

SITE DEVELOPMENT PLAN GENERAL NOTES

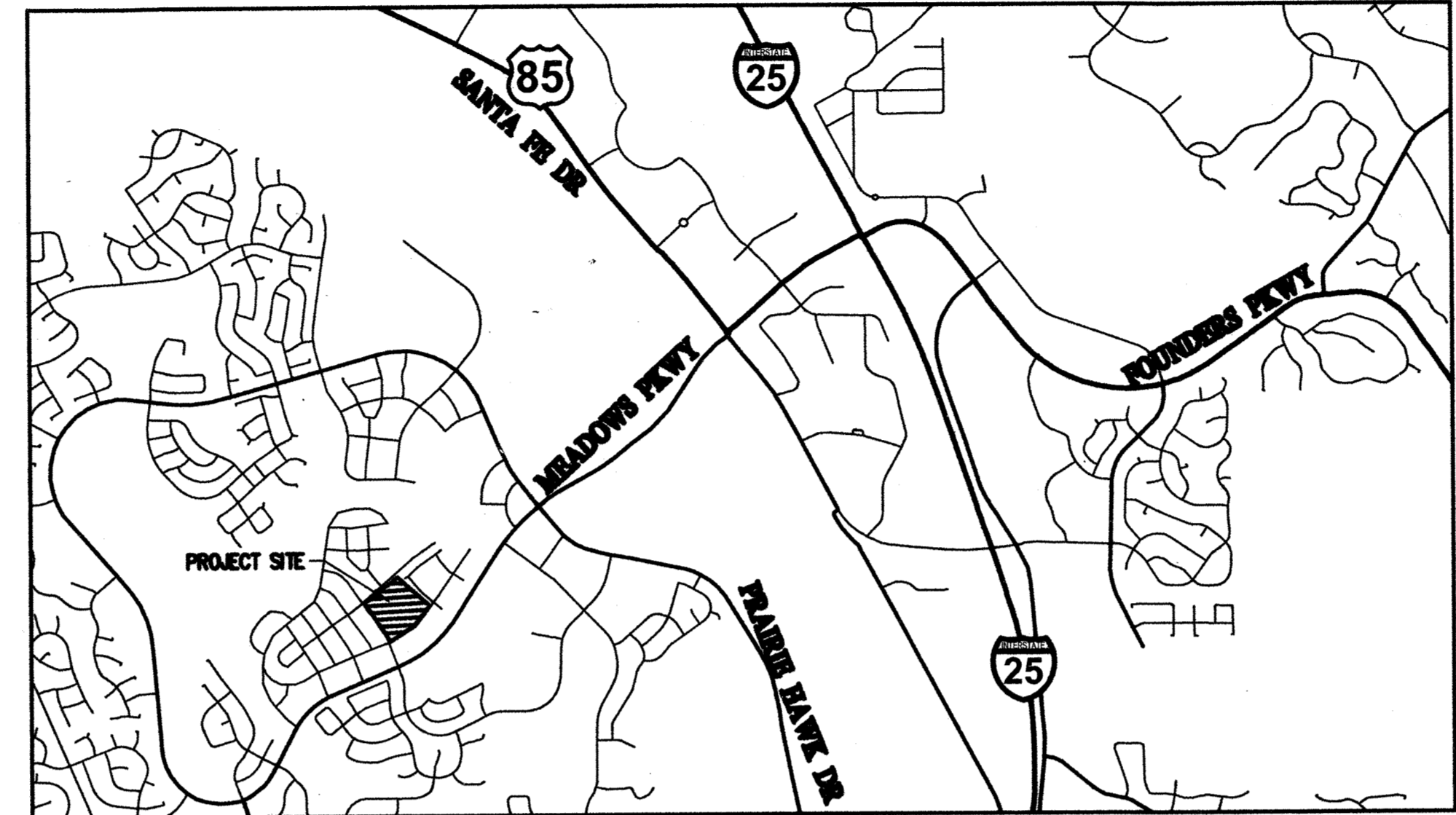
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 6.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL UPON WRITTEN NOTICE BY THE TOWN. THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE SITE IS NOT LOCATED WITHIN ANY FEMA REGULATED FLOODPLAINS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED PD. THE DATE OF RECORDATION WAS JULY 10, 2003. THE RECEPTION NUMBER IS 2003102968.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102970 AND ACCORDINGLY-4854 SITE ARE DEBITED FROM THE WATER BANK.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- LANDSCAPING IN THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY WILL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO PARKING FIRE LANE: SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- REFER TO THE MEADOWS P.D. SITE PLAN FOR FULL WRITTEN LOT AND BLOCK/METES AND BOUNDS LEGAL DESCRIPTION.

TRACT E, THE MEADOWS FILING NO. 20, PHASE 1 SITE DEVELOPMENT PLAN

LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE 6th PRINCIPAL MERIDIAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



VICINITY MAP
 1"=2000'

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102970 AND ACCORDINGLY-4854 SITE ARE DEBITED FROM THE WATER BANK.
 6.67

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, AND STATE OF COLORADO DESCRIBED HEREIN.
 Douglas County School District RE-1
 SIGNED THIS 8 DAY OF June 2018
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 8 DAY OF June 2018 BY Erin Kane AS Superintendent OF DOUGLAS COUNTY SCHOOL DISTRICT RE-1
 Witness My Hand and Official Seal.
 Tamara L. Taylor
 Notary Public
 State of Colorado
 Notary ID 20174030523
 My Commission Expires July 20, 2021
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: July 20, 2021

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:26AM ON THE 18 DAY OF June 2018 AT RECEPTION NO. 2018036290.
 DOUGLAS COUNTY CLERK AND RECORDER
 BY: Kristy Mann
 DEPUTY

PROJECT BENCHMARK
 SITE BENCHMARK IS DOUGLAS COUNTY CONTROL MONUMENT 2.015030. RECOVERED 3.25" ALUMINUM CAP LOCATED 410' MORE OR LESS EAST OF THE RAILROAD TRACKS AND 3200' MORE OR LESS NORTH OF MEADOWS PARKWAY. ELEVATION = 6082.17 (NAVD 88).

INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
1	OF 13 COVER SHEET
2	OF 13 GENERAL PHASING PLAN
3	OF 13 SITE PLAN
4	OF 13 SITE PLAN - NORTH
5	OF 13 SIGNAGE & STRIPING PLAN
6	OF 13 GENERAL GRADING PLAN
7	OF 13 GENERAL UTILITY PLAN
8	OF 13 CONCEPTUAL LANDSCAPE PLAN
9	OF 13 CONCEPTUAL LANDSCAPE PLAN
10	OF 13 ARCHITECTURAL ELEVATIONS
11	OF 13 ARCHITECTURAL ELEVATIONS
12	OF 13 PHOTOMETRIC CUT SHEETS
13	OF 13 PHOTOMETRIC CUT SHEETS

SUMMARY TABLE

ITEM	QTY	UNIT
MAXIMUM GROSS FLOOR AREA	34,823	SQUARE FEET
BUILDING SETBACKS/SEPARATIONS	FRONT REQ'D 8 - FRONT PROVIDED 47 REAR REQ'D 8 - BACK PROVIDED 468 SIDE REQ'D 8 - SIDE PROVIDED 44	LINEAR FEET
PARKING COUNT	22 CLASSROOMS: 1 SPACE/1 CLASSROOM 39 FACILITY: 1 SPACE/1.5 FACILITY STANDARD: 48 REQ'D/48 PROVIDED HANDICAP: 2 REQ'D/2 PROVIDED	EACH
OFF-STREET LOADING/STACKING	CELESTIAL ACCESS - 32 DISTANT ROCK ACCESS - 25 TOTAL - 57	VEHICLE LENGTHS
MAXIMUM HEIGHT OF BUILDINGS	21.25	FEET
SINGLE FAMILY EQUIVALENT	34	SFE
TOTAL GROSS SITE AREA	438,223	SF

TOTAL SITE UTILIZATION

DESCRIPTION	PARKING (SF)	ON-SITE DRIVES (SF)	CONCRETE (SF)	LANDSCAPE AREA (SF)	OPEN SPACE (SF)	BUILDING COVERAGE (SF)	GROSS SITE AREA (SF)
PHASE I	8,420	34,774	23,827	76,108	4,481	20,000	167,380
FUTURE PHASE II*	11,250	6,530	12,000	26,884	197,179	15,000	288,843
TOTAL SITE	19,670	41,304	35,827	102,992	201,630	35,000	438,223

*FUTURE PHASE II HAS NOT BEEN FORMALLY DESIGNED. ALL AREAS ARE ESTIMATIONS AND SUBJECT TO CHANGE AS WELL AS THE TOWN REVIEW PROCESS AT TIME OF DESIGN.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 14 DAY OF June 2018.
 DIRECTOR OF DEVELOPMENT SERVICES

SURVEYOR'S CERTIFICATE

I, AARON DEMO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
 AARON DEMO, P.L.S. DATE 5/30/18

CONTACTS



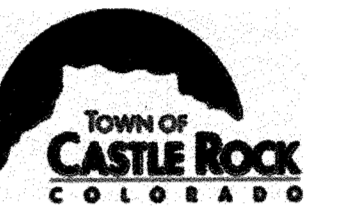
AFFILIANT
 APEX COMMUNITY SCHOOL
 830 PERRY ST. #355
 CASTLE ROCK, CO 80104
 (303) 489-2155



CIVIL ENGINEER
 BASELINE ENGINEERING
 1630 FORD STREET
 GOLDEN, CO 80401
 CONTACT: NOAH NEIMERS, P.E.
 (303) 940-9968

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ARCHITECT
 HORD COPLAN MACHT
 1331 NINETEETH STREET
 DENVER, CO 80202
 CONTACT: JOEL PEARSON
 (303) 607-0877



MUNICIPALITY
 TOWN OF CASTLE ROCK
 100 N. WILCOX STREET
 CASTLE ROCK, CO 80104
 CONTACT: KETH JOHNSTON, PE
 (720) 733-2202



WATER
 TOWN OF CASTLE ROCK UTILITIES
 175 WELLSIDE COURT
 CASTLE ROCK, CO 80109
 (720) 977-6800



FIRE PROTECTION
 CASTLE ROCK FIRE DEPARTMENT
 300 PERRY STREET
 CASTLE ROCK, CO 80104
 (303) 660-1086



ELECTRIC
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 5486 N. HIGHWAY 85
 SEDALIA, CO 60135
 (303) 688-3100

TITLE CERTIFICATION

ERIC STEADMAN, AN AUTHORIZED REPRESENTATIVE OF Commonwealth Land Title Insurance Company LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LENDHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LENDHOLDER SUBORDINATION CERTIFICATE.
 AUTHORIZED REPRESENTATIVE
 Commonwealth Land Title Insurance Company
 TITLE COMPANY
 SIGNED THIS 13 DAY OF June 2018
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 13 DAY OF June 2018 BY ERIC STEADMAN
 WITNESS MY HAND AND OFFICIAL SEAL.
 ERIC NARANJO GONZALES
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20174030523
 MY COMMISSION EXPIRES MARCH 29, 2021
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 3-29-21

CIVIL ENGINEER'S STATEMENT

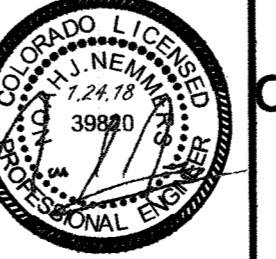
I, NOAH NEIMERS, BEING A REGISTERED ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
 NOAH NEIMERS, P.E. 39820 DATE 1.24.18

SDP17 -0024
 TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
 SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

TOWN OF CASTLE ROCK SUBMITTAL #1	7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2	9/1/2017
TOWN OF CASTLE ROCK SUBMITTAL #3	10/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #4	12/01/2017
TOWN OF CASTLE ROCK SUBMITTAL #5	12/21/2017
TOWN OF CASTLE ROCK SUBMITTAL #6	1/15/2018
TOWN OF CASTLE ROCK SUBMITTAL #7	1/24/2018

COVER

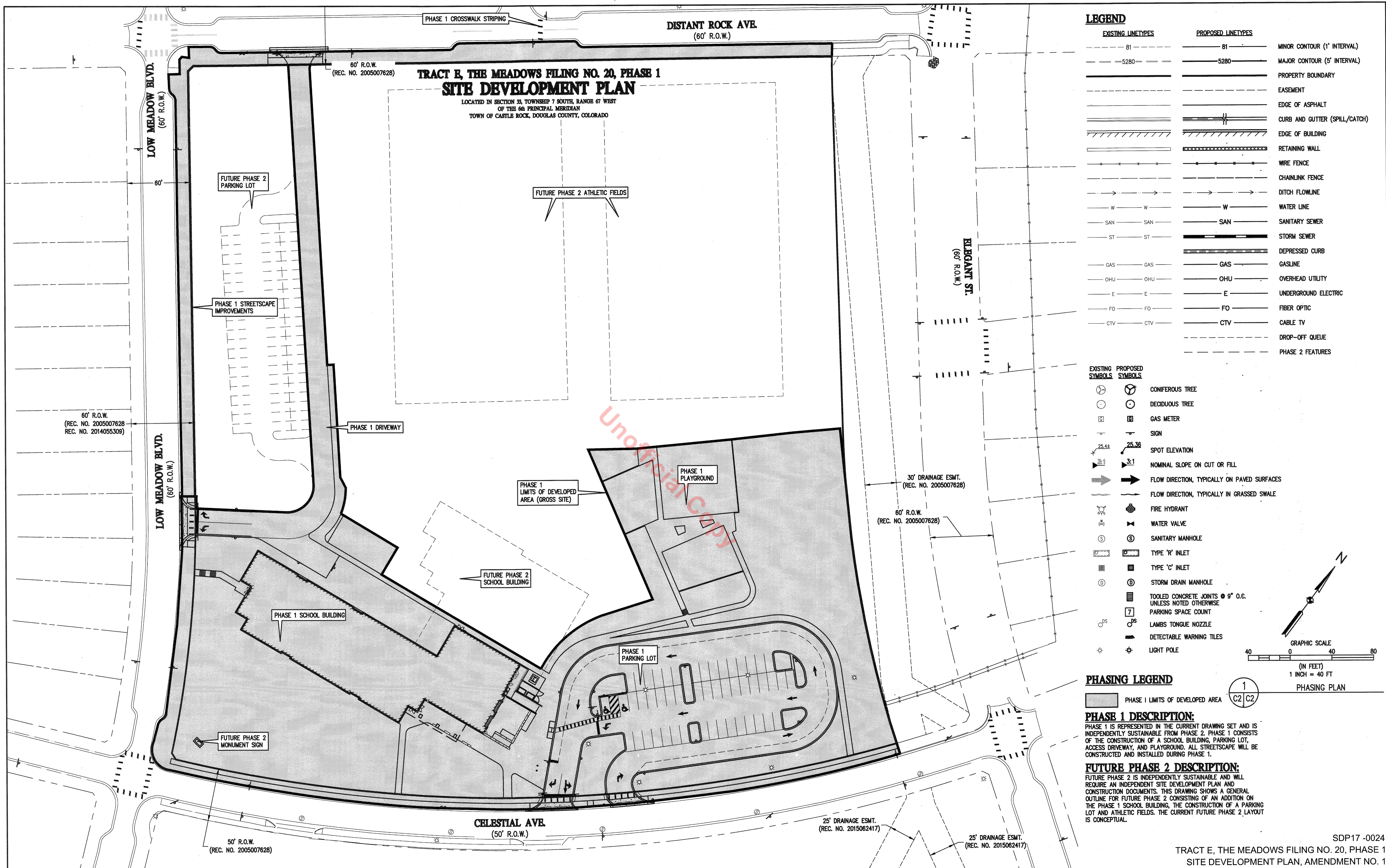
PROJECT NUMBER: CO3272
 DRAWN BY: JTP
 CHECKED BY: MJW
 CIVIL ENGINEER: BASELINE ENGINEERING
 LANDSCAPE ARCHITECT: HORD COPLAN MACHT
 STRUCTURAL ENGINEER: MARTINO & LUTH
 MECH / ELEC ENGINEER: MEP ENGINEERING



