

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

SITE DEVELOPMENT PLAN GENERAL NOTES

- 1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system.
2. Pursuant to Section 4.3E and 8.2.3A of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan.
3. The landscape and irrigation plans contained in the SITE DEVELOPMENT PLAN AMENDMENT are conceptual only and subject to change with review of the Construction Documents.
4. The Site lies within unshaded Zone X, areas determined to be outside the 0.2% annual chance floodplain according to FEMA Flood Insurance Rate Map Number 08035C0169G, dated March 16, 2016.
5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents.
6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
7. Approval of this conceptual SITE DEVELOPMENT PLAN AMENDMENT does not constitute approval of any deviations from Town of Castle Rock regulations and standards.
8. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
9. The purpose/use of all tracts and the dedication of all tracts: TRACTS A through D are for open space, utility, drainage, private access and shall be owned and maintained by the homeowners association.
10. All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.
11. This site is zoned TC "TOWN CENTER". Zoning is per the Meadows Preliminary PD Site Plan - Fourth Amendment - recorded July 10, 2003, Reception Number 2003102969.
12. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line.
13. The development standards as shown on sheets 66 and 67 of the previously approved "The Meadows Filing No. 20 Preliminary Plat/Final PD Site Plan (recorded 8/19/2004, Reception No. 2004086771) shall remain in effect except as modified on sheets 8 and 9.
14. In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan - Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan - Fourth Amendment shall govern development of the property.
15. Street cross-sections shown on the Preliminary Plat are approved pursuant to the Meadows Preliminary PD Site Plan - Fourth Amendment - recorded July 10, 2003, Reception Number 2003102969.
16. No wetlands exist within Filing 20.
17. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property.
18. Retaining walls, sections of retaining walls 4-feet in height or higher or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle Rock prior to the issuance of the Public Works Permit.
19. Fences up to seventy-two inches in height are permitted anywhere on the zone lot except within the front yard setback, in which case the maximum allowable height is forty-eight inches.
20. Homeowner is responsible for maintenance of retaining walls on their property per HOA documents.

PROPERTY DESCRIPTION

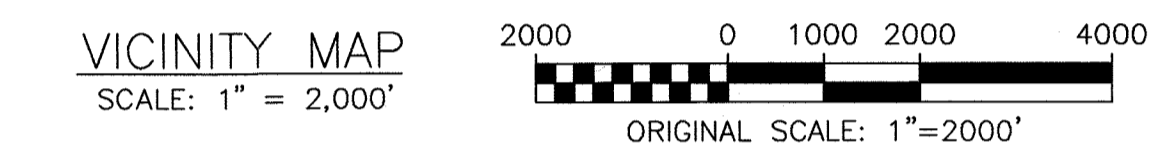
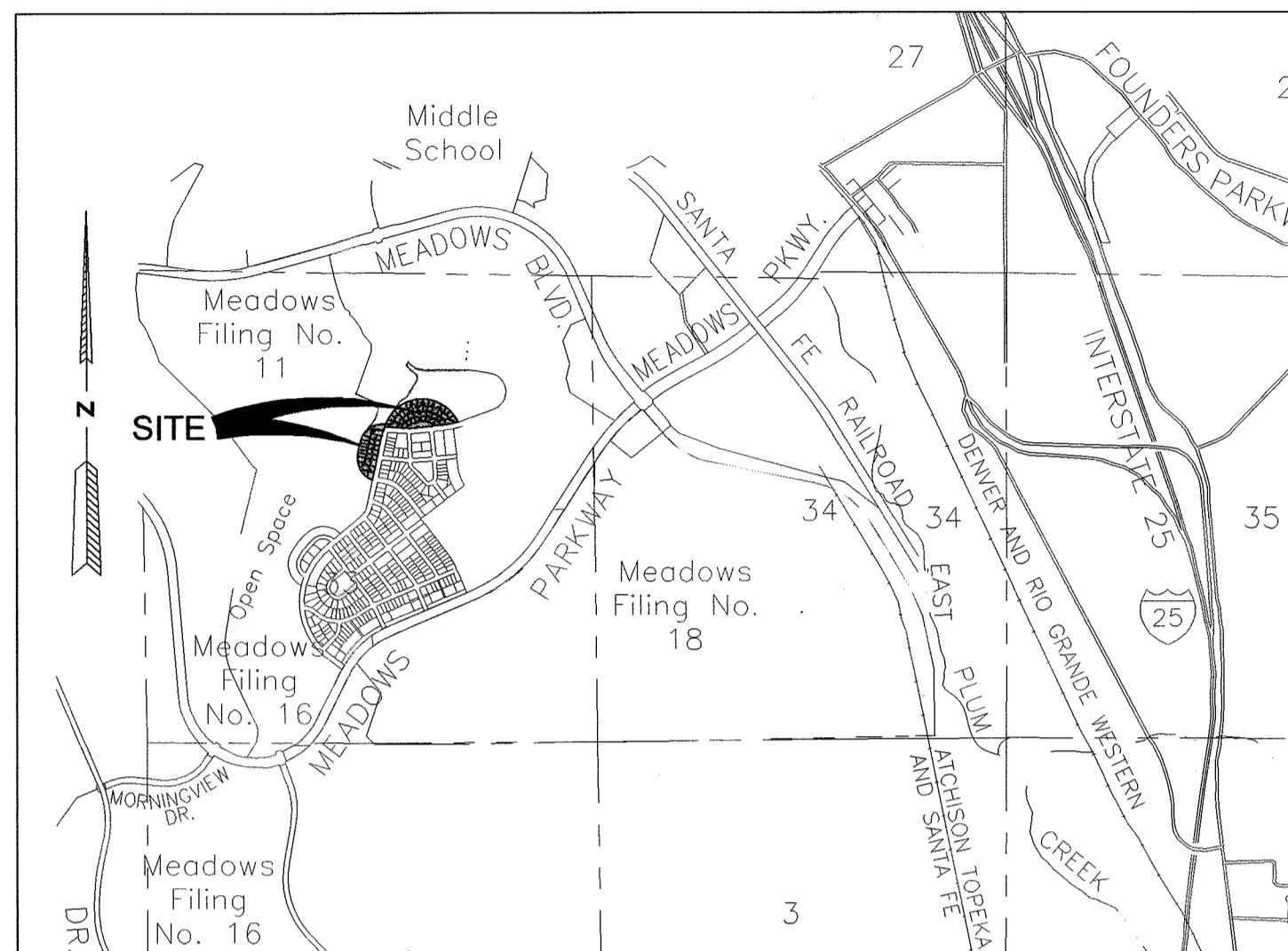
BLOCKS 43, 44, AND 45, TRACTS 2-J, 2-K, AND TRACT 2-L, AND ALL OF SANGUINE CIRCLE AND MERRY REST WAY, THE MEADOWS FILING NO. 20 PHASE 2 AS RECORDED UNDER RECEPTION NO. 2006015389 IN THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDERS OFFICE, LOCATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. CONTAINING 7.707 ACRES (335,702 SQUARE FEET), MORE OR LESS.

BENCHMARK

SITE BENCHMARK IS DOUGLAS COUNTY CONTROL MONUMENT 2.015030, RECOVERED 3.25" ALUMINUM CAP LOCATED 410" MORE OR LESS EAST OF THE RAILROAD TRACKS AND 3200" MORE OR LESS NORTH OF MEADOWS PARKWAY. ELEVATION = 6082.17 (NAVD 88)

BASIS OF BEARINGS

THE BEARINGS AS SHOWN HEREON ARE BASED UPON THE CONSIDERATION THAT THE EAST LINE OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEARS SOUTH 01°03'47" EAST, A DISTANCE OF 5451.93 FEET AND IS MONUMENTED AS SHOWN HEREON.



SHEET INDEX

Table with 2 columns: SHEET NUMBER and DESCRIPTION. Lists sheets 1 through 12 and their corresponding descriptions like COVER SHEET, SITE PLAN, etc.

ABBREVIATIONS:

- TC - TOP OF CURB
EOP - EDGE OF PAVEMENT
BOP - BOTTOM OF PIPE
TOP - TOP OF PIPE
EX - EXISTING
FH - FIRE HYDRANT
ROW - RIGHT OF WAY
EL - ELEVATION
EOC - EDGE OF CONCRETE
WL - WATER LINE
STM - STORM
RCP - REINFORCED CONCRETE PIPE
PCR - POINT OF CURB RETURN
PC - POINT OF CURVATURE
PT - POINT OF TANGENCY
PRC - POINT OF REVERSE CURVE
PCC - POINT OF COMPOUND CURVE
STA - STATION
GB - GRADE BREAK
TOW - TOP OF WALL
BOW - BOTTOM OF WALL
FL - FLOWLINE
CL - CENTERLINE

FIRE NOTES

- 1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities.
7. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
8. No "Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau.

PREPARED FOR CASTLE ROCK DEVELOPMENT COMPANY 3033 EAST FIRST AVENUE, SUITE 410 DENVER, COLORADO 80206 303-394-5500

CONTACT LIST

- TOWN OF CASTLE ROCK: 100 N. WILCOX ST. CASTLE ROCK, CO. 80104 (720) 733-2471
TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT: 300 NORTH PERRY ST. CASTLE ROCK, CO 80104 (303) 660-1066
COMCAST: 6850 S. TUCSON WAY CENTENNIAL, CO 80112 (303) 603-5682
INTERMOUNTAIN-REA: 5496 N. U.S. HIGHWAY 85 SEDALIA, CO 80135 (720) 733-5582
CENTURYLINK: 5325 ZUNI STREET, ROOM 728 DENVER, CO 80221 (720) 578-3723
OWNER/DEVELOPER: CASTLE ROCK DEVELOPMENT COMPANY 3033 EAST FIRST AVENUE SUITE 305 DENVER, COLORADO 80206
SURVEYING: AZTEC CONSULTANTS, INC. 300 EAST MINERAL AVE., SUITE 1 LITTLETON, CO. 80122
ENGINEER: RG AND ASSOCIATES, LLC 4885 WARD ROAD, SUITE 100 WHEAT RIDGE, CO. 80033
PLANNER: VOGEL & ASSOCIATES 475 W 12TH AVENUE, SUITE E DENVER, CO 80204
BLACK HILLS ENERGY: 1769 PARK STREET CASTLE ROCK, CO 80109

SUMMARY TABLE

Table with 2 columns: LAND AREAS and ACRES. Includes rows for Subdivision Lots (63), Private Tracts A through H, Area Breakdown (Structures, Parking, Roadway, Open Space), Building Setbacks, Sides, Residential Off Street Parking, and Maximum Building Height.

*-ITEMS BASED ON THE MEADOWS PRELIMINARY P.D. SITE PLAN FOURTH AMENDMENT. **--BASED ON TOWN OF CASTLE ROCK REGULATIONS.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE DAY OF August 20, 2017.

SURVEYORS CERTIFICATE

I, DEREK S. BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

DEREK S. BROWN, REGISTERED LAND SURVEYOR, FOR AND ON BEHALF OF AZTEC CONSULTANTS INC. DATE 8-16-17.

CIVIL ENGINEERS STATEMENT

I, Gary E. Welp, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT THE GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER, DATE 08/16/17.

LIENHOLDER SUBORDINATION CERTIFICATE: THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

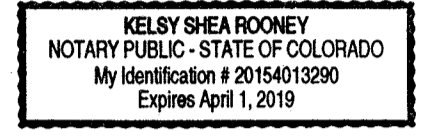
DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

SIGNED THIS 17th DAY OF August 20, 17.

NOTARY BLOCK: SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF August.

20, 17 BY John A. Fox AS Authorized Agent OF CASTLE ROCK LAND CO., LLC. WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC: Wilm Roman, MY COMMISSION EXPIRES: 4-01-19.



