

SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THE SITE LIES WITHIN UNSHADED ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 08035C0169G, DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN AMENDMENT DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED TO "TOWN CENTER". ZONING IS PER THE MEADOWS PRELIMINARY PD SITE PLAN - FOURTH AMENDMENT - RECORDED JULY 10, 2003, RECEPTION NUMBER 2003102969.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- THE DEVELOPMENT STANDARDS AS SHOWN ON SHEETS 66 AND 67 OF THE PREVIOUSLY APPROVED "THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN (RECORDED 8/19/2004, RECEPTION NO. 2004086771)" SHALL REMAIN IN EFFECT EXCEPT AS MODIFIED ON SHEET 2.
- IN THE EVENT OF ANY CONFLICTS BETWEEN TOWN REGULATIONS AND THE DEVELOPMENT STANDARDS SET OUT IN THE MEADOWS PRELIMINARY PD SITE PLAN - FOURTH AMENDMENT AND ZONING REGULATIONS, THE STANDARDS SET FORTH IN THE MEADOWS PRELIMINARY PD SITE PLAN - FOURTH AMENDMENT SHALL GOVERN DEVELOPMENT OF THE PROPERTY. EXCEPT AS OTHERWISE PROVIDED IN THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT.
- STREET CROSS-SECTIONS SHOWN ON THE PRELIMINARY PLAT ARE APPROVED PURSUANT TO THE MEADOWS PRELIMINARY PD SITE PLAN - FOURTH AMENDMENT - RECORDED JULY 10, 2003, RECEPTION NUMBER 2003102969.
- NO WETLANDS EXIST WITHIN FILING 20.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FOET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT.
- FENCES SHALL NOT EXCEED 48 INCHES IN HEIGHT WITHIN FRONT YARD SETBACK AREAS AND SHALL NOT EXCEED 72 INCHES IN HEIGHT IN ALL OTHER AREAS.
- THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)
 LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
 COLORADO

CONTACT LIST

TOWN OF CASTLE ROCK
 100 N. WILCOX ST.
 CASTLE ROCK, CO. 80104
 (720) 733-2471

TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT
 300 NORTH PERRY ST.
 CASTLE ROCK, CO 80104
 (303) 660-1066

COMCAST
 6850 S. TUCSON WAY
 CENTENNIAL, CO 80112
 (303) 603-5682
 CONTACT: BUTCH BUSTER

INTERMOUNTAIN-REA
 5496 N. U.S. HIGHWAY 85
 SEDALIA, CO 80135
 (720) 733-5582
 CONTACT: REN W. OSTERWALD

CENTURYLINK
 5325 ZUNI STREET, ROOM 728
 DENVER, CO 80221
 (720) 578-3723
 CONTACT: GRETCHEN MEYERETT

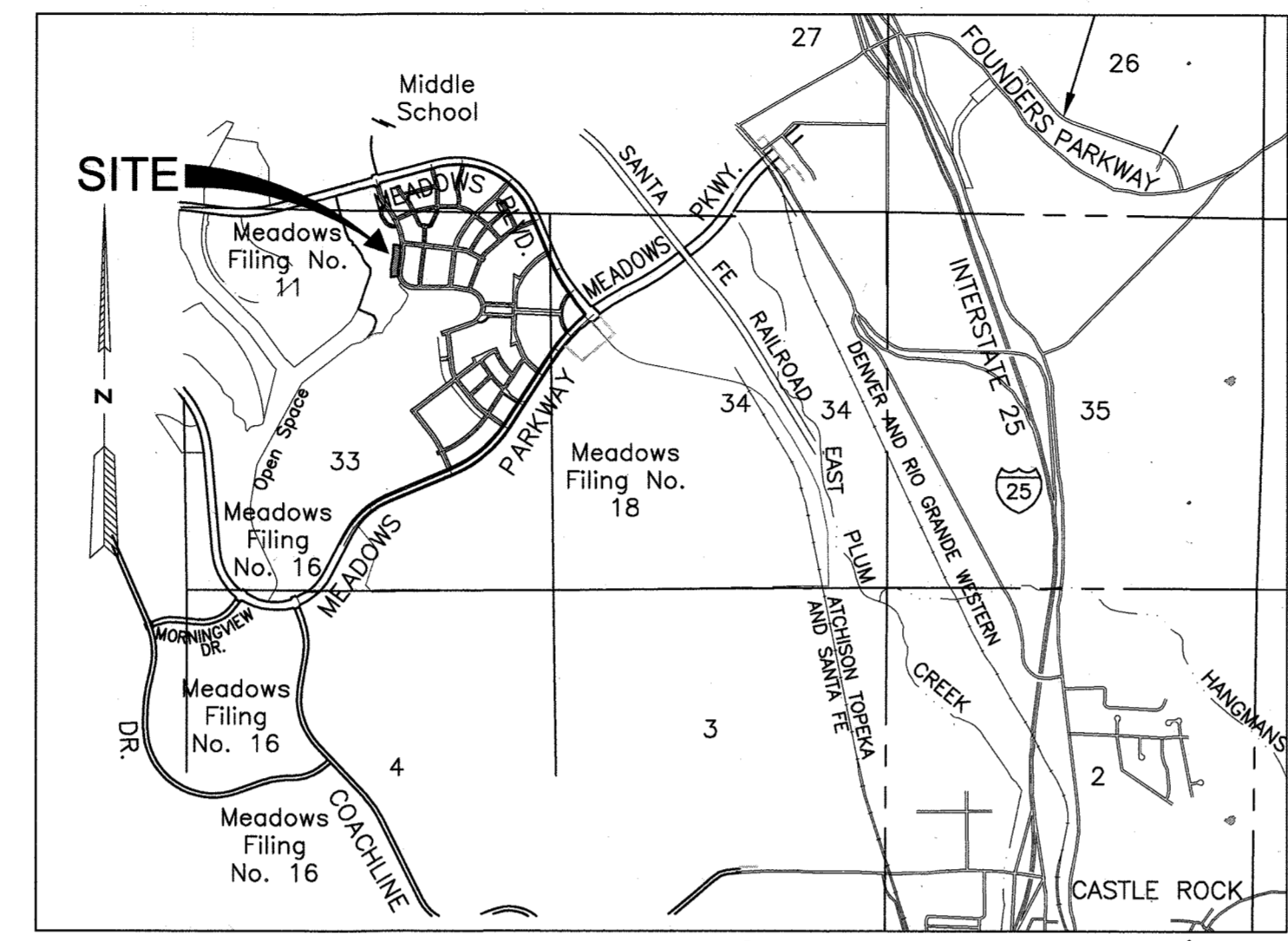
OWNER/DEVELOPER
 CASTLE ROCK DEVELOPMENT COMPANY,
 3033 EAST FIRST AVENUE
 SUITE 305
 DENVER, COLORADO 80206
 CONTACT: R.C. HANISH
 (303) 394-5139

