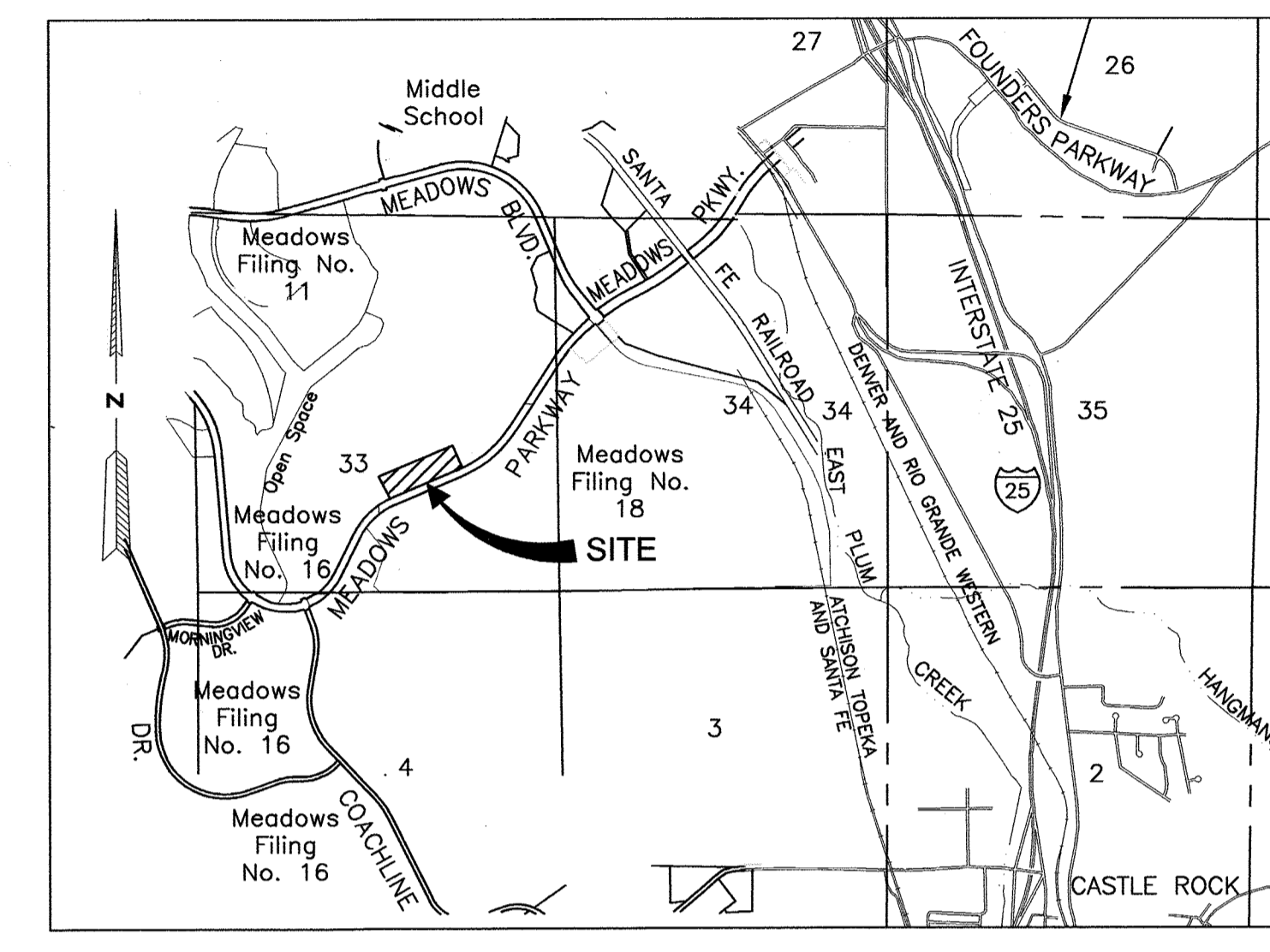


THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

- 1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
2. Pursuant to Section 4.3E and 8.2.3A of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
3. The landscape and irrigation plans contained in the SITE DEVELOPMENT PLAN AMENDMENT are conceptual only and subject to change with review of the Construction Documents.
4. The Site lies within unshaded Zone X, areas determined to be outside the 0.2% annual chance floodplain according to FEMA Flood Insurance Rate Map Number 08035C0169G, dated March 16, 2016.
5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
7. Approval of this conceptual SITE DEVELOPMENT PLAN AMENDMENT does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
8. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowing elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
9. The purpose/use of all tracts and the dedication of all tracts: TRACTS A, B, C, D, and E are for open space, utility, drainage, private access and shall be owned and maintained by the homeowners association. TRACTS A, B, C, D, and E will be maintained by the subdivider/homebuilder, its successors or assigns, until such time as the tracts are conveyed to the homeowners association.
10. All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.
11. This site is zoned TC "TOWN CENTER". Zoning is per the Meadows Preliminary PD Site Plan - Fourth Amendment - recorded July 10, 2003, Reception Number 2003102969.
12. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
13. The development standards as shown on sheets 66 and 67 of the previously approved "The Meadows Filing No. 20 Preliminary Plat/Final PD Site Plan (recorded 8/19/2004, Reception No. 2004086771) shall remain in effect except as modified on sheets 8 and 9.
14. In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan - Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan - Fourth Amendment shall govern development of the property, except as otherwise provided in the Meadows (Fourth Amendment) development agreement.
15. Street cross-sections shown on the Preliminary Plat are approved pursuant to the Meadows Preliminary PD Site Plan - Fourth Amendment - recorded July 10, 2003, Reception Number 2003102969.
16. No wetlands exist within Filing 20.
17. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.



VICINITY MAP SCALE: 1" = 2,000' ORIGINAL SCALE: 1"=2000'

SHEET INDEX table with columns SHEET NUMBER and DESCRIPTION. Includes Cover Sheet, Site Plan, General Grading Plan, General Utilities Plan, Key Lot Designations, and Landscape Plan.

FIRE NOTES

- 1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
7. No Parking Fire Lane signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

PROPERTY DESCRIPTION: LOTS 1-A THROUGH 25-A, INCLUSIVE, BLOCK 27; LOTS 1-A THROUGH 25-A, INCLUSIVE, BLOCK 32; TRACTS A, B, C AND D; THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO. RECORDED AT RECEPTION NUMBER: 2016008632

BENCHMARK: DOUGLAS COUNTY GIS CONTROL MONUMENT "2015030". ELEVATION = 6082.17 FEET (NAVD88)

BASIS OF BEARINGS: THE EAST LINE OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE NORTHEAST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "AZTEC PLS 38064" AND AT THE SOUTHEAST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "AZTEC PLS 33204", ASSUMED TO BEAR SOUTH 01°03'47" EAST.

PREPARED FOR CASTLE ROCK DEVELOPMENT COMPANY 3033 EAST FIRST AVENUE, SUITE 410 DENVER, COLORADO 80206 303-394-5500

CONTACT LIST

- TOWN OF CASTLE ROCK: 100 N. WILCOX ST. CASTLE ROCK, CO. 80104 (720) 733-2471
OWNER/DEVELOPER: CASTLE ROCK LAND CO. LLC. 3033 EAST FIRST AVENUE SUITE 410 DENVER, COLORADO 80206 CONTACT: JIM RILEY (303) 394-5500
TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT: 300 NORTH PERRY ST. CASTLE ROCK, CO 80104 (303) 660-1066
SURVEYING: AZTEC CONSULTANTS, INC. 300 EAST MINERAL AVE., SUITE 1 LITTLETON, CO. 80122 (303) 713-1898 CONTACT: DEREK BROWN, PLS
COMCAST: 6850 S. TUCSON WAY CENTENNIAL, CO 80112 (303) 603-5682 CONTACT: BUTCH BUSTER
ENGINEER: RG AND ASSOCIATES, LLC 4885 WARD ROAD, SUITE 100 WHEAT RIDGE, CO. 80033 (303) 468-8474 CONTACT: GARY E. WELP P.E., CFM
INTERMOUNTAIN-REWA: 5496 N. U.S. HIGHWAY 85 SEDALIA, CO 80135 (720) 733-5582 CONTACT: REN W. OSTERWALD
PLANNER: VOGEL & ASSOCIATES 475 W 12TH AVENUE, SUITE E DENVER, CO 80204 (303) 893-4288 CONTACT: JEFF VOGEL
CENTURYLINK: 5325 ZUNI STREET, ROOM 728 DENVER, CO 80221 (720) 578-3723 CONTACT: GRETCHEN MEYERETT
BLACK HILLS ENERGY: 1769 PARK STREET CASTLE ROCK, CO 80109 (303) 217-7811 CONTACT: RON ZUROFF

SUMMARY TABLE

Summary table with columns LAND AREAS and ACRES. Includes Subdivision Lots (50) 4,559 ACRES, Private Tracts A through E 0,971 ACRES, Total Area 5,530 ACRES, and various breakdowns for structures, parking, and setbacks.

*-ITEMS BASED ON THE MEADOWS PRELIMINARY P.D. SITE PLAN FOURTH AMENDMENT. **-BASED ON TOWN OF CASTLE ROCK REGULATIONS.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 31st DAY OF MAY, 2016. Director of Development Services: Derek Brown

SURVEYOR'S CERTIFICATE

I, DEREK BROWN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR DATE

CIVIL ENGINEER'S STATEMENT

I, GARY E. WELP, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER DATE

HOLDER OF DEED OF TRUST

U.S. BANK NATIONAL ASSOCIATION, D/B/A/ HOUSING CAPITAL COMPANY

BY: Jason Subia

NAME: Jason Subia TITLE: SVP

STATE OF COLORADO COUNTY OF DOUGLAS

ACKNOWLEDGED BEFORE ME THIS 18th DAY OF May, 2016, BY Jason Subia AS SVP

OF U.S. BANK NATIONAL ASSOCIATION, D/B/A/ HOUSING CAPITAL COMPANY

WITNESS MY HAND AND OFFICIAL SEAL:

Lori Nicole Beckman, Notary Public

MY COMMISSION EXPIRES: 3/15/17

TRUST DEES:

10-22-13; REC. No. 2013089310; 3-11-16; REC. NO. 2016014442



OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Oakwood Homes, LLC, a Colorado Limited Liability Company

SIGNED THIS 17th DAY OF May, 2016

NOTARY BLOCK

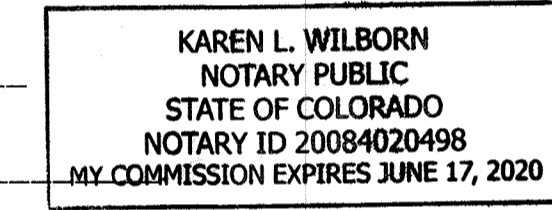
SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF May

2016 BY Robert J. Sanderman AS EUP OF Oakwood Homes, LLC, a Colorado Limited Liability Company

WITNESS MY HAND AND OFFICIAL SEAL:

Karen L. Wilborn, Notary Public

MY COMMISSION EXPIRES: 6/17/2020



TITLE CERTIFICATION

I, ALICE ODETT, AN AUTHORIZED REPRESENTATIVE OF STEWART TITLE GUARANTY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Alice Odette, Authorized Representative

Stewart Title Guaranty, Title Company

SIGNED THIS 24th DAY OF May, 2016

NOTARY BLOCK

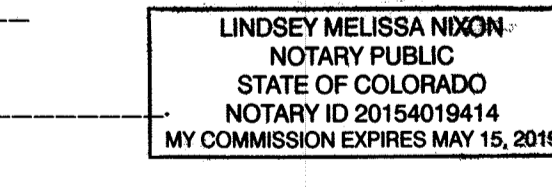
SUBSCRIBED AND SWORN TO BEFORE ME THIS 24th DAY OF May

2016 BY Alice Odette AS AUTHORIZED REPRESENTATIVE OF Stewart Title Guaranty

WITNESS MY HAND AND OFFICIAL SEAL:

Lindsey Melissa Ndon, Notary Public

MY COMMISSION EXPIRES: 5-15-2019



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK

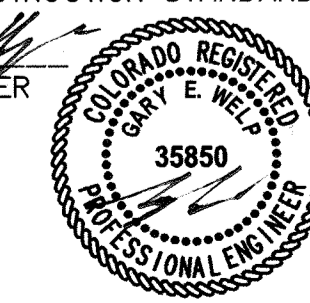
AND RECORDER OF DOUGLAS COUNTY AT 10:22 am ON THE 2nd DAY OF June, 2016 AT RECEPTION NO. 2016034788