TOWN OF CASTLE ROCK OWNERSHIP BLOCK: THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

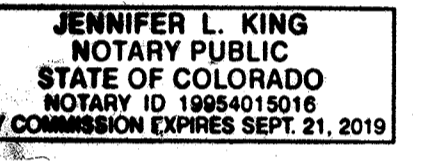
TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION BY Jennifer Green AS Mayor and BY Lisa Anderson AS Town Clerk.

SIGNED THIS 28th DAY OF August 20, 17.

NOTARY BLOCK: SUBSCRIBED AND SWORN TO BEFORE ME THIS 28 DAY OF August.

20, 17 BY Jennifer Green AS Mayor and BY Lisa Anderson AS Town Clerk. WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC: Jennifer King, MY COMMISSION EXPIRES: 9/21/2019.



OWNERSHIP CERTIFICATION: THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

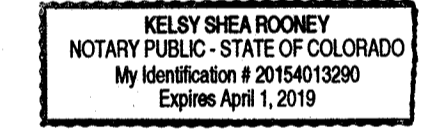
Castle Rock Development Company, a Colorado Corporation SIGNED THIS 17th DAY OF August 20, 17.

NOTARY BLOCK: SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF August.

20, 17 BY Stephanie McCandless AS President OF Castle Rock Development Company, a Colorado Corporation.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC: Wilm Roman, MY COMMISSION EXPIRES: 4-01-19.



TITLE CERTIFICATION

I, Scott Bennetts, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE: Scott Bennetts.

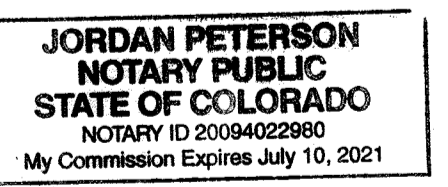
SIGNED THIS 18th DAY OF August 20, 17.

NOTARY BLOCK: SUBSCRIBED AND SWORN TO BEFORE ME THIS 18th DAY OF August.

20, 17 BY Scott Bennetts AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Co.

WITNESS MY HAND AND OFFICIAL SEAL.

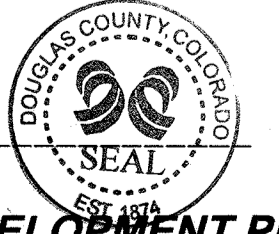
NOTARY PUBLIC: Jordan Peterson, MY COMMISSION EXPIRES: 7/10/2021.



DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE: THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK.

AND RECORDER OF DOUGLAS COUNTY AT 1:10pm ON THE 29th DAY OF Aug. 2017 AT RECEPTION NO. 2017058759.

DOUGLAS COUNTY CLERK AND RECORDER BY: Jody Blawson DEPUTY.



S:\820.0030-Perimeter Cluster\dwg\sheet=Civil_3d items defined here\SDP\site and grading plans.dwg, 7/25/2017 11:32:19 AM, 1:1, wps

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
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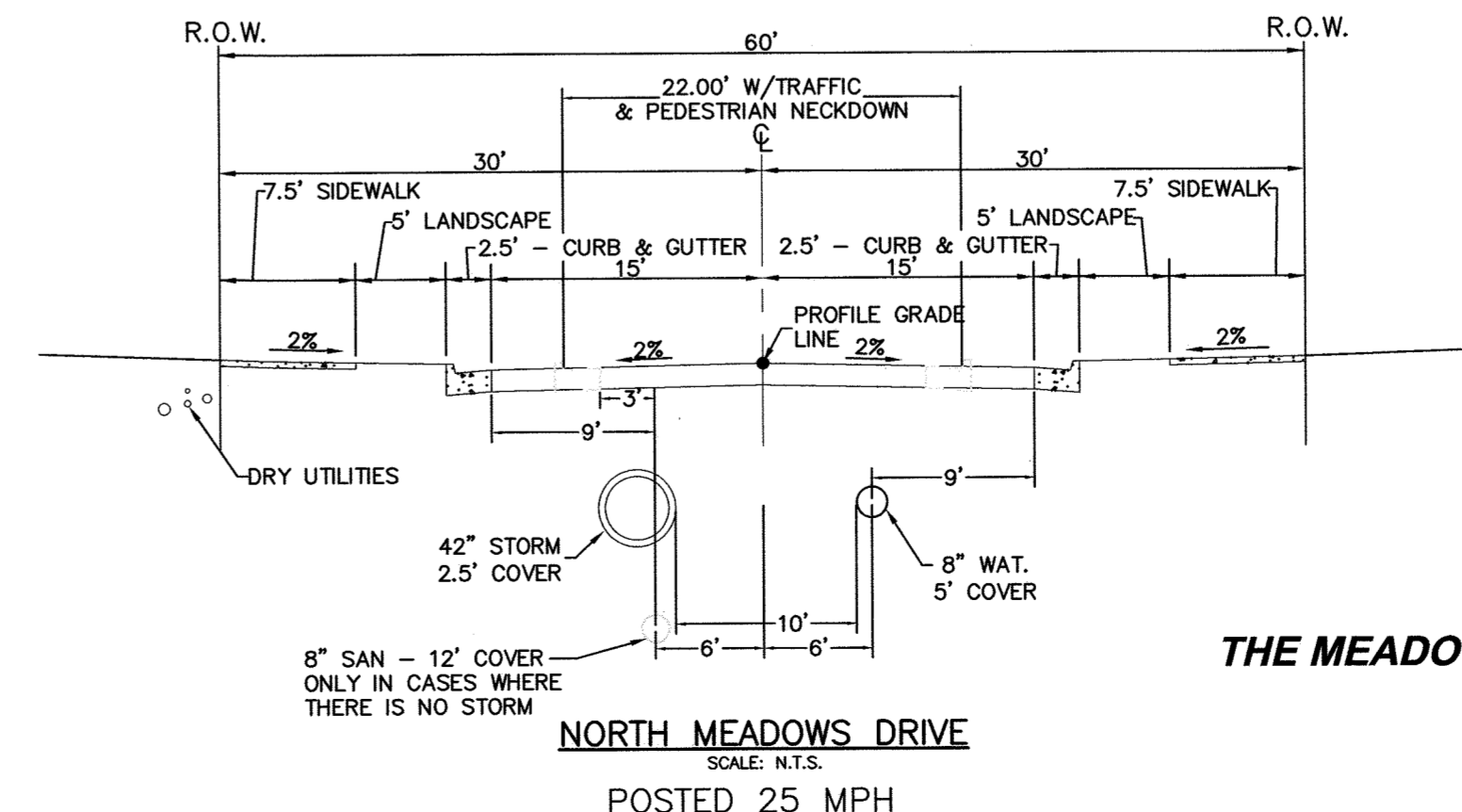
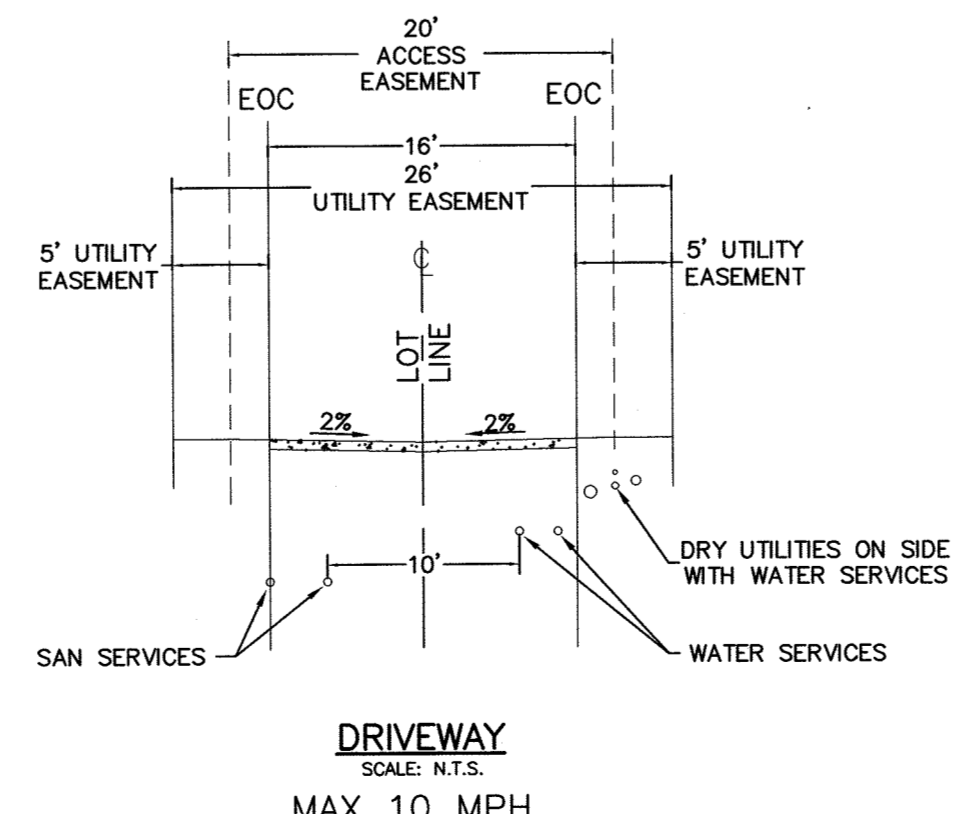
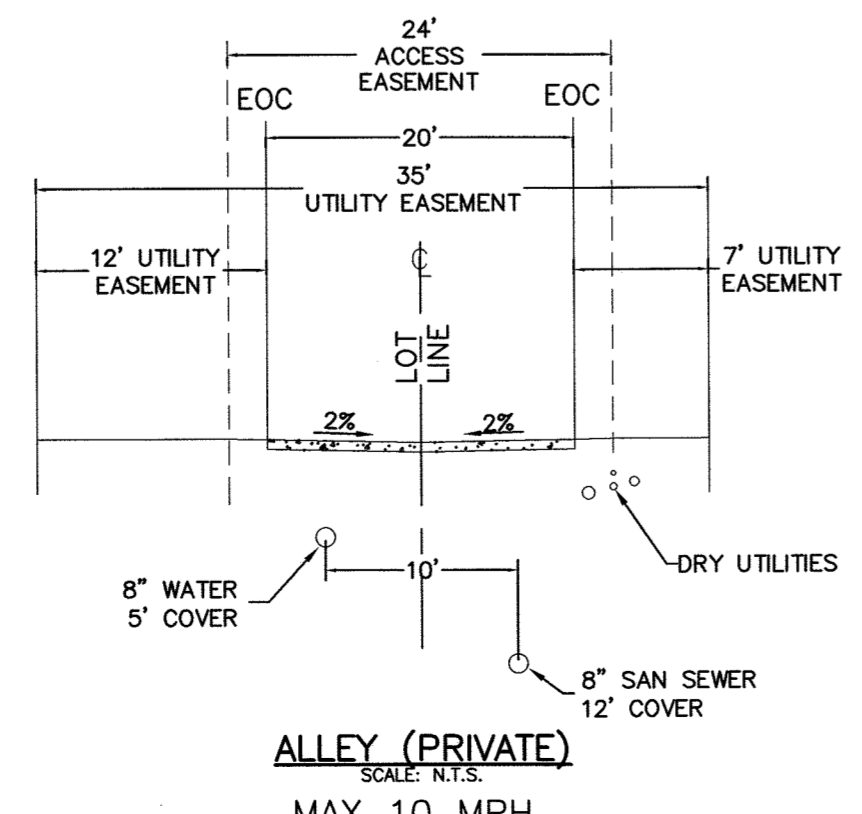
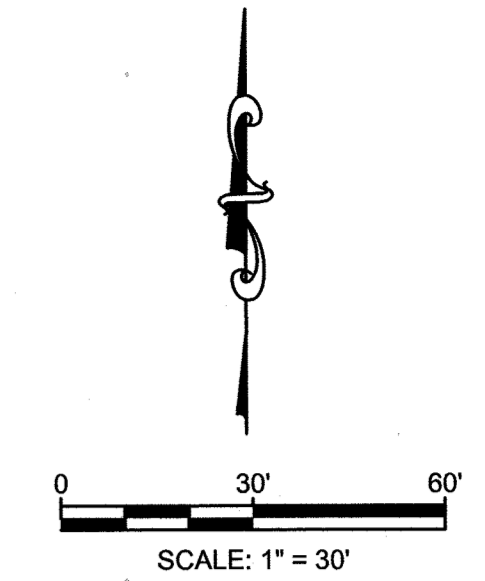
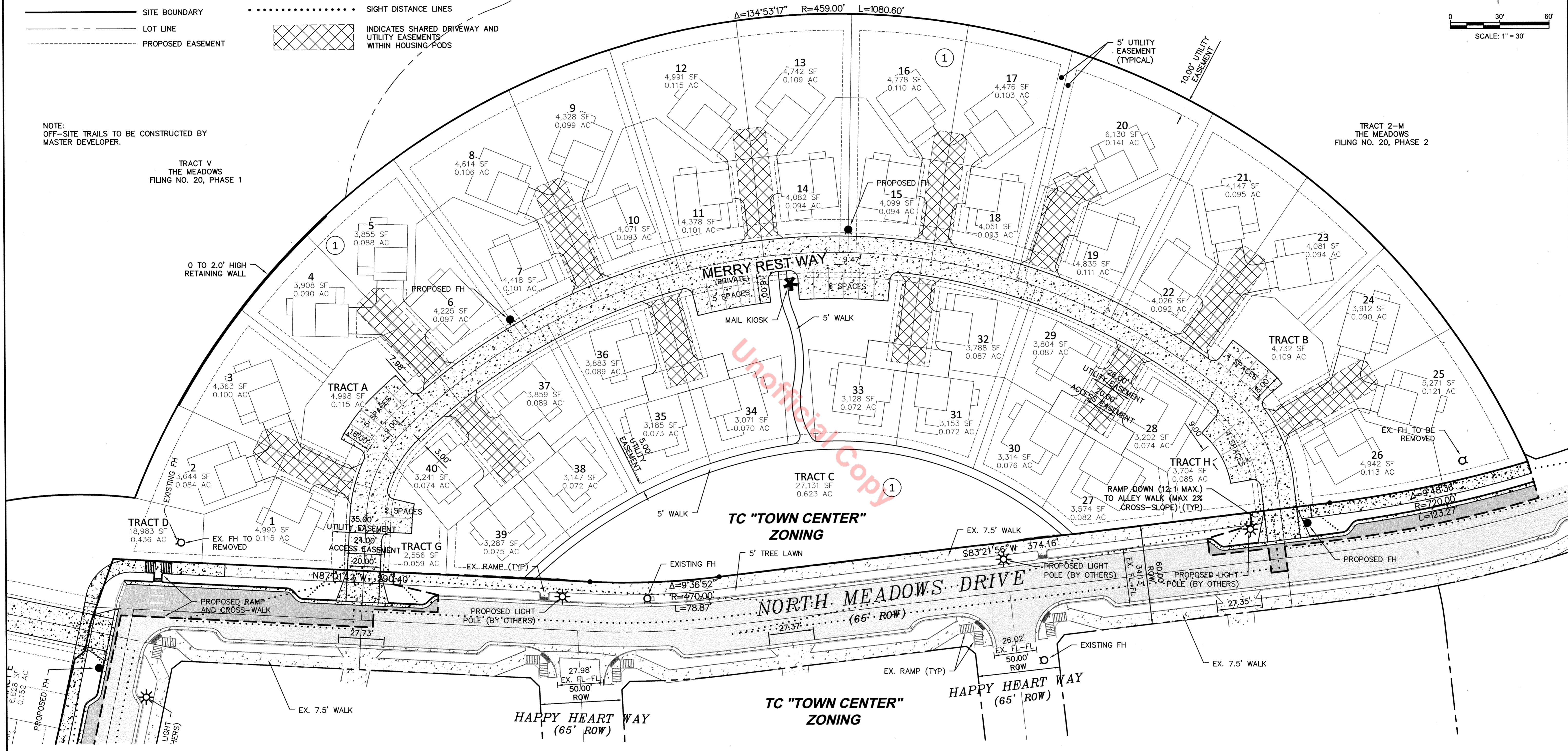
LEGEND