SURVEYING
 AZTEC CONSULTANTS, INC.
 300 EAST MINERAL AVE., SUITE 1
 LITTLETON, CO. 80122
 (303) 713-1898
 CONTACT: DEREK BROWN, PLS

ENGINEER
 RG AND ASSOCIATES, LLC
 4885 WARD ROAD, SUITE 100
 WHEAT RIDGE, CO. 80033
 (303) 468-8474
 CONTACT: GARY E. WELP P.E., CFM

PLANNER
 NORRIS DESIGN
 1101 BANNOCK STREET
 DENVER, CO 80204
 (303) 892-1166
 CONTACT: DAVID THORPE

BLACK HILLS ENERGY
 1789 PARK STREET
 CASTLE ROCK, CO 80109
 (303) 217-7811
 CONTACT: RON ZUROFF



SHEET INDEX

SHEET NUMBER	DESCRIPTION
1 of 6	COVER SHEET
2 of 6	SITE PLAN / KEY LOT DESIGNATIONS
3 of 6	GENERAL GRADING PLAN
4 of 6	GENERAL UTILITIES PLAN
5 of 6	LANDSCAPE PLAN
6 of 6	LANDSCAPE PLAN

ABBREVIATIONS:

- | | |
|--------------------------------|-------------------------------|
| TC - TOP OF CURB | PCR - POINT OF CURB RETURN |
| EOP - EDGE OF PAVEMENT | PC - POINT OF CURVATURE |
| BOP - BOTTOM OF PIPE | PT - POINT OF TANGENCY |
| TOP - TOP OF PIPE | PRC - POINT OF REVERSE CURVE |
| EX - EXISTING | PCC - POINT OF COMPOUND CURVE |
| FH - FIRE HYDRANT | STA - STATION |
| ROW - RIGHT OF WAY | GB - GRADE BREAK |
| EL - ELEVATION | TOW - TOP OF WALL |
| EOC - EDGE OF CONCRETE | BOW - BOTTOM OF WALL |
| WL - WATER LINE | FL - FLOWLINE |
| STM - STORM | CL - CENTERLINE |
| RCP - REINFORCED CONCRETE PIPE | |

LEGAL DESCRIPTION

LOT 1, BLOCK 26, THE MEADOWS FILING NO. 20 PHASE 1 FINAL PLAT AS RECORDED UNDER RECEPTION NO. 2005007628 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDERS OFFICE, LOCATED IN THE NORTH HALF OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

CONTAINING 1.052 ACRES (45,821 SQUARE FEET), MORE OR LESS.

BENCHMARK

DOUGLAS COUNTY CONTROL MONUMENT 2.015030. RECOVERED 3.25" ALUMINUM CAP LOCATED 410' MORE OR LESS EAST OF THE RAILROAD TRACKS AND 3200' MORE OR LESS NORTH OF MEADOWS PARKWAY. ELEVATION = 6082.17 (NAVD 88).

BASIS OF BEARINGS

THE EAST LINE OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, WAS ASSUMED TO BEAR SOUTH 01°03'47" EAST, A DISTANCE OF 5451.93 FEET, BEING MONUMENTED AT THE NORTHEAST CORNER OF SAID SECTION 33 BY A NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP MARKED "AZTEC PLS 38064" AND AT THE SOUTHEAST CORNER OF SAID SECTION 33 BY A NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP MARKED "AZTEC PLS 33204".

PREPARED FOR
 CASTLE ROCK DEVELOPMENT COMPANY
 3033 EAST FIRST AVENUE, SUITE 305
 DENVER, COLORADO 80206
 303-394-5500

SUMMARY TABLE

LAND AREAS:	
SUBDIVISION LOTS (11)	1.052 ACRES
TOTAL AREA	1.052 ACRES
AREA BREAKDOWN:	
STRUCTURES	0.38 ACRES
PARKING COVERAGE	0.10 ACRES
ROADWAY COVERAGE	0.00 ACRES
OPEN SPACE	0.572 ACRES
TOTAL	1.052 ACRES
BUILDING SETBACKS:*	
FRONT	2 FEET (EXCEPT THAT THE DRIVEWAY MUST BE A MINIMUM OF 18')
REAR	15 FEET
SIDES	0 FEET
BETWEEN BUILDINGS	0 FEET
RESIDENTIAL OFF STREET PARKING:	
OFF STREET PARKING REQUIRED	22 (2 SPACES PER UNIT)**
OFF STREET PARKING PROVIDED	22 (100 GARAGE SPACES)
MAXIMUM BUILDING HEIGHT:*	60 FEET
PROPOSED BUILDING HEIGHT: LOTS 1-6	35 FEET
PROPOSED BUILDING HEIGHT: LOTS 7-11	60 FEET
SINGLE FAMILY EQUIVALENT UNITS (SFE's):	11

*-ITEMS BASED ON THE MEADOWS PRELIMINARY P.D. SITE PLAN FOURTH AMENDMENT.
 **--BASED ON TOWN OF CASTLE ROCK REGULATIONS.

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE

28th DAY OF September 2017

CHAIR: [Signature] DATE: November 9, 2017
 ATTEST: [Signature] DATE: 11/8/17
 DIRECTOR OF DEVELOPMENT SERVICES

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE

October 20, 2017

MAYOR: [Signature] DATE: 11-14-17
 ATTEST: [Signature] DATE: 11-14-17
 TOWN CLERK DATE

SURVEYOR'S CERTIFICATE

I, DEREK S. BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER BY SUPERVISION AND THE MONUMENT SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

DEREK S. BROWN, PLS NO. 38064
 COLORADO LICENSED PROFESSIONAL LAND SURVEYOR
 FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
 300 E. MINERAL AVE., SUITE 1
 LITTLETON, COLORADO 80122
 PHONE: (303) 713-1898

CIVIL ENGINEER'S STATEMENT

I, GARY E. WELP, P.E., BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY CERTIFY THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

GARY E. WELP, P.E. DATE: 11/15/17

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 5, 2004 AT RECEPTION NO. 2004081485, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

[Signature]
 CASTLE ROCK LAND CO, LLC

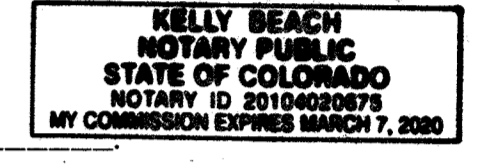
SIGNED THIS 30th DAY OF October 2017

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF October 2017

BY John A Fox AS Authorized Agent OF CASTLE ROCK LAND CO, LLC

WITNESS MY HAND AND OFFICIAL SEAL.
 Kelly Beach
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 3-7-20

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature]
 CASTLE ROCK DEVELOPMENT COMPANY, A COLORADO CORPORATION

