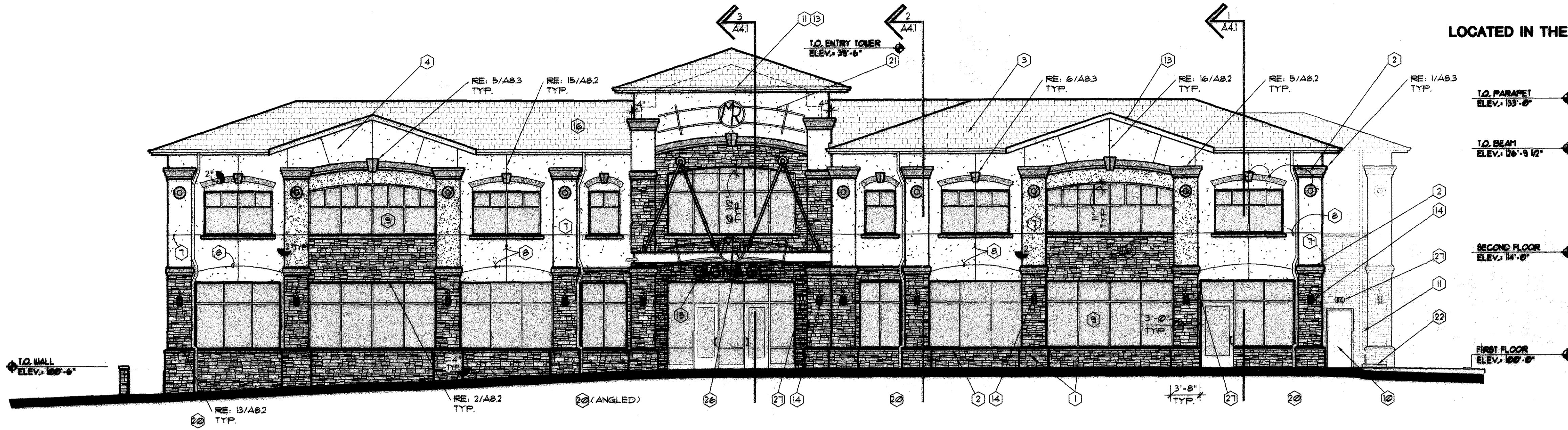
Shrub Planting Detail

N.T.S. PRUNE ALL DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING

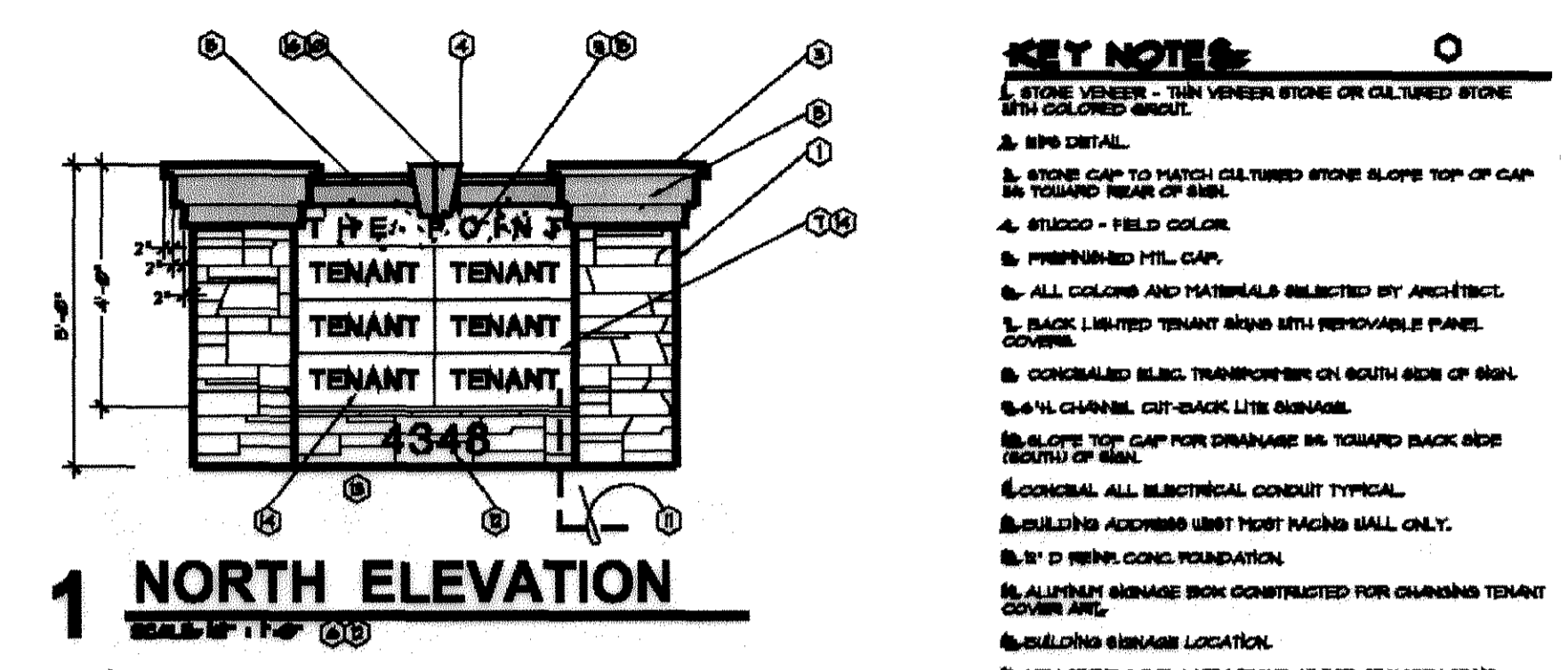
FINAL PD SITE PLAN
AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 87 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 LOT 1 - OVERALL LANDSCAPE PLAN

AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)

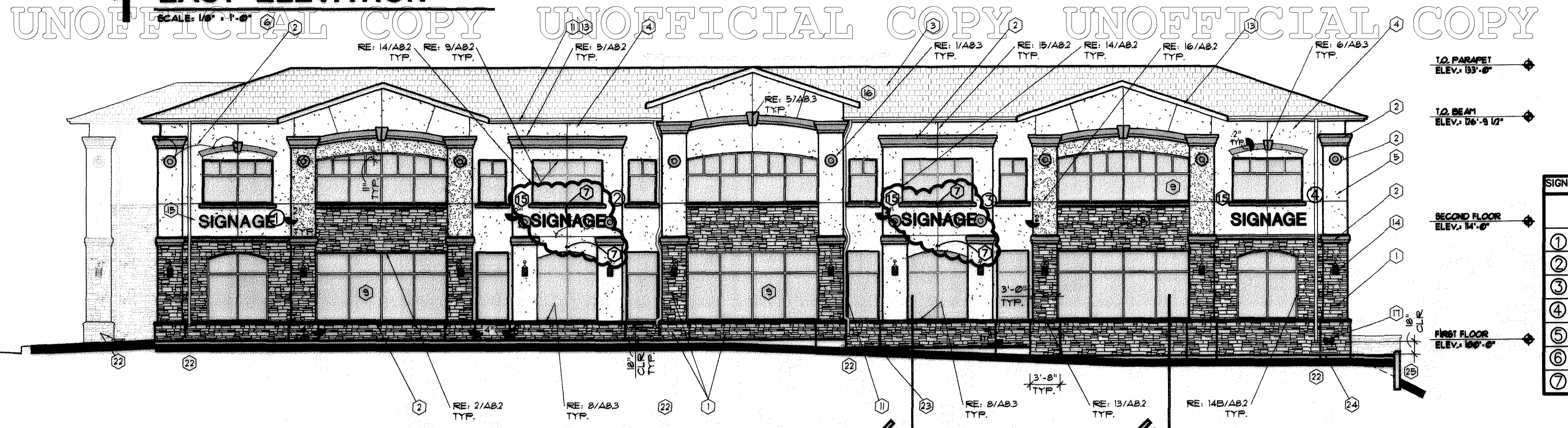
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 1 - BUILDING ELEVATIONS



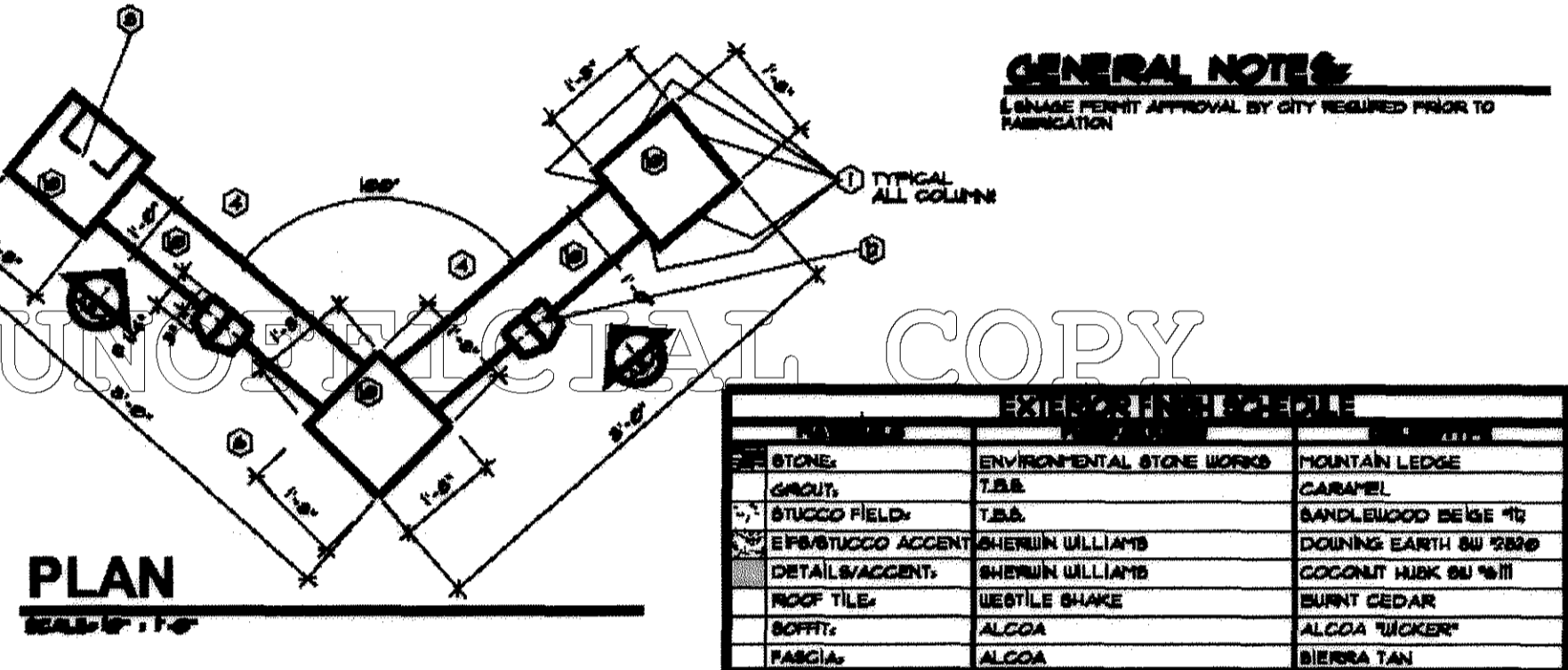
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