- | | | | |
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| | EX. ASPHALT | | STREET LIGHT (BY OTHERS) |
| | PR. ASPHALT | | PR. STREET LIGHT |
| | EX. CONCRETE | | MAIL KIOSK |
| | PR. CONCRETE | | SAFETY TRIANGLE LINES |
| | LIMITS OF CONSTRUCTION | | SIGHT DISTANCE LINES |
| | SITE BOUNDARY | | INDICATES SHARED DRIVEWAY AND UTILITY EASEMENTS WITHIN HOUSING PODS |
| | LOT LINE | | |
| | PROPOSED EASEMENT | | |

NOTE: OFF-SITE TRAILS TO BE CONSTRUCTED BY MASTER DEVELOPER.

TRACT V
THE MEADOWS
FILING NO. 20, PHASE 1

TRACT 2-M
THE MEADOWS
FILING NO. 20, PHASE 2



48 hours before you file this with the NOTIFICATION CENTER OF COLORADO (NCC) **811** Call Before You Dig. See Enclosure for City, County, and Potable Water, Gas, and Sewer Locations. **SCALE VERIFICATION** BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

| NO. | REVISIONS DESCRIPTION | DATE | BY |
|-----|-----------------------------|---------|----|
| 1 | REVISIONS PER CITY COMMENTS | 5/26/17 | |
| 2 | REVISIONS PER CITY COMMENTS | 6/29/17 | |
| 3 | REVISIONS PER CITY COMMENTS | 7/26/17 | |

RG AND ASSOCIATES, LLC
4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033
Gyrum • Loveland • Monroeville • Wheat Ridge
303-293-8107 • 303-293-8106 (fax) • www.rgassociates.com

prepared for
EYEBROW-1 SITE PLAN
Castle Rock Development Company
3033 E. First Ave., Suite 305
Denver, Colorado 80206

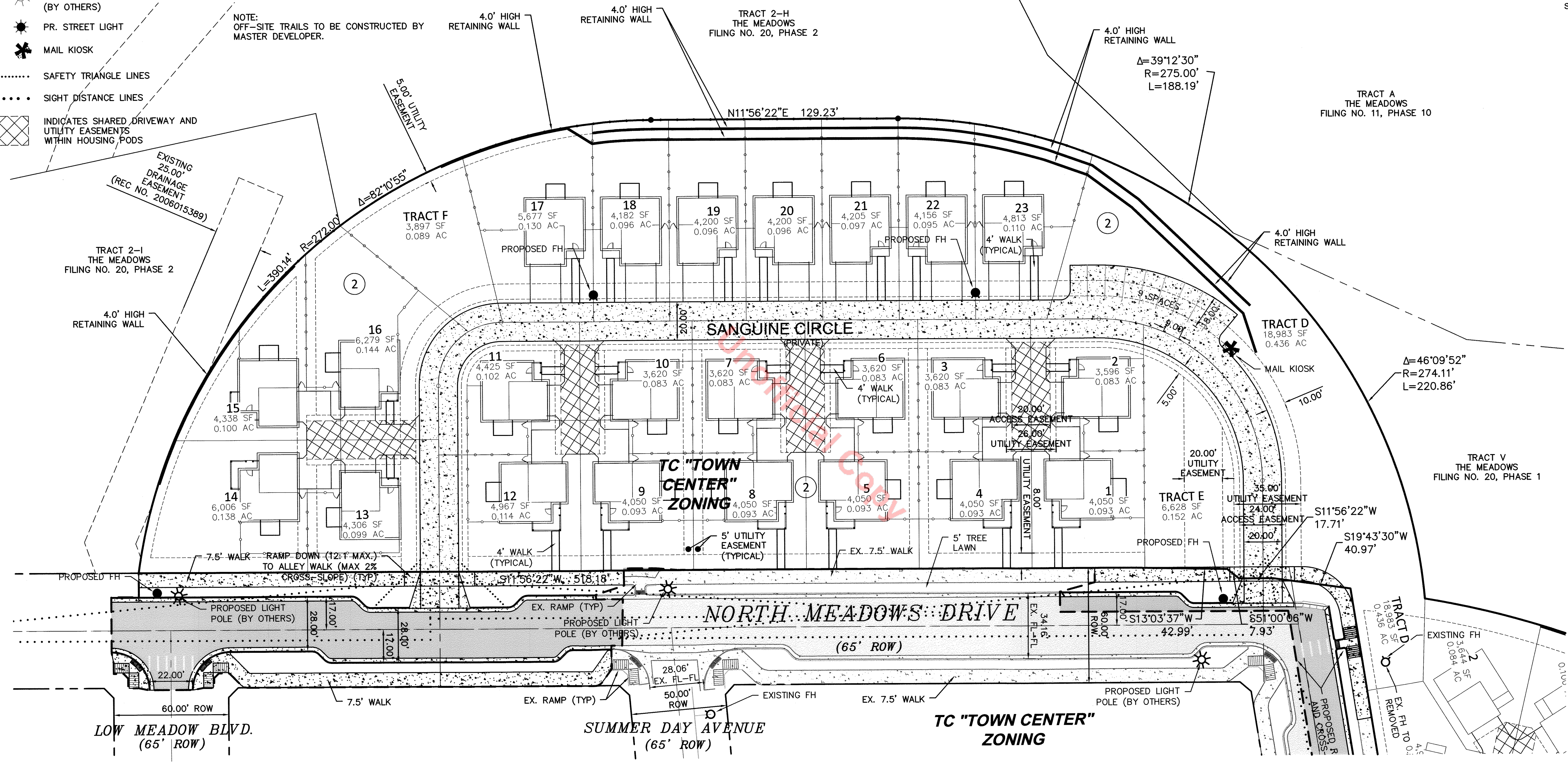
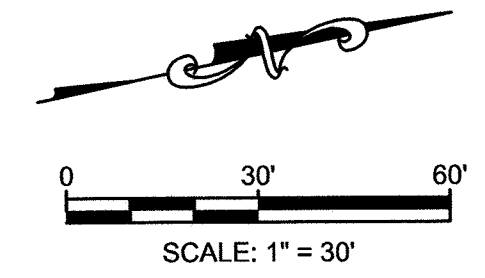
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| DATE: MAY, 2016 | |
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| DRAWING NAME: THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 Project No. SDP17-0013 SHEET NO. 2 OF 12 - SITE PLAN | |
| SHEET NO: 2 | of 12 |

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

- EX. ASPHALT
- PR. ASPHALT
- EX. CONCRETE
- PR. CONCRETE
- LIMITS OF CONSTRUCTION
- SITE BOUNDARY
- LOT LINE
- PROPOSED EASEMENT
- STREET LIGHT (BY OTHERS)
- PR. STREET LIGHT
- MAIL KIOSK
- SAFETY TRIANGLE LINES
- SIGHT DISTANCE LINES
- INDICATES SHARED DRIVEWAY AND UTILITY EASEMENTS WITHIN HOUSING PODS



NOTE:
OFF-SITE TRAILS TO BE CONSTRUCTED BY
MASTER DEVELOPER.