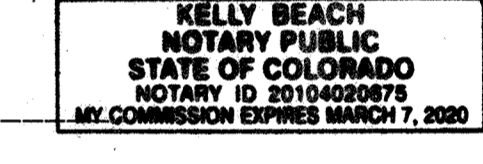
SIGNED THIS 30th DAY OF October 2017

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 30th DAY OF October 2017

BY Stephanie McCandless AS President OF CASTLE ROCK DEVELOPMENT COMPANY

WITNESS MY HAND AND OFFICIAL SEAL.
 Kelly Beach
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 3-7-20

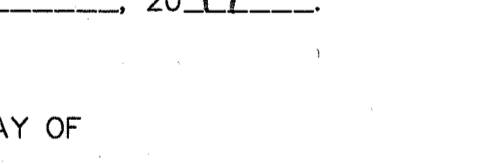
TITLE CERTIFICATION

I, Scott Bennetts, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

[Signature]
 AUTHORIZED REPRESENTATIVE
 Land Title Guarantee Company
 TITLE COMPANY

SIGNED THIS 2nd DAY OF November 2017

WITNESS MY HAND AND OFFICIAL SEAL.
 Jordan Peterson
 NOTARY PUBLIC

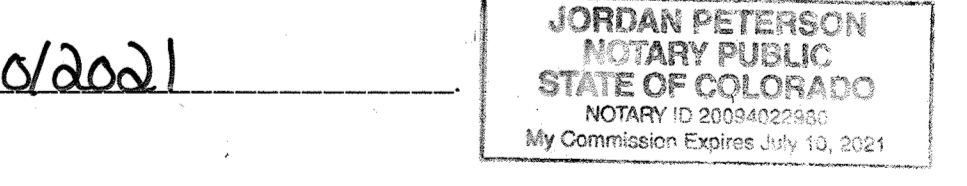


MY COMMISSION EXPIRES: 7/10/2021

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 11:50 AM ON THE 15th DAY OF November 2017 AT RECEPTION NO. 2017077672

DOUGLAS COUNTY CLERK AND RECORDER
 BY: [Signature] DEPUTY



DOUGLAS COUNTY CLERK AND RECORDER

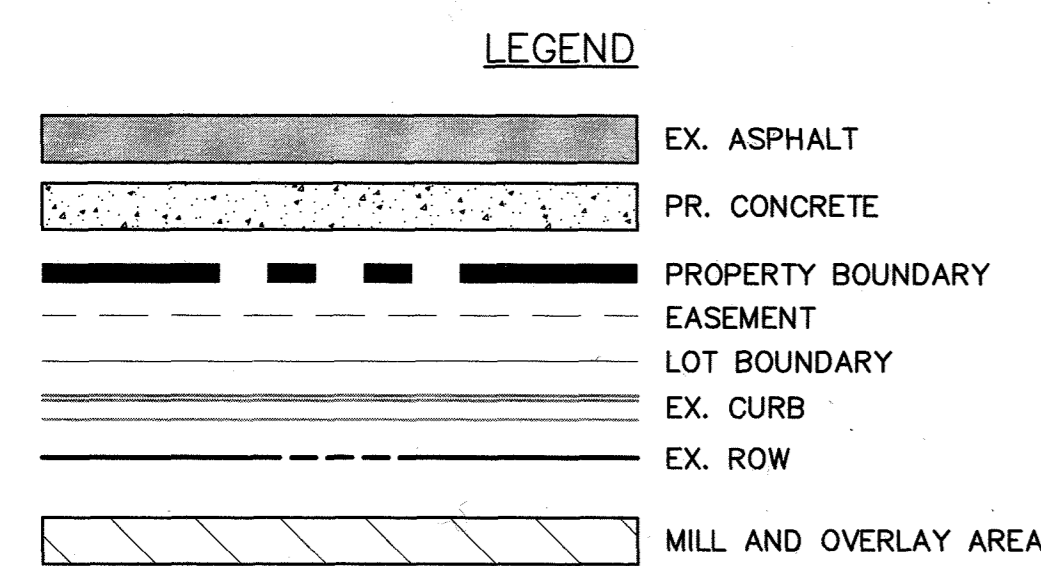
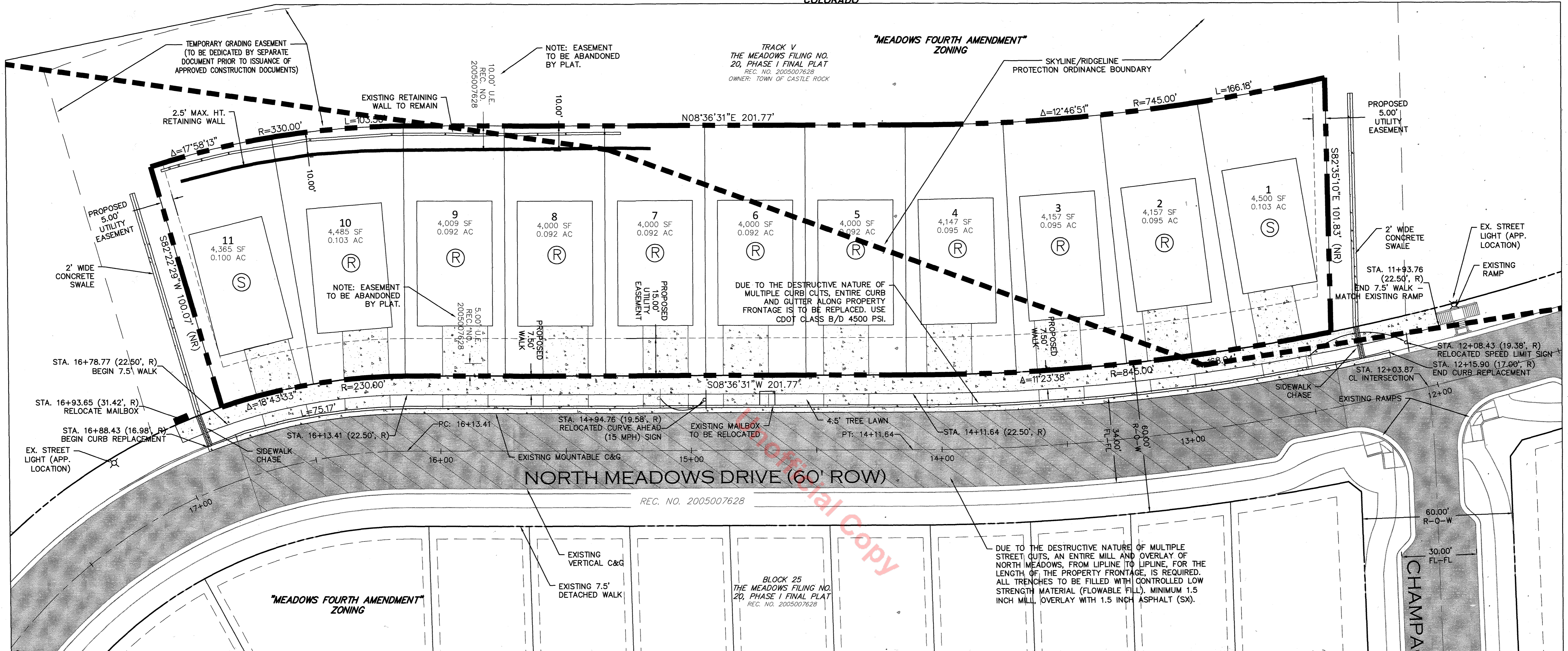
THE MEADOWS FILING NO. 20 SITE DEVELOPMENT PLAN, AMENDMENT NO. 8