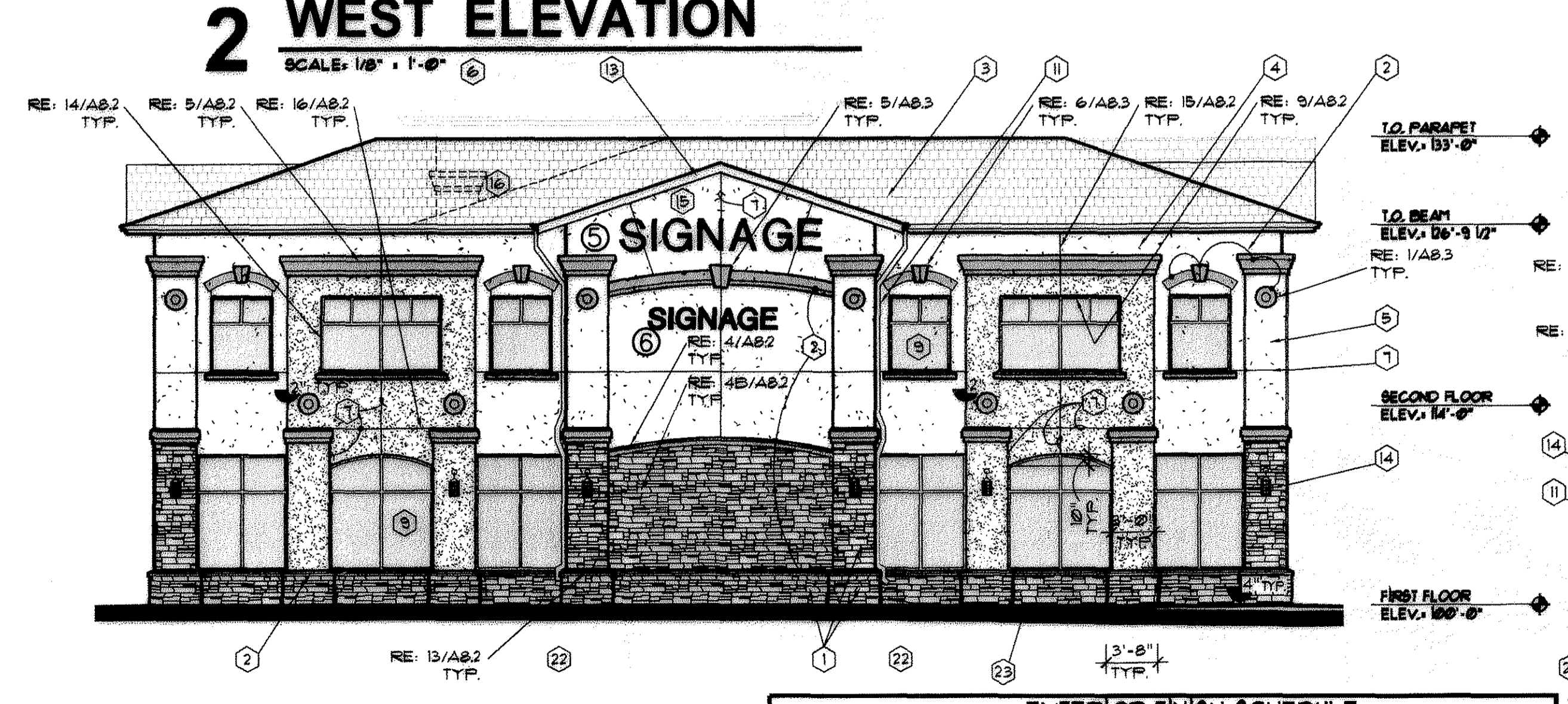
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



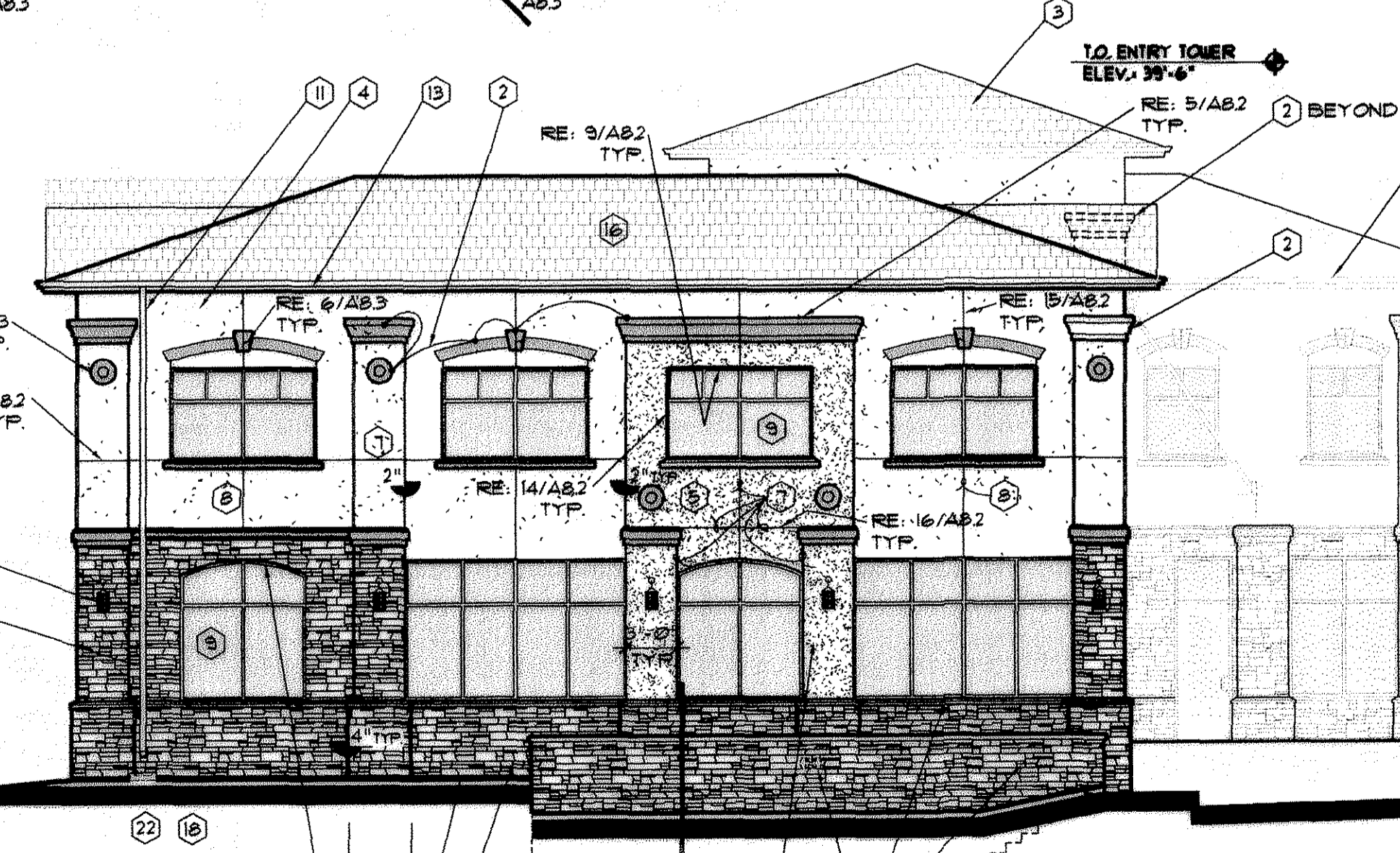
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 PLAN
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS	MANUFACTURER	COLOR/TYPE
STONE	ENVIRONMENTAL STONE WORKS	MOUNTAIN LEDGE
GROUT	T.B.S.	CARAMEL
STUCCO FIELD	T.B.S.	SANDLEWOOD BEIGE #12
EIFS/STUCCO ACCENT	SHERWIN WILLIAMS	DOWNING EARTH SW #2820
DETAILS/ACCENT	SHERWIN WILLIAMS	COCONUT SHAK SW #6111
ROOF TILE	WESTILE SHAKE	BURNT CEDAR
SOFFIT	ALCOA	ALCOA "WICKER"
FASCIA	ALCOA	SIERRA TAN

SIGNAGE TABLE	SIGN TYPE	MAX. AREA (SF)	MAX. HEIGHT (IN.)	MAX. WIDTH (IN.)
1	CHANNEL	27	24	104
2	CHANNEL	27	24	104
3	CHANNEL	27	24	104
4	CHANNEL	27	24	104
5	CHANNEL	60	36	270
6	CHANNEL	25	36	198
7	CHANNEL	20	36	60

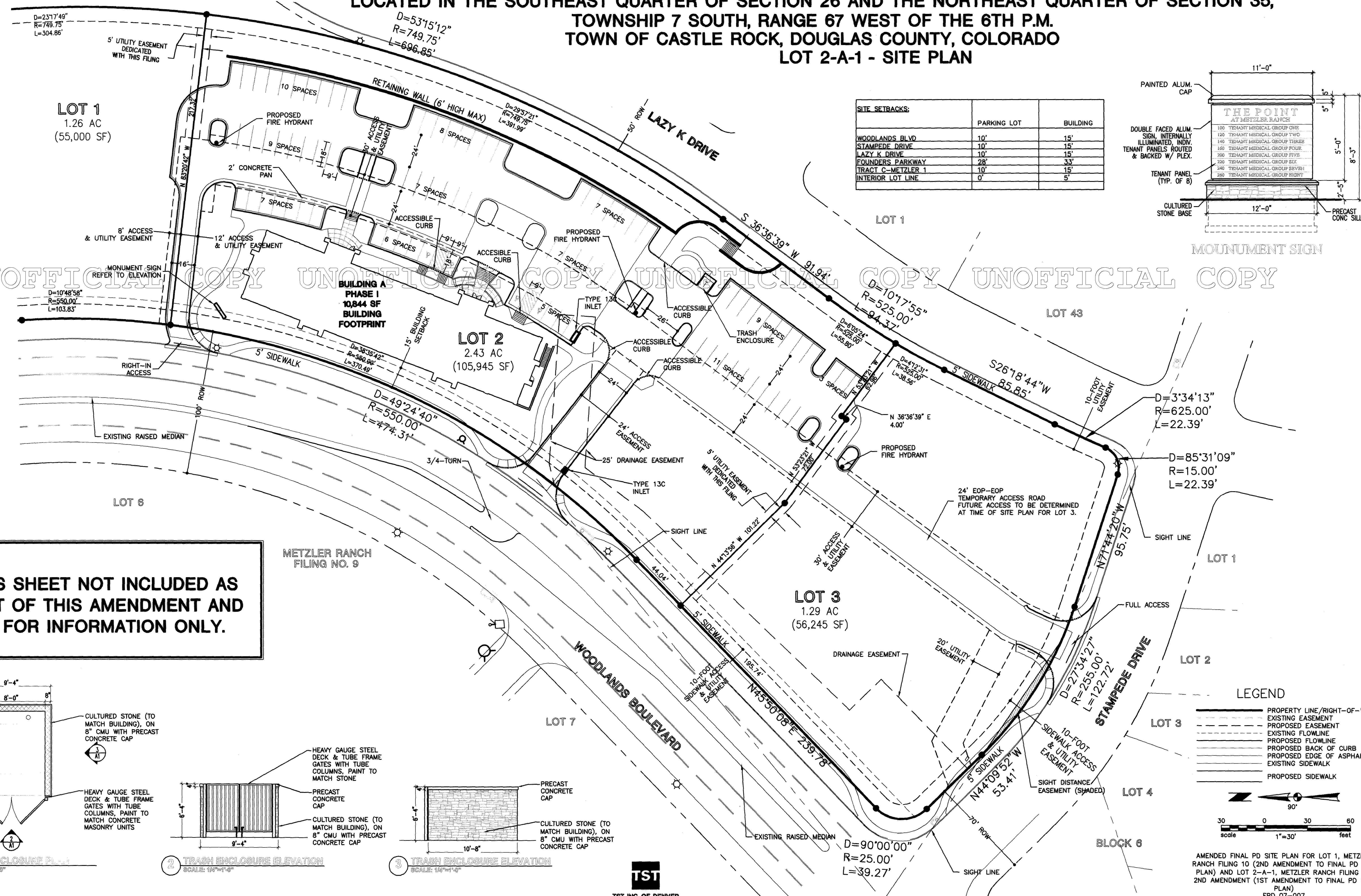
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GROUT	T.B.S.	CARAMEL
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ROOF TILE	WESTILE SHAKE	BURNT CEDAR
SOFFIT	ALCOA	ALCOA "WICKER"
FASCIA	ALCOA	SIERRA TAN