811
 Gas Electric Telephone Cable and
 Firehydrant Eastern Pipeline Locations
 SCALE VERIFICATION
 BAR IS ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY

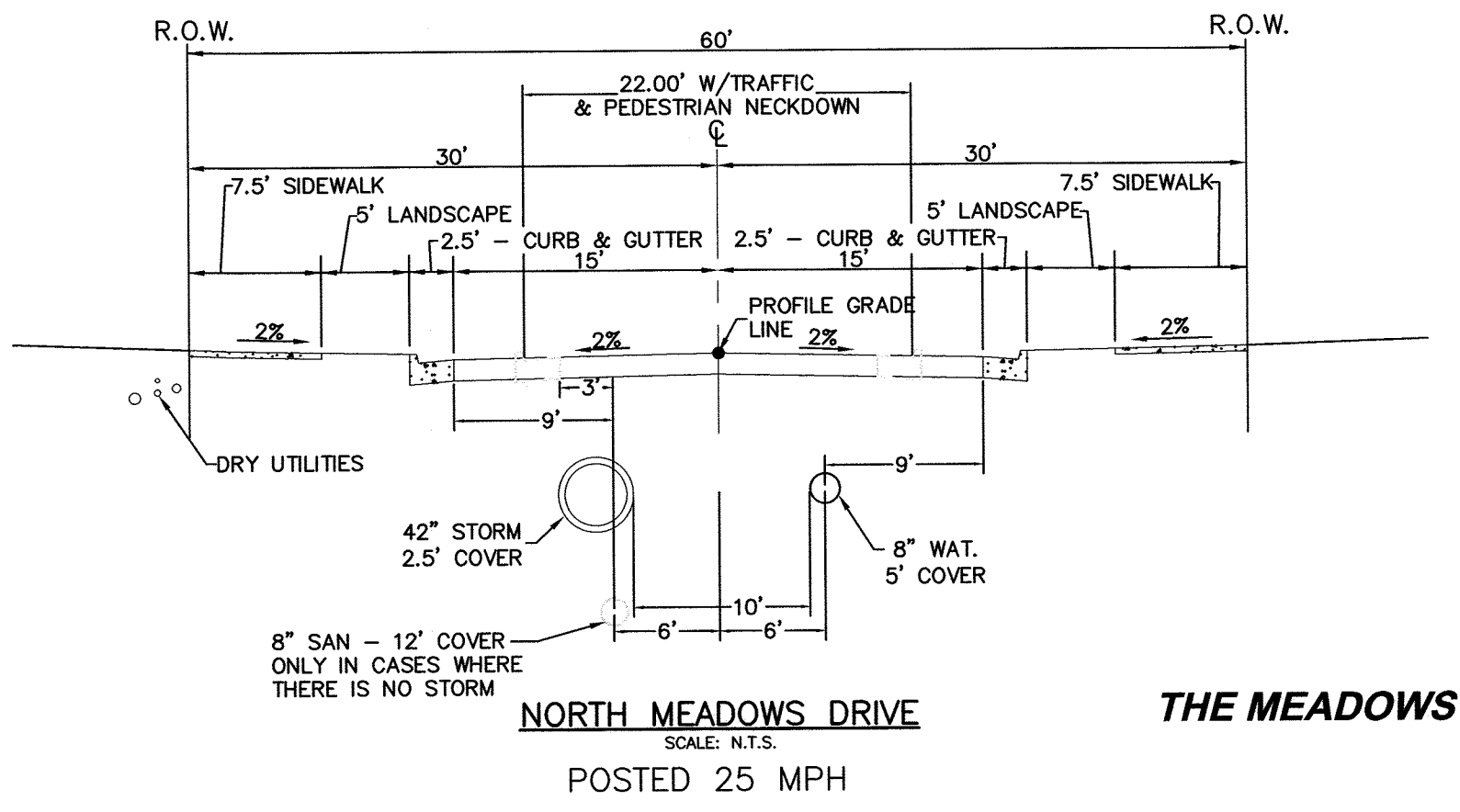
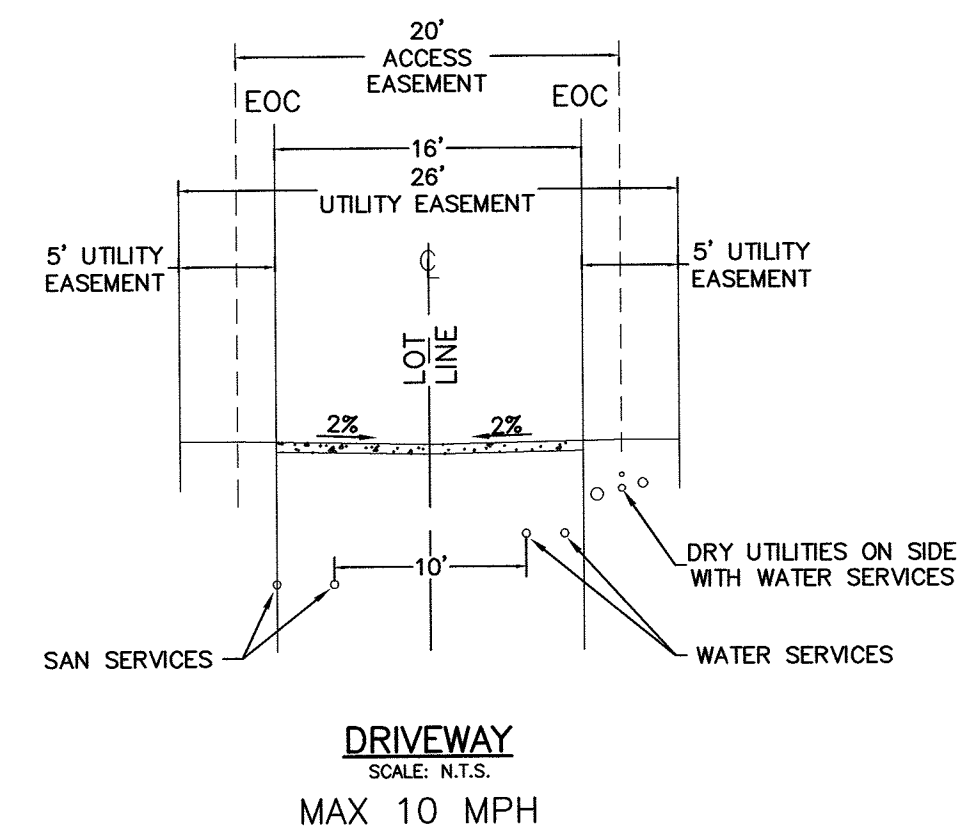
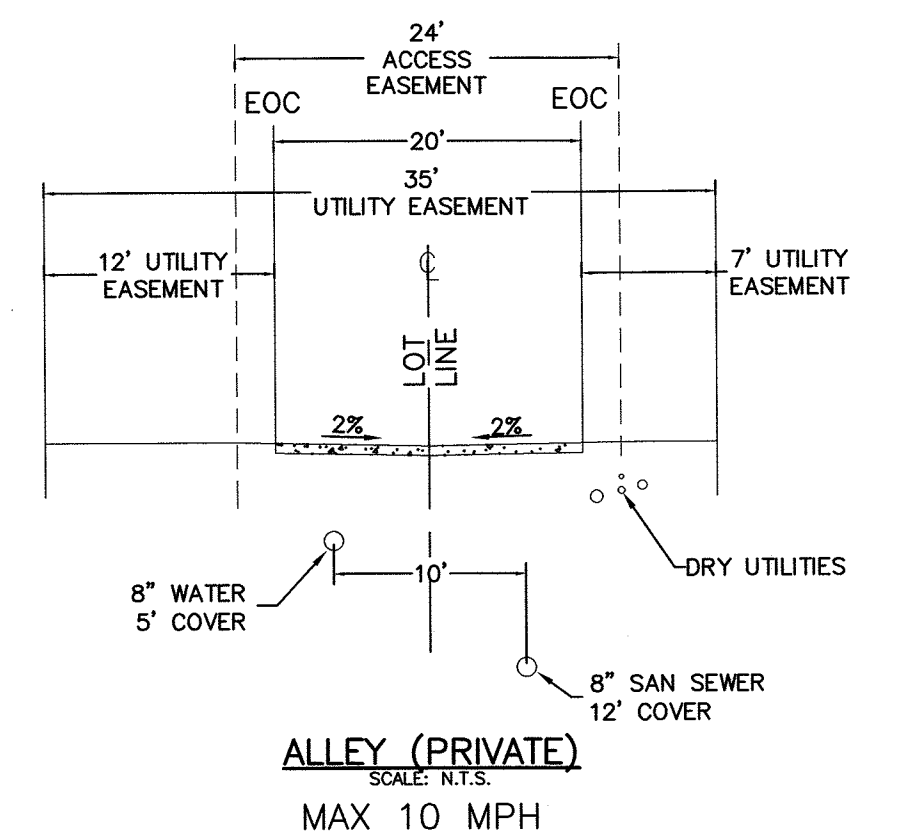
| REVISIONS | |
|-----------|-------------------------------------|
| NO. | DESCRIPTION |
| 1 | REVISIONS PER CITY COMMENTS 5/26/17 |
| 2 | REVISIONS PER CITY COMMENTS 6/29/17 |
| 3 | REVISIONS PER CITY COMMENTS 7/26/17 |

RG AND ASSOCIATES, LLC

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Gypsum • Loveland • Monte Vista • Wheat Ridge
303-293-8107 • 303-993-8106 (fax) • www.rgassociates.com

**EYEBROW-2
SITE PLAN**

prepared for
Castle Rock Development Company
3033 E. First Ave., Suite 305
Denver, Colorado 80206

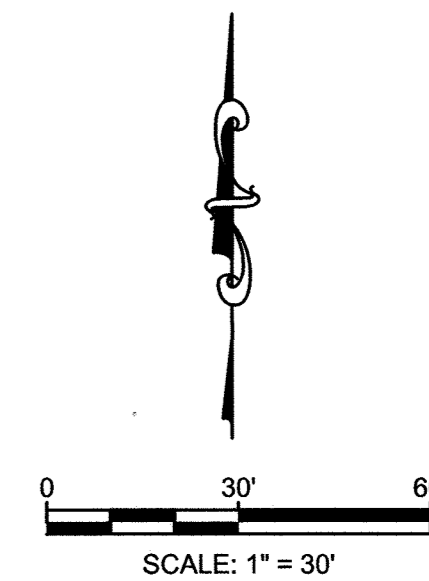


**THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN,
AMENDMENT NO. 7
Project No. SDP17-0013
SHEET 3 OF 12 - SITE PLAN**

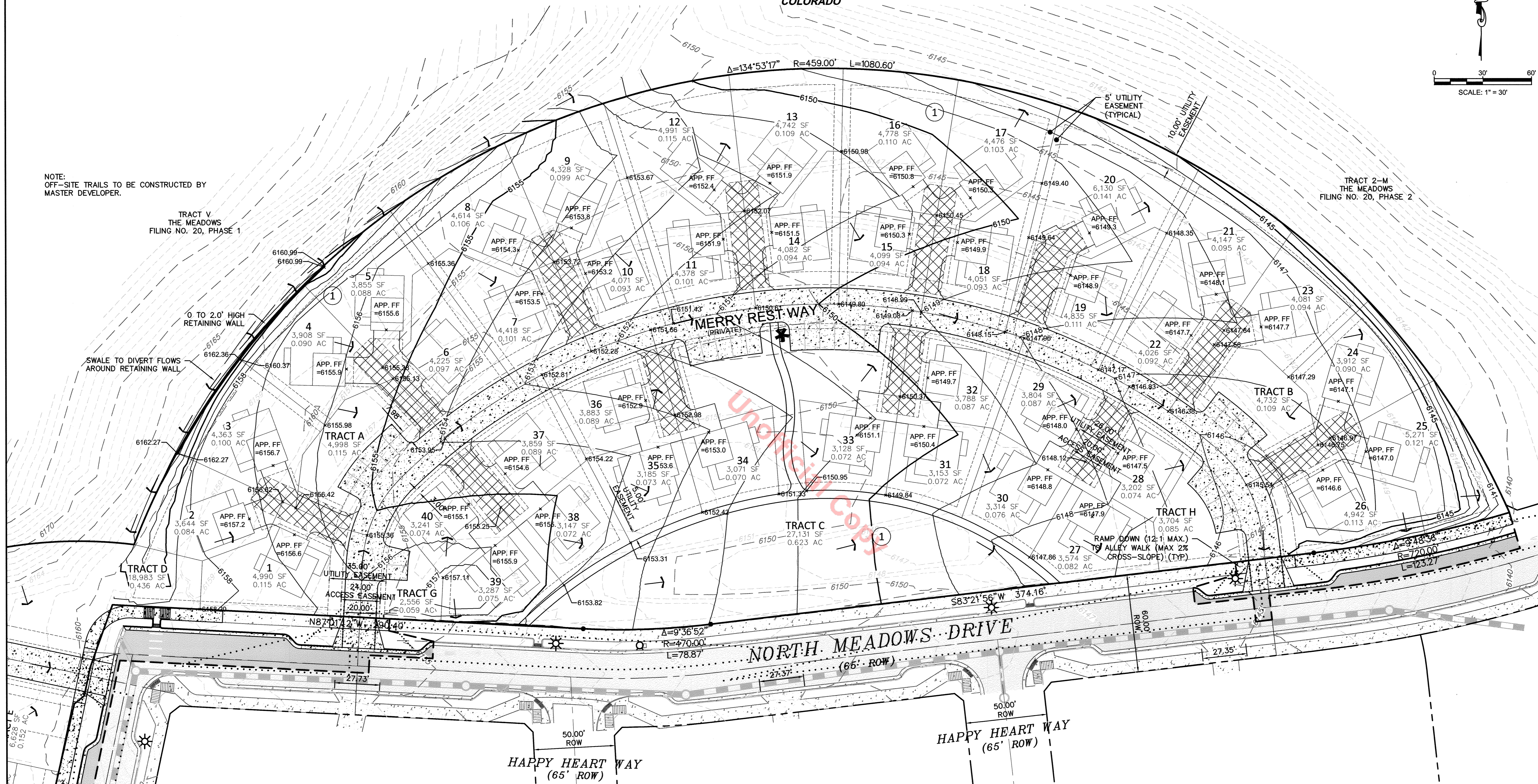
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| JOB NUMBER: 820.0030 | |
| DATE: MAY, 2016 | |
| SCALE: 1" = 30' | |
| DRAWING NAME: | |
| SHEET NO: 3 | of 12 |

