

SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 - AMENDMENT No. 13
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

LEGAL DESCRIPTION

LOT 2A-1, BLOCK 2 MEADOWS 20 PHASE 1 AMENDMENT 13
 ACCORDING TO THE RECORDED PLAT THEREOF

SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THERE ARE NO FEMA REGULATED FLOODPLAINS OR WETLANDS ON THE SITE. THE SITE IS LOCATED IN ZONE X (UNSHADED) PER FEMA FIRM MAP NUMBER 08035C0169G, DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THIS SITE IS ZONED: PLANNED DEVELOPMENT. DATE RECORDED 07/10/2003, RECEPTION NUMBER 2003102969.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT ARE NOT PERMITTED IN THE SETBACK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

CONTACT LIST

OWNER'S REPRESENTATIVE
 LEVEL 5, LLC
 DREW ELLER
 2018 POWERS FERRY RD SE,
 SUITE 750
 ATLANTA, GA 30339

CIVIL ENGINEER
 ATWELL GROUP
 DANIEL MADRUGA
 6700 S. SYRACUSE WAY,
 SUITE 470
 GREENWOOD VILLAGE, CO 80111
 303-222-5050

SURVEYOR
 AZTEC CONSULTANTS
 DEREK BROWN
 300 E. MINERAL AVE., SUITE 1
 LITTLETON, CO 80122
 303-358-7002

LANDSCAPE ARCHITECT:
 STACKLOT
 5639 CURTICE ST
 LITTLETON, CO 80120
 CONTACT: STEVE WIENS
 303-730-1345

ARCHITECT:
 PRAXIS3
 JOE LAMB
 100 PEACHTREE ST NW,
 SUITE 1450
 ATLANTA, GA 30303
 404-875-4500

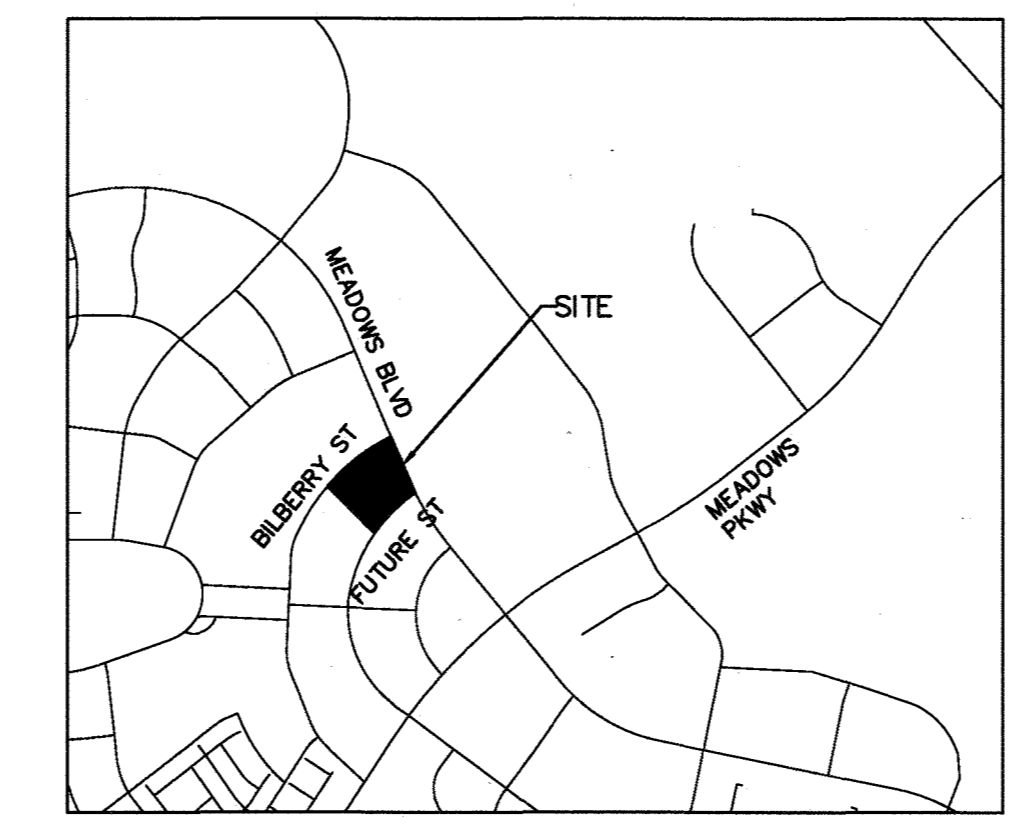
WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS FOURTH AMENDMENT DEVELOPMENT AGREEMENT, RECORDED ON THE 17TH DAY OF MAY, 2013 AT RECEPTION NO. 2013041129 AND ACCORDINGLY \$5.00 FEE ARE DEBITED FROM THE WATER BANK.

DOMESTIC TAP SIZE: 1.5 INCHES
 IRRIGATION TAP SIZE: 1.0 INCHES

PARKING CALCULATIONS:

BANK/FINANCIAL INSTITUTION = 1 SPACE/330 SQFT OF USEABLE OFFICE SPACE
 TOTAL SPACES REQUIRED: 12 SPACES
 TOTAL SPACES PROVIDED: 35 SPACES



VICINITY MAP
 SCALE: 1"=1000'

ZONING COMPARISON AND DEVELOPMENT STANDARDS

	PROVIDED (SDP)	PD STANDARDS
PERMITTED USES		
SITE AREA (SQ. FT.)	54,405 SF	N/A
GROSS FLOOR AREA (SQ. FT.)	3,827 SF	N/A
FAR		1.5
TOTAL BUILDING COVERAGE (SQ. FT.)	3,827 SF	32,643 (ALLOWED)
TOTAL BUILDING COVERAGE %	7%	60% (ALLOWED)
HARD SURFACE (SQ. FT.)	30,038 SF	54,405 (ALLOWED)
HARD SURFACE %	55%	100% (ALLOWED)
LANDSCAPE AREA ON-SITE (SQ. FT.)	20,540 SF	5,441 SF
LANDSCAPE AREA %	38%	10%
PARKING		
PARKING SPACES	35	12
BICYCLE PARKING SPACES	2	1
PARKING AREA (SQ. FT.)	23,532 SF	N/A
PARKING AREA LANDSCAPE (SQ. FT.)	2,718 SF	2,353 SF
PARKING AREA LANDSCAPE %	11.5%	10%
SETBACKS:		
FRONT	15'	0'
REAR	15'	0'
SIDE	15'	0'
MAX. BUILDING HEIGHT (FT.)	24'	60'

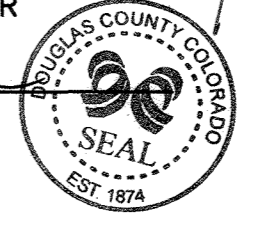
SHEET INDEX

SHEET NUMBER	SHEET TITLE
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3	GRADING PLAN
4	UTILITY PLAN
5	GENERAL LANDSCAPE PLAN
6	GENERAL LANDSCAPE PLAN NOTES
7	BUILDING ELEVATIONS
8	BUILDING ELEVATIONS
9	BUILDING ELEVATIONS
10	PHOTOMETRIC PLAN
11	PHOTOMETRIC PLAN

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:54 PM ON THE 30 DAY OF January, 2019, AT RECEPTION NO. 2019004862.

BY: Kristy Mann
 DEPUTY



TITLE CERTIFICATION

I, Eric Stearns, AN AUTHORIZED REPRESENTATIVE OF COMMONWEALTH LAND TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE
 COMMONWEALTH LAND TITLE INSURANCE COMPANY

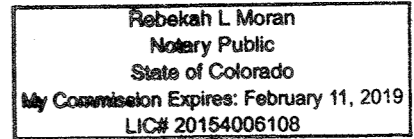
SIGNED THIS 9th DAY OF January, 2019.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF January, 2019 BY

Eric Stearns AS AUTHORIZED REPRESENTATIVE OF COMMONWEALTH LAND TITLE INSURANCE COMPANY.
 WITNESS MY HAND AND OFFICIAL SEAL.

Rebekah L. Moran
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 2-11-19

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

David Pierce
 CANVAS CREDIT UNION, A STATE CHARTERED CREDIT UNION

SIGNED THIS 11 DAY OF Jan, 2019.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11 DAY OF January, 2019 BY

David Pierce AS CIO OF PUBLIC SERVICE CREDIT UNION
 WITNESS MY HAND AND OFFICIAL SEAL.