Project No. SDP17-0018
 SHEET 1 OF 6 - COVER SHEET

S:\020029-Upland Park\dwg\sheet\SDP17-001-site plan.dwg, 9/14/2017 9:45:54 AM

**THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

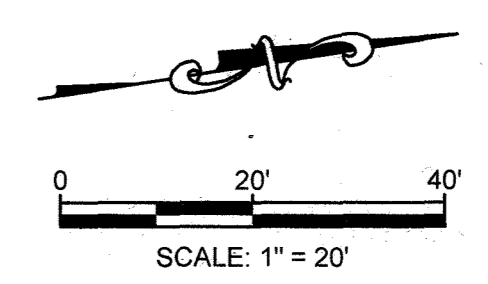
LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
COLORADO



SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS - AMENDED ONLY AS TO THE PROPERTY SUBJECT TO THIS SITE DEVELOPMENT PLAN:

- LOTS DESIGNATED WITH AN (R) REPRESENT "REAR CONDITION" LOTS. DWELLING UNITS BUILT ON THESE LOTS ARE REQUIRED TO HAVE ENHANCED REAR ELEVATION ARCHITECTURAL DETAILS INCLUDING A MINIMUM OF TWO ARCHITECTURAL DETAILS THAT BREAK THE MAIN PLAIN OF THE REAR ELEVATION.
- LOTS DESIGNATED WITH AN (S) REPRESENT "SIDE CONDITION" LOTS. DWELLING UNITS BUILT ON THESE LOTS ARE REQUIRED TO HAVE ENHANCED SIDE ELEVATION ARCHITECTURAL DETAILS THAT ARE JUDGED BY CASTLE ROCK DEVELOPMENT COMPANY TO BE SUBSTANTIAL AND APPROPRIATE SUCH LOTS.

ALL OTHER SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS AS SET FORTH ON THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN ARE APPLICABLE.



**THE MEADOWS FILING NO. 20
SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
Project No. SDP17-0018
SHEET 2 OF 6 - SITE PLAN SHEET**

48 hours before you file, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**

Gas, Electric, Telephone, CTV, and Public/Private Eastern Pipeline Locations

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	DESCRIPTION	DATE	BY
1	SITE DEVELOPMENT PLAN - 02 - TOWN COMMENTS	07/13/2017	
2	SITE DEVELOPMENT PLAN - 03 - TOWN COMMENTS	08/10/2017	
3	SITE DEVELOPMENT PLAN - 04 - TOWN COMMENTS	08/29/2017	
4	SITE DEVELOPMENT PLAN - 05 - TOWN COMMENTS	09/13/2017	

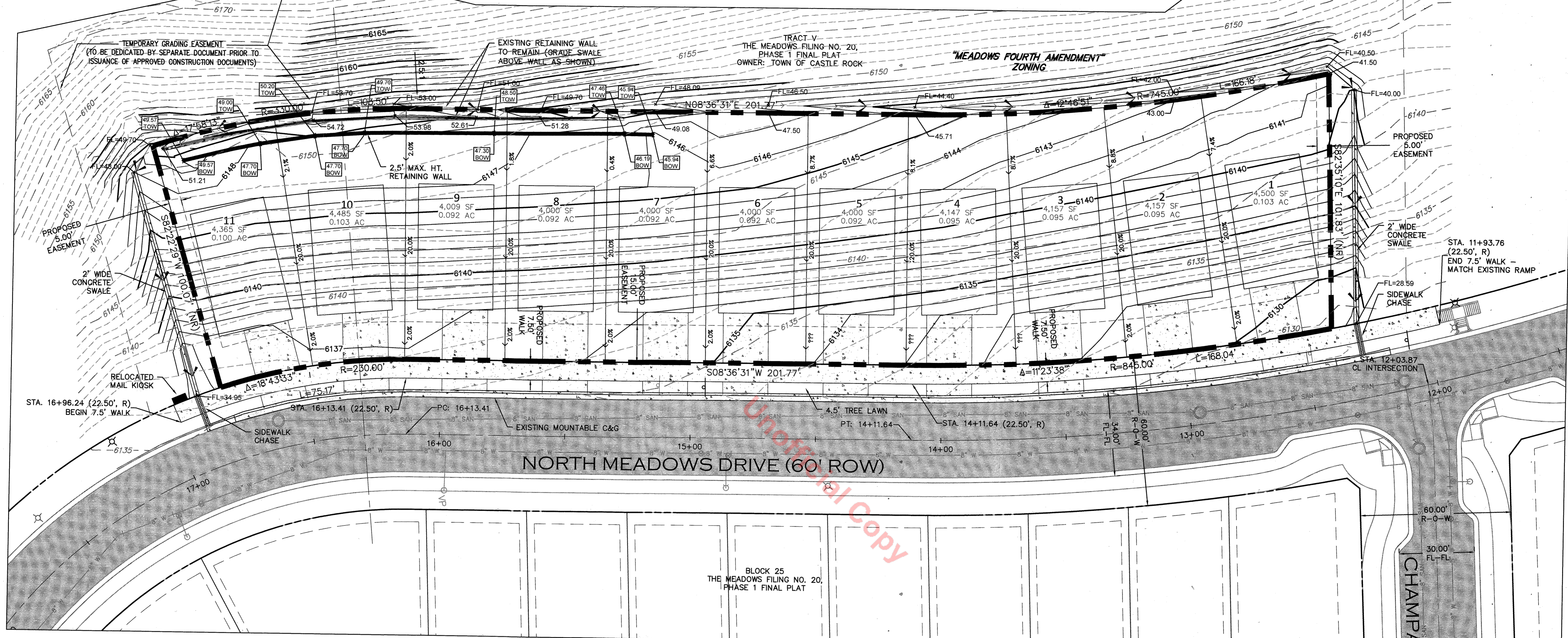
RG AND ASSOCIATES, LLC
4885 Ward Road, Suite 100 - Wheat Ridge, CO - 80033
Gypsum - Loveland - Monte Vista - Steamboat Springs - Golden - Denver, Colorado, 80206
303-293-8107 - 303-293-8106 (fax) - www.rgengineers.com