DOUGLAS COUNTY CLERK AND RECORDER

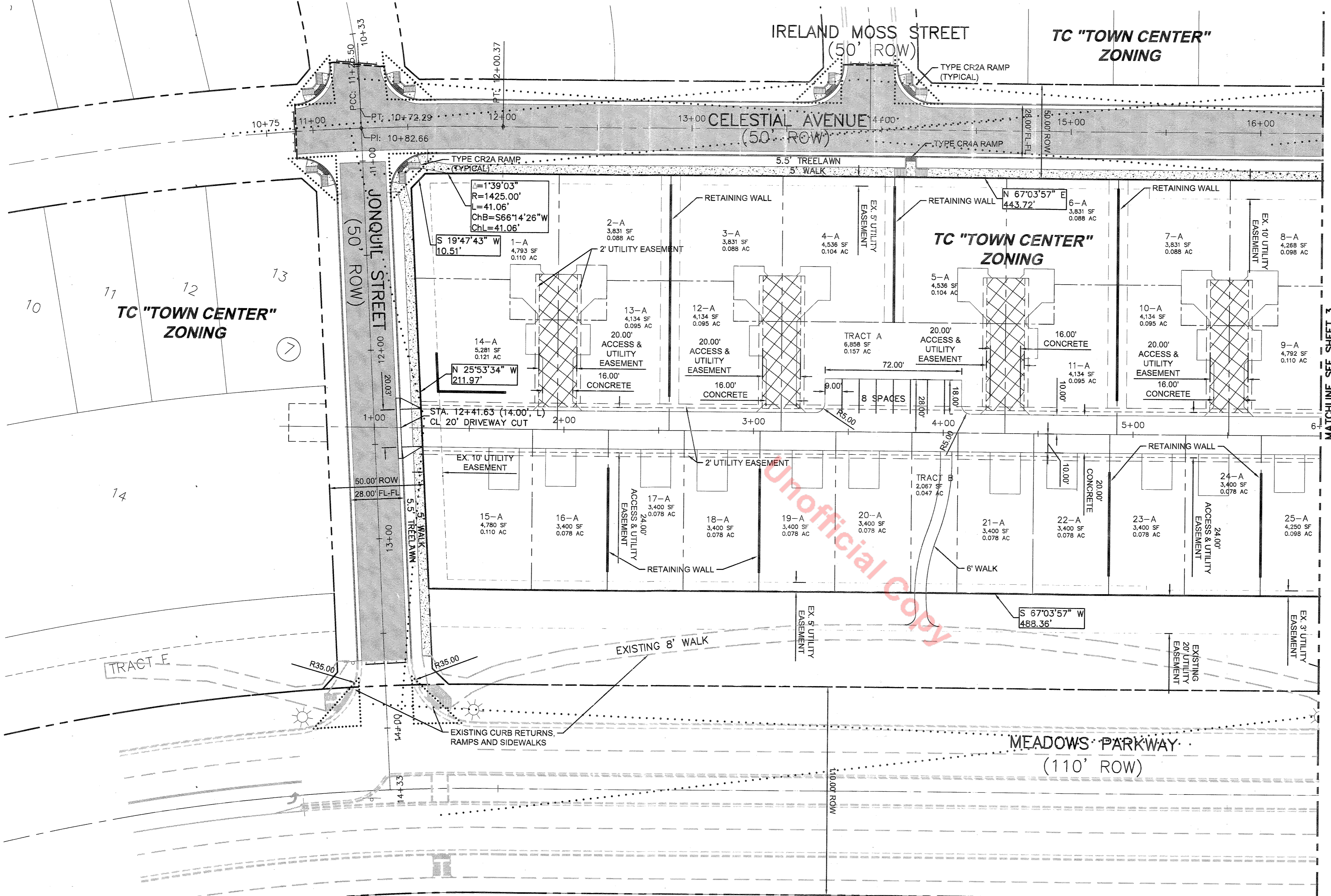
BY: Sandra C. Secoy, Deputy



THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN Project No. SDP15-0031 SHEET 1 OF 13 - COVER SHEET

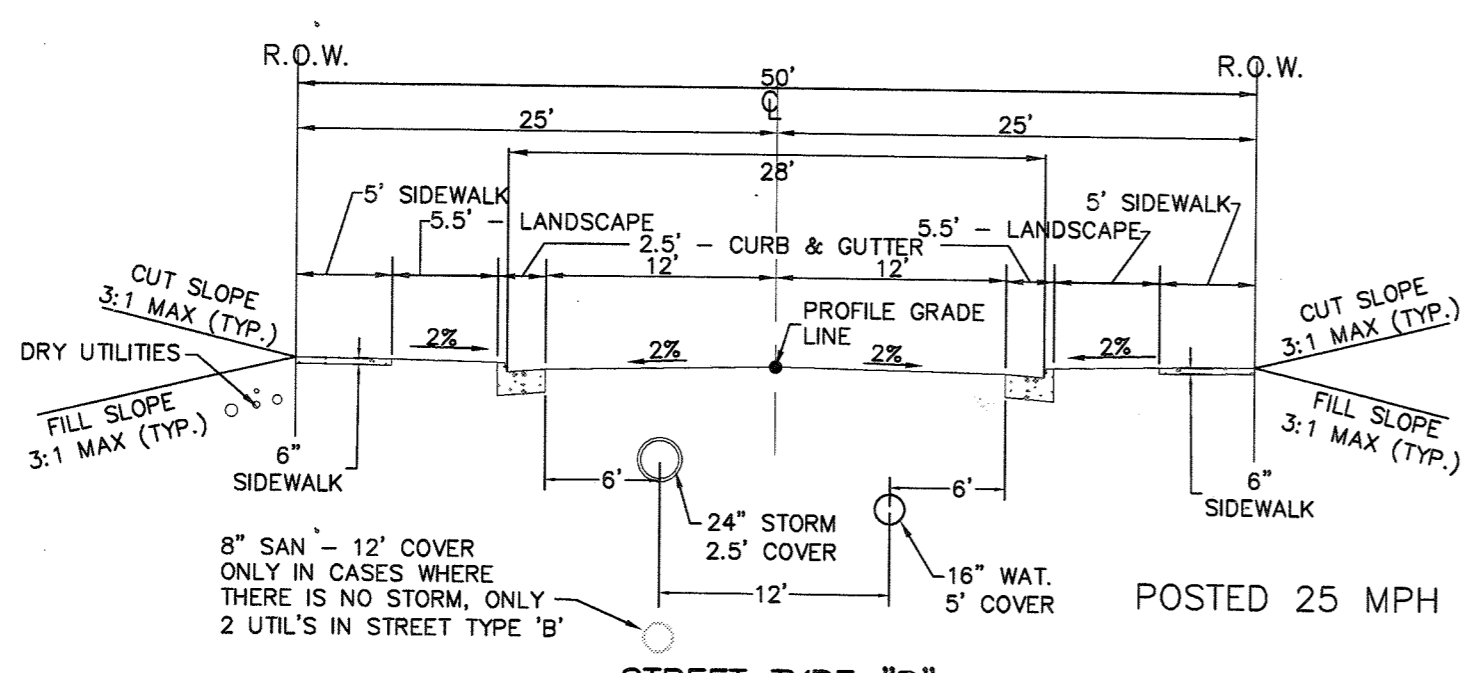


**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)
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COLORADO**

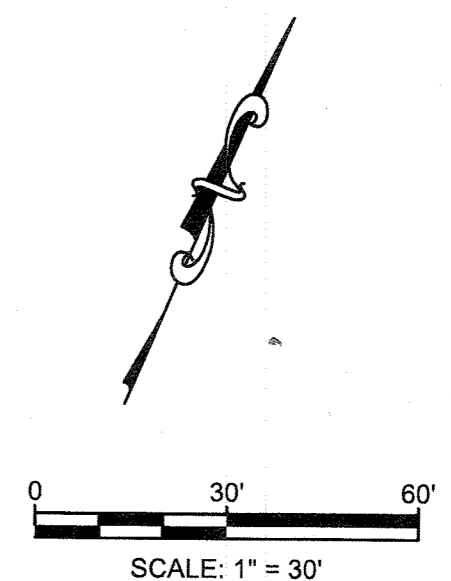
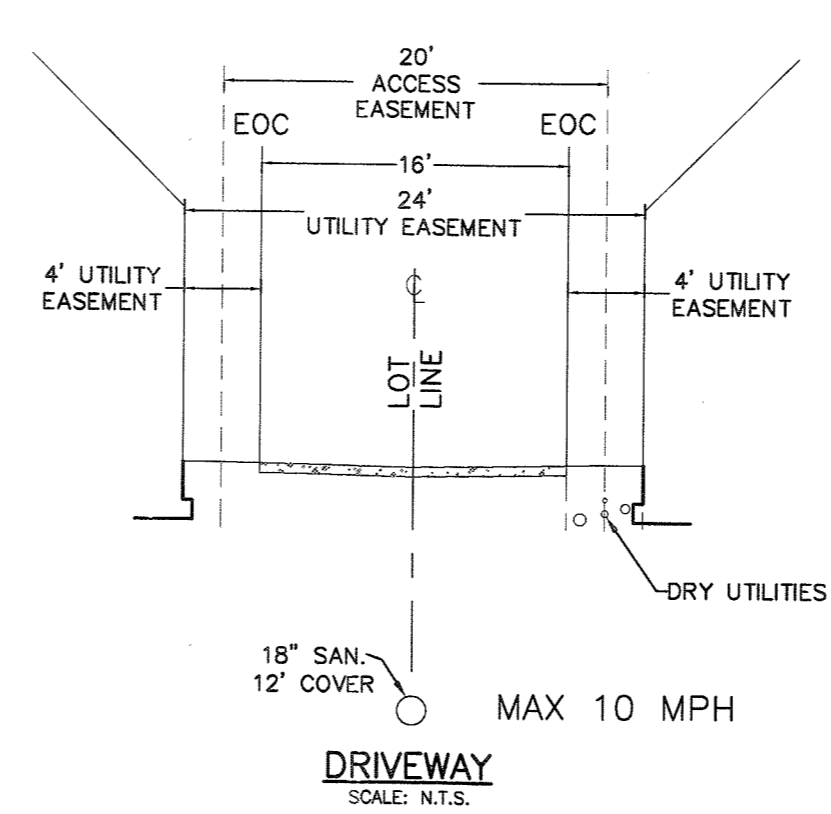
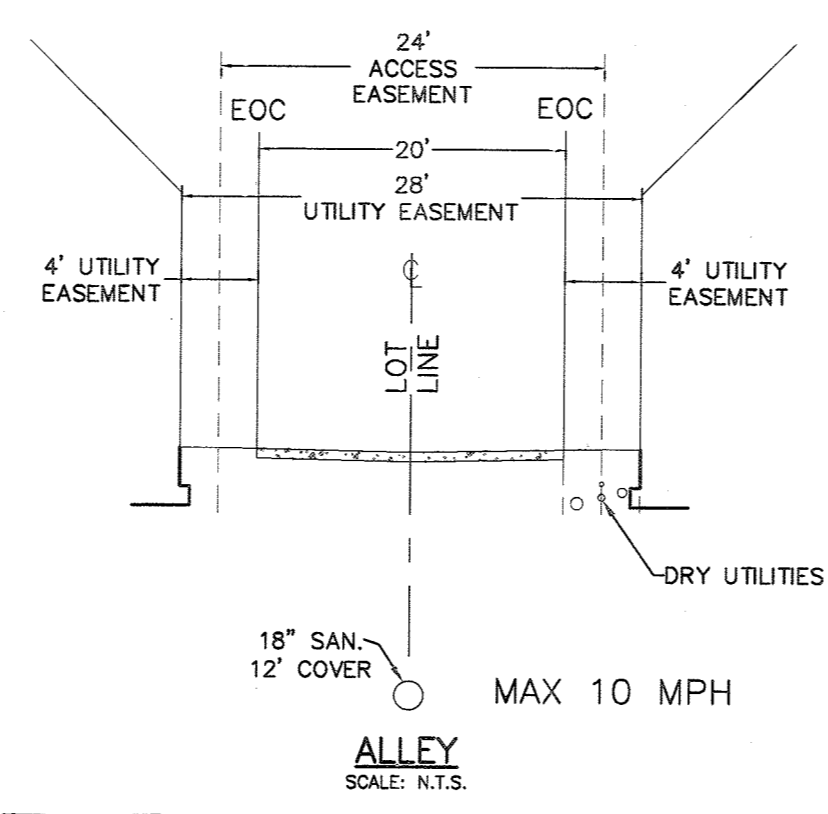


- SAFETY TRIANGLE LINES
- SIGHT DISTANCE LINES
- [Cross-hatched box] INDICATES SHARED DRIVEWAY AND UTILITY EASEMENTS WITHIN HOUSING PODS

NOTE: In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan – Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan – Fourth Amendment shall govern development of the property, except as otherwise provided in the Meadows (Fourth Amendment) development agreement.



EMILY ST., HARDIN ST., IRELAND MOSS ST., JONQUIL ST., CELESTIAL AVE.



48 hours before you see this, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**
Gas, Electric, Telephone, Cable, and Pipeline Locations
SCALE VERIFICATION
BAR IS ONE INCH ON THIS SHEET
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

NO.	REVISIONS	DATE	BY
	DESCRIPTION		
	CD15-0042 Issued for Construction		

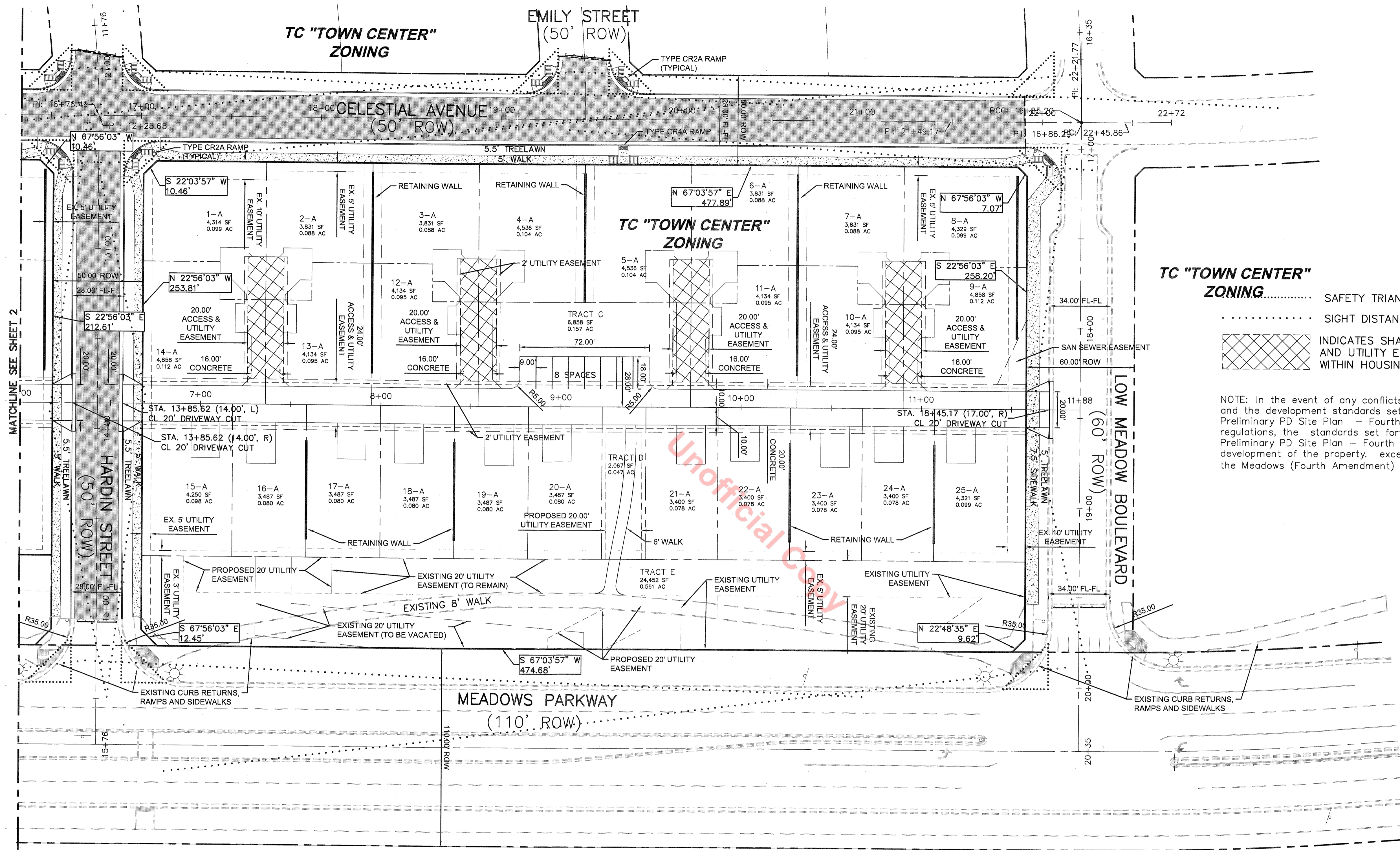
RG AND ASSOCIATES, LLC
4885 Ward Road, Suite 100 - Wheat Ridge, CO - 80033
Gypsum - Loveland - Monte Vista - Wheat Ridge
303-295-8107 - 303-293-8105 (fax) - www.rgengineers.com