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COLORADO



NOTE:
OFF-SITE TRAILS TO BE CONSTRUCTED BY
MASTER DEVELOPER.



| LEGEND | |
|--------|-------------------------|
| | EX. ASPHALT |
| | PR. ASPHALT |
| | PR. CONCRETE ALLEY |
| | PR. CURB CUT & SIDEWALK |
| | LIMITS OF CONSTRUCTION |
| | EX. CONTOURS |
| | PR. CONTOURS |
| | PR. FLOW DIRECTION |

| | |
|---------------------|---|
| 811 | NOTICE CENTER OF COLORADO (UNCC) |
| 811 | Gas, Electric, Telephone, CATV and Pneumatics Eastern, Pipeline Locations |
| SCALE: VERIFICATION | BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY |

| NO. | REVISIONS | DATE | BY |
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Gypsum • Loveland • Monte Vista • Wheat Ridge
303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com

**EYEBROW-1
GRADING PLAN**

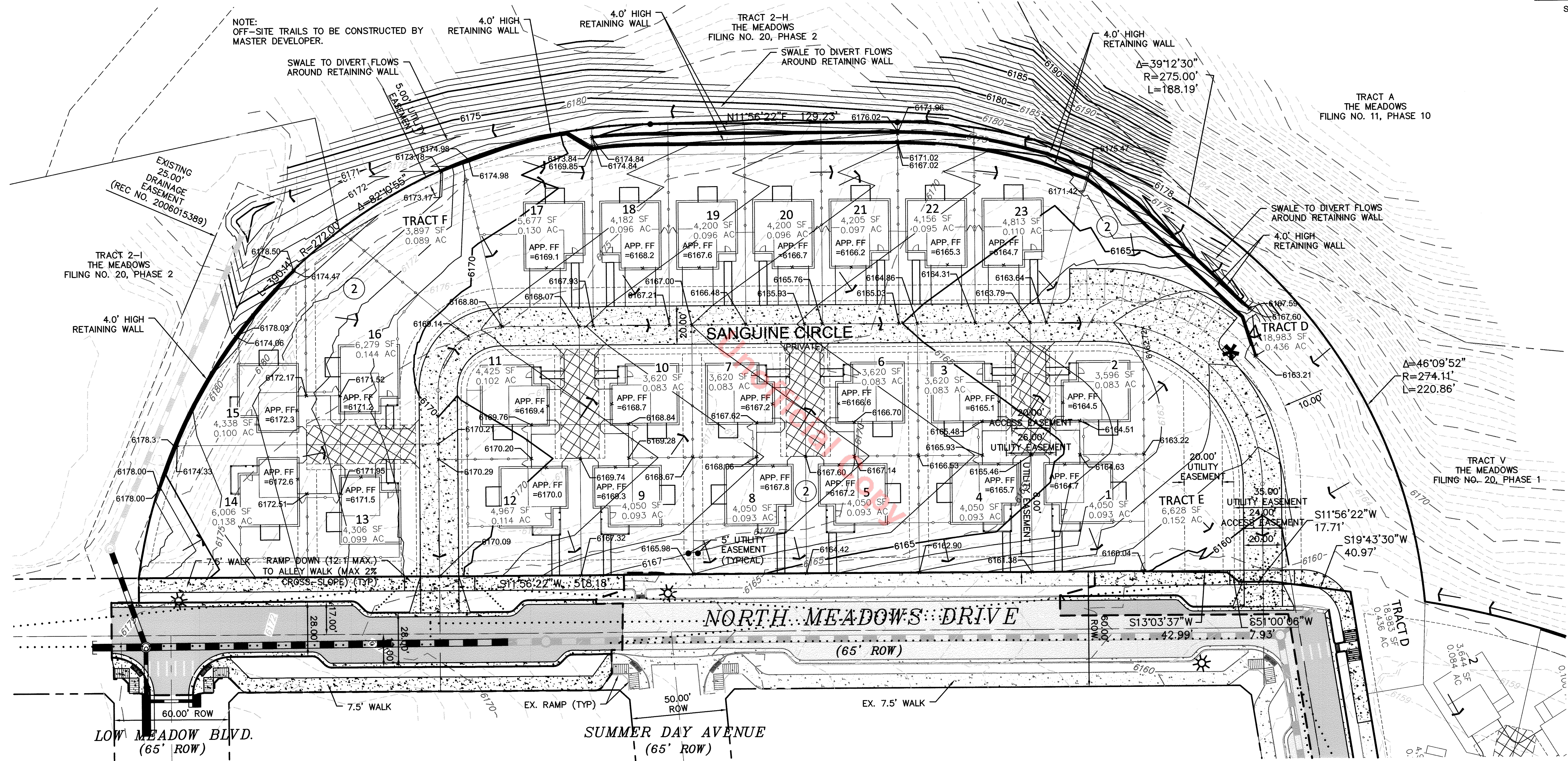
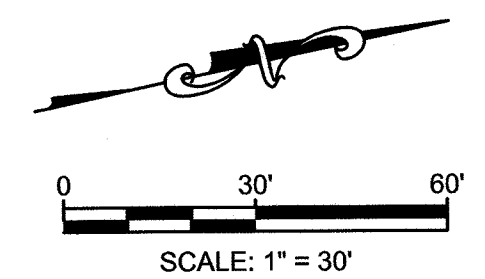
Prepared for:
Castle Rock Development Company
3033 E. First Ave. Suite 305
Denver, Colorado 80206

| | |
|-------------------------|--------------|
| DRAWN BY: | DESIGNED BY: |
| JOB NUMBER: 820.0030 | |
| DATE: MAY, 2016 | |
| SCALE: 1" = 30' | |
| DRAWING NAME: | |
| SHEET NO: 4 | of 12 |

S:\820.0030-Perimeter Cluster.dwg\sheets-Civil_3d Items defined here\SDP\site and grading plans.dwg, 7/25/2017 11:31:38 AM, 1:1, wcm

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COLORADO



LEGEND

| | |
|--|-------------------------|
| | EX. ASPHALT |
| | PR. ASPHALT |
| | PR. CONCRETE ALLEY |
| | PR. CURB CUT & SIDEWALK |
| | LIMITS OF CONSTRUCTION |
| | EX. CONTOURS |
| | PR. CONTOURS |
| | PR. FLOW DIRECTION |

NOTE:
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MASTER DEVELOPER.

48 Hours before use, call UTILITY
NOTIFICATION CENTER OF COLORADO (UNCC)
811
Gas, Electric, Telephone, CATV, and
Pneumatics Eastern Pipeline Locations
SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
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| 1 | REVISIONS PER CITY COMMENTS | | 5/26/17 | |
| 2 | REVISIONS PER CITY COMMENTS | | 6/29/17 | |
| 3 | REVISIONS PER CITY COMMENTS | | 7/26/17 | |

RG AND ASSOCIATES, LLC
4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033
Gypsum • Loveland • Monte Vista • Wheat Ridge
303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com

**EYEBROW-2
GRADING PLAN**

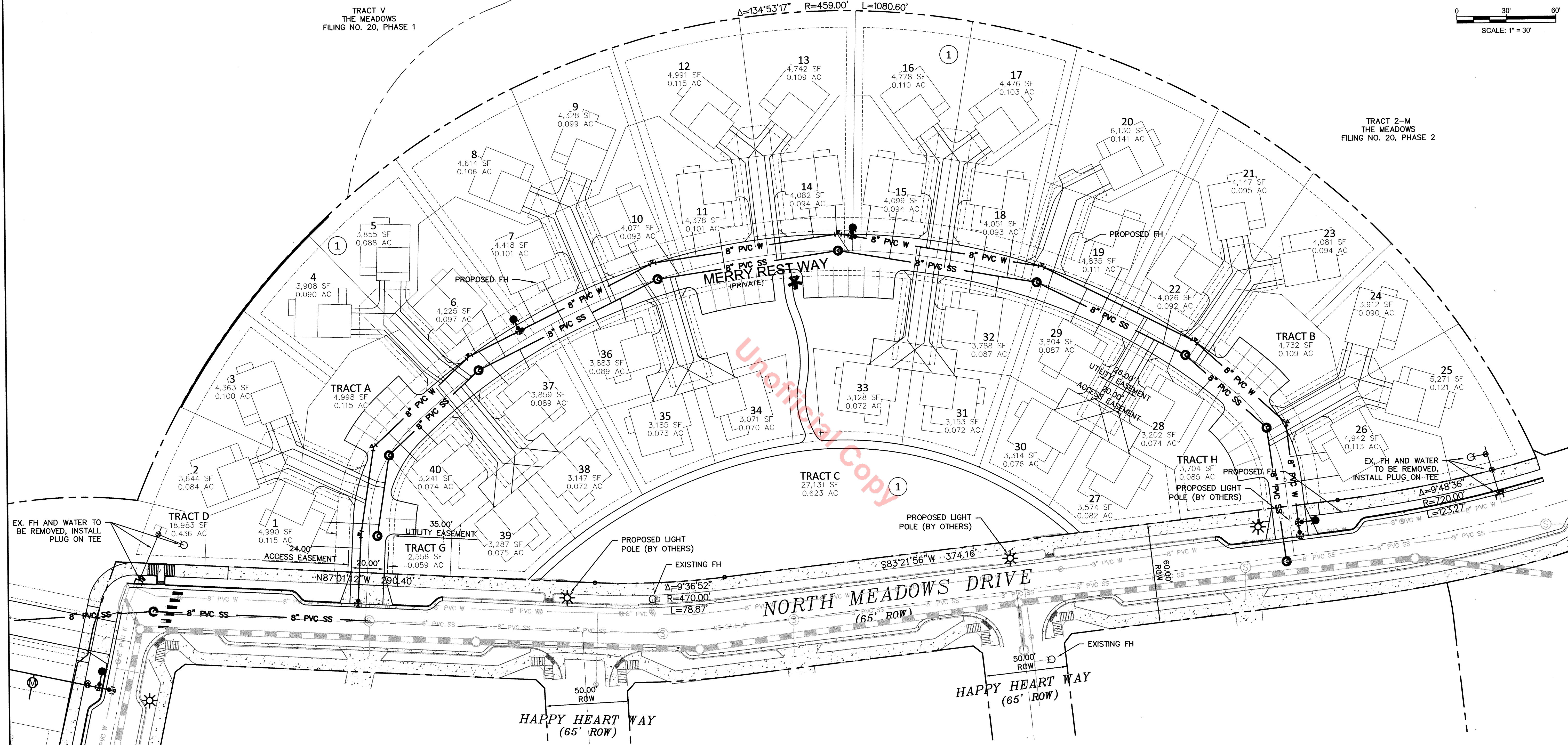
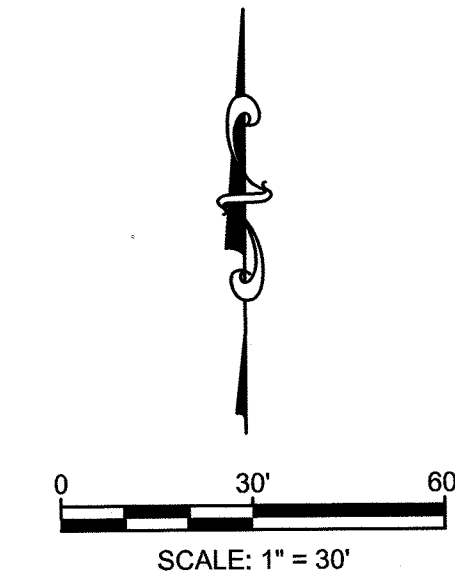
prepared for
Castle Rock Development Company
3039 E. First Ave., Suite 305
Denver, Colorado 80206