- KEY NOTES:**
- STONE VENEER - THIN VENEER STONE OR CULTURED STONE WITH COLORED GROUT.
 - EIFS DETAIL.
 - STONE CAP TO MATCH CULTURED STONE. SLOPE TOP OF CAP IN TOWARD REAR OF BLDG.
 - STUCCO - FIELD COLOR.
 - PRE-FINISHED METAL CAP.
 - ALL COLORS AND MATERIALS SELECTED BY ARCHITECT.
 - BACK LIGHTED TENANT SIGNS WITH REMOVABLE PANELS. COVERS.
 - CONCRETE ELEC. TRANSDUCER ON SOUTH SIDE OF SIGN.
 - 3/4" CHANNEL, CUT-BACK LITE SIGNAGE.
 - SLOPE TOP CAP FOR DRAINAGE IN TOWARD BACK SIDE (TOWARD OF REAR).
 - GENERAL ALL ELECTRICAL CONDUIT TYPICAL.
 - BUILDING ADDRESS UNIT MUST MATCH MAIL ONLY.
 - 3/4" D REIN. CONC. FOUNDATION.
 - ALUMINUM SIGNAGE BOX CONTRUCTED FOR CHANGING TENANT COVER ARE.
 - RELOCATE SIGNAGE LOCATION.
 - EVERY STORE SIGNAGE A KEY STONE AT TOP OF NORTH STAIR TOWER ONE 1/4" SIZE.
- GENERAL NOTES:**
- LANDSCAPE PERMIT APPROVAL BY CITY REQUIRED PRIOR TO FABRICATION.

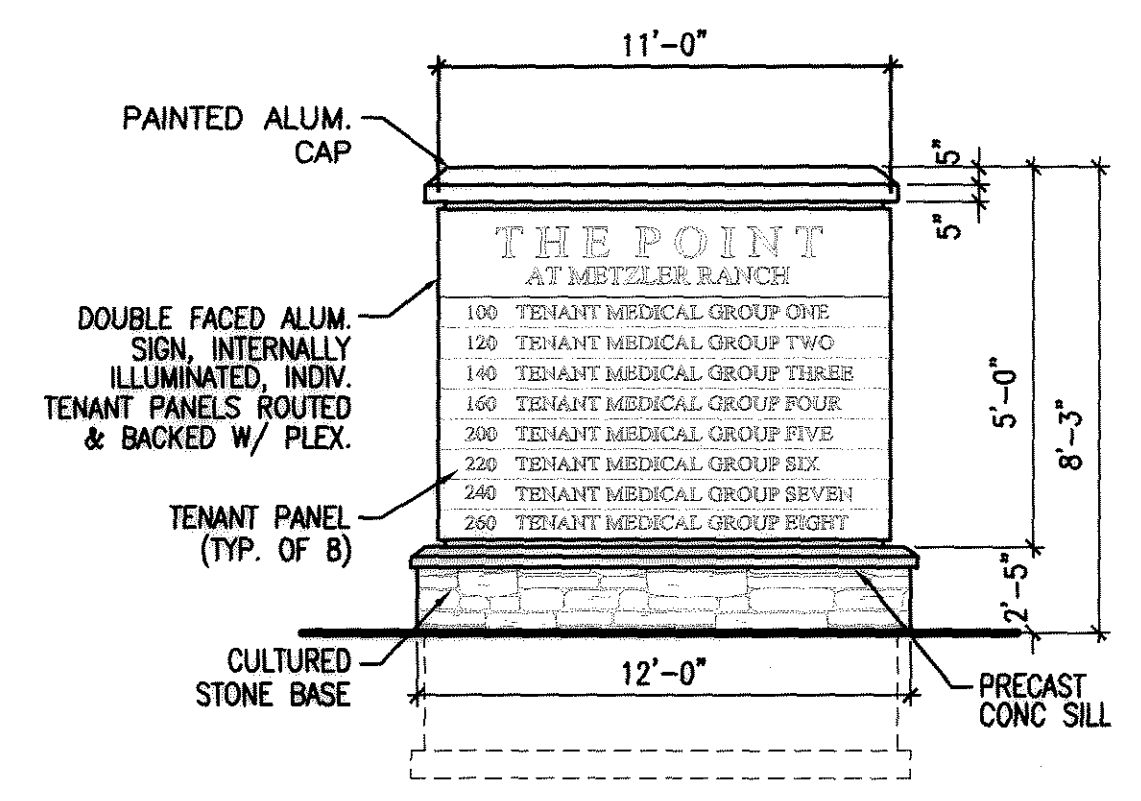
- KEY NOTES:**
- STONE VENEER - THIN VENEER STONE OR CULTURED STONE WITH COLORED GROUT.
 - EIFS DETAIL - SEE ENLARGED DETAILS.
 - CONCRETE TIE ROOF.
 - STUCCO - FIELD COLOR.
 - EIFS - ACCENT 4 BAND COLORS.
 - ALL COLORS AND MATERIALS SELECTED BY ARCHITECT.
 - EIFS "V" REVEAL. SEE DETAIL.
 - STUCCO "V" REVEAL. SEE DETAIL.
 - MEDIUM BRONZE ANODIZED ALUMINUM STOREFRONT WITH 1" INSULATED BRONZE GLAZING.
 - SERVICE DOORS AND FRAMES PAINTED TO MATCH WALL.
 - FIRE FINISHED GUTTERS, AND DOWN SPOUTS. GUTTERS TO MATCH FASCIA COLOR AND DOWN SPOUTS TO MATCH ADJACENT WALL COLORS.
 - BUILDING ADDRESS.
 - FIRE FINISHED METAL FASCIA.
 - LIGHT FIXTURE "A" SURFACE MOUNTED LIGHT FIXTURES TYPICAL ON EXTERIOR UNO. SEE ELEC. DUG'S FOR ADDITIONAL INFO.
 - BUILDING SIGNAGE LOCATION.
 - HVAC ROOF TOP UNIT SCREENED FROM VIEW IN MECHANICAL WELL.
 - BRASS LAYERS TONGUE CONNECTED TO ROOF AND OVERFLOW DRAINS WITH CONCRETE FIRE CAST SPLASH BLOCK.
 - GAS METER LOCATION. SEE MECHANICAL DUG'S.
 - ELECTRICAL METER LOCATION. SEE ELECTRICAL DUG'S.
 - CONCRETE SIDEWALK CHASE. SEE DETAIL 12/A81
 - MATCH ADJACENT BUILDING LOGO/ ASSEMBLY.
 - TERMINATE DOWN SPOUT 18" CLEAR OFF FINISHED GRADE. SUPPLY FIRE CAST SPLASH BLOCK ALL LOCATIONS IN LANDSCAPE AREAS TYPICAL.
 - HOLD STONE VENEER 2" ABOVE GRADE TYP.
 - 4" REIN. CAST-IN-PLACE SPLASH PAN (V-PAN) EXTENDED INTO WATER QUALITY POND.
 - DRYLAND INTERLOCKING CONCRETE MASONRY RETAINING WALL - SEE CIVIL DUG'S.
 - LIGHT FIXTURE "B" SURFACE MOUNTED UNDER CANOPY SEE ELEC. DUG'S FOR ADDITIONAL INFO.
 - LIGHT FIXTURE "E" SURFACE MOUNTED LIGHT FIXTURE. SEE ELEC. DUG'S FOR ADDITIONAL INFO.
 - SAME AS KEYNOTE 21 MOUNTED ON NORTH SIDE OF STAIR WELL.
 - MAXIMUM HEIGHT OF SIGN SHALL BE TWENTY FOUR (24) INCHES.
 - MAXIMUM WIDTH OF SIGN SHALL BE ONE HUNDRED FOUR (104) INCHES.

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)

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TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-1 - SITE PLAN