SITE PLAN
Prepared for
Castle Rock Development Company
3053 E. First Ave., Suite 410
Denver, Colorado 80206

DRAWN BY:	DESIGNED BY:
JOB NUMBER:	820.0028
DATE:	SEPTEMBER, 2015
SCALE:	1" = 30'
DRAWING NAME:	
SHEET NO.:	2 of 13

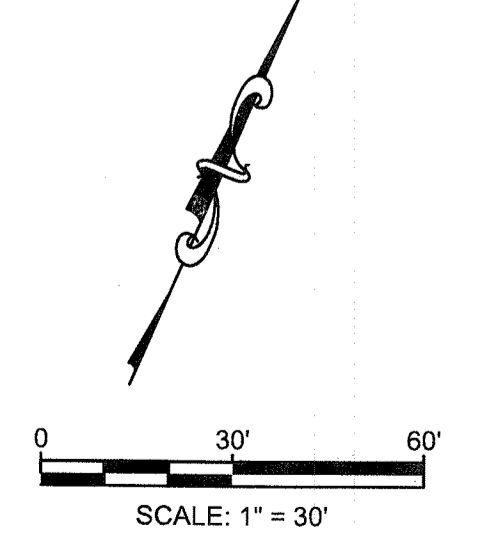
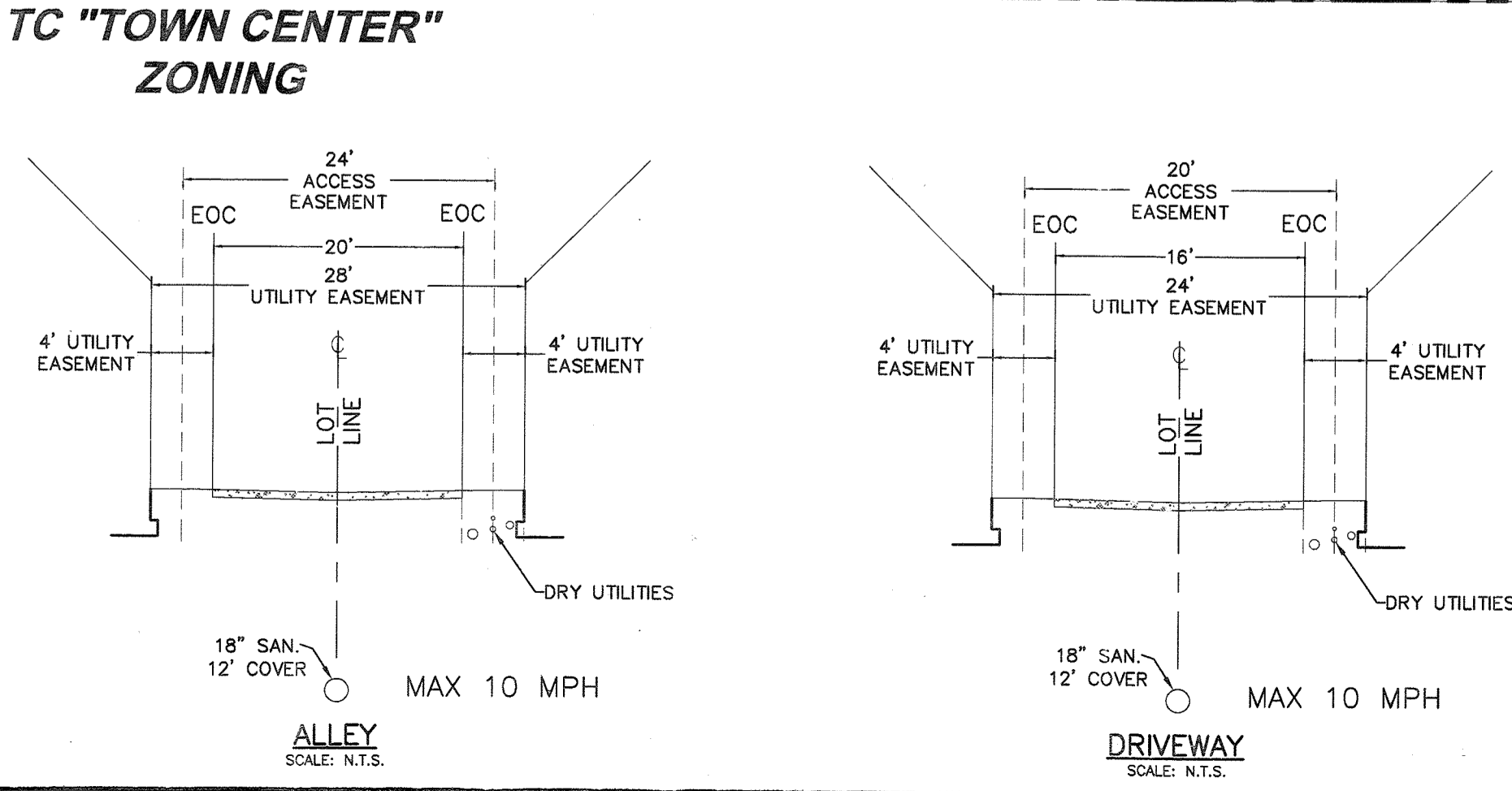
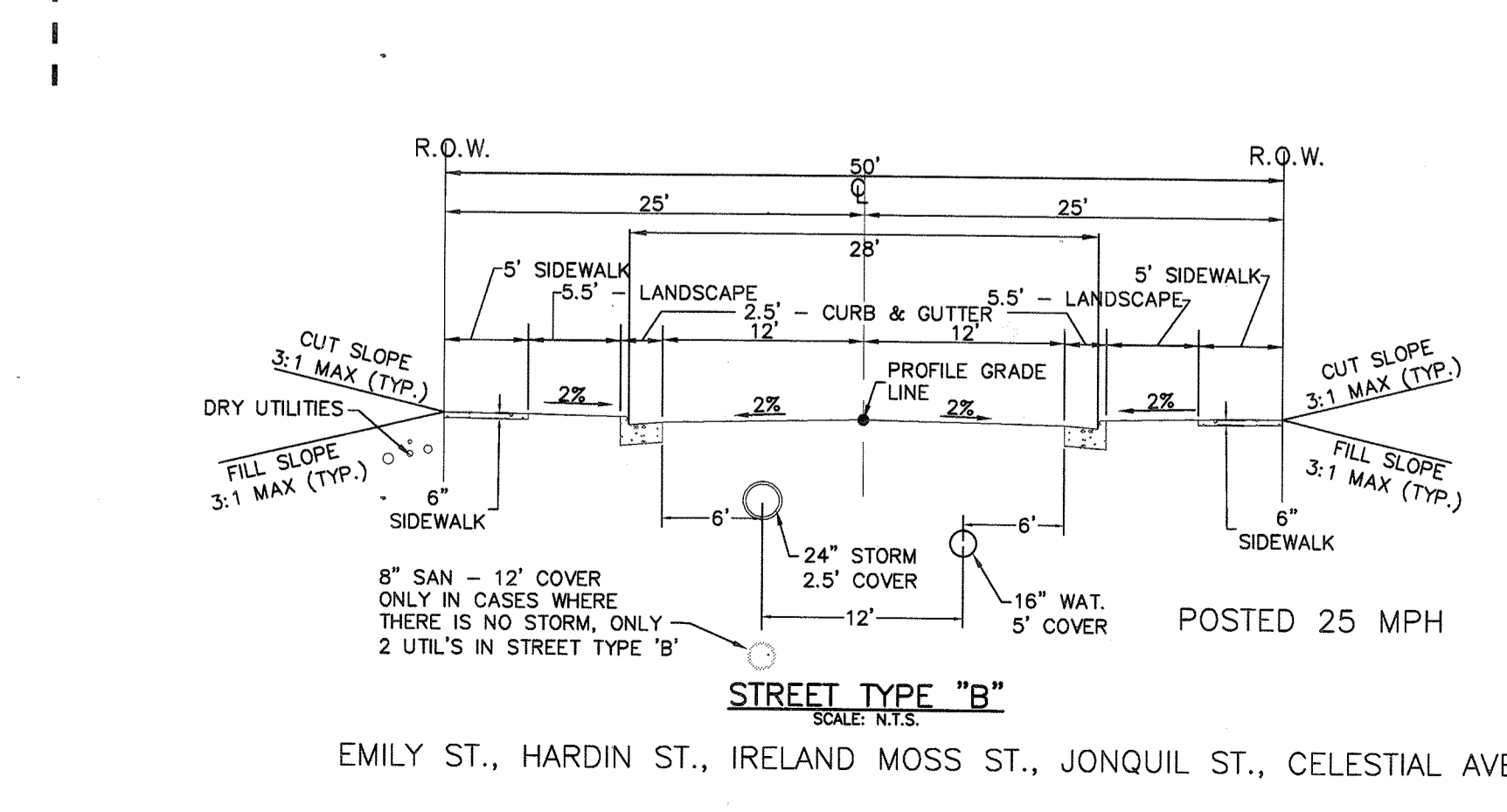
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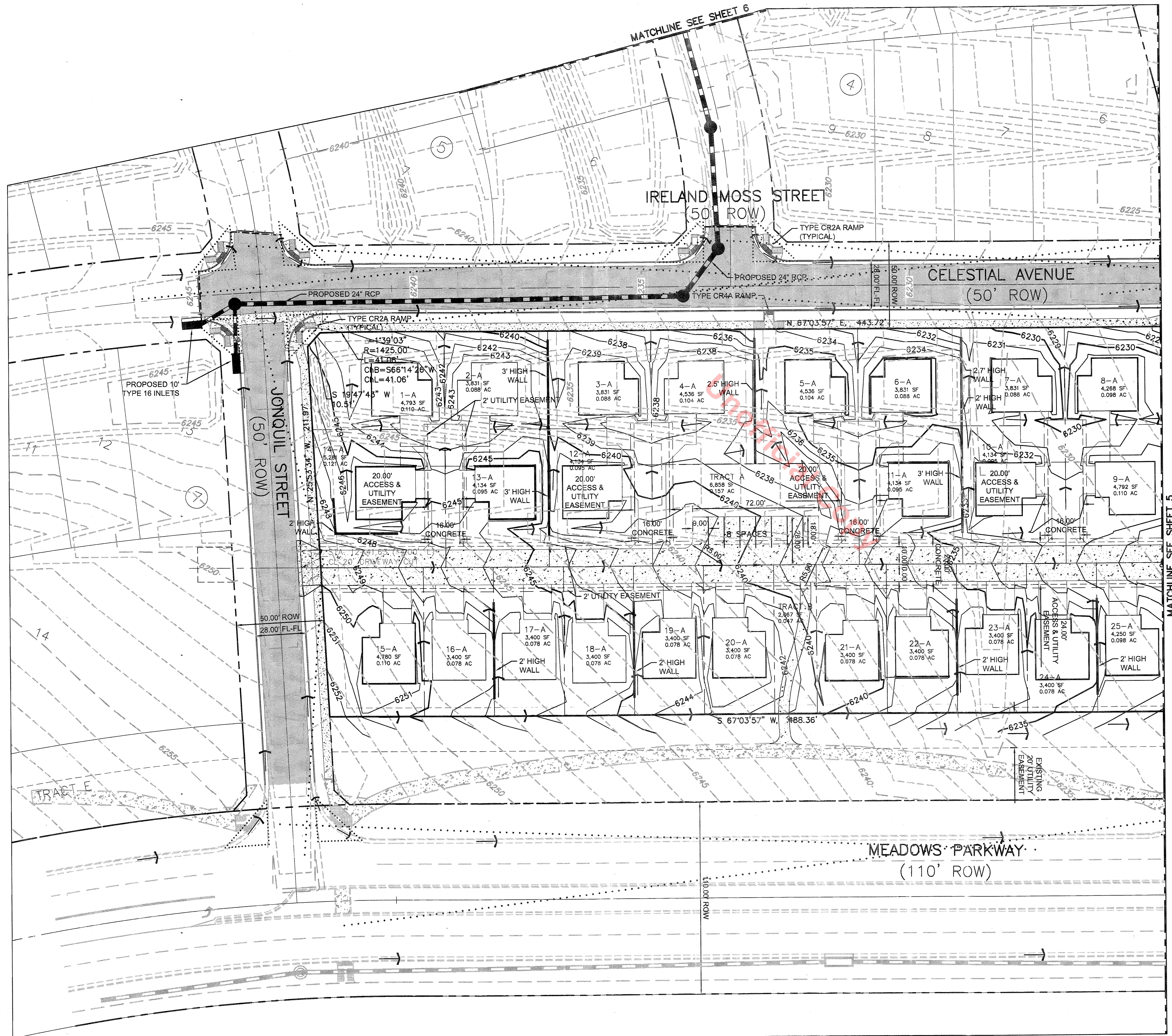
TC "TOWN CENTER" ZONING..... SAFETY TRIANGLE LINES
 SIGHT DISTANCE LINES
 INDICATES SHARED DRIVEWAY AND UTILITY EASEMENTS WITHIN HOUSING PODS