| | |
|-------------------------|--------------|
| DRAWN BY: | DESIGNED BY: |
| JOB NUMBER: 820.0030 | |
| DATE: MAY, 2016 | |
| SCALE: 1"=30' | |
| DRAWING NAME: | |
| SHEET NO: 5 | of 12 |

S:\820.0030-Perimeter Cluster\dwg\Sheets-Civil_3d Items defined here\SDP\site and grading plans.dwg, 7/25/2017 11:31:10 AM, 1:1, wpm

**THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
COLORADO



TRACT V
THE MEADOWS
FILING NO. 20, PHASE 1

TRACT 2-M
THE MEADOWS
FILING NO. 20, PHASE 2

TRACT A
4,998 SF
0.115 AC

TRACT C
27,131 SF
0.623 AC

TRACT B
4,732 SF
0.109 AC

TRACT H
3,704 SF
0.085 AC

TRACT D
18,983 SF
0.436 AC

TRACT G
2,556 SF
0.059 AC

S:\820.0030-Perimeter Cluster\Map\Sheets-Civil 3d Items defined here_SDP Utility plans.dwg, 7/25/2017 11:33:50 AM, 1:1, wpm

LEGEND

| | | | |
|--|-----------------------------|--|-------------------------|
| | EX. ASPHALT | | PR. ASPHALT |
| | EX. STORM | | PR. CONCRETE ALLEY |
| | EX. SANITARY | | PR. CURB CUT & SIDEWALK |
| | EX. WATER | | PR. STORM |
| | STREET LIGHT (BY OTHERS) | | PR. SANITARY |
| | | | PR. WATER |
| | | | PR. SANITARY SERVICE |
| | | | PR. WATER SERVICE |
| | | | PR. STREET LIGHT |

UTILITY NOTES

- 1) ALL REQUIRED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 2) THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- 3) THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 2 FEET. THIS IS ONLY FOR MEADOWS FILING NO. 20 PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN) LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
- 4) THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW PRESSURE ZONE.
- 5) TOWN OF CASTLE ROCK WILL REPAIR SERVICE LEAKS BETWEEN THE CORPORATION STOP AND THE INLET TO THE CURB STOP ONLY. OWNER IS RESPONSIBLE FOR ALL OTHER SERVICE LINE REPAIRS OR REPLACEMENT FROM THE CORPORATION STOP ON THE WATER MAIN IN THE STREET.

811
Call before you dig. CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)
Gas, Electric, Telephone, Cable, and
Pneumatic Eastern Pipeline Locations
SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ON THIS SHEET
ADJUST SCALES ACCORDINGLY

| NO. | REVISIONS | DESCRIPTION | DATE | BY |
|-----|-----------------------------|-------------|---------|----|
| 1 | REVISIONS PER CITY COMMENTS | | 5/26/17 | |
| 2 | REVISIONS PER CITY COMMENTS | | 6/29/17 | |
| 3 | REVISIONS PER CITY COMMENTS | | 7/26/17 | |

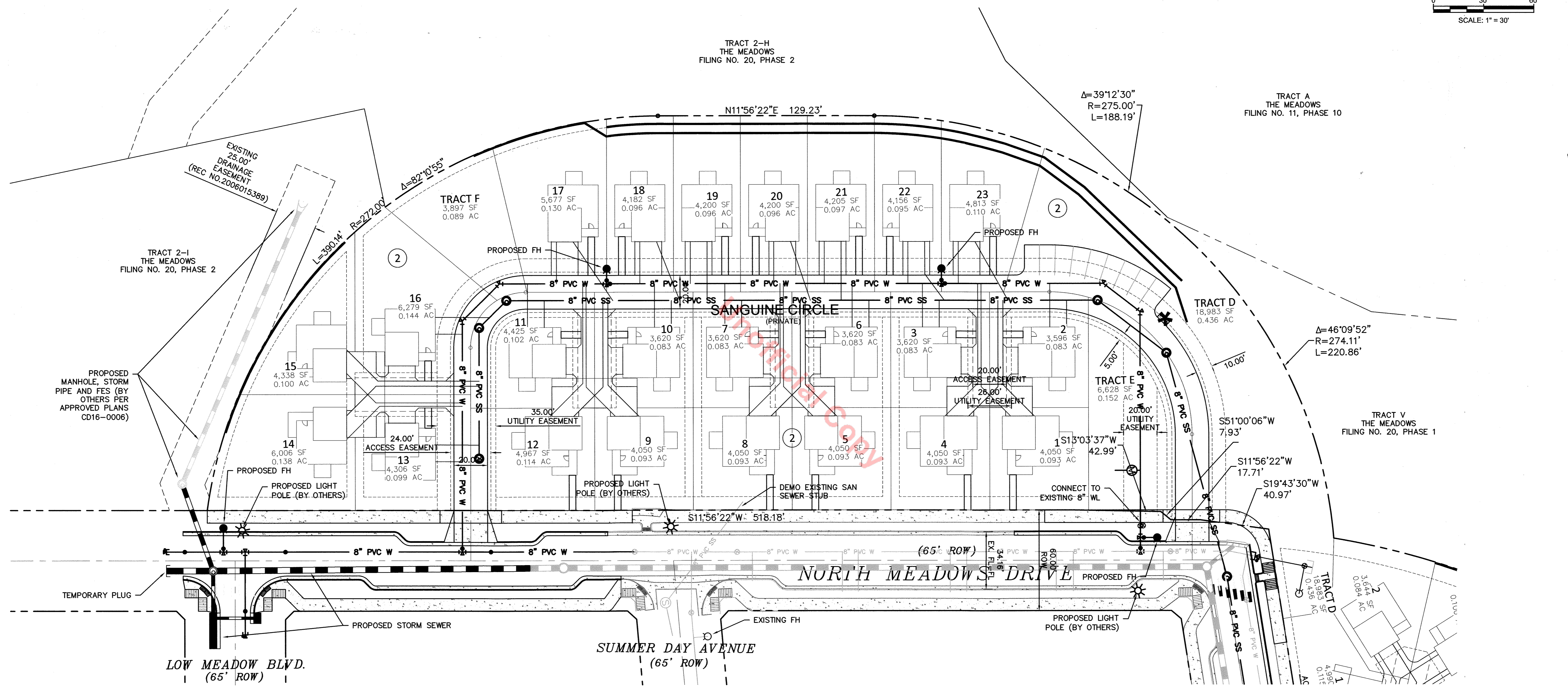
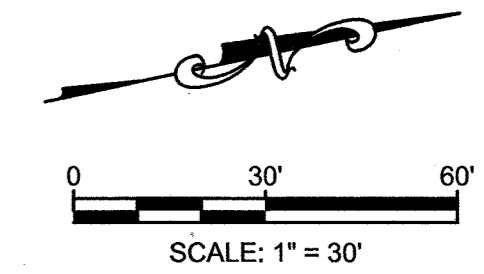
ERG AND ASSOCIATES, LLC
4885 Ward Road, Suite 100 - Wheat Ridge, CO 80033
Gypsum - Loveland - Monte Vista - Wheat Ridge
303-293-8107 • 303-293-8106 (fax) • www.ergassociates.com

**EYEBROW-1
OVERALL UTILITIES**
Prepared for
Castle Rock Development Company
3033 E. First Ave., Suite 305
Denver, Colorado 80206

| | |
|-------------------------|--------------|
| DRAWN BY: | DESIGNED BY: |
| JOB NUMBER: 820.0030 | |
| DATE: MAY, 2016 | |
| SCALE: 1"=30' | |
| DRAWING NAME: | |
| SHEET NO: 6 | of 12 |

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
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COLORADO



| LEGEND | |
|--------|--------------------------|
| | EX. ASPHALT |
| | EX. STORM |
| | EX. SANITARY |
| | EX. WATER |
| | STREET LIGHT (BY OTHERS) |
| | PR. ASPHALT |
| | PR. CONCRETE ALLEY |
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| | PR. STORM |
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| | PR. WATER |
| | PR. SANITARY SERVICE |
| | PR. WATER SERVICE |
| | PR. STREET LIGHT |

UTILITY NOTES

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48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**
 One Electric Telephone Only and Position
SCALE: VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