David Pierce
 NOTARY PUBLIC

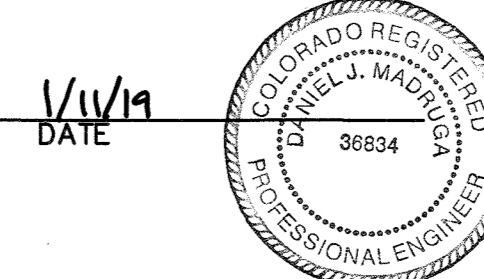


MY COMMISSION EXPIRES: 2/28/2021

CIVIL ENGINEER'S STATEMENT

I, DANIEL MADRUGA, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

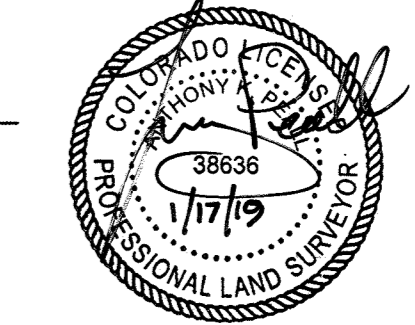
Daniel Madruga
 DANIEL MADRUGA, PE 36834
 FOR AND ON BEHALF OF ATWELL, LLC



SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Anthony K. Peall
 ANTHONY K. PEALL, PLS 38636
 FOR AND ON BEHALF OF AZTEC CONSULTANTS



STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 29 DAY OF January, 2019.

[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES

SITE DEVELOPMENT PLAN
 LOT 2A-1, BLOCK 2, THE MEADOWS
 FILING No. 20 PHASE 1-AMENDMENT 13

PROJECT NUMBER: SDP18-0030

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LEVEL 5
 CANVAS CREDIT UNION
 CASTLE ROCK, CO
 SITE DEVELOPMENT PLAN
 COVER SHEET

CLIENT: CANVAS CREDIT UNION
 DATE: 11/15/18

REVISIONS

DR. MDC | CH. JAR
 P.M. JAR
 JOB: 17002443
 SHEET NO. 1 OF 11

CAD FILE: 17002443 COVER SHEET.DWG

SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 – AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

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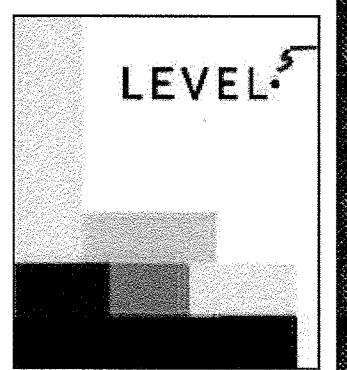
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LEVEL 5
CANVAS CREDIT UNION
CASTLE ROCK, CO
SITE DEVELOPMENT PLAN
SITE PLAN

CLIENT

DATE 11/15/18

REVISIONS

DR. MDC | CH. JAR

P.M. JAR

JOB 17002443

SHEET NO. 2 OF 11

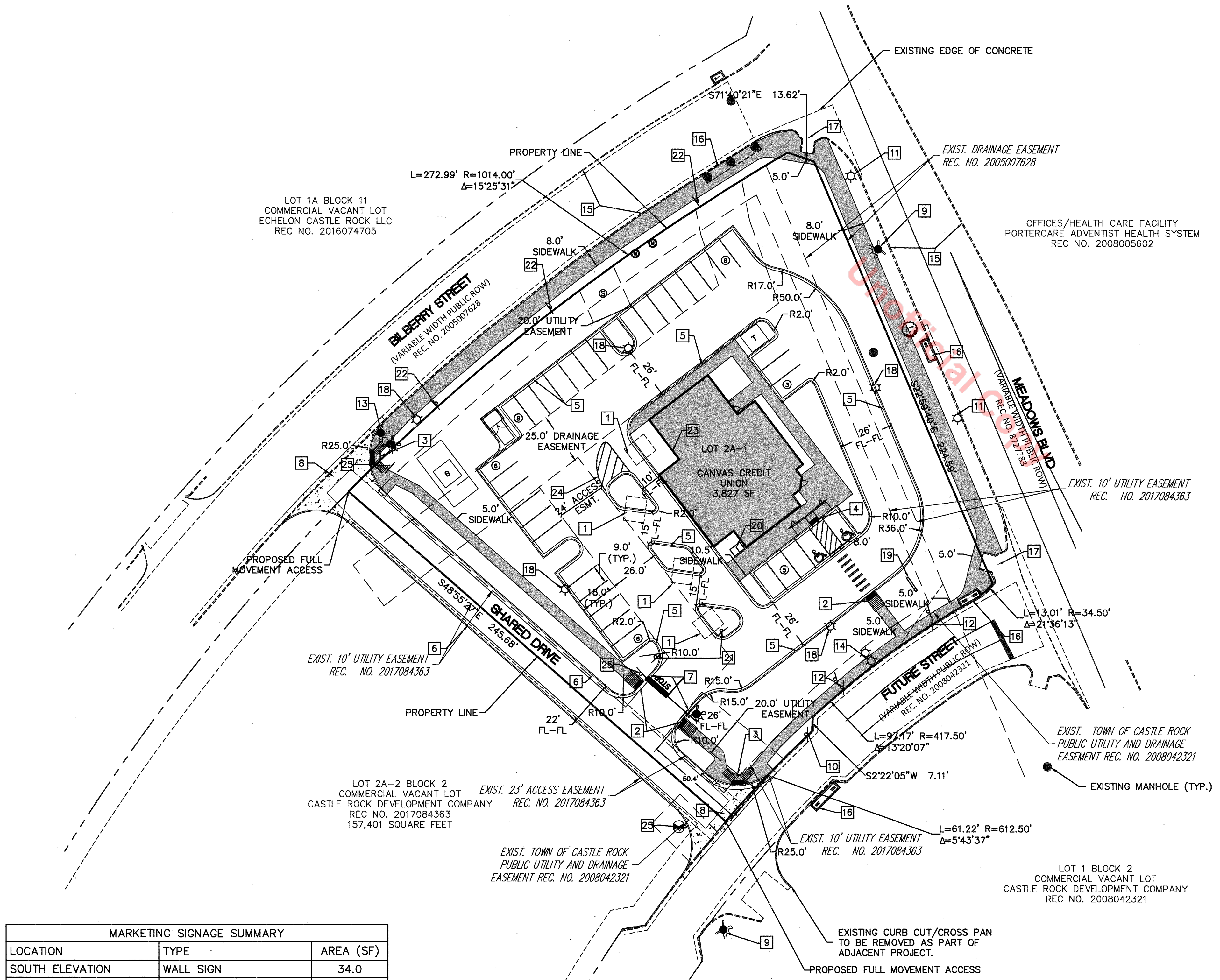
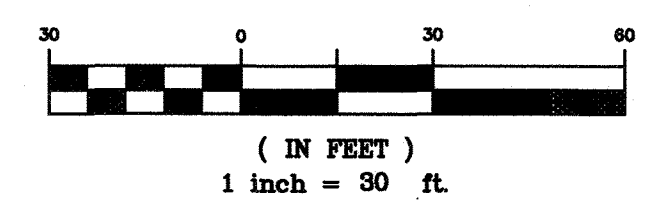
CAD FILE: 17002443 SITE PLANNING

CONSTRUCTION NOTES:

- 1 PROPOSED DRIVE-UP ATM CANOPY (SEE BUILDING ELEVATIONS)
- 2 PROPOSED ADA RAMP PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CR-4B
- 3 PROPOSED ADA RAMP PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CR-2A
- 4 PROPOSED ADA RAMP PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CR-4
- 5 PROPOSED CURB AND GUTTER TYPE VC1 (1' PAN) PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CG-1
- 6 PROPOSED CURB AND GUTTER TYPE VC2 (2' PAN) PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CG-1
- 7 PROPOSED CURB AND GUTTER TRANSITION BETWEEN TYPE VC1 AND TYPE VC2
- 8 PROPOSED CROSS PAN PER TOWN OF CASTLE ROCK DETAIL PLAN NO. CG-9
- 9 EXISTING FIRE HYDRANT TO REMAIN
- 10 EXISTING SIGN TO REMAIN
- 11 EXISTING LUMINAIRE TO REMAIN
- 12 EXISTING SIGNING TO RELOCATED
- 13 EXISTING FIRE HYDRANT TO RELOCATED
- 14 EXISTING IREA LUMINAIRE TO BE RELOCATED
- 15 EXISTING CURB AND GUTTER TO REMAIN
- 16 EXISTING TYPE R INLET
- 17 EXISTING ADA RAMP TO REMAIN
- 18 PROPOSED LUMINAIRE – SEE PHOTOMETRIC PLANS
- 19 PROPOSED MONUMENT SIGN – TO BE PERMITTED SEPARATELY
- 20 INVERTED U BIKE RACK
- 21 DO NOT ENTER SIGN
- 22 NO PARKING SIGN
- 23 APPROXIMATE LOCATION OF ELECTRIC METER (SEE ARCH PLANS)
- 24 ATM BYPASS LANE STRIPING
- 25 PROPOSED STOP SIGN

LEGEND

	PROPERTY BOUNDARY
	PROPOSED RIGHT-OF-WAY
	EXISTING RIGHT-OF-WAY
	EXISTING LOT LINE
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED WATER
	PROPOSED HYDRANT
	EXISTING HYDRANT



MARKETING SIGNAGE SUMMARY

LOCATION	TYPE	AREA (SF)
SOUTH ELEVATION	WALL SIGN	34.0
EAST ELEVATION	WALL SIGN	36.0
EAST ELEVATION	WALL SIGN	34.0
SOUTHEAST CORNER	MONUMENT SIGN	30.0