APEX COMMUNITY SCHOOL
 CELESTIAL AVE & LOW MEADOW BLVD
 CASTLE ROCK, CO 80109

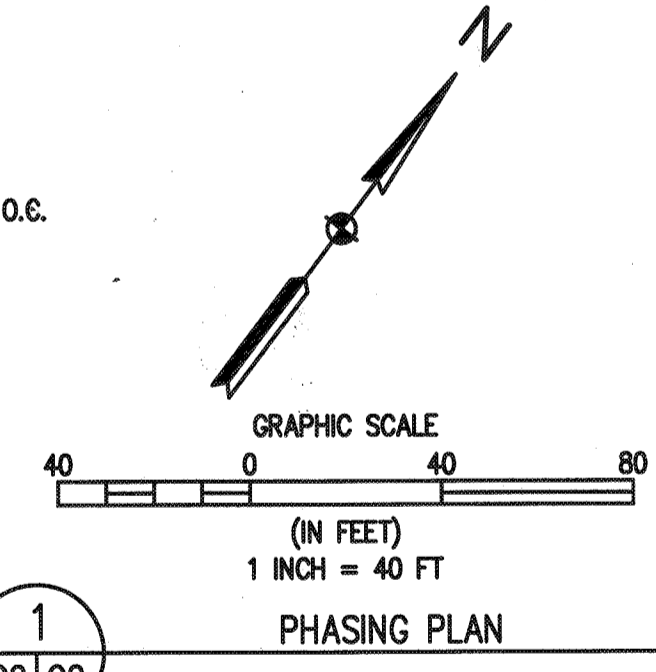


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EXISTING LINETYPES	PROPOSED LINETYPES	
81	81	MINOR CONTOUR (1' INTERVAL)
5280	5280	MAJOR CONTOUR (5' INTERVAL)
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	EDGE OF ASPHALT
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	RETAINING WALL
---	---	WIRE FENCE
---	---	CHAINLINK FENCE
---	---	DITCH FLOWLINE
W	W	WATER LINE
SAN	SAN	SANITARY SEWER
ST	ST	STORM SEWER
GAS	GAS	DEPRESSED CURB
OHU	OHU	GASLINE
E	E	OVERHEAD UTILITY
FO	FO	UNDERGROUND ELECTRIC
CTV	CTV	FIBER OPTIC
		CABLE TV
		DROP-OFF QUEUE
		PHASE 2 FEATURES

EXISTING SYMBOLS	PROPOSED SYMBOLS	
(Tree symbol)	(Tree symbol)	CONIFEROUS TREE
(Tree symbol)	(Tree symbol)	DECIDUOUS TREE
(Square symbol)	(Square symbol)	GAS METER
(Triangle symbol)	(Triangle symbol)	SIGN
(Elevation symbol)	(Elevation symbol)	SPOT ELEVATION
(Slope symbol)	(Slope symbol)	NOMINAL SLOPE ON CUT OR FILL
(Arrow symbol)	(Arrow symbol)	FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
(Arrow symbol)	(Arrow symbol)	FLOW DIRECTION, TYPICALLY ON GRASSED SWALE
(Hydrant symbol)	(Hydrant symbol)	FIRE HYDRANT
(Valve symbol)	(Valve symbol)	WATER VALVE
(Manhole symbol)	(Manhole symbol)	SANITARY MANHOLE
(Inlet symbol)	(Inlet symbol)	TYPE 'R' INLET
(Inlet symbol)	(Inlet symbol)	TYPE 'C' INLET
(Manhole symbol)	(Manhole symbol)	STORM DRAIN MANHOLE
(Joint symbol)	(Joint symbol)	TOOLED CONCRETE JOINTS @ 9' O.C. UNLESS NOTED OTHERWISE
(Count symbol)	(Count symbol)	PARKING SPACE COUNT
(Nozzle symbol)	(Nozzle symbol)	LAMBS TONGUE NOZZLE
(Tile symbol)	(Tile symbol)	DETECTABLE WARNING TILES
(Pole symbol)	(Pole symbol)	LIGHT POLE



PHASING LEGEND

PHASE I LIMITS OF DEVELOPED AREA

PHASE 1 DESCRIPTION:
 PHASE 1 IS REPRESENTED IN THE CURRENT DRAWING SET AND IS INDEPENDENTLY SUSTAINABLE FROM PHASE 2. PHASE 1 CONSISTS OF THE CONSTRUCTION OF A SCHOOL BUILDING, PARKING LOT, ACCESS DRIVEWAY, AND PLAYGROUND. ALL STREETScape WILL BE CONSTRUCTED AND INSTALLED DURING PHASE 1.

FUTURE PHASE 2 DESCRIPTION:
 FUTURE PHASE 2 IS INDEPENDENTLY SUSTAINABLE AND WILL REQUIRE AN INDEPENDENT SITE DEVELOPMENT PLAN AND CONSTRUCTION DOCUMENTS. THIS DRAWING SHOWS A GENERAL OUTLINE FOR FUTURE PHASE 2 CONSISTING OF AN ADDITION ON THE PHASE 1 SCHOOL BUILDING, THE CONSTRUCTION OF A PARKING LOT AND ATHLETIC FIELDS. THE CURRENT FUTURE PHASE 2 LAYOUT IS CONCEPTUAL.

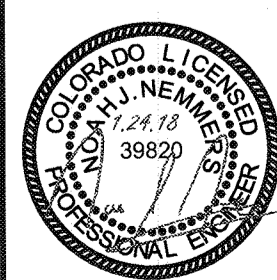
SDP17-0024

TRACT E, THE MEADOWS FILING NO. 20, PHASE 1 SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

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GENERAL PHASING PLAN

PROJECT NUMBER: CO3272
 DRAWN BY: JTP
 CHECKED BY: MJW
 CIVIL ENGINEER: BASELINE ENGINEERING
 LANDSCAPE ARCHITECT: HORD COPLAN MACTH
 STRUCTURAL ENGINEER: MARTINO & LUTH
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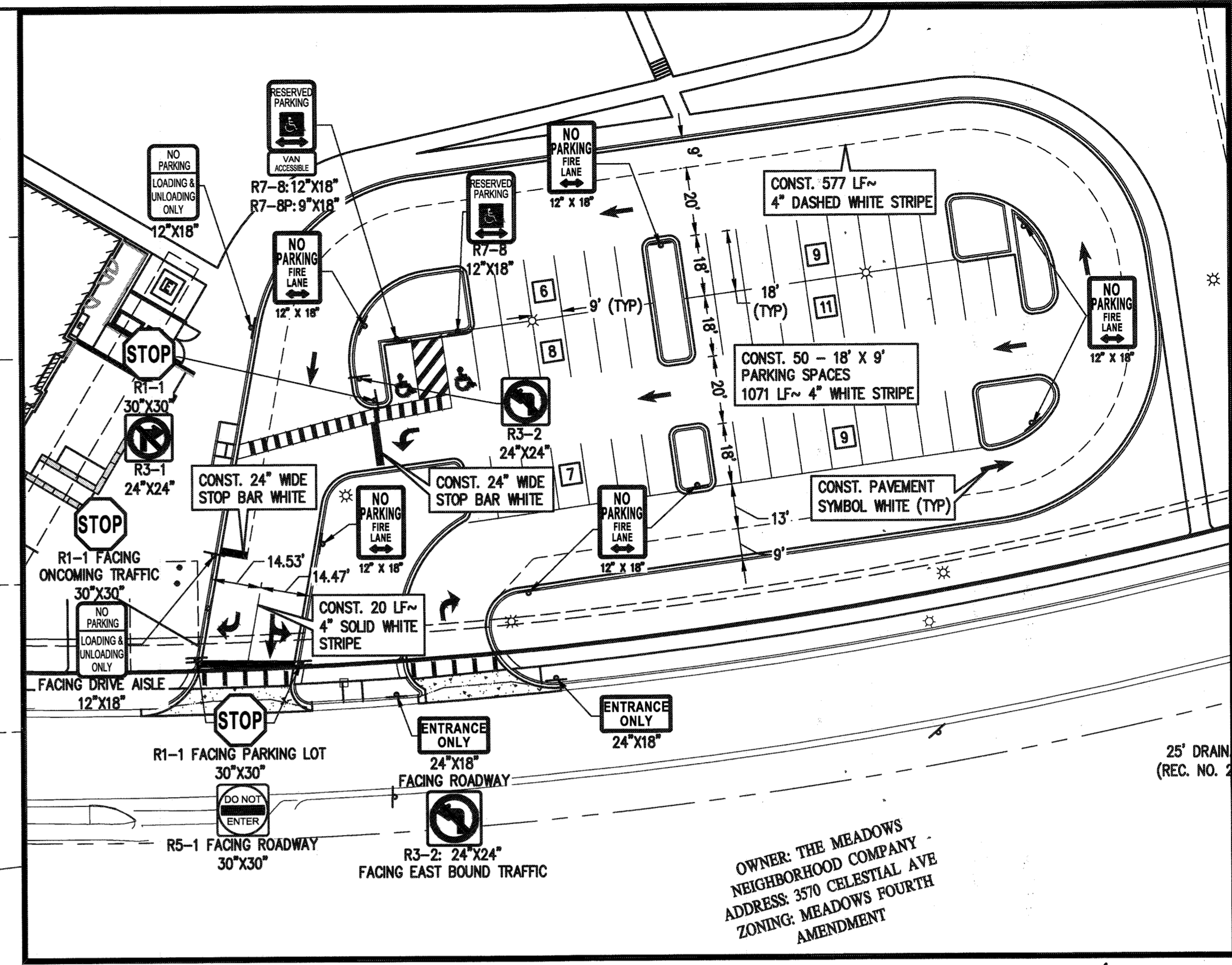
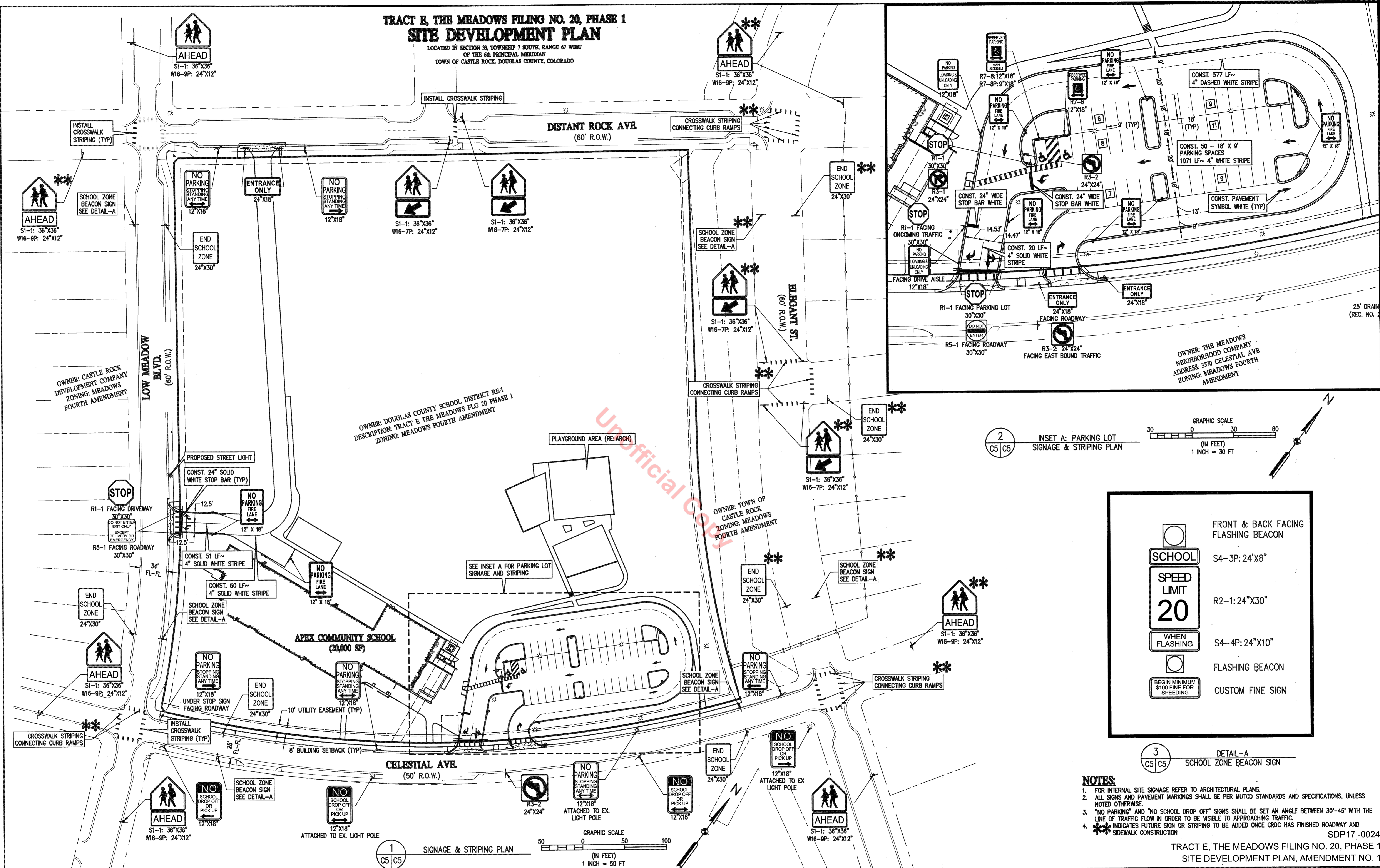
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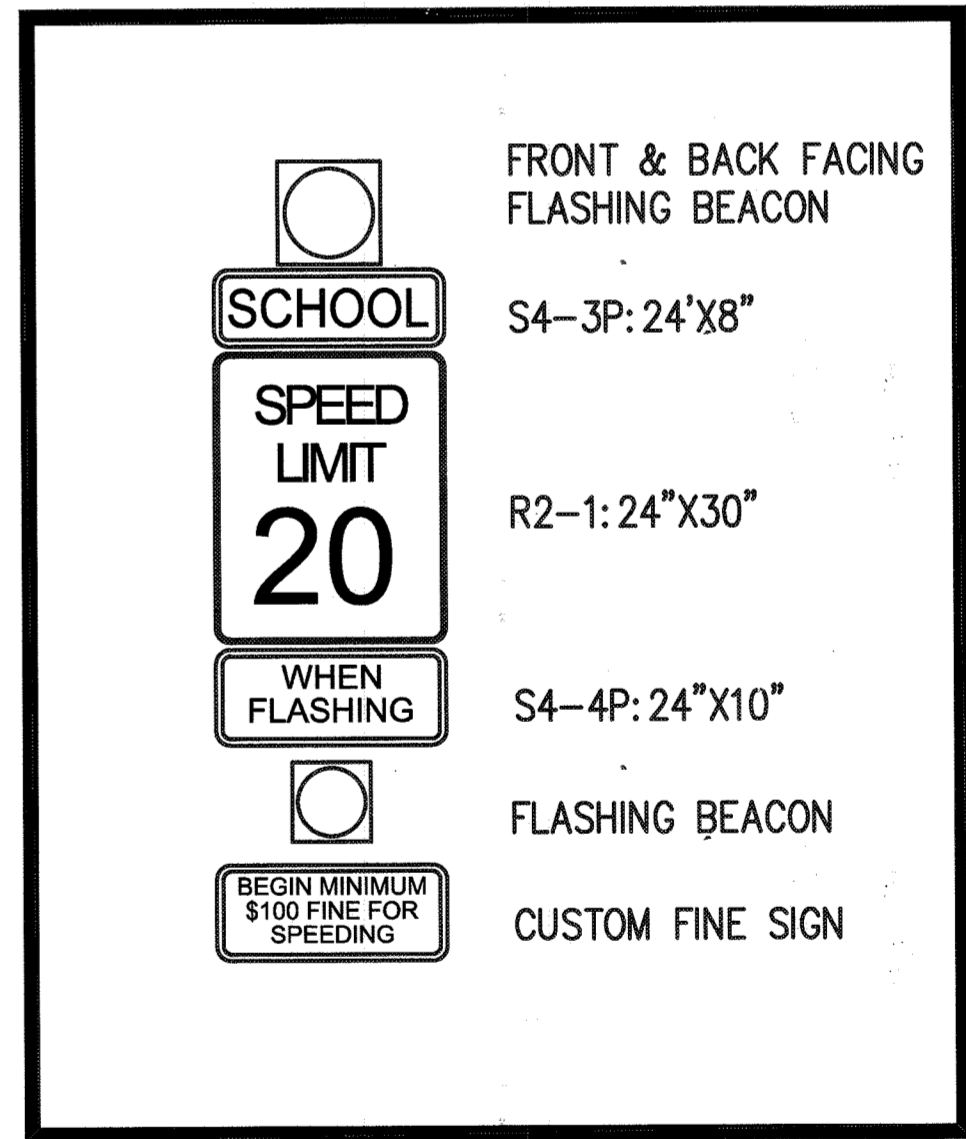
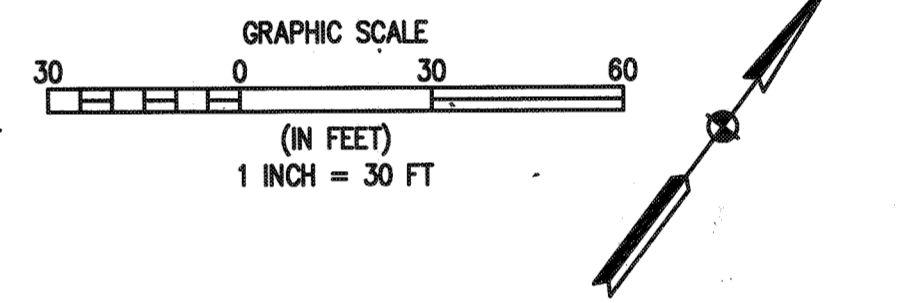
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LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE 60 PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