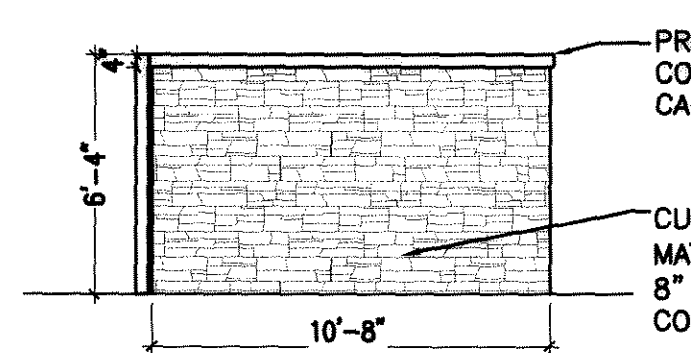
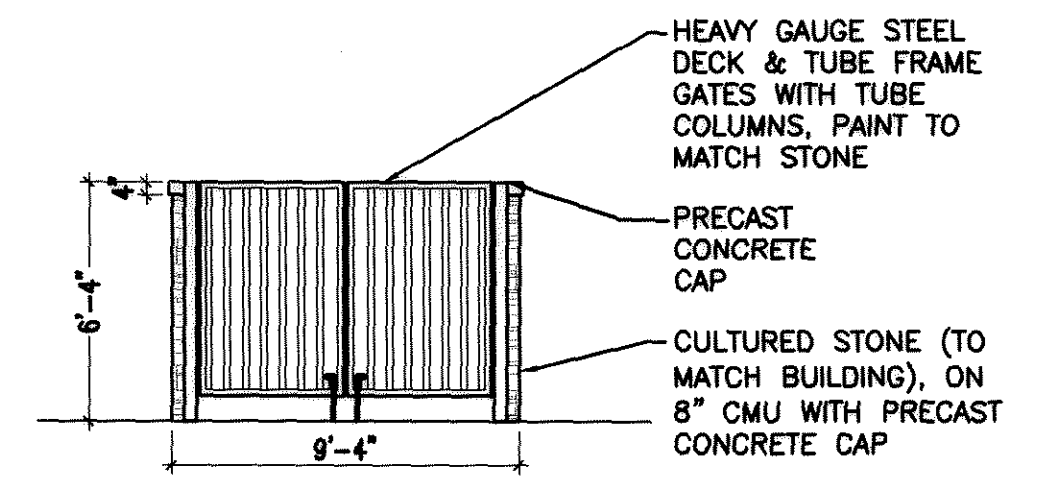
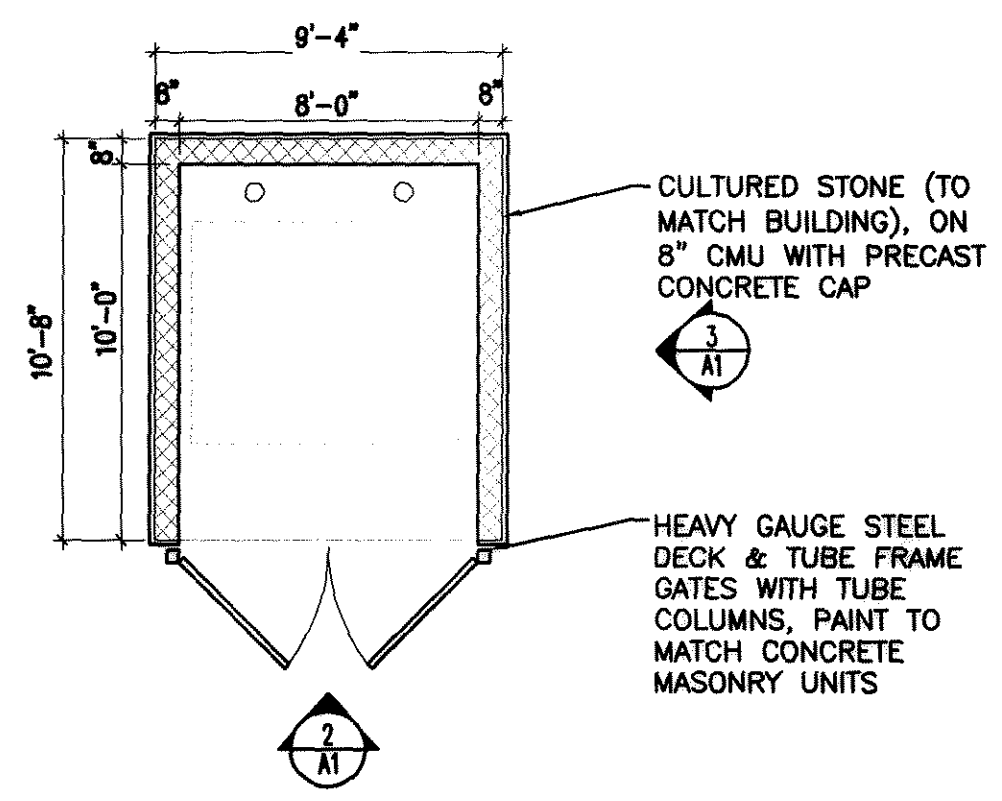


SITE SETBACKS:	PARKING LOT	BUILDING
WOODLANDS BLVD	10'	15'
STAMPEDE DRIVE	10'	15'
LAZY K DRIVE	10'	15'
FOUNDERS PARKWAY	28'	33'
TRACT C-METZLER 1	10'	15'
INTERIOR LOT LINE	0'	5'

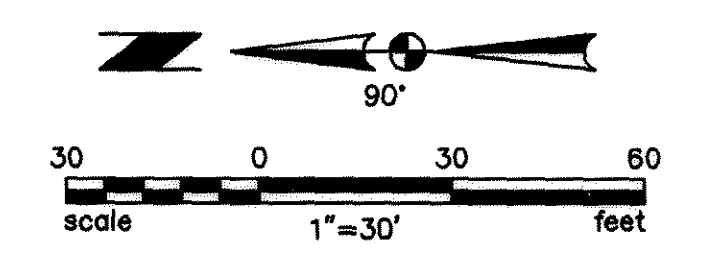


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- LEGEND**
- PROPERTY LINE/RIGHT-OF-WAY
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING FLOWLINE
 - PROPOSED FLOWLINE
 - PROPOSED BACK OF CURB
 - PROPOSED EDGE OF ASPHALT
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK

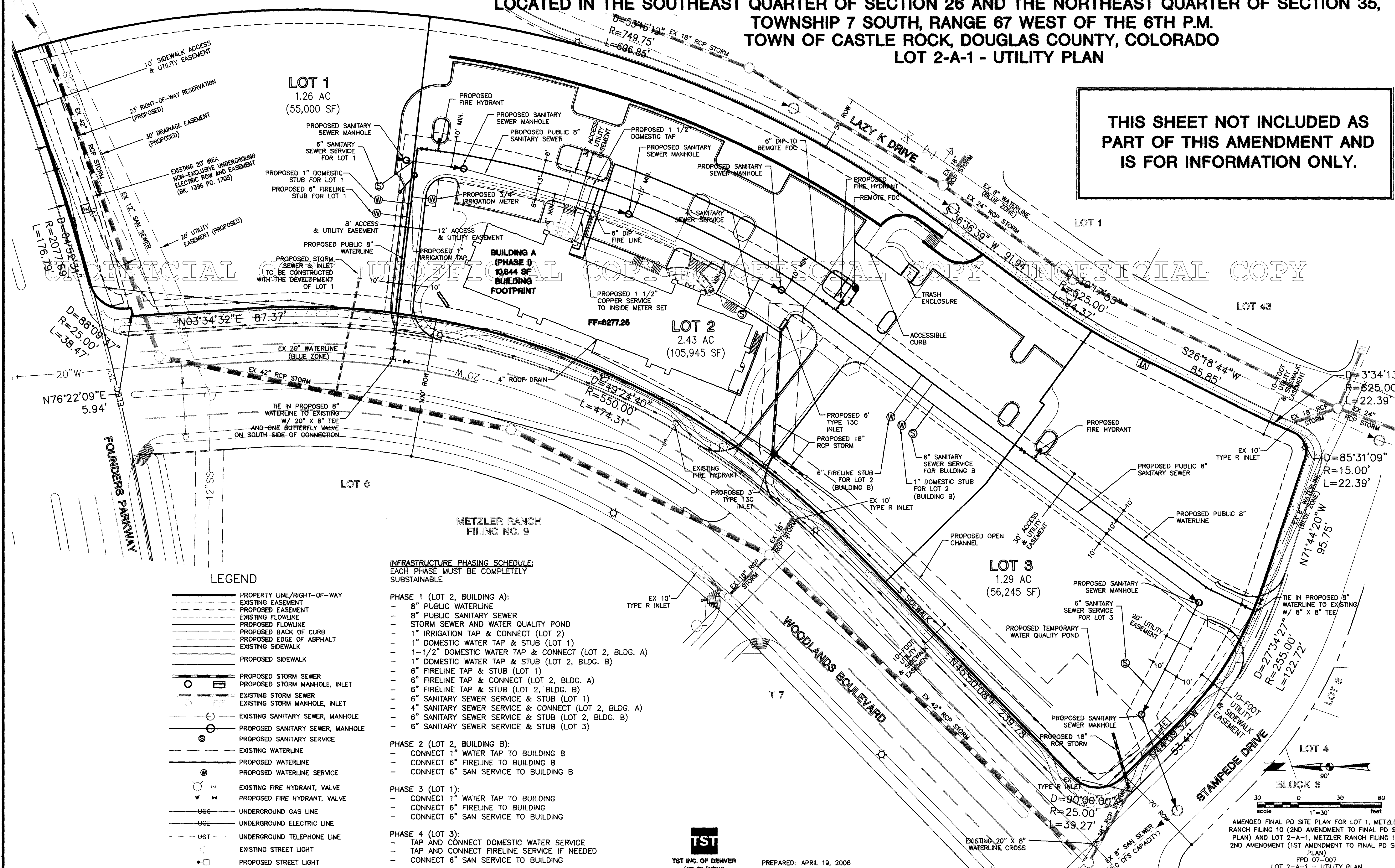


1 TRASH ENCLOSURE PLAN SCALE: 1/4"=1'-0"
 2 TRASH ENCLOSURE ELEVATION SCALE: 1/4"=1'-0"
 3 TRASH ENCLOSURE ELEVATION SCALE: 1/4"=1'-0"

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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-1 - UTILITY PLAN

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LEGEND

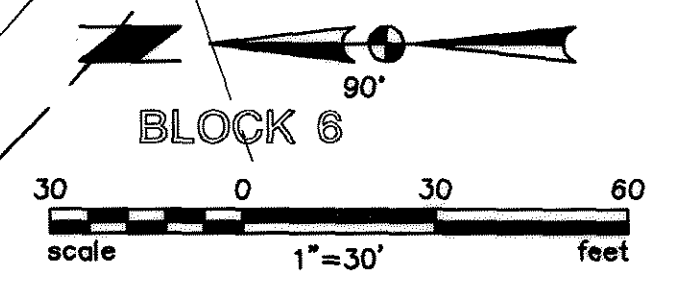
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- - - PROPOSED EDGE OF ASPHALT
- - - EXISTING SIDEWALK
- - - PROPOSED SIDEWALK
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE, INLET
- EXISTING STORM SEWER
- EXISTING STORM MANHOLE, INLET
- EXISTING SANITARY SEWER, MANHOLE
- PROPOSED SANITARY SEWER, MANHOLE
- PROPOSED SANITARY SERVICE
- EXISTING WATERLINE
- PROPOSED WATERLINE
- PROPOSED WATERLINE SERVICE
- EXISTING FIRE HYDRANT, VALVE
- PROPOSED FIRE HYDRANT, VALVE
- UGG UNDERGROUND GAS LINE
- UGE UNDERGROUND ELECTRIC LINE
- UGT UNDERGROUND TELEPHONE LINE
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT

INFRASTRUCTURE PHASING SCHEDULE: EACH PHASE MUST BE COMPLETELY SUSTAINABLE

- PHASE 1 (LOT 2, BUILDING A):**
 - 8" PUBLIC WATERLINE
 - 8" PUBLIC SANITARY SEWER
 - STORM SEWER AND WATER QUALITY POND
 - 1" IRRIGATION TAP & CONNECT (LOT 2)
 - 1" DOMESTIC WATER TAP & STUB (LOT 1)
 - 1-1/2" DOMESTIC WATER TAP & CONNECT (LOT 2, BLDG. A)
 - 1" DOMESTIC WATER TAP & STUB (LOT 2, BLDG. B)
 - 6" FIRELINE TAP & STUB (LOT 1)
 - 6" FIRELINE TAP & CONNECT (LOT 2, BLDG. A)
 - 6" FIRELINE TAP & STUB (LOT 2, BLDG. B)
 - 6" SANITARY SEWER SERVICE & STUB (LOT 1)
 - 4" SANITARY SEWER SERVICE & CONNECT (LOT 2, BLDG. A)
 - 6" SANITARY SEWER SERVICE & STUB (LOT 2, BLDG. B)
 - 6" SANITARY SEWER SERVICE & STUB (LOT 3)
- PHASE 2 (LOT 2, BUILDING B):**
 - CONNECT 1" WATER TAP TO BUILDING B
 - CONNECT 6" FIRELINE TO BUILDING B
 - CONNECT 6" SAN SERVICE TO BUILDING B
- PHASE 3 (LOT 1):**
 - CONNECT 1" WATER TAP TO BUILDING
 - CONNECT 6" FIRELINE TO BUILDING
 - CONNECT 6" SAN SERVICE TO BUILDING
- PHASE 4 (LOT 3):**
 - TAP AND CONNECT DOMESTIC WATER SERVICE
 - TAP AND CONNECT FIRELINE SERVICE IF NEEDED
 - CONNECT 6" SAN SERVICE TO BUILDING