SITE DEVELOPMENT PLAN
LOT 2A-1, BLOCK 2, THE MEADOWS
FILING No. 20 PHASE 1-AMENDMENT 13
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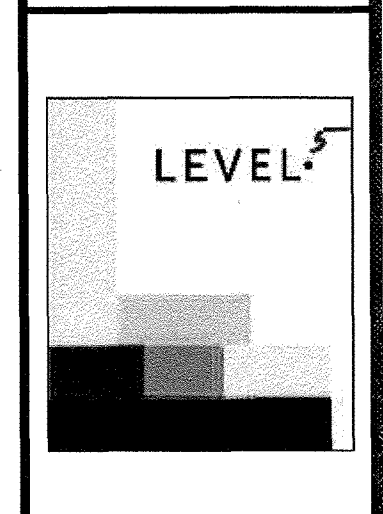
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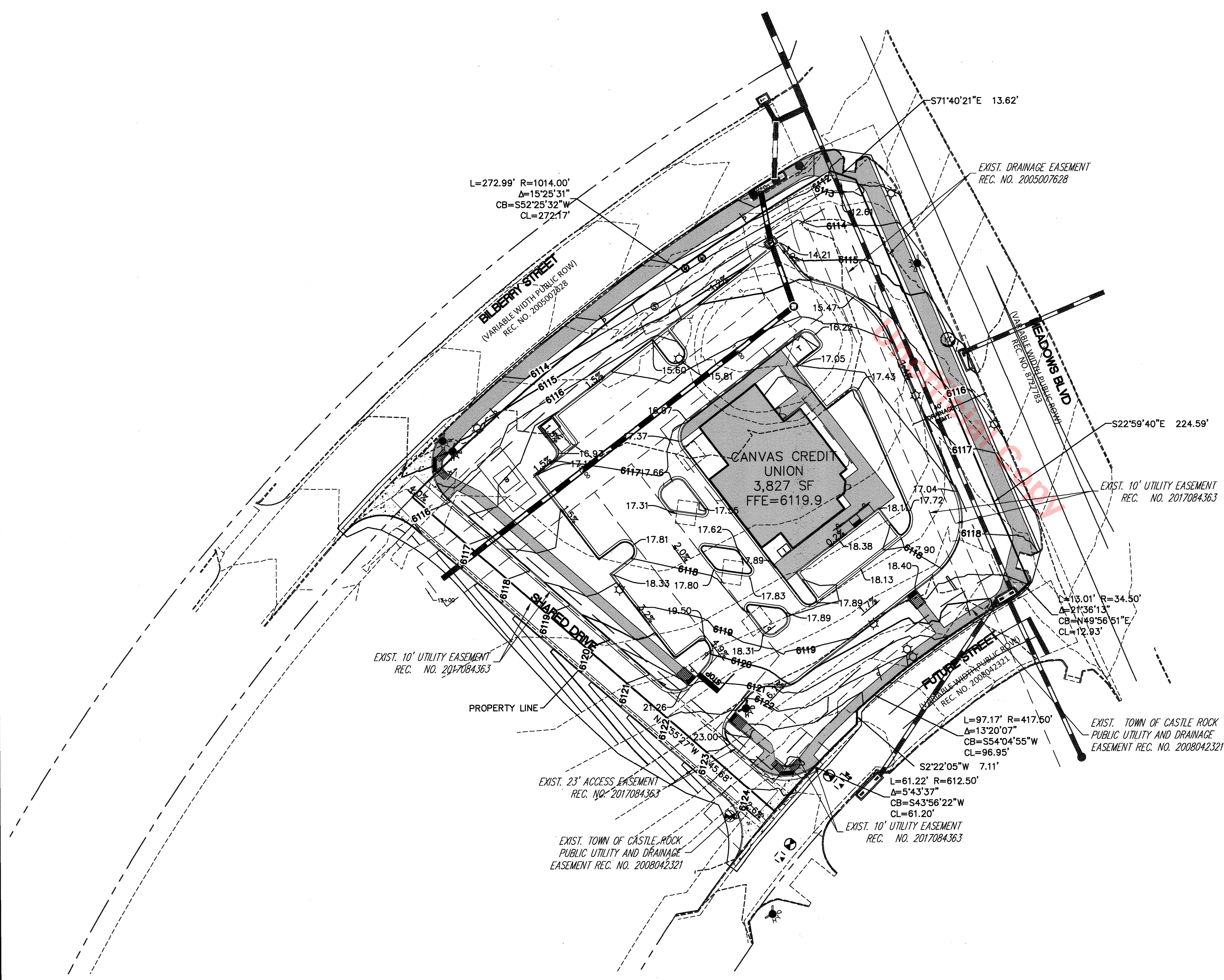


LEVEL 5
CLIENT
CANVAS CREDIT UNION
CASTLE ROCK, CO
SITE DEVELOPMENT PLAN
GRADING PLAN

DATE	11/15/18
REVISIONS	
DR.	MDC CH. JAR
P.M.	JAR
JOB	17002443
SHEET NO.	3 OF 11

GRADING NOTES:

- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEER'S REPORT TO ENSURE MINIMUM GROUND SLOPES ARE MET.
- PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL HANDICAP CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES. CROSS SLOPE SHALL NOT EXCEED 2%.
- CONTRACTOR SHALL MATCH EXISTING GRADE AT PROPERTY LINES UNLESS OTHERWISE NOTED.
- TRANSITIONS FROM FULL HEIGHT CURB TO DEPRESSED/FLUSH CURB SHALL BE TAPERED AT 2:1 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL CONTACT 811 PRIOR TO STARTING WORK TO LOCATE EXISTING UTILITIES AND SHOULD NOTIFY THE OWNER IF ANY UTILITY APPEARS TO BE IN CONFLICT WITH PROPOSED IMPROVEMENTS.
- THE UNDERGROUND UTILITY INFORMATION SHOWN IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY AND THE ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
- SHOULD FEATURES THAT ARE INDICATED TO REMAIN BE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL REPLACE THE DAMAGED FEATURE TO RETURN IT TO EXISTING CONDITION OR BETTER.
- EXISTING TOPOGRAPHY SHOWN IS BASED UPON INFORMATION OBTAINED BY ATWELL LLC ON 10/25/2017. THE CONTRACTOR SHALL FIELD VERIFY CURRENT ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND SHOULD NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ADDITIONAL TOPOGRAPHIC INFORMATION FROM A REGISTERED LAND SURVEYOR AT THEIR OWN EXPENSE IF THEY DO NOT EXCEPT THE EXISTING TOPOGRAPHY AS SHOWN, WITHOUT EXCEPTION.
- SPOT SHOTS SHOWN INDICATED FINISHED GRADE - 6100'



SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 – AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

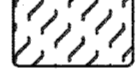




TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

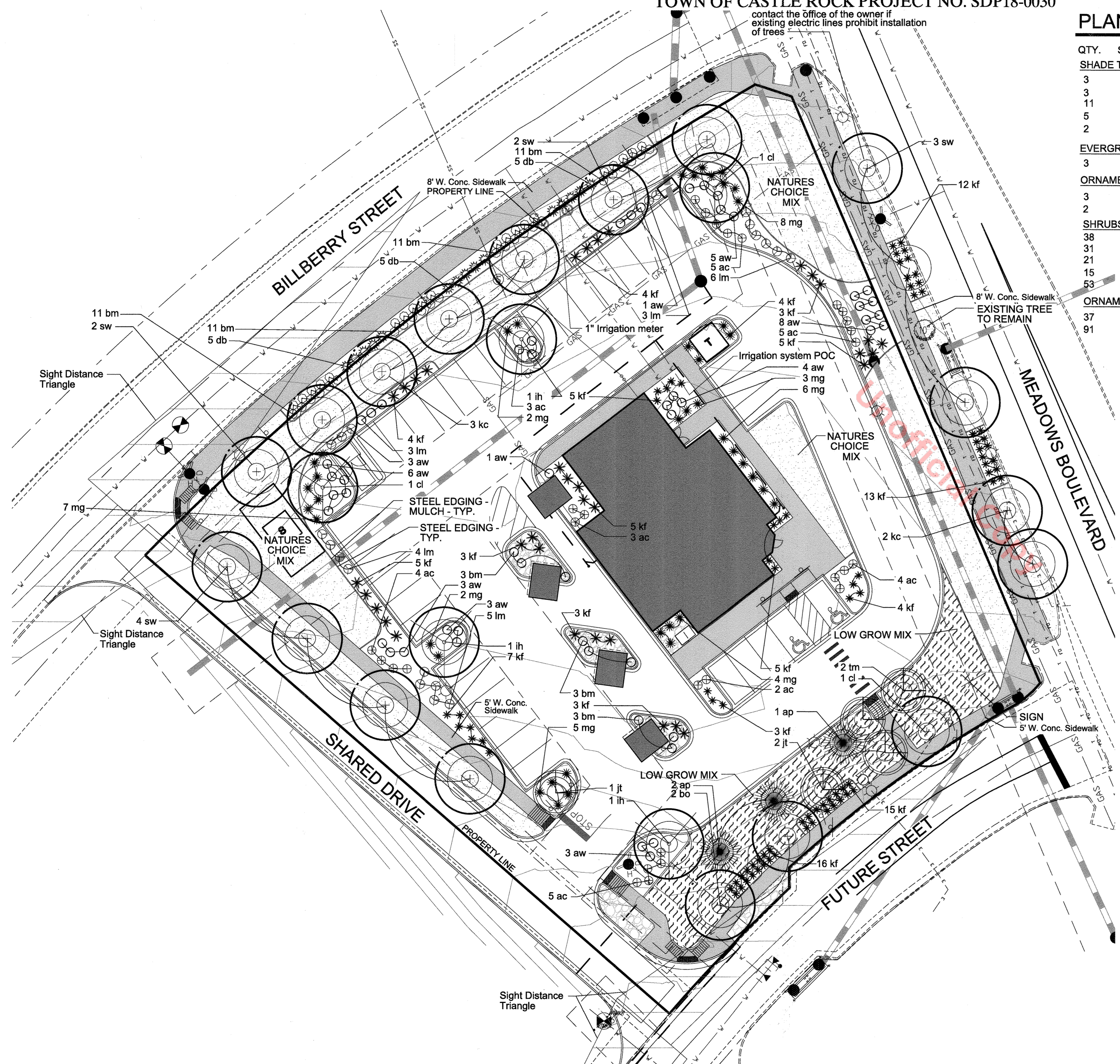
contact the office of the owner if
existing electric lines prohibit installation
of trees