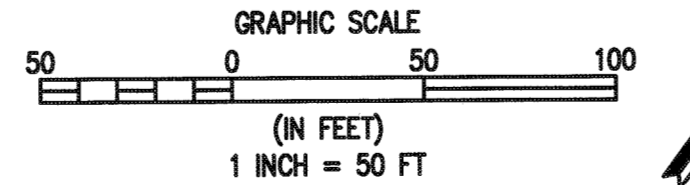
2 C5 C5 INSET A: PARKING LOT SIGNAGE & STRIPING PLAN



3 C5 C5 DETAIL-A SCHOOL ZONE BEACON SIGN

- NOTES:**
- FOR INTERNAL SITE SIGNAGE REFER TO ARCHITECTURAL PLANS.
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER MUTCD STANDARDS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 - "NO PARKING" AND "NO SCHOOL DROP OFF OR PICK UP" SIGNS SHALL BE SET AN ANGLE BETWEEN 30-45° WITH THE LINE OF TRAFFIC FLOW IN ORDER TO BE VISIBLE TO APPROACHING TRAFFIC.
 - ** INDICATES FUTURE SIGN OR STRIPING TO BE ADDED ONCE CRDC HAS FINISHED ROADWAY AND SIDEWALK CONSTRUCTION

1 C5 C5 SIGNAGE & STRIPING PLAN

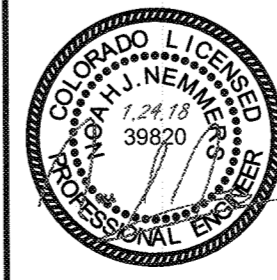


SIGNAGE & STRIPING PLAN

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PROJECT NUMBER: C03272
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CHECKED BY: MJW
CIVIL ENGINEER: BASELINE ENGINEERING
LANDSCAPE ARCHITECT: HORD COPLAN MACTH
STRUCTURAL ENGINEER: MARTINO & LUTH
MECH / ELEC ENGINEER: MEP ENGINEERING



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SDP17 -0024
TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

TRACT E, THE MEADOWS FILING NO. 20, PHASE 1 SITE DEVELOPMENT PLAN

LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE 6th PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

OWNER: DOUGLAS COUNTY SCHOOL DISTRICT RE-1
DESCRIPTION: TRACT E THE MEADOWS FLG 20 PHASE 1
ZONING: MEADOWS FOURTH AMENDMENT

APEX COMMUNITY SCHOOL
20,000 SF 1ST FLOOR
FFB = 6198.54

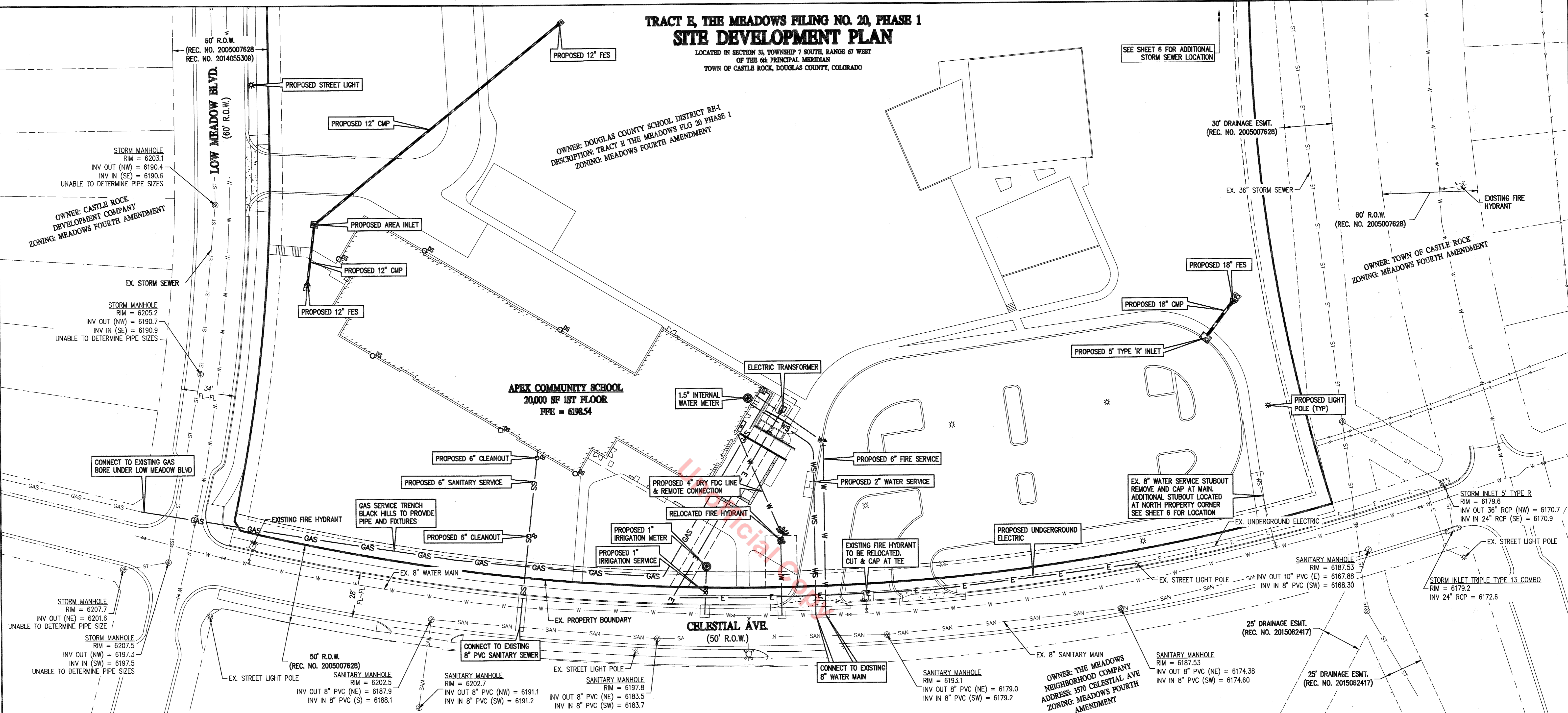
CELESTIAL AVE
(50' R.O.W.)

LOW MEADOW BLVD.
(60' R.O.W.)

SEE SHEET 6 FOR ADDITIONAL
STORM SEWER LOCATION

OWNER: CASTLE ROCK
DEVELOPMENT COMPANY
ZONING: MEADOWS FOURTH AMENDMENT

OWNER: TOWN OF CASTLE ROCK
ZONING: MEADOWS FOURTH AMENDMENT



LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	DESCRIPTION
81	81	MINOR CONTOUR (1' INTERVAL)
5280	5280	MAJOR CONTOUR (5' INTERVAL)
---	---	PROPERTY BOUNDARY
---	---	EASEMENT
---	---	EDGE OF ASPHALT
---	---	CURB AND GUTTER (SPILL/CATCH)
---	---	EDGE OF BUILDING
---	---	RETAINING WALL
---	---	WIRE FENCE
---	---	CHAINLINK FENCE
---	---	DITCH FLOWLINE
W	W	WATER LINE
SAN	SAN	SANITARY SEWER
ST	ST	STORM SEWER
GAS	GAS	GASLINE
OHU	OHU	OVERHEAD UTILITY
E	E	UNDERGROUND ELECTRIC
FO	FO	FIBER OPTIC
CTV	CTV	CABLE TV
IRR	IRR	IRRIGATION LINE
WS	WS	WATER SERVICE
SS	SS	SANITARY SEWER SERVICE
---	---	DEPRESSED CURB
---	---	UNDERGROUND ELECTRIC
---	---	FIBER OPTIC
---	---	CABLE TV
---	---	DROP-OFF QUEUE
---	---	IRRIGATION LINE
---	---	WATER SERVICE
---	---	SANITARY SEWER SERVICE

EXISTING SYMBOLS	PROPOSED SYMBOLS	DESCRIPTION
(Tree symbol)	(Tree symbol)	CONIFEROUS TREE
(Tree symbol)	(Tree symbol)	DECIDUOUS TREE
(Square symbol)	(Square symbol)	GAS METER
(Circle symbol)	(Circle symbol)	SIGN
(Triangle symbol)	(Triangle symbol)	SPOT ELEVATION
(Arrow symbol)	(Arrow symbol)	NOMINAL SLOPE ON CUT OR FILL
(Arrow symbol)	(Arrow symbol)	FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
(Arrow symbol)	(Arrow symbol)	FLOW DIRECTION, TYPICALLY IN GRASSED SWALE
(Circle with cross symbol)	(Circle with cross symbol)	FIRE HYDRANT
(Circle with cross symbol)	(Circle with cross symbol)	WATER VALVE
(Circle with cross symbol)	(Circle with cross symbol)	SANITARY MANHOLE
(Circle with cross symbol)	(Circle with cross symbol)	TYPE 'R' INLET
(Circle with cross symbol)	(Circle with cross symbol)	TYPE 'C' INLET
(Circle with cross symbol)	(Circle with cross symbol)	STORM DRAIN MANHOLE
(Star symbol)	(Star symbol)	LIGHT POLE
(Square symbol)	(Square symbol)	PARKING SPACE COUNT
(Circle with cross symbol)	(Circle with cross symbol)	LAMBS TONGUE NOZZLE
(Square symbol)	(Square symbol)	DETECTABLE WARNING TILES
(Square symbol)	(Square symbol)	TOOLED CONCRETE JOINTS @ 9" O.C. UNLESS NOTED OTHERWISE

GRAPHIC SCALE
1 INCH = 30 FT

1 GENERAL UTILITY PLAN

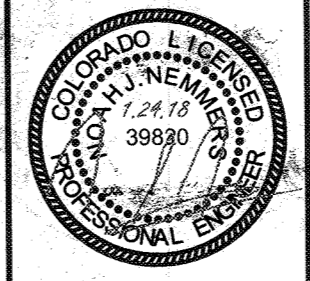
TOWN OF CASTLE ROCK UTILITY NOTES:

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THE SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
- SANITARY ELEVATIONS ALONG CELESTIAL WERE PROVIDED BY TOWN AS-BUILTS.

TOWN OF CASTLE ROCK SUBMITTAL #	DATE
TOWN OF CASTLE ROCK SUBMITTAL #1	7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2	9/1/2017
TOWN OF CASTLE ROCK SUBMITTAL #3	10/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #4	12/01/2017
TOWN OF CASTLE ROCK SUBMITTAL #5	12/21/2017
TOWN OF CASTLE ROCK SUBMITTAL #6	1/15/2018
TOWN OF CASTLE ROCK SUBMITTAL #7	1/24/2018

GENERAL UTILITY PLAN

PROJECT NUMBER: C03272
DRAWN BY: JTP
CHECKED BY: MJW
CIVIL ENGINEER: BASELINE ENGINEERING
LANDSCAPE ARCHITECT: HORD COPLAN MACHT
STRUCTURAL ENGINEER: MARTINO & LUTH
MECH / ELEC ENGINEER: MEP ENGINEERING

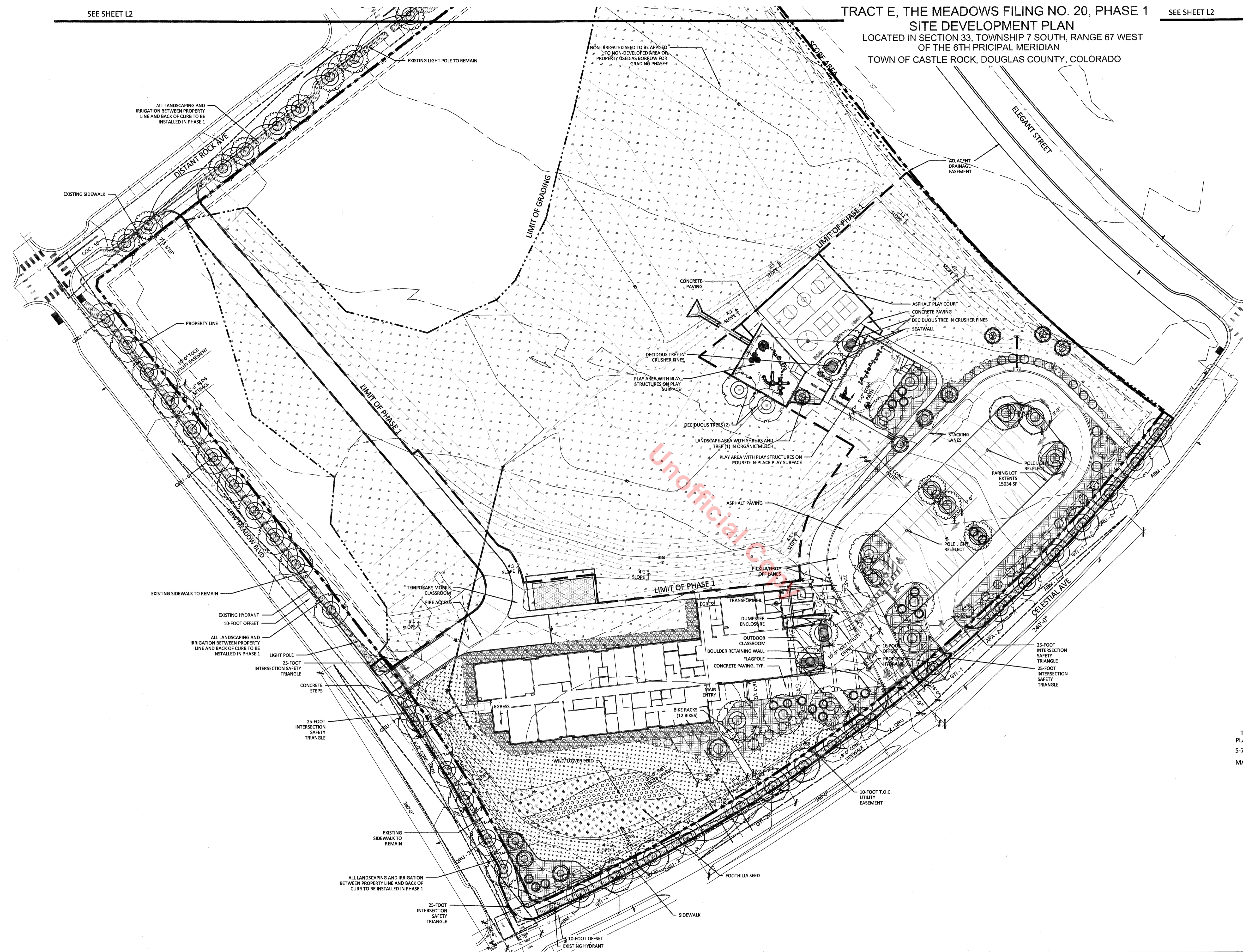


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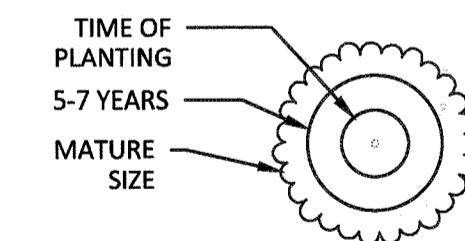
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SITE DEVELOPMENT PLAN
LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



KEY

SYMBOL	TYPE	HYDRO ZONE*	IRRIGATION*
	LANDSCAPE AREA WITH SHRUBS & TREES AND 3/4" ROCK MULCH SEE L2 FOR PERCENTAGES**	M	DRIP
	IRRIGATED FESCUE TURFGRASS BLEND***	L	SPRAY
	IRRIGATED BUFFALO GRASS	L	SPRAY
	NON-IRRIGATED SEED MIX	V	NONE
	IRRIGATED MEADOW GRASS SEED	L	SPRAY
	IRRIGATED WILDFLOWER SEED MIX	L	DRIP/SPRAY
	NON-IRRIGATED DRY ZONE AROUND BUILDING	V	NONE

* AS PER THE CASTLE ROCK LANDSCAPE AND IRRIGATION MANUAL
 ** SEE L2 FOR PERCENTAGES OF VEGETATION TYPE AND CANOPY TREES
 *** FESCUE BLEND TO BE 1/3 SHEEP FESCUE 'LASAR' OR 'COVAR', 1/3 BLUE FESCUE SR3200, 1/3 HARD FESCUE 'DURAR OR SR 3100.