| NO. | REVISIONS | DESCRIPTION | DATE | BY |
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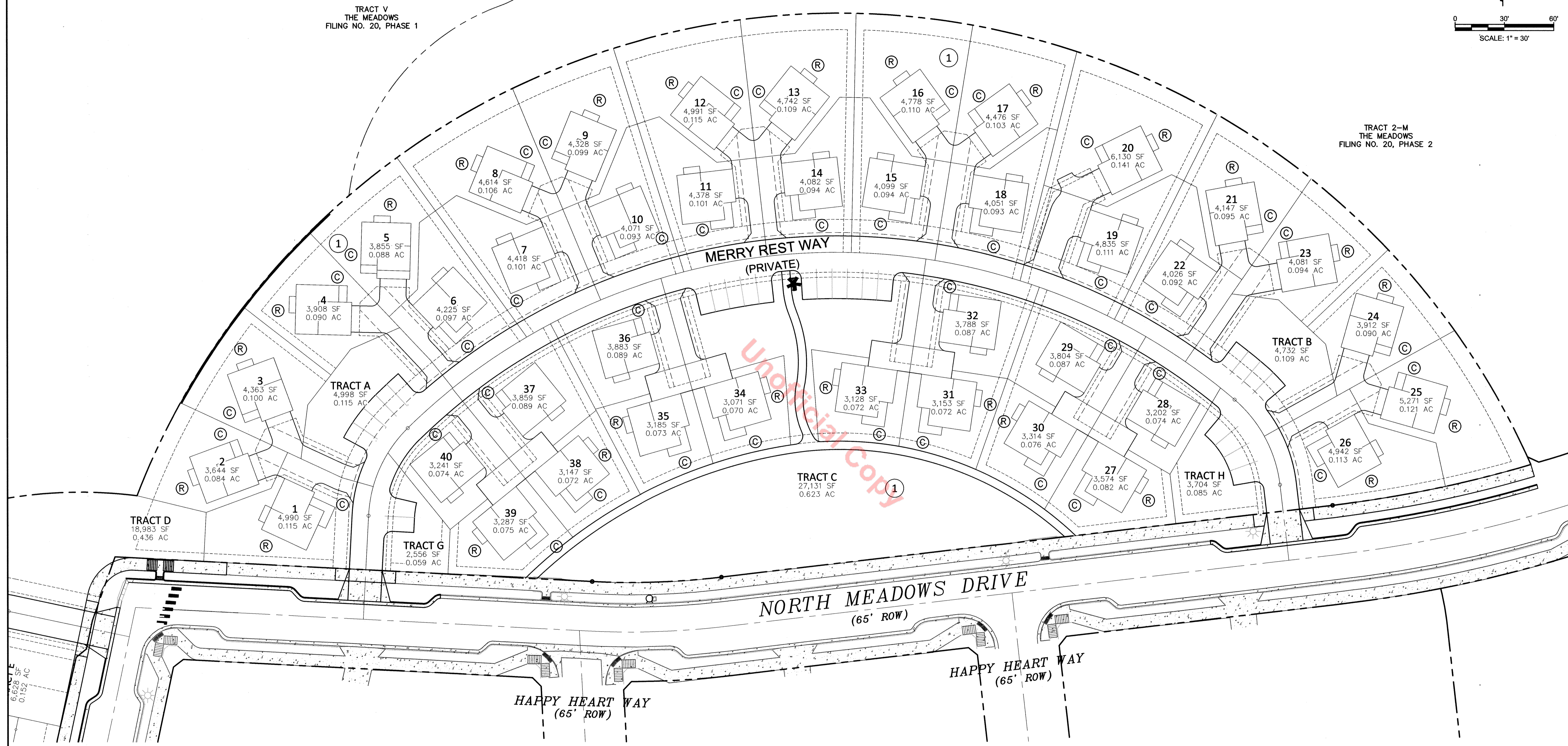
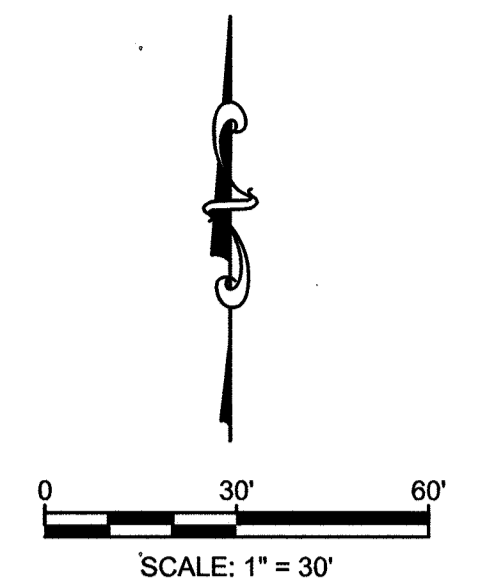
EYEBROW-2
OVERALL UTILITIES
 prepared for
Castle Rock Development Company
 3033 E. First Ave. Suite 305
 Denver, Colorado 80206

| | |
|-------------------------|--------------|
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| DATE: MAY, 2016 | |
| SCALE: 1"=30' | |
| DRAWING NAME: | |
| SHEET NO: 7 | of 12 |

S:\820.0030-Perimeter-Customer\Drawings\Sheets-Civil_3d\Items defined here\SDP_Vis_Vis\ict_designations.dwg, 7/25/2017 11:30:45 AM, E.L. wpm

**THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
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COLORADO



TRACT V
THE MEADOWS
FILING NO. 20, PHASE 1

TRACT 2-M
THE MEADOWS
FILING NO. 20, PHASE 2

TRACT D
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0.436 AC

TRACT A
4,998 SF
0.115 AC

TRACT G
2,556 SF
0.059 AC

TRACT C
27,131 SF
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TRACT B
4,732 SF
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TRACT H
3,704 SF
0.085 AC


SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS – AMENDED ONLY AS TO THE PROPERTY
SUBJECT TO THIS SITE DEVELOPMENT PLAN

1. Lots designated with a © represent "corner condition" lots. Dwelling units built on these lots are required to have a wrap-around front porch detail on both the front and side elevation.
2. Lots designated with a ® represent "rear condition" lots. Dwelling units built on these lots are required to have enhanced rear elevation architectural details including a minimum of two architectural details that break the main plain of the rear elevation.
3. Lots designated with an © represent "side condition" lots. Dwelling units built on these lots are required to have enhanced side elevation architectural details that are judged by Castle Rock Development Company to be substantial and appropriate such lots.

All other Single Family Residential Development Standards as set forth on The Meadows Filing No. 20 Preliminary Plat/Final PD Site Plan are applicable.

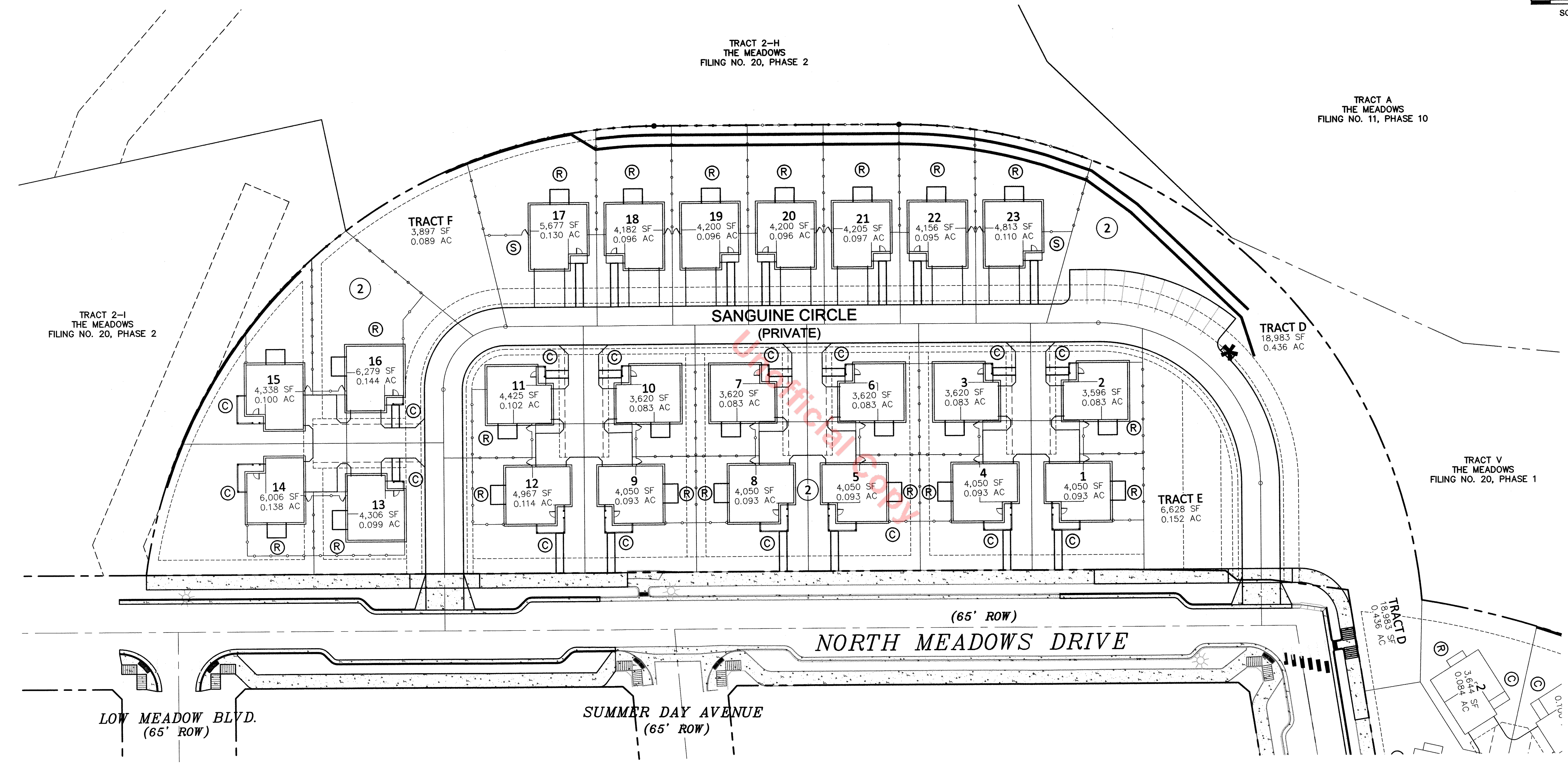
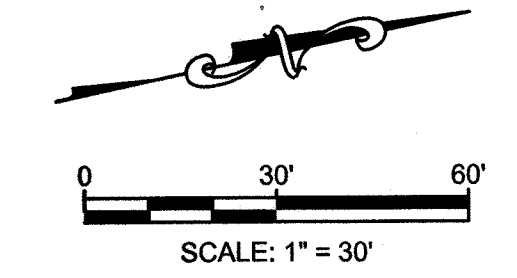
NOTE: In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan – Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan – Fourth Amendment shall govern development of the property, except as otherwise provided in the Meadows (Fourth Amendment) development agreement.

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7
Project No. SDP17-0013
SHEET 8 OF 12 - KEY LOT DESIGNATIONS

| | |
|--|---|
| 48 hours before you file, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) | |
| 811 Gas, Electric, Telephone, CATV and Potable Water, Sewer, Pipeline Locations | |
| SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY | |
| REVISIONS NO. DESCRIPTION 1 REVISIONS PER CITY COMMENTS 2 REVISIONS PER CITY COMMENTS 3 REVISIONS PER CITY COMMENTS | BY DATE 5/26/17 6/29/17 7/26/17 |
|  RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com | |
| EYEBROW-1 KEY LOT DESIGNATIONS Prepared for: Castle Rock Development Company 3038 E. Fitzcarrald Denver, Colorado 80206 | |
| DRAWN BY: | DESIGNED BY: |
| JOB NUMBER: 820.0030 | |
| DATE: MAY, 2016 | |
| SCALE: 1"=30' | |
| DRAWING NAME: | |
| SHEET NO: 8 of 12 | |

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

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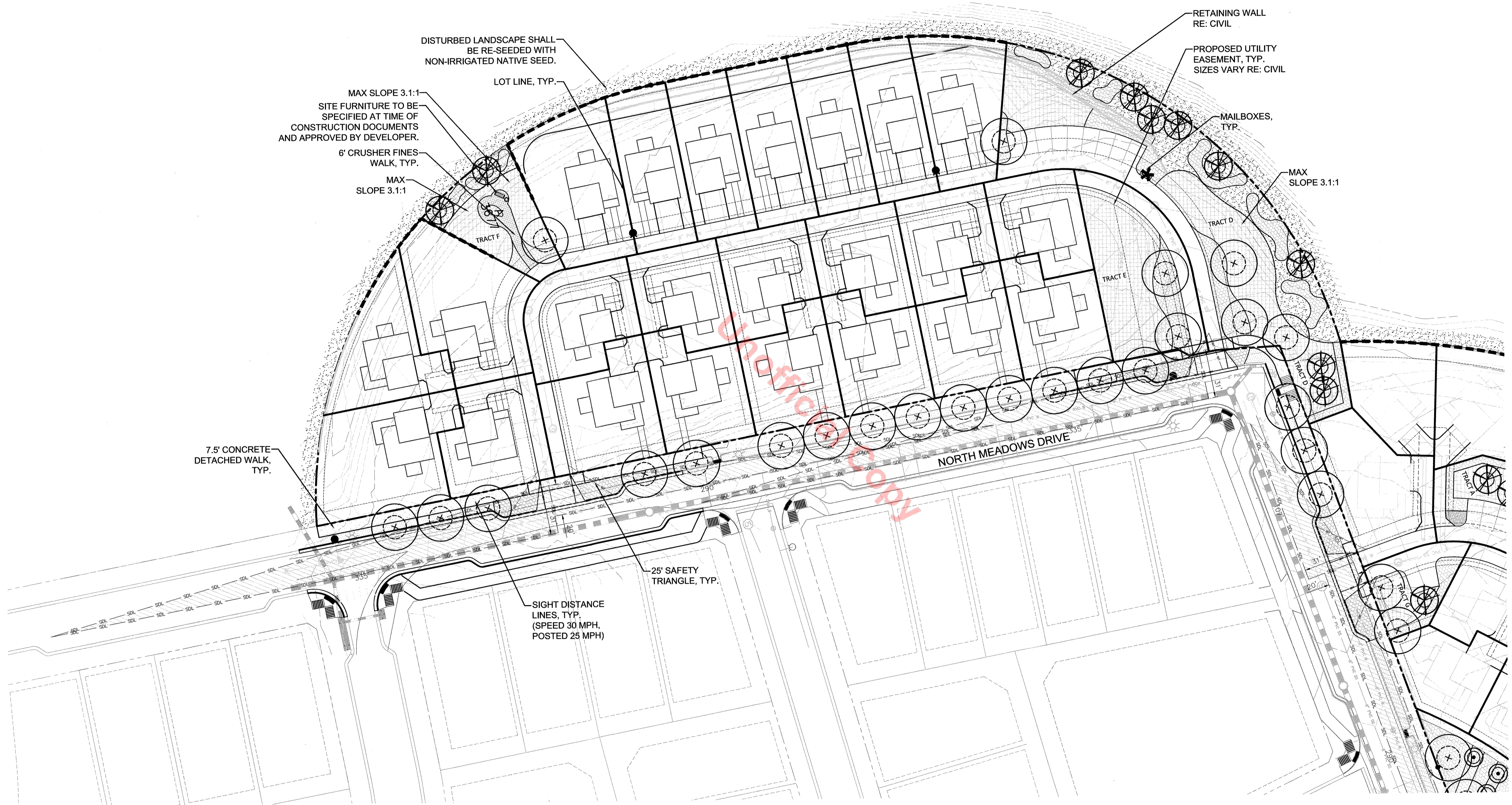
THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7
Project No. SDP17-0013