PLANT MATERIAL SCHEDULE:

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COND.	HYDROZONE
SHADE TREES						
3	cl	TILIA X EUCHLORA	CREMEAN LINDEN	2 1/2" CAL.	B & B	3
3	ih	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2 1/2" CAL.	B & B	2,3
11	sw	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2" CAL.	B & B	2,3
5	kc	GYMNOCLADIS DIOICA	KENTUCKY COFFEE TREE	2 1/2" CAL.	B & B	2
2	bo	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" CAL.	B & B	3
EVERGREEN TREES						
3	ap	PINUS NIGRA	AUSTRIAN PINE	6' HT.	B & B	2
ORNAMENTAL TREES						
3	jt	SYRINGA RETICULATA	JAPANESE TREE LILAC	1 1/2" CAL.	B & B	3
2	tm	ACER TATARICUM	TATARIAN MAPLE	1 1/2" CAL.	B & B	3
SHRUBS						
38	aw	SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GAL.	CONT.	3
31	ac	RIBES ALPINUM	ALPINE CURRANT	5 GAL.	CONT.	3
21	lm	PHYSOCARPUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	5 GAL.	CONT.	3
15	db	EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	5 GAL.	CONT.	3
53	bm	CARYOPTERIS X CLANDONENSIS	BLUEMIST SPIREA	5 GAL.	CONT.	2,3
ORNAMENTAL GRASS						
37	mg	MISCANTHUS SINESIS 'YAKU JIMA'	DRARF MAIDEN GRASS 'YAKU JIMA'	1 GAL.	CONT.	3
91	kf	CALAMAGROSTIS X ACUTIFOLIUS 'KARL FOERSTER'	KARL FOERSTER REED GRASS	1 GAL.	CONT.	2,3

LANDSCAPE LEGEND:

-  NATIVE SEED MIX SEEDING RATE: 40 lbs/acre
- MIX RATIO:
15% EPHRAIM CRESTED WHEATGRASS
15% ANNUAL RYE
15% SODAR STREAMBANK WHEATGRASS
20% HARD FESCUE, DUNAR
10% PUBESCENT WHEATGRASS
5% SHERMAN BIG BLUESTEM
5% SWITCH GRASS
-  AMENDED NATURES CHOICE SEEDING RATE: 5 lbs/1000 SF.
- MIX RATIO:
70% EPHRAIM CRESTED WHEATGRASS
15% SHEEPS FESCUE
15% TURF TYPE PERENNIAL RYE
-  STEEL EDGING WITH PROTECTIVE CAP
-  4" - 6" COBBLE
-  SHREDDED HARDWOOD MULCH



LANDSCAPE PLAN




0' 10' 20' 40' 60'
SCALE 1" = 20' - 0"

PLANS PREPARED BY:
STEPHEN DON WIENS / STACKLOT
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 504



SITE DEVELOPMENT PLAN
LOT 2A-1, BLOCK 2, THE MEADOWS
FILING No. 20 PHASE 1-AMENDMENT 13
PROJECT NUMBER: SDP18-0030




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303.462.1100

LEVEL 5

LEVEL 5
CLIENT: CANVAS CREDIT UNION
CASTLE ROCK, CO

DATE: 1/14/19

REVISIONS



DR. MDC	CH. JAR
P.M. JAR	
JOB: 17002443	
SHEET NO. 5 OF 11	

SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 - AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

GENERAL PLANTING NOTES:

1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP TWO-THIRD (2/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF THE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.

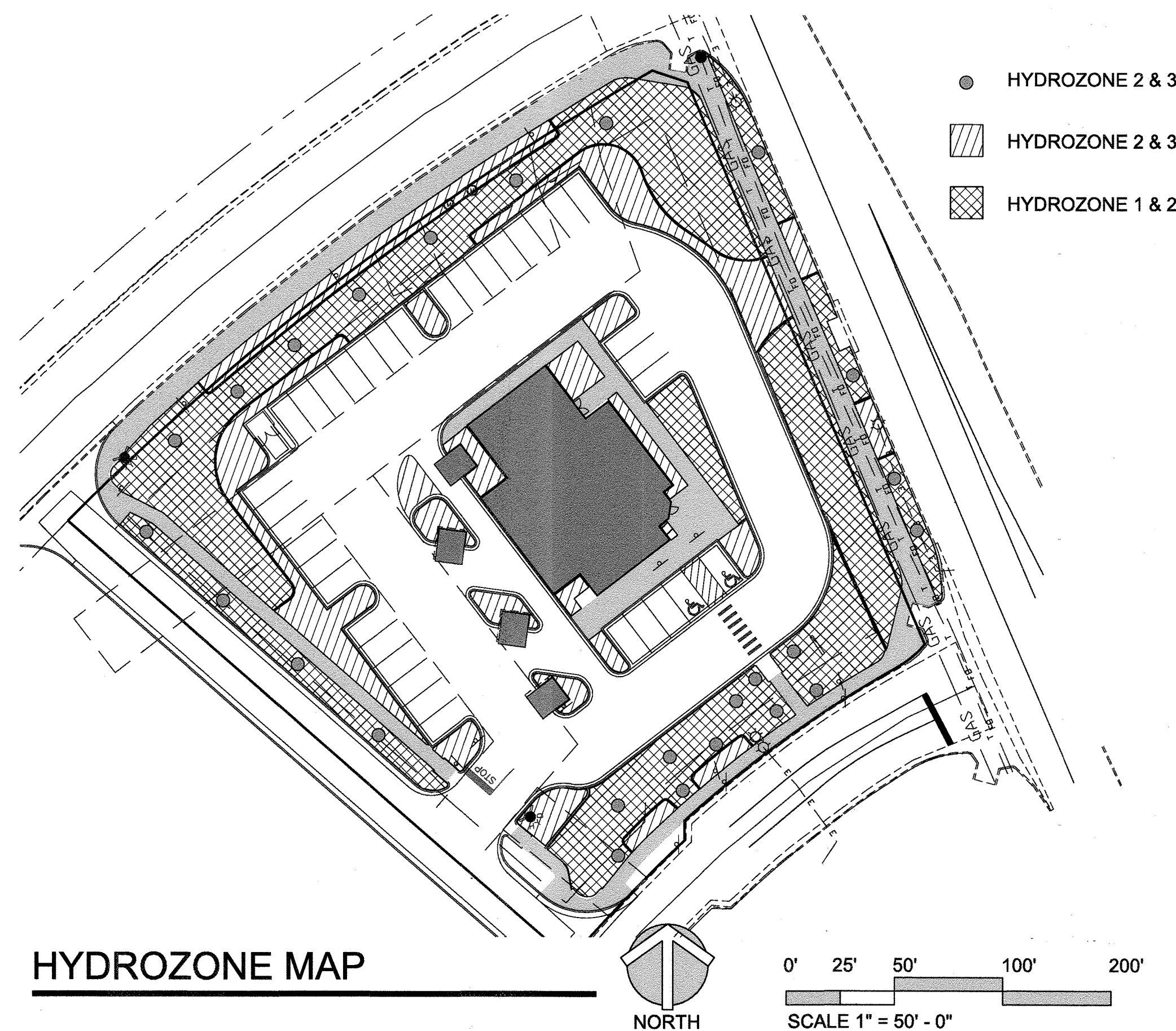
10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUNK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
12. COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING TO HAVE A ROLLED TOP. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
16. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
19. IRRIGATION HEADS SHALL BE PLACED ABOVE THE 2-YEAR WATER SURFACE ELEVATION IN THE WATER QUALITY SWALE.

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

1. SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTION AS OUTLINED WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH USE TYPE ON THE PROPERTY.

PERFORMANCE GUARANTEE:

1. ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.