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48 hours before you file, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)	
811	Gas, Electric, Telephone, CATV, and Public Utilities Provide Advance Notice of Excavation Locations
SCALE - VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY	
REVISIONS NO. DATE BY DESCRIPTION	0015-0042 Issued for Construction m/n/20bx
RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com	
SITE PLAN Prepared for Castle Rock Development Company 3035 E. First Ave., Suite 410 Denver, Colorado 80206	
DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0028	
DATE: SEPTEMBER, 2015	
SCALE: 1"=30'	
DRAWING NAME:	
THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN Project No. SDP15-0031 SHEET 3 OF 13 - SITE PLAN	
SHEET NO:	3 of 13

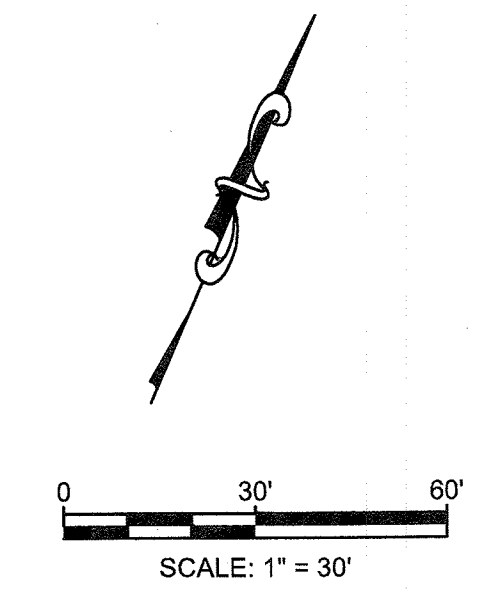
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 COLORADO



LEGEND

- EX. ASPHALT
- PR. ASPHALT
- PR. CONCRETE ALLEY
- PR. CURB CUT & SIDEWALK
- EX. CONTOURS
- PR. CONTOURS
- PR. FLOW DIRECTION
- SAFETY TRIANGLE LINES
- SIGHT DISTANCE LINES

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48 hours before you file, CALL UTILITY NOTIFICATION CENTER, COLORADO (1-800-811-8111)
 811
 For Electric, Gas, Water, Sewer, Stormwater, Telephone, Cable, and Other Utilities, Call 811
 SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET
 IF ADJUST SCALES ACCORDINGLY

NO.	DATE	BY	REVISIONS
	xx/xx/20xx		DESCRIPTION
			CD15-0042 Issued for Construction

RG AND ASSOCIATES, LLC
 4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033
 Gypsum • Loveland • Montrose • Vista • Wheat Ridge
 303-293-8107 • 303-293-8106 (fax) • www.rgassociates.com

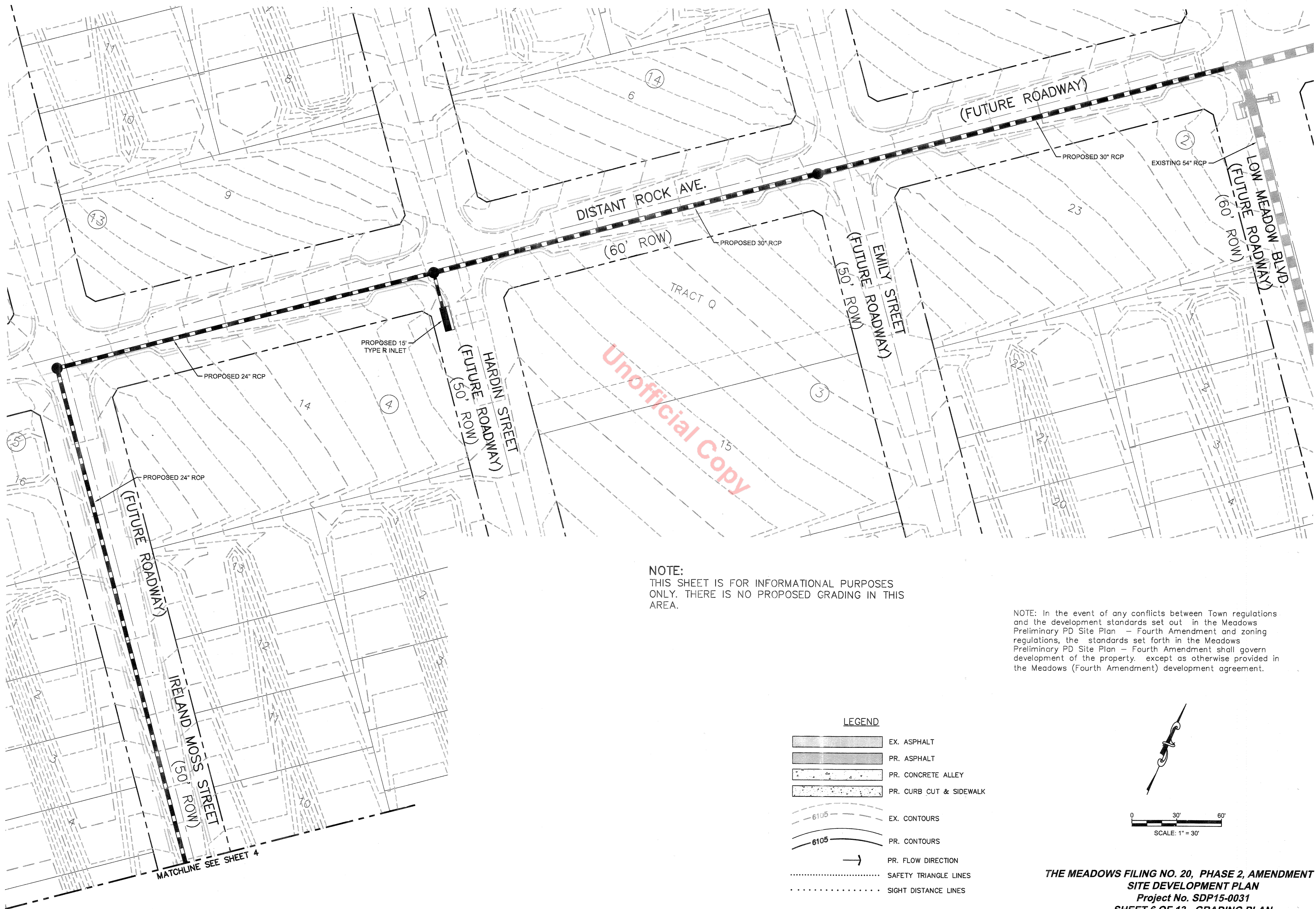
GRADING PLAN
 prepared for
 Castle Rock Development Company
 3033 E. First Ave. Suite 410
 Denver, Colorado 80206

DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0028	
DATE: SEPTEMBER, 2015	
SCALE: 1"=30'	
DRAWING NAME:	
SHEET NO: 4	of 13

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
 SITE DEVELOPMENT PLAN
 Project No. SDP15-0031
 SHEET 4 OF 13 - GRADING PLAN**

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

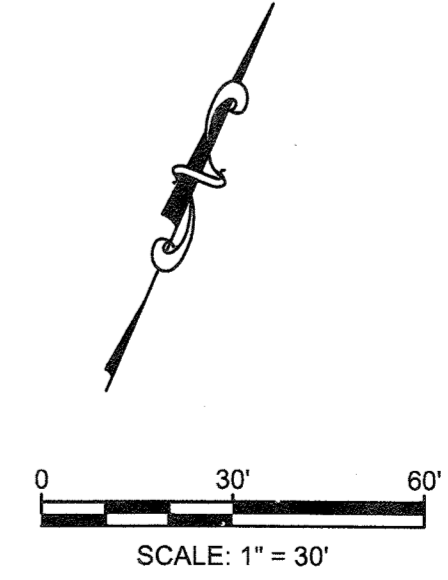
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COLORADO



NOTE:
THIS SHEET IS FOR INFORMATIONAL PURPOSES
ONLY. THERE IS NO PROPOSED GRADING IN THIS
AREA.

NOTE: In the event of any conflicts between Town regulations
and the development standards set out in the Meadows
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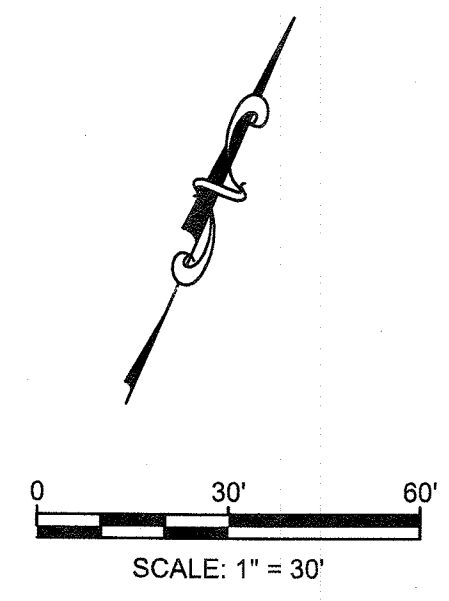
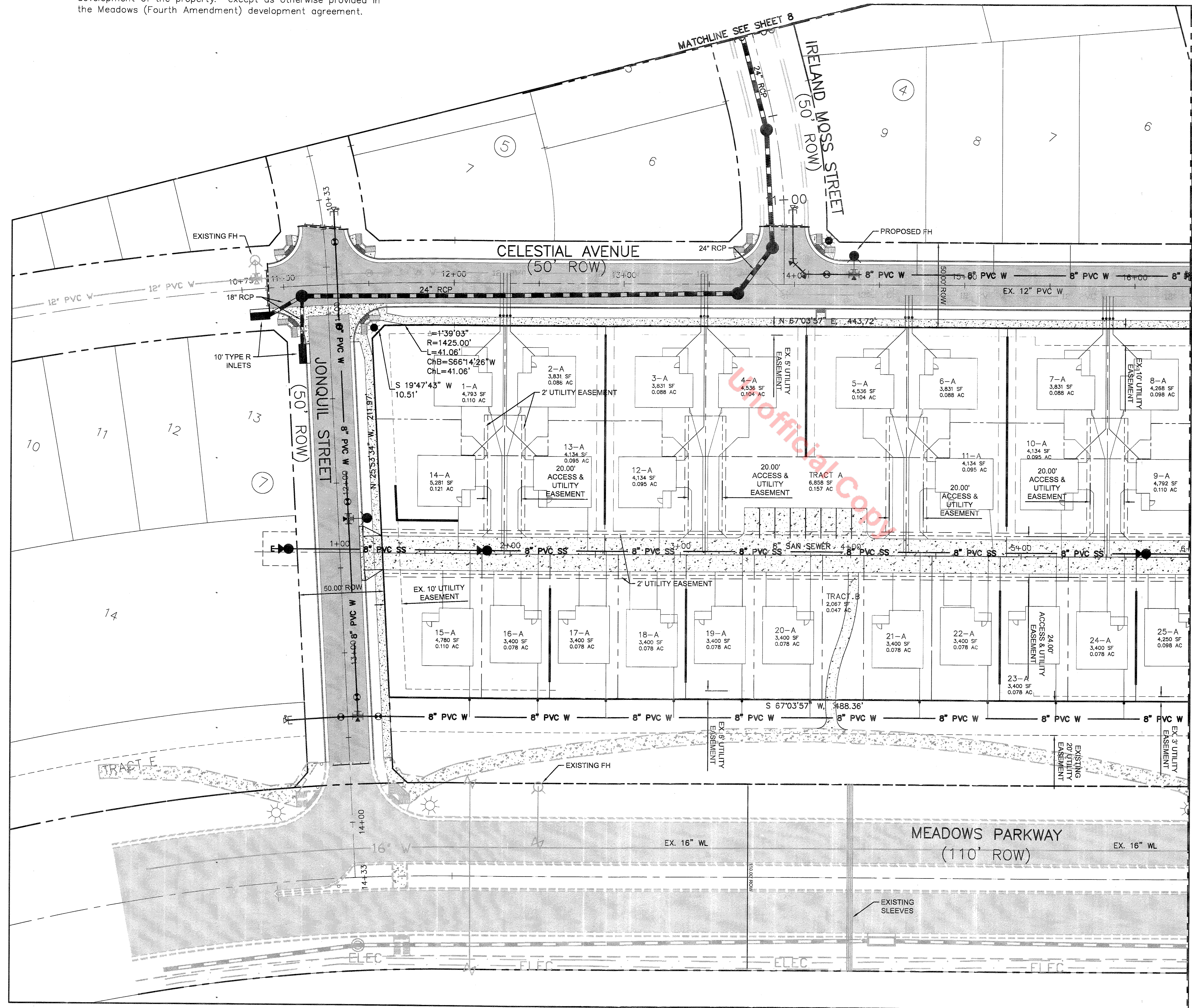
MATCHLINE SEE SHEET 4

<p>48 hours before you dig, call UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) 811</p> <p>Gas, Electric, Telephone, CATV, and Potable & Sewer Lines Locations</p> <p>SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>									
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 85%;">DESCRIPTION</th> <th style="width: 10%;">DATE</th> <th style="width: 5%;">BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>CD15-0012 Issued for Construction</td> <td>11/17/2016</td> <td>WJ/AY/2016</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	1	CD15-0012 Issued for Construction	11/17/2016	WJ/AY/2016	<p>RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033 Gyrfium • Loveland • Monte Vista • Wheat Ridge 303-295-8107 • 303-293-8106 (fax) • www.rgengineers.com</p>
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1	CD15-0012 Issued for Construction	11/17/2016	WJ/AY/2016						
<p>GRADING PLAN</p> <p>prepared for Castle Rock Development Company 3033 E. First Ave. Suite 410 Denver, Colorado 80206</p>									
DRAWN BY:	DESIGNED BY:								
JOB NUMBER: 820.0028									
DATE: SEPTEMBER, 2015									
SCALE: 1"=30'									
DRAWING NAME: THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN Project No. SDP15-0031 SHEET 6 OF 13 - GRADING PLAN									
SHEET NO: 6	of 13								

THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
COLORADO

NOTE: In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan - Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan - Fourth Amendment shall govern development of the property, except as otherwise provided in the Meadows (Fourth Amendment) development agreement.