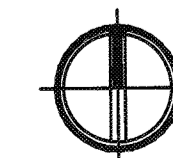
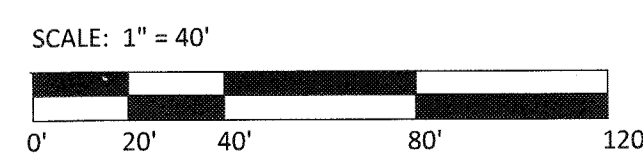


CHRIS BRUECKNER
 STATE OF COLORADO LICENSED
 LANDSCAPE ARCHITECT #1240

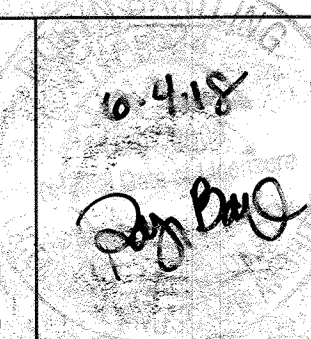
SDP17-0024
 TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
 SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LANDSCAPE CONCEPT

TOWN OF CASTLE ROCK SUBMITTAL #1	7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2	9/1/2017
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PROJECT NUMBER: C03272
 DRAWN BY: SB
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 CIVIL ENGINEER: BASELINE ENGINEERING
 LANDSCAPE ARCHITECT: HORD COPLAN MACHT
 STRUCTURAL ENGINEER: MARTINO & LUTH
 MECH / ELEC ENGINEER: MEP ENGINEERING



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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

Commercial Landscape Site Inventory

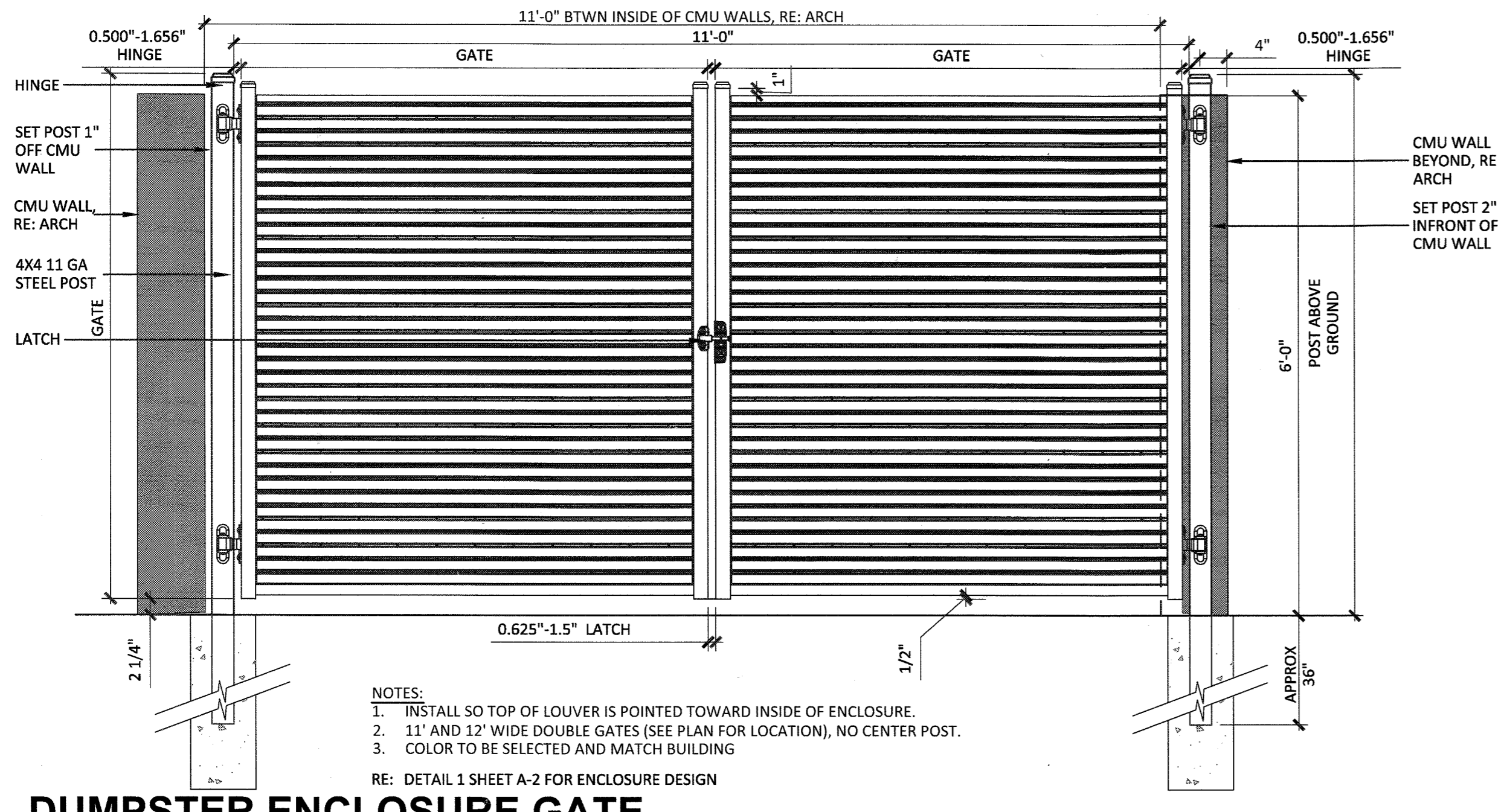
Castle Rock
Town of Castle Rock Registered Professional: Chris Brueckner
Company Name: Hord Coplan Macht
Address: 1331 Nineteenth Street, Denver, CO
Phone: 303.607.0977
Email: cbrueckner@hcm2.com
Date: 01/24/2018
PROJECT NAME: Apex Community School

Gross Site Area	Landscape Area (In Sq.Ft.)	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 sq.ft.)	Separate Irrigation Service Connections
Phase 1: 167,380 sf	Irrigable landscape: 41,194 sf Non-irrigable landscape: 34,943.9 sf Total landscape area: 76,107.9 sf	Wetland Prunery Listed: Buffalo Grass: 4,657 sf Fogus Grass (in ROW only): 9,179 SF Total turfgrasses: 25,507 sf	4,657 sf	33	33	67	88	4 cu yds per 1000 sf	Yes <input type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq.Ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
15,034 sf	1,626 sf	50	N/A	5	8'	4	8	8	10

PLANT LEGEND

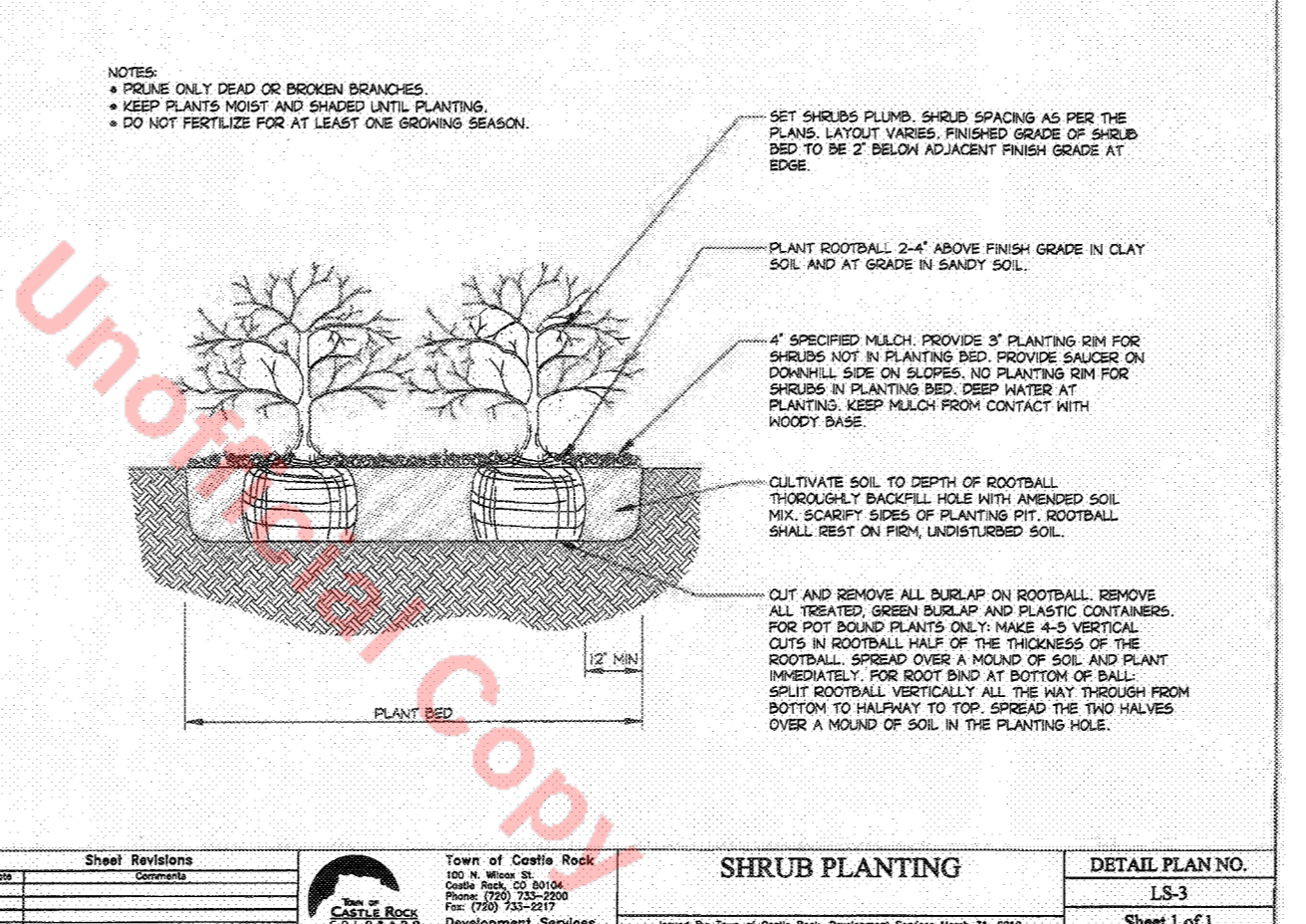
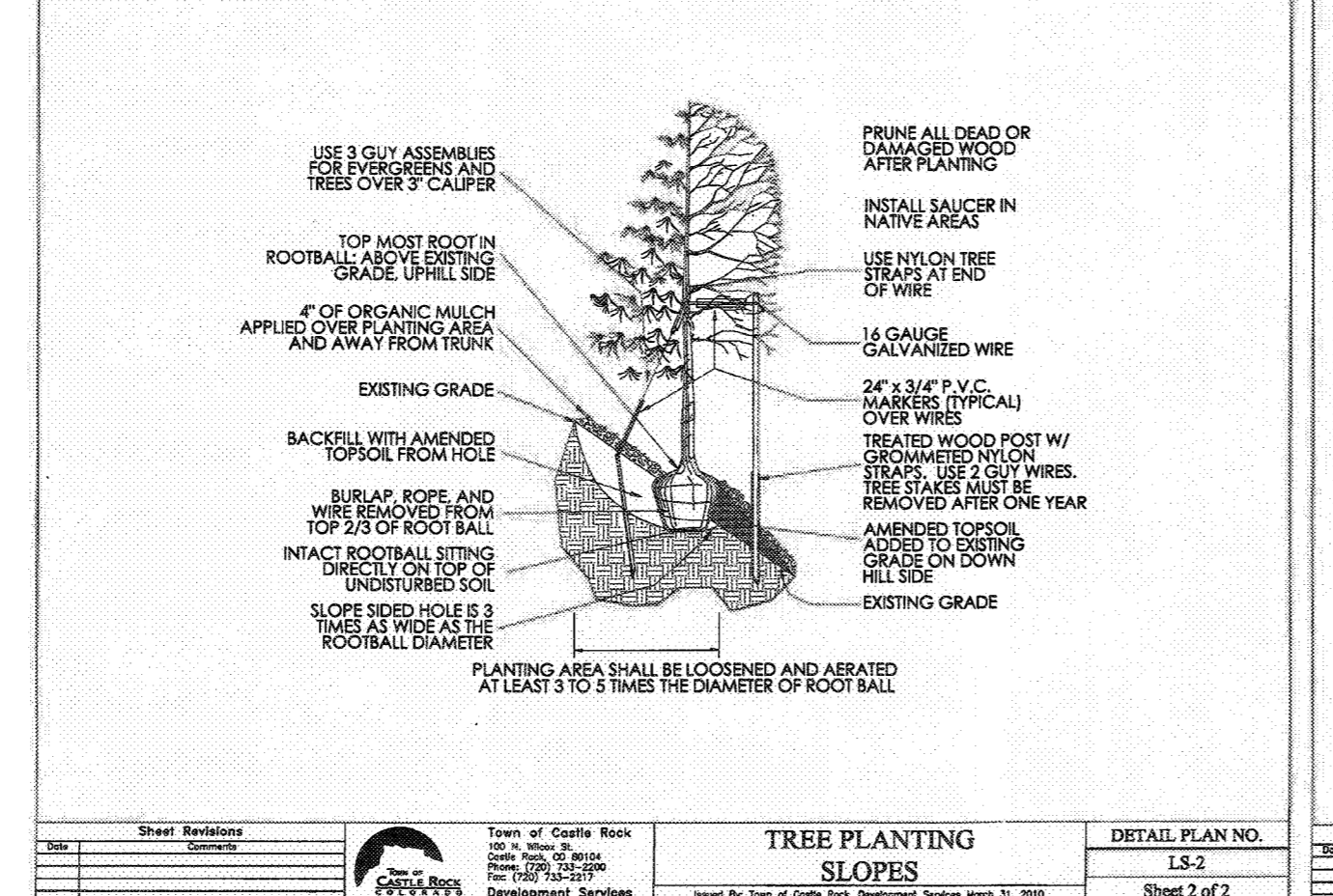
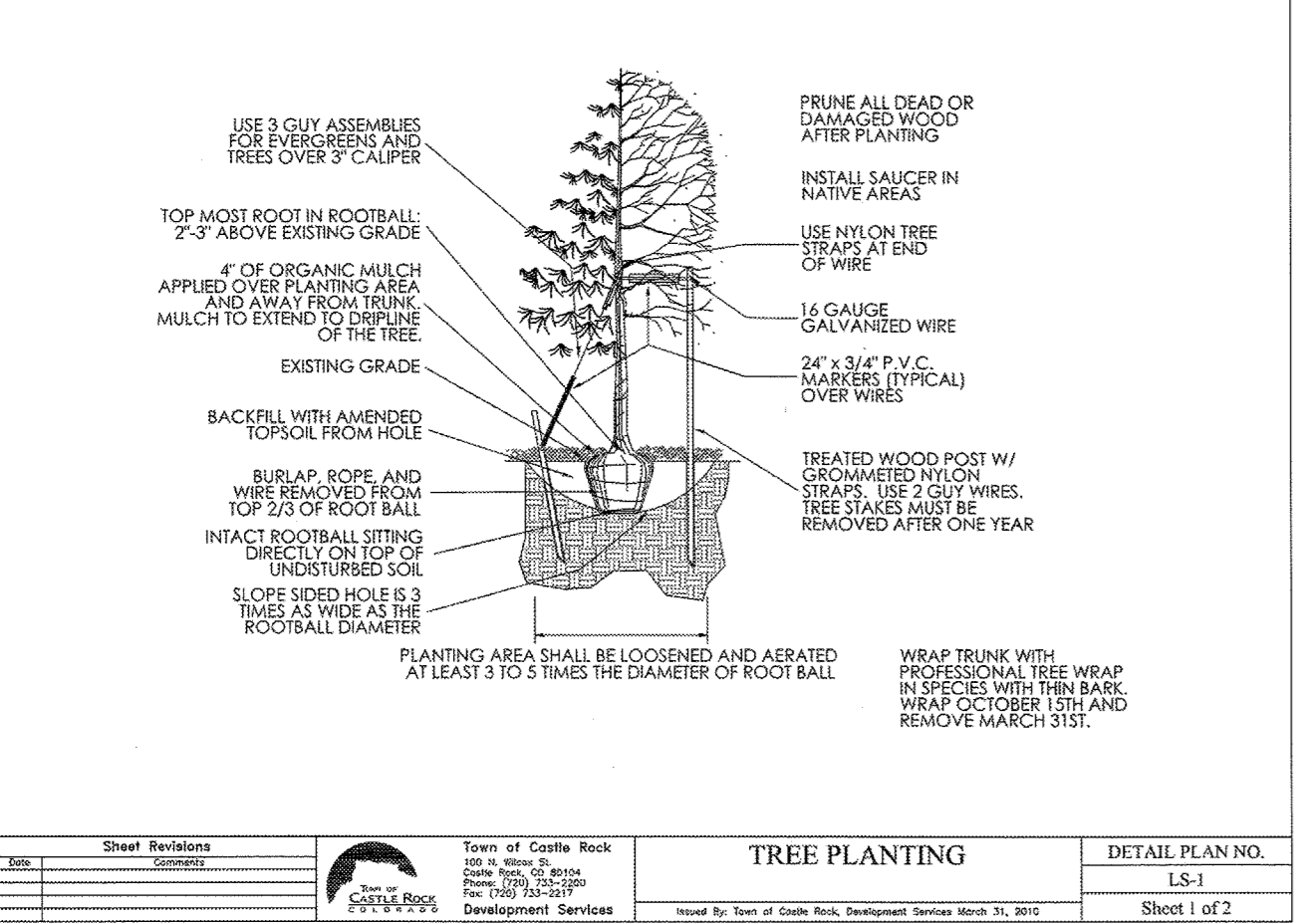
DECIDUOUS TREES					
Abbreviation	Quantity	Botanical/Common	Cont	Size	Hydrozone
ABM*	3	Acer x freemanii 'Jeffred' / Autumn Blaze Maple	B & B	2.5" Cal	3
APA*	2	Acer platanoides 'Crimson King' / Crimson King Maple	B & B	2.5" Cal	3
CSP	1	Catalpa speciosa / Northern Catalpa	B & B	2" Cal	2-3
CC**	23	Celtis occidentalis / Common Hackberry	B & B	2" Cal	2-3
CCA	6	Cercis canadensis / Eastern Redbud Multi-trunk	B & B	2" Cal	3
GTI***	9	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2.5" Cal	2-3
GDE	6	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2" Cal	2
QRU*	26	Quercus rubra / Red Oak	B & B	2.5" Cal	2-3
EVERGREEN TREES					
Abbreviation	Quantity	Botanical/Common	Cont	Size	Hydrozone
PPO	2	Pinus Ponderosa / Ponderosa Pine	B & B	6'-8" HT	1-3
PFL	4	Pinus flexilis / Limber Pine	B & B	6'-8" HT	1-2
DECIDUOUS SHRUBS					
Abbreviation	Quantity	Botanical/Common	Cont	Size	Hydrozone
HDU	20	Holodiscus / Rock Spirea	5 gal		1-2
FNE	2	Forestiera neomexicana / New Mexico Privet	5 gal		1-3
QUN	2	Quercus undulata / Wavyleaf Oak	5 gal		1-2
RAR	19	Rhus aromatica 'Gro Low' / Gro Low Sumac	5 gal		1-2
SPD	4	Syringa x prestoniae 'Donald Wyman' / Donald Wyman Lilac	5 gal		2-3
VLM	14	Viburnum lantana 'Mohican' / Mohican Wayfaring Tree	5 gal		2-3
EVERGREEN SHRUBS					
Abbreviation	Quantity	Botanical/Common	Cont	Size	Hydrozone
JSG	6	Juniperus scopulorum 'Gray Gleam' / Gray Gleam Juniper	5 gal		1-2
PMB	3	Pinus mugo 'Big Tuna' / Mountain Pine	5 gal		2