LANDSCAPE REQUIREMENTS CHART

Billberry Street		272.17 Linear Feet		Required Trees 272.17 / 40 = 7 Trees		Provided Trees = 7		Req. Shrubs = 28		Provided Shrubs = 59	
Meadows Boulevard		224.59 Linear Feet		Required Trees 224.59 / 40 = 6 Trees		Provided Trees = 6		Req. Shrubs = 24		Provided Shrubs = 25	
Gross Site Area	L.S. Area (sf.)	Turf Grass (sf.) Low Grow Mix	Turf Grass (sf.) Amended Natures Choice	Non-Living Ornamental Area	No. Trees Required	No. Trees Provided	No. Shrubs Required	No. Shrubs Provided	Soil Prep Amounts (In cu. yds. per 1000 sq.ft.)	Separate Irrigation Service Connections	
54,405 sf.	5,440.5 sf. req. 20,910.46 sf. provided onsite 1,914.17 sf. provided onsite / (ROW)	2,593.01 sf.	12,083.23 sf.	20%	11 Trees	12 Trees	21 Shrubs	141 Shrubs	4 cu.yds / 1000 sf.	Yes	
Parking Lot Area (sf.)	Parking Lot Landscape Area (sf.)	No. Parking Spaces	Non-Living Ornamental Area	No. of Interior Islands	Min. Width of Interior Landscape Islands	No. Trees Required	No. Trees Provided	No. Shrubs Required	No. Shrubs Provided		
23,532 sf.	2,353.2 sf. req. 2,717.62 sf. provided	35 Stalls	20%	3 Islands	6'-3"	5 Trees	5 trees	10 Shrubs	30 Shrubs		

PLANS PREPARED BY:
 STEPHEN DON WIENS / STACKLOT
 REGISTERED LANDSCAPE ARCHITECT
 LICENSE NO. 504

STACKlot
 5639 SOUTH CURTICE STREET
 LITTLETON, COLORADO 80120
 phone. 303.808.4523

SITE DEVELOPMENT PLAN
 LOT 2A-1, BLOCK 2, THE MEADOWS
 FILING No. 20 PHASE 1-AMENDMENT 13

PROJECT NUMBER: SDP18-0030

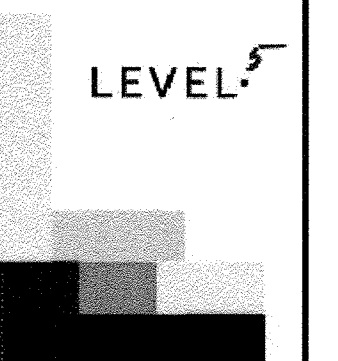
**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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 303.462.1100



LEVEL 5
 CLIENT
 CANVAS CREDIT UNION
 CASTLE ROCK, CO

DATE 1/14/19

REVISIONS

DR. MDC CH. JAR
 P.M. JAR

JOB 17002443

SHEET NO. 6 OF 11

SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 – AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

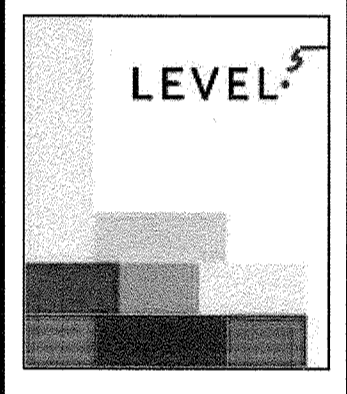
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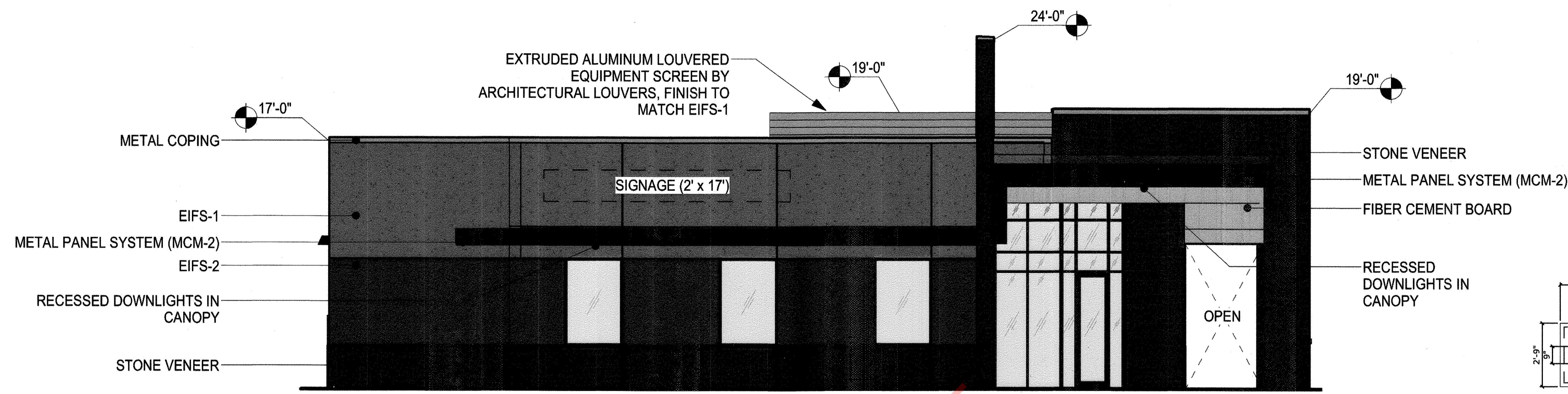
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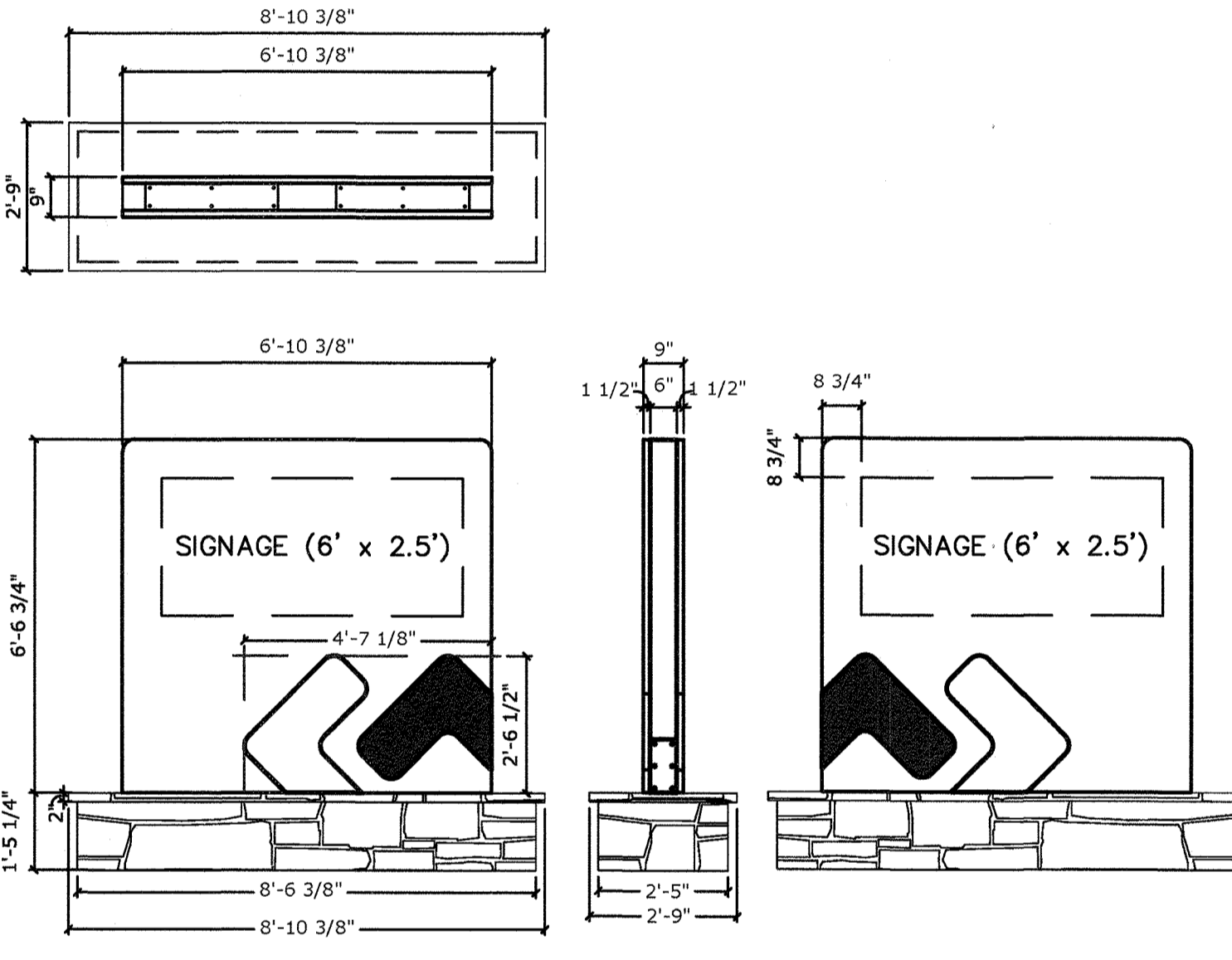