SITE PLAN

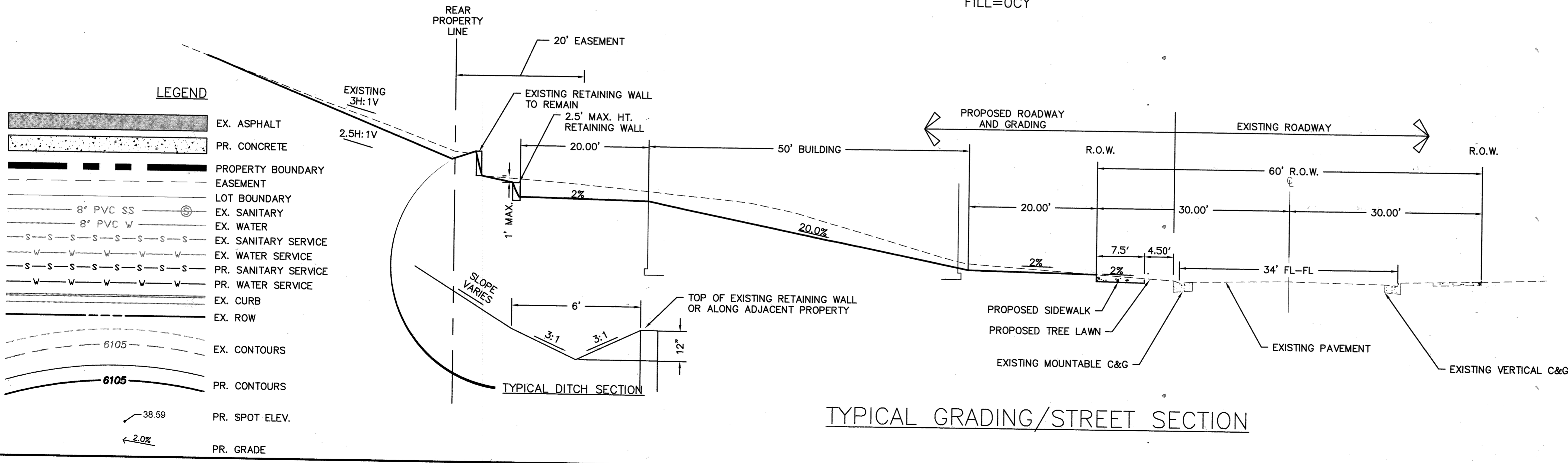
Prepared for
Castle Rock Development Company
30338 E. Flamingo Avenue, Suite 305
Denver, Colorado, 80230

DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0029	
DATE: MAY, 2017	
SCALE: 1"=20'	
DRAWING NAME:	
SHEET NO: 2 of 6	

**THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**
 LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
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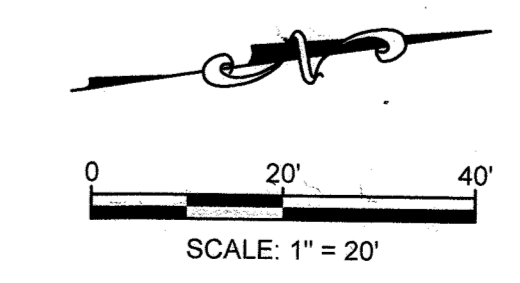


APPROXIMATE EARTHWORK QUANTITIES
 CUT=2700 CY
 FILL=0CY



LEGEND

	EX. ASPHALT
	PR. CONCRETE
	PROPERTY BOUNDARY
	EASEMENT
	LOT BOUNDARY
	8" PVC SS
	8" PVC W
	EX. WATER
	EX. SANITARY SERVICE
	EX. WATER SERVICE
	PR. SANITARY SERVICE
	PR. WATER SERVICE
	EX. CURB
	EX. ROW
	EX. CONTOURS
	PR. CONTOURS
	PR. SPOT ELEV.
	PR. GRADE



TYPICAL GRADING/STREET SECTION

**THE MEADOWS FILING NO. 20
 SITE DEVELOPMENT PLAN, AMENDMENT NO. 8**
 Project No. SDP17-0018
 SHEET 3 OF 6 - GRADING SHEET

48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**
 Call Electric, Telephone, Cable, and Gas
 SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY

REVISIONS

NO.	DATE	DESCRIPTION
1	07/13/2017	02 - TOWN COMMENTS
2	08/10/2017	03 - TOWN COMMENTS
3	08/30/2017	04 - TOWN COMMENTS
4	09/13/2017	05 - TOWN COMMENTS

RG AND ASSOCIATES, LLC
 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033
 Gypsum • Loveland • Monte Vista • Wheat Ridge
 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com