*WITHIN RIGHT OF WAY
**16 OUT OF 23 WITHIN RIGHT OF WAY
***6 OF 9 WITHIN THE ROW
PERCENTAGE OF TREES WITHIN THE PROPERTY LIMITS THAT ARE CANOPY TREES: 58%



1 DUMPSTER ENCLOSURE GATE

3/4"=1'-0"



2 TOWN OF CASTLE ROCK PLANTING DETAILS

N.T.S.
CASTLE ROCK STANDARD NOTES

- INSTALLING CONTRACTOR SHALL CONTACT CASTLE ROCK WATER AT 720-733-6017 TO SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE BEGINNING THE INSTALLATION OF THE LANDSCAPING
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SOIL INSPECTION IS REQUIRED BEFORE PLANT INSTALLATION AND SCHEDULING SOIL INSPECTION SHOULD BE DISCUSSED AT THE LANDSCAPE PRECONSTRUCTION MEETING.
- INSTALLING CONTRACTOR IS TO PROVIDE SUBMITTAL FROM SUPPLIERS FOR SOD AND NATIVE SEED MIX AT TIME OF LANDSCAPE INSPECTION.
- SOIL AMENDMENT SHALL BE A MINIMUM FOR FOUR (4) CUBIC YARDS OF ORGANIC MATTER PER ONE-THOUSAND SQUARE FEET. THIS SOIL AMENDMENT SHALL BE ROTOTILLED TO A DEPTH OF SIX (6) INCHES. CLASS I OR CLASS II COMPOST IS REQUIRED.
- TREES, LARGE SHRUBS, AND PERMANENT OBJECTS ARE NOT PERMITTED IN WATER, SANITARY AND STORM SEWER UTILITY EASEMENTS.
- ALL LANDSCAPE IS TO BE INSTALLED PER TOWN OF CASTLE ROCK PLANTING DETAILS.
- PLANT SPECIES AND LOCATION SHOULD FOLLOW THE APPROVED PLAN, IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWN OF CASTLE ROCK AND THE OWNER'S REPRESENTATIVE.
- TREES ARE TO BE LOCATED OUT OF WET UTILITY EASEMENTS OR AT LEAST 10' OF ALL WET UTILITY LINES SUCH AS STORM WATER, SANITARY, AND WATER.
- TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR REPLACING LANDSCAPE OR IRRIGATION REMOVED IN UTILITY EASEMENTS DUE TO UTILITY LINE MAINTENANCE OR REPAIR (PWR 14.3.13)
- CONSTRUCTION PERMIT AND TOWN APPROVED LANDSCAPE PLANS ARE REQUIRED ON SITE DURING INSTALLATION OF THE LANDSCAPE AND IRRIGATION.
- TOWN INSPECTORS WILL NOT APPROVE LANDSCAPE AND OVERHEAD IRRIGATION ON SLOPES STEEPER THAN 3:1
- OVERHEAD IRRIGATION IS NOT PERMITTED ON SLOPES EQUAL TO 3:1 OR IN AREAS LESS THAN 10' IN WIDTH.

PHASE 1 LANDSCAPE CALCULATIONS***

AREA	TOTAL AREA (SF)	REQUIRED AREA (10%)	PROPOSED AREA	REQUIRED TREES*	PROPOSED TREES	REQUIRED SHRUBS**	PROPOSED SHRUBS
PHASE 1	167,380 SF	16,738 SF	76,107.9 SF	33	33	67	88
PARKING LOT	15,034 SF	1,503 SF	1,626 SF	4	8	8	10

*REQUIRED TREES = 2 TREES PER 1,000 SF OF REQUIRED AREA
**REQUIRED SHRUBS = 4 SHRUBS PER 1,000 SF OF REQUIRED AREA
***AS PER THE CASTLE ROCK LANDSCAPE AND IRRIGATION MANUAL
PHASE 2 TO BE DESIGNED AND SUBMITTED THROUGH SEPARATE SUBMITTAL.

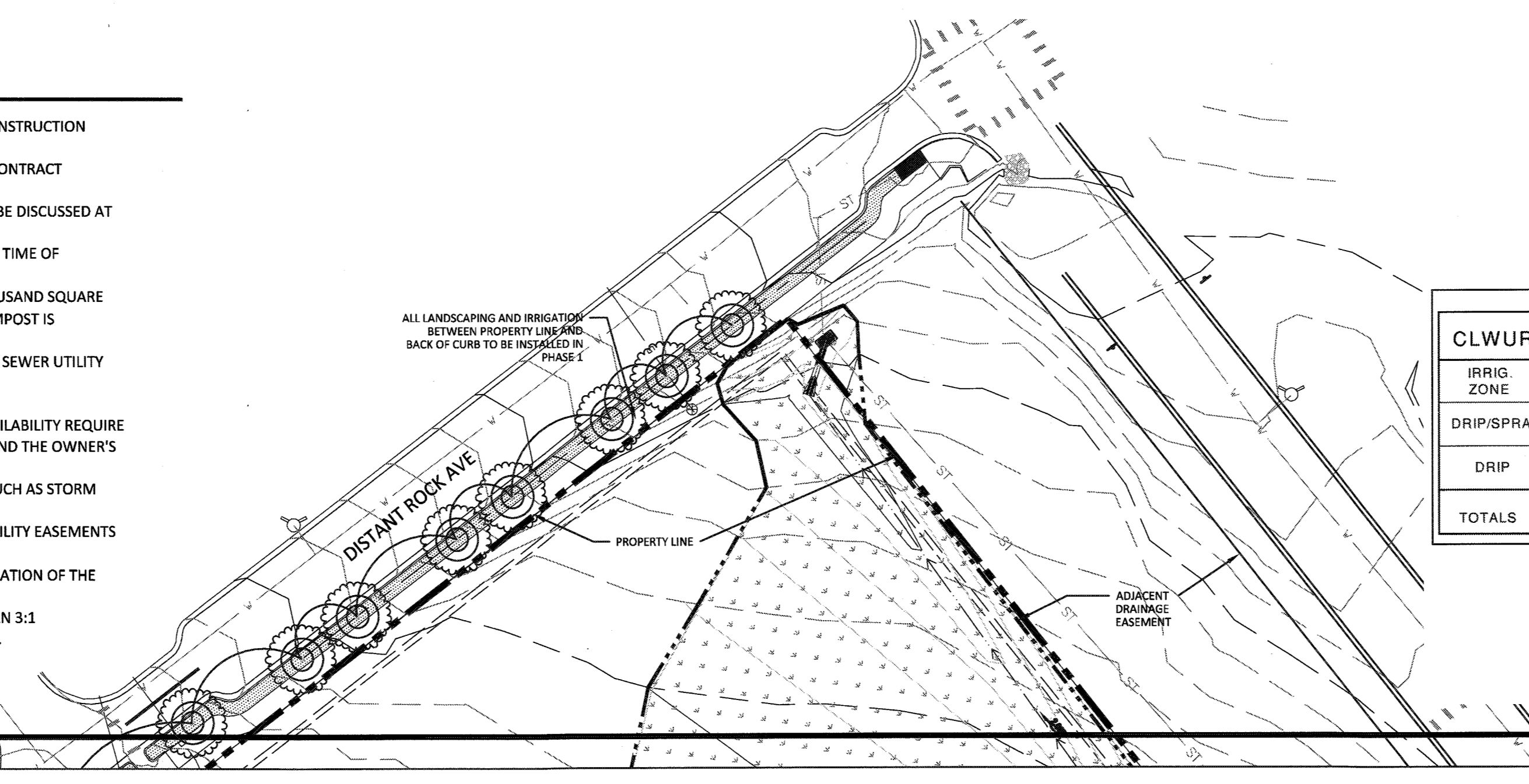
PHASE 1 STREETSCAPE CALCULATIONS

STREET	LINEAR FEET	PROPOSED AREA (TREE LAWN)	REQUIRED TREES (1 PER 40')*	PROPOSED TREES	REQUIRED SHRUBS*	PROPOSED SHRUBS
CELESTIAL AVE	697 LF	3,400.8 SF	17	17	0	0
LOW MEADOW BLVD	642 LF	3,093.6 SF	16	16	0	0
DISTANT ROCK AVE	612 LF	3,306.6 SF	16	16	0	0

*REQUIRED STREET TREE AND SHRUB NUMBERS ARE BASED OFF OF APPROVED MEADOWS FILING 20

CLWUR CHART

IRRIG ZONE	PLANT NAME	APP. RATE	ZONE	% OF TOTAL AREA	IA	LWUR	TOTAL AREA	CLWUR
DRIP/SPRAY	TREES/SHRUBS & IRRIGATED SEED/WILDFLOWERS	5 - 10	LOW	78	31,985	1.5 - 3.0	41,164	1.17
DRIP	SOD	10 - 15	MODERATE	22	9,179	3.0 - 4.5	41,164	0.67
TOTALS				100	41,164			1.84



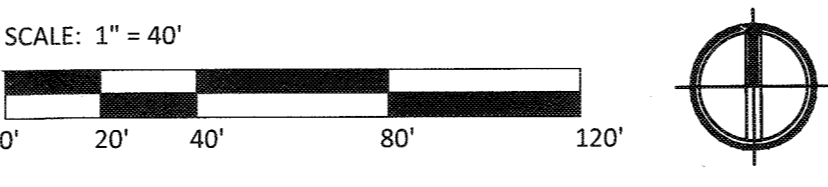
SEE SHEET L1

SEE SHEET L1

9 OF 13

LANDSCAPE CONCEPT

TOWN OF CASTLE ROCK SUBMITTAL #	DATE
TOWN OF CASTLE ROCK SUBMITTAL #1	7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2	9/1/2017
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PROJECT NUMBER: CO3272
DRAWN BY: SB
CHECKED BY: CB
CIVIL ENGINEER: BASELINE ENGINEERING
LANDSCAPE ARCHITECT: HORD COPLAN MACHT
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Hord Coplan Macht