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CASTLE ROCK, CO
DATE 11/15/18

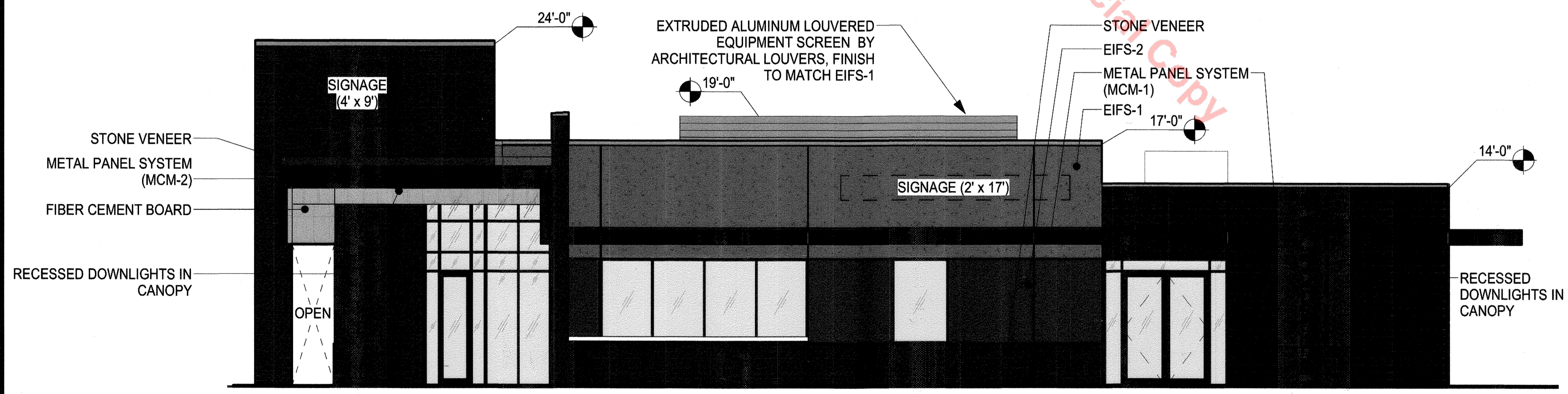
SHEET NO. 7 OF 11
JOB 17002443
P.M. JAR
DR. MDC | CH. JAR
REVISIONS



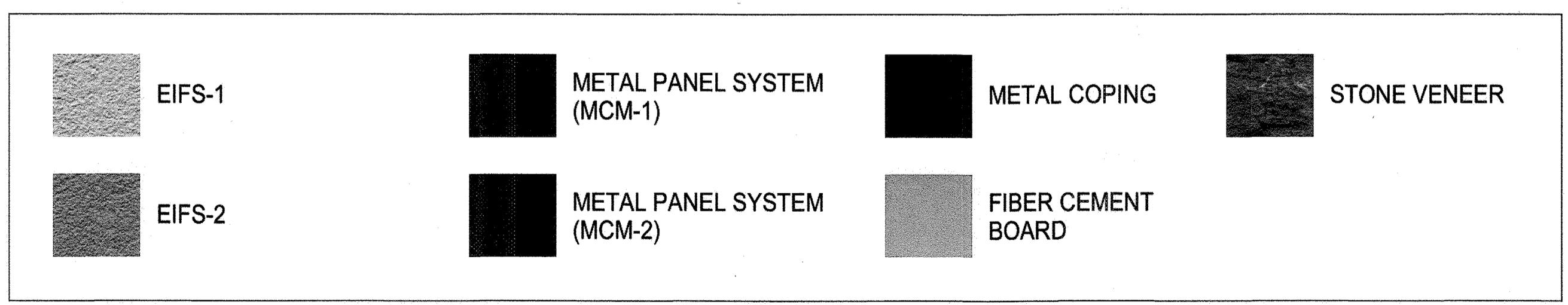
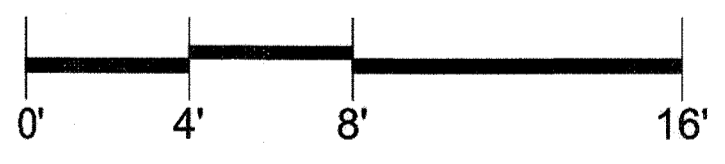
South Elevation
1/8" = 1'-0"



MONUMENT SIGN ELEVATION
NTS

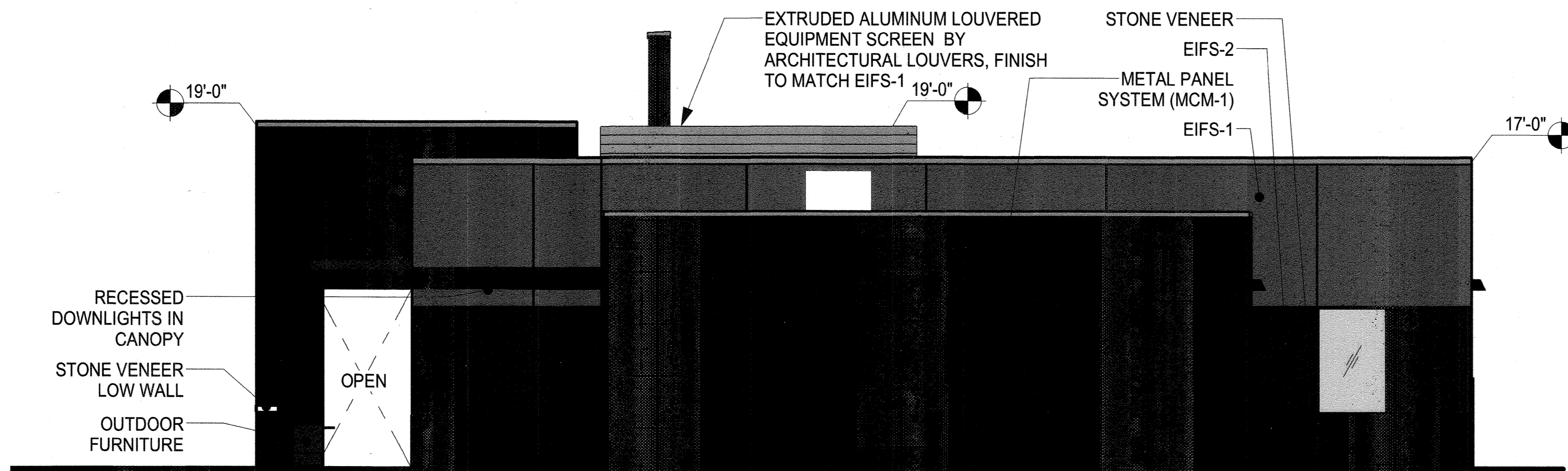


East Elevation
1/8" = 1'-0"



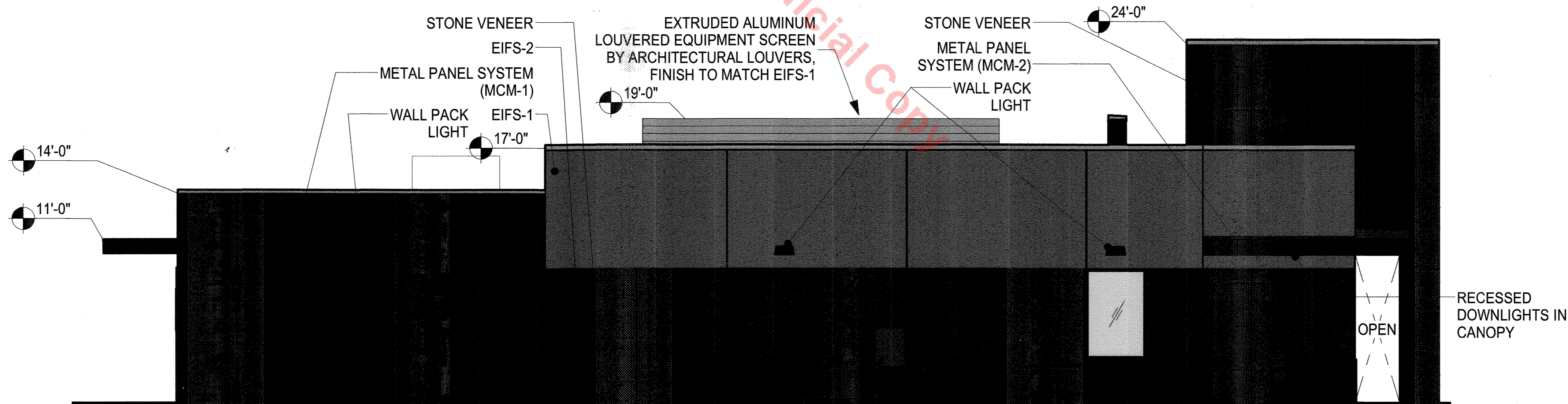
SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 – AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030