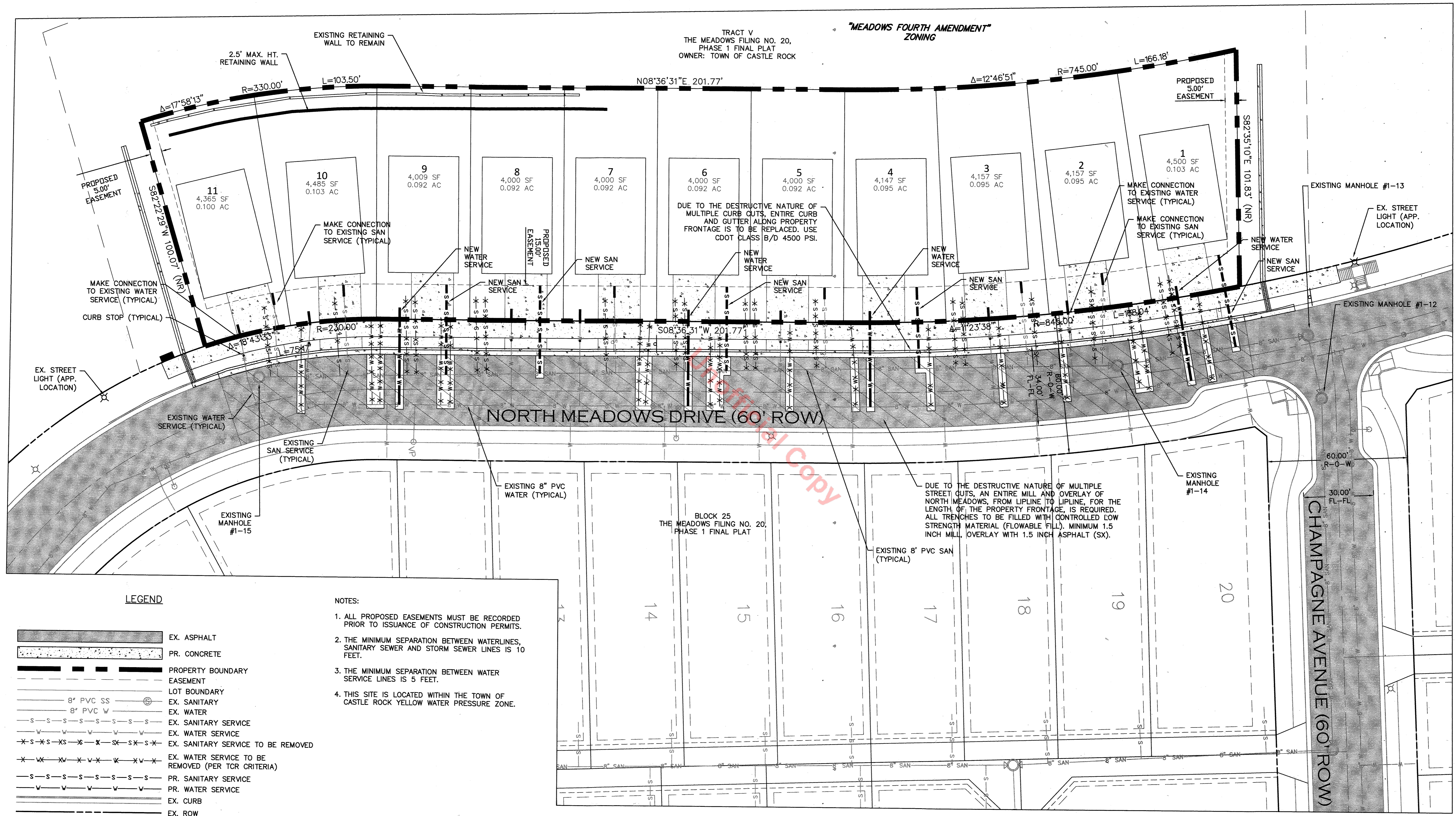
GRADING PLAN

Prepared for
Castle Rock Development Company
 3033 E. First Ave. Suite 305
 Denver, Colorado 80206

DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0029	
DATE: MAY, 2017	
SCALE: 1"=20'	
DRAWING NAME:	
SHEET NO: 3	of 6

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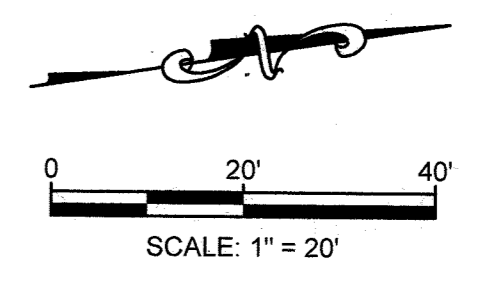
LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
 COLORADO



LEGEND

- EX. ASPHALT
- PR. CONCRETE
- PROPERTY BOUNDARY
- EASEMENT
- LOT BOUNDARY
- EX. SANITARY
- EX. WATER
- EX. SANITARY SERVICE
- EX. WATER SERVICE
- EX. SANITARY TO BE REMOVED
- EX. WATER TO BE REMOVED (PER TCR CRITERIA)
- PR. SANITARY SERVICE
- PR. WATER SERVICE
- EX. CURB
- EX. ROW
- ASPHALT PATCH BACK LOCATIONS
- MILL AND OVERLAY AREA

- NOTES:**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



THE MEADOWS FILING NO. 20
SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
 Project No. SDP17-0018
SHEET 4 OF 6 - UTILITIES SHEET

48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**
 For more information, visit www.uncc.org
 For more information, visit www.castlerock.org
SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	REVISIONS DESCRIPTION	DATE	BY
1	SITE DEVELOPMENT PLAN - 02 - TOWN COMMENTS	07/13/2017	
2	SITE DEVELOPMENT PLAN - 03 - TOWN COMMENTS	08/10/2017	
3	SITE DEVELOPMENT PLAN - 04 - TOWN COMMENTS	08/30/2017	
4	SITE DEVELOPMENT PLAN - 05 - TOWN COMMENTS	09/13/2017	

RG AND ASSOCIATES, LLC
 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033
 Gypsum • Loveland • Monte Vista • Wheat Ridge
 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com

UTILITIES PLAN
 PREPARED FOR
Castle Rock Development Company
 3033 E. First Ave. Suite 305
 Denver, Colorado 80206

DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0029	DATE: MAY, 2017
SCALE: 1"=20'	DRAWING NAME:
SHEET NO: 4	of 6

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 8 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES: THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)	LANDSCAPE ZONE	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA
SUBSURFACE	IRRIGATED TURF (ENVIROTURF)	3.0 in./mo.	MODERATE	32.40%	1,356	3.0	4,184	0.97
DRIP	TREES*	2.0 in./mo.	LOW	67.60%	2,828	2.0	4,184	1.35
TOTALS				100	4,184		4,184	2.32
							TOTAL OF THE CLWUR	2.32

* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED TURF	1,356	25.80
NON IRRIGATED NATIVE SEED MIX	1,072	20.40
TREES IN NON IRRIGATED NATIVE	2,828	53.8
TOTAL AREA LANDSCAPE	5,256	100%

STREETSCAPE REQUIREMENT TABLE

STREET	LINEAR FEET	TREES REQUIRED (1 TREE / 40 LF)	TREES PROVIDED
NORTH MEADOWS DRIVE	494 LF	13**	13 (NOT INCLUDING ORNAMENTAL TREES)

** THE PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #1 DATE 2/6/07 INCLUDED 13 STREET TREES. TREES HAVE BEEN RELOCATED TO AVOID DRIVEWAYS AND UTILITIES ALONG NORTH MEADOWS DRIVE. 10 TREES HAVE BEEN RELOCATED WITHIN THE TREE LAWN AND 3 TREES HAVE BEEN LOCATED OUTSIDE THE TREE LAWN.

DRYLAND GRASS SEED MIX

IRRIGATION ZONE	IRRIGATION ZONE	VARIETY	% OF MIX	PLS PER ACRE	
NON-IRRIGATED	SEED	BIG BLUESTEM	KAW	10%	1.1
	SEED	YELLOW INDIANGRASS	CHEYENNA	10%	1
	SEED	SWITCHGRASS	BLACKWELL	10%	0.4
	SEED	SIDEOATS GRAMA	VAUGHN	10%	0.9
	SEED	WESTERN WHEATGRASS	ARRIBA	10%	1.6
	SEED	BLUE GRAMA	HACHITA	10%	0.3
	SEED	THICKSPIKE WHEATGRASS	CRITANA	10%	1
	SEED	PRAIRIE SANDREED	GOSHEN	10%	0.7
	SEED	GREEN NEEDLEGRASS	LODORM	10%	1
	SEED	SLENDER WHEATGRASS	PRYOR	5%	0.6
	SEED	STREAMBANK WHEATGRASS	SODAR	5%	0.6