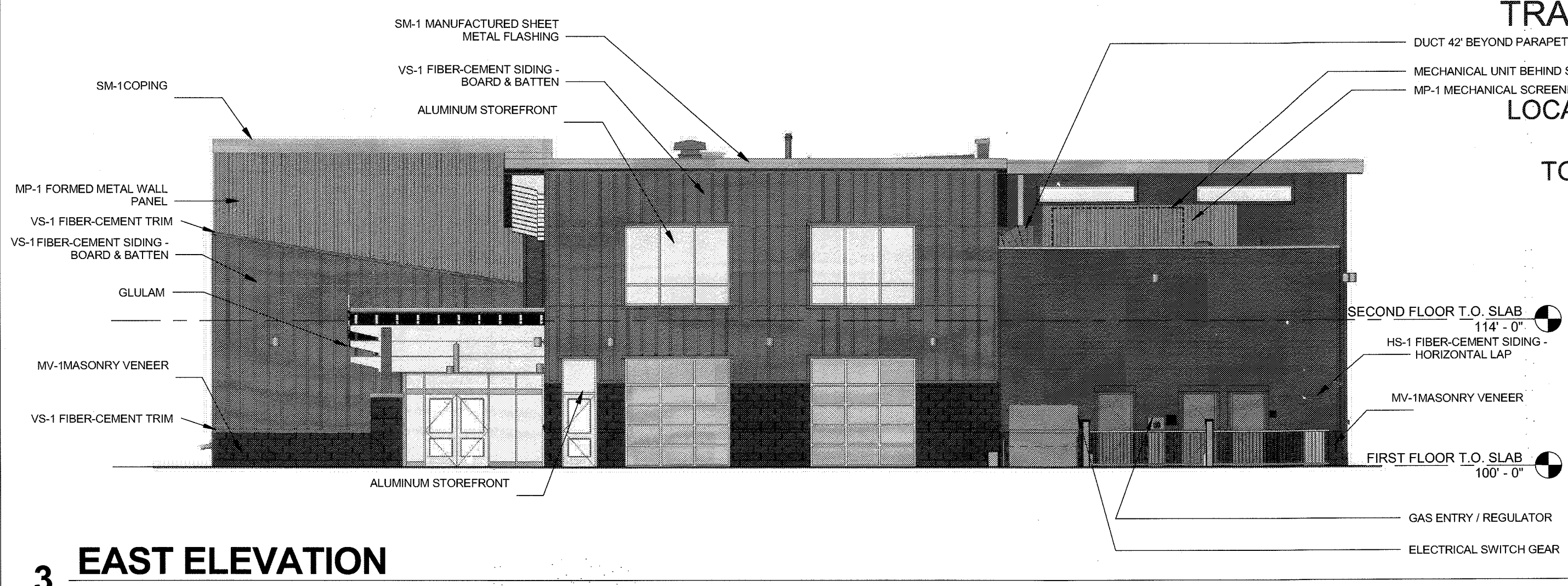
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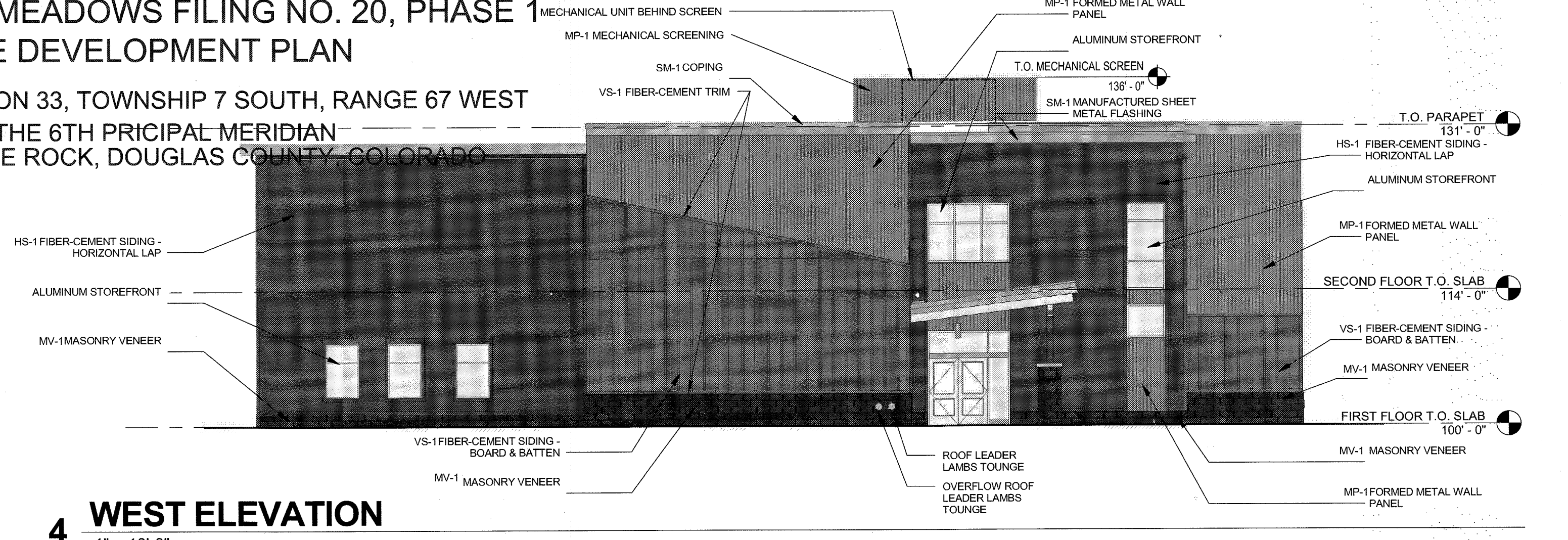
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STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #1240
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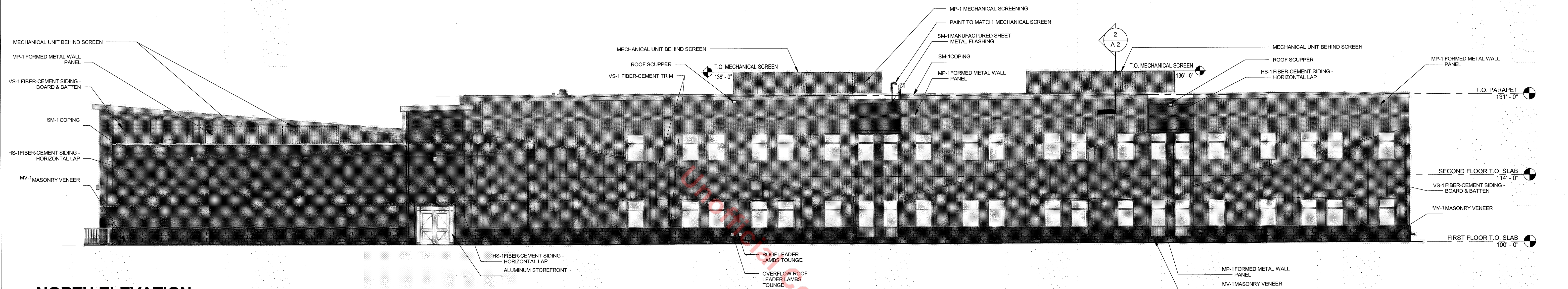
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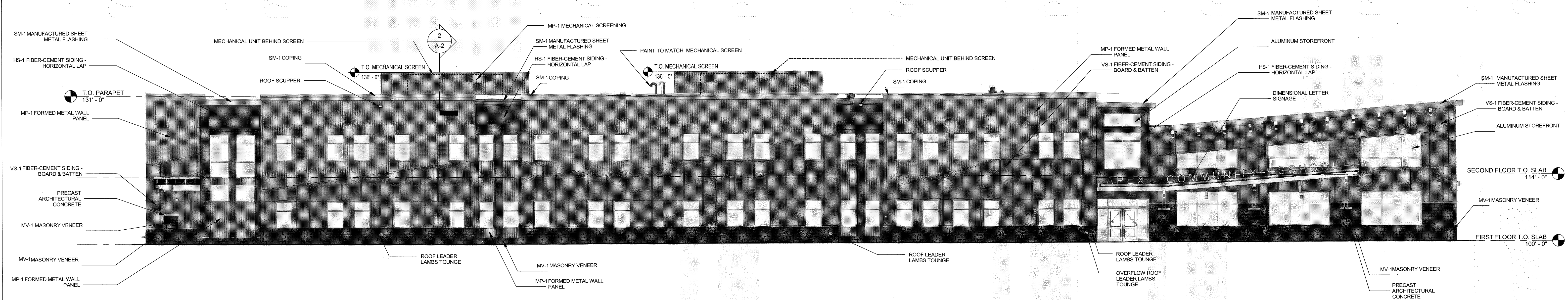
3 EAST ELEVATION
1" = 10'-0"



4 WEST ELEVATION
1" = 10'-0"



2 NORTH ELEVATION
1" = 10'-0"



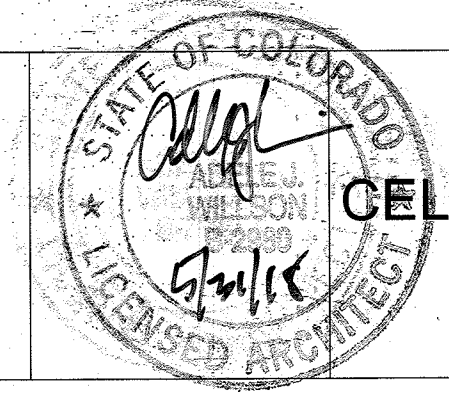
1 SOUTH ELEVATION
1" = 10'-0"

SDP17-0024
TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

ARCHITECTURAL ELEVATIONS

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TOWN OF CASTLE ROCK SUBMITTAL #2	9/12/2017
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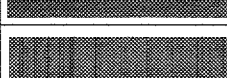


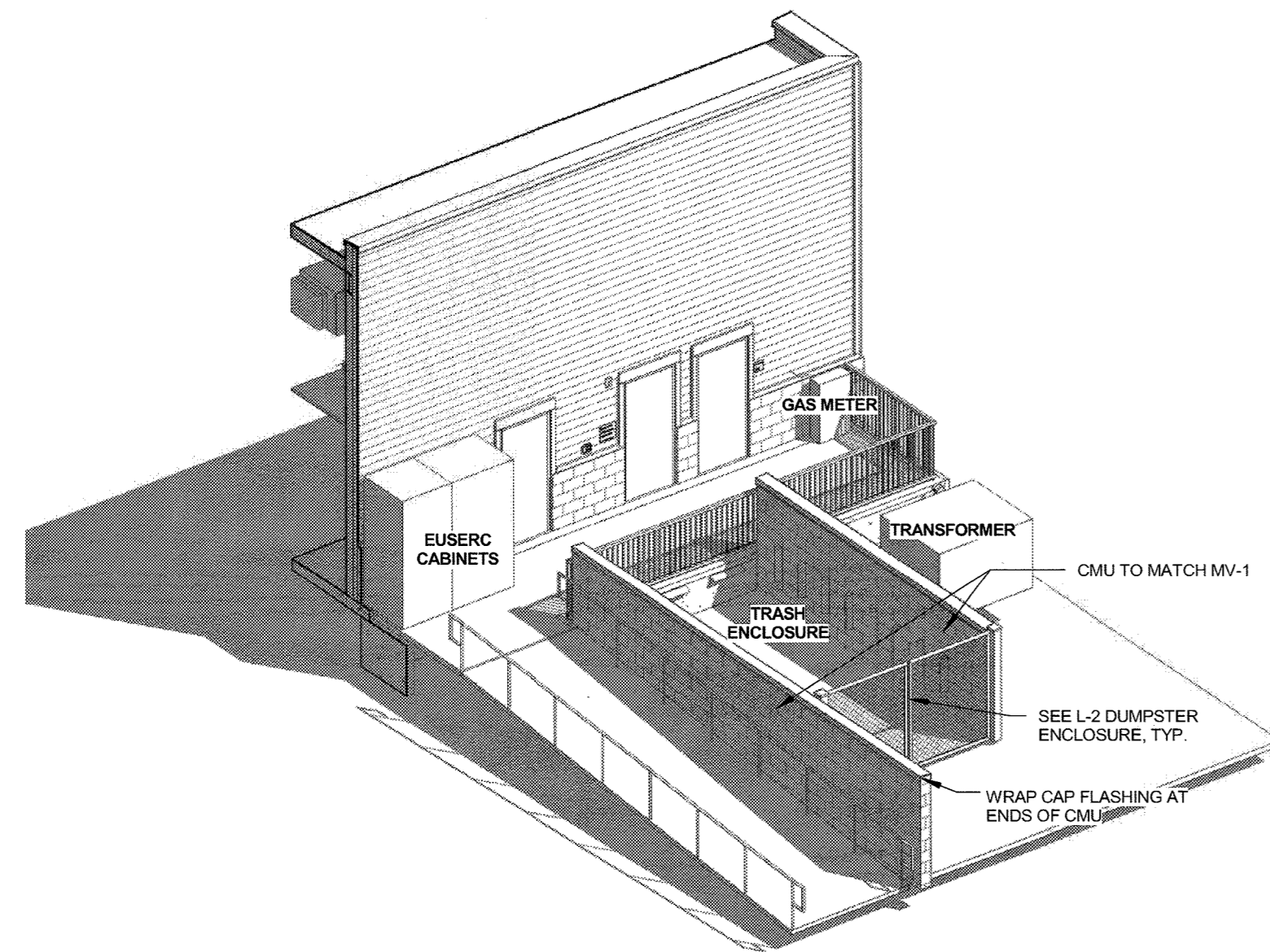
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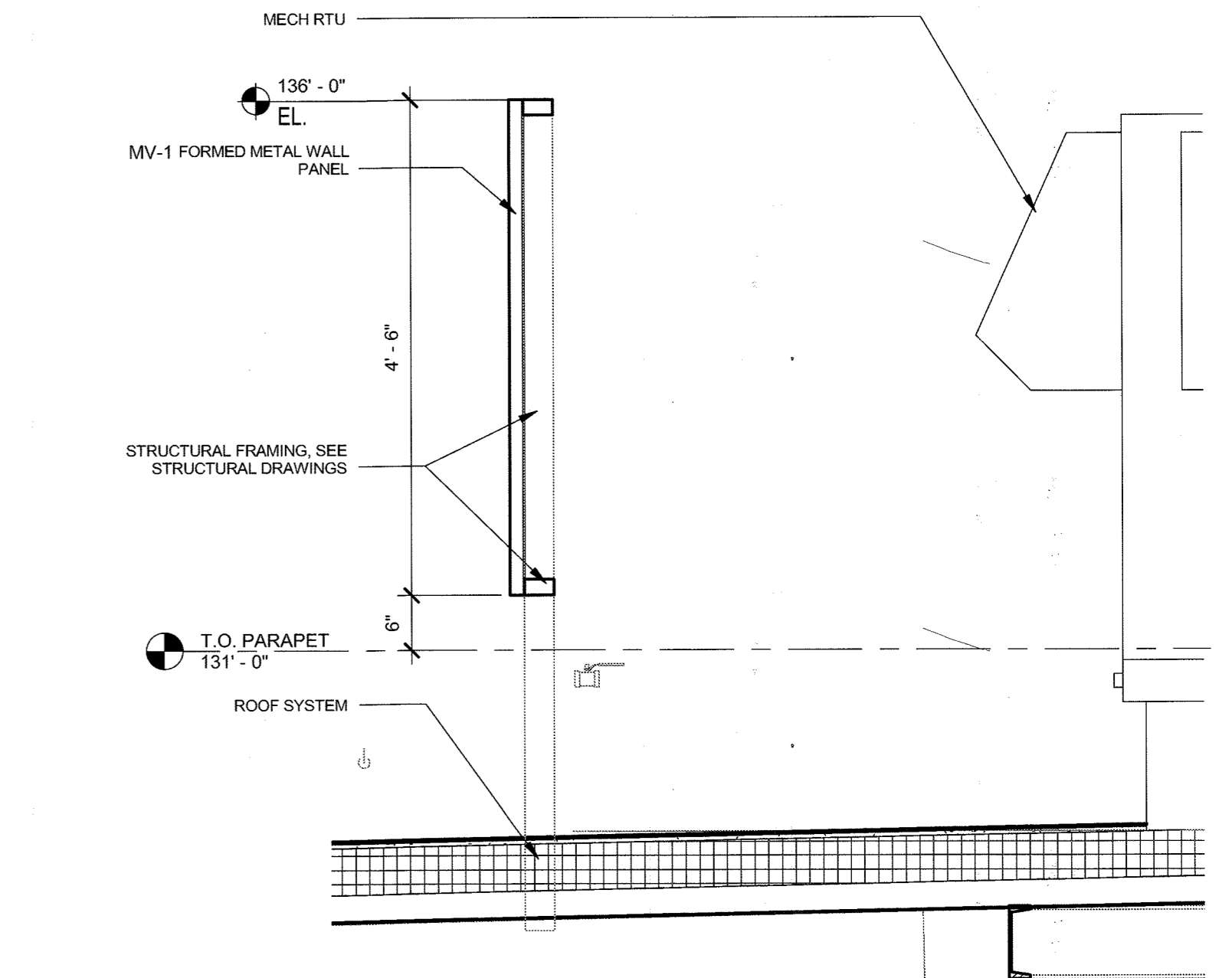
TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
 SITE DEVELOPMENT PLAN
 LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE 6TH PRICIPAL MERIDIAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