TST INC. OF DENVER
Consulting Engineers
PREPARED: APRIL 19, 2006

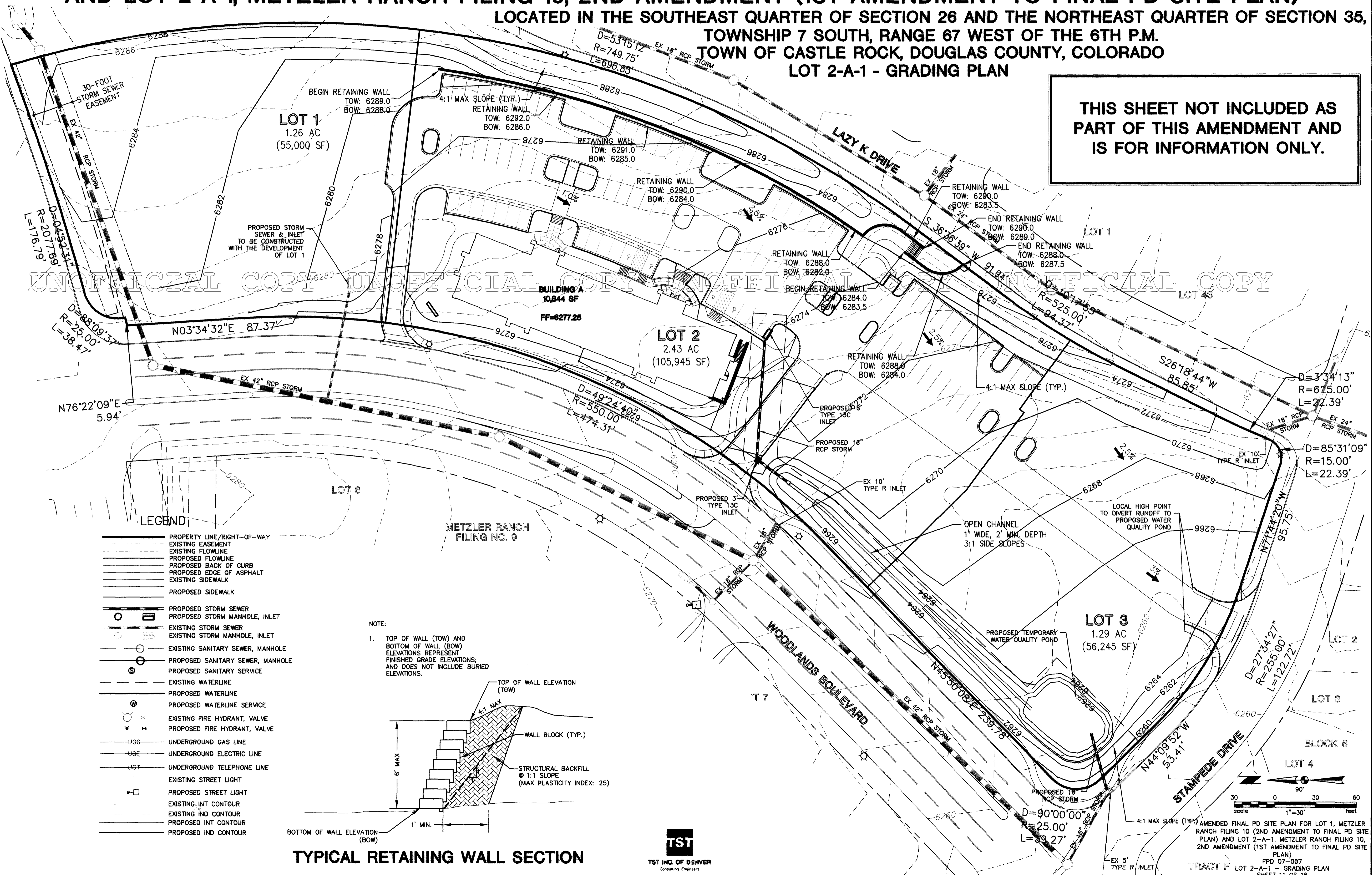


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FPD 07-007
LOT 2-A-1 - UTILITY PLAN
SHEET 10 OF 16

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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-1 - GRADING PLAN

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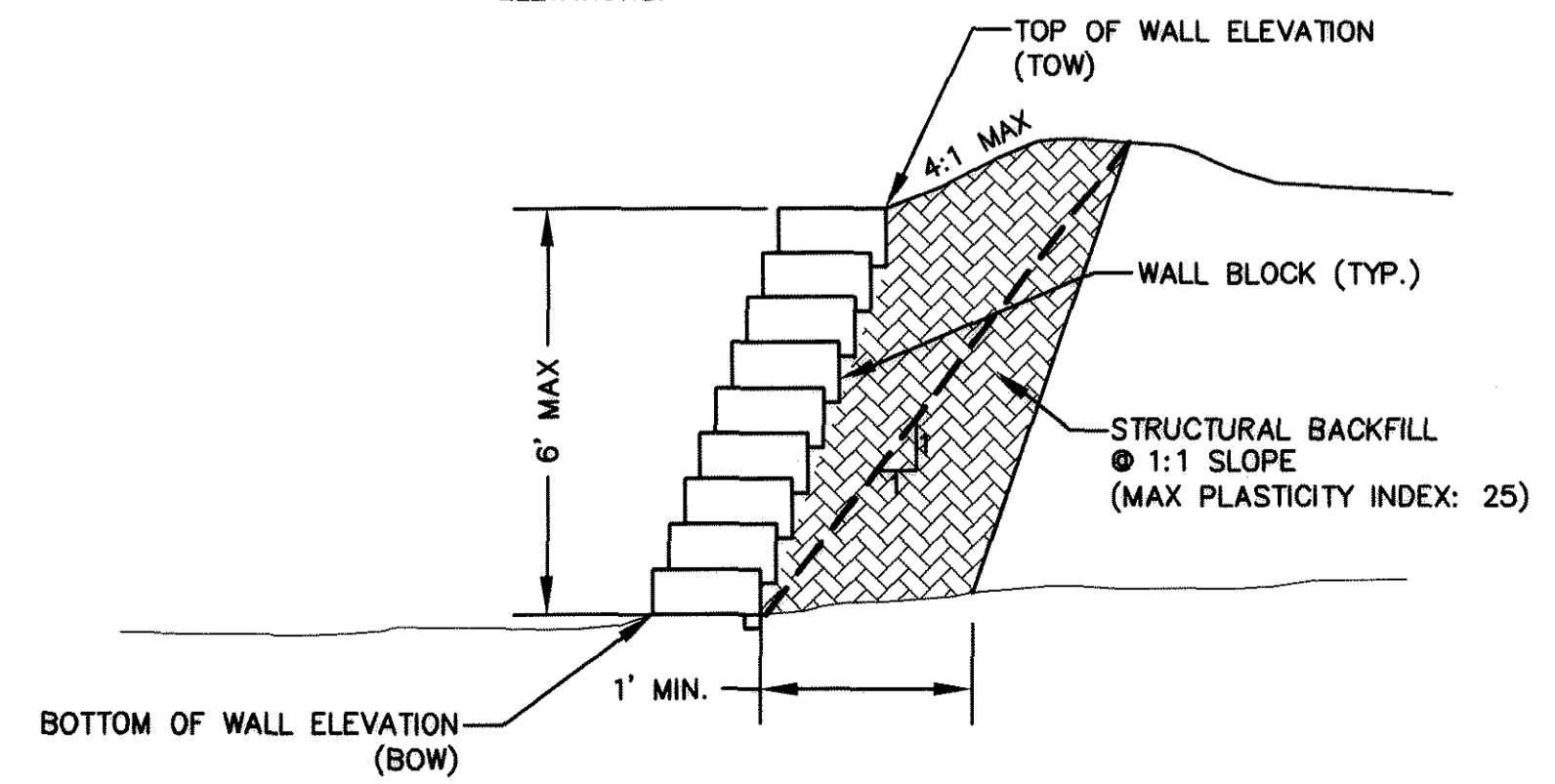


LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- - - EXISTING EASEMENT
- - - EXISTING FLOWLINE
- - - PROPOSED FLOWLINE
- - - PROPOSED BACK OF CURB
- - - PROPOSED EDGE OF ASPHALT
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- ⊕ PROPOSED STREET LIGHT
- - - EXISTING INT CONTOUR
- - - EXISTING IND CONTOUR
- - - PROPOSED INT CONTOUR
- - - PROPOSED IND CONTOUR

NOTE:

1. TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS REPRESENT FINISHED GRADE ELEVATIONS; AND DOES NOT INCLUDE BURIED ELEVATIONS.



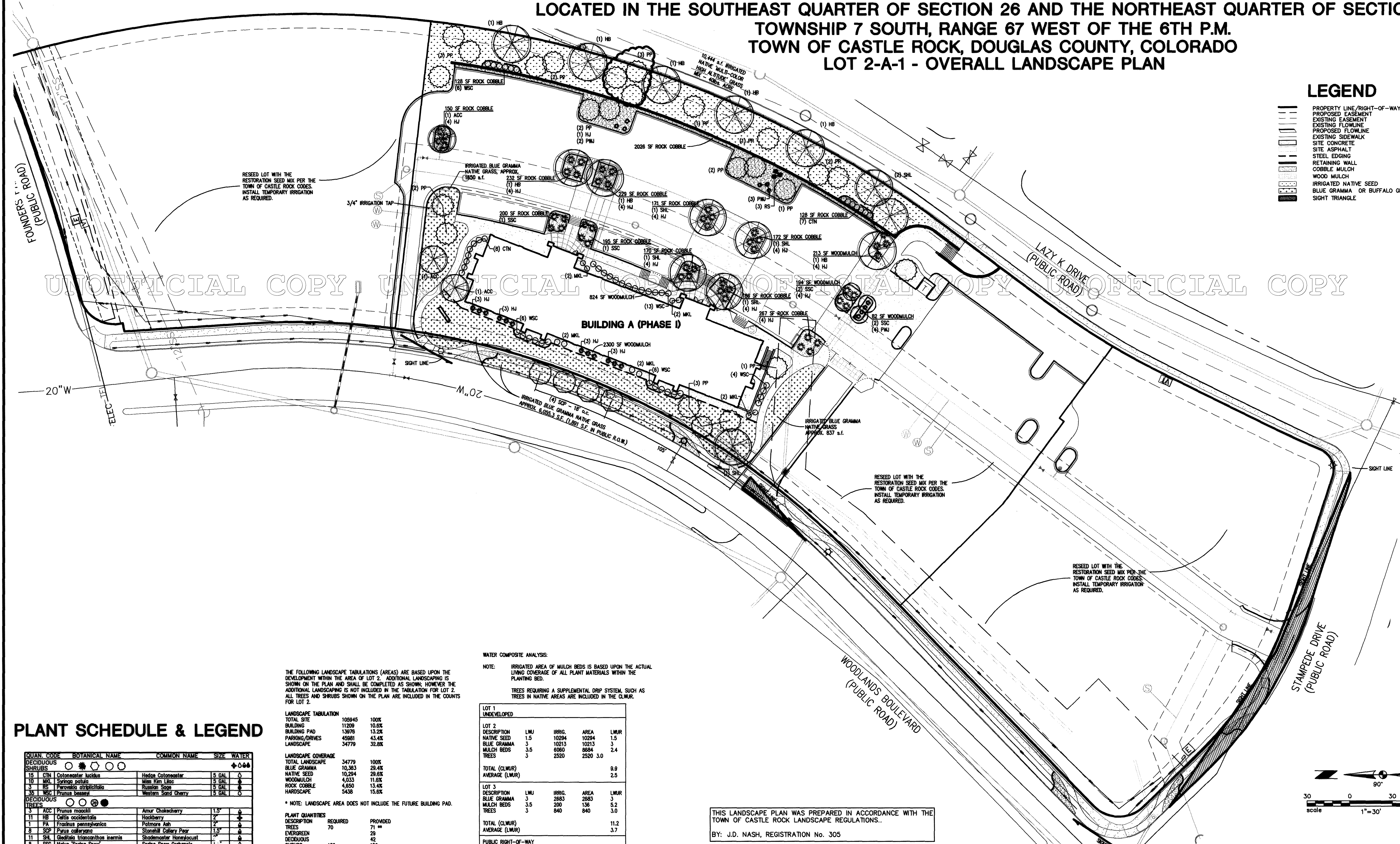
TYPICAL RETAINING WALL SECTION



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FPD 07-007
TRACT F LOT 2-A-1 - GRADING PLAN
SHEET 11 OF 16