APPLY AT A RATE OF 9.2 PLS LBS. PER ACRE DRILLED

IRRIGATED TURF

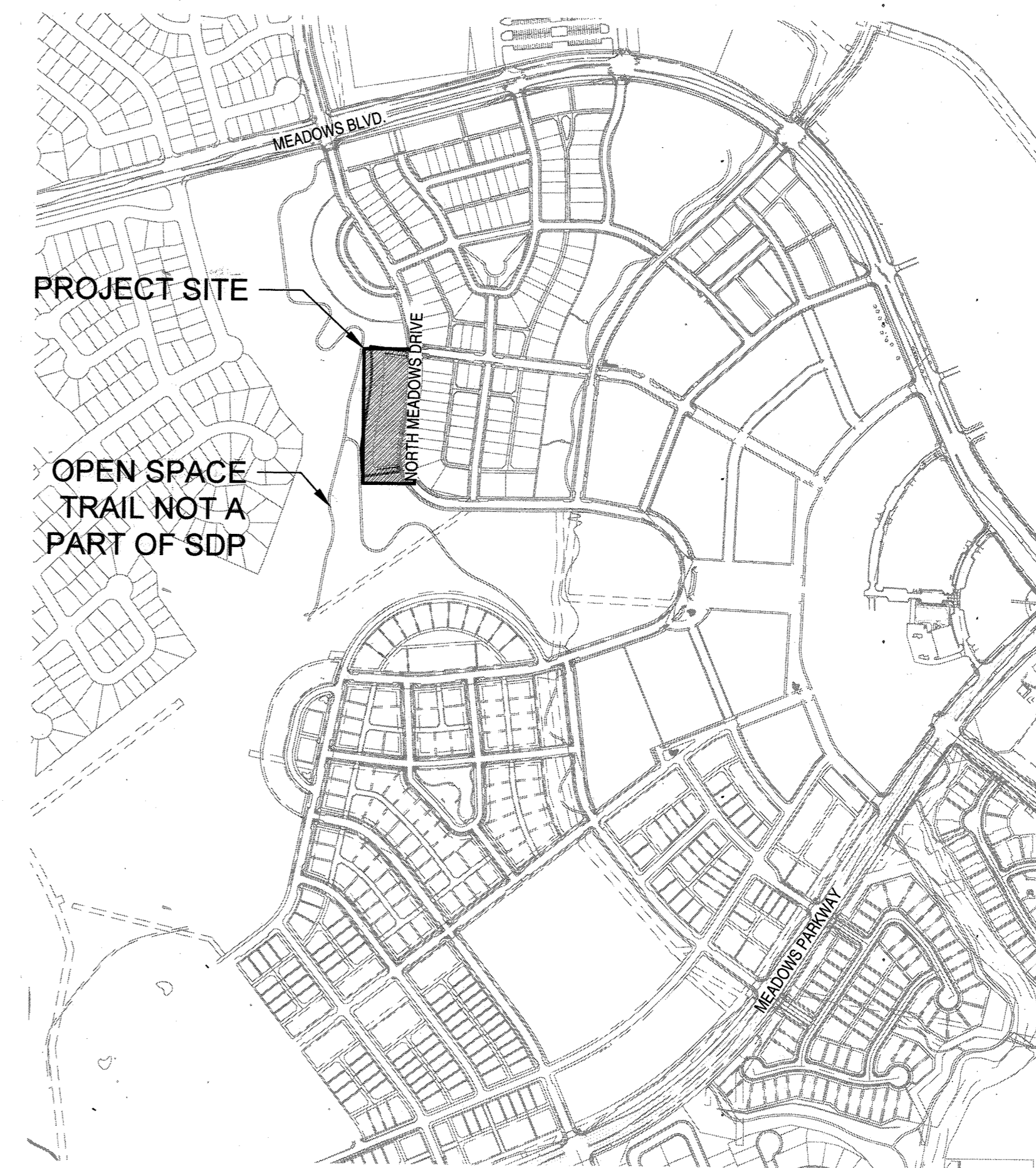
IRRIGATED TURF	SF
ENVIROTURF	1,356
ENVIROTURF FESCUE BLEND	

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

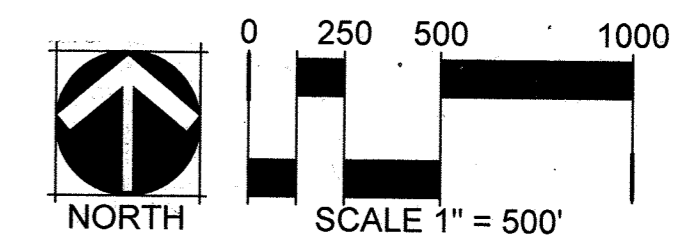
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- AN IRRIGATION PLAN WILL BE REQUIRED ON THE FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.1B AND 4.2.3 IN THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS.
- IRRIGATION SYSTEM IS TO BE REVIEWED AND APPROVED WITH CONSTRUCTION DOCUMENTS. CHANGES MAY BE NECESSARY ON THE LANDSCAPE PLAN DUE TO THE FIRST IRRIGATION REVIEW ON THE CONSTRUCTION DOCUMENTS.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- ALL TREES MUST BE TRIMMED AT LEAST 8' ABOVE FINISH GRADE WITHIN THE SIGHT DISTANCE LINES.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOW LINE ELEVATION OF THE ADJACENT STREET SHALL BE PLACED WITHIN SIGHT DISTANCE LINES.
- A TREE PLANTED WITHIN THE FRONT YARD OF A RESIDENTIAL LOT MAY BE COUNTED TOWARDS THE REQUIRED STREET TREES AS LONG AS THE TREE IS WITHIN 16 FEET OF THE BACK OF THE CURB, FOR A RESIDENTIAL STREET WITH AN ATTACHED SIDEWALK.

CONCEPTUAL IRRIGATION STANDARD NOTES:

- SOD AREAS LESS THAN 10' IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION
- ALL TREE LAWNS, TREES WITHIN TREE LAWNS AND TREES OUTSIDE OF TREE LAWNS ARE TO BE IRRIGATED VIA COMMON IRRIGATION SYSTEM THROUGHOUT THE SITE.