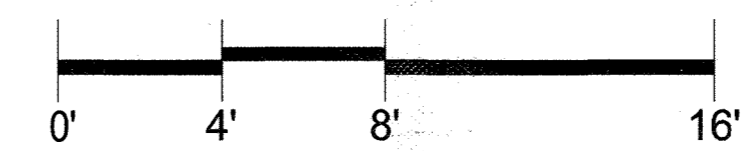
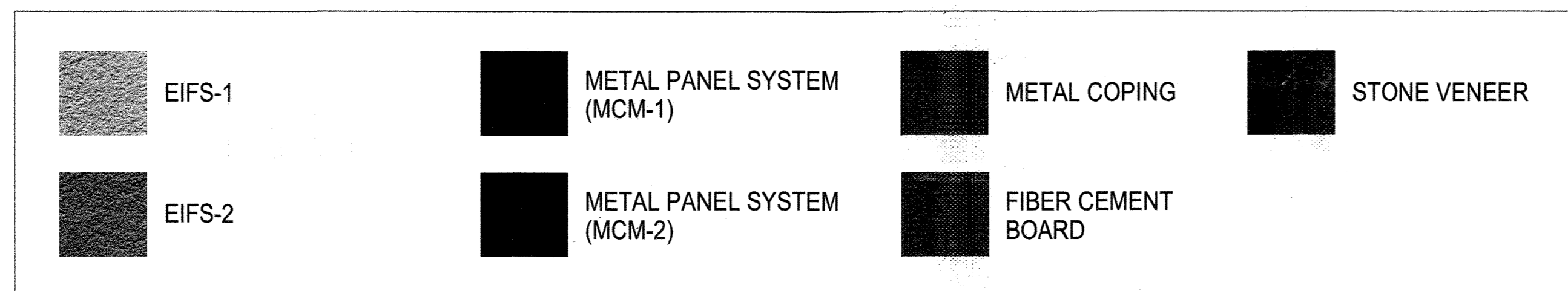
North Elevation

1/8" = 1'-0"



West Elevation

1/8" = 1'-0"



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LEVEL 5

CLIENT: CANVAS CREDIT UNION
CASTLE ROCK, CO

DATE: 11/15/18

REVISIONS

LEVEL 5
CANVAS CREDIT UNION
CASTLE ROCK, CO
SITE DEVELOPMENT PLAN
BUILDING ELEVATIONS

DR. MDC | CH. JAR
P.M. JAR

JOB 17002443
SHEET NO. 8 OF 11

CAD FILE: 17002443 COVER SHEET.DWG

SITE DEVELOPMENT PLAN CANVAS CREDIT UNION-MEADOWS

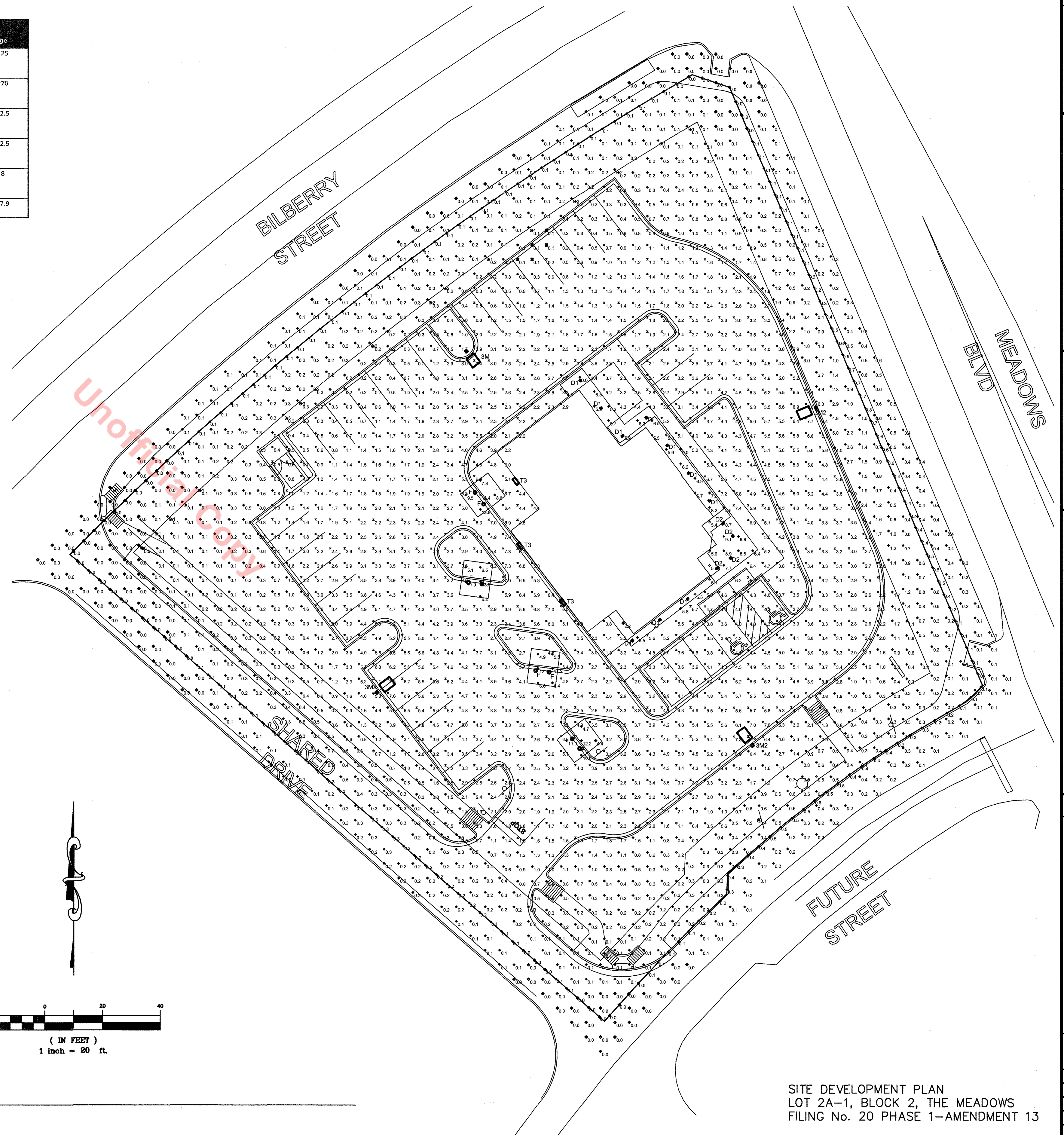
LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 - AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

Symbol	Label	Mounting Height	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	3M	25'-0"	1	Lithonia Lighting	DSX1 LED P4 40K T3M MVOLT HS	DSX1 LED P4 40K T3M MVOLT with housieside shield	LED	1	DSX1_LED_P4_40K_T3M_MVOLT_HS.ies	11403.86	1	125
□	3M2	25'-0"	3	Lithonia Lighting	DSX2 LED P4 40K T3M MVOLT HS	DSX2 LED P4 40K T3M MVOLT with housieside shield	LED	1	DSX2_LED_P4_40K_T3M_MVOLT_HS.ies	26281	1	270
□	D1	11'-0"	10	PRESCOLITE	LF6SQSL-6SQSL11L30K8 DL	LiteFrame Square - Diffuse Lens	24- Philips 3000K LEDs	1	LF6SQSL-6SQSL11L30K8DL.TES	872	1	12.5
□	D2	14'-0"	4	PRESCOLITE	LF6SQSL-6SQSL11L30K8 DL	LiteFrame Square - Diffuse Lens	24- Philips 3000K LEDs	1	LF6SQSL-6SQSL11L30K8DL.TES	872	1	12.5
○	F	12'-8"	8	Delta Light NV	2022028122 @ 350mA	CARREE X LED 3033 @ 350mA	LED ARRAY	1	2022028122.ies	690	1	8
□	T3	10'-6"	3	HUBBELL OUTDOOR	TRP2-24L-30-3K7-3	GeoPak Size 2	C-70-CRI	1	TRP2-24L-30-3K7-3.TES	3372	1	27.9

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1 - Property Line	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A
10' Beyond Property Line	+	0.3 fc	6.3 fc	0.0 fc	N/A	N/A
Canopy - ATM	+	9.0 fc	16.4 fc	4.4 fc	3.7:1	2.0:1
Canopy - Building	+	6.4 fc	9.1 fc	2.2 fc	4.1:1	2.9:1
Parking	×	3.2 fc	7.8 fc	0.1 fc	78.0:1	32.0:1

GENERAL LIGHTING PLAN STANDARD NOTES:

- OBJECTIVE IS TO ILLUMINATE SITE SAFELY WITH CUT OFF TYPE LIGHT FIXTURES AND ALSO DIRECT LIGHTING TO WITHIN THE PROPERTY.
- HOURS OF OPERATION ARE DAWN TO DUSK FOR LIGHTING AROUND ATM MACHINES AND BUILDING MOUNTED LIGHTING. OTHER LIGHT FIXTURES WILL BE ON AT DUSK AND OFF VIA TIMECLOCK AND WILL EXTINGUISH WITHIN ONE HOUR OF CLOSE OF BUSINESS.
- POLE MOUNTED LIGHT FIXTURES ARE LOCATED AROUND THE PERIMETER TO DIRECT LIGHT BACK TOWARDS THE PROPERTY AND LIMIT LIGHT SPILLAGE.
- THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.