LEGEND

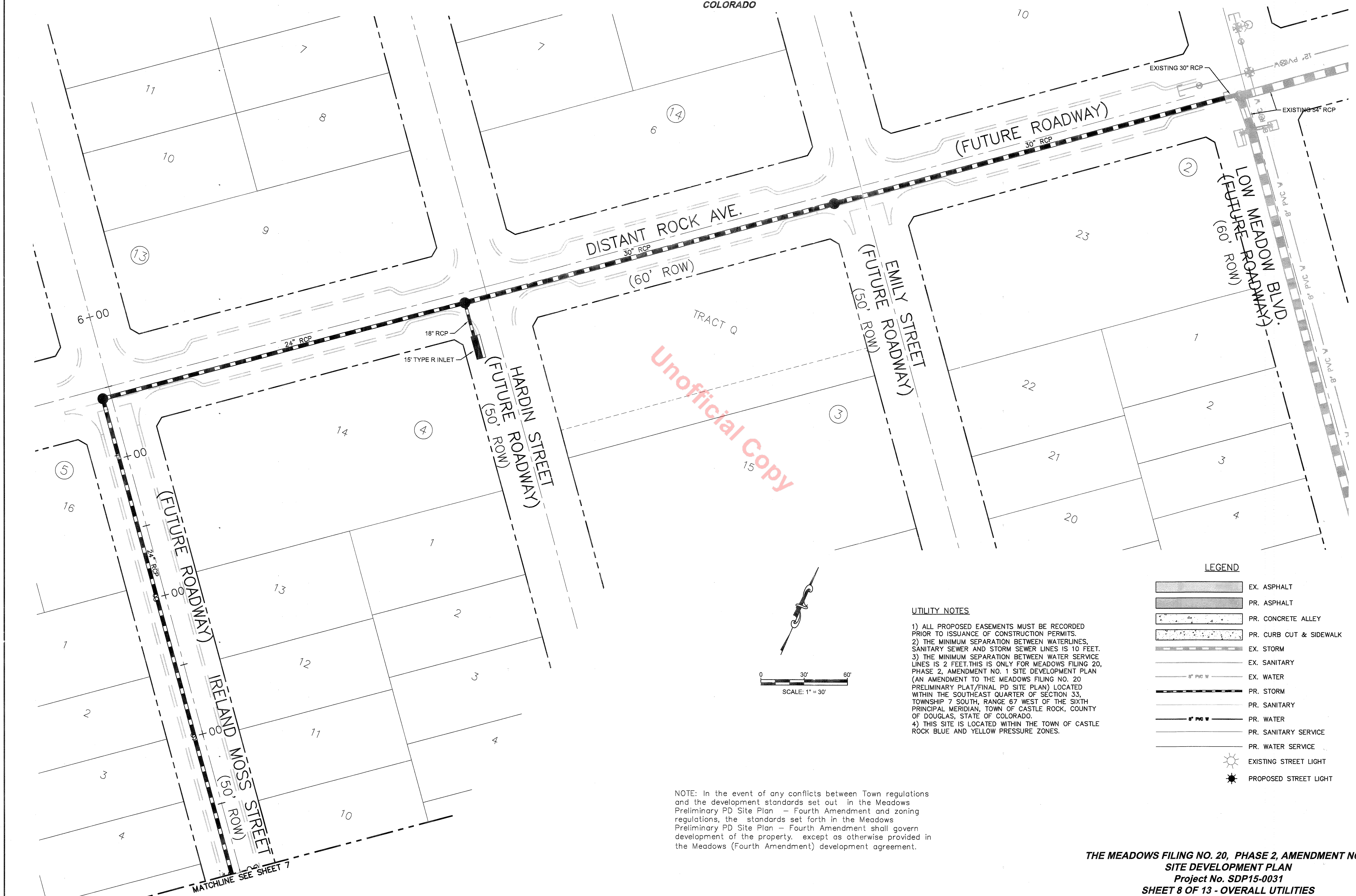
	EX. ASPHALT
	PR. ASPHALT
	PR. CONCRETE ALLEY
	PR. CURB CUT & SIDEWALK
	EX. STORM
	EX. SANITARY
	EX. WATER
	PR. STORM
	PR. SANITARY
	PR. WATER
	PR. SANITARY SERVICE
	PR. WATER SERVICE
	EXISTING STREET LIGHT
	PROPOSED STREET LIGHT

- UTILITY NOTES**
- 1) ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - 2) THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - 3) THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 2 FEET. THIS IS ONLY FOR MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN) LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
 - 4) THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE AND YELLOW PRESSURE ZONES.

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
SITE DEVELOPMENT PLAN
Project No. SDP15-0031
SHEET 7 OF 13 - OVERALL UTILITIES**

<p>48 hours before you sign, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)</p> <p>811</p> <p>Gas, Electric, Telephone, Cable and Sewer</p> <p>SCALE VERIFICATION</p> <p>BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY</p>	
<p>NO.</p> <p>DESCRIPTION</p> <p>CD15-0042 Issued for Construction</p>	<p>REVISIONS</p> <p>DATE</p> <p>BY</p>
<p>RG AND ASSOCIATES, LLC</p> <p>4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033</p> <p>Gypsum • Loveland • Monte Vista • Wheat Ridge</p> <p>303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com</p>	
<p>OVERALL UTILITIES</p> <p>Prepared for Castle Rock Development Company 3005 E. First Ave., Suite 410 Denver, Colorado 80206</p>	
<p>DRAWN BY:</p> <p>DESIGNED BY:</p>	<p>JOB NUMBER: 820.0028</p> <p>DATE: SEPTEMBER, 2015</p> <p>SCALE: 1"=30'</p> <p>DRAWING NAME:</p>
<p>SHEET NO: 7</p>	<p>of 13</p>

THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)
 LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
 COLORADO



Unofficial Copy

LEGEND

- EX. ASPHALT
- PR. ASPHALT
- PR. CONCRETE ALLEY
- PR. CURB CUT & SIDEWALK
- EX. STORM
- EX. SANITARY
- PR. STORM
- PR. SANITARY
- PR. WATER
- PR. SANITARY SERVICE
- PR. WATER SERVICE
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT

UTILITY NOTES

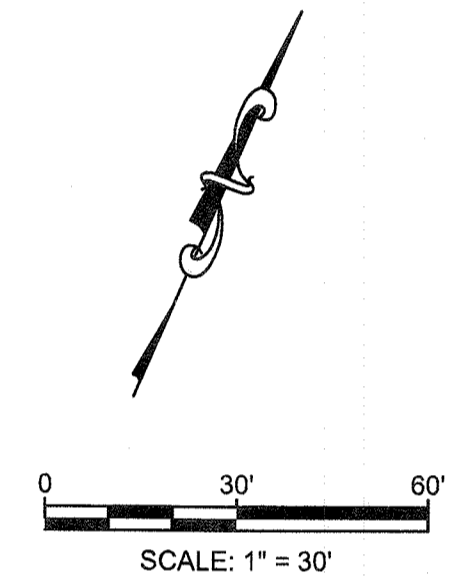
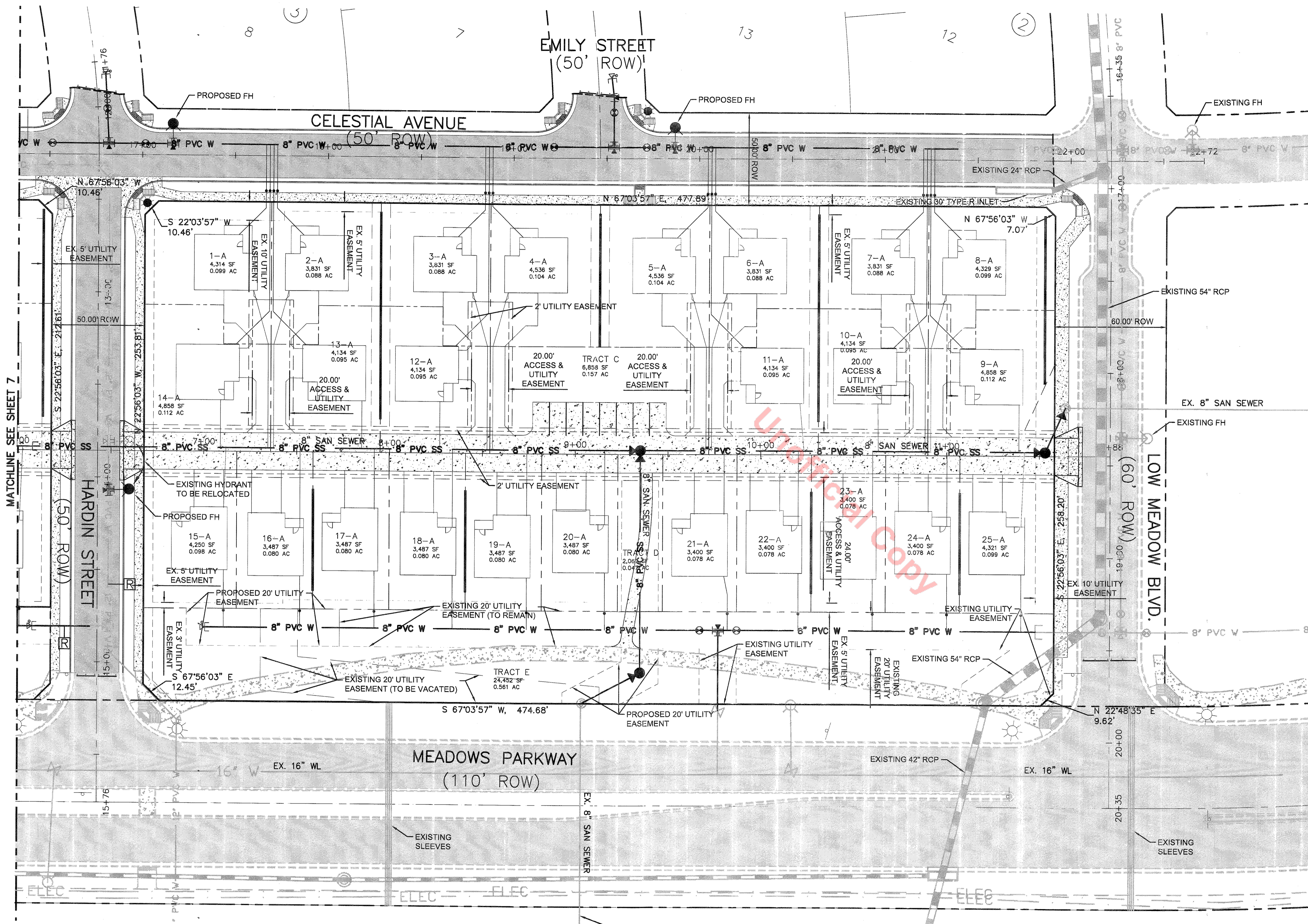
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48 hours before use. CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)	
811	Gas Electric Telephone Cable and Penetration Eastern Pipeline Locations
SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT CHECKED ON THIS SHEET ADJUST SCALES ACCORDINGLY	
REVISIONS NO. DESCRIPTION 1 2015-0042 Issued for Construction	BY DATE xx/xx/20xx
<p>RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 - Wheat Ridge, CO - 80033 Gypsum - Loveland - Monte Vista - Wheat Ridge 303-293-8107 - 303-293-8106 (fax) - www.rgassociates.com</p>	
<p>OVERALL UTILITIES</p> <p>Prepared for Castle Rock Development Company 3050 E. First Ave. Denver, Colorado 80206</p>	
DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0028	
DATE: SEPTEMBER, 2015	
SCALE: 1"=30'	
DRAWING NAME:	
SHEET NO. 8	of 13

THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
SITE DEVELOPMENT PLAN
 Project No. SDP15-0031
SHEET 8 OF 13 - OVERALL UTILITIES

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**
 LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
 OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
 COLORADO



LEGEND

	EX. ASPHALT
	PR. ASPHALT
	PR. CONCRETE ALLEY
	PR. CURB CUT & SIDEWALK
	EX. STORM
	EX. SANITARY
	EX. WATER
	PR. STORM
	PR. SANITARY
	PR. WATER
	PR. SANITARY SERVICE
	PR. WATER SERVICE
	EXISTING STREET LIGHT
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811
 CALL UTILITY
 NOTIFICATION CENTER OF COLORADO (UNCC)
 Castle Rock Development Company
 3033 E. First Ave. Suite 410
 Denver, Colorado 80206