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LEGEND

- PROPERTY LINE/RIGHT-OF-WAY
- PROPOSED EASEMENT
- EXISTING EASEMENT
- EXISTING FLOWLINE
- PROPOSED FLOWLINE
- EXISTING SIDEWALK
- SITE CONCRETE
- SITE ASPHALT
- STEEL EDGING
- RETAINING WALL
- COBBLE MULCH
- WOOD MULCH
- IRRIGATED NATIVE SEED
- BLUE GRAMMA OR BUFFALO GRASS
- SIGHT TRIANGLE

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PLANT SCHEDULE & LEGEND

QUAN. CODE	BOTANICAL NAME	COMMON NAME	SIZE	WATER
DECIDUOUS TREES				
15	CTN <i>Colonnaster lucidus</i>	Hedge Colonnaster	5 GAL	0
10	MKL <i>Syringa patula</i>	Miss Kim Lilac	5 GAL	0
3	RS <i>Rhus typhina</i>	Russian Spice	5 GAL	0
35	WSC <i>Prunus besseyi</i>	Western Sand Cherry	5 GAL	0
SHRUBS				
2	ACC <i>Prunus moenchii</i>	Amur Chokecherry	1.5"	0
11	HB <i>Callis occidentalis</i>	Hackberry	2"	0
1	PA <i>Fraxinus pennsylvanica</i>	Palmetto Ash	2"	0
8	SCP <i>Pinus calleryana</i>	Stonhill Callery Pear	1.5"	0
11	SHL <i>Quercus ilicifolia</i>	Shademaster Honeysuckle	2"	0
8	SSC <i>Malus 'Sargol Snow'</i>	Sargol Snow Crabapple	1.5"	0
EVERGREEN TREES				
60	HJ <i>Juniperus chinensis</i> Halbert	Halbert Juniper	5 GAL	0
29	FWJ <i>Juniperus horizontalis</i>	Prince of Wales Juniper	5 GAL	0
SHRUBS				
29	PP <i>Pinus ponderosa</i>	Ponderosa Pine	16"	0

THE FOLLOWING LANDSCAPE TABULATIONS (AREAS) ARE BASED UPON THE DEVELOPMENT WITHIN THE AREA OF LOT 2. ADDITIONAL LANDSCAPING IS SHOWN ON THE PLAN AND SHALL BE COMPLETED AS SHOWN, HOWEVER THE ADDITIONAL LANDSCAPING IS NOT INCLUDED IN THE TABULATION FOR LOT 2. ALL TREES AND SHRUBS SHOWN ON THE PLAN ARE INCLUDED IN THE COUNTS FOR LOT 2.

LANDSCAPE TABULATION	
TOTAL SITE	105945 100%
BUILDING	11208 10.5%
BUILDING PAD	13078 12.3%
PARKING/DRIVES	45981 43.4%
LANDSCAPE	34779 32.8%
LANDSCAPE COVERAGE	
TOTAL LANDSCAPE	34779 100%
BLUE GRAMMA	10,363 29.4%
NATIVE SEED	10,294 29.6%
WOODMULCH	4,033 11.6%
ROCK COBBLE	4,650 13.4%
HARDSCAPE	5436 15.6%

* NOTE: LANDSCAPE AREA DOES NOT INCLUDE THE FUTURE BUILDING PAD.

PLANT QUANTITIES	
REQUIRED	70
PROVIDED	71 **
TREES	
EVERGREEN	29
DECIDUOUS	42
SHRUBS	152
EVERGREEN	89
DECIDUOUS	63

** NOTE: A MINIMUM OF 10 TREES WILL BE ADDED AS A PART OF THE DEVELOPMENT OF THE PHASE II BUILDING PAD TO MEET TOWN OF CASTLE ROCK LANDSCAPE STANDARDS' MINIMUM TREE REQUIREMENTS.

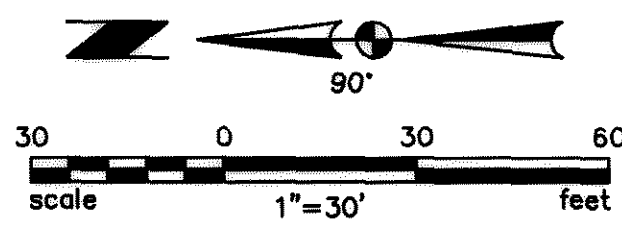
WATER COMPOSITE ANALYSIS:
 NOTE: IRRIGATED AREA OF MULCH BEDS IS BASED UPON THE ACTUAL LIVING COVERAGE OF ALL PLANT MATERIALS WITHIN THE PLANTING BED.
 TREES REQUIRING A SUPPLEMENTAL DRIP SYSTEM, SUCH AS TREES IN NATIVE AREAS ARE INCLUDED IN THE CLMUR.

LOT 1 UNDEVELOPED				
DESCRIPTION	LMU	IRRIG.	AREA	LMUR
NATIVE SEED	1.5	10294	10294	1.5
BLUE GRAMMA	3	10213	10213	3
MULCH BEDS	3.5	6060	6064	2.4
TREES	3	2520	2520	3.0
TOTAL (CLMUR)				9.9
AVERAGE (LMUR)				2.5
LOT 2				
DESCRIPTION	LMU	IRRIG.	AREA	LMUR
BLUE GRAMMA	3	2883	2883	3
MULCH BEDS	3.5	200	136	5.2
TREES	3	840	840	3.0
TOTAL (CLMUR)				11.2
AVERAGE (LMUR)				3.7
LOT 3				
DESCRIPTION	LMU	IRRIG.	AREA	LMUR
BLUE GRAMMA	1.5	603	603	1.5
BLUE GRAMMA	3	5955	5955	3
MULCH BEDS	3.5	0	1042	0
TREES	3	560	560	3.0
TOTAL (CLMUR)				7.5
AVERAGE (LMUR)				1.9
PUBLIC RIGHT-OF-WAY				
DESCRIPTION	LMU	IRRIG.	AREA	LMUR
NATIVE SEED	1.5	603	603	1.5
BLUE GRAMMA	3	5955	5955	3
MULCH BEDS	3.5	0	1042	0
TREES	3	560	560	3.0
TOTAL (CLMUR)				7.5
AVERAGE (LMUR)				1.9

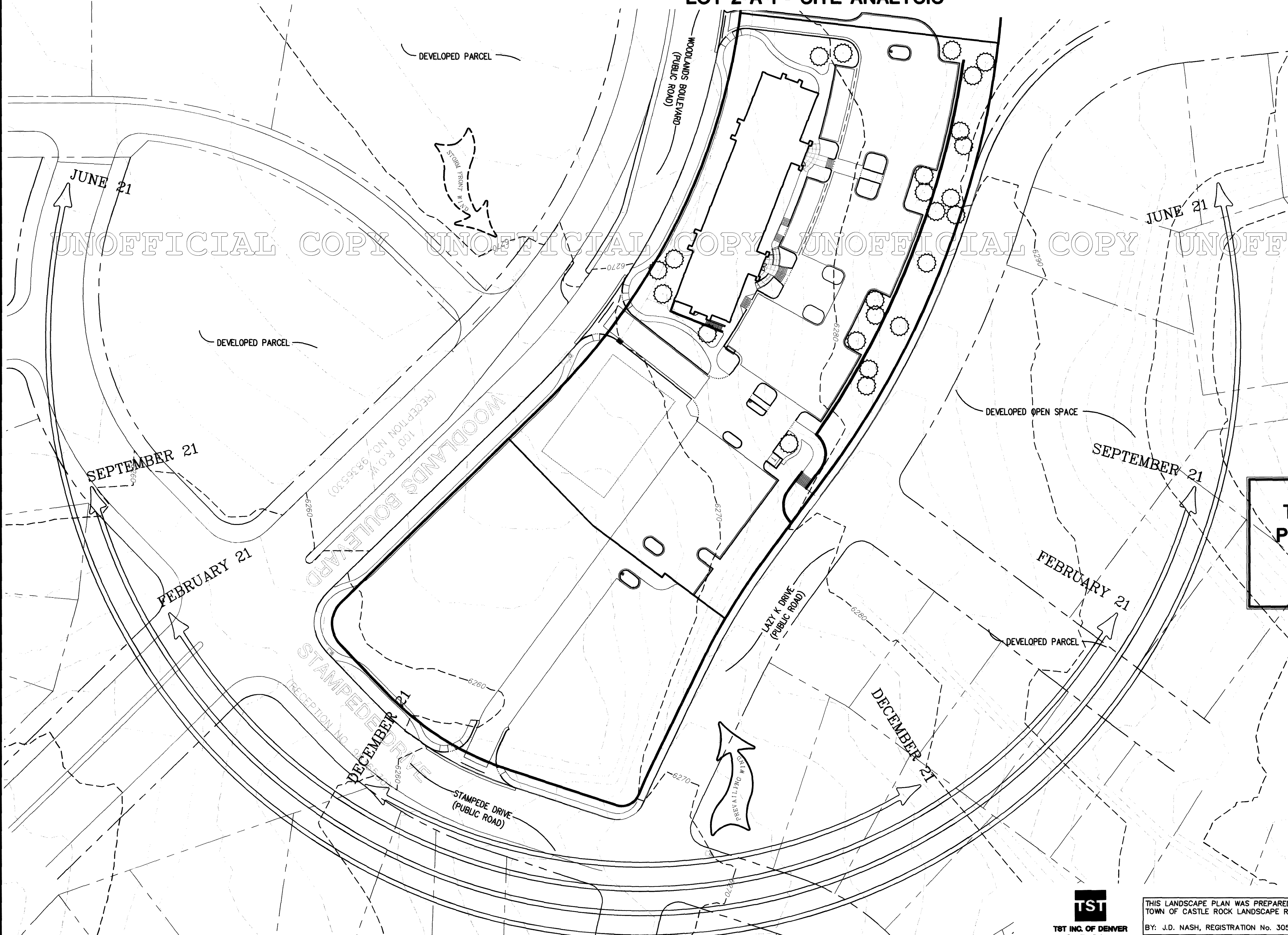
THIS LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.
 BY: J.D. NASH, REGISTRATION No. 305



- NATIVE SEED MIX:**
- 30% Ephraim Crested Wheatgrass
 - 25% Dwarf Perennial Ryegrass
 - 20% SR3200 Blue Fescue
 - 15% Reubens Canada Bluegrass
 - 10% Chewings Fescue.