MATERIAL LEDGEND:

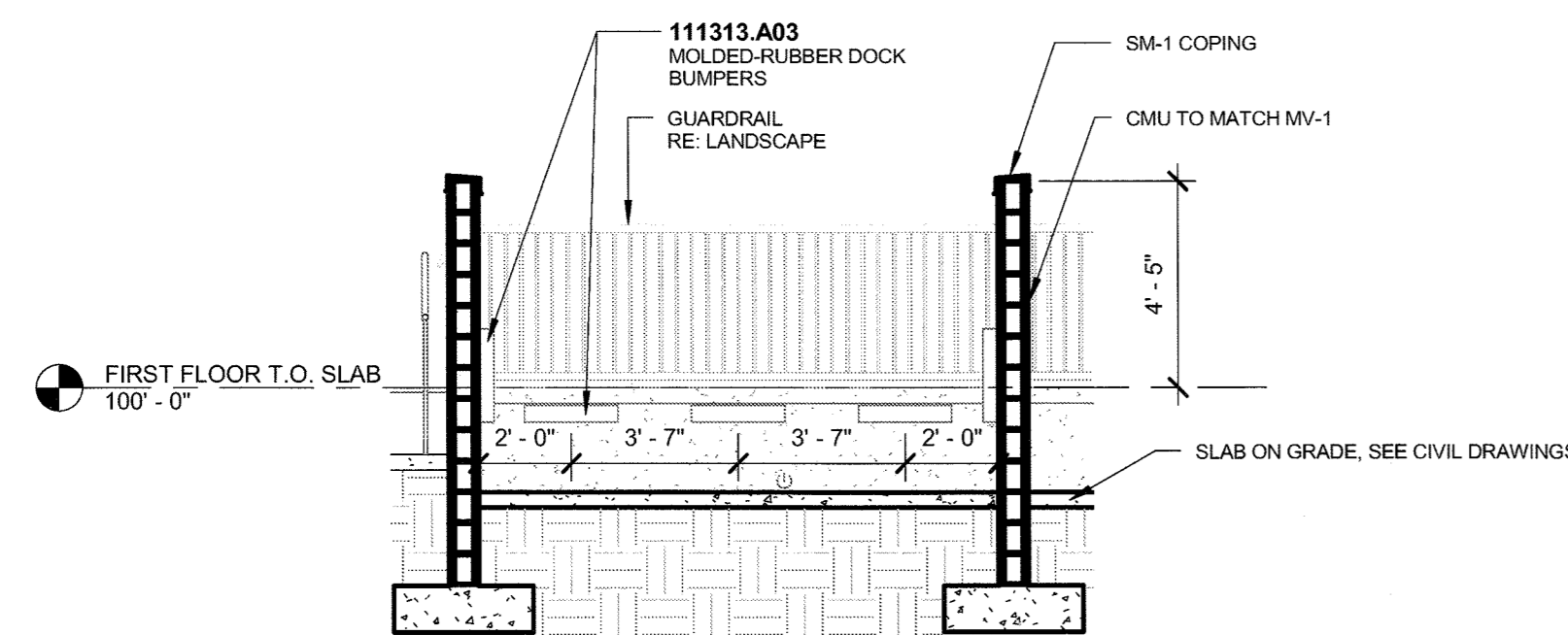
	MV - 1	MASONRY VENEER CMU "CHARCOAL FIRE " - BLASTED FINISH
	MP - 1	METAL PANEL "BERRIDGE HR-16" - ZINC COTE FINISH
	HS - 1	HORIZONTAL LAP SIDING "HARDIEPLANK LAP SIDING HL5"
	VS - 1	VERTICAL BOARD AND BATTEN SIDING "HARDIEPANEL VERTICAL SIDING HL5"
	SM - 1	SHEET METAL COPING/FLASHING - ZINC COTE FINISH



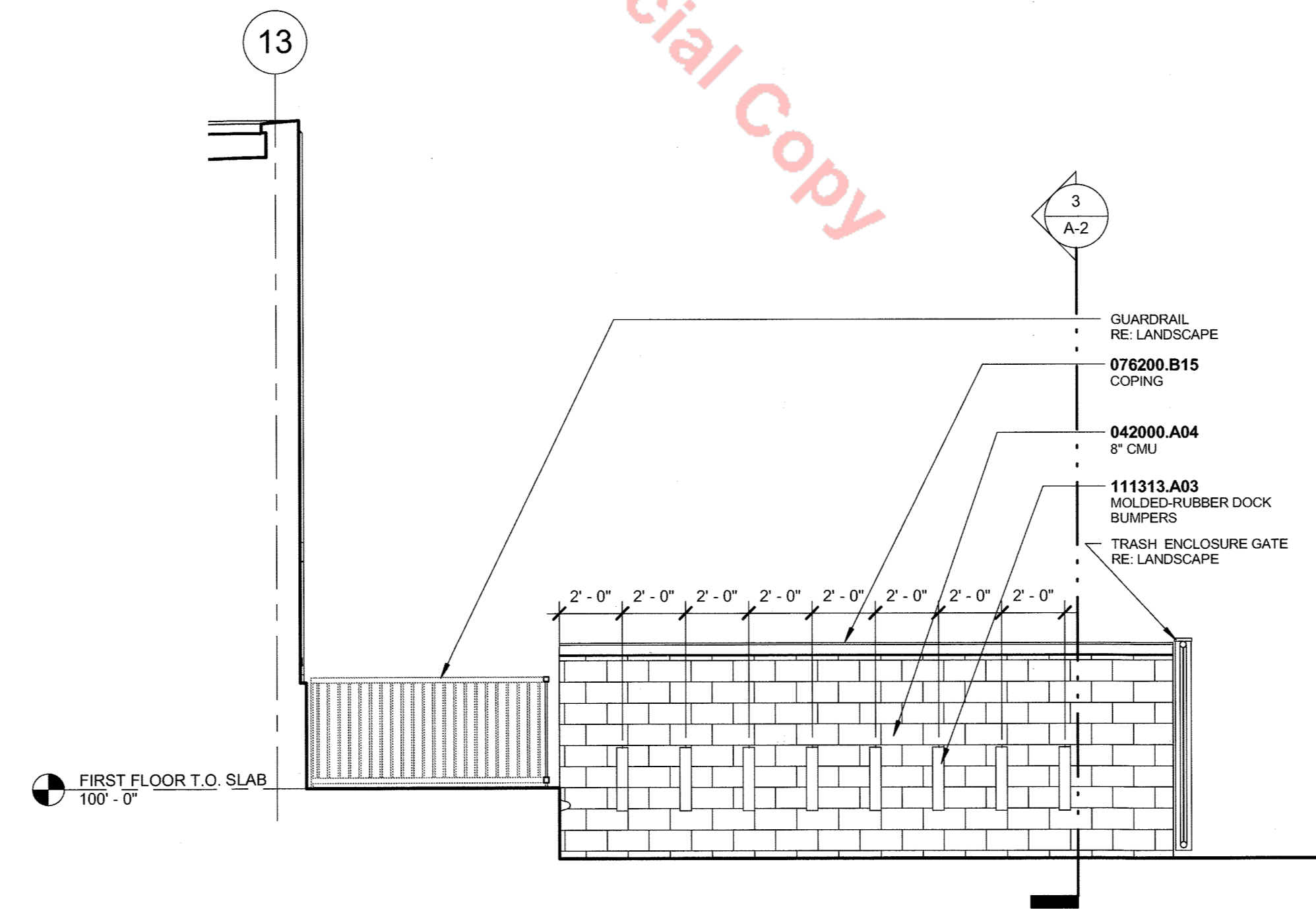
1 TRASH ENCLOSURE AXON



2 WALL SECTION @ ROOF SCREEN
 3/4" = 1'-0"



3 SECTION @ TRASH ENCLOSURE SDP
 1/4" = 1'-0"



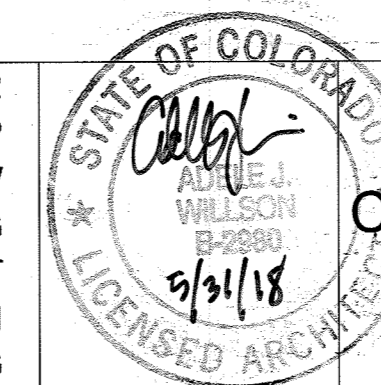
4 TRASH ENCLOSURE NORTH ELEVATION SDP
 1/4" = 1'-0"

Unofficial Copy

ARCHITECTURAL ELEVATIONS

TOWN OF CASTLE ROCK SUBMITTAL #1	7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2	9/1/2017
TOWN OF CASTLE ROCK SUBMITTAL #3	10/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #4	12/01/2017
TOWN OF CASTLE ROCK SUBMITTAL #5	12/21/2017
TOWN OF CASTLE ROCK SUBMITTAL #6	1/15/2018
TOWN OF CASTLE ROCK SUBMITTAL #7	1/24/2018

PROJECT NUMBER: CO3272
 DRAWN BY: JTP
 CHECKED BY: MJW
 CIVIL ENGINEER: BASELINE ENGINEERING
 LANDSCAPE ARCHITECT: HORD COPLAN MACHT
 STRUCTURAL ENGINEER: MARTINO & LUTH
 MECH / ELEC ENGINEER: MEP ENGINEERING



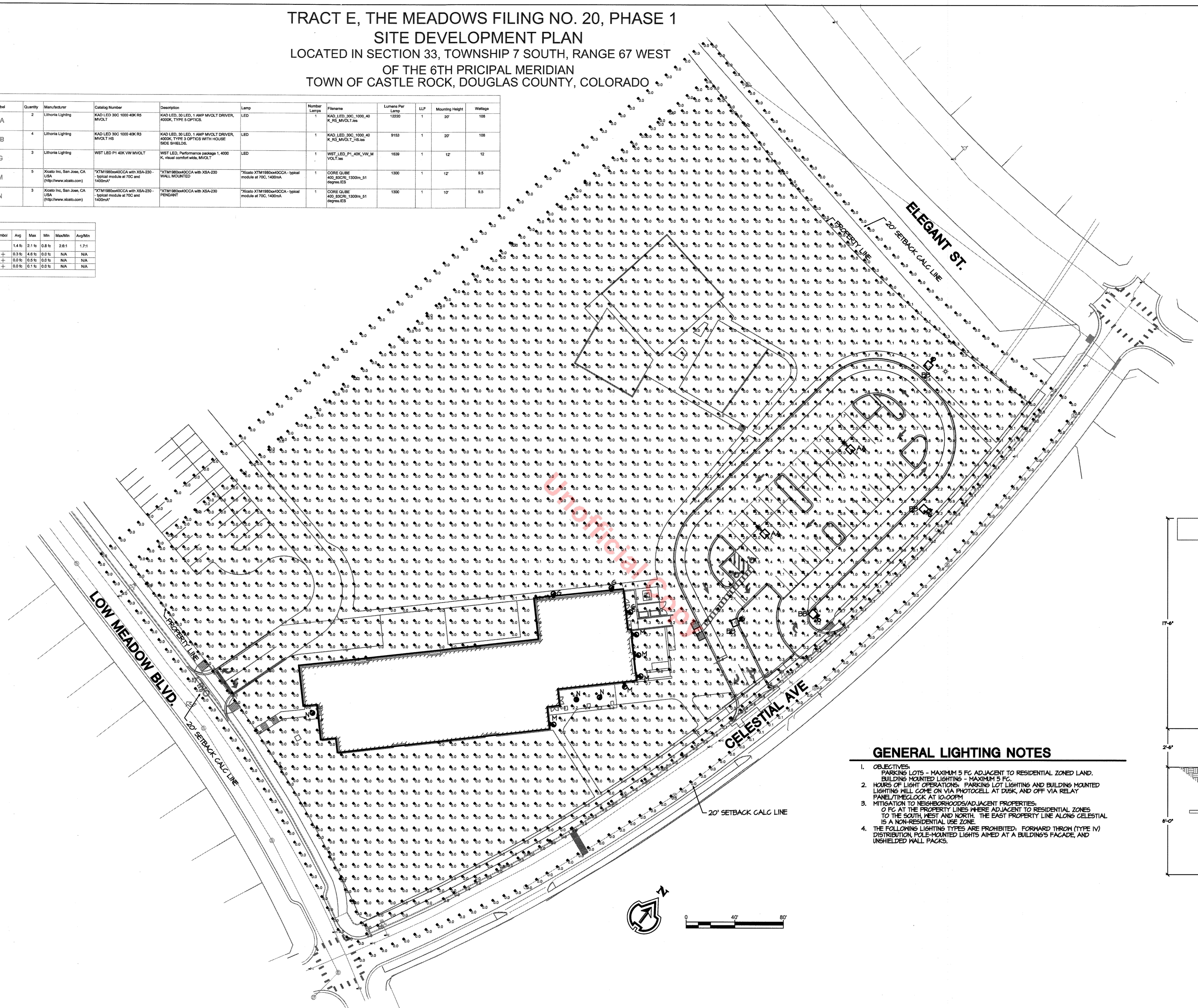
APEX COMMUNITY SCHOOL
 CELESTIAL AVE & LOW MEADOW BLVD
 CASTLE ROCK, CO 80109

BASELINE
 Engineering - Planning - Surveying
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TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
 SITE DEVELOPMENT PLAN
 LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE 6TH PRICIPAL MERIDIAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