NO.	REVISIONS	DESCRIPTION	DATE	BY

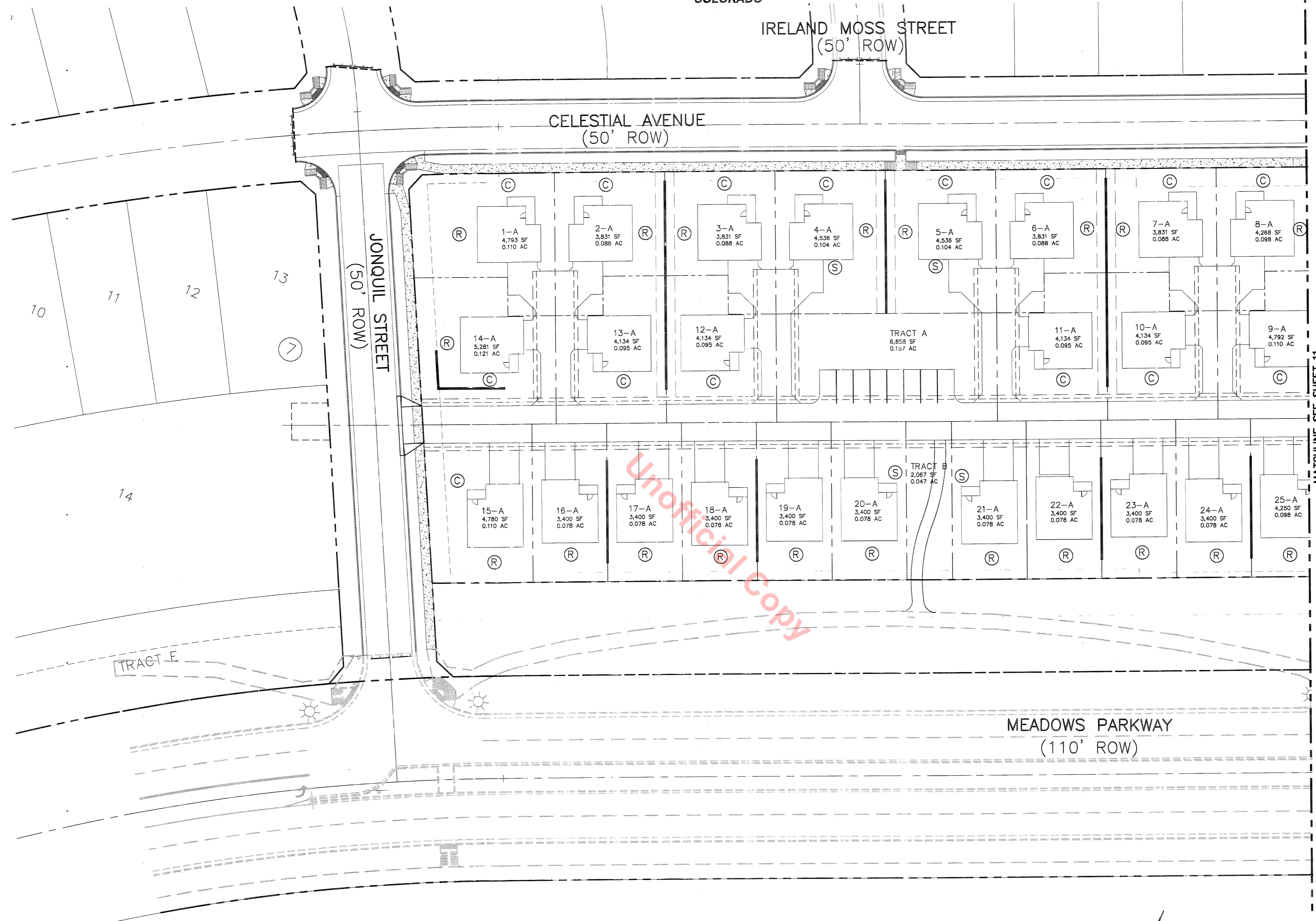
RG AND ASSOCIATES, LLC
 4895 Ward Road, Suite 100 • Wheat Ridge, CO • 80033
 Gypsum • Loveland • Monte Vista • Wheat Ridge
 303-993-8107 • 303-293-8106 (fax) • www.rgengineers.com

OVERALL UTILITIES
 Prepared for
Castle Rock Development Company
 3033 E. First Ave. Suite 410
 Denver, Colorado 80206

DRAWN BY:	DESIGNED BY:
JOB NUMBER: 820.0028	DATE: SEPTEMBER, 2015
SCALE: 1"=30'	DRAWING NAME:
SHEET NO: 9	of 13

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
COLORADO



**SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS – AMENDED ONLY AS TO THE PROPERTY
SUBJECT TO THIS SITE DEVELOPMENT PLAN.**

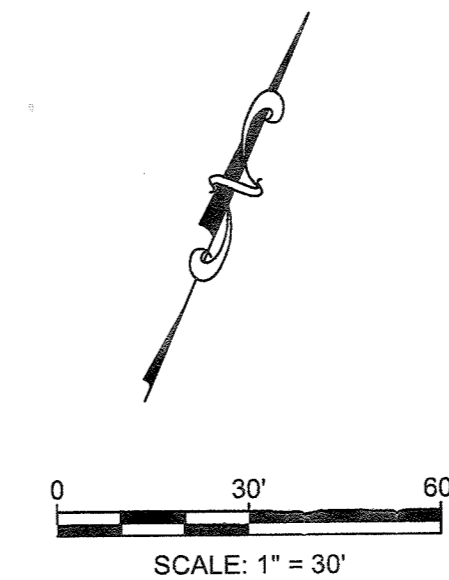
NOTE: In the event of any conflicts between Town regulations and the development standards set out in the Meadows Preliminary PD Site Plan – Fourth Amendment and zoning regulations, the standards set forth in the Meadows Preliminary PD Site Plan – Fourth Amendment shall govern development of the property, except as otherwise provided in the Meadows (Fourth Amendment) development agreement.

4. Lots designated with a © represent "corner condition" lots. Dwelling units built on these lots are required to have a wrap-around front porch detail on both the front and side elevation.

8. Lots designated with an ® represent "rear condition" lots. Dwelling units built on these lots are required to have enhanced rear elevation architectural details including a minimum of two architectural details that break the main plain of the rear elevation.

9. Lots designated with an © represent "side condition" lots. Dwelling units built on these lots are required to have enhanced side elevation architectural details that are judged by Castle Rock Development Company to be substantial and appropriate such lots.

All other Single Family Residential Development Standards as set forth on The Meadows Filing No. 20 Preliminary Plat/Final PD Site Plan are applicable.

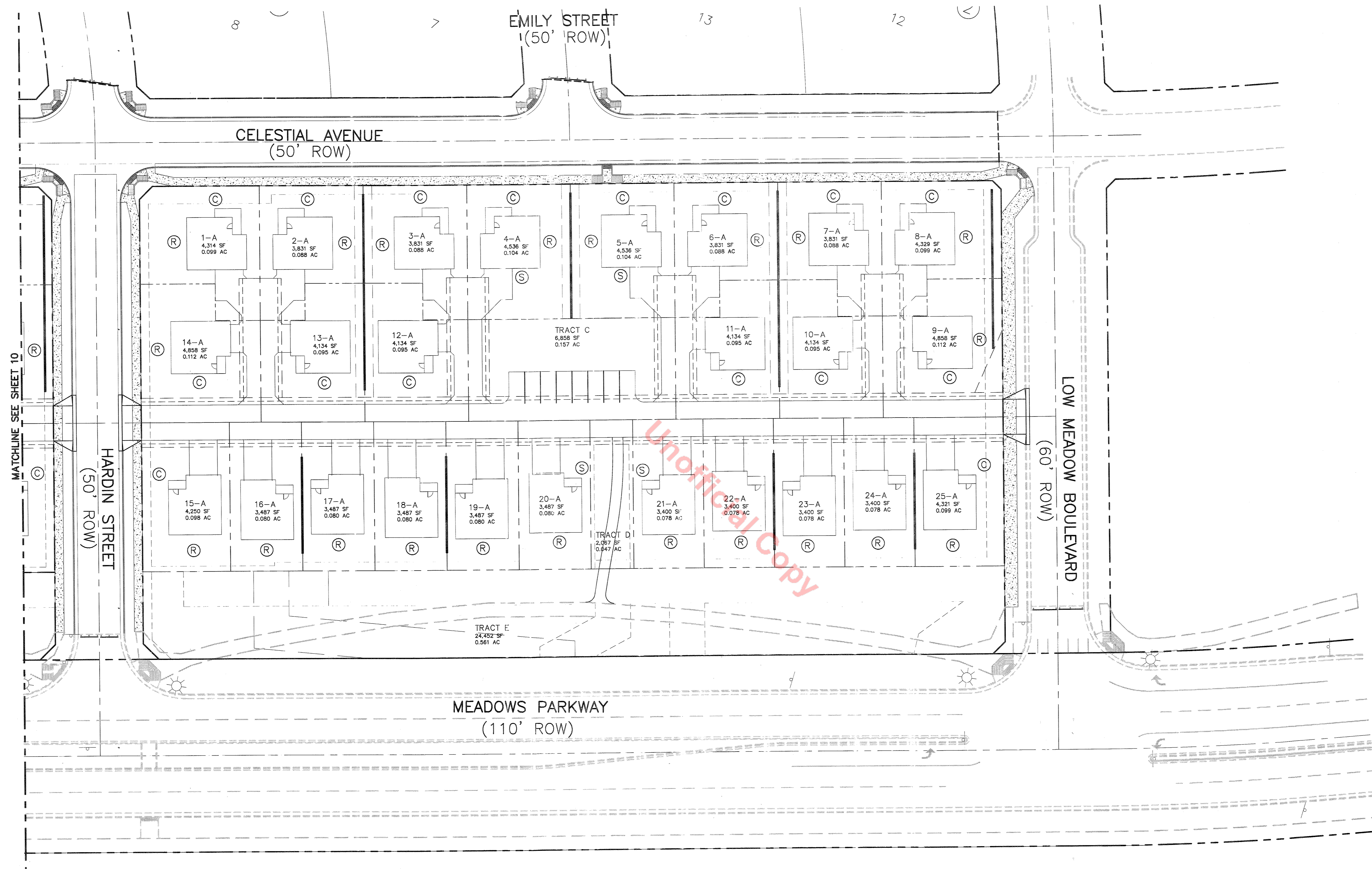


**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
SITE DEVELOPMENT PLAN
Project No. SDP15-0031
SHEET 10 OF 13 - KEY LOT DESIGNATIONS**

48 hours before you file, CALL UTILITY NOTIFICATION CENTER OF COLORADO (NCCO) 811 For Electric, Gas, Water, Sewer, Stormwater, and Telecommunications. Provide Location, Date, and Time of Work.	
SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET IF ADJUST SCALES ACCORDINGLY	
REVISIONS NO. DESCRIPTION 0015-0042 issued for Construction FCO 16 - xxx	DATE xx/xx/xxxx xxx
DRAWN BY: DESIGNED BY: JOB NUMBER: 820.0028 DATE: SEPTEMBER, 2015 SCALE: 1" = 30' DRAWING NAME: SHEET NO: 10 of 13	
KEY LOT DESIGNATIONS prepared for Castle Rock Development Company 3093 E First Ave Suite #10 Denver, Colorado 80206	
RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-933-8107 • 303-293-6106 (fax) • www.rgassociates.com	

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)**

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF
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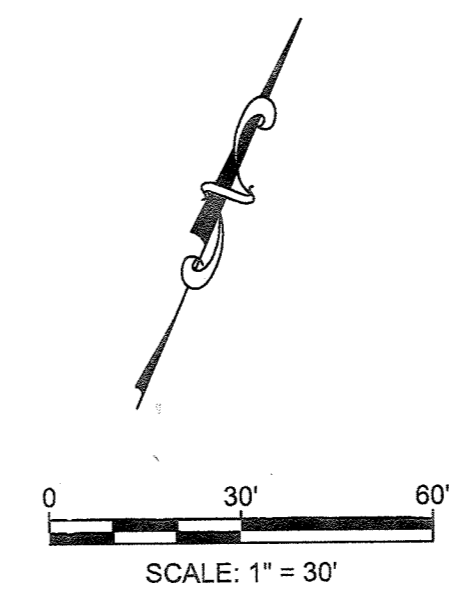
SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS - AMENDED ONLY AS TO THE PROPERTY SUBJECT TO THIS SITE DEVELOPMENT PLAN

4. Lots designated with a (C) represent "corner condition" lots. Dwelling units built on these lots are required to have a wrap-around front porch detail on both the front and side elevation.

8. Lots designated with an (R) represent "rear condition" lots. Dwelling units built on these lots are required to have enhanced rear elevation architectural details including a minimum of two architectural details that break the main plane of the rear elevation.

9. Lots designated with an (S) represent "side condition" lots. Dwelling units built on these lots are required to have enhanced side elevation architectural details that are judged by Castle Rock Development Company to be substantial and appropriate such lots.