FINAL PD SITE PLAN
AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN)
AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LOT 2-A-1 - SITE ANALYSIS



GENERAL DESCRIPTION:
 THE SITE CURRENTLY EXISTS IN A MODERATELY GRADED, UNDEVELOPED CONDITION.

OFFSITE DRAINAGE:
 ENTERS THE SITE VIA A DEVELOPED CHANNEL AND/OR PIPES FROM THE NORTHEAST CORNER. ADDITIONAL DRAINAGE SHEET FLOWS ONTO THE SITE FROM THE UNDEVELOPED OPEN SPACE TO THE NORTHEAST. DEVELOPED FLOWS FROM THE ADJACENT RESIDENTIAL SUBDIVISION DO NOT ENTER THE SITE, EXCEPT AS DESCRIBED ABOVE.

VEGETATION:
 EXISTING ON-SITE VEGETATION IS LIMITED TO SPARSE NATIVE GRASSES AND WEEDS. THERE ARE NO SIGNIFICANT VEGETATIVE OR NATURAL FEATURES EXISTING ON THE SITE.

EXPOSURE:
 THE SITE EXISTS ON THE EAST END OF A COMMERCIAL DEVELOPMENT CORRIDOR, AND ADJACENT TO DEVELOPED RESIDENTIAL LOTS IN THE NORTHEAST QUADRANT OF CASTLE ROCK. TO THE NORTH OF THE PARCEL IS A 6 LANE ARTERIAL. THE SITE IS NEARLY COMPLETELY BORDERED BY PUBLIC STREETS.

THE SITE SITS BELOW THE ARTERIAL ROADWAY TO THE NORTH AS WELL AS APPROXIMATELY 20' TO 60' BELOW THE EXISTING HOMES.

VIEWS:
 TO DO THE RELATIVE LOWER ELEVATION FROM THE ADJACENT SITES, AND AS A RESULT OF THE RESIDENTIAL AND COMMERCIAL PROPERTIES NEARBY, THE VIEWS FROM THE SITE ARE LIMITED. TO THE SOUTH IS CASTLE ROCK, TO THE DISTANT SOUTHWEST IS PIKES PEAK.

VIEWS INTO THE SITE FROM THE SOUTHWEST AND NORTH ARE GENERALLY FROM THE VEHICULAR CORRIDORS OF LOCAL STREETS AND THE ADJACENT ARTERIAL ROADWAY. VIEWS INTO THE SITE FROM THE EAST ARE FROM THE RESIDENTIAL PROPERTIES.

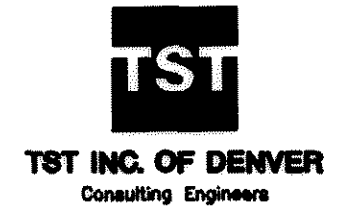
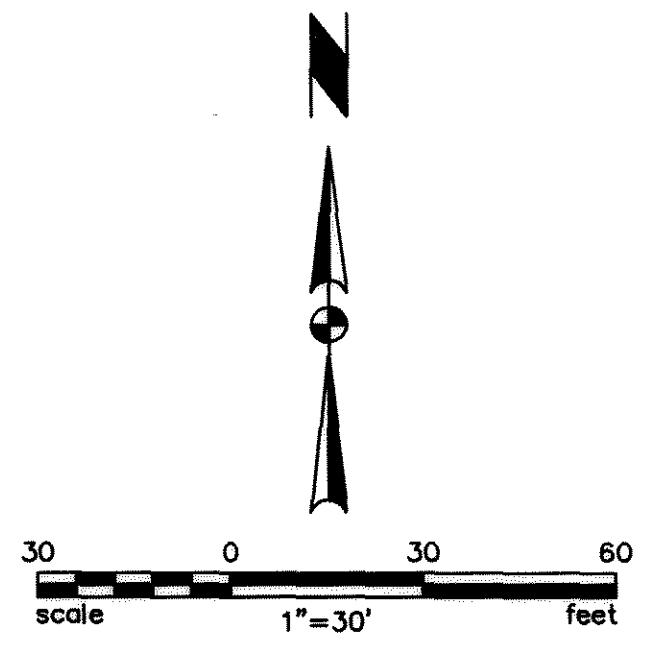
DEVELOPED CONDITIONS:
 THERE IS MINIMAL DEVELOPMENT WITHIN THE PARCEL AND IT IS LIMITED TO PUBLIC UTILITY CROSSINGS, ADJACENT SIDEWALKS AND ROADWAYS.

THIS SHEET NOT INCLUDED AS PART OF THIS AMENDMENT AND IS FOR INFORMATION ONLY.

CLIMATE DATA

AVERAGE DAILY TEMPERATURE	
January	30
February	30
March	35
April	50
May	60
June	70
July	85
August	75
September	60
October	50
November	40
December	30

ANNUAL PRECIPITATION:
 Annual Rainfall 15-16 inches
 Annual Snowfall 65-70 inches



THIS LANDSCAPE PLAN WAS PREPARED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.
 BY: J.D. NASH, REGISTRATION No. 305

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN) LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO LOT 2-A-1 IRRIGATION PLAN

Irrigation System Hydraulic

Project Name: Metzler Ranch Lot 2-A-1, Filing 10 **Date:** February 6, 2010
Project Location: Metzler Ranch, Town of Castle Rock

Prepared by: Rockne Corty Design, Inc. - Doug Rockne **Current TOGR Registration #** 5154

Tap Size: 0.75" **Source of Pressure:** Site Reading from Donald Ashlock
Static Water Pressure: 110 psi

Hydraulic Grade At Zone: 6284 **Company:** TOGR Utilities Department

Ft. of Copper	Pipe Size (")	K Copper	Friction Loss (from chart)	Flow-GPM	Loss/Gain
Service Line (tap to meter): 9 LF	0.75	K Copper	34.30 /100 FT	16	3.06
Water Meter: 1 LF	0.75		4.10	16	4.10
Service Line (meter to backflow): 5 LF	0.75	K Copper	34.30 /100 FT	16	1.72
Backflow: 1 LF	0.75		12	16	12.00
Master Valve: 1 LF	1		2.5	16	2.50

Pressure Required at Head: 40

Lateral Allowance: 5.00

Control Valve Allowance: 1.90

Mainline Allowances:

Length of Mainline	Pipe Material	Size	Gals.	GPM	Loss/Gain
490 LF CL200B	490 LF CL200B	2" @ 16	16	GPM-Looped	0.51 /100 FT
10 LF CL200B	10 LF CL200B	1" @ 16	16	GPM-Looped	0.00

Elevation: Tap elevation: 6,284 High/Low: 6,270 -6.06

Green shading indicates required information you must provide

Total System requirements (PSI): 66.77

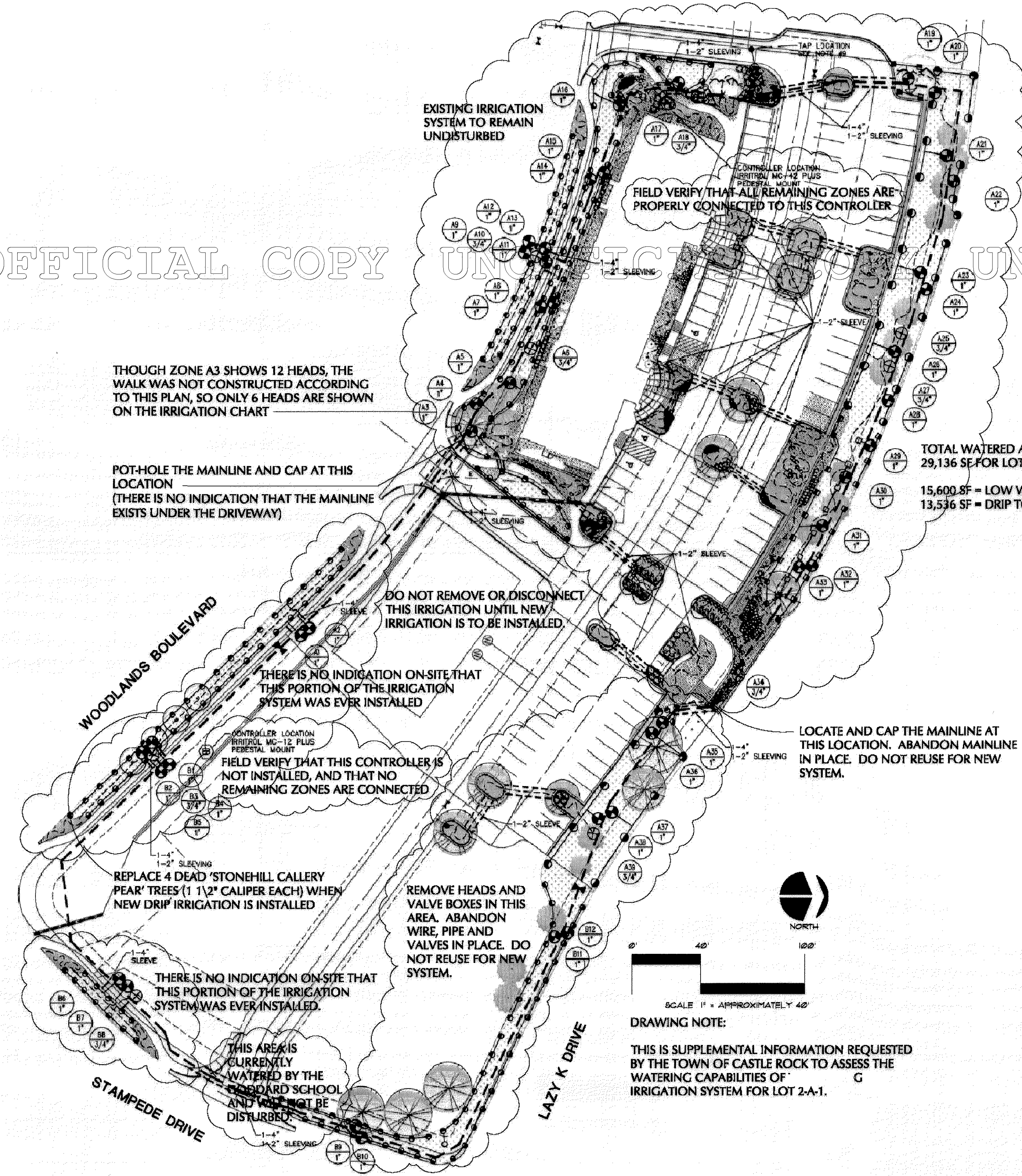
Available System Pressure (PSI): 110.00

Town of Castle Rock provides a minimum of 43 psi

IRRIGATION CHART

Registered Professional: Doug Rockne Registration # 5154 Date: February 6, 2010
 Company Name: Rockne Corty Design, Inc. Address: PO Box 3355, Centennial, CO 80116
 Phone: 303-770-6746 Email: dgr@rockne.com Clock Make: Intro Model: MC-52 plus

Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time (Min/Sec)	Run Time (Min/Sec)	Water Usage (Gallons per month)
Ex. 1	High	Blue Grass	RB 1806 SAM PRS	15'	1.63	73	3	997	20	2895
Ex. 2	Low	Blue Grass	Hunter PGP-ADV	12"	0.47	29	11	159	15	2267
A3	low	Native Grass	RB1804-PRS/SAM	15 MPR	1.8	11	1	33	3	300
A4	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	9	1	33	3	300
A5	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	7	1	33	3	240
A6	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	0	0	0
A7	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	14	1	33	3	480
A8	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	11	1	33	3	360
A9	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	13	1	33	3	420
A10	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	0	0	0
A11	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	11	1	33	3	360
A12	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	13	1	33	3	420
A13	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	11	1	33	3	360
A14	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	14	1	33	3	480
A15	low	Native Grass	RB1804-PRS/SAM	10 MPR	1.8	14	1	33	3	480
A16	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	13	1	33	3	420
A17	low	Native Grass	RB1804-PRS/SAM	12 MPR	1.8	10	1	33	3	360
A18	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	0	0	0
A19	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	7	1	33	3	240
A20	low	Native Grass	Hunter PGP-ADV	7	0.47	2	1	128	13	240
A21	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A22	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A23	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A24	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A25	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	0	0	0
A26	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A27	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	0	0	0
A28	low	Native Grass	Hunter PGP-ADV	7	0.47	1	1	128	13	180
A29	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	7	1	33	3	240
A30	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	11	1	33	3	360
A31	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	11	1	33	3	360
A32	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	11	1	33	3	360
A33	low	Native Grass	RB1812-PRS/SAM	15 MPR	1.8	7	1	33	3	240
A34	low	Trees & Shrubs	AGRIFIM AFT	5 & 10	0.1	0	1	800	80	0
Total								2127	213	8290



IRRIGATION SCHEDULE

SYMBOL	MODEL	DESCRIPTION	DETAIL
●●●●●●	1804 -SAM-PRS	RANBRD POP UP SPRAY HEAD	1
■●●●●■	1812 -SAM-PRS	RANBRD POP UP SPRAY HEAD	1
●	PGP-ADV-05	HUNTER ROTOR	2
●	PGP-ADV-07	HUNTER ROTOR	2
⊕	700 SERIES	HARDIE CONTROL VALVE	3
⊕	LINE SIZE	GATE VALVE	4
⊕	3/4"	DRIP VALVE	5
⊕	44ARC	RANBRD QUICK COUPLER	6
⊕	825YA-3/4"	FEBDO BACKFLOW PREVENTER	6
⊕	MC PLUS SERIES	IRRIGATOR CONTROLLER - PEDESTAL MOUNT	
---	CL 200 S.E. (1-1/2")	PVC MAINLINE	
---	CL 200 S.E. (1")	PVC LATERALS	
---	CL 200	PVC SLEEVING	
---	3/4"	DRIP TUBING	
⊕		CONTROLLER NUMBER	
⊕		VALVE SIZE	
⊕	800 SERIES - 1"	WILKINS PRV	
⊕	20930 SERIES - 1"	BUCKNER MASTER VALVE	
⊕		WATER METER	
⊕		TAP LOCATION	

- ### NOTES
- REFER TO SPECIFICATIONS AND DETAILS FOR INSTALLATION INSTRUCTIONS.
 - ALL BASE PLAN INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY TST INC.
 - IRRIGATION SYSTEM IS DESIGNED FOR A STATIC WATER PRESSURE OF 85 PSL. CONTRACTOR IS TO VERIFY PRESSURE PRIOR TO INSTALLATION OF IRRIGATION SYSTEM AND NOTIFY LANDSCAPE ARCHITECT WITH VERIFICATION FIGURES. FAILURE TO NOTIFY LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR TAKING RESPONSIBILITY FOR ANY ALTERATIONS AT HIS/HER OWN COST.
 - INSTALL DRIP EMITTERS IN BED AREAS AS DESCRIBED BELOW:

GROUND COVER	AGRIFIM IFT-5	1 EA. 12" RADIUS, 15" O.C.
1 GALLON MATL.	AGRIFIM IFT-5	1 EA.
5 GALLON MATL.	AGRIFIM IFT-5	2 EA.
DECIDUOUS TREES (1-1/2" - 2" CAL.)	AGRIFIM IFT-10	3 EA.
DECIDUOUS TREES (3"-4" CAL.)	AGRIFIM IFT-10	4 EA.
PINE TREES (6"-10")	AGRIFIM IFT-10	2 EA.
PINE TREES (11"-14")	AGRIFIM IFT-10	3 EA.
 - CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF PAVING AND SIDEWALKS.
 - USE RANBRD 12 SERIES NOZZLES FOR SPRAY HEADS SPACED LESS THAN 13'.
 - USE RANBRD 10 SERIES NOZZLES FOR SPRAY HEADS SPACED LESS THAN 11'.
 - ELECTRICAL POWER TO THE NEW CONTROLLER IS SUPPLIED BY CONTRACTOR.
 - TAP LOCATION: TAP EXISTING D.I.P. LINE AND INSTALL 3/4" TAP, 3/4" COPPER, 3/4" CURB STOP, 3/4" WATER METER, 3/4" STOP AND WASTE VALVE, 3/4" BACKFLOW PREVENTER, 1" PRV, 1" MASTER VALVE AND EXTEND 1-1/2" MAINLINE AS SHOWN. INSTALL MASTER VALVE AND PRV IN SEPARATE CASKON #1410-128 VALVE BOXES. INSTALL STRONGARM 8880-30 A.L. BACKFLOW PREVENTER. INSTALL TAP, METER AND ALL RELATED EQUIPMENT AS PER CITY SPECIFICATIONS AND DETAILS.

THERE WAS NO DATE ON THIS DRAWING HOWEVER THE IRRIGATION SYSTEM MAY HAVE BEEN INSTALLED IN 2008 ACCORDING TO RESEARCH.

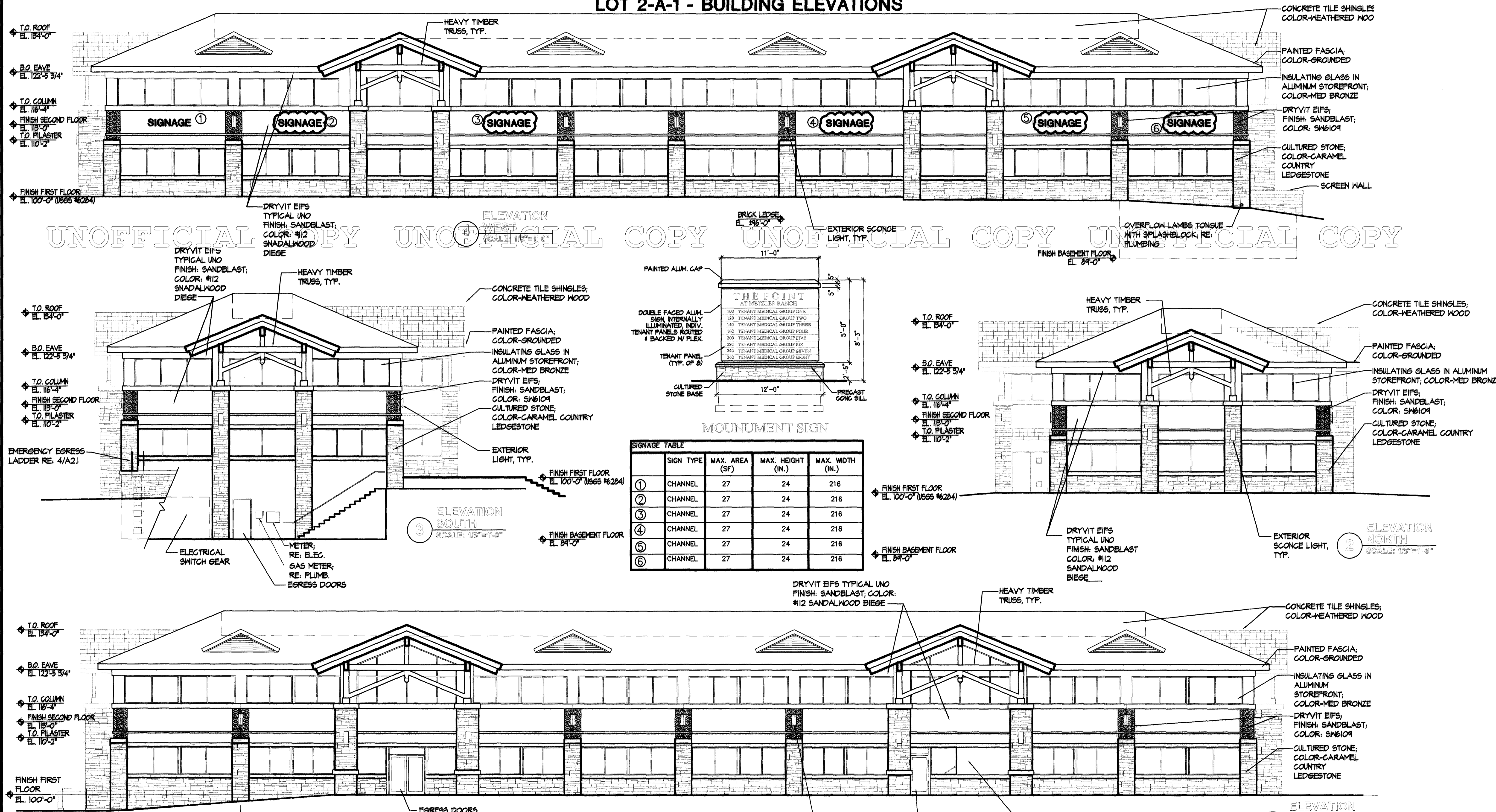
303-442-7027
303-665-8485 - FAX

Rockne Corty Design
 LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN
 POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80116
 E-MAIL: DGR@ROCKNE.COM PHONE: 303-770-6746

TOWN OF CASTLE ROCK - REGISTRATION NO. 5154
 DOUGLAS G. ROCKNE - AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOTS 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN)
 FPD 07-007
 LOT 2-A-1 - IRRIGATION PLAN
 SHEET 14 OF 16 - FEB. 26, 2010

FINAL PD SITE PLAN AMENDED FINAL PD SITE PLAN FOR LOT 1, METZLER RANCH FILING 10 (2ND AMENDMENT TO FINAL PD SITE PLAN) AND LOT 2-A-1, METZLER RANCH FILING 10, 2ND AMENDMENT (1ST AMENDMENT TO FINAL PD SITE PLAN) LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO LOT 2-A-1 - BUILDING ELEVATIONS



OWNER/DEVELOPER
RLB CORPORATION
96 CROWN POINT
CASTLE ROCK, CO 80104
TELEPHONE: (303) 520-5046

**CIVIL ENGINEER/SURVEYOR/
LANDSCAPE ARCHITECT**
TST INC OF DENVER
9222 TEDDY LANE
LONE TREE, CO 80124
TELEPHONE: (303) 792-0557

ARCHITECT
DAUER HASWELL GROUP
1748 PLATTE STREET
DENVER, CO 80202
TELEPHONE: (303) 458-9600

IRRIGATION DESIGN
IRRIGATION DESIGN &
CONSULTANTS, INC.
P.O. BOX 807
LAFAYETTE, CO 80026
TELEPHONE: (303) 442-7027



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FPD 07-007
LOT 2-A-1 - BUILDING ELEVATIONS
SHEET 15 OF 16