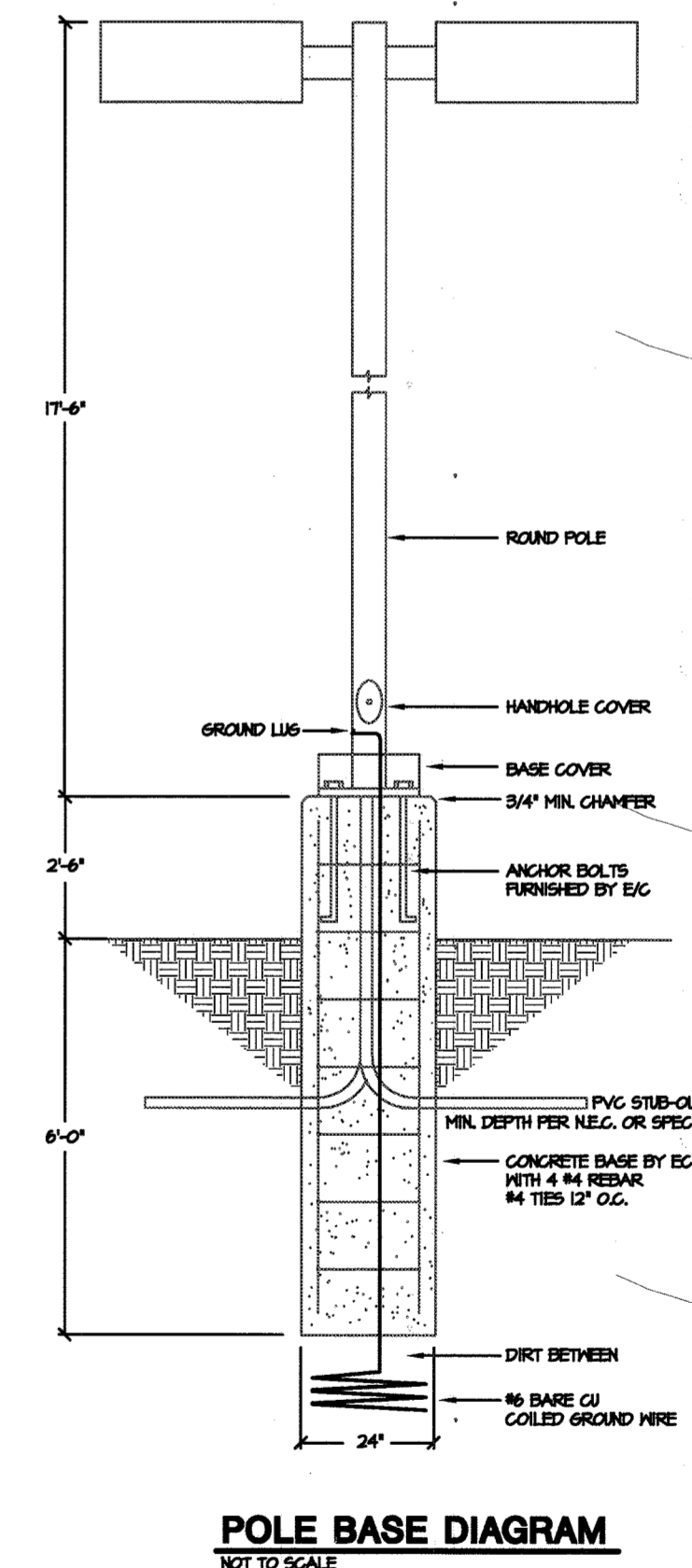
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	LLF	Mounting Height	Wattage
AA	Upright Lighting	2	KAD LED	KAD LED 300 1000 40K R8 MVDLT	KAD LED 30 LED 1 AMP MVDLT DRIVER 4000K, TYPE 5 OPTICS	LED	1	12200	1	27'	108
BB	Upright Lighting	4	KAD LED	KAD LED 300 1000 40K R8 MVDLT HD	KAD LED 30 LED 1 AMP MVDLT DRIVER 4000K, TYPE 5 OPTICS WITH HOUSE ROCK SHIELD	LED	1	9150	1	20'	108
G	Upright Lighting	3	WEST LED	WEST LED P1 40K 1W MVDLT	WEST LED Performance package 1, 4000 K, natural comfort wide, MVDLT	LED	1	1699	1	12'	12
M	Core Quire	3	Xalato Inc.	Xalato Inc. 400 40K USA (http://www.xalato.com)	Xalato 400mWCCA with XSA-230-typical module at TOC and 1400mA	CORE QUIRE	1	1300	1	12'	9.5
N	Core Quire	3	Xalato Inc.	Xalato Inc. 400 40K USA (http://www.xalato.com)	Xalato 400mWCCA with XSA-230-PENDANT	CORE QUIRE	1	1300	1	10'	9.5

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Combined Parking		1.4%	2.1%	0.8%	2.8%	1.2%
Classed Site		0.3%	4.6%	0.0%	N/A	N/A
Property Line		0.0%	0.0%	0.0%	N/A	N/A
20 Ft Setback Calc		0.0%	0.1%	0.0%	N/A	N/A



GENERAL LIGHTING NOTES

- OBJECTIVES:
 PARKING LOTS - MAXIMUM 5 FC ADJACENT TO RESIDENTIAL ZONED LAND.
 BUILDING MOUNTED LIGHTING - MAXIMUM 5 FC.
 HOURS OF LIGHT OPERATIONS: PARKING LOT LIGHTING AND BUILDING MOUNTED LIGHTING WILL COME ON VIA PHOTOCELL AT DUSK, AND OFF VIA RELAY PANEL/TIMELOCK AT 10:00PM.
- MITIGATION TO NEIGHBORHOODS/ADJACENT PROPERTIES:
 0 FC AT THE PROPERTY LINES WHERE ADJACENT TO RESIDENTIAL ZONES TO THE SOUTH, WEST AND NORTH. THE EAST PROPERTY LINE ALONG CELESTIAL IS A NON-RESIDENTIAL USE ZONE.
- THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.



SDP 17-0024

TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
 SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

PHOTOMETRIC SITE PLAN

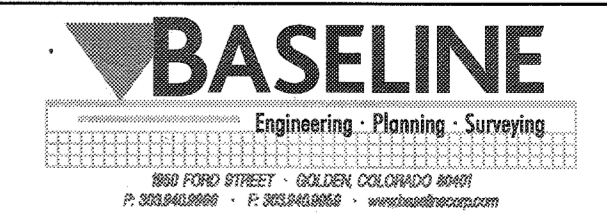
12 OF 13

TOWN OF CASTLE ROCK SUBMITTAL #1 7/10/2017
 TOWN OF CASTLE ROCK SUBMITTAL #2 9/12/2017
 TOWN OF CASTLE ROCK SUBMITTAL #3 10/10/2017
 TOWN OF CASTLE ROCK SUBMITTAL #4 12/01/2017
 TOWN OF CASTLE ROCK SUBMITTAL #5 12/21/2017
 TOWN OF CASTLE ROCK SUBMITTAL #6 1/15/2018
 TOWN OF CASTLE ROCK SUBMITTAL #7 1/24/2018



PROJECT NUMBER: 17115
 DRAWN BY: PTB
 CHECKED BY: DGM
 CIVIL ENGINEER: BASELINE ENGINEERING
 LANDSCAPE ARCHITECT: HORD COPLAN MACHT
 STRUCTURAL ENGINEER: MARTINO & LUTH
 MECH / ELEC ENGINEER: MEP ENGINEERING

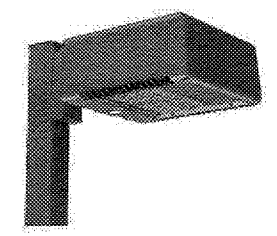
APEX COMMUNITY SCHOOL
 CELESTIAL AVE & LOW MEADOW BLVD
 CASTLE ROCK, CO 80109



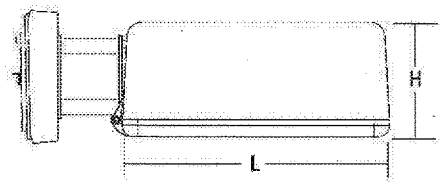
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TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
SITE DEVELOPMENT PLAN
LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

KAD LED LED Area Luminaire



Specifications
EPA: 1.2 ft² (0.11 m²)
Length: 17-1/2" (445.0 mm)
Width: 17-1/2" (445.0 mm)
Height: 7-1/8" (181.0 mm)
Weight (max): 36 lbs (16.3 kg)



Ordering Information
EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT SPD04 DDBXD

Order	LED	Input Current	CC	Number of LEDs	Voltage	Beam Angle	Mounting	Shipped Included	Shipped Separately
KAD10	20C	20 LEDs	500	500 mA	120V	34°	120°	347	SPRMAX... Square pole external mounting adapter 1" dia
KAD20	30 LEDs	300	700 mA	300	120V	34°	120°	347	SPRMAX... Round pole external mounting adapter 1" dia
KAD30	40 LEDs	1000	1000 mA	400	120V	34°	120°	347	SPRMAX... Round pole external mounting adapter 1" dia
KAD40	40 LEDs	1000	1000 mA	400	120V	34°	120°	347	SPRMAX... Round pole external mounting adapter 1" dia

Shipping Information
Shipped Included: SPRMAX... Square pole external mounting adapter 1" dia, SPRMAX... Round pole external mounting adapter 1" dia, SPR... Square pole, SPR... Round pole, WPD... Wood pole wall.

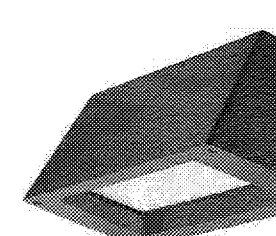
Shipping Separately
DDBXD Dark bronze, DDBXD Textured dark bronze, DDBXD White, DDBXD Textured white, DDBXD White, DDBXD Textured white.

Accessories
DDBXD Dark bronze, DDBXD Textured dark bronze, DDBXD White, DDBXD Textured white.

Notes
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: Link to DTL QLL.

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WST LED Architectural Wall Sconce



Specifications
Height: 8-1/2" (215.9 mm)
Width: 17" (430.0 mm)
Depth: 10.3/16" (257.0 mm)
Weight: 20 lbs (9.1 kg)

Optional Back Box (BBW)
Height: 4" (102.2 mm)
Width: 5-1/2" (140.0 mm)
Depth: 1-1/2" (38.1 mm)

Introduction
The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-polluted light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

Ordering Information
EXAMPLE: WST LED P1 40K VF MVOLT DDBXD

Order	LED	Input Current	CC	Number of LEDs	Voltage	Beam Angle	Mounting	Shipped Included	Shipped Separately
WST10	P1	100 lumens package	27K	2700K	120V	27°	27°	347	SPRMAX... Square pole external mounting adapter 1" dia
WST20	P1	200 lumens package	54K	5400K	120V	27°	27°	347	SPRMAX... Square pole external mounting adapter 1" dia
WST30	P1	300 lumens package	81K	8100K	120V	27°	27°	347	SPRMAX... Square pole external mounting adapter 1" dia
WST40	P1	400 lumens package	108K	10800K	120V	27°	27°	347	SPRMAX... Square pole external mounting adapter 1" dia

Shipping Information
Shipped Included: SPRMAX... Square pole external mounting adapter 1" dia, SPRMAX... Round pole external mounting adapter 1" dia, SPR... Square pole, SPR... Round pole, WPD... Wood pole wall.

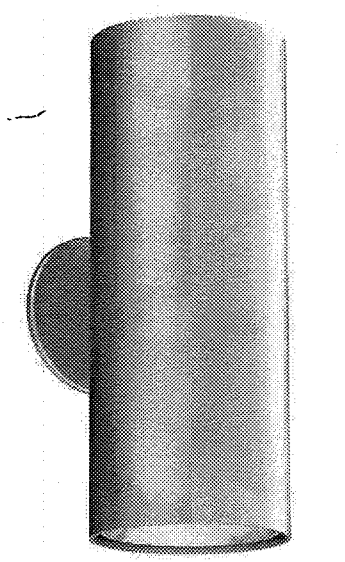
Shipping Separately
DDBXD Dark bronze, DDBXD Textured dark bronze, DDBXD White, DDBXD Textured white, DDBXD White, DDBXD Textured white.

Accessories
DDBXD Dark bronze, DDBXD Textured dark bronze, DDBXD White, DDBXD Textured white.

Notes
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: Link to DTL QLL.

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v2 Lighting Group CORE 400 LX sconce



PROJECT
Job: _____
Type: M
Part #: _____

Specifications
Source: Xicato XTM LED module - up to 5000 lumens
C.C.T.: 2700K, 3000K, 3500K or 4000K
Color Consistency: 1x2 SDCM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001
CRI (Ra): 83 or 98
Driver / Location: Included / Internal with remote or deep canopy options
Dimming: 0-10V or phase dimming to 10% standard, DALI, DMX and 1% dimming available
Input Voltage: 100 to 277VAC, phase dimmable versions are 120VAC only
Power: Up to 57 watts max, depending on LED module / driver
Reflector: 11°, 25°, 41°, 51°, or 85° - field replaceable without tools
Material: CNC machined aluminum with stainless steel hardware
Finish: Powder coat - TGIC polyester for exterior and interior use
Weight: 8.5 lb. [3.9 kg]
Location: Listed for Wet & Damp locations
Approvals: ETL Listed to UL 1598, 2108, 8750 and CSA C22.2 # 9 & #250.0
L80 Life: > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08
Warranty: Lifetime Limited Warranty - see warranty for details
IES Files: LM-79-08 IES files available at www.v2lighting.com/downloads
Modifications: Any modification or customization is possible - consult factory

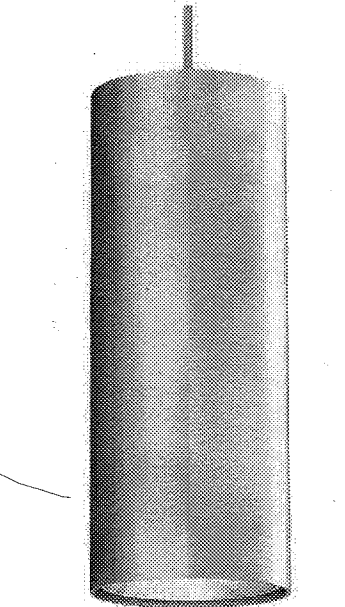
ORDERING LOGIC

Model	Location	Dimming	Location	Output	CRI	C.C.T.	Reflector	Shell Color	Options
CL40	N	N	W	20	83	40	51°	XX	D
CL40	N	N	W	20	83	40	51°	XX	D

Example Part Number: CL40-83-40-51-XX-D
CORE 400 LX Sconce - Internal Driver, No Dimming, Deep Location - 2000 lm, 83 CRI, 2700K, 40° Reflector - 83 Red Shell, Black Cap

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v2 Lighting Group CORE 400 LX pendant



PROJECT
Job: _____
Type: N
Part #: _____

Specifications
Source: Xicato XTM LED module - up to 5000 lumens
C.C.T.: 2700K, 3000K, 3500K or 4000K
Color Consistency: 1x2 SDCM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001
CRI (Ra): 83 or 98
Driver / Location: Included / Internal with remote or deep canopy options
Dimming: 0-10V or phase dimming to 10% standard, DALI, DMX and 1% dimming available
Input Voltage: 100 to 277VAC, phase dimmable versions are 120VAC only
Power: Up to 57 watts max, depending on LED module / driver
Reflector: 11°, 25°, 41°, 51°, or 85° - field replaceable without tools
Material: CNC machined aluminum with stainless steel hardware
Finish: Powder coat - TGIC polyester for exterior and interior use
Weight: 8 lb. [3.6 kg]
Location: Listed for Wet & Damp locations
Approvals: ETL Listed to UL 1598, 2108, 8750 and CSA C22.2 # 9 & #250.0
L80 Life: > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08
Warranty: Lifetime Limited Warranty - see warranty for details
IES Files: LM-79-08 IES files available at www.v2lighting.com/downloads
Modifications: Any modification or customization is possible - consult factory

ORDERING LOGIC

Model	Location	Dimming	Location	Output	CRI	C.C.T.	Reflector	Shell Color	Suspension	Options
CLP4	N	N	W	20	83	40	51°	XX	D	
CLP4	N	N	W	20	83	40	51°	XX	D	

Example Part Number: CLP4-83-40-51-XX-D
CORE 400 LX Pendant - Internal Driver, No Dimming, Deep Location - 2000 lm, 83 CRI, 2700K, 40° Reflector - 83 Red Shell, Black Cap

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SDP-17-0024

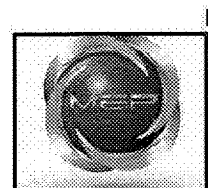
TRACT E, THE MEADOWS FILING NO. 20, PHASE 1
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

PHOTOMETRIC CUT SHEETS

13 OF 13

TOWN OF CASTLE ROCK SUBMITTAL #1 7/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #2 9/1/2017
TOWN OF CASTLE ROCK SUBMITTAL #3 10/10/2017
TOWN OF CASTLE ROCK SUBMITTAL #4 12/01/2017
TOWN OF CASTLE ROCK SUBMITTAL #5 12/21/2017
TOWN OF CASTLE ROCK SUBMITTAL #6 1/15/2018
TOWN OF CASTLE ROCK SUBMITTAL #7 12/4/2018

MEP PROJECT #17115
DESIGNED BY: PTB CHECKED BY: DGM

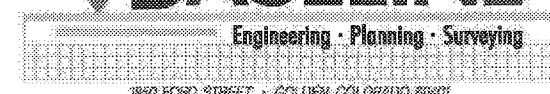


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Centennial, CO 80111 (F) 303.934.9299
info@mep-eng.com www.mep-eng.com

PROJECT NUMBER: 17115
DRAWN BY: PTB
CHECKED BY: DGM
CIVIL ENGINEER: BASELINE ENGINEERING
LANDSCAPE ARCHITECT: HORD COPLAN MACHT
STRUCTURAL ENGINEER: MARTINO & LUTH
MECH / ELEC ENGINEER: MEP ENGINEERING

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