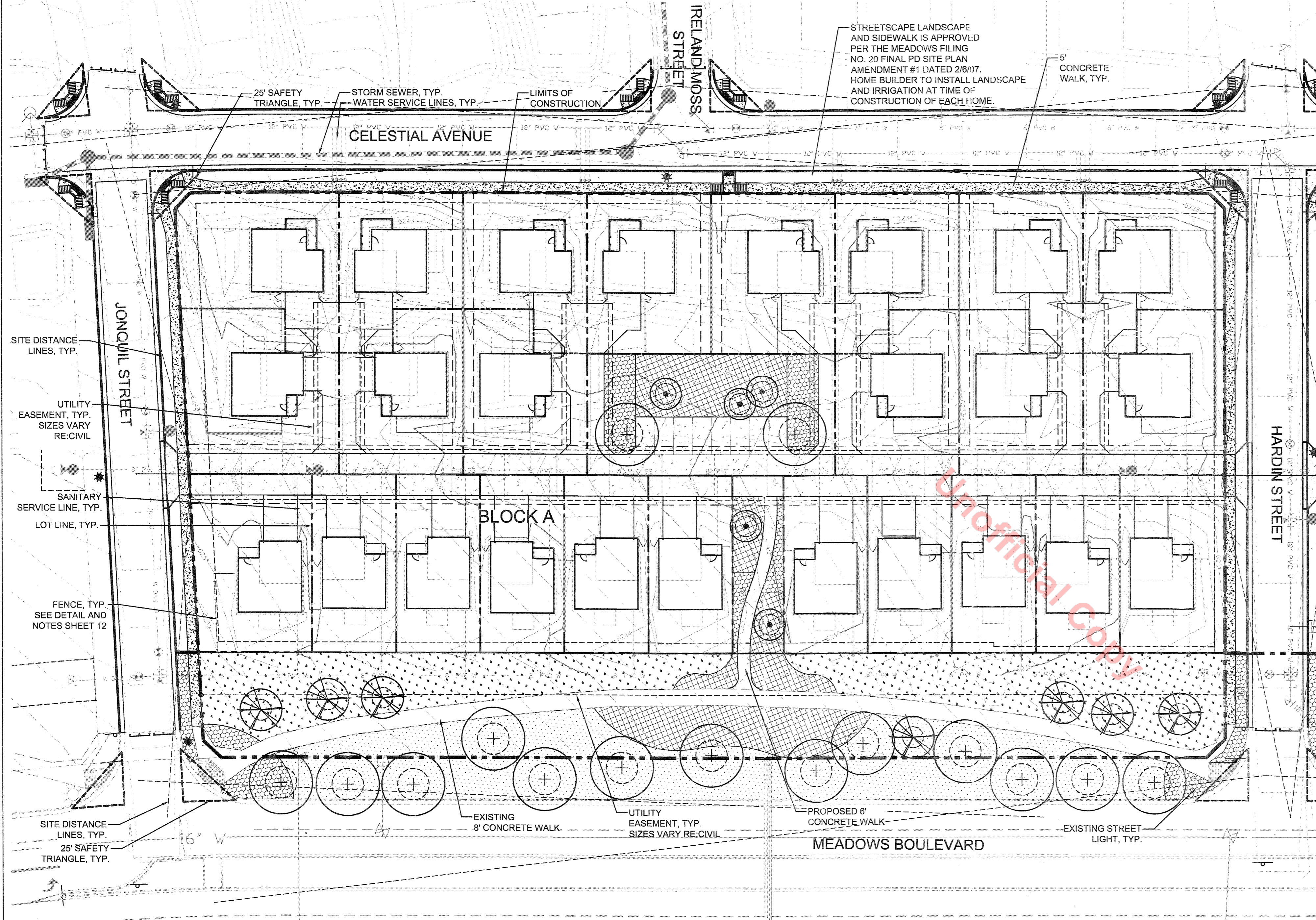
All other Single Family Residential Development Standards as set forth on The Meadows Filing No. 20 Preliminary Plat/Final PD Site Plan are applicable.



**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
SITE DEVELOPMENT PLAN
Project No. SDP15-0031
SHEET 11 OF 13 - KEY LOT DESIGNATIONS**

48 hours before you dig, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) 811	
Castle Rock Development Company, and Gypsum • Loveland • Monte Vista • Wheat Ridge SCALE - VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY	
REVISIONS NO. DESCRIPTION 0015-0042 Issued for Construction FCO 16 - XXX	BY DATE xx/xx/20xx XXX
DRAWN BY: DESIGNED BY: JOB NUMBER: 820.0028 DATE: SEPTEMBER, 2015 SCALE: 1" = 30' DRAWING NAME: SHEET NO: 11 of 13	
KEY LOT DESIGNATIONS prepared for Castle Rock Development Company 3033 E. First Ave. Suite #10 Denver, Colorado 80206	
RG AND ASSOCIATES, LLC 4885 Ward Road, Suite 100 • Wheat Ridge, CO • 80033 Gypsum • Loveland • Monte Vista • Wheat Ridge 303-293-8107 • 303-293-8106 (fax) • www.rgengineers.com	

THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN (AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN) LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- STANDARD NOTES**
- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
 - QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
 - ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
 - DISTANCE OF TREES TO WATER AND SANITARY UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET AND STORM WATER LINES A MINIMUM OF 5 FEET.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
 - DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
 - IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
 - TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
 - LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
 - MAINTENANCE SHALL MEET TOWN OF CASTLE ROCK REQUIREMENTS.
 - NO SLOPES GREATER THAN 3:1 ARE PERMITTED.
 - OVERHEAD IRRIGATION IS NOT PERMITTED ON SLOPES EQUAL TO 3:1.
 - NO BOULDERS OVER 3 FEET IN DIAMETER ARE TO BE IN UTILITY EASEMENTS.
 - AT THE TIME OF INSTALLATION PLANTS SHALL BE FERTILIZED WITH 1 LB. NITROGEN AND 1 LB. PHOSPHORUS PER 1,000 S.F. IN THE EVENT THAT PLANTS REQUIRE ADDITIONAL FERTILIZATION BEYOND WHAT IS SPECIFIED, IT SHALL BE ACCORDING TO THE RECOMMENDATIONS OF A SOIL ANALYSIS WHICH IS SUBMITTED TO TOWN INSPECTOR.
 - TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR REPLACING ANY TYPE OF LANDSCAPE ITEM REMOVED IN UTILITY EASEMENTS DUE TO UTILITY LINE MAINTENANCE OR REPAIR.
 - AFTER THE INITIAL INSTALLATION OF THE LANDSCAPING PLAN AS SET FORTH ON THIS SITE DEVELOPMENT PLAN (AND AS FURTHER DEFINED IN THE APPROVED LANDSCAPING CONSTRUCTION DRAWINGS) THE OWNER(S) OF THE PRIVATE O.S. TRACTS MAY, AT OWNER'S FULL DISCRETION, REPLACE DEAD OR DYING PLANTS WITH SIMILAR PLANTS BUT NOT NECESSARILY THE SAME SPECIES OF PLANT. FOR EXAMPLE, A DEAD OR DYING DECIDUOUS TREE/SHRUB CAN BE REPLACED WITH A DECIDUOUS TREE/SHRUB OF A DIFFERENT SPECIES. REPLACEMENT PLANTS MUST BE LISTED ON THE TOWN OF CASTLE ROCK PLANT SPECIES LIST AVAILABLE ONLINE AT WWW.CRGOV.COM.
 - WITHIN THE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE STREET ELEVATION.
 - WITHIN SIGHT DISTANCE LINES, TREES WITH A CALIPER OF NO GREATER THAN TWELVE (12) INCHES AND A BRANCHING HEIGHT NO LESS THAN EIGHT (8) FEET, AS MEASURED FROM THE ADJACENT STREET FLOWLINE, WILL BE ALLOWED IF IT CAN BE DEMONSTRATED THAT THESE TREES WILL NOT NEGATIVELY IMPACT THE VEHICULAR SIGHT DISTANCE. THE TREE SPECIES WILL BE OF A TYPE THAT WILL NATURALLY CONFORM TO THESE SPECIFICATIONS WHEN MATURE. ALL LIMBS MUST BE MAINTAINED SUCH THAT NO BRANCHES FALL BELOW THE 8 FEET HEIGHT.

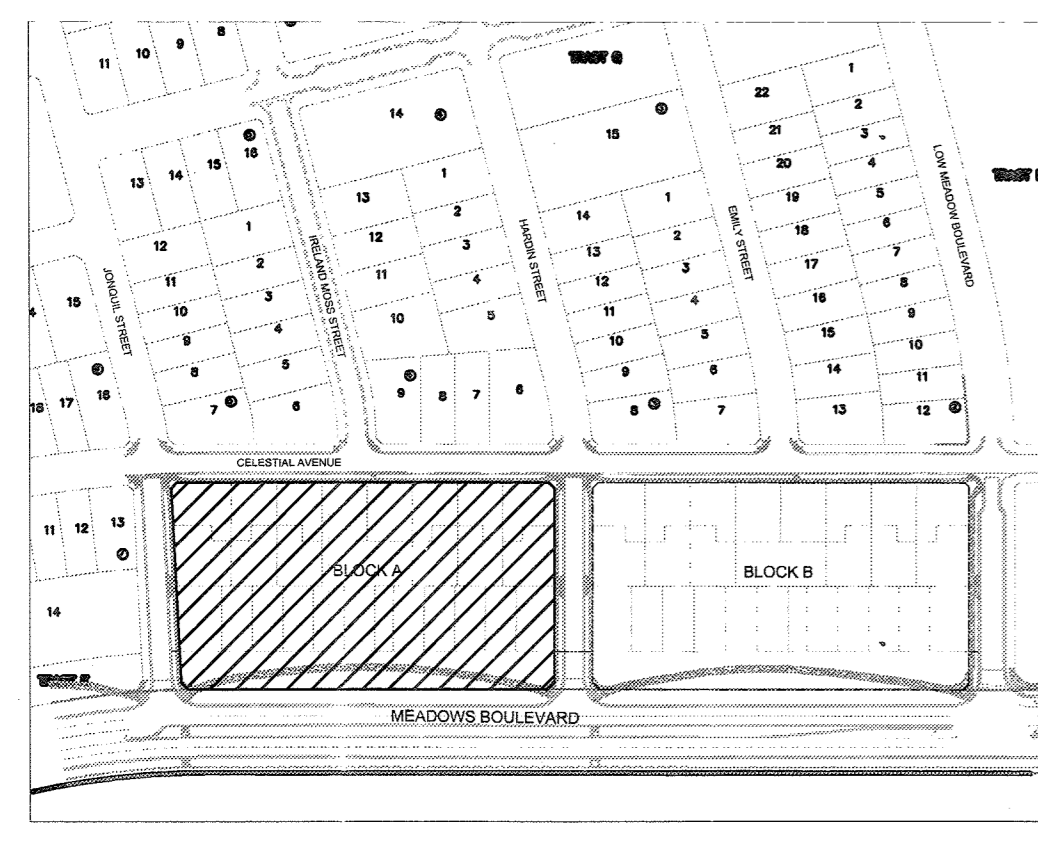
LANDSCAPE SUMMARY TABLE:

INTERIOR LANDSCAPE AREA	AREA (SQ. FT.)	PERCENTAGE OF TOTAL	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
GROSS SITE LANDSCAPE AREA:	50,859		20	26	81	95
IRRIGATED LANDSCAPE (SITE):	50,859	100%				
IRRIGATED TURF:	8,302	16%				
LIVING GROUND COVER:	50,859	100%				
NON-IRRIGATED LANDSCAPE:	0	0%				
NON-LIVING GROUND COVER:	0	0%				
NON-DISTURBED AREAS:	0	0%				
STREETSCAPE						
STREETSCAPE AREA:	19,392					
IRRIGATED LANDSCAPE (R.O.W.):	19,392	100%				
IRRIGATED TURF:	16,827	87%				
LIVING GROUND COVER:	19,392	100%				
NON-IRRIGATED LANDSCAPE:	0	0%				
NON-LIVING GROUND COVER:	0	0%				
NON-DISTURBED AREAS:	0	0%				
MEADOWS BOULEVARD:			TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
LINEAR FEET	1,050		26	26	105	119

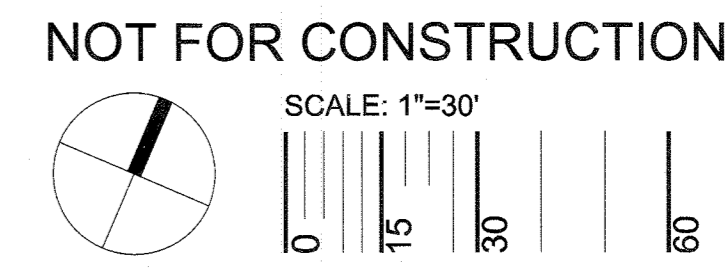
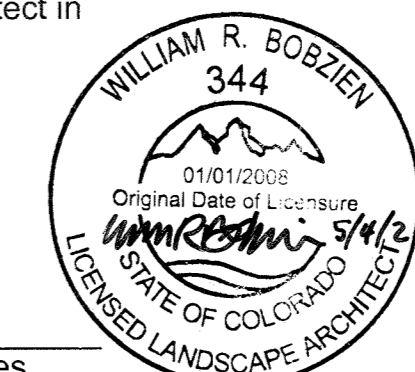
CLWUR Chart for the Town of Castle Rock

Irrig. Zone	Plant Name (Common)	App Rate (inches/month)	Zone (V/L/L, Mod, HW)	% of Total Area	Irrigated Area in sq ft for each zone	LWUR (Landscape Water Use Rating)	TA (Total Area of all landscape zones)	CLWUR (LWUR x IA/TA)
Low	Rocky Mountain Native Seed Mix		L	54.5%	38,300	1.5	70,251	0.82
	Low Grow Shortgrass Mix		L					
Moderate	Shrub Beds		Mod	45.5%	31,951	3.0	70,251	1.36
	Enviro-Turf		Mod					
Total of the CLWUR=								2.18

PLANTING KEY-	HYDROZONES	IRRIGATION TYPE
ENVIRO-TURF SOD Turf Master	Moderate	Overhead Spray
LOW GROW SHORTGRASS MIX Arkansas Valley Seed	Low	Overhead Spray
ROCKY MOUNTAIN NATIVE SEED MIX Arkansas Valley Seed	Low	Overhead Spray
SHRUB BED	Moderate	Drip
DECIDUOUS TREE Installed Diameter 3/4 Mature Diameter	Low / Moderate	Drip
ORNAMENTAL TREE	Low / Moderate	Drip
EVERGREEN TREE	Low / Moderate	Drip



Landscape Registration:
William R. Bobzien, Licensed Landscape Architect in the State of Colorado.