1 Site Photometrics
E101 1" = 20'-0"

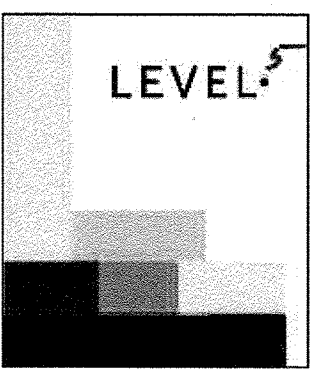


THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORKER PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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CLIENT: CANVAS CREDIT UNION
CASTLE ROCK, CO
DATE: 11/15/18
REVISIONS:
DR. MDC | CH. JAR
P.M. JAR
JOB: 17002443
SHEET NO.: 10 OF 11

LEVEL 5
CANVAS CREDIT UNION
CASTLE ROCK, CO
SITE DEVELOPMENT PLAN
PHOTOMETRIC PLAN
PROJECT NUMBER: SDP18-0030

SITE DEVELOPMENT PLAN

CANVAS CREDIT UNION-MEADOWS

LOT 2A-1, BLOCK 2, THE MEADOWS FILING No. 20 PHASE 1 – AMENDMENT No. 13
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP18-0030

GEOPAK SERIES SIZE 2 LED
Architectural Wallpack
TRP2/RD2/GSP2

Job: _____
Type: T3
Approvals: _____

HUBBELL Outdoor Lighting

SPECIFICATIONS

Applications: Medium sized architectural wallpacks in three stylish shapes accentuate building architecture and provide excellent illumination and uniformity.

Construction:

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color LEDs
- Up to 148 lumens per watt
- Different lenses offer a variety of distribution patterns - Type I, II, III and IV (Forward throw)
- 3000K - 70 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal

Electrical:

- Optional Dual Drivers & Dual Power Feeds for 50, 70 and 80 watt versions
- 120-277, 247 and 480 voltage, 50/60Hz
- Power factor > 90%
- THD (Total Harmonic Distortion) <20%
- Ambient operating temperature -40°C to +40°C
- CEM surge protection (per UL), automatically takes future off-line when device is consumed

Installation/Mounting:

- Quick-mount adapter with gasket seal provides easy installation to wall or to existing junction box (4" square junction box) and attaches by two Allen-head hidden fasteners for tamper resistance.
- Black box accessory available for surface conduit application.
- Optional inverted-up mounting (must specify when ordering)

Options/Controls:

- Drivers are 0-10V dimming standard
- Universal button protoboard for dusk to dawn

CERTIFICATIONS/LISTINGS

ORDERING INFORMATION

ORDERING EXAMPLE: TRP2-24L30-3K7-2-UNV-DB

TYPE	LEDS	WATTAGE	CCT	TYPE I	TYPE II	TYPE III	TYPE IV	UNV	UNV-DB
TRP2	24L30	24 LEDs, 30 watts	3000K	1	1	1	1	1	1
TRP2	24L30	24 LEDs, 30 watts	4000K	1	1	1	1	1	1
TRP2	24L30	24 LEDs, 30 watts	5000K	1	1	1	1	1	1

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-679-1000
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D-Series Size 1 LED Area Luminaire

d'series

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL+ controls marked by a **blacked background**.

DTL, D.L.E. equipped luminaires meet the A+ specification for luminaire to photometric interoperability!

This luminaire is part of an A+ Certified solution for ROAM+ or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **blacked background**.

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam; Link to DTL D.L.L.

Specifications

EPA: 1.01 ft² (0.09 m²)

Length: 33" (840 mm)

Width: 13" (330 mm)

Height: 7-1/2" (190 mm)

Weight (max): 27 lbs (12.5 kg)

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDS	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA

D-Series Size 2 LED Area Luminaire

d'series

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL+ controls marked by a **blacked background**.

DTL, D.L.E. equipped luminaires meet the A+ specification for luminaire to photometric interoperability!

This luminaire is part of an A+ Certified solution for ROAM+ or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **blacked background**.

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam; Link to DTL D.L.L.

Specifications

EPA: 1.1 ft² (0.10 m²)

Length: 42" (1067 mm)

Width: 15" (381 mm)

Height: 7-1/2" (190 mm)

Weight (max): 34 lbs (15.5 kg)

Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDS	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA

6" Square LED Open Downlight LF65QSL 120V-277V 0-10V Dimming

TYPE: D1&D2

FRM NAME: _____

PROJECT: _____

DATE: _____

LifeForm

Callings Color: 6.5" x 6.5" x 1.4"

Maximum Callings Thickness 1/4"

For conversion to millimeters, multiply inches by 25.4.

Not to Scale

LED DRIVER:

The LF65QSL utilizes the Philips Fortimo LED Driver specifically designed to optimize efficiency of the Fortimo DLM Module. Driver is designed to match the 50,000 hour maximum life expectancy of the system. Meets UL Class 2, inherent short circuit protection, self limited current, and thermal protection.

HOUSING:

Composite, 22 gauge non-aromatic steel platform. Pre-wired (shown with suspension cover for easy access. Snap-on connection from driver compartment allows easy installation of light engine from assembly without tools above or below the ceiling and can be upgraded to accommodate technology improvements. Approves for 1/2" (12.7mm) or 1/4" (6.35mm) mounting. Self reflector and light engine assembly are mechanically retained to housing.

REFLECTOR:

High purity aluminum, Alzak, recessed, suppressed, semi-diffuse upper reflector. Self-aiming. Painted with silver (PV) available as option. Reflector is made from anodized Alzak. Meets UL requirements.

LED LIGHT ENGINE:

The LF65QSL uses the Philips Fortimo DLM LED Module. This module provides controlled color consistency to 50,000 hours at 70% lumen maintenance. Self reflector and light engine assembly are mechanically retained to housing.

WARRANTY: 5 year warranty. See www.presolite.com for details.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDS	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA

Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDS	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA
P7	P7	40K	T3M	120V	SPA

CATALOG NUMBER:

Order housing, reflector, and accessories separately.

HOUSING OPTIONS	VOLTAGE OPTION	REFLECTOR OPTION	ACCESSORIES
LF65QSL11L Standard 120V dimming 10% dimming 120V/277V	Standard 0-10V dimming 10% dimming 120V/277V	EM+ Emergency Battery Pack with integral test switch and indicator light	EM+ Emergency Battery Pack with remote test switch and indicator light
LF65QSL15L Standard 120V dimming 10% dimming 120V/277V	Standard 0-10V dimming 10% dimming 120V/277V	EM+ Emergency Battery Pack with integral test switch and indicator light	EM+ Emergency Battery Pack with remote test switch and indicator light
LF65QSL20L Standard 120V dimming 10% dimming 120V/277V	Standard 0-10V dimming 10% dimming 120V/277V	EM+ Emergency Battery Pack with integral test switch and indicator light	EM+ Emergency Battery Pack with remote test switch and indicator light

Use with HDM/2DM/DMX dimming option:

LF65QSL11L HDM
LF65QSL15L HDM
LF65QSL20L HDM

Use with HDM/2DM/DMX dimming option:

LF65QSL11L DMX
LF65QSL15L DMX
LF65QSL20L DMX

Use with HDM/2DM/DMX dimming option:

LF65QSL11L DMX
LF65QSL15L DMX
LF65QSL20L DMX

External Glare Shield

Specification Sheet

CARRE X LED 3033 51
202 20 2812

WebSite: www.presolite.com

Custom shape: 75 x 75 mm
Recessed depth: 80 mm
Thickness of mounting surface: max 35

NON-ADJUSTABLE:
INC. 1 LED WHITE FW CR640 / 3000K / 68lm
INC. 1 REFLECTOR FL 33
INC. 1 CLEAR
EXD. LED POWER SUPPLY 300mA DC

LED Technicals: Light source: 680 mW / 7 W / 88 lm/W
CCT: 3000K
Beam angle: 60°
Min. distance: 1.5m

Options: LED POWER SUPPLY 300mA DC

External Glare Shield

Specification Sheet

CARRE X LED 3033 51
202 20 2812

WebSite: www.presolite.com

Custom shape: 75 x 75 mm
Recessed depth: 80 mm
Thickness of mounting surface: max 35

NON-ADJUSTABLE:
INC. 1 LED WHITE FW CR640 / 3000K / 68lm
INC. 1 REFLECTOR FL 33
INC. 1 CLEAR
EXD. LED POWER SUPPLY 300mA DC

LED Technicals: Light source: 680 mW / 7 W / 88 lm/W
CCT: 3000K
Beam angle: 60°
Min. distance: 1.5m

Options: LED POWER SUPPLY 300mA DC

SITE DEVELOPMENT PLAN
LOT 2A-1, BLOCK 2, THE MEADOWS
FILING No. 20 PHASE 1-AMENDMENT 13
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ATWELL

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RESPONSIBILITY

LEVEL 5

CLIENT: CANVAS CREDIT UNION
CASTLE ROCK, CO

LEVEL 5
SITE DEVELOPMENT PLAN
PHOTOMETRIC PLAN

DATE: 11/15/18

REVISIONS

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JOB: 17002443
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