VICINITY MAP



LANDSCAPE CERTIFICATION:

JOHN M. BIRNEY, P.L.A. ASLA AN CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-106. THIS IS VALID THROUGH 01/01/2017. COLORADO LICENSE NUMBER IS 655

John M. Birney

48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)

811

Gas, Electric, Telephone, CATV, and Potable Water Pipeline Locations

SCALE - VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	DESCRIPTION	DATE	BY
1	SITE DEVELOPMENT PLAN - 02 - TOWN COMMENTS	07/13/2017	
2	SITE DEVELOPMENT PLAN - 03 - TOWN COMMENTS	08/10/2017	
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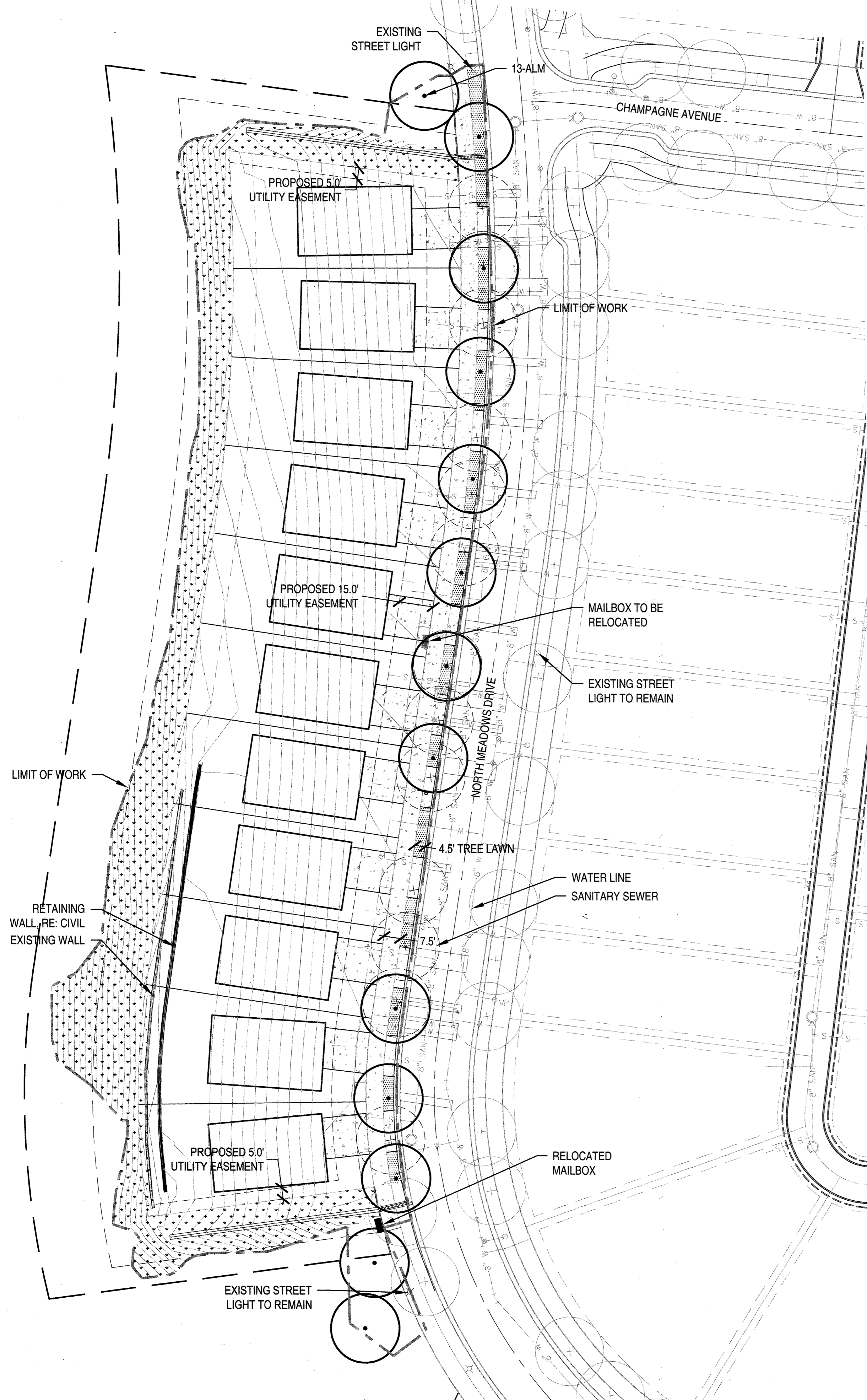
NOTES

Approved for
Castle Rock Development Company
30333 E. First Ave, Suite 410
Denver, Colorado 80206

DRAWN BY: ATM & TLE	DESIGNED BY: ATM
JOB NUMBER:	
DATE: 6-06-2017	
SCALE:	
DRAWING NAME:	
SHEET NO: 5 of 6	

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 8 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- PROPOSED RELOCATED DECIDUOUS CANOPY TREE
- APPROVED TREE TO BE RELOCATED
- APPROVED TREE TO REMAIN
- MODERATE HYDROZONE IRRIGATED ENVIROTURF SOD
- NON-IRRIGATED NATIVE SEED
- RETAINING WALL

NORTH
 SCALE 1" = 30'

NOTES:
 1) 13 TREES HAVE BEEN RELOCATED PER THE INITIAL PRELIMINARY PLAT/FINAL PD SITE PLAN AMENDMENT #1 DATED 2/6/07. 10 TREES HAVE BEEN RELOCATED WITHIN THE TREE LAWN. THE REMAINING 3 TREES HAVE BEEN LOCATED OUTSIDE THE TREE LAWN.
 2) STRUCTURAL SOIL WILL BE USED IN THE TREE LAWNS.

Official Copy

LANDSCAPE CERTIFICATION:
 I, JOHN M. BIRNEY, P.L.A., ASLA, AM CERTIFIED WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 15-1126. THIS IS VALID THROUGH 4/30/2017. COLORADO LICENSE NUMBER IS 656.

John M. Birney

THE MEADOWS FILING NO. 20
 SITE DEVELOPMENT PLAN, AMENDMENT NO. 8
 PROJECT NUMBER SDP17-0018
 SHEET 6 OF 6 -LANDSCAPE PLAN SHEET

<p>48 hours before you dig, call UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) 811</p> <p>Gas, Electric, Telephone, CATV and Penetration Eastern Pipeline Locations</p> <p>SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>													
<p>RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com</p>	<p>NORRIS DESIGN Planning Landscape Architecture Project Promotion</p> <p>1101 Bannock Street Denver, Colorado 80204 P 303.892.1166 F 303.892.1186 www.norris-design.com</p>												
<p>Adamo Homes - Meadows Filing 20, Phase 1, Block 26, Lot 1</p> <p>LANDSCAPE PLAN</p> <p>Prepared for: Castle Rock Development Company 3033 E. First Ave, Suite 410 Denver, Colorado 80206</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DRAWN BY: ATM & TLE</td> <td style="width: 50%;">DESIGNED BY: ATM</td> </tr> <tr> <td colspan="2">JOB NUMBER:</td> </tr> <tr> <td colspan="2">DATE: 6-06-2017</td> </tr> <tr> <td colspan="2">SCALE:</td> </tr> <tr> <td colspan="2">DRAWING NAME:</td> </tr> <tr> <td colspan="2">SHEET NO: 6 of 6</td> </tr> </table>	DRAWN BY: ATM & TLE	DESIGNED BY: ATM	JOB NUMBER:		DATE: 6-06-2017		SCALE:		DRAWING NAME:		SHEET NO: 6 of 6	
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