William R. Bobzien - #344
For and on behalf of Vogel and Associates

NOT FOR CONSTRUCTION

THE MEADOWS FILING NO. 20
BLOCK 32 AND BLOCK 27 PHASE 2 AREA
SITE DEVELOPMENT PLAN
Town Project Number: SDP15-0031

48 hours before you sign, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) **811**

One-Click, Telephone, City and Location, Eastern, Western, Locations

SCALE VERIFICATION
BAR: 5' ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

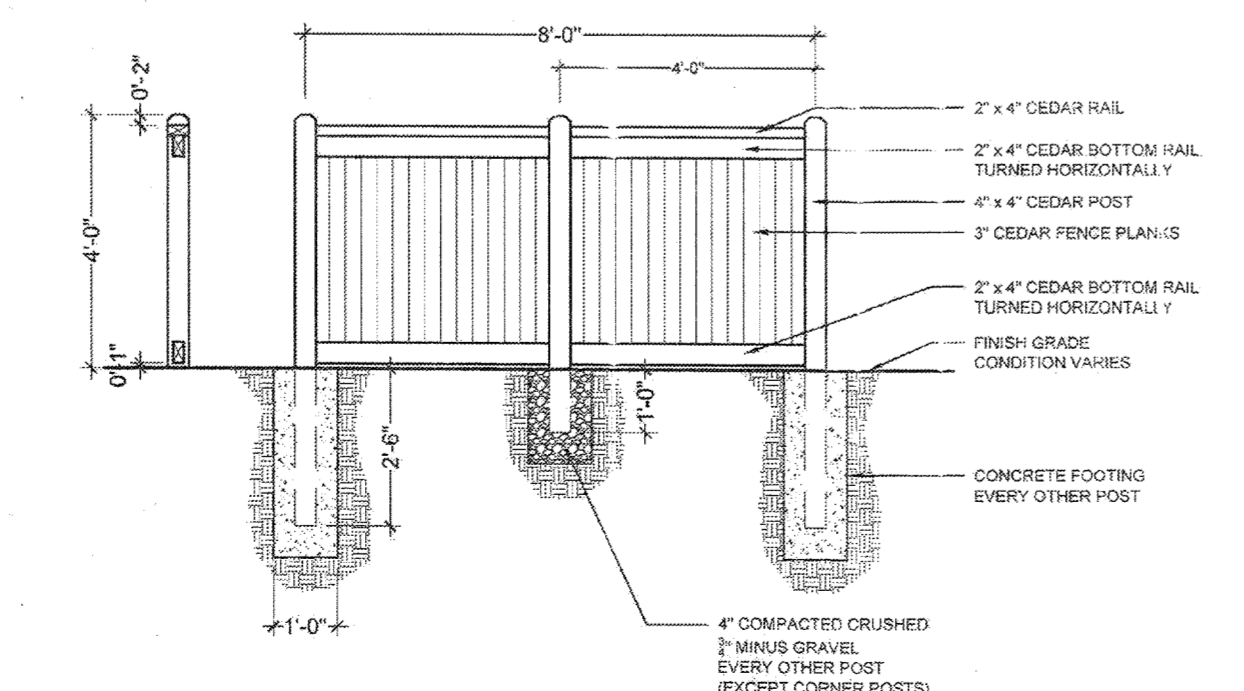
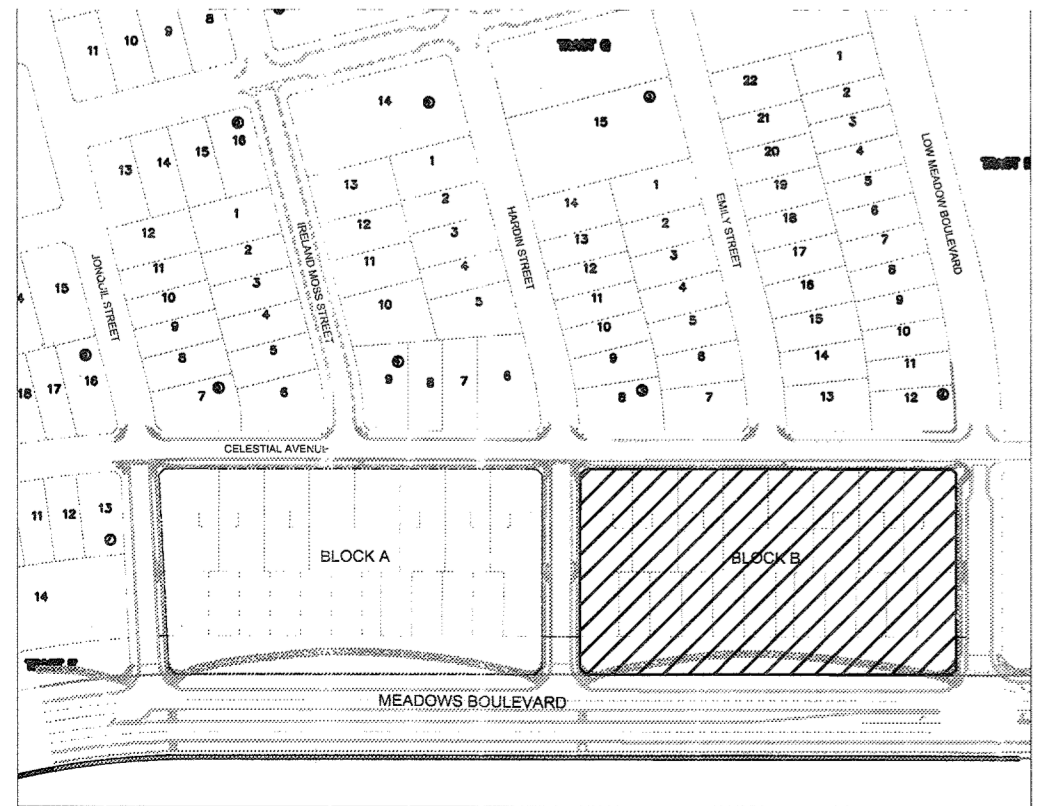
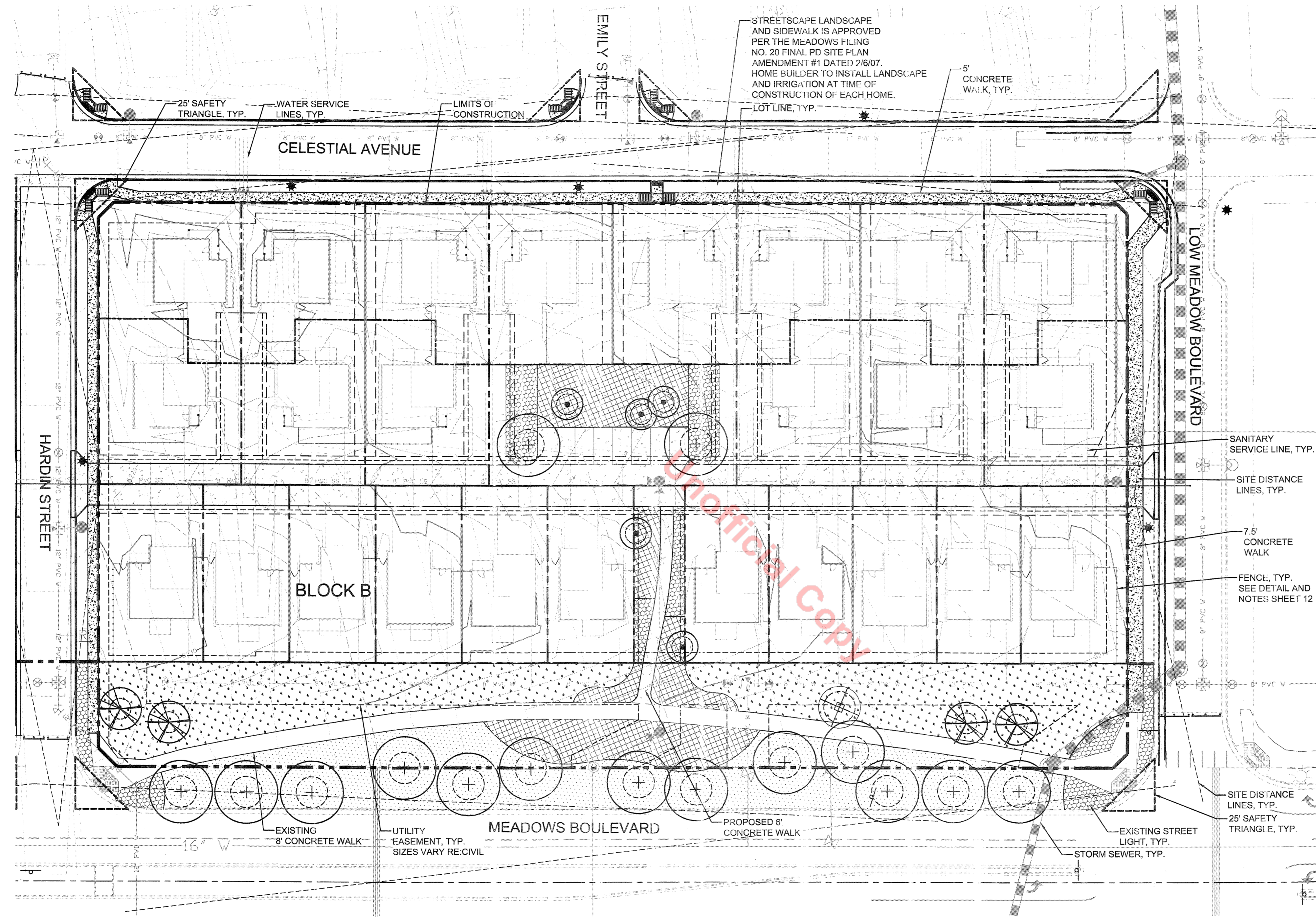
NO.	REVISIONS	DESCRIPTION	DATE	BY
1	REVISED BASED ON TOWN'S COMMENTS		11-25-2015	
2	REVISED BASED ON TOWN'S COMMENTS		01-08-2016	
3	REVISED BASED ON TOWN'S COMMENTS		01-21-2016	

VOGEL & ASSOCIATES
475 W. 12th Avenue, Suite E
Denver, Colorado 80204-9668
(303) 983-4288

THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1
FILING NO. 20
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
Prepared by
Castle Rock Development Company
3039 E. First Ave. Suite 410
Denver, Colorado 80206

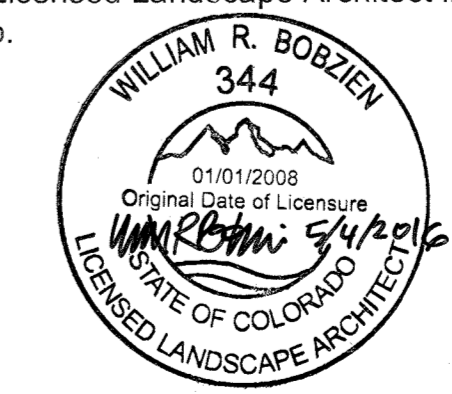
DRAWN BY:	DESIGNED BY:
JOB NUMBER:	
DATE:	09-15-2015
SCALE:	1" = 30'
DRAWING NAME:	Landscape Plan
SHEET NO:	12 of 13

**THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 SITE DEVELOPMENT PLAN
(AN AMENDMENT TO THE MEADOWS FILING NO. 20 PRELIMINARY PLAT/FINAL PD SITE PLAN)
LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE
SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO**



- FENCING NOTES**
1. THE ONLY PERMITTED FENCE DESIGN IS THE 4' BAR STYLE FENCE-SEE DETAIL ON SHEET 12
 2. ALL FENCING SHALL BE STAINED USING SHERWIN WILLIAMS' 533M-TRANSSPARENT STAIN IN THE COLOR OF MOUNTAIN ASH (SW3540) (OR SUCH OTHER BRAND/COLOR AS DEEMED TO BE SUBSTANTIALLY THE SAME BY CASTLE ROCK DEVELOPMENT COMPANY.
 3. ALL FENCING SHALL BE INSTALLED IN ACCORDANCE WITH A FENCE PLAN APPROVED BY CASTLE ROCK DEVELOPMENT COMPANY. SUCH FENCE PLAN SHALL PROVIDE A PRIVATE, ENCLOSED OUTDOOR SPACE FOR EACH DWELLING UNIT ON EACH LOT.
 4. FENCING ALONG PERIMETER STREETS SHALL BE PLACED ON THE ADJACENT LOTS IN A WAY THAT MITIGATES THE NEGATIVE AESTHETIC IMPACT OF THE FENCING AS JUDGED BY CASTLE ROCK DEVELOPMENT COMPANY.

Landscape Registration:
William R. Bobzien, Licensed Landscape Architect in the State of Colorado.



William R. Bobzien - #344
For and on behalf of Vogel and Associates

NOT FOR CONSTRUCTION

SCALE: 1"=30'

THE MEADOWS FILING NO.20
BLOCK 32 AND BLOCK 27 PHASE 2 AREA
SITE DEVELOPMENT PLAN
Town Project Number: SDP15-0031

48 hours before you file, CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC)	
811 Call Electric, Telephone CAV and Potable Water, Gas, Cable TV, Sewer, Storm Drain, and Other Utilities.	SCALE: VERIFICATION BAR: 5' SCALE "AS SHOWN" ON ORIGINAL DRAWING IF NOT ONE-INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY
NO. 1 NO. 2 NO. 3	REVISIONS DESCRIPTION 1. REVISED BASED ON TOWN'S COMMENTS 2. REVISED BASED ON TOWN'S COMMENTS 3. REVISED BASED ON TOWN'S COMMENTS
DATE 1-25-2015 01-08-2016 01-21-2016	BY [Blank] [Blank] [Blank]
THE MEADOWS FILING NO. 20, PHASE 2, AMENDMENT NO. 1 FILING NO. 20 SITE DEVELOPMENT PLAN LANDSCAPE PLAN Prepared for: Castle Rock Development Company 3033 E. First Ave. Suite 410 Denver, Colorado 80206	
VOGEL & ASSOCIATES 475 W. 12th Avenue, Suite E Denver, CO 80202-3688 (303) 893-4288	
DRAWN BY: JOB NUMBER: DATE: 09-15-2015 SCALE: 1"=30' DRAWING NAME: Landscape Plan SHEET NO: 13 of 13	DESIGNED BY: [Blank] [Blank] [Blank]