SHEET 9 OF 12 - KEY LOT DESIGNATIONS

| <p>48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)</p> <p style="font-size: 24pt; font-weight: bold;">811</p> <p style="font-size: 8pt;">Gas, Electric, Telephone, CATV and Potable, Eastern Pipeline, Locations</p> <p style="font-size: 8pt;">SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p> | | | | | | | | | | | | | | | | | |
|--|---|-----------------------|------|----|---|-----------------------------|---------|--|---|-----------------------------|---------|--|---|-----------------------------|---------|--|---|
| <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">REVISIONS DESCRIPTION</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td>REVISIONS PER CITY COMMENTS</td> <td style="text-align: center;">5/26/17</td> <td></td> </tr> <tr> <td style="text-align: center;">2</td> <td>REVISIONS PER CITY COMMENTS</td> <td style="text-align: center;">6/29/17</td> <td></td> </tr> <tr> <td style="text-align: center;">3</td> <td>REVISIONS PER CITY COMMENTS</td> <td style="text-align: center;">7/26/17</td> <td></td> </tr> </tbody> </table> | NO. | REVISIONS DESCRIPTION | DATE | BY | 1 | REVISIONS PER CITY COMMENTS | 5/26/17 | | 2 | REVISIONS PER CITY COMMENTS | 6/29/17 | | 3 | REVISIONS PER CITY COMMENTS | 7/26/17 | | <p style="font-size: 12pt; font-weight: bold;">RG AND ASSOCIATES, LLC</p> <p style="font-size: 8pt;">4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com</p> <hr/> <p style="font-size: 10pt; font-weight: bold;">EYEBROW-2 KEY LOT DESIGNATIONS</p> <p style="font-size: 8pt;">prepared for Castle Rock Development Company 3033 E. First Ave., Suite 305 Denver, Colorado 80206</p> |
| NO. | REVISIONS DESCRIPTION | DATE | BY | | | | | | | | | | | | | | |
| 1 | REVISIONS PER CITY COMMENTS | 5/26/17 | | | | | | | | | | | | | | | |
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| 3 | REVISIONS PER CITY COMMENTS | 7/26/17 | | | | | | | | | | | | | | | |
| <p>DRAWN BY:</p> <p>DESIGNED BY:</p> | <p>JOB NUMBER: 820.0030</p> <p>DATE: MAY, 2016</p> <p>SCALE: 1"=30'</p> <p>DRAWING NAME:</p> <p>SHEET NO: 9 of 12</p> | | | | | | | | | | | | | | | | |

THE MEADOWS FILING NO. 20, SITE DEVELOPMENT PLAN, AMENDMENT NO. 7 (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS,
STATE OF COLORADO



DISTURBED LANDSCAPE SHALL BE RE-SEEDED WITH NON-IRRIGATED NATIVE SEED.

LOT LINE, TYP.

MAX SLOPE 3:1:1
SITE FURNITURE TO BE SPECIFIED AT TIME OF CONSTRUCTION DOCUMENTS AND APPROVED BY DEVELOPER.

6" CRUSHER FINES WALK, TYP.

MAX SLOPE 3:1:1

RETAINING WALL RE: CIVIL

PROPOSED UTILITY EASEMENT, TYP. SIZES VARY RE: CIVIL

7.5' CONCRETE DETACHED WALK, TYP.

TRACT F

TRACT E

TRACT D

TRACT C

TRACT B

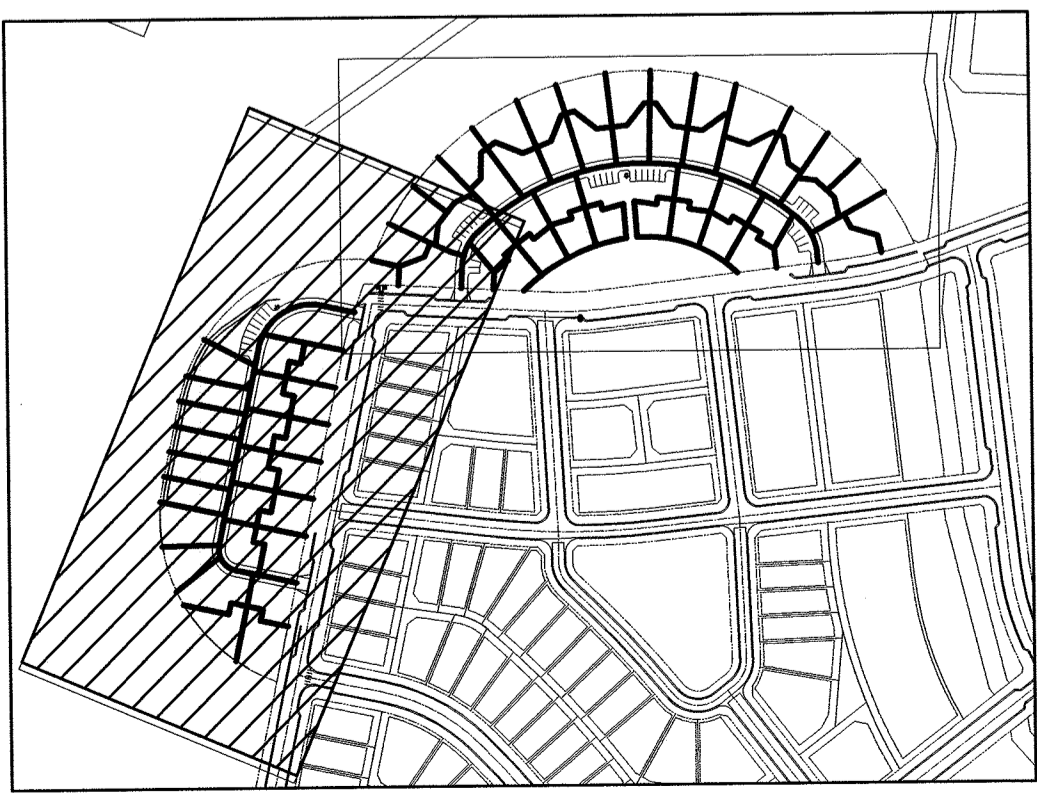
TRACT A

25' SAFETY TRIANGLE, TYP.

SIGHT DISTANCE LINES, TYP. (SPEED 30 MPH, POSTED 25 MPH)

MAILBOXES, TYP.

MAX SLOPE 3:1:1



KEY MAP

NOT TO SCALE

| PLANTING KEY- | HYDROZONES | IRRIGATION TYPE |
|---|----------------|---------------------------------|
| ENVIRO-TURF SOD Turf Master | Moderate | Sub-Surface/ Overhead Spray* |
| LOW GROW SHORTGRASS MIX Arkansas Valley Seed | Low | Overhead Spray* |
| ROCKY MOUNTAIN NATIVE SEED MIX Arkansas Valley Seed | Low | Overhead Spray* |
| SHRUB BED | Moderate | Drip |
| DECIDUOUS TREE Installed Diameter 3/4 Mature Diameter | Low / Moderate | Drip |
| COLUMNAR DECIDUOUS TREE | Low / Moderate | Drip |
| ORNAMENTAL TREE | Low / Moderate | Drip |
| EVERGREEN TREE | Low / Moderate | Drip |

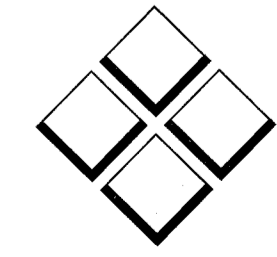
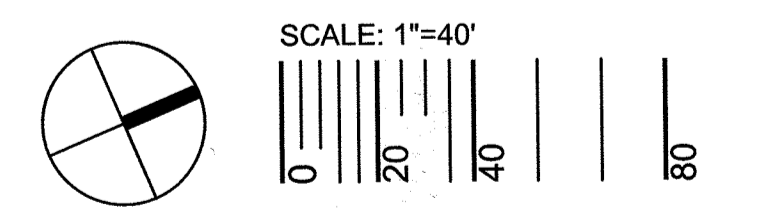
*NOTE:
OVERHEAD SPRAY MAY ONLY BE USED IN AREAS OVER 10' IN WIDTH.

| LEGEND | |
|--------|--------------------------------|
| | ENVIRO-TURF SOD |
| | LOW GROW SHORTGRASS MIX |
| | ROCKY MOUNTAIN NATIVE SEED MIX |
| | SHRUB BED |
| | DECIDUOUS TREE |
| | ORNAMENTAL TREE |
| | EVERGREEN TREE |
| | MAILBOX KIOSK LOCATION |
| | SIGHT DISTANCE LINE |
| | SIGHT DISTANCE TRIANGLE |

Landscape Registration
William R. Bobzien - #344
For and on behalf of Vogel and Associates



NOT FOR CONSTRUCTION



VOGEL & ASSOCIATES
475 W. 12th Avenue - Suite E
Denver, Colorado 80204-3688
(303) 893-4288

**THE MEADOWS FILING NO. 20,
SITE DEVELOPMENT PLAN, AMENDMENT NO. 7
Project No. SDP17-0013
SHEET 10 OF 12 - LANDSCAPE PLAN**

| | |
|---|--|
| REVISIONS NO. DESCRIPTION DATE BY 1 REVISED BASED ON TOWN COMMENTS 09/21/17 2 REVISED BASED ON TOWN COMMENTS 07/07/17 3 REVISED BASED ON TOWN COMMENTS 07/28/17 | |
| Prepared for: Development Company Castle Rock Pl, Suite 110 Denver, Colorado 80206 | DRAWN BY: DESIGNED BY: JOB NUMBER: 820.0030 DATE: JANUARY 3, 2016 SCALE: 1"=30' DRAWING NAME: SHEET NO: 10 of 12 |
| VRG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 - Wheat Ridge, CO 80033 Gypsum - Loveland - Monte Vista - Wheat Ridge 303-953-8107 - 303-293-8106 (fax) - www.vrgengineers.com | |
| STATE OF COLORADO NOTIFICATION CENTER OF COLORADO (UNCC) 811 Can Be Used To Locate City and Potentially Existing Pipeline Locations SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